

PUBLIC NOTICE

EXETER CONSERVATION COMMISSION

The Exeter Conservation Commission will meet in the Nowak Room of the Town Office Building, Exeter on **Tuesday, November 13, 2012 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items:

1. Request from Felder Kuehl to merge Map 54, Lot 2 with the Meeting Place residential project parcel on Map 55, Lot 77-1. They are proposing to use Map 54, Lot 2 to expand the trail network from behind the Meeting Place to Industrial Drive installing the trail, a picnic and exercise area, and gravel parking lot.
2. Existing Culvert Replacement at 60 Watson Rd along Bloody Brook. Request for Signature in Support of Expedited NHDES Review (Map 26, Lot 3).

Regular Business:

1. Treasurer's Report
2. Approval of Minutes: October 9th, 2012
3. Natural Resources Planner's Report and Correspondence
4. Other Business
5. Next Meeting: Date and Agenda Items

Russell Kaphan, Chair

Exeter Conservation Commission

Posted November 8th, 2012: Exeter Town Office, Exeter Public Library, EXTV and Town Departments.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: November 8, 2012
To: Conservation Commission Board Members
From: Kristen Murphy, Natural Resource Planner
Subject: Conservation Commission Meeting Packet

General

Don't forget, if you can't make it to let us know so we can be sure we have a quorum.

Felder Kuehl

This property fronts on Industrial Drive but connects to the Meeting Place property. In order to increase the density allowance at The Meeting Place, Mr. Felder is proposing to use this lot, which was previously approved for development, as open space with a trail connection. They want to present this possibility to the Conservation Commission.

60 Watson Rd

This project involves replacing a culvert under a residential driveway that is in place to span Bloody Brook. The applicant originally proposed a 24" culvert but after receiving feedback from NH Fish and Game Department suggested a larger culvert he revised his application to be a >24" culvert. He is still exploring prices and alternative designs. This culvert, the town culvert upstream referenced in his application, and two more were identified in the Exeter River Geomorphic Assessment as undersized and in need of replacement. I mentioned this to him because it opens some grant opportunity doors w/ NHDES for Watershed Assistance grant money. He said he would consider it but is concerned about timeframe and additional costs.



THE STATE OF NEW HAMPSHIRE
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 LAND RESOURCES MANAGEMENT
 WETLANDS BUREAU

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095
 Phone: (603) 271-2147 Fax: (603) 271-6588

Website: <http://des.nh.gov/organization/divisions/water/wetlands/index.htm>
 Permit Application Status: <http://des.nh.gov/onestop/index.htm>



WETLANDS PERMIT APPLICATION

File No.	Check No.	Amount	Initials
Administrative Use Only	Administrative Use Only	Administrative Use Only	Administrative Use Only

1. **REVIEW TIME:** If you do not know your project's review time, refer to Attachment A to determine if your project's review time is Standard or Expedited.

- Standard Review (Minimum, Minor or Major Impact) Expedited Review (Minimum Impact)

2. **PROJECT LOCATION:** A separate application must be filed with each municipality that jurisdictional impacts will occur in.

ADDRESS: 60 Watson Road		TOWN/CITY: Exeter	
TAX MAP: 26	BLOCK: --	LOT: 003	UNIT: --

LOCATION COORDINATES (If known): **43.010, -70.974** Latitude/Longitude UTM State Plane

3. **PROPERTY OWNER** or **APPLICANT INFORMATION** (check all that apply). If the applicant is not the property owner, please attach property owner information and the necessary permission from the property owner granting the applicant permission to act on their behalf.

NAME: **Scott Crawford**

EMAIL or FAX: crawford@xdd-llc.com	PHONE: 603-321-6985
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MAILING ADDRESS: **60 Watson Road**

TOWN/CITY: Exeter	STATE: NH	ZIP CODE: 03833
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By initialing here, I, hereby authorize DES to communicate all matters relative to this application electronically (RSA 482-A:3, XIV (b)) : **SCC**

4. **AGENT INFORMATION:**

NAME: Self	COMPANY:
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EMAIL or FAX:	PHONE:
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MAILING ADDRESS:

TOWN/CITY:	STATE:	ZIP CODE:
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By initialing here, I, hereby authorize DES to communicate all matters relative to this application electronically (RSA 482-A:3, XIV (b)) : **SCC**

* Complete this page last.

5. PROPERTY OWNER / APPLICANT / AUTHORIZED AGENT: A letter of authorization from the applicant is required, if the

By signing the application, I am certifying that:

1. All abutters have been identified in accordance with RSA 482-A:3, I and Env-Wt 100-900.
2. I have read and provided the required information outlined in Env-Wt 302.04 for the applicable project type.
3. I have read and understand Env-Wt 302.03 and have chosen the least impacting alternative.
4. Any structure that I am proposing to repair/replace was either previously permitted by the Wetlands Bureau or would be considered grandfathered per Env-Wt 101.44.
5. I have submitted a copy of the application materials to the NH State Historic Preservation Officer.
Link: <http://www.nh.gov/nhdhr/review/> (Copy link to your web browser)
6. I authorize the municipal conservation commission to inspect the site of the proposed project.
7. I have reviewed the information being submitted and that to the best of my knowledge the information is true and accurate.
8. I understand that the willful submission of falsified or misrepresented information to the New Hampshire Department of Environmental Services is a criminal act, which may result in legal action.
9. I am aware that the work I am proposing may require additional state, local or federal permits.
10. The mailing addresses I have provided are up to date and appropriate for receipt of DES correspondence. DES will not forward returned mail.



Scott C. Crawford

11/07/2012

Signature of Applicant or Authorized Agent

Print name legibly

Date

APPLICANT/ AGENT APPLICATION SUBMITTAL DIRECTIONS:

1. If sought for Expedited Review, obtain the Conservation Commissions signature (ONLY required for Expedited Review; Standard Review Applications do NOT require the Conservation Commission's signature);
2. Submit the original application form and materials, four copies, application fee and any required municipal fees (authorized by RSA 482-A:3,I) to the town/city clerk for the **REQUIRED town /city clerk's** signature and mailing via certified mail to DES. Municipal fees means an administrative fee not to exceed \$10 plus the cost of postage by certified mail.

6. TOWN/CITY CLERK SIGNATURE: This section is to be completed by the Town/City Clerk

As required by Chapter 482-A:3 (amended 1991), I hereby certify that the applicant has filed five application forms, five detailed plans, and five USGS location maps with the town/city indicated below and I have received and retained certified postal receipts (or copies) for all abutters identified by the applicant.

Signature or Town/City Clerk

Print name legibly

Date

Exeter, NH

Town/City

TOWN CLERK SUBMITTAL & MAILING DIRECTIONS:

Per RSA 482-A:3,I(d):

1. If sought by the APPLICANT, after the Conservation Commissions signature has been obtained (ONLY required for Expedited Review; Standard Review Applications do NOT require the Conservation Commission's signature);
2. Collect from the applicant the postal receipts demonstrating that all abutters and the Local Advisory Committee were sent proper notice;
3. Collect any administrative fees, not to exceed \$10 plus the cost of postage by certified mail (RSA 482-A:3,I).
4. Immediately sign the original application and four copies in the signature space provided in the space above;
5. Retain one copy of the application form and all attachments that will remain with the town/city clerk and will be made reasonably accessible to the public;
6. Immediately distribute a copy of the application with attachments to the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board in accordance with RSA 482-A:3, I; and
7. **IMMEDIATELY** send (DO NOT HOLD FOR OTHER MUNICIPAL REVIEWS) the original application materials and filing fee, by **CERTIFIED MAIL** to the NHDES Wetlands Bureau at the address indicated on the front of this application.

7. CONSERVATION COMMISSION SIGNATURE: * Only required for Expedited Review Applications

Expedited Review Applications ONLY require that the Conservation Commission signature is obtained prior to submitting the final application to the Town/City Clerk for signature and mailing to the NHDES Wetlands Bureau. The Conservation Commission is not required to sign. If the Conservation Commission does not sign this statement for any reason, then the application is not eligible for expedited review and shall be reviewed in the standard review time.

The signature below certifies that the municipal conservation commission has reviewed this application, and: 1) waives its right to intervene per RSA 482-A:11; 2) believes that the application and submitted plans accurately represent the proposed project; and 3) has no objection to permitting the proposed work.

Authorized Commission Signature

Print name legibly

Date

8. **RELATED FILES/APPROVALS:** If applicable, indicate files and approvals that are related to the proposed project or project site. Link to all NHDES Programs, Bureaus and Units: <http://des.nh.gov/programs/index.htm> (Copy link to your web browser)

Wetlands Bureau (enforcement, emergency authorizations): NA

Wetlands Bureau (approvals, denials): NA

Shoreland/ Alteration of Terrain/ Subsurface: NA

Other: _____

9. **PROJECT DESCRIPTION:** Provide a brief description of the project, outlining the scope of work to be performed, including the area of impact (square feet) of permanent impacts, temporary impacts (impacts that are not intended to remain after the project is completed), and after-the-fact impacts (work completed prior to receipt of this application by DES) to each jurisdictional area that will be impacted (wetlands, streams, rivers, lakes/ponds, prime wetland/buffer, tidal waters, salt marsh, sand dune, [upland] tidal buffer zone & docking structures). Docking structures provide the square footage of seasonal docking structures and permanent docking structures. **Please provide only a brief project description as instructed above and attach additional sheets to provide other information requirements, but do NOT reply "See Attached" in the space provided below.**

Project: REPLACEMENT OF CULVERT BELOW RESIDENTIAL DRIVEWAY

The proposed work involves excavating a trench perpendicular to the residential driveway located at 60 Watson Road, Exeter, NH, to remove and replace a corrugated metal culvert pipe that is nearing collapse. The old culvert (18") conveys the Bloody Brook below the driveway. The Bloody Brook is approximately 5 to 6 feet wide and 1 foot deep at the project location. Area of disturbance will be limited to the portion below driveway.

A 24" culvert, owned by the Town of Exeter and crossing Watson Road, is located approximately 150 feet upstream of the existing 18" residential culvert location. Per recommendation of NH Fish & Game, the 18" residential culvert will be upgraded to a >24" elliptical or arched culvert to be protective of wildlife habitat. Stream banks will not be altered or disturbed.

A minimal amount of digging will be conducted to remove the old pipe. To accommodate the larger replacement culvert, the trench will be approximately 17 feet long by 5-6 feet wide (~100 sq.ft.). The trench will be approximately 3 to 3.5 feet deep. The new culvert will be installed so that stream sediments will cover the bottom of the pipe, and the bottom elevation will be consistent with the existing stream bottom. The trench will be backfilled with gravel/rip rap to prevent erosion around the culvert. Boulders/cobbles will be placed on the upstream and downstream face of the culvert to stabilize the culvert and prevent erosion. (See Figures 1 through 3 and Photos 1 through 4 showing the existing culvert and surrounding area)

U. S. Geological Survey Topographic Map Waterbody name: Bloody Brook

10. **APPLICATION REQUIREMENTS:** *This application will be returned to you if items outlined in A – I.1 are not provided.* If applicable items outlined in I.2 - L are not provided, you may receive a letter requesting the outstanding information. Please note that a DES request letter is a courtesy and applications that do not include the required information may be denied. If you do not know your impact category, refer to Attachment A to determine your project is minimum or minor/major impact. Copy links to your web browser.

- A. Is the project within a ¼ mile of a designated river? <http://des.nh.gov/organization/divisions/water/wmb/rivers/desigriv.htm>
 Y N. If yes: 1. Indicate river: _____
2. As required by RSA 482-A:3,I(d)(2), I have notified the Local River Advisory Committee (<http://des.nh.gov/organization/divisions/water/wmb/rivers/lac/index.htm>) by sending a copy of the complete application and supporting materials via certified mail on: **Month:** ___ **Day:** ___ **Year:** ___
- B. Applicant/Agent and Town/City Clerk signatures, no.'s 5 & 6 on pg. 2 of this form (Env-Wt 501.02(a) & 505.01(l))
- C. Narrative of the project description, no. 9 above (Env-Wt 501.02(a) & 505.01(l))
- D. Documentation from the Department of Resources and Economic Development's Natural Heritage Bureau (NHB) indicating that NHB has reviewed your project. Documentation can be obtained online at: https://www2.des.state.nh.us/nhb_datacheck/ or by phone (603) 271-2215 x 323. Please attach the REQUIRED letter/memo and map provided by NHB.
- E. Attach a U. S. Geological Survey topographic map upon which the property lines and project limits have been outlined (surveyed property boundaries not required). The map must be at an unaltered scale of 1:24,000 or 1" = 2,000 feet (1:25,000 metric map). (Env-Wt 501.02(a)(4) & 505.01(g))
Topographic Map Links: <http://des.nh.gov/organization/divisions/water/wetlands/categories/technical.htm>
- F. Attach legible and labeled color photographs clearly depicting the jurisdictional areas to be impacted, the resource outside of impact area, any shoreline structures and culvert inlet/outlets (Env-Wt 501.02(a)(3) & 505.01(i))
- G. Attach drawing(s)/plan(s) (including a construction sequence) showing additional data requirements listed in Env-Wt 501.02(a)(2) & 505.01(h). See no. 11 on pg.'s 4 & 5 for drawing/plan requirements.
- H. Attach application fee, check or money order payable to: "Treasurer-State of NH" (RSA 482-A:3,I & Env-Wt 505.01(c))
 - Minimum Impact (Standard & Expedited Review): Flat fee of \$ 200 **OR**
 - Minor or Major Impact (Standard Review): Complete the minor & major application fee table on the next page of this form.

10. APPLICATION REQUIREMENTS CONTINUED:

MINOR & MAJOR APPLICATION FEE:				
Temporary and permanent impacts:	100	sq. ft.	X \$0.20 =	\$20.00
Temporary (Seasonal) Docking Structure:		sq. ft.	X \$1.00 =	0
Permanent Docking Structure:		sq. ft.	X \$2.00 =	0
Projects proposing shoreline structures add \$200 or NA =				NA
Total =				\$13.60
The Application Fee is above calculated Total or \$200, whichever is greater =				\$200

- I.1. Legible copy or tracing of the tax map from the municipal office (Env-Wt 501.02(a)(1)& 505.01(e)).
- 2. Confirm the submitted tax map illustrates the property of the applicant, the location of the proposed project on the property, and the location of properties of abutters (defined Env-Wt 101.03) with each lot labeled with the abutter's name(s) and mailing address(es); or provide a list of abutters' names and mailing addresses to cross-reference with the tax map (Env-Wt 501.02(a)(1)& 505.01(f))
 - Abutter Notification Exceptions see Env-Wt 501.01(c).
 - If jurisdictional impacts occur within 20 feet of an abutting property line or imaginary extension thereof over surface water signed permission letter(s) from the affected abutters must be included with this application (Env-Wt 304.04). This letter must be notarized if your project is a boat docking facility (RSA 482-A:3-XIII(c)).

J. If known, indicate the letter for the rule that describes your project: **Env-Wt 303.0 4(x)**

K. Need, Avoidance & Questions:

- Minimum: 1. Attach a statement demonstrating need for the proposed project (Env-Wt 302.03); and
2. Attach a statement demonstrating that the proposal is the alternative with the least adverse impact to areas and environments under the department's jurisdiction. (Env-Wt 302.03 & 505.01(d)&(y)); **OR**
- Minor & Major: Attach a response to questions outlined in Wetland Rule Env-Wt 302.04(a)

L. Minor & Major Impact Projects ONLY: Does the project require compensatory mitigation pursuant to Env-Wt 302.03?

Y N **If yes:** Attach a completed Mitigation Agreement Form and materials outlined on the form (Env-Wt 501.02(a)(6) & 501.06)
Link: http://des.nh.gov/organization/commissioner/pip/forms/wetlands/documents/mitigation_form.doc

11. Review the "Project Types" listed below. For all "Project Types" that describe your project, refer to the corresponding wetlands rules (Env-Wt) or guidance listed under "Information Requirements" for site, design and drawing/plan information necessary to accurately describe your project. If applicable "Information Requirements" listed next to your "Project Types" are not provided, you may receive a letter requesting the outstanding information. Please note that a DES request letter is a courtesy and applications that do not include the required information may be denied.

Wetland Rules Link: <http://des.nh.gov/organization/commissioner/legal/rules/documents/env-wt100-900.pdf> (Copy link to your web browser)

Project Types:	Information Requirements:
Minimum general plan requirements	Confirm the submitted drawing referenced in (9 G, pg. 3): 1. Is an accurate drawing with detailed dimensions clearly annotated to document existing site conditions and to show the impact of the proposed activity on areas in department jurisdiction and detailing the precise location of the project (Env-Wt 505.01(h)); 2. Identification of the type of landform to be affected as follows: salt marsh, tidal water, sand dune, bog, freshwater marsh, swamp, wet meadow, river, perennial stream, seasonal stream, lake, upland tidal buffer zone or other (Env-Wt 505.01(k)); 3. The number of linear feet of shoreline frontage for projects located on water bodies (Env-Wt 505.01(r)); 4. The linear distance of project from abutting property boundaries (Env-Wt 505.01(s)); 5. Type of docking structure (Env-Wt 505.01(t)); 6. The diameter of culvert(s) to be used for road or driveway crossings (Env-Wt 505.01(u));
Minor & Major general plan requirements	Env-Wt 501.02 (Note: Tidal wetlands: 501.02(b), Surface water shoreline: 501.02(c), Shoreland: 501.02(d))
Minor & Major wetland delineation & classification and vernal pool survey	Env-Wt 301.01 [wetland delineation], 301.02 [wetland classification] Env-Wt 301.01 & 302.04(a)(7)(f) [vernal pool survey and report]

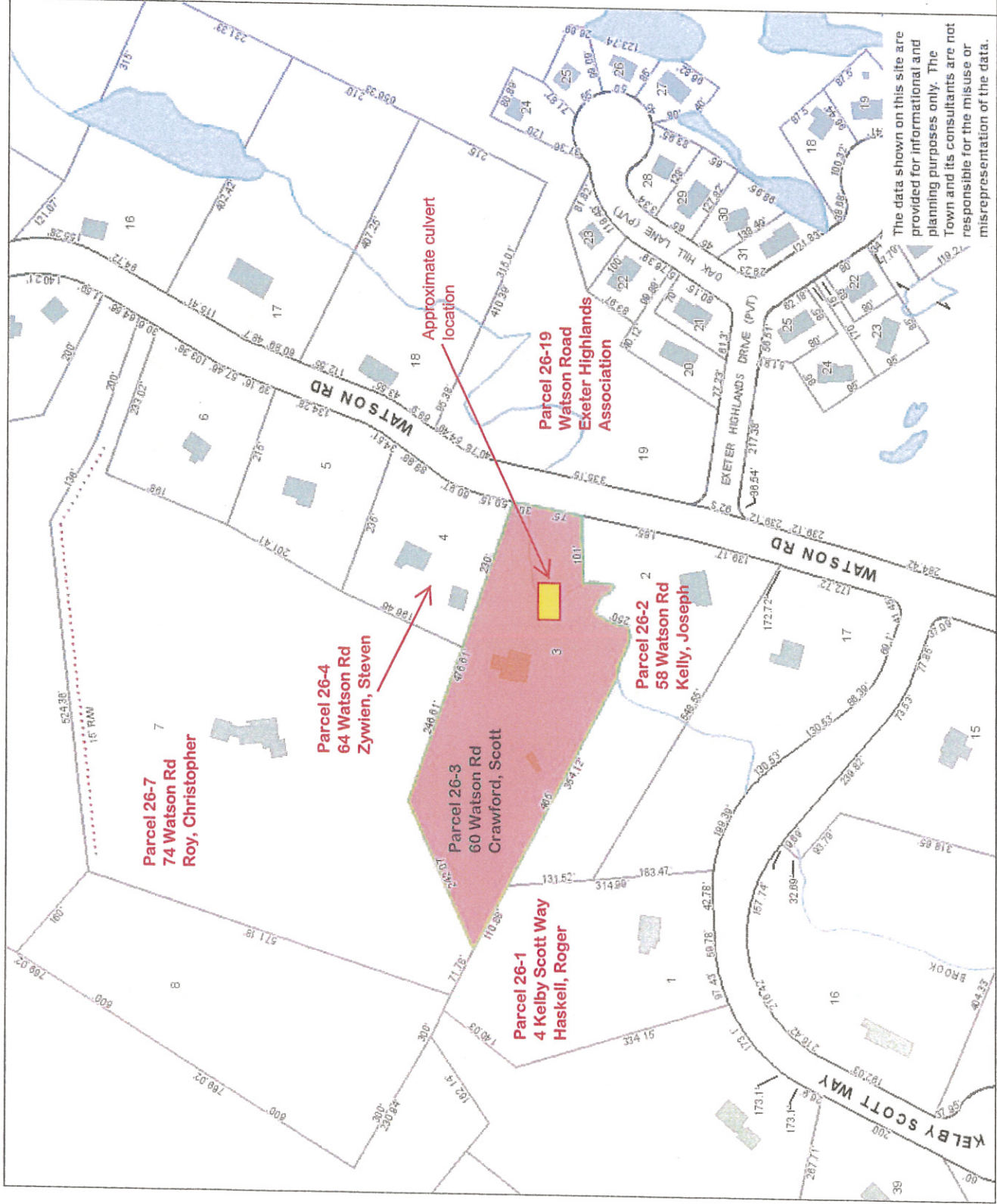
11. INFORMATION REQUIREMENTS CONTINUED:

Subdivision	Env-Wt 304.09
Vegetative & riprap bank stabilization (river, stream, lake, pond)	Env-Wt 404.03 & 404.04
Freshwater Retaining Walls	Env-Wt 404.05(a)
Beach construction & replenishment	Env-Wt 304.08 (provide the cubic yards of proposed sand on plans or in narrative)
Surface water dredge	Provide the cubic yards of proposed dredge on plans or in narrative
All Docking Structures	Provide the Average Shoreline Frontage (linear feet), using the below formula: <i>(Straight line distance pin to pin.) + (Actual natural navigable shoreline pin to pin)</i> 2
Dock configuration	Env-Wt 402.01
Dock dimensions	Env-Wt 402.03
Seasonal docks	Env-Wt 402.05
Permanent Docks	Env-Wt 402.06
Breakwaters	Env-Wt 402.07
Stairways to access docks	Env-Wt 402.10
Marinas	Env-Wt 402.16
Tidal water retaining walls	Env-Wt 404.05(b)
Dikes, Tide Dams, and Tide Gates	Env-Wt 403.03
Protected Shoreland (SWQP)	Env-Wt 501.02(d)
New Tier 1 Stream Crossing (Excluding: Env-Wt 303.04(z))	Env-Wt 903.03(a) [plans], 904.01 [questions], 904.02 [design]
Tier 1 or 2 Stream Crossing Repair	Env-Wt 903.03(a) [plans], 904.01 [questions], 904.06 [design]
Tier 1 or 2 Stream Crossing Replacement	Env-Wt 903.03(a) [plans], 904.01 [questions], 904.07 [design]
New Tier 2 Stream Crossing (Excluding: Env-Wt 303.04(z))	Env-Wt 903.03(a) [plans], 904.01 [questions], 904.03 [design]
All Tier 3 Stream Crossings	Env-Wt 903.03 (a) & (b) [plans] , 904.01 [questions] 904.04, 904.05 [design]
Stream Crossing Alternative Designs	Env-Wt 904.09
Rule waiver	Env-Wt 204 (Stream rule waivers, use Alternative Designs Env-Wt 904.09)

Town of Exeter Tax Map and Abutters



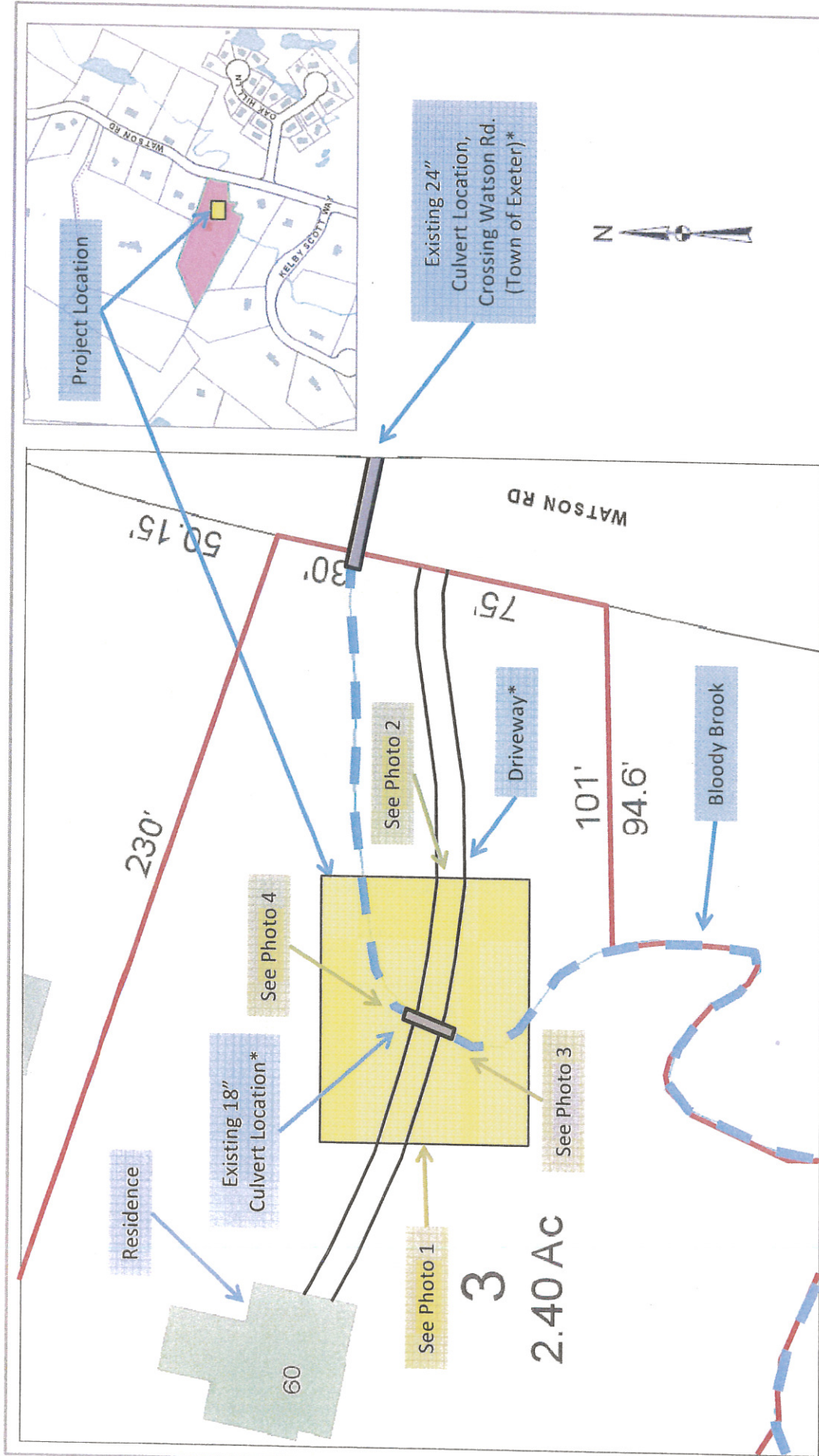
- Town Boundary
- Abutting Towns
- Streams
- Open Water
- Buildings
- Roads
- Miscellaneous Lines
- Bridge
- Hooks
- Private RD ROW
- Utility ROW
- Parcels
- Private Road
- Railroad ROW
- Road
- Undeveloped Road
- Property Line



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



**Figures and Photos
Culvert Replacement
60 Watson Road, Exeter, NH**






**Figure 1 - Location
Culvert Replacement**

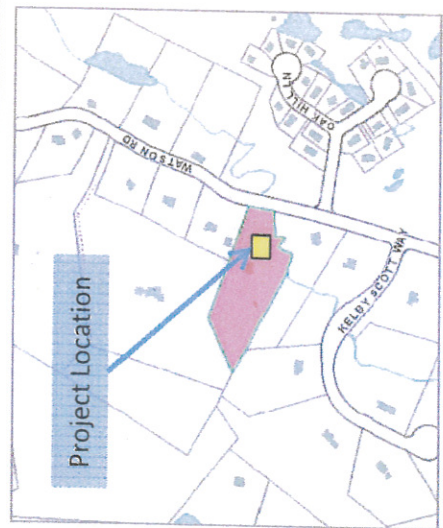
60 Watson Road
Exeter, NH

Date: 11-07-2012

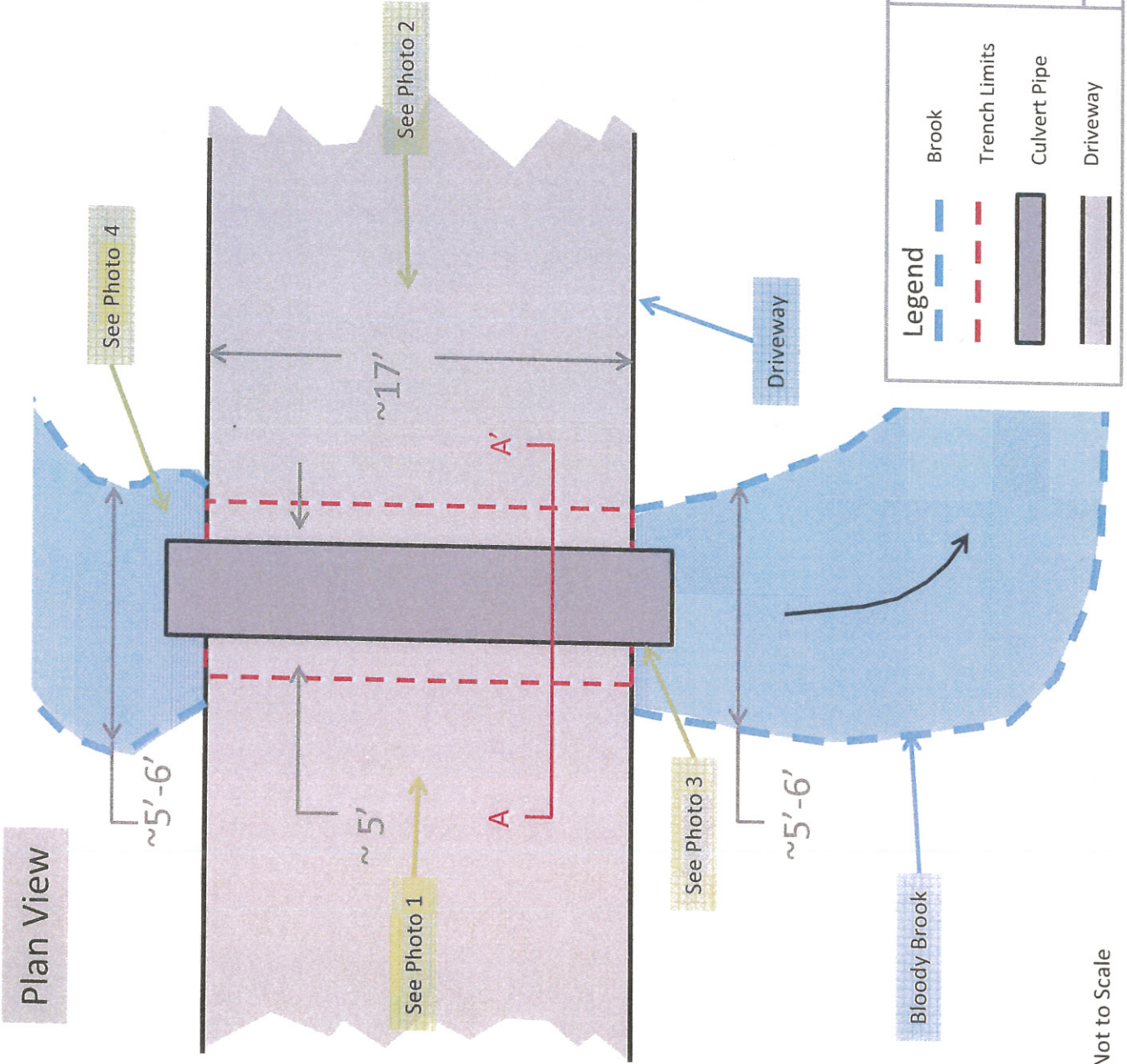
Legend

-  Brook
-  Property Boundary
-  Driveway

* Driveway and culvert locations are approximate and not to scale



Note: Existing 18" culvert (corrugated steel) will be upgraded to a >24" elliptical or arch culvert

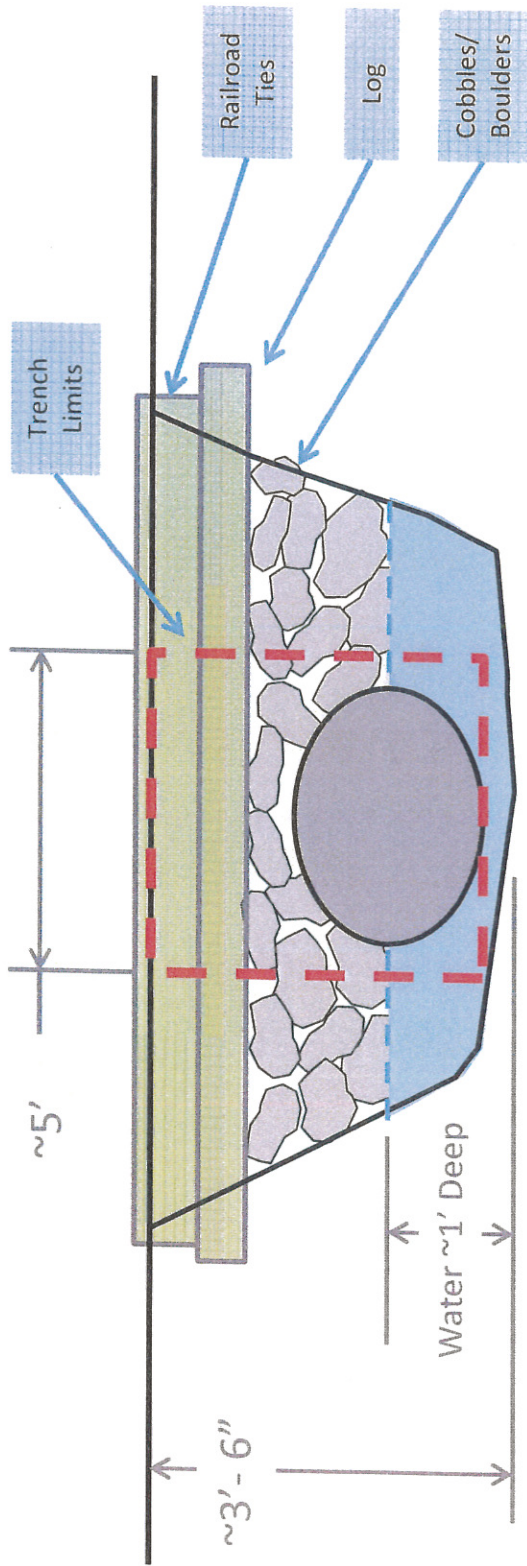


<p>Figure 2 – Trench Plan Culvert Replacement 60 Watson Road Exeter, NH Date: 11-07-2012</p>	
<p>Legend</p> <ul style="list-style-type: none"> Brook Trench Limits Culvert Pipe Driveway 	

Not to Scale

Cross-Section

A'



- Installation Notes:**
- Existing 18" metal culvert will be upgraded to >24" elliptical or arch culvert.
 - Railroad ties and logs (driveway retainers) will first be removed which will not disturb the stream.
 - A trench will be excavated to expose the top of the existing culvert pipe. The old pipe will then be removed.
 - A new >24" culvert pipe will be placed with suitable gravel/rip rap backfill to prevent erosion around the pipe. Some shaping of the trench will be required to ensure that the new culvert bottom elevation matches the existing stream bottom elevation.
 - Boulders will be placed (using some of the existing cobbles/boulders, if suitable) on the upstream and downstream faces of the stream crossing to recreate the headwall and prevent erosion around the pipe. The established stream banks will not be disturbed.
 - Road base gravel will be placed and compacted above the pipe and driveway retainers will be reset in the original positions.

Not to Scale

Legend	
	Brook
	Trench Limits
	Culvert Pipe
	Driveway

Figure 3 – Cross Section

Culvert Replacement

60 Watson Road
Exeter, NH

Date: 11-07-2012

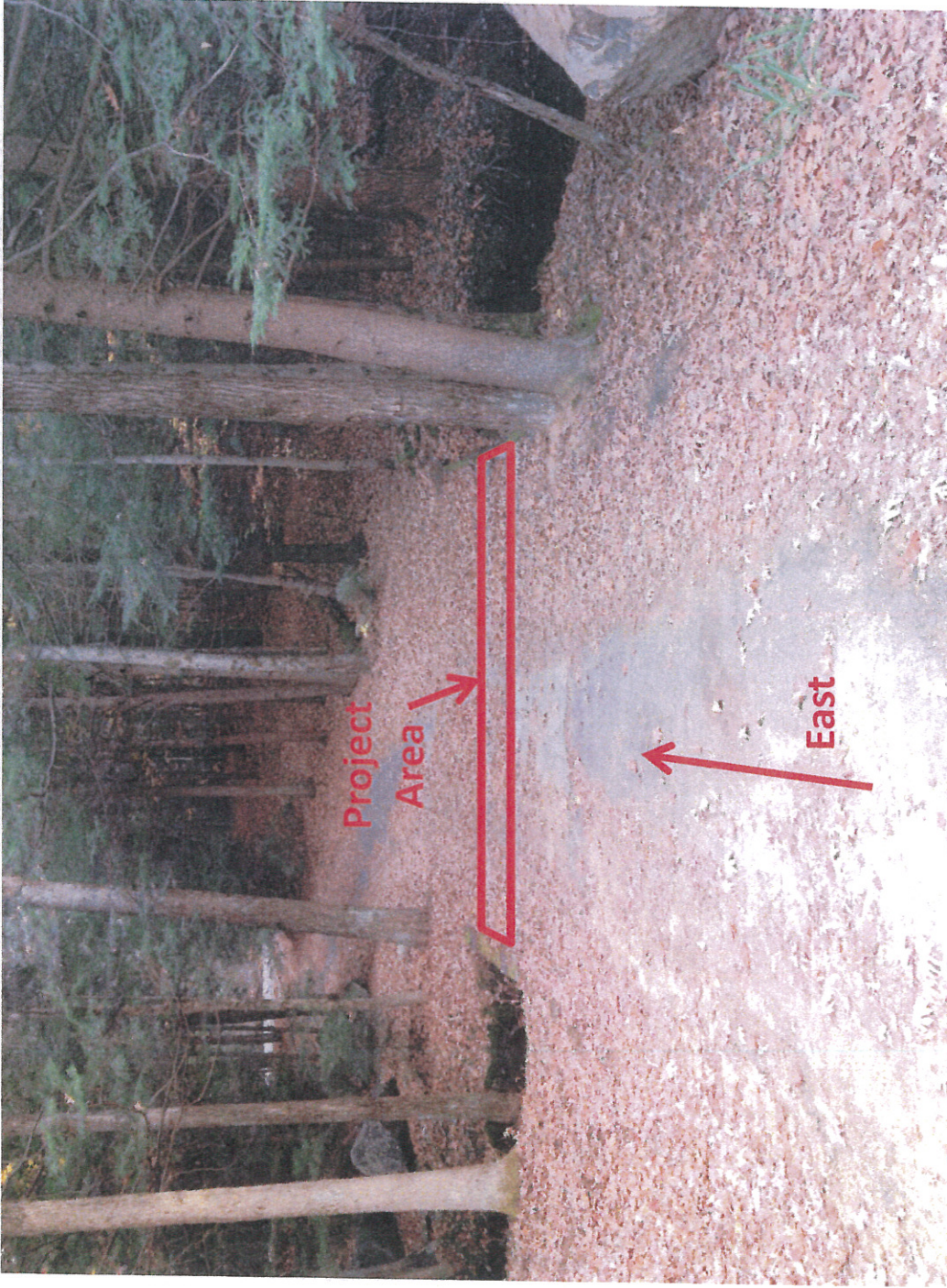


Photo 1 – Project Area

Looking East

60 Watson Road

Exeter, NH

Date: 11-07-2012



Photo 2 – Project Area

Looking West

60 Watson Road

Exeter, NH

Date: 11-07-2012

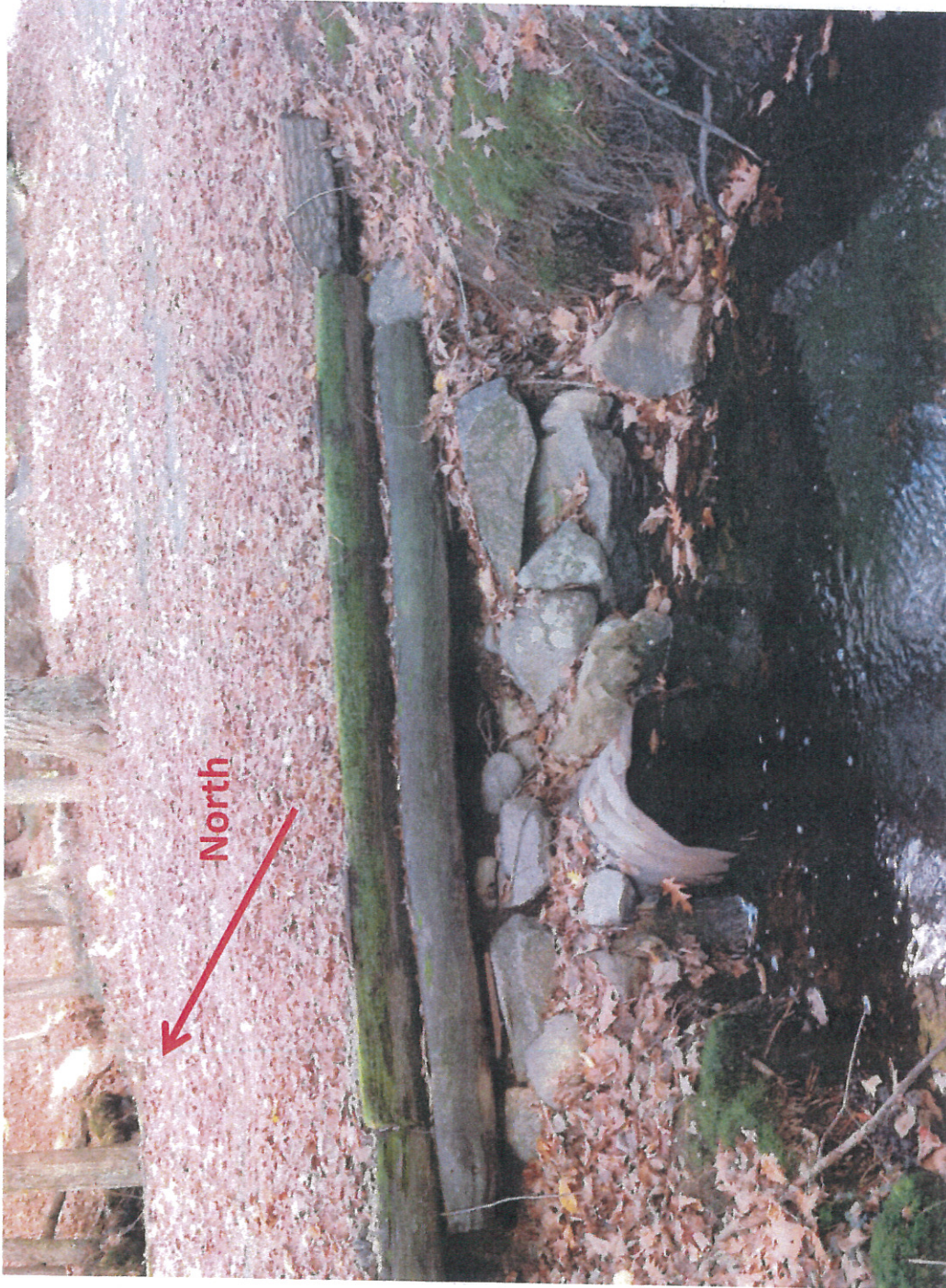


Photo showing the existing downstream face of the stream crossing.

Photo 3 – Project Area
Looking North

60 Watson Road
Exeter, NH

Date: 11-07-2012

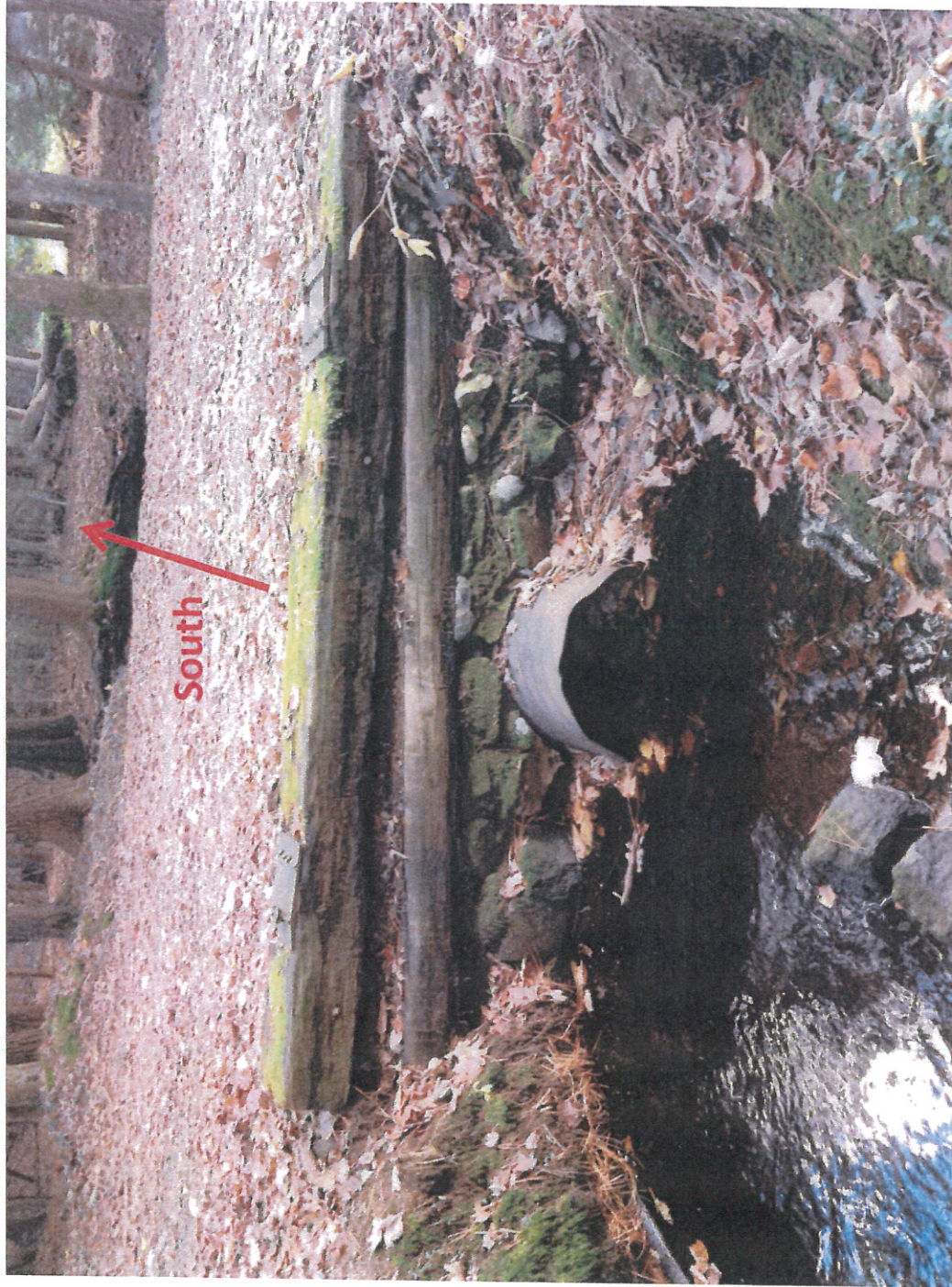


Photo showing the existing upstream face of the stream crossing.

Photo 4 – Project Area Looking South

60 Watson Road
Exeter, NH

Date: 11-07-2012

**Statement of Need for Culvert Replacement at 60 Watson Road,
Exeter, NH
Item 10.K. Need, Avoidance & Questions Section of Application**

State of New Hampshire
Department of Environmental Services
Land Resources Management
Wetlands Bureau
29 Hazen Drive, PO Box 95
Concord, NH 03302-0095

November 7, 2012

**RE: Statement of Need for Culvert Replacement at 60 Watson Road, Exeter, NH
Item 10.K. Need, Avoidance & Questions Section of Application**

Dear Wetlands Bureau,

In order to satisfy the requirements of Item 10.K of the Wetlands Permit Application, please see below the statement of need and a statement demonstrating that the proposed work at the above referenced property is the alternative with the least adverse impact to the areas and environments under the department's jurisdiction.

Proposed Work: The proposed work involves excavating a trench perpendicular to the residential driveway located at 60 Watson Road, Exeter, NH, to remove and replace a corrugated metal culvert pipe that is rusted and could collapse. The old culvert (18") conveys the Bloody Brook below the driveway. The Bloody Brook is approximately 5 to 6 feet wide and 1 foot deep at the project location. Area of disturbance will be limited to the portion below driveway.

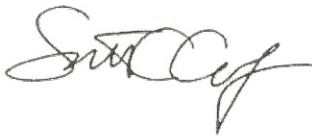
A 24" culvert, owned by the Town of Exeter and crossing Watson Road, is located approximately 150 feet upstream of the existing 18" residential culvert location. Per recommendation of NH Fish & Game, the existing 18" residential culvert should be upgraded to a >24" elliptical or arched culvert to be protective of wildlife habitat. Stream banks will not be altered or disturbed.

A minimal amount of digging will be conducted to remove the old pipe. To accommodate the larger replacement culvert, the trench will be approximately 17 feet long by 5-6 feet wide (~100 sq. ft.). The trench will be approximately 3 to 3.5 feet deep. The new culvert will be installed so that stream sediments will cover the bottom of the pipe, and the bottom elevation will be consistent with the existing stream bottom. The trench will be backfilled with gravel/rip rap to prevent erosion around the culvert. Boulders/cobbles will be placed on the upstream and downstream face of the culvert to stabilize the culvert and prevent erosion. (See Figures 1 through 3 and Photos 1 through 4 showing the existing culvert and surrounding area).

Statement of Need: The corrugated metal culvert pipe that conveys the Bloody Brook below the residential driveway has rusted and is undersized. The pipe should be replaced in order to continue to allow the brook to flow under the driveway unimpeded.

Alternative Assessment: There are no other alternatives to replacing this pipe. There are no other routes to access the property that will not cross this brook. Replacement of the culvert will not disturb the established stream banks and the upgraded pipe size will mitigate flooding.

Sincerely,
Scott C. Crawford

A handwritten signature in black ink, appearing to read "Scott C. Crawford". The signature is written in a cursive style with a large, stylized "S" and "C".

Tel: (603) 321-6985

Email: Crawford@xdd-llc.com

**New Hampshire Natural Heritage Bureau (NHB)
Datacheck Results Letter (11/01/2012)**

NHB12-3104

Memo



NH NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Scott Crawford
60 Watson Road
Exeter, NH 03833

From: Melissa Coppola, NH Natural Heritage Bureau

Date: 11/1/2012 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau
NHB File ID: NHB12-3104 Town: Exeter Location: Tax Maps: 26-003

Description: Replacement of existing culvert located beneath residential driveway. Culvert conveys Bloody Brook below driveway. Culvert is rusting and nearing collapse and must be replaced so that the brook flow is not impeded.

cc: Kim Tuttle

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

Comments:

Vertebrate species

	State ¹	Federal	Notes
Blanding's Turtle (<i>Emydoidea blandingii</i>)	E	--	Contact the NH Fish & Game Dept (see below).
Spotted Turtle (<i>Clemmys guttata</i>)	T	--	Contact the NH Fish & Game Dept (see below).

¹Codes: "E" = Endangered, "T" = Threatened, "-" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (*) indicates that the most recent report for that occurrence was more than 20 years ago.

Contact for all animal reviews: Kim Tuttle, NH F&G, (603) 271-6544.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

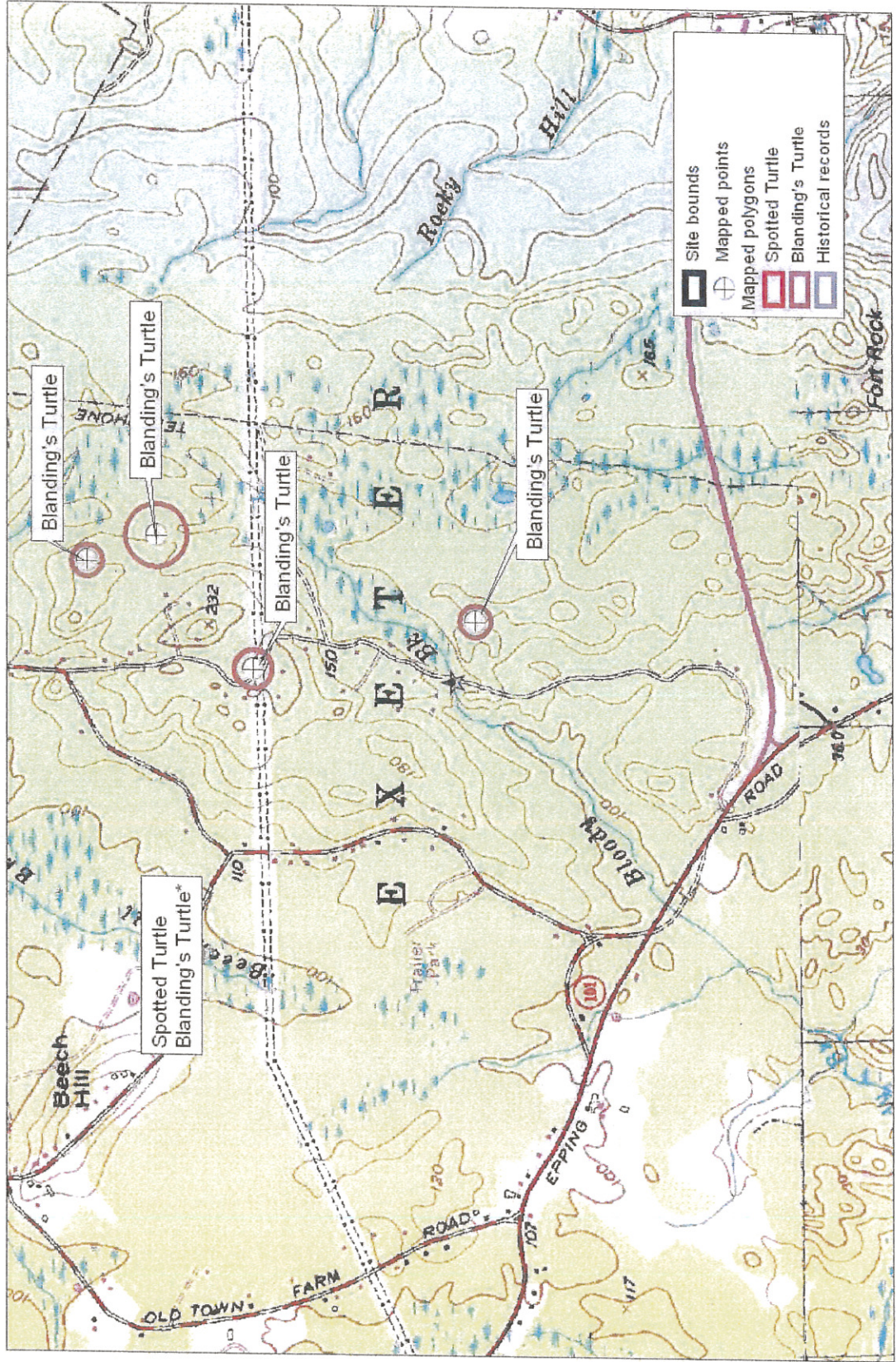
NHB12-3104



NH NATURAL HERITAGE BUREAU

Known locations of rare species and exemplary natural communities

Note: Mapped locations are not always exact. Occurrences that are not in the vicinity of the project are not shown.



*Historical record

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)**Legal Status**

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
 Comments on Rank:

Detailed Description: 1992: Area 2071: 1 adult female with eggs.
 General Area: 1992: Area 2071: Highlands area near road.
 General Comments: 1992: Area 2071: Eggs reported to have hatched.
 Management
 Comments:

Location

Survey Site Name: Fresh River
 Managed By: Exeter Highlands Open Space

County: Rockingham
 Town(s): Exeter
 Size: 1.9 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1992: Area 2071: [From Rte. 101 East, turn left onto Watson Rd. -Exit 9? Travel north less than a mile to Exeter Highlands Drive subdivision on right. Travel to end of road to cull-de-sac.]
 Neighborhood just off Watson Road.

Dates documented

First reported: 1992-07-01
 Last reported: 1992-07-01

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)**Legal Status**

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
 Comments on Rank:

Detailed Description: 2008: Area 11594: 1 adult female seen.
 General Area: 2008: Area 11594: In the yard of 14 Wood Ridge Drive. Observer said there were several vernal pools behind the house.

General Comments:
 Management
 Comments:

Location

Survey Site Name: Fresh River
 Managed By:

County: Rockingham
 Town(s): Exeter
 Size: 7.7 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2008: Area 11594: 14 Wood Ridge Drive, Exeter.

Dates documented

First reported: 2008-05-27

Last reported: 2008-05-27

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)**Legal Status**

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
 Comments on Rank:

Detailed Description: 1997: Area 11912: 1 adult.

General Area: 1997: Area 11912: Powerline road crossing. Somewhat elevated terrain. A small wetland is about 300 feet away.

General Comments:
 Management
 Comments:

Location

Survey Site Name: Fresh River
 Managed By:

County: Rockingham
 Town(s): Exeter
 Size: 2.8 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1997: Area 11912: [From Exeter, take Rte. 27 north. Jog right on Rte. 101 to left turn on Watson Road and continue ca. 2 miles north to PSNH powerline.]

Dates documented

First reported: 1997-06-18

Last reported: 1997-06-18

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)

Legal Status

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
 Comments on Rank:

Detailed Description: 2010: Area 12780: 1 adult observed.
 General Area: 2010: Area 12780: Residential neighborhood.
 General Comments:
 Management
 Comments:

Location

Survey Site Name: Fresh River
 Managed By:

County: Rockingham
 Town(s): Exeter
 Size: 1.9 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2010: Area 12780: 3 Terry's Way, Exeter.

Dates documented

First reported: 2010-06-15
 Last reported: 2010-06-15

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)

Legal Status

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Historical records only - current condition unknown.
 Comments on Rank:

Detailed Description: 1991: Area 8866: 1 adult.
 General Area: 1991: Area 8866: Near a stream.
 General Comments:
 Management
 Comments:

Location

Survey Site Name: Fresh River
 Managed By: Piscassic River

County: Rockingham
 Town(s): Exeter
 Size: 2.8 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation: 190 feet

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1991: Area 8866: Beech Hill Road crossing of Beech Hill Brook.

Dates documented

First reported: 1991
 Last reported: 1991

New Hampshire Natural Heritage Bureau - Animal Record

Spotted Turtle (*Clemmys guttata*)**Legal Status**

Federal: Not listed
 State: Listed Threatened

Conservation Status

Global: Demonstrably widespread, abundant, and secure
 State: Imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Good quality, condition and landscape context ('B' on a scale of A-D).
 Comments on Rank:

Detailed Description: 1999: 1 seen (Obs_id 1999.0281). 1 turtle, basking on a discarded tire.
 General Area: 1999: Pool of water upstream from road.
 General Comments: 1999: D. Carroll 1999 Lamprey River Report (Obs_id 1999.0281).
 Management
 Comments:

Location

Survey Site Name: Beech Hill Brook
 Managed By: Piscassic River

County: Rockingham
 Town(s): Exeter
 Size: 2.8 acres

USGS quad(s): Newmarket (4307018)
 Lat, Long:
 Elevation: 100 feet

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1999: Fresh River / Beach Hill Brook. South side of road running west from Oaklands Drive passing over Beech Hill Brook - HB2 on map (Obs_id 1999.0281). 1999: From Rte. 108 south in Newmarket, head west on Rte. 87 in Newfields, to a right on Piscassic Rd. Continue to a left turn on Oaklands Rd into Exeter, bearing to the right until it meets up with Beech Hill Rd. Turn right on Beech Hill Rd and continue ca. 0.24 mile to where the road goes over Beech Hill Brook. Turtle sighted on south side of road.

Dates documented

First reported: 1999-06-02
 Last reported: 1999-06-15

Cook, Richard A. and George W. Gavutis Jr. 1999. New Hampshire Estuaries Project: Survey of Breeding Birds of the Piscassic River Study Area. Prepared for the Audubon Society of New Hampshire. Concord, NH.

**Application to New Hampshire Division of Historical Resources
(DHR) and Project Review/Approval Letter (11/01/12)**

Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
19 Pillsbury Street, Concord, NH 03301-3570

RECEIVED
OCT 30 2012

DHR Use Only	
R&C #	4305
Log In Date	10/30/12
Response Date	10/31/12
Sent Date	11/1/12

Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal
- This is additional information relating to DHR Review & Compliance (R&C) #:

GENERAL PROJECT INFORMATION

Project Title Replacement of culvert below residential driveway

Project Location 60 Watson Road

City/Town Exeter Tax Map 26 Lot # 003

NH State Plane - Feet Geographic Coordinates: Easting 1169624 Northing 186881
(See RPR Instructions and R&C FAQs for guidance.)

Lead Federal Agency and Contact (if applicable) NA
(Agency providing funds, licenses, or permits)
Permit Type and Permit or Job Reference # NA

State Agency and Contact (if applicable) NHDES Wetlands Bureau
Permit Type and Permit or Job Reference # Wetlands Permit

APPLICANT INFORMATION

Applicant Name Scott Crawford

Mailing Address 60 Watson Road Phone Number 603-321-6985

City Exeter State NH Zip 03833 Email crawford@xdd-llc.com

CONTACT PERSON TO RECEIVE RESPONSE

Name/Company Scott Crawford

Mailing Address 60 Watson Road Phone Number 603 321-6985

City Exeter State NH Zip 03833 Email crawford@xdd-llc.com

This form is updated periodically. Please download the current form at <http://www.nh.gov/DHR/review>. Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. ^{Thank you} Include a self-addressed stamped envelope to expedite review response. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: <http://www.nh.gov/DHR/review> or contact the R&C Specialist at christina.st.louis@dcr.nh.gov or 603.271.3558.

PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- Attach the relevant portion of a 7.5' USGS Map (photocopied or computer-generated) *indicating the defined project boundary.* (See RPR Instructions and R&C FAQs for guidance.)
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) (Informative photo captions are requested.)
- A DHR file review must be conducted to identify properties within or adjacent to the project area. Provide file review results in **Table 1** or within project narrative description. (Blank table forms are available on the DHR website.)
File review conducted on / /

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area? Yes No
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): 32 years

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity? Yes No
If yes, submit all of the following information:

- Description of current and previous land use and disturbances.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

- Insufficient information to initiate review. Additional information is needed in order to complete review.
- No Potential to cause Effects No Historic Properties Affected No Adverse Effect Adverse Effect

Comments: _____

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: E. J. Meyer Date: 10/31/12

**New Hampshire Fish and Game Department Recommendations
Email (11/01/2012)**

Scott Crawford

From: Tuttle, Kim [Kim.Tuttle@wildlife.nh.gov]
Sent: Thursday, November 01, 2012 2:05 PM
To: Scott Crawford
Cc: John A Magee; frichardson@des.state.nh.us
Subject: NHB12-3104 culvert Bloody Brook, Exeter
Attachments: __streamstatsags.cr.usgs.gov_nh_ss_default.aspx_stabbr=nh&.pdf;
__streamstatsags.cr.usgs.gov_gisimg_Reports_BasinCharsRepo.pdf

Scott,

The NHFG Nongame and Endangered Species Program has reviewed NHB12-3104 for the proposed culvert replacement over Bloody Brook in Exeter. The NHB database check indicated the state endangered Blanding's turtle and the state threatened spotted turtle in the vicinity of the project. John Magee, NHFG Fisheries Habitat Biologist, used the USGS NH Streamstats tool (http://streamstats.usgs.gov/new_hampshire.html), which estimated the size of the watershed to be 0.76 square miles (~486 acres), so the stream falls into the Tier 2 category for stream crossings (see attached).

Blanding's turtles are highly terrestrial turtles and seasonally move across the landscape in search of feeding, nesting, and hibernation sites. This year, a female Blanding's turtle in Hooksett was radio tagged and found to have moved 2.1 miles from a nesting area to a large wetland complex. Although movement across landscapes is not limited to stream corridors and wetland routes, it is important to maintain aquatic species passage opportunities as turtles forced to cross roads by the lack of adequately sized or placed culverts are exposed to vehicle collision and personal collection by individuals. Many female Blanding's turtles do not begin to lay eggs until eighteen years of age and may continue to eighty years or more (Brecke and Moriarty, 1989), so every adult is important to the persistence of a population in a local area.

We recommend that the culvert be appropriately sized for a Tier 2 crossing to provide aquatic species passage opportunities for protected turtles and fish. At this site, it appears this can be accomplished by setting the culvert at a 0% slope and below the streambed such that it is backwatered with a couple of inches of water even at low water levels. A larger (e.g. >24 inch elliptical culvert) or short bridge should be considered at this crossing. This will have the added benefit of reducing the likelihood that the culvert will be damaged or that the driveway will flood during high stream flows. Please feel free to contact me if you have any further questions regarding this review.

Sincerely,

Kim Tuttle
Certified Wildlife Biologist
NH Fish and Game
Nongame and Endangered Species Program
603-271-6544

NH Fish and Game - Protecting Wildlife Since 1935

From: Scott Crawford [<mailto:crawford@xdd-llc.com>]
Sent: Thursday, November 01, 2012 10:37 AM
To: Tuttle, Kim
Subject: FW: NHB review: NHB12-3104

Hi Kim,

I just left you a voicemail. I am in the process of getting a wetlands permit to replace the small culvert below my driveway and the NHB review instructed me to contact you for further review.

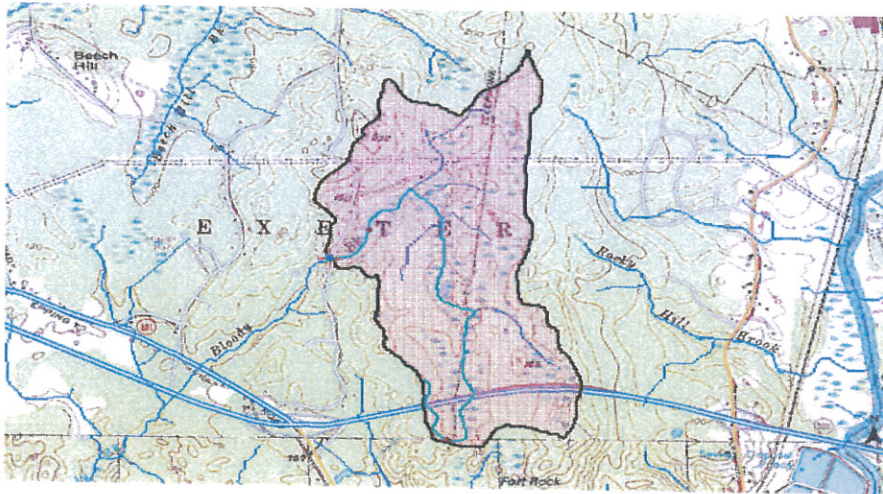
I also attached the information that I prepared for the NHDES wetlands bureau so that you can see the area that is proposed to be worked on. According the NHB review, the area that appears to have the turtles is on the other side of the street from my residence (my house is on the west side of Watson Rd and the large wetlands area is on the east side of the street). My project is downstream from the wetlands on the Bloody Brook.

Thank you,

Scott Crawford
603-321-6985



StreamStats Print Page



Explanation

- NHDHGage2
- NHDHdam2
- GlobalWatershedPoint
- Slip1095Point
- LongestFlowPath3D
- GlobalWatershed
- Stream Grid
- ExcludePoly
- Gaging Station, Continuous Record
- Low Flow, Partial Record
- Peak Flow, Partial Record
- Peak and Low Flow, Partial Record
- Stage Only
- Low Flow, Partial Record, Stage
- Miscellaneous Record
- Unknown

11/1/2012 9:24:39 AM

USGS Map

ATTORNEYS
DTCL
A T L A W

DONAHUE, TUCKER & CIANDELLA, PLLC
DEDICATED TO CLIENTS - DEDICATED TO COMMUNITY

MICHAEL J. DONAHUE
CHARLES F. TUCKER
ROBERT D. CIANDELLA
LIZABETH M. MACDONALD
JOHN J. RATIGAN
DENISE A. POULOS
ROBERT M. DEROSIER
CHRISTOPHER L. BOLDT
SHARON CUDDY SOMERS
DOUGLAS M. MANSFIELD
KATHERINE B. MILLER
CHRISTOPHER T. HILSON
JESSICA L. ECKER
KERIANN ROMAN
OF COUNSEL
JOY V. RIDDELL
NICHOLAS R. AESCHLIMAN
RETIRED
ROBERT B. DONOVAN
ROBERT A. BATTLES
(1951-2010)

HAND DELIVERED

RECEIVED

October 26, 2012

Kristen Murphy
Natural Resource Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

OCT 26 2012

EXETER PLANNING OFFICE

Re: The Meeting Place/Felder Kuehl Properties, LLC
Consolidation of Map 54, Lot 2 and Map 55, Lot 77-1

Dear Kristen:

Felder Kuehl is considering consolidating an industrially zoned parcel that was previously approved for site development (Map 54, Lot 2) with the Meeting Place residential project parcel (Map 55, Lot 77-1) creating additional open space area for the residential project. As you can see from the attached plans, Felder proposes to extend the public trail system of the project out to Industrial Drive.

I would like to schedule a meeting with you and Town Planner, Sylvia von Aulock to discuss this proposal after you have reviewed the plans. We would also respectfully request a consultation with the Commission to discuss the proposal at its meeting on November 13, 2012.

Once you have had a chance to review the plans please contact our Land Use Paralegal, Stephanie Guy, to schedule a time that is convenient to meet.

Very truly yours,
DONAHUE, TUCKER & CIANDELLA, PLLC



Michael J. Donahue
MJD/sag

Enclosures

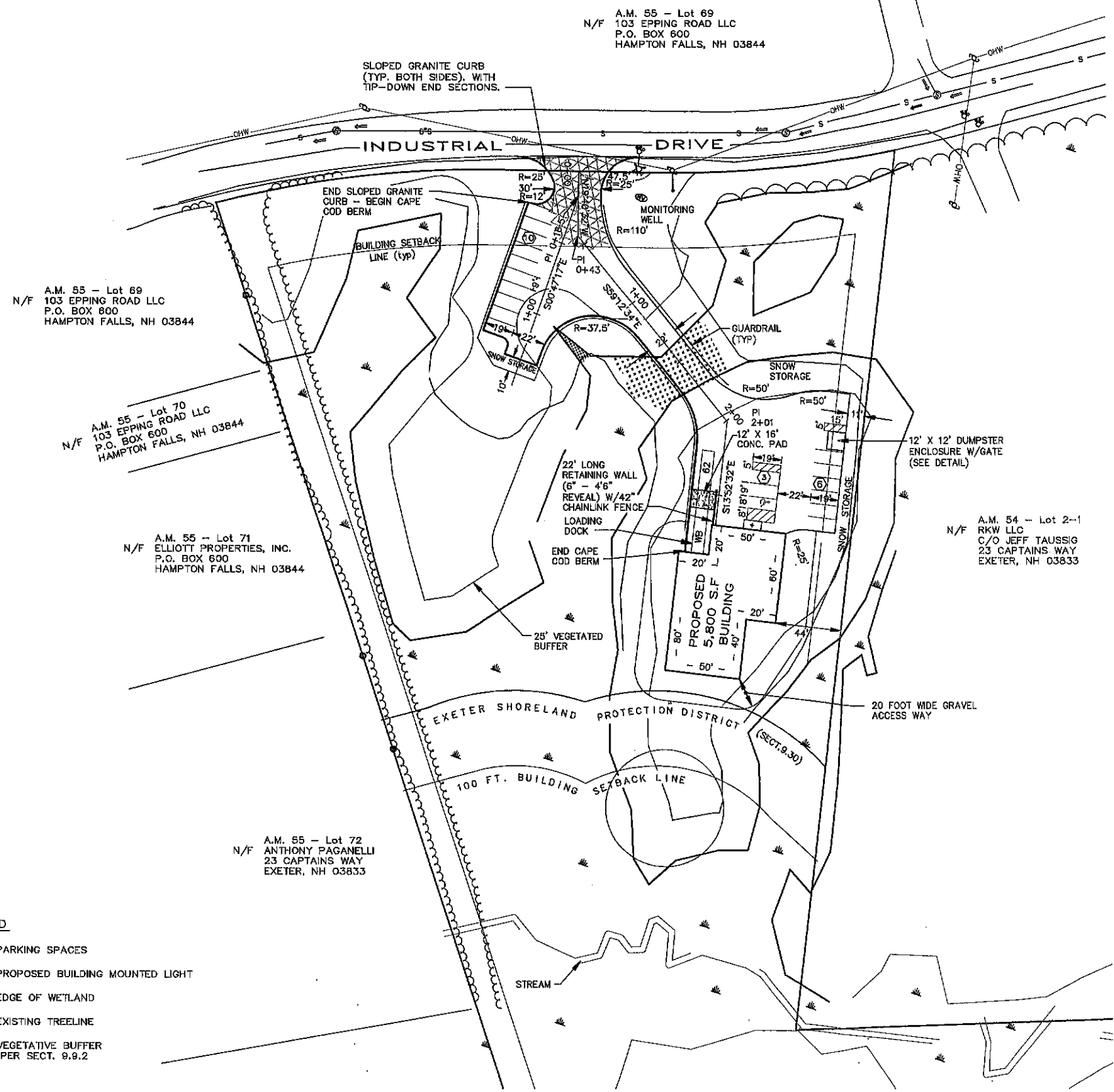
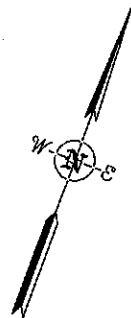
cc: Sylvia von Aulock
W. Robert Felder
Dana Lynch, P.E.
Stephanie Guy

EXETER OFFICE: WATER ST. PROF. BLDG. • 225 WATER STREET, P.O. Box 630 • EXETER, NH • 03833 • 603-778-0686

PORTSMOUTH OFFICE: 111 MAPLEWOOD AVENUE • SUITE D • PORTSMOUTH, NH 03801 • 603-766-1686

MEREDITH OFFICE: 56 NH ROUTE 25 • P.O. Box 214 • MEREDITH, NH 03253 • 603-279-4158

WWW.DTCLAWYERS.COM



N/F A.M. 55 - Lot 69
103 EPPING ROAD LLC
P.O. BOX 600
HAMPTON FALLS, NH 03844

N/F A.M. 55 - Lot 70
103 EPPING ROAD LLC
P.O. BOX 600
HAMPTON FALLS, NH 03844

N/F A.M. 55 - Lot 71
ELLIOTT PROPERTIES, INC.
P.O. BOX 600
HAMPTON FALLS, NH 03844

N/F A.M. 55 - Lot 72
ANTHONY PAGANELLI
23 CAPTAINS WAY
EXETER, NH 03833

N/F A.M. 55 - Lot 69
103 EPPING ROAD LLC
P.O. BOX 600
HAMPTON FALLS, NH 03844

N/F A.M. 54 - Lot 2-1
RKW LLC
C/O JEFF TAUSSIG
23 CAPTAINS WAY
EXETER, NH 03833

LAND USE CALCULATIONS

- OVERALL LAND USE CALCULATIONS
 - LOT AREA = 459,949 S.F.
 - UPLAND = 299,837 S.F. (65.2%)
 - WETLAND = 160,112 S.F. (34.8%)
 - BUILDING AREA = 5,800 S.F. (1.3%)
 - PAVEMENT AREAS = 18,024 S.F. (4.0%)
 - GREEN SPACE = 435,525 S.F. (94.7%)
- EXETER SHORELAND PROTECTION DISTRICT (ESPD)
 - LAND USE CALCULATIONS
 - LOT AREA IN ESPD = 254,990 S.F.
 - IMPERVIOUS IN ESPD = 0 S.F. (0%)

PARKING CALCULATIONS

- A.) REQUIRED FOR ARTICLE 5, SECTION 5.6.4:
 - MANUFACTURING @ 1 SPACE / EMPLOYEE = 13 SPACES
 - GENERAL OFFICE @ 1 SPACES / 250 S.F. = 6 SPACES
 - TOTAL = 19 SPACES
- B.) PROVIDED:
 - 19 SPACES INCL. 1 HANDICAP (VAN ACCESSIBLE)
- C.) PROPOSED PARKING SPACE DIMENSIONS = 9' x 19'
- PROPOSED AISLE WIDTH = 22'
- PROPOSED HANDICAP (VAN ACCESSIBLE) = 16' x 19'

NOTES:

- 1.) STRIPE PARKING AREAS AS SHOWN, INCLUDING: SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL MARKINGS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M-248-TYPE N.
- 2.) ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT, LATEST EDITIONS.
- 3.) PAINTED ISLANDS SHALL BE 4 INCH WIDE DIAGONAL LINES 3 FEET ON CENTER.
- 4.) THE SUBJECT PARCEL IS LOCATED IN THE INDUSTRIAL (I) DISTRICT WITH THE FOLLOWING REGULATIONS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	40,000 S.F.	459,949 S.F.
MINIMUM LOT WIDTH:	150 FEET	457 FEET
MINIMUM LOT DEPTH:	200 FEET	1,160 FEET
MAXIMUM HEIGHT:	50 FEET	32 FEET ±
MAXIMUM LOT COVERAGE:	40%	1.3%
- 5.) ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT AREAS OUTSIDE THE LIMITS OF THE EXETER SHORELAND PROTECTION DISTRICT (SEE PLAN).
- 6.) LAYOUT OF BUILDING CORNERS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AND SHALL BE BASED UPON THE ARCHITECTS FINAL FOUNDATION PLAN.

No.	DATE	BY	REVISION
4	7/25/03	DCL	REVISED PER FINAL COMMENTS
3	7/28/03	DCL	REVISED PER SITEMALK
2	7/15/03	DCL	REVISED PER CONCOMM./TECH. REV. COMMENTS
1	7/29/03	DCL	REVISED PER CONCOMM./TECH. REV. COMMENTS

SITE LAYOUT PLAN
FOR A MANUFACTURING / OFFICE FACILITY
TAX MAP 54, LOT 2
INDUSTRIAL DRIVE
EXETER, NEW HAMPSHIRE

prepared for: Felken, Inc.
16 Kingston Road, Unit #1
Exeter, NH 03833

owner of record: CKT Associates
P.O. Box 1070
Exeter, NH 03833

SCALE IN FEET

civilworks
engineers • surveyors

P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: KJF / DCL
SCALE: 1" = 40'
DATE: 7/18/03
SHEET 3 OF 11
PROJECT # 02150

- LEGEND**
- (5) - PARKING SPACES
 - ☼ - PROPOSED BUILDING MOUNTED LIGHT
 - ~ - EDGE OF WETLAND
 - ~ - EXISTING TREELINE
 - - - - - VEGETATIVE BUFFER PER SECT. 9.9.2



- SITE NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED CONDITIONS FOR A 122 UNIT RESIDENTIAL APARTMENT COMPLEX WITH ASSOCIATED PARKING, DRAINAGE AND AMENITIES.
 - PREPARED FOR/OWNER OF RECORD:
FELDER - KUEHL PROPERTIES, LLC
P.O. BOX 689
BRISTOL, NEW HAMPSHIRE
 - PARCEL IS LOCATED IN THE EXETER R-4 (MULTI-FAMILY RESIDENTIAL) DISTRICT.
 - STRIPED PARKING AREAS AS SHOWN, INCLUDING : SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL MARKINGS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M-248-TYPE N.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICAN WITH DISABILITIES ACT, LATEST EDITIONS.
 - PAINTED ISLANDS SHALL BE 4" WIDE STRIPING IN THE DIAGONAL; LINES 3 FEET ON CENTER.
 - ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT AREAS IN GENERAL AND AREAS SHOWN.
 - LAYOUT OF BUILDING CORNERS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AND SHALL BE BASED UPON THE ARCHITECTS FINAL FOUNDATION PLAN.
 - ALL PROPOSED STREET SIGNAGE SHALL CONFORM TO THE TOWN OF EXETER'S ZONING REQUIREMENTS AS WELL AS ALL STATE CODES. ALL SIGNAGE SHALL CONFORM TO THE MANUAL FOR UNIFORM CONTROL TRAFFIC DEVICE STANDARDS.
 - CONTRACTOR TO PROVIDE UNDERGROUND CONDUITS FOR ELECTRIC, CABLE TV, TELECOMMUNICATION AND ANY OTHERS IF NECESSARY. INSTALLATION SHALL CONFORM TO TOWN OF EXETER AND OTHER UTILITY COMPANY REQUIREMENTS.
 - ARCHITECT SHALL BE RESPONSIBLE FOR FINAL GRADES WITHIN 10 FEET OF THE BUILDING FOOTPRINT. CONTRACTOR TO COORDINATE WITH ARCHITECT ON FINAL GRADE OF SIDEWALKS, DOOR SILLS AND HANDICAPPED RAMP ELEVATIONS AS APPLICABLE.
 - NO STUMPS GENERATED BY THIS PROJECT SHALL BE DISPOSED OF ON-SITE.
 - ALL MATERIALS AND SITE CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE TOWN OF EXETER AND NHDOT STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION WILL GOVERN.
 - CONTRACTOR TO CALL DIG-SAFE (1-888-DIG-SAFE) AND EXETER D.P.W. (778-0591) AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. CONTRACTOR TO CALL DIG-SAFE EVERY MONTH THEREAFTER.
 - ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SUCH THAT THE LIGHTING IS CONTAINED ON SITE TO SHIELD ADJUTING ROADS AND PROPERTIES. SEE LIGHTING PLAN FOR DETAILS.
 - SILT BARRIER SHALL BE PLACED ALONG THE DOWNSLOPE SIDE OF ALL PROPOSED DISTURBED AREAS PRIOR TO CONSTRUCTION. STUMP GRINDINGS MAY BE USED AS SILT BARRIER SEE DETAIL. STONE CHECK DAMS SHALL BE PLACED AT 100' INTERVALS ALONG EACH DRAINAGE SWALE.
 - CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING EARTHWORK RELATED ITEMS. SEE OVERALL GRADING & EROSION CONTROL PLAN, GRADING, DRAINAGE & EROSION CONTROL PLAN AND EROSION CONTROL & GENERAL NOTES.
 - EROSION CONTROL MEASURES WERE DESIGNED IN ACCORDANCE WITH "STORMWATER MANAGEMENT & EROSION AND SEDIMENT CONTROL" HANDBOOK FOR URBAN & DEVELOPING AREAS IN NEW HAMPSHIRE (RCCO AUG '02), BEST MANAGEMENT PRACTICES, AND SMP FOR URBAN STORMWATER RUNOFF (NHDES JAN. '96).
 - ALL WATER, SEWER, ROAD (INCLUDING PARKING LOTS) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE". ALL WATER, SEWER AND DRAINAGE SHALL BE INSTALLED BY A CONTRACTOR HOLDING A VALID TOWN OF EXETER PIPE INSTALLER'S LICENSE.
 - FINAL STRUCTURAL DESIGN FOR RETAINING WALLS TO BE SUBMITTED TO THE BUILDING INSPECTOR AND TOWN ENGINEER FOR APPROVAL WITH ALL CALCULATIONS AND PLANS PRIOR TO ISSUANCE OF BUILDING PERMIT. STRUCTURAL DESIGN TO BE COMPLETED AND STAMPED BY A NEW HAMPSHIRE LICENSED STRUCTURAL ENGINEER. DESIGN ENGINEER SHALL INSPECT WALL DURING CONSTRUCTION AND CERTIFY THAT IT HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS SUBMITTED AS PART OF THE BUILDING PERMIT. AN AS-BUILT PLAN SHOWING WALL LOCATION AND DIMENSIONS SHALL BE SUBMITTED TO THE TOWN UPON COMPLETION.
 - BLASTING NOTE: "NOTE PROXIMITY TO TOWN WATER STORAGE TANK" BLASTING WHERE REQUIRED TO ACHIEVE FINAL GRADES, SHOULD BE CONTROLLED BY METHODS EMPLOYED BY A LICENSED BLASTER ACTING IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES. ALL BLASTING SHOULD BE PERFORMED IN ACCORDANCE WITH SECTION 203 OF THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
 - AS-BUILT INFORMATION & MYLARS TO BE SUBMITTED TO THE TOWN ENGINEER AFTER EACH PHASE OF CONSTRUCTION IS COMPLETED.

DIMENSIONAL REQUIREMENTS

THE RESIDENTIAL PORTION OF THE SUBJECT PROJECT IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:

- MIN. LOT AREA 7,000 SQ. FT./UNIT
- MIN. LOT WIDTH 100 FT.
- MIN. LOT DEPTH 100 FT.
- MAX. HEIGHT 40 FT./3 STORES
- MIN. YARD SETBACKS
 - FRONT 25 FT.
 - SIDE 20 FT./56 FT. (16 UNIT BLDG.)
 - REAR 40 FT.
- MAX. BLDG. COVERAGE 30 PERCENT
- MIN. OPEN SPACE 30 PERCENT

WETLAND SETBACKS (SECT. 9.8.2 SITE REV.)
75 FT. - PARKING AREAS / BUILDING
40-50 FT. - NO CONSTRUCTION DISTURBANCE/NO CLEARING

EXETER SHORELAND PROTECTION DISTRICT (SECT. 9.3.3.C.2 ZONING)
DISTRICT BOUNDARY = 150 FT. FROM MEAN HIGH WATER
MAX. COVERAGE = 10% (IMPERVIOUS) WITHIN DISTRICT
BLDG. SETBACK = 100 FT. (SECT. 9.3.4.C ZONING)

PERMETER BUFFER (SECT. 9.6.1.2 ZONING)
60 FT. REQUIRED
25 FT. NATURAL
25 FT. MANICURED/LANDSCAPED

OVERALL PARKING CALCULATIONS

(REF. 2011 TOWN OF EXETER ZONING ORDINANCE)

REQUIREMENT	SPACES
RETAIL UNITS	
9 UNITS WITH 1 BEDROOM	= 9 SPACES
87 UNITS WITH 2 BEDROOMS	= 174 SPACES
QUEST PARKING	= 24 SPACES
SUBTOTAL*	= 207 SPACES
ELDERLY HOUSING	
26 ELDERLY HOUSING UNITS	= 26 SPACES
26 UNITS x 1 SPACE/UNIT	= 26 SPACES
ELDERLY HOUSING EMPLOYEES	= 2 SPACES
2 EMPLOYEES x 1 SPACE/EMPLOYEE	= 2 SPACES
ELDERLY GUEST PARKING	= 5 SPACES
26 UNITS x 1 SPACE/6 UNITS	= 5 SPACES
SUBTOTAL**	= 33 SPACES
SUBTOTAL**	= 33 SPACES
TOTAL REQUIRED	= 240 SPACES
TOTAL PROVIDED	= 263 SPACES

- LEGEND**
- SIGN
 - POST
 - MAILBOX
 - BARBED WIRE FOUND ON GROUND
 - IRON PIPE/ROD FOUND
 - DRILL HOLE SET UNLESS OTHERWISE NOTED
 - 5/8" RE-BAR W/ ID CAP TO BE SET
 - JURISDICTIONAL WETLAND SYMBOL
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - PROPOSED PERVIOUS CONCRETE
 - CONCRETE PAD
 - PROPOSED SIDEWALK
 - PROPOSED CONCRETE PAD
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED GUARDRAIL
 - PROPOSED EDGE OF CURBED PAVEMENT
 - PROPERTY LINES
 - APPROX. ADJUTING LOT LINE
 - FENCE LINE
 - TREE LINE
 - STONE WALL
 - CHAINLINK FENCE
 - EDGE OF JURISDICTIONAL WETLAND
 - PARKING ALLOCATED TO BUILDING #1 (69 SPACES)
 - PARKING ALLOCATED TO BUILDING #2 (33 SPACES)
 - PARKING ALLOCATED TO BUILDING #4 (76 SPACES)

- PERMITS REQUIRED:**
NHDES - SITE SPECIFIC PERMIT: WFS-7409A, 2-18-2008
NHDES - WASTEWATER CONNECTION PERMIT: D2006-0410, 9-13-2005
- REFERENCE PLANS**
- SUBDIVISION PLAN OF TAX MAP 55 LOTS 75 & 76 AND TAX MAP 53 LOTS 100 & 101 FOR FELDER KUEHL PROPERTIES, LLC ROUTE 27 (EPPING ROAD), EXETER, NEW HAMPSHIRE, PREPARED BY DOUGET SURVEY INC, 102 KENT PLACE, NEWMARKET, NEW HAMPSHIRE 03857, DATED FEB. 7, 2006.
 - COMMERCIAL SITE PLAN "THE MEETING PLACE", FOR FELDER - KUEHL PROPERTIES, LLC, RETAIL, RESTAURANT & OFFICE FACILITY, TAX MAP 54, LOT 2 TAX MAP 55, LOTS 75 & 76, TAX MAP 53, LOTS 100& 101, ROUTE 27, EPPING ROAD, EXETER, NH, COUNTY OF ROCKINGHAM, DATED NOVEMBER 18, 2005; PREPARED BY CIVILWORKS INC, 181 WATSON ROAD, DOVER, NH 03820.
 - LOT LINE ADJUSTMENT, BETWEEN, TAX MAP 55, LOTS 75 & 75-1 FOR FELDER KUEHL PROPERTIES, LLC, ROUTE 27 (EPPING ROAD), EXETER, NH; PREPARED BY DOUGET SURVEY INC., 102 KENT PLACE, NEWMARKET, NEW HAMPSHIRE 03857, DATED FEB. 6, 2006.

No.	DATE	BY	REVISION

**OVERALL SITE PLAN
OPEN SPACE RESIDENTIAL SITE PLAN
"THE MEETING PLACE"
FELDER/KUEHL PROPERTIES, LLC
ROUTE 27, EPPING ROAD
EXETER, NEW HAMPSHIRE**

Prepared For: Owner of Record:
Felder - Kuehl Properties, LLC
P.O. Box 689
Bristol, New Hampshire 03822

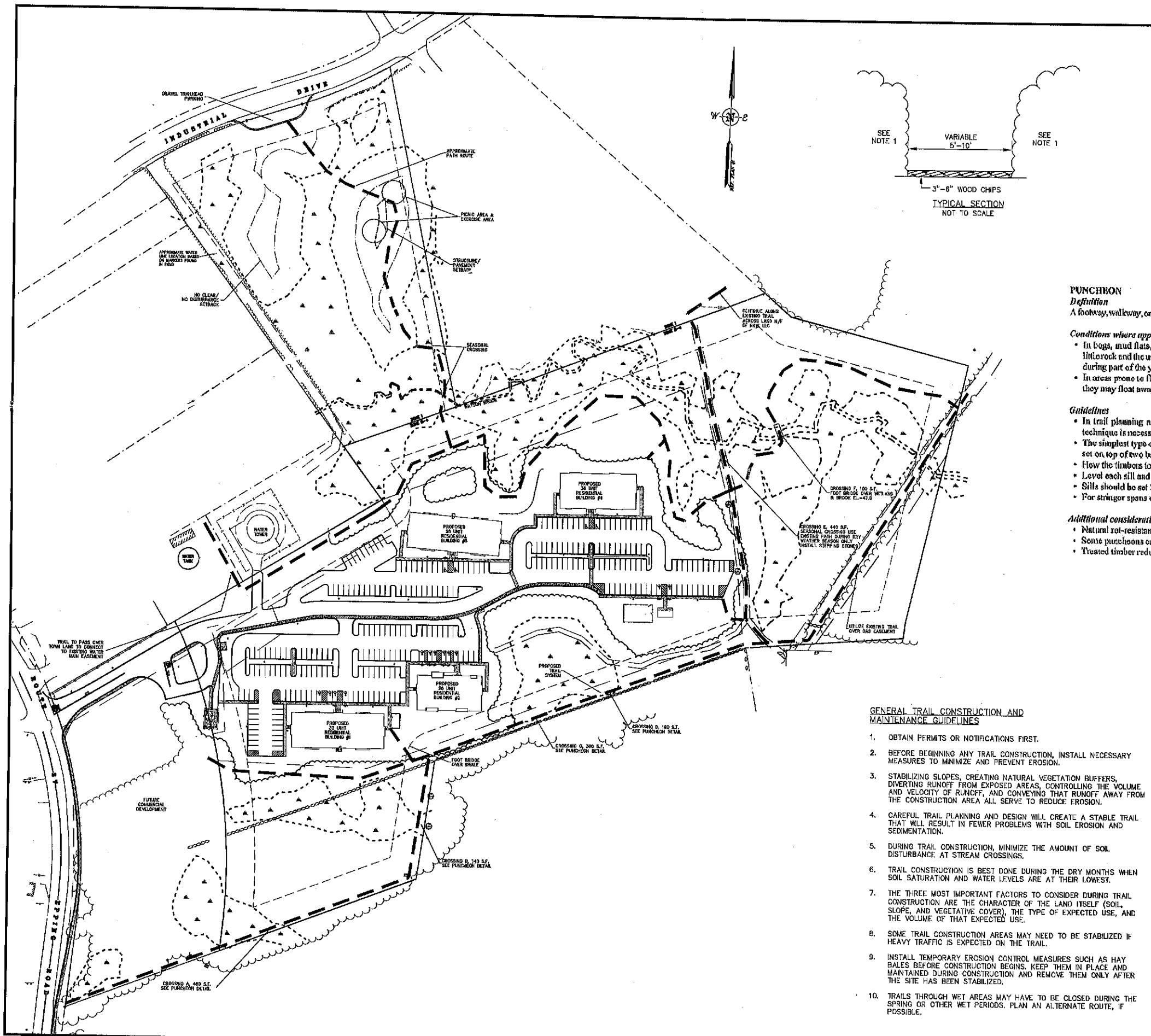
GRAPHIC SCALE

1252-SITE.DWG

civilworks
engineers + surveyors

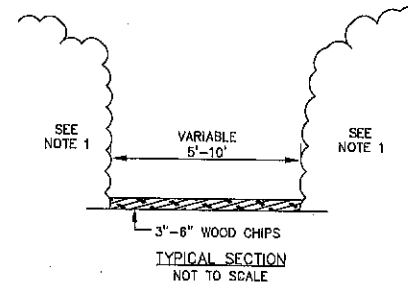
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL
SCALE: 1"=80'
DATE: 10-26-12
SHEET: 1 OF 1
PROJECT # 04121



GENERAL NOTES

1. THE TRAIL LOCATIONS AS SHOWN ARE SUBJECT TO MINOR ADJUSTMENT SO AS TO AVOID CUTTING OF MATURE TREE GROWTH OR TRAVERSING OF EXCESSIVELY STEEP SLOPES OR LARGE BOULDERS/ROCK OUTCROPS.
2. WHERE WETLAND CROSSINGS ARE UNAVOIDABLE (SEE CROSSINGS A THRU D), CROSSINGS SHALL BE PLACED AT THE NARROWEST WETLAND LOCATION.
3. AVOID USING HEAVY EQUIPMENT WHENEVER POSSIBLE, THUS REDUCING THE AMOUNT OF DISTURBANCES TO THE NATURAL RESOURCES.
4. TRAIL GRADES SHALL NOT EXCEED 20% EXCEPT FOR SHORT DISTANCES.
5. EARTH DISTURBANCE FOR PURPOSES OF TRAIL CONSTRUCTION SHALL BE MINIMIZED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE REQUIRED FOR TRAIL CONSTRUCTION.
6. WOOD CHIPS GENERATED BY LIMBING AND BRUSH CLEARING SHALL BE LEFT IN PLACE AS TRAIL BEDDING.
7. A PRE-CONSTRUCTION TRAIL WALK SHALL BE CONDUCTED WITH THE TOWN OF EXETER NATURAL RESOURCE MANAGER (TEL. 418-6462).
8. TRAILS SHALL BE MARKED IN ACCORDANCE WITH TOWN REQUIREMENTS WITH A 2"x6" RECTANGULAR BLAZE MARK PAINTED AS DIRECTED BY THE TOWN.



PUNCHED

Definition
A footway, walkway, or travel corridor constructed of wood, usually logs, to provide a dry treadway on fragile, wet terrain.

Conditions where appropriate

- In bogs, mud flats, and marshy areas where there is frequently little rock and the underlying soil is mucky or peaty and saturated during part of the year when the trail may be in use.
- In areas prone to flooding, puncheons are not recommended as they may float away.



Guidelines

- In trail planning and construction, attempt to avoid areas where this labor-intensive and highly impactive technique is necessary.
- The simplest type of puncheon is a topped-log puncheon, made with two stringers that form the treadway and set on top of two base logs that serve as the sills.
- Flow the timbers to make a flat walking surface and score the surface with an axe.
- Level each sill and cut notches where the stringers will be attached.
- Sills should be set 2" into the soil surface to provide for added stability.
- For stringer spans over 10', a center sill should be used.

Additional considerations

- Natural rot-resistant wood such as cedar, spruce, and hemlock are preferred.
- Some puncheons can be constructed of native materials, while others may require milled lumber.
- Treated timber reduces the potential for decay.

LEGEND

	SIGN
	JURISDICTIONAL WETLAND SYMBOL
	CONIFEROUS TREE
	DECIDUOUS TREE
	PROPOSED TREELINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED GUARDRAIL
	PROPOSED EDGE OF CURBED PAVEMENT
	PROPERTY LINES
	APPROX. ADJUTERS LOT LINE
	EASEMENT LINE
	TREE LINE
	STONE WALL
	CHAINLINK FENCE
	EDGE OF JURISDICTIONAL WETLAND

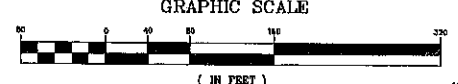
GENERAL TRAIL CONSTRUCTION AND MAINTENANCE GUIDELINES

1. OBTAIN PERMITS OR NOTIFICATIONS FIRST.
2. BEFORE BEGINNING ANY TRAIL CONSTRUCTION, INSTALL NECESSARY MEASURES TO MINIMIZE AND PREVENT EROSION.
3. STABILIZING SLOPES, CREATING NATURAL VEGETATION BUFFERS, DIVERTING RUNOFF FROM EXPOSED AREAS, CONTROLLING THE VOLUME AND VELOCITY OF RUNOFF, AND CONVEYING THAT RUNOFF AWAY FROM THE CONSTRUCTION AREA ALL SERVE TO REDUCE EROSION.
4. CAREFUL TRAIL PLANNING AND DESIGN WILL CREATE A STABLE TRAIL THAT WILL RESULT IN FEWER PROBLEMS WITH SOIL EROSION AND SEDIMENTATION.
5. DURING TRAIL CONSTRUCTION, MINIMIZE THE AMOUNT OF SOIL DISTURBANCE AT STREAM CROSSINGS.
6. TRAIL CONSTRUCTION IS BEST DONE DURING THE DRY MONTHS WHEN SOIL SATURATION AND WATER LEVELS ARE AT THEIR LOWEST.
7. THE THREE MOST IMPORTANT FACTORS TO CONSIDER DURING TRAIL CONSTRUCTION ARE THE CHARACTER OF THE LAND ITSELF (SOIL, SLOPE, AND VEGETATIVE COVER), THE TYPE OF EXPECTED USE, AND THE VOLUME OF THAT EXPECTED USE.
8. SOME TRAIL CONSTRUCTION AREAS MAY NEED TO BE STABILIZED IF HEAVY TRAFFIC IS EXPECTED ON THE TRAIL.
9. INSTALL TEMPORARY EROSION CONTROL MEASURES SUCH AS HAY BALES BEFORE CONSTRUCTION BEGINS. KEEP THEM IN PLACE AND MAINTAINED DURING CONSTRUCTION AND REMOVE THEM ONLY AFTER THE SITE HAS BEEN STABILIZED.
10. TRAILS THROUGH WET AREAS MAY HAVE TO BE CLOSED DURING THE SPRING OR OTHER WET PERIODS. PLAN AN ALTERNATE ROUTE, IF POSSIBLE.

No.	DATE	BY	REVISION

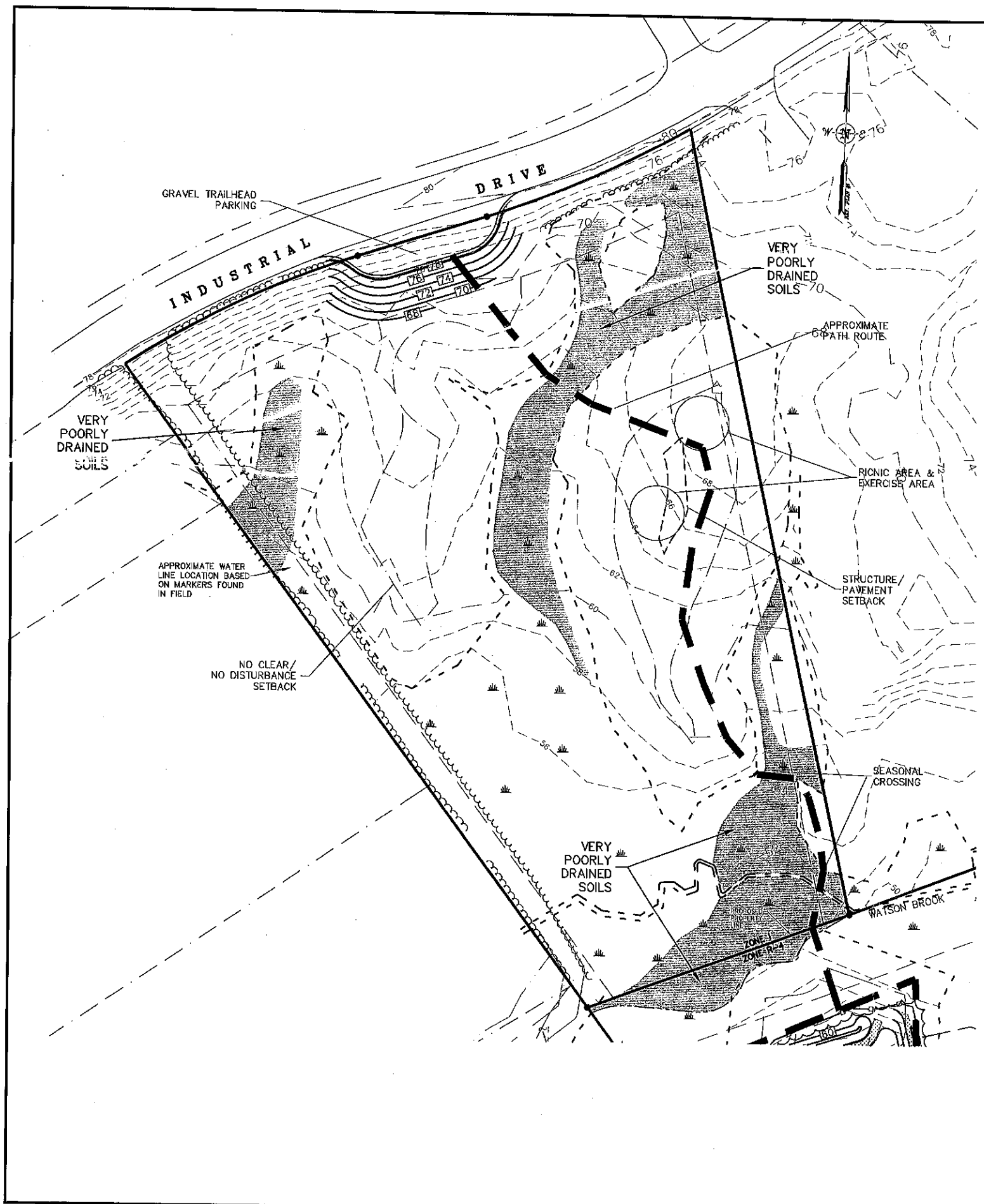
**TRAIL SYSTEM PLAN
OPEN SPACE RESIDENTIAL SITE PLAN
"THE MEETING PLACE"**
FELDER/KUEHL PROPERTIES, LLC
ROUTE 27, EPPING ROAD
EXETER, NEW HAMPSHIRE

Prepared For: Owner of Record:
Felder - Kuehl Properties, LLC
P.O. Box 689
Bristol, New Hampshire 03822



civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL
SCALE: 1"=80'
DATE: 10-26-2012
SHEET: 1 of 1
PROJECT # 04121



No.	DATE	BY	REVISION

PRELIMINARY TRAIL PLAN
TAX MAP 54 / LOT 2
 FELKON, INC.
 INDUSTRIAL DRIVE
 EXETER, NEW HAMPSHIRE
 Prepared For: Owner of Record:
 Felder - Kuehl Properties, LLC
 P.O. Box 689
 Bristol, New Hampshire 03822
GRAPHIC SCALE

 (IN FEET)

civilworks
 engineers • surveyors
 P.O. Box 1166
 Dover, NH 603-749-0443

DESIGN: DCL
SCALE: 1"=40'
DATE: 10-26-2012
SHEET: 1 OF 1
PROJECT # 04121

Draft Minutes

Exeter Conservation Commission

October 9, 2012

Call to Order

Acting Chairman Carlos Guindon called the meeting to order at 7:00 p.m. in the Nowak Room in the Exeter Town Office building. Members present were: Jay Gregoire, Russell Kaphan, Kevin Keaveney, Peter Richardson, Margaret Matick, Ginny Raub, Mike Field, and Kristen Murphy, Town Natural Resource Planner. Selectman Don Clement was also present.

There was no public comment.

Action Items

1. Forest Harvest Walk and Next Steps

Kristen Murphy provided minutes on the walk and proposed next steps. Upon reviewing the minutes, the members discussed 1) appropriate next steps for working with Charlie Moreno and 2) importance of outreach to the public on timber harvest plan.

Charlie would assist the Commission with identifying a list of logging companies with whom to contract for the harvest and he would also assist with administering the contract. There was some discussion on the Commission preference for a winter or summer harvest but more information from Charlie will be needed to make a final determination. Selectman Clement stated that Charlie Moreno is an excellent choice for this job because he knows loggers who will meet the specifications of the Commission.

Public outreach is important so residents understand what the timber harvest is, the need for it and goals of the project. Ginny Raub suggested that informational notices be posted at each of the access points of the forest. Selectman Clement added that maps be included in that information so people can see the areas impacted. Key to this educational information is ensuring the public knows the plan is for harvesting and not clear-cutting.

Carlos recommended moving forward with the next steps noted in the walk site minutes but also noted other work (clearing access areas, invasive species removal) that can be done to keep momentum going with the project while the contract issues are being finalized. Concerning budget issues, Selectman Clement noted it is hopeful that the harvest proceeds will pay the logging company work. Kristen explained that the logging company harvests and sells the timber with the proceeds split three ways: the logging company, Charlie Moreno and the Town.

Peter Richardson moved that the Commission hire Charlie Moreno to create a plan for the timber harvest, identify an appropriate logging company with whom to contract to carry out the harvest and a timeline for the harvest work. This information will then be presented to the Commission for review. Selectman Clement seconded, motion carried.

2. National Trails Day Event at Raynes Farm and Fall Festival

Ginny Raub reported that the Commission will host an open house on October 20th at the Raynes Barn. There will also be a raffle held for hiking gear. Commission members will be available at the Fall Festival at Swasey Parkway as well.

3. Future Raynes Events

Kristen and Ginny met with Kathy Thompson of the Arts Committee at the Raynes Barn to discuss opening the barn up for artists. The Arts Committee is interested in this idea.

A full moon snow shoe event is also planned at the Raynes Farm. The upcoming dates for a full moon in 2012 are November 28 and December 28; in 2013, January 26 and February 25.

4. Raynes Drainage Improvement Update

The Town has a long-term lease agreement with Nate Merrill of Stewart Farm. This long term lease made Nate eligible for NRCS grant to assist with cleaning out and improving the drainage on the property. Nate and Kristen are meeting with the Natural Resources Conversation Services on October 10 to get the NRCS design plans. The lease allows for planting and Kristen wanted mentioned this to be sure the Commission was aware that Nate plans to plant corn after the drainage improvements have been completed.

5. Seacoast School of Technology Water Monitoring Field Day

Kristen will meet with the SST class again on October 12 at the Squamscott Community trailer to demonstrate water quality monitoring equipment.

6. Property Management Plans Development – Linden Commons outline

Peter Richardson provided the Commission with a proposed outline of steps for developing a management plan for properties, beginning with the newly acquired Linden Commons easement. Carlos said that this outline is a great start to guide management of all the properties over time. An outline plan could be drafted after spending some time on the property and noting any unique features. Ginny agreed and thought the outline could be the template for each property to be monitored.

An ad hoc group was formed to refine the outline to make a general template. Members of the group are Peter Richardson, Kristen Murphy, Carlos Guindon and Russell Kaphan.

7. Spending Plan for remaining 2012 Funds

Kristen provided a handout showing the budget, receipts and expenditures ending 12/31/2012. There was some discussion on the need to locate the pins on the Smith-Page and Morrissette properties and that it is the legal responsibility of the Conservation Commission to monitor conservation properties and prevent encroachments by locating those pins. The estimated survey cost for each property is \$350-650 for Smith-Page and \$1,950 for Morrissette. Currently the Conservation Commission had approved a total of \$1,500 dollars. Russell Kaphan moved to approve the additional \$1,100 needed for the surveys. Jay Gregoire seconded, motion carried.

Under Education and Training, there are funds available to attend the NH Association of Conservation Commissions (NHACC) event on November 3rd.

There is \$1,377.99 available and Kristen recommended using it for the treatment of invasive species in connection with the proposed harvesting plan from Charlie Moreno. Funding for the treatment will be discussed at the next meeting once plan details are received from Charlie.

8. Boundary Survey for Smith-Page and Morrissette – see item above

9. Beech Hill Boundary Monitoring Date

Kristen has planned on getting the Conservation Commission together every third Saturday of a month. The Beech Hill boundary monitoring is moved to November 17th because we had planned to attend the Fall Festival in October. Kristen, Carlos, Peter and Jay will do the monitoring on the 17th. Carlos suggested that Steve Walker, Stewardship Specialist, lead the group if he is available.

Regular Business

1. Treasurer's Report

Reported by Ginny Raub: provided the August and September expenditures from the Finance Director; total expenditures submitted are \$7,573.91. It was noted that the Raynes account at Citizens Bank should be a separate account.

Peter Richardson moved to accept the Treasurer's Report, Maggie Matick seconded, motion carried.

2. Approval of Minutes

- September 11, 2012 meeting – the minutes will be amended as follows: delete the sentence "Ginny Raub volunteered to get information on surveyors' costs for other properties" from page 2. Jay Gregoire moved to approve minutes as amended, Peter Richardson seconded, motion carried.
- September 15, 2012 site walk – the minutes will be amended as follows: delete "Russell Kaphan" from list of attendees. Ginny Raub moved to approve minutes as amended, Maggie Matick seconded, motion carried.

3. Natural Resources Planner's Reports and Correspondence

- The Brentwood Conservation Commission will host a basic trail maintenance workshop on November 1st, 7-9 p.m.
- Kristen keeps a list of regional workshops and events that is available to Commission members. Kristen will email the link to the site again.
- Kristen attended the presentation on the Stewardship Network provided by the UNH Cooperative Extension. The Network is for volunteers to find meetings and to form groups of volunteers for specific needs. The Cooperative Extension requested communities to write letters of support and Kristen read her draft letter. The members accepted the letter and Kristen will sign on behalf of the Conservation Commission.

4. Other Business - none

5. **Next meeting date:** Tuesday, November 13, 2012 at 7 pm with new Acting Chair Russell Kaphan presiding. It was agreed to move tonight's scheduled work session to November 13th so members can email their input on the budget to Kristen Murphy in preparation for presentation at the Budget Committee meeting. The date of the Budget Committee meeting presentation to be confirmed.

Acting Chair Carlos Guindon moved to adjourn, Jay Gregoire seconded. Roll call vote: unanimous. The meeting adjourned at 9:17 p.m.

Respectfully submitted,

Chris deZarn-O'Hare
Recording Secretary