TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 •FAX 772-4709
www.exeternh.gov

PUBLIC NOTICE
EXETER CONSERVATION COMMISSION

Site Walk

The Exeter Conservation Commission will be conducting a site walk on **Tuesday, August 9th, 2016 at 5:30 P.M.**
The purpose of the walk is to review the Standard Dredge and Fill and Conditional Use Permit application for Tax Map 48-3

Monthly Meeting

The Exeter Conservation Commission will meet in the Nowak Room
of the Town Office Building, Exeter on **Tuesday, August 9th, 2016 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items

1. Rockingham Planning Commission C-Rise presentation *(Julie LaBranche, RPC)*
2. Proposed Acquisition Map 49/Lot 12 4.7 acres Depart. of Public Works *(Kevin Smart, DPW)*
3. Standard Dredge and Fill and Conditional Use Permit applications for Tax Map 48-3 (*Brendan Quigley, Gove Environmental Services*)
4. Committee Reports
    a. Property Management
        i. Henderson Swasey Timber Harvest
    b. Trails
        i. Trail Committee Meeting Date
    c. Outreach
        i. Raynes Farm Fall Festival
    d. Annual Planning Calendar & Focus Area Overview
5. Quarterly Treasurers Report
6. Approval of Minutes: July 12, 2016
7. Correspondence
8. Natural Resource Planners Report
9. Other Business
10. Next Meeting: Date (9/13/16), Submission Deadline (9/2/16)

Bill Campbell, Vice Chair
Exeter Conservation Commission
August 3rd, 2016 Exeter Town Office, Exeter Public Library, and Town Departments.

TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM

Date: August 2nd, 2016
To: Conservation Commission Board Members
From: Kristen Murphy, Natural Resource Planner
Subject: August 9th Conservation Commission Meeting

Site Walk: 5:30 Before Regular Meeting

The Dredge and Fill Application that will be before you this night includes a parcel of land where the trail for Henderson Swasey passes through private land from the Commerce Drive cul-de-sac. To help with review of the application I suggested and Carlos agreed that a site walk before the meeting may help in your review/recommendations. We will meet at the cul-de-sac and walk the property with the applicant and Gove rep.

C-Rise Presentation

Julie LaBranche of the Rockingham Planning Commission will be presenting their efforts in the C-Rise (Climate Risk in the Seacoast). See Brochure in packet.

Acquisition of Tax Map 49/12

The Department of Public Works is proposing the purchase of 4.7 acres of land adjacent to their facility. In accordance with NH RSA 41:14 a II (c), one step requires a recommendation of the Conservation Commission. This property lies adjacent to a conservation parcel managed by the Commission referred to as the Wilfred Moreau Nursery. In years past the Wilfred Moreau site was used to grow and store trees for replacement of street trees and shrubs for restoration. The appraisal is available for your review in the Planning Department.

CLIMATE RISK IN THE SEACOAST

Assessing Vulnerability of Municipal Assets and Resources to Climate Change

Rollinsford • Dover • Madbury • Durham • Newmarket • Newfields • Exeter • Stratham • Greenland • Newington

Climate Risk in the Seacoast (C-RiSe): Assessing Vulnerability of Municipal Assets and Resources to Climate Change is a project that will provide Great Bay municipalities with maps and assessments of flood impacts to key assets and natural resources associated with projected increases in storm surge, sea level and precipitation. Estimated completion Spring 2017.

PARTNER ORGANIZATIONS

New Hampshire Department of Environmental Services Coastal Program

NH GRANIT

Rockingham Planning Commission

Strafford Regional Planning Commission

UNH Stormwater Center

CONTACT

For more information about the C-RiSe Project, contact:

Steve Couture
NH Coastal Program
steven.couture@des.nh.gov
(603) 559-0027

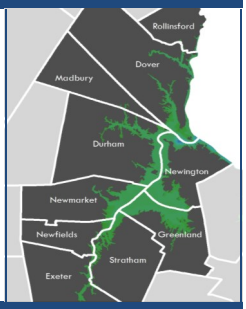
The C-RiSe project is funded by the National Oceanic and Atmospheric Administration under the Coastal Zone Management Act (CZMA) Enhancement Program Projects of Special Merit for FY 2015, authorized under Section 309 of the CZMA (16 U.S.C. § 1456b).

PROJECT COMPONENTS

SEA-LEVEL RISE AND STORM SURGE INUNDATION MAPPING

Water levels for sea-level rise (SLR) and sea-level rise combined with storm surge (SS) scenarios will be mapped for each municipality.

Scenarios			
SLR	1.7 feet	4.0 feet	6.3 feet
SS	1.7 feet + SS	4.0 feet + SS	6.3 feet + SS



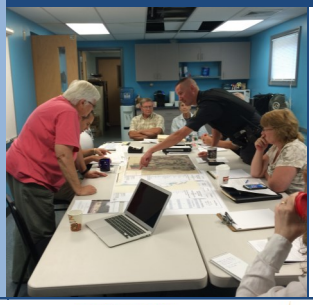
CULVERT ANALYSIS

Modeling will be developed to assess culvert hydrology, hydraulic capacity, and aquatic organism passage at various flows under projected climatic conditions. Modeling results will enable municipalities to identify and categorize culverts for replacement that have inadequate flow capacity and/or present barriers to passage of aquatic organisms.

VULNERABILITY ASSESSMENTS

A vulnerability assessment that quantifies and maps impacts to transportation systems, critical facilities and infrastructure, and natural resources will be conducted for each municipality in order to provide a broad overview of the potential risk and vulnerability of municipal assets and resources resulting from projected increases in storm surge, sea level and precipitation.

HAZARD MITIGATION PLANNING



Outreach and technical assistance will be provided to each municipality in order to inform municipal leaders about future flood risks and incorporate vulnerability assessment results and adaptation strategies into local planning efforts. Municipal vulnerability assessment reports will be prepared for potential inclusion in local hazard mitigation plans.

Town of Exeter
Public Works Department

Memo

To:	Exeter Conservation Commission, Exeter Planning Board
Thru:	Exeter Board of Selectmen
From:	Kevin Smart, Maintenance Superintendent
Date:	29 July 2016
Re:	Carr Property Acquisition
Cc:	Town Manager Russ Dean, Public Works Director Jennifer Perry

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Pursuant to NH RSA 41:14-c, a review and recommendation from the Town's Conservation Commission and Planning Board are being requested in conjunction with the Town's purchase of 4.7 acres of land abutting the Exeter Public Works complex on Newfields Road.

The parcel is owned by the Jaye L. Carr Trust 2000, 17 Newfields Road, Exeter, N.H. and identified as Tax Assessor's Map 49, Parcel 12. The parcel has no road frontage and is considered back land, and as such is landlocked by Public Works activities.

The Title Search was conducted by Title Pro., and an appraisal was completed in August 2015 by Craft Appraisals. The Purchase and Sale Agreement, and Deed were generated by Mitchell Municipal Group, P.A. and signed on July 11, 2016 for a purchase price of $24,000.00.

The intended use is the property is for General Government. A September 2016 purchase completion is desired.

I have attached the following for your review:

- Real Estate Appraisal Report prepared by Crafts Appraisal Associates
- Buffer Map of property
- Executed Purchase and Sale Agreement
- Copy of Warranty Deed

I would like to request that this matter be placed on the Conservation Commission 8/9/2016 meeting, and on the 8/11/2016 Planning Board's meeting agendas for consideration. If you should have any questions, please do not hesitate to contact me.

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS That **JAYE L. CARR, Trustee of the Jaye L. Carr Trust 2000,** having a mailing address of 17 Newfields Road, Exeter, NH 03833 for consideration paid, grants to **THE TOWN OF EXETER**, a municipal corporation organized under the laws of the State of New Hampshire and having a mailing address of 10 Front Street, Exeter, NH 03833 with WARRANTY COVENANTS, the following described premises:

A certain tract or parcel of land in Exeter, County of Rockingham and State of New Hampshire, lying easterly of the Newmarket Road, now known as the Newfields Road and/or Route 85, but not adjacent thereto, said parcel of land being on the easterly side of land now or formerly of the Boston & Maine Corp., bounded and described as follows:

Beginning at a point on the easterly boundary of land of Boston & Maine Corp. at the southwesterly corner of the within described premises and at a stone wall at land now or formerly of Exeter Industrial Development Corp. and thence running N 46° E along land of said Boston & Maine Corp. 116 feet, more or less, to a point; thence continuing N 35° 30' E along land of said Boston & Maine Corp. 437 feet, more or less, to appoint at a wall at land now or formerly of Paul E. and Anne S. Molloy; thence turning and running S 75° 30' E along said wall and along land of said Molloys 440 feet, more or less, to a point at land of the Town of Exeter; thence turning and running S 39° 00' W along land of the Town of Exeter 428 feet, more or less, to a point; thence continuing S 69° 30' W along land of the Town of Exeter 252 feet, more or less, to a point at land now or formerly of Exeter Industrial Development Corp.; thence turning and running N 71° W along land of said Exeter Industrial Development Corp. 266 feet, more or less, to the point of beginning.

Together with and including such rights of way as may exist over and across the above mentioned land of Boston & Maine Corp. See that parcel containing 4.7 acres, more or less, on Plan entitled "Sketch Plan of Land, Exeter, N.H., Isaac L. Williams to Charles H. Bickford" dated Sept. 1972 by John W. Durgin Civil Engineers, and recorded in the Rockingham County Registry of Deeds as Plan D-3321 and deed of Isaac L. Williams to Charles H. Bickford et al dated November 20, 1972 and recorded in said Registry at Book 2186, Page 0262.

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

, 2016

Personally appeared the above-named Jaye L. Carr, Trustee of the Jaye L. Carr Trust 2000, known to me or satisfactorily proven to be the within named, and acknowledged the foregoing instrument for the purposes herein contained as her free act and deed on behalf of said Trust.

Before me,

Notary Public
My Commission Expires:

TRISHA K. ALLEN, Notary Public
My Commission Expires February 20, 2018

PURCHASE AND SALE AGREEMENT

AGREEMENT made this 11 day of July, 2016 by and between Jaye L. Carr, Trustee of the Jaye L. Carr Trust 2000, with a mailing address of 17 Newfields Road, Exeter, New Hampshire 03833, (SELLER), and the Town of Exeter, a municipal corporation duly organized under the laws of the State of New Hampshire with a principal place of business and mailing address of 10 Front Street, Exeter, New Hampshire 03833 (BUYER).

WITNESSETH

1. Premises: SELLER agrees to sell and convey and BUYER agrees to buy land and buildings known as Lot 12, Newfields Road conveyed to the SELLER by deed of Mary Greene, Trustee of the Mary Greene Revocable Living Trust, by deed dated September 26, 2014 recorded in the Rockingham County Registry of Deeds at Book 5563, Page 1625. A copy of said the proposed deed to the BUYER is attached hereto as Appendix A and made a part hereof.

2. Purchase Price:

Purchase Price is $ 24,000

3. Deed: The property shall be conveyed by a good and sufficient warranty deed conveying good, clear record and marketable title and shall be free and clear of all encumbrances except the Current Use Taxation lien pursuant to RSA 79-A and usual public utilities servicing the property and any matters set forth in Appendix A. The deed shall include a 25' setback along the railroad track side of the property.

4. Transfer of Title: Transfer of title shall take place on or before September 15, 2016 at the offices of BUYER, or such other place and time as may be mutually agreed upon. In the event of a written petition of 50 registered voters presented to the selectmen, prior to the selectmen's vote pursuant to RSA 41:14-a, the transfer of title shall take place no later than April 15, 2017.

5. Possession: Possession of the premises shall be free of all tenants, personal property, and encumbrances except as herein stated and is to be given on or before transfer of title.

6. Agent or Broker: The parties hereto agree that no agent or broker brought about this sale on behalf of either party.

7. Examination of Title: If BUYER desires an examination of title, it shall pay the cost thereof. If, upon examination of title by counsel for the BUYER, the title is unmarketable, the BUYER shall notify SELLER no later than July 1, 2016 of the title defects which cause the title to be unmarketable. In such event, the SELLER shall have the option to use reasonable efforts to remove any such defect in title or to

Agreement is entered into by each party after opportunity for investigation, neither party relying on any statements or representations not embodied in this Agreement, made by the other or on his behalf.

14. Construction of Agreement: This Agreement, executed in duplicate, shall be construed as a New Hampshire contract.

15. Waiver: The waiver by any party of any breach of any provision of this Agreement shall not operate as, or be construed as a waiver of any subsequent breach thereof.

16. Severability: Should any provision of this Agreement or any portion of any provision of this Agreement be held invalid or unenforceable according to law, the remaining portions hereof shall not be effected thereby but shall continue in full force and effect.

WITNESS our hands this 11 day of July, 2016.

SELLER:

JAYE L. CARR, TRUSTEE OF THE JAYE L. CARR TRUST 2000

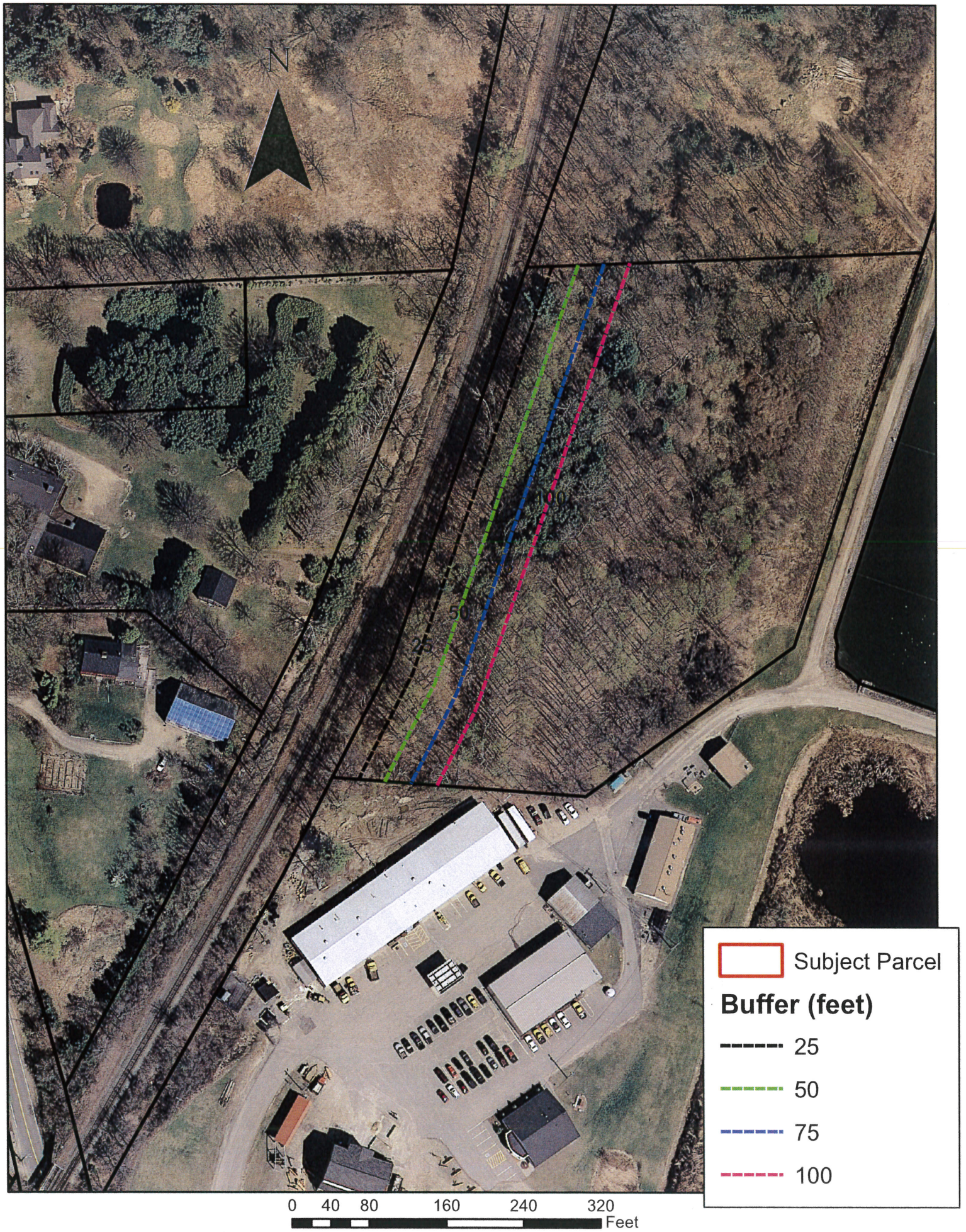
By: Jaye L. Carr, Trustee
Jaye L. Carr, Trustee

BUYER:

TOWN OF EXETER

By: _____
Russell Dean, Town Manager
Duly Authorized

Map 49 Lot 12


N
100
50
25
Subject Parcel
Buffer (feet)
25
50
75
100
0 40 80 160 240 320
Feet

GOVE ENVIRONMENTAL SERVICES, INC.

NH DES WETLANDS BUREAU
DREDGE & FILL APPLICATION

For

C3i, INC.

8 Commerce Way

Exeter, NH

August 3, 2016

Prepared By

Gove Environmental Services, Inc.
8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526
Ph (603) 778 0644 / *Fax* (603) 778 0654
info@gesinc.biz / www.gesinc.biz

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List of Figures (located before the Appendicies)

List of Appendices

NH DES Dredge & Fill Application Form

NHDES-W-06-012

WETLANDS PERMIT APPLICATION

Water Division/ Wetlands Bureau
Land Resources Management

Check the status of your application: www.des.nh.gov/onestop

RSA/Rule: RSA 482-A/ Env-Wt 100-900

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

1. REVIEW TIME: Indicate your Review Time below. To determine review time, refer to Guidance Document A for instructions.

☒ Standard Review (Minimum, Minor or Major Impact) ☐ Expedited Review (Minimum Impact only)

2. MITIGATION REQUIREMENT:

If mitigation is required a Mitigation-Pre Application meeting must occur prior to submitting this Wetlands Permit Application. To determine if Mitigation is Required, please refer to the Determine if Mitigation is Required Frequently Asked Question.

Mitigation Pre-Application Meeting Date: Month: __ Day: __ Year: ____

☒ N/A - Mitigation is not required

3. PROJECT LOCATION:

Separate wetland permit applications must be submitted for each municipality that wetland impacts occur within.

ADDRESS: **8 Comerce Way**		TOWN/CITY: **Exeter**	
TAX MAP: **48**	BLOCK:	LOT: **3**	UNIT:
USGS TOPO MAP WATERBODY NAME: **Norris Brook** ☐ NA		STREAM WATERSHED SIZE: **51 ac.** ☐ NA	
LOCATION COORDINATES (If known): **N181667 E1172432** ☐ Latitude/Longitude ☐ UTM			

4. PROJECT DESCRIPTION:

Provide a brief description of the project outlining the scope of work. Attach additional sheets as needed to provide a detailed explanation of your project. DO NOT reply "See Attached" in the space provided below.

The project includes a two story, 12,000 SF office and light manufacturing facility, associated access road, parking, loading areas, and stormwater management features. The project proposes a total of 5,183 square feet of direct wetland impact and 108 linear feet (36.1'x3) of impact to a perennial stream.

5. SHORELINE FRONTAGE:

☒ NA This does not have shoreline frontage. SHORELINE FRONTAGE:

Shoreline frontage is calculated by determining the average of the distances of the actual natural navigable shoreline frontage and a straight line drawn between the property lines, both of which are measured at the normal high water line.

6. RELATED NHDES LAND RESOURCES MANAGEMENT PERMIT APPLICATIONS ASSOCIATED WITH THIS PROJECT:

Please indicate if any of the following permit applications are required and, if required, the status of the application.

To determine if other Land Resources Management Permits are required, refer to the Land Resources Management Web Page.

Permit Type	Permit Required	File Number	Permit Application Status
Alteration of Terrain Permit Per RSA 485-A:17	☒ YES ☐ NO	_____	☐ APPROVED ☒ PENDING ☐ DENIED
Individual Sewerage Disposal per RSA 485-A:2	☐ YES ☒ NO	_____	☐ APPROVED ☐ PENDING ☐ DENIED
Subdivision Approval Per RSA 485-A	☐ YES ☒ NO	_____	☐ APPROVED ☐ PENDING ☐ DENIED
Shoreland Permit Per RSA 483-B	☐ YES ☒ NO	_____	☐ APPROVED ☐ PENDING ☐ DENIED

7. NATURAL HERITAGE BUREAU & DESIGNATED RIVERS:

See the Instructions & Required Attachments document for instructions to complete a & b below.

a. Natural Heritage Bureau File ID: NHB **16** - **2067** .

b. ☐ Designated River the project is in ¼ miles of: _____ ; and
date a copy of the application was sent to the Local River Management Advisory Committee: Month: __ Day: __ Year: ____
☒ N/A

8. APPLICANT INFORMATION (Desired permit holder)

LAST NAME, FIRST NAME, M.I.: **C/O Michael Curry**			
TRUST / COMPANY NAME: **C3i, Inc**	MAILING ADDRESS: **4 Merrill Industrial Dr. suite #108**		
TOWN/CITY: **Hampton**		STATE: **NH**	ZIP CODE: **03842**
EMAIL or FAX: **mcurry@c3i-usa.com**	PHONE: **6039299989**		
ELECTRONIC COMMUNICATION: By initialing here: _____, I hereby authorize NHDES to communicate all matters relative to this application electronically			

9. PROPERTY OWNER INFORMATION (If different than applicant)

LAST NAME, FIRST NAME, M.I.: **C/O John Shaftmaster**			
TRUST / COMPANY NAME: **JSS and Associates**	MAILING ADDRESS: **158 Shattuck Way**		
TOWN/CITY: **Newington**		STATE: **NH**	ZIP CODE: **03801**
EMAIL or FAX:	PHONE:		
ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize NHDES to communicate all matters relative to this application electronically			

10. AUTHORIZED AGENT INFORMATION

LAST NAME, FIRST NAME, M.I.: **Brendan Quigley**	COMPANY NAME: **Gove Environmental Services, Inc.**		
MAILING ADDRESS: **8 Continental Drive Bldg 2 Unit H**			
TOWN/CITY: **Exeter**		STATE: **NH**	ZIP CODE: **03833**
EMAIL or FAX: **bquigley@gesinc.biz**	PHONE: **6037780644**		
ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize NHDES to communicate all matters relative to this application electronically			

11. PROPERTY OWNER SIGNATURE:

See the Instructions & Required Attachments document for clarification of the below statements

By signing the application, I am certifying that:

1. I authorize the applicant and/or agent indicated on this form to act in my behalf in the processing of this application, and to furnish upon request, supplemental information in support of this permit application.
2. I have reviewed and submitted information & attachments outlined in the Instructions and Required Attachment document.
3. All abutters have been identified in accordance with RSA 482-A:3, I and Env-Wt 100-900.
4. I have read and provided the required information outlined in Env-Wt 302.04 for the applicable project type.
5. I have read and understand Env-Wt 302.03 and have chosen the least impacting alternative.
6. Any structure that I am proposing to repair/replace was either previously permitted by the Wetlands Bureau or would be considered grandfathered per Env-Wt 101.47.
7. I have submitted a Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) to the NH State Historic Preservation Officer (SHPO) at the NH Division of Historical Resources to identify the presence of historical/ archeological resources while coordinating with the lead federal agency for NHPA 106 compliance.
8. I authorize NHDES and the municipal conservation commission to inspect the site of the proposed project.
9. I have reviewed the information being submitted and that to the best of my knowledge the information is true and accurate.
10. I understand that the willful submission of falsified or misrepresented information to the New Hampshire Department of Environmental Services is a criminal act, which may result in legal action.
11. I am aware that the work I am proposing may require additional state, local or federal permits which I am responsible for obtaining.
12. The mailing addresses I have provided are up to date and appropriate for receipt of NHDES correspondence. NHDES will not

Property Owner Signature	Print name legibly	Date
		/ /

MUNICIPAL SIGNATURES

12. CONSERVATION COMMISSION SIGNATURE

The signature below certifies that the municipal conservation commission has reviewed this application, and:

1. Waives its right to intervene per RSA 482-A:11;
2. Believes that the application and submitted plans accurately represent the proposed project; and
3. Has no objection to permitting the proposed work.

⇨	Print name legibly	Date

DIRECTIONS FOR CONSERVATION COMMISSION

1. Expedited review ONLY requires that the conservation commission's signature is obtained in the space above.
2. Expedited review requires the Conservation Commission signature be obtained **prior** to the submittal of the original application to the Town/City Clerk for signature.
3. The Conservation Commission may refuse to sign. If the Conservation Commission does not sign this statement for any reason, the application is not eligible for expedited review and the application will reviewed in the standard review time frame.

13. TOWN / CITY CLERK SIGNATURE

As required by Chapter 482-A:3 (amended 2014), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

⇨ Town/City Clerk Signature	Print name legibly	Town/City	Date

DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3,I

1. For applications where "Expedited Review" is checked on page 1, if the Conservation Commission signature is not present, NHDES will accept the permit application, but it will NOT receive the expedited review time.
2. IMMEDIATELY sign the original application form and four copies in the signature space provided above;
3. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
4. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board; and
5. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

1. Submit the single, original permit application form bearing the signature of the Town/ City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery.

14. IMPACT AREA:

For each jurisdictional area that will be/has been impacted, provide square feet and, if applicable, linear feet of impact

Permanent: impacts that will remain after the project is complete.

Temporary: impacts not intended to remain (and will be restored to pre-construction conditions) after the project is complete.

JURISDICTIONAL AREA	PERMANENT Sq. Ft. / Lin. Ft.		TEMPORARY Sq. Ft. / Lin. Ft.	
Forested wetland	5183	☐ ATF		☐ ATF
Scrub-shrub wetland		☐ ATF		☐ ATF
Emergent wetland		☐ ATF		☐ ATF
Wet meadow		☐ ATF		☐ ATF
Intermittent stream		☐ ATF		☐ ATF
Perennial Stream / River	/ 108	☐ ATF	/	☐ ATF
Lake / Pond	/	☐ ATF	/	☐ ATF
Bank - Intermittent stream	/	☐ ATF	/	☐ ATF
Bank - Perennial stream / River	/	☐ ATF	/	☐ ATF
Bank - Lake / Pond	/	☐ ATF	/	☐ ATF
Tidal water	/	☐ ATF	/	☐ ATF
Salt marsh		☐ ATF		☐ ATF
Sand dune		☐ ATF		☐ ATF
Prime wetland		☐ ATF		☐ ATF
Prime wetland buffer		☐ ATF		☐ ATF
Undeveloped Tidal Buffer Zone (TBZ)		☐ ATF		☐ ATF
Previously-developed upland in TBZ		☐ ATF		☐ ATF
Docking - Lake / Pond		☐ ATF		☐ ATF
Docking - River		☐ ATF		☐ ATF
Docking - Tidal Water		☐ ATF		☐ ATF
TOTAL	/ 5183		/	

15. APPLICATION FEE: See the Instructions & Required Attachments document for further instruction

☐ Minimum Impact Fee: Flat fee of $ 200

☐ Minor or Major Impact Fee: Calculate using the below table below

Permanent and Temporary (non-docking) **5183** sq. ft. X $0.20 = $ **1,036.60**

Temporary (seasonal) docking structure: _____ sq. ft. X $1.00 = $ _____

Permanent docking structure: _____ sq. ft. X $2.00 = $ _____

Projects proposing shoreline structures (including docks) add $200 = $ _____

Total = $ **1,036.60**

The Application Fee is the above calculated Total or $200, whichever is greater = $ **1,036.60**

WETLANDS PERMIT APPLICATION – ATTACHMENT A
MINOR AND MAJOR - 20 QUESTIONS

Water Division/ Wetlands Bureau/ Land Resources Management

Check the Status of your application: www.des.nh.gov/onestop

RSA/ Rule: RSA 482-A, Env-Wt 100-900

Env-Wt 302.04 Requirements for Application Evaluation - For any major or minor project, the applicant shall demonstrate by plan and example that the following factors have been considered in the project's design in assessing the impact of the proposed project to areas and environments under the department's jurisdiction. Respond with statements demonstrating:
1. The need for the proposed impact.
The purpose of the proposed project is to construct an office and light manufacturing facility which will allow a growing New Hampshire business to relocate within the state, nearby to their existing operation. The business for which the facility is proposed must relocate due to their lease expiring at the end of the year and must gain approvals to begin construction this coming winter
2. That the alternative proposed by the applicant is the one with the least impact to wetlands or surface waters on site.
The facility has been located in the middle of the large contiguous upland area on the site and outside of the riparian buffer to Norris Brook (150' Exeter Shoreland Protection District). Impacts at the stream crossing are necessary in order to access this buildable upland with no other non-impact option being available. The crossing is located at the narrowest point and also makes use of an existing trail crossing located at the very beginning of the Norris Brook channel. Other impacts have been have limited to the disturbed wetland directly adjacent to Commerce Way and a small point of a wetland finger extending up into the interior of the site. Additional stream impacts or impacts to the large wetland complex to the north and east have been avoided. The proposed alternative is therefore the least impacting alternative.

3. The type and classification of the wetlands involved.

The dominant wetland is a large beaver impoundment, existing mostly off-site, and containing a complex of different wetland types. The most relevant wetlands in vicinity of the project are scrub shrub and emergent wetland (PSS1Hb & PEM5Hb). This large wetland forms the headwaters of Norris Brook which originates at its southern. The stream begins with a poorly defined channel through a small forested wetland area before the existing trail crossing where it becomes well-defined channel amongst a steep section of boulders, characteristic of this area. The stream is depicted on the USGS Map (Exeter quadrangle) as perennial (R5RB2) though has been observed dry on nearly all occassions.

4. The relationship of the proposed wetlands to be impacted relative to nearby wetlands and surface waters.

The wetlands are associated with Norris Brook

5. The rarity of the wetland, surface water, sand dunes, or tidal buffer zone area.

The wetalnds asccoaied with this project are not uncommon in this area or in NH.

6. The surface area of the wetlands that will be impacted.

The project proposes a total of 5,183 square feet of direct wetland impact and 108 linear feet (36.1' x3) of impact to a perennial stream.

7. The impact on plants, fish and wildlife including, but not limited to:
   a. Rare, special concern species;
   b. State and federally listed threatened and endangered species;
   c. Species at the extremities of their ranges;
   d. Migratory fish and wildlife;
   e. Exemplary natural communities identified by the DRED-NHB; and
   f. Vernal pools.

The New Hampshire Natural Heritage Bureau (NHB16-2067) has indicated there is a single rare plant species and rare animal located in the vicinity of the project site. The attached correspondence with Amy Lamb indicates that that there are no concerns with the plant species since the project will n ot impact its habitat. A response from Fish and Game regarding the rare animal occurance was pending at the time of this application. An update will be provided when available.

Additionally, the USFWS was contacted via the IPaC project review portal. This review indicated the project was within the range of the threatened Northern Long Eared Bat. Though forested, the project will commence this winter with all tree removal being conducted outside the time of year restriction specified in the 4d rule for this species.

8. The impact of the proposed project on public commerce, navigation and recreation.

The project will have net positive impact on public commerce through job creation, tax base, and the sales of the goods that facility will create. The property is entirely private and offers no right of public recreation. The project will however allow the for continued access to the abutting town forest trails. The property does not have any connectivity for waterway navigation.

9. The extent to which a project interferes with the aesthetic interests of the general public. For example, where an applicant proposes the construction of a retaining wall on the bank of a lake, the applicant shall be required to indicate the type of material to be used and the effect of the construction of the wall on the view of other users of the lake.

The site of the proposed project is an existing development lot within an existing induistrial park. The proposed deevelopment is entierly consistent with the existing uses and zoning and should have no impact on the aesthetic intersts of the public .

10. The extent to which a project interferes with or obstructs public rights of passage or access. For example, where the applicant proposes to construct a dock in a narrow channel, the applicant shall be required to document the extent to which the dock would block or interfere with the passage through this area.

This site is private property with no current right of public passage. The informal but well used access trail to the adjacent town forest trail system will, however, be re-routed by the applicant and continued access will be allowed

11. The impact upon abutting owners pursuant to RSA 482-A:11, II. For example, if an applicant is proposing to rip-rap a stream, the applicant shall be required to document the effect of such work on upstream and downstream abutting properties.

Proposed impacts are completely contained on the site and will not affect abutters in any way. The open bottom arch crossing exceeds stream crossing standrads and will not alter the flow of Norris Brook. Drainage from the proposed development will be handled on-site by a series of gravel wetlands and bio-retentio basins, therefore ensuring there will be no impact to abutting properties upstream or downstream from the site.

12. The benefit of a project to the health, safety, and well being of the general public.

The project invoves the construction of a facility that will serve as office space and light manufacturing space, consistent with the other uses in this industrial zoned area of Exeter. The project will have no effect on public health or well being

13. The impact of a proposed project on quantity or quality of surface and ground water. For example, where an applicant proposes to fill wetlands the applicant shall be required to document the impact of the proposed fill on the amount of drainage entering the site versus the amount of drainage exiting the site and the difference in the quality of water entering and exiting the site.

The comprehensive stormwater management proposed for the development will ensure that there is no chang to the quantity or quality of stormwater post development.

14. The potential of a proposed project to cause or increase flooding, erosion, or sedimentation.

These interests will be protected during the construction term through best management practices as specified in the plans. Post development the stormwater management system will ensure that erosion and sedimentation do not occur.

15. The extent to which a project that is located in surface waters reflects or redirects current or wave energy which might cause damage or hazards.

The proposed project does not involve ellements of wave action or current.

16. The cumulative impact that would result if all parties owning or abutting a portion of the affected wetland or wetland complex were also permitted alterations to the wetland proportional to the extent of their property rights. For example, an applicant who owns only a portion of a wetland shall document the applicant's percentage of ownership of that wetland and the percentage of that ownership that would be impacted.

The size of the wetlands on site is very small in relation to the overall size of the wetland complex which lies primarly off site. The proposed impacts are an even smaller portion of the this wetland and involve a crossing of a minimal size. If similar impacts were allowed to other owners net effects would be commensuratly small.

17. The impact of the proposed project on the values and functions of the total wetland or wetland complex.

The wetland associated with the project site does likely provide a number of functions and values by virtue of its association with a large wetland complex and existing town forest. Principle among these are likely wildlife habitat, water quality, and public recreation/aesthetic value. The majority of these functions and values, however, are derived from the main body of the wetland which lies mostly off-site on town forest land. The small area of wetland directly adjacent to Commerce Way, has clearly been extensively disturbed and is closely bordered by development. It is and separated from Norris Brook and other resources areas by a largely buried culvert and small dirt road. The Functions and values of the finger like projection on the interior of the site is limited by its loose association with Norris Brook and the large wetland to the north. These area has comparatively limited value likely only that of water quality as it appears to receive runoff from the developed areas nearby. Impacts to these two areas will have negligible effects on the overall functions and values of the wetland areas. The potential impact of the proposed crossing of Norris Brook will be minimized by the use of an open bottom arch structure, arch structure which will maintain stream channel continuity for hydraulic and wildlife purposes

18. The impact upon the value of the sites included in the latest published edition of the National Register of Natural Landmarks, or sites eligible for such publication.

No such areas have been identified

19. The impact upon the value of areas named in acts of congress or presidential proclamations as national rivers, national wilderness areas, national lakeshores, and such areas as may be established under federal, state, or municipal laws for similar and related purposes such as estuarine and marine sanctuaries.

No such areas have been identified

20. The degree to which a project redirects water from one watershed to another.

The project does not redirect water

Additional comments

PLEASE SEE THE ATTACHED TEXT AND ATTACHMENTS FOR ADDITONAL INFORMATION.

1.0 Introduction

This Minor Impact Dredge and Fill Application is being submitted by 8 Commerce Way in Exeter, NH. The project site, identified on assessor Map 48 as Lot 3, totals 6.2 acres located near the end of Commerce Way. The site is a planned industrial lot currently vacant and entirely wooded. The proposed project involves the construction of an office and light manufacturing facility, associated access, parking, access, and stormwater management. This facility is being proposed for a NH business currently located in Hampton and faced with relocation due to an expiring lease. In order to complete and be able to occupy the new facility prior to their lease expiring, construction must commence this winter. The Town of Exeter, in conjunction with the applicant, will be requesting expedited review of this application through Standard Operating Procedure 201. The following sections and appendices provide details on the proposed project, the proposed impacts, and the requirements outlined in Env-Wt 300.

2.0 Wetland Resources

The wetlands on the site were delineated by Gove Environmental Services in the fall of 2014 utilizing the standards of the Corps of Engineers *Wetlands Delineation Manual*[1] and the NH DES Wetlands Bureau *Code of Administrative Rules*[2]. Dominant hydric soil conditions within the wetlands were identified using the criteria in *Field Indicators for Identifying Hydric Soils in New England*[3]. Wetland flags were located by Doucet Survey, Inc. with portions resurveyed in 2016 by MSC/TFM. Wetlands were classified by GES utilizing the *Classification of Wetlands and Deepwater Habitats of the United States*[4].

The dominant wetland is a large beaver impoundment, existing mostly off-site, and containing a complex of different wetland types. The most relevant wetlands in vicinity of the project are scrub shrub and emergent wetland (PSS1Hb & PEM5Hb). This large wetland forms the headwaters of Norris Brook which originates at its southern end. The stream begins with a poorly defined channel through a small forested wetland area before it reaches an existing trail crossing where it becomes well-defined channel amongst a steep section of boulders that are characteristic of this area. The bank full width of the stream ranges from 4 feet at the existing trail to about 8 feet just below the proposed crossing location. The stream is depicted on the USGS Map (Exeter quadrangle) as

[1] Environmental Laboratory. 1987. "Corps of Engineers Wetlands Delineation Manual," Technical Report Y-87-1. Vicksburg, MS: U.S. Army Engineer Waterways Experiment Station: NTIS No. AD A176 912.
[2] NH Code Admin. R. [Wt] Ch. 100-800.
[3] New England Hydric Soils Technical Committee. 2004. 3rd ed., Field Indicators for Identifying Hydric Soils in New England. Lowell, MA: New England Interstate Water Pollution Control Commission.
[4] Cowardin, L. M., 1979. Classification of Wetlands and Deepwater Habitats in the United States. Washington, D.C.: U.S. Department of the Interior, Fish and Wildlife Service.

perennial (R5RB2) though it has been observed dry on numerous occasions during investigations on this site since 2014. The contributing watershed of this stream the proposed crossing is only 51 acres as calculated using the USGS Stream Stats web application. The proposed crossing has therefore been classified as a Tier I crossing. Several other areas of red maple forested wetland (PFO1) exist at the edges of the site.

2.1 Wetland Function and Value

A functional assessment of the wetlands on and associated with the project site was conducted by GES during wetland delineation and subsequent field visits using the US Army Corps of Engineers' Highway Methodology Workbook Supplement (NAEEP-360-1-30a, September 1999). Functions and values are identified as "principal" if they are determined to be a significant physical feature of the wetland system, as compared to other functions and values. According to the USACE, the function/value qualifier as "principal" does not mean that the function or value identified is exceptional, but that the particular function/value is demonstrated more than any other function or value in the Highway Methodology Workbook. Forms used in this evaluation are attached to this application

The large wetland complex associated with the project site does likely provide a number of functions and values by virtue of its association with Norris Brook and the existing town forest. Principle among these are likely wildlife habitat, water quality, and public recreation/aesthetic value. The majority of these functions and values, however, are derived from the main body of the wetland which lies mostly off-site on town forest land. The Norris Brook Stream corridor likely serves as a habitat connection between these headwater wetlands and other wetland and upland habitats downstream of the site.

The small area of wetland directly adjacent to Commerce Way, has clearly been extensively disturbed dating back to the construction of Commerce way or perhaps by past uses of the land. It is closely bordered by development and separated from Norris Brook and other resources areas by a culvert under a small dirt road. The value of this area may be limited to modest water quality function as it appears to receive runoff from the surrounding developed areas. The finger like projection where a small impact is proposed in the interior of the site is quite far removed from both Norris Brook and is not associated with the large wetland to the north.

3.0 Project Description and Impacts

The proposed project is to construct a two story, 12,000 SF office and light manufacturing facility, associated access road, parking, loading areas, and stormwater management features. The lot is currently vacant woodland except for a few informal recreation trails which access the adjacent Town Forest. Though on private property these trails are well used and the applicant has committed to providing continued access and

several gravel parking spaces in the site for this propose. Stormwater management includes innovative elements such as several gravel wetland areas and a bio-retention ponds.

The project proposes a total of 5,183 square feet of direct wetland impact and 108 linear feet (36.1'x 3) of impact to a perennial stream. The stream crossing will utilize an open bottom arch structure which will span 58" of the channel, slightly more than 1.2X the bank full with of the channel at the exiting trail crossing. The crossing structure is detailed on the attached plans as are the impact areas.

3.1 Impacts on Functions and Values

Development of this site will be consistent with the other adjacent property. Public access to the town forest will be maintained by the applicant, therefore maintaining the important public aesthetic and recreation interests of the wetlands in this area. The potential impacts of the proposed crossing of Norris Brook on wildlife and water quality will be minimized by the use of an open bottom structure which exceeds the stream crossing requirements for a Tier 1 crossing. The large open bottom arch structure will maintain stream channel continuity for hydraulic and wildlife purposes. The other two proposed impact are located within the disturbed wetland directly adjacent to Commerce Way and a small point of a wetland finger extending up into the interior of the site. These areas are not closely associated with Norris Brook or the larger more valuable wetlands near the site. The small proposed impacts to these areas will therefore have negligible effects on the overall functions and values of the wetland complex.

3.2 Wt 302.01 Statement of Purpose

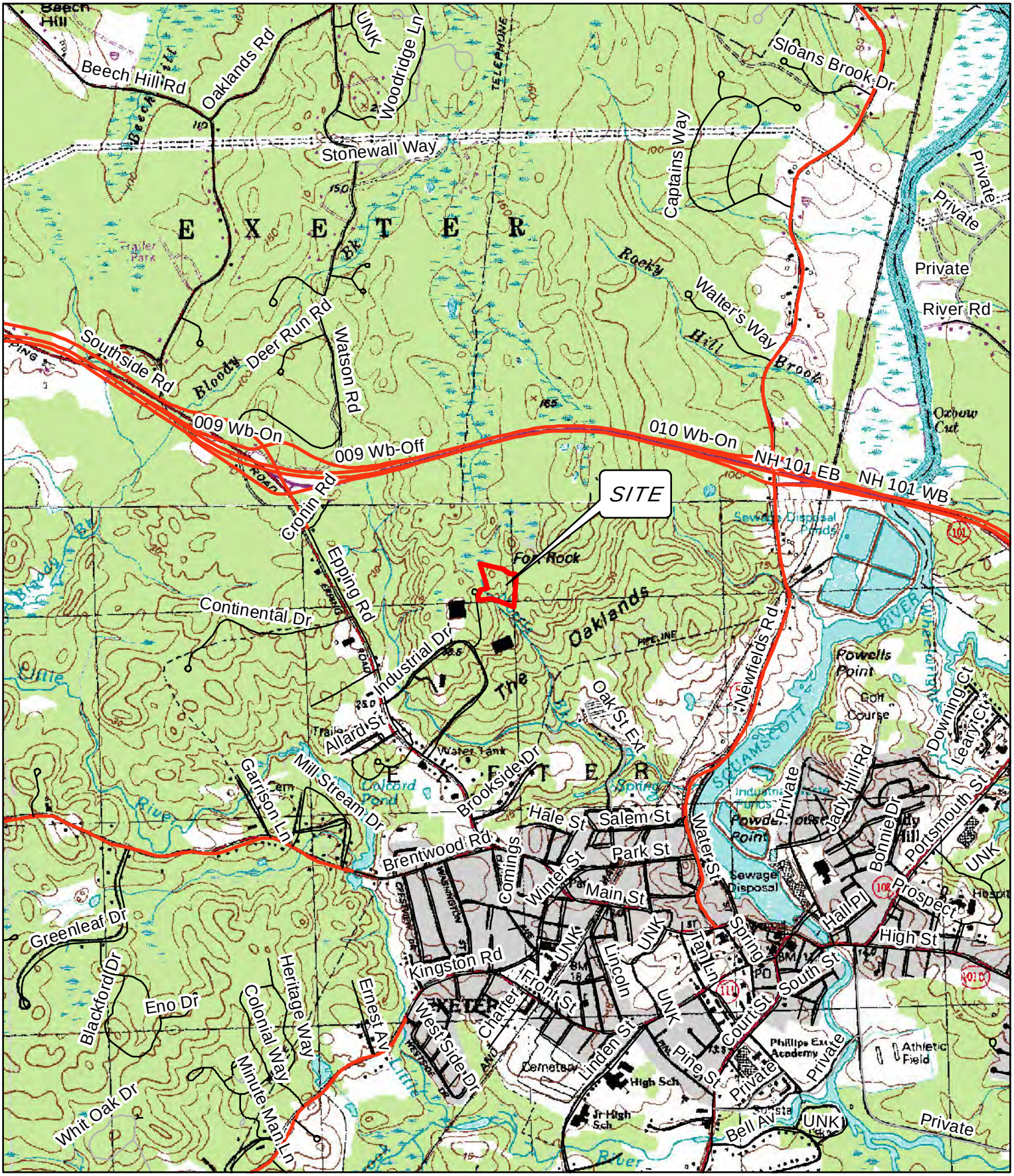
The purpose of the proposed project is to construct an office and light manufacturing facility which will allow a growing New Hampshire business to relocate within the state, nearby to their existing operation. The business for which the facility is proposed must relocate due to their lease expiring at the end of the year and must gain approvals to begin construction this coming winter.

3.3 Wt 302.03 Avoidance & Minimization

The facility has been located in the middle of the large contiguous upland area on the site and outside of the riparian buffer to Norris Brook (150' Exeter Shoreland Protection District). Impacts at the stream crossing are necessary in order to access this buildable upland. The are no other alternatives will with less impacts. The crossing is located at the narrowest point and also makes use of an existing trail crossing located at the very beginning of the Norris Brook channel and makes use of an oversize, open bottom structure. Additional stream impacts or impacts to the large wetland complex to the north

and east have been avoided. The proposed alternative is therefore the least impacting alternative.

Figures



Locus Map

1 inch = 2,000 feet

Map48 Lot 3
Commerce Way
Exeter, NH

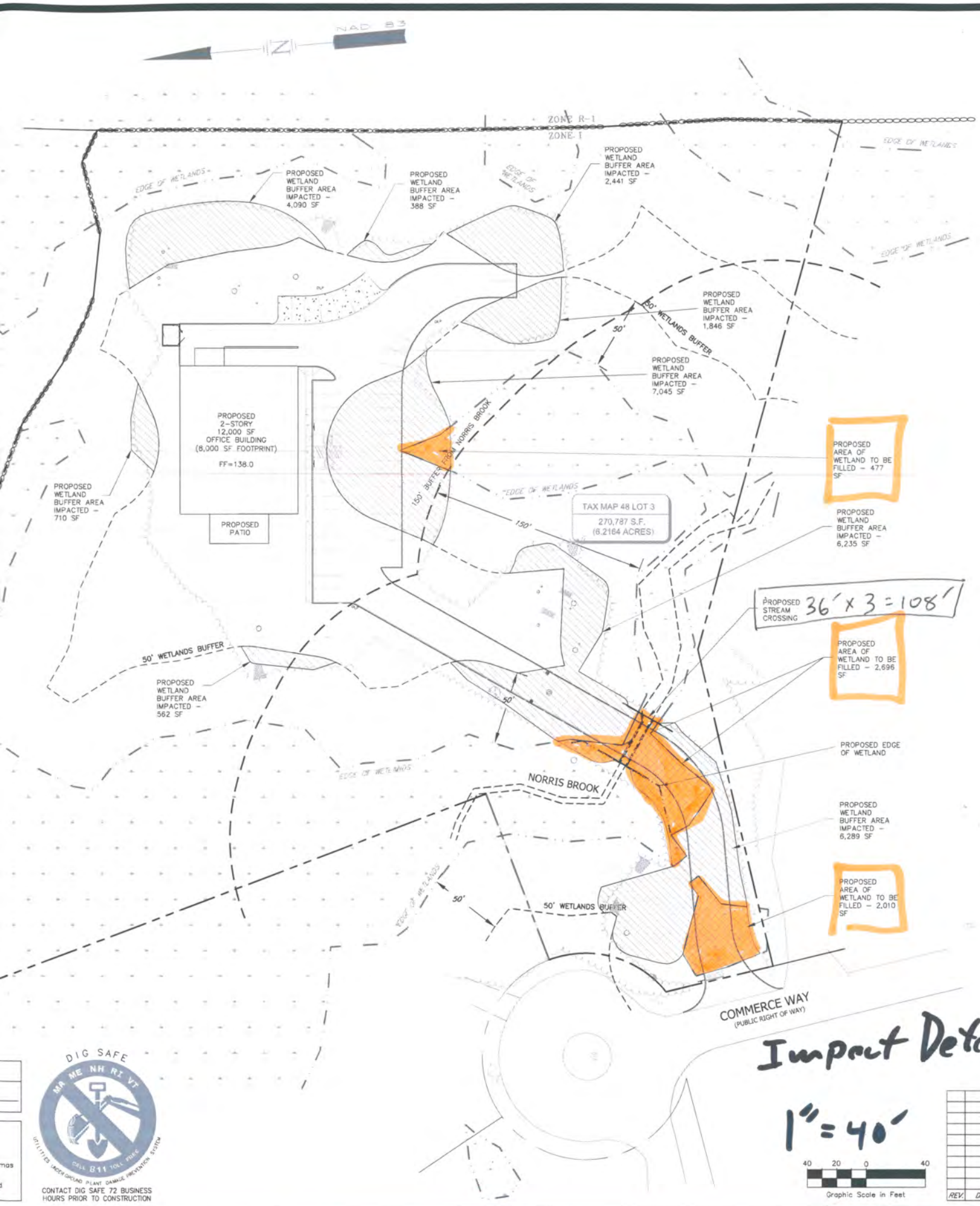
Gove Environmental Services, Inc.
8 Continental Drive, Bldg 2 Unit H, Exeter NH 03833 603.778.0644

Watershed Map

1 inch = 1,000 feet

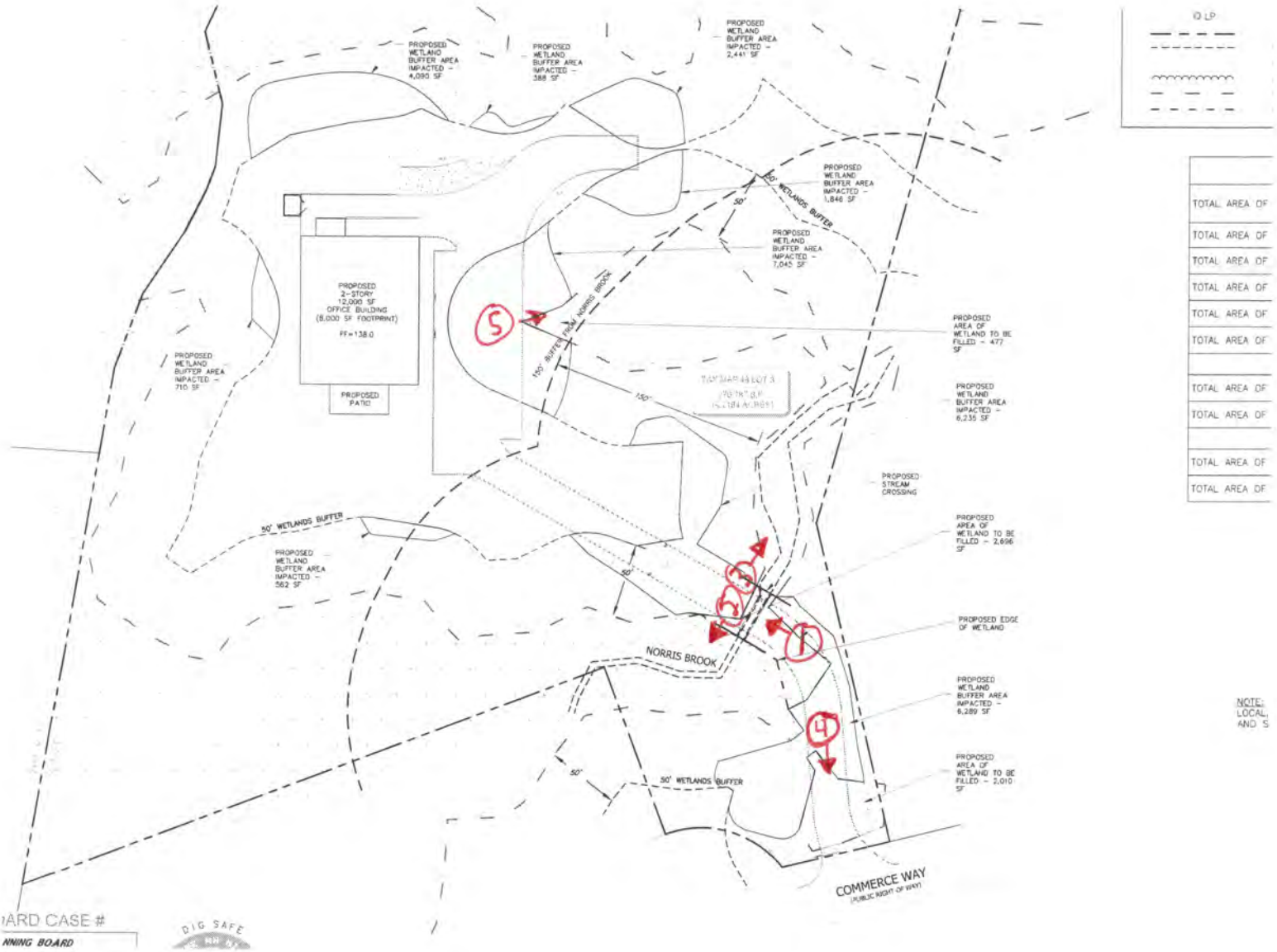
Map48 Lot 3
Commerce Way
Exeter, NH

Gove Environmental Services, Inc.
8 Continental Drive, Bldg 2 Unit H, Exeter NH 03833 603.778.0644


NAD 83
ZONE R-1
ZONE I
EDGE OF WETLANDS
PROPOSED WETLAND BUFFER AREA IMPACTED – 4,090 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 388 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 2,441 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 1,846 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 7,045 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 710 SF
PROPOSED 2-STORY 12,000 SF OFFICE BUILDING (8,000 SF FOOTPRINT)
FF=138.0
PROPOSED PATIO
50' WETLANDS BUFFER
150' BUFFER FROM NORRIS BROOK
150'
50'
TAX MAP 48 LOT 3
270,787 S.F.
(6.2164 ACRES)
PROPOSED AREA OF WETLAND TO BE FILLED – 477 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 6,235 SF
PROPOSED STREAM CROSSING 36' x 3 = 108'
PROPOSED AREA OF WETLAND TO BE FILLED – 2,696 SF
PROPOSED WETLAND BUFFER AREA IMPACTED – 562 SF
PROPOSED EDGE OF WETLAND
NORRIS BROOK
PROPOSED WETLAND BUFFER AREA IMPACTED – 6,289 SF
PROPOSED AREA OF WETLAND TO BE FILLED – 2,010 SF
50' WETLANDS BUFFER
COMMERCE WAY
(PUBLIC RIGHT OF WAY)
Impact Detail
1" = 40'
40 20 0 40
Graphic Scale in Feet
REV. DATE
DIG SAFE
MA ME NH RI VT
CALL 811 TOLL FREE
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

Appendix A

Impact Area Photos



Impact Area Photo Locations

Impact Area Photos
C3i, Inc.
8 Commerce Way
Exeter, NH

Photo 1: A stone ford and plank trail crossing currently in place in location of proposed crossing

Photo 2: looking up-stream from proposed crossing, poorly defined channel

Photo 3: Downstream form the crossing the stream develops a well-defined channel amongst boulders

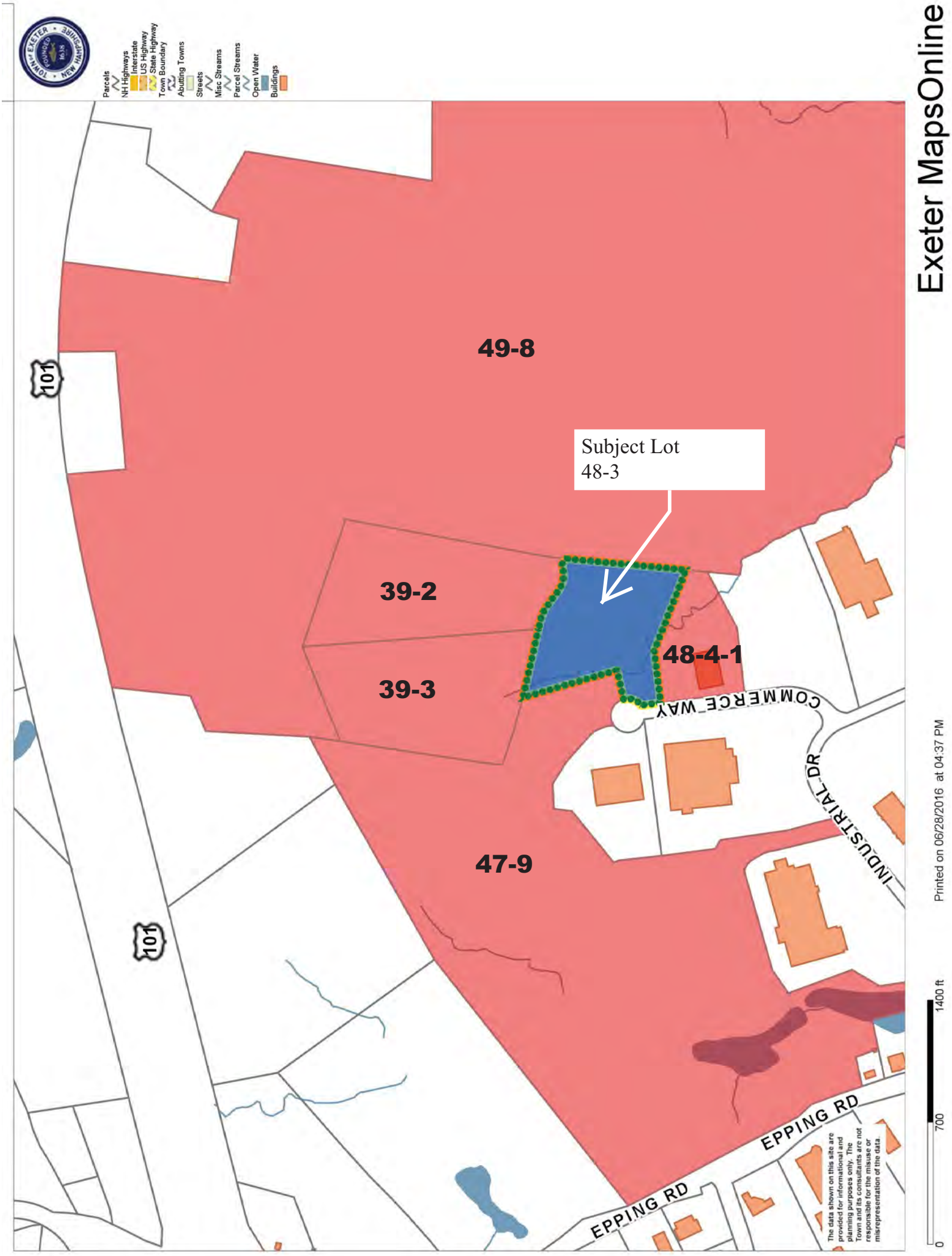
Photo 4: Impact area right off of Commerce Way

Impact Area Photos
C3i, Inc.
8 Commerce Way
Exeter, NH

Photo 5: Impact Area to point of wetland on the interior of the site

Appendix B

Abutter Information


Parcels
NH Highways
Interstate
US Highway
State Highway
Town Boundary
Abutting Towns
Streets
Misc Streams
Parcel Streams
Open Water
Buildings
Exeter MapsOnline
49-8
Subject Lot
48-3
39-2
39-3
48-4-1
47-9
101
101
COMMERCE WAY
INDUSTRIAL DR
EPPING RD
EPPING RD
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.
Printed on 06/28/2016 at 04:37 PM
0
700
1400 ft

ABUTTERS LIST

SUBJECT PARCEL

TAX MAP 48-LOT 3
JSS & Associates
158 Shattuck Way
Newington, NH 03801

ABUTTERS:

39-2
Town of Exeter
Conservation Commission
10 Front Street
Exeter, NH 03833

39-3
Town of Exeter
Conservation Commission
10 Front Street
Exeter, NH 03833

47-9
CTK Associates
158 Shattuck Way
Newington, NH 03801

48-4-1
Jamris Realty, LLC
6 Commerce Way
Exeter, NH 03833

49-8
Town of Exeter
Henderson Swasey Forest
10 Front Street
Exeter, NH 03833

7015 1520 0001 7197 6040

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39-2
Town of Exeter
Conservation Commission
10 Front Street
Exeter, NH 03833

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0001 7197 6033

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2016

39-3
Town of Exeter
Conservation Commission
10 Front Street
Exeter, NH 03833

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Jamris Realty, LLC
6 Commerce Way
Exeter, NH 03833

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CTK Associates
158 Shattuck Way
Newington, NH 03801

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- ☐ Adult Signature Restricted Delivery $

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49-8
Town of Exeter
Henderson Swasey Forest
10 Front Street
Exeter, NH 03833

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

August 3, 2016

«Name»
«Street»
«TownStateZip»

Re: 8 Commerce Way
Map 48 Lot 3
Exeter, NH

Dear Abutter:

The purpose of this letter is to inform you C3i, Inc. has submitted a Dredge and Fill Application to the NH Department of Environmental Services for a development project located at 8 Commerce Way in Exeter, NH, Tax Map 48 Lot 3. DES requires this notice for work within a wetland area. After filing, a copy of the final Application, including plans, will be made available for your review at the Exeter Town Hall and at the NH Department of Environmental Services Wetlands Bureau, 29 Hazen Drive, in Concord.

If you have any questions that we might be able to answer, please feel free to contact our office.

Sincerely,

Brendan Quigley, CWS
Gove Environmental Services, Inc.

Appendix C

New Hampshire Natural Heritage Inquiry

Memo

NH Natural Heritage Bureau
NHB Datacheck Results Letter

To: Luke Hurley, Gove Environmental Services, Inc.
8 continental Drive
Exeter, NH 03833

From: Amy Lamb, NH Natural Heritage Bureau
Date: 7/1/2016 (valid for one year from this date)
Re: Review by NH Natural Heritage Bureau
NHB File ID: NHB16-2067 Town: Exeter Location: Tax Maps: map 48 lot 3
Description: The proposed project involves the development of the lot to include a light manufacturing facility, consistent with its setting in a industrial park development.
cc: Kim Tuttle

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

Comments: The project area was mapped on a perennial stream and wetlands; please confirm mapped location is correct, since project description describes this area as being within an industrial park development. Please describe the type and extent of wetlands impacts. NHB may recommend surveys for sharp-flowered manna grass since it occurs in wetlands close to the project area.

Plant species	**State[1]**	**Federal**	**Notes**
sharp-flowered manna grass (*Glyceria acutiflora*)	E	--	Primarily vulnerable to changes to the hydrology of its habitat, especially alterations that change water levels. It may also be susceptible to increased pollutants and nutrients carried in stormwater runoff.

Vertebrate species	**State[1]**	**Federal**	**Notes**
Northern Black Racer (*Coluber constrictor constrictor*)	T	--	Contact the NH Fish & Game Dept (see below).

[1]Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (*) indicates that the most recent report for that occurrence was more than 20 years ago.

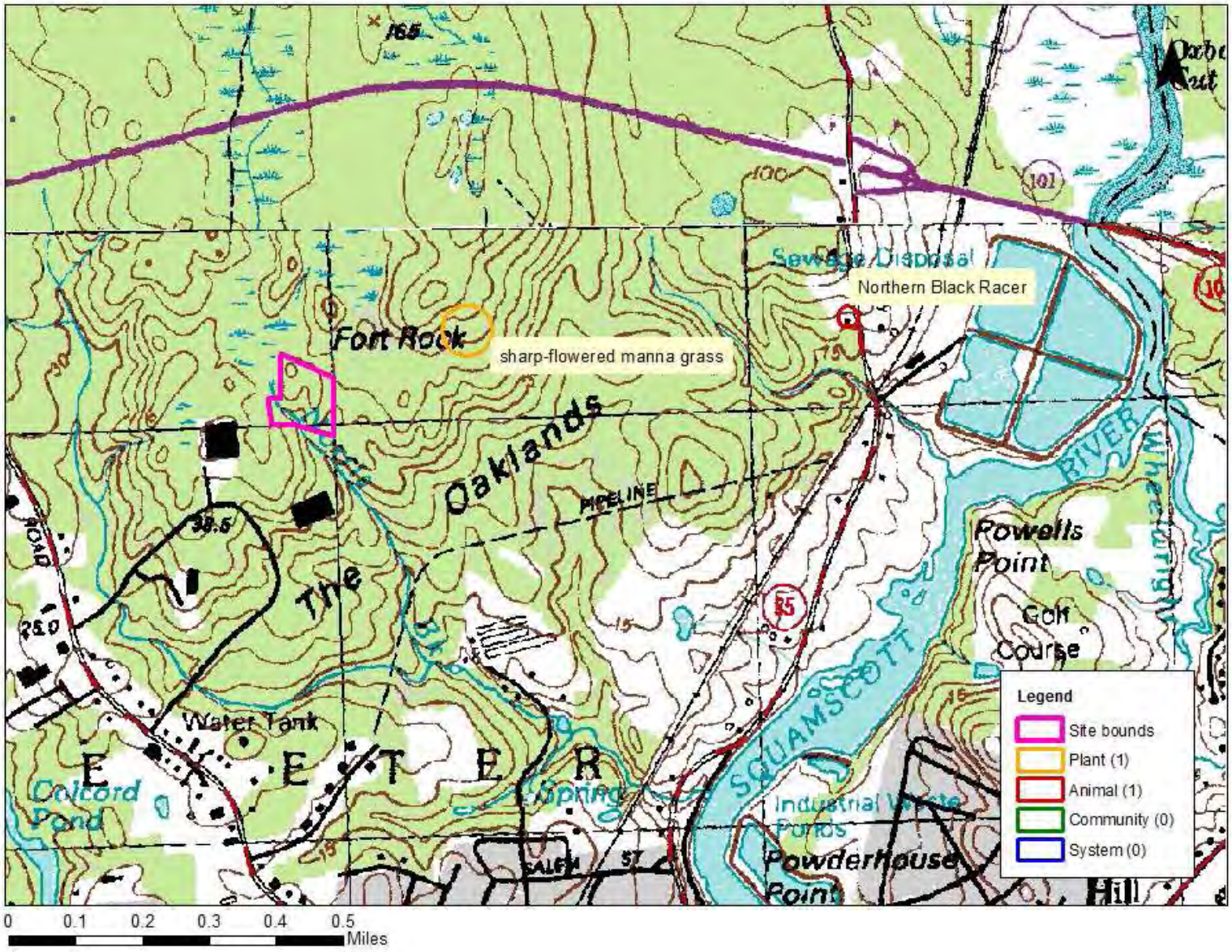
Contact for all animal reviews: Kim Tuttle, NH F&G, (603) 271-6544.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Department of Resources and Economic Development
Division of Forests and Lands
(603) 271-2214 fax: 271-6488

DRED/NHB
172 Pembroke Rd.
Concord, NH 03301

NHB16-2067


Northern Black Racer
sharp-flowered manna grass
Fort Rock
Oaklands
PIPELINE
Sewage Disposal
Powells Point
Golf Course
Water Tank
Calcord Pond
Spring
Powderhouse Point
SQUAMSCOTT
RIVER
Legend
Site bounds
Plant (1)
Animal (1)
Community (0)
System (0)
0 0.1 0.2 0.3 0.4 0.5
Miles

Brendan Quigley

From: Lamb, Amy <Amy.Lamb@dred.nh.gov>
Sent: Friday, July 29, 2016 2:16 PM
To: Brendan Quigley
Subject: RE: NHB review: NHB16-2067

Hi Brendan,

Thank you for sending photos of the proposed wetland crossing. Since the habitat at the crossing site is part forested wetland and part dry, rocky streambed, it would not provide the open, sunny, wet habitat preferred by sharp-flowered manna grass (*Glyceria acutiflora*). This plant is found nearby in a seasonally-flooded basin swamp, and would be more likely to occur in the beaver pond found north and west of the project site. Since there will be no impacts to the beaver pond, I do not anticipate impacts to *Glyceria acutiflora* as a result of this project.

Best,
Amy

Amy Lamb
Ecological Information Specialist
(603) 271-2215 ext. 323

NH Natural Heritage Bureau
DRED - Forests & Lands
172 Pembroke Rd
Concord, NH 03301

From: Brendan Quigley [mailto:bquigley@gesinc.biz]
Sent: Thursday, July 28, 2016 11:16 AM
To: Lamb, Amy
Subject: RE: NHB review: NHB16-2067

Amy, Getting back to this one…I have attached a few photos of the impact area at the crossing. It consists of an existing trail crossing and some additional area of mucky soil (currently dry) which is essentially a forested swamp. This is the only area even close to what you ask about and I don't think it fits the habitat description.

Brendan Quigley
Wetland Scientist/GIS Specialist

GOVE ENVIRONMENTAL SERVICES, INC.
8 Continental Dr, Bldg 2, Unit H,
Exeter, NH 03833-7507
Ph (603) 778-0644 / Cell (603) 686-0086 / *Fax* (603) 778-0654
bquigley@gesinc.biz

From: Lamb, Amy [mailto:Amy.Lamb@dred.nh.gov]
Sent: Friday, July 15, 2016 8:07 AM

To: Brendan Quigley <bquigley@gesinc.biz>
Subject: RE: NHB review: NHB16-2067

HI Brendan,

Thanks for sending the plan and aerial photo map, as well as the background information. Just to clarify and confirm, there are no areas of open wetland and/or saturated, peaty areas that will be impacted by the project, specifically the crossing?

Thank you,
Amy

Amy Lamb
Ecological Information Specialist
(603) 271-2215 ext. 323

NH Natural Heritage Bureau
DRED - Forests & Lands
172 Pembroke Rd
Concord, NH 03301

From: Brendan Quigley [mailto:bquigley@gesinc.biz]
Sent: Friday, July 08, 2016 3:17 PM
To: Lamb, Amy
Cc: Tuttle, Kim
Subject: RE: NHB review: NHB16-2067

Amy and Kim,

I have attached a preliminary plan and aerial photo for this site. For reference the wetlands are the same on both plans. The building envelope is dry oak forest. The habitat for G. acutiflora I believe would be limited to the large beaver impoundment evident on the photo. This area will not be impacted and local buffers will be largely maintained. The stream over which a crossing is proposed is rocky and step with little to no water. Despite being depicted as perennial on the USGS this stream is in fact dry in the summer (having crossing it many times on my bike). Kim, please let me know if there are any concerns with Black racer considering the attached proposed plan or if you need additional information.

Thank You,

Brendan Quigley
Wetland Scientist/GIS Specialist

GOVE ENVIRONMENTAL SERVICES, INC.
8 Continental Dr, Bldg 2, Unit H,
Exeter, NH 03833-7507
Ph (603) 778-0644 / Cell (603) 686-0086 / *Fax* (603) 778-0654
bquigley@gesinc.biz

From: Lamb, Amy [mailto:Amy.Lamb@dred.nh.gov]
Sent: Friday, July 01, 2016 3:01 PM

To: Info Mail <InfoMail@GOVEEnvironmental.onmicrosoft.com>
Cc: Tuttle, Kim <Kim.Tuttle@wildlife.nh.gov>
Subject: NHB review: NHB16-2067

Attached, please find the review we have completed. If your review memo includes potential impacts to plants or natural communities please contact me for further information. If your project had potential impacts to wildlife, please contact NH Fish and Game at the phone number listed on the review.

Best,
Amy

Amy Lamb
Ecological Information Specialist

NH Natural Heritage Bureau
DRED - Forest & Lands
172 Pembroke Rd
Concord, NH 03301
603-271-2215 ext. 323

Appendix D

State Historic Preservation Office Inquiry

Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
19 Pillsbury Street, Concord, NH 03301-3570

DHR Use Only

R&C # _____

PENDING RESPONSE

Response Date ____ / ____ / ____

Sent Date ____ / ____ / ____

Request for Project Review by the New Hampshire Division of Historical Resources

☒ This is a new submittal
☐ This is additional information relating to DHR Review & Compliance (R&C) #:

GENERAL PROJECT INFORMATION

Project Title C3I Proposed Office Building

Project Location 8 Commerce Way

City/Town Exeter Tax Map 48 Lot # 3

NH State Plane - Feet Geographic Coordinates: Easting 1172432 Northing 181667
(See RPR Instructions and R&C FAQs for guidance.)

Lead Federal Agency and Contact *(if applicable)* ACOE
(Agency providing funds, licenses, or permits)
Permit Type and Permit or Job Reference # Pending

State Agency and Contact *(if applicable)* NHDES

Permit Type and Permit or Job Reference # Pending

APPLICANT INFORMATION

Applicant Name C3I

Mailing Address 4 Merrill Industrial Dr. #108 Phone Number (603)929-9989

City Hampton State NH Zip 03842 Email mcurry@c3i-usa.com

CONTACT PERSON TO RECEIVE RESPONSE

Name/Company Brendan Quigley

Mailing Address 8 Continental Dr. Phone Number -603

City Exeter State NH Zip 03833 Email bquigley@gesinc.biz

This form is updated periodically. Please download the current form at www.nh.gov/nhdhr/review. *Please refer to the Request for Project Review Instructions for direction on completing this form.* Submit one copy of this project review form for each project for which review is requested. Include a self-addressed stamped envelope to expedite review response. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: www.nh.gov/nhdhr/review or contact the R&C Specialist at christina.st.louis@dcr.nh.gov or 603.271.3558.

Project Boundaries and Description

☒ Attach the relevant portion of a 7.5' USGS Map (photocopied or computer-generated) ***indicating the defined projec***
☒ Attach a detailed narrative description of the proposed project.
☒ Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
☒ Attach photos of the project area (overview of project location and area adjacent to project location, and specific ar
☒ A DHR file review must be conducted to identify properties within or adjacent to the project area.
Provide file review results in **Table 1**. *(Blank table forms are available on the DHR website.)*
File review conducted on 07/11/2016.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): 1980's

☒ Photographs of ***each*** resource or streetscape located within the project area, with captions, along with a mapped pl
☐ If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provi

Archaeology

Does the proposed undertaking involve ground-disturbing activity? ☒ Yes ☐ No
If yes, submit all of the following information:

☒ Description of current and previous land use and disturbances.
☒ Available information concerning known or suspected archaeological resources within the project area (such as cel

Please note that for many project

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

☐ Insufficient information to initiate review. ☐ Additional information is needed in order to complete review.

☐ No Potential to cause Effects ☐ No Historic Properties Affected ☐ No Adverse Effect ☐ Adverse Effect

Comments:_____

_____

_____

_____

_____

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resour

Authorized Signature: _____ Date: _____

Appendix E

ACOE Supplemental Information Form

IPaC Report

US Army Corps of Engineers®
New England District

New Hampshire Programmatic General Permit (PGP)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to "work" include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See PGP, GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*	X	
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to SAS, shellfish beds, special wetlands and vernal pools (see PGP, GC 26 and Appendix A)? Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) website, www.nhnaturalheritage.org, specifically the book Natural Community Systems of New Hampshire.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?	X	
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.) Only at crossing	X	
2.5 The overall project site is more than 40 acres.		X
2.6 What is the size of the existing impervious surface area?	0	
2.7 What is the size of the proposed impervious surface area?	~37,700	
2.8 What is the % of the impervious area (new and existing) to the overall project site?	13.9%	
3. Wildlife	Yes	No
3.1 Has the NHB determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require a NHB determination.)	X	
3.2 Would work occur in any area identified as either "Highest Ranked Habitat in N.H." or "Highest Ranked Habitat in Ecological Region"? (These areas are colored magenta and green, respectively, on NH Fish and Game's map, "2010 Highest Ranked Wildlife Habitat by Ecological Condition.") Map information can be found at: • PDF: www.wildlife.state.nh.us/Wildlife/Wildlife_Plan/highest_ranking_habitat.htm. • Data Mapper: www.granit.unh.edu. • GIS: www.granit.unh.edu/data/downloadfreedata/category/databycategory.html.		X

3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?	X	
3.5 Are stream crossings designed in accordance with the PGP, GC 21?	X	
4. Flooding/Floodplain Values	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream? NA		X
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage? NA		
5. Historic/Archaeological Resources		
For a minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) shall be sent to the NH Division of Historical Resources as required on Page 5 of the PGP**	X	

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

** If project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law..

United States Department of Interior
Fish and Wildlife Service

Project name: C3i

Official Species List

Provided by:

New England Ecological Services Field Office
70 COMMERCIAL STREET, SUITE 300
CONCORD, NH 03301
(603) 223-2541
http://www.fws.gov/newengland

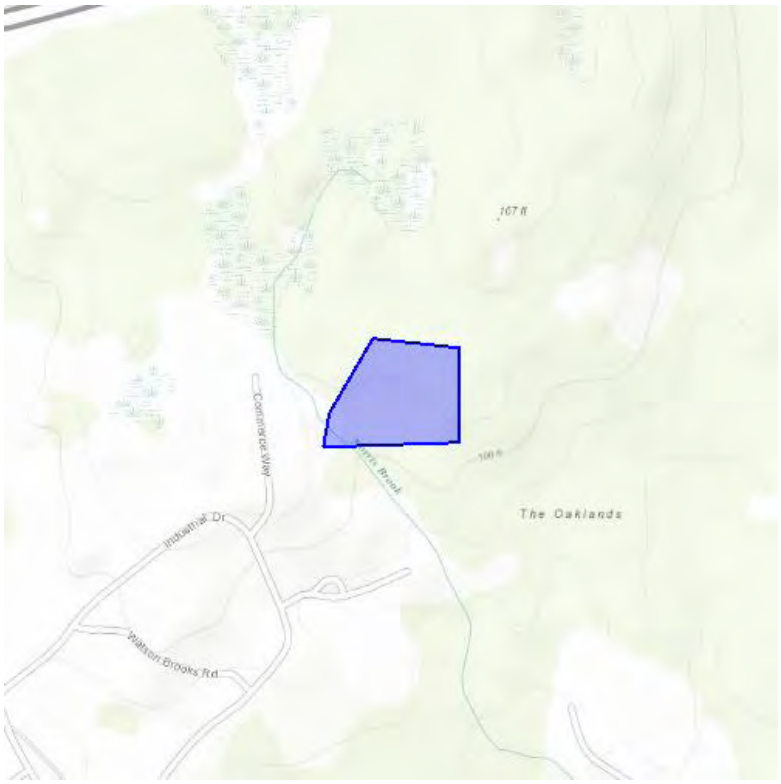
Consultation Code: 05E1NE00-2016-SLI-1975
Event Code: 05E1NE00-2016-E-02771

Project Type: DEVELOPMENT

Project Name: C3i
Project Description: The proposed project is to construct a two story, 12,000 SF office and light manufacturing facility, associated access road, parking, loading areas, and stormwater management features at 8 Commerce Way in Exeter, NH. The project involves 5,183 square feet of wetland impact and a crossing of a stream utilizing an open bottom arch structure. The work is expected to commence late fall 2016 and continue through the winter

Please Note: The FWS office may have modified the Project Name and/or Project Description, so it may be different from what was submitted in your previous request. If the Consultation Code matches, the FWS considers this to be the same project. Contact the office in the 'Provided by' section of your previous Official Species list if you have any questions or concerns.

Project Location Map:



Project Coordinates: MULTIPOLYGON (((-70.96039295196533 42.99667509444197, -70.96039295196533 42.99526261846702, -70.96318244934082 42.99519984100346, -70.9630537033081 42.99570205891611, -70.9621524810791 42.996832034212886, -70.96039295196533 42.99667509444197)))

Project Counties: Rockingham, NH

Endangered Species Act Species List

There are a total of 1 threatened or endangered species on your species list. Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Critical habitats listed under the **Has Critical Habitat** column may or may not lie within your project area. See the **Critical habitats within your project area** section further below for critical habitat that lies within your project. Please contact the designated FWS office if you have questions.

Mammals	Status	Has Critical Habitat	Condition(s)
Northern long-eared Bat *(Myotis septentrionalis)*	Threatened		

Critical habitats that lie within your project area

There are no critical habitats within your project area.

Appendix F

Function and Value Assessment Forms

Wetland Function-Value Evaluation Form

Total area of wetland Stream Human made? No Is wetland part of a wildlife corridor? Y or a "habitat island"?

Adjacent land use Forest Distance to nearest roadway or other development ~150'

Dominant wetland systems present Contiguous undeveloped buffer zone present No but sig.

Is the wetland a separate hydraulic system? If not, where does the wetland lie in the drainage basin? high

How many tributaries contribute to the wetland? Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. Norris Brook

Latitude Longitude

Prepared by: TJSQ Date 8-1-16

Wetland Impact:
Type Crossing Area 36 LF
2,696 SF

Evaluation based on:
Office ✓ Field ✓

Corps manual wetland delineation completed? Y ✓ N

Function/Value	Suitability Y / N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	Y	4, 7, 15, 16	X	
Floodflow Alteration	Y	5, 7, 8, 9, 13, 15, 16	X	
Fish and Shellfish Habitat	N	1, 2, 4, 8, 14, 17		intermittent stream
Sediment/Toxicant Retention	Y	3, 4, 5, 10, 11, 12,		Area above existing trail only
Nutrient Removal	Y	3, 4, 5, 6, 7, 9, 14		
Production Export	Y	2, 8, 10, 11, 12, 13	X	
Sediment/Shoreline Stabilization	Y	2, 3, 5, 6, 9, 14,		
Wildlife Habitat	Y	5, 6, 7, 8, 11, 19, 20,	X	Stream is corridor to multiple habitat types
Recreation	Y	1, 4, 5, 6, 7, 5		
Educational/Scientific Value	Y	1, 3, 5, 6, 9, 10,		
Uniqueness/Heritage	N	8, 12, 13, 19,		
Visual Quality/Aesthetics	Y			
ES Endangered Species Habitat	?			State agency has indicated Possible Rare Species
Other				

Notes:

* Refer to backup list of numbered considerations.

Wetland Function-Value Evaluation Form

Total area of wetland 2350 SF Human made? ? or Altered Is wetland part of a wildlife corridor? NO or a "habitat island"? NO

Adjacent land use Industrial / Rd. Distance to nearest roadway or other development 0

Dominant wetland systems present PSS Contiguous undeveloped buffer zone present NO

Is the wetland a separate hydraulic system? N If not, where does the wetland lie in the drainage basin? Hyla

How many tributaries contribute to the wetland? 6 Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. direct Adj. Commercial

Latitude _____ Longitude _____

Prepared by: BJQ Date 8-1-16

Wetland Impact:
Type Fill Area 2,010 SF

Evaluation based on:
Office X Field X

Corps manual wetland delineation completed? Y X N _____

Function/Value	Suitability Y / N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	N	9		
Floodflow Alteration	Y/N	9, 13		Limited by buried pipe connection to stream and small size
Fish and Shellfish Habitat	N			not closely associated with stream
Sediment/Toxicant Retention	Y	7	X	Limited function by virtue of potential
Nutrient Removal	Y	4	X	sources, Mostly cut-off from stream
Production Export	N			small, limited food sources
Sediment/Shoreline Stabilization	N			not associated with waterway
Wildlife Habitat	N			Rd. + developed areas directly abut wetland
Recreation	N			
Educational/Scientific Value	N			
Uniqueness/Heritage	N			very common disturbed wetland
Visual Quality/Aesthetics	N			"
ES Endangered Species Habitat	N			none identified
Other				

Notes:

* Refer to backup list of numbered considerations.

Appendix G

Site Plans

(under separate cover)

GENERAL INFORMATION

OWNER
MAP 48 LOT 3
JSS AND ASSOCIATES
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
C3I, INC
4 MERRILL INDUSTRIAL DRIVE
SUITE 108
HAMPTON, NH 03842

RESOURCE LIST

PLANNING/ ZONING DEPARTMENT
10 FRONT STREET
EXETER, NH 03833
(603) 773-6112
DAVE SHARPLES, TOWN PLANNER

BUILDING DEPARTMENT
10 FRONT STREET
EXETER, NH 03833
(603) 773-6112
DOUGLAS EASTMAN, INSPECTOR

PUBLIC WORKS
13 NEWFIELDS ROAD
EXETER, NH 03833
(603) 773-6157
JENNIFER R. PERRY, PE, DIRECTOR

POLICE DEPARTMENT
20 COURT STREET
EXETER, NH 03833
(603) 778-772-1212
CHIEF WILLIAM SHUPE

FIRE DEPARTMENT
20 COURT STREET
EXETER, NH 03833
(603) 773-6131
CHIEF BRIAN COMEAU

ASSOCIATED WITH

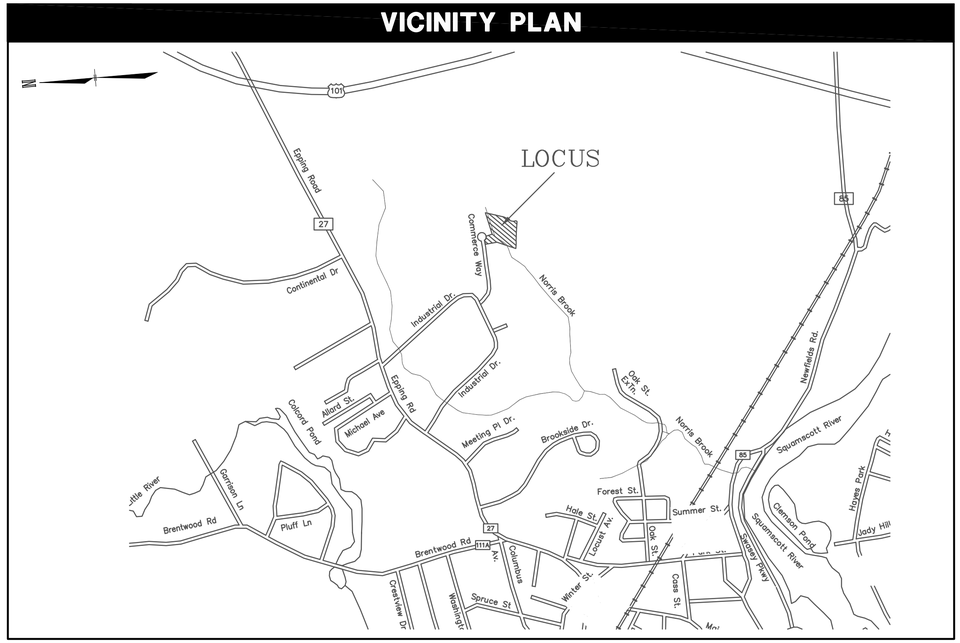
ENVIRONMENTAL SERVICES
GOVE ENVIRONMENTAL SERCIES, INC.
8 CONTINENTAL DRIVE, BUILDING 2, UNIT H
EXETER, NH 03833-7507
(603) 778-0644

C3I, INC.

8 COMMERCE WAY
EXETER, NEW HAMPSHIRE

AUGUST 3, 2016

VICINITY PLAN



TFM / MSC — A division of TFMoran, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.mscengineers.com

INDEX OF SHEETS

SHEET	SHEET TITLE
C-0	COVER SHEET
C-1	EXISTING CONDITIONS PLAN
C-2	SITE PLAN
C-3	LAYOUT PLAN
C-4	GRADING & EROSION CONTROL PLAN
C-5	DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	LIGHTING PLAN
C-8	LANDSCAPE PLAN
C-9	WETLAND IMPACT PLAN
C-10	EROSION CONTROL NOTES AND DETAILS
C-11 TO C-14	DETAILS

PERMITS / APPROVALS

	NUMBER NO	APPROVED DATE	EXPIRES DATE
TOWN SITE PLAN			
NHDES WETLANDS			

THESE PLANS ARE PERMIT DRAWINGS ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING

SITE DEVELOPMENT PLANS

TAX MAP 48 LOT 3
COVER SHEET
C3I, INC.
8 COMMERCE WAY
EXETER, NEW HAMPSHIRE

OWNED BY
JSS AND ASSOCIATES

AUGUST 3, 2016

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CALL 811 TOLL FREE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION	DR	CK

TFM / MSC — A division of TFMoran, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.mscengineers.com

FILE	47201.00	DR	JRW	FB	–	C-0
		CK	JPL	CADFILE	Cover.dwg	

Aug 03, 2016 - 1:45pm
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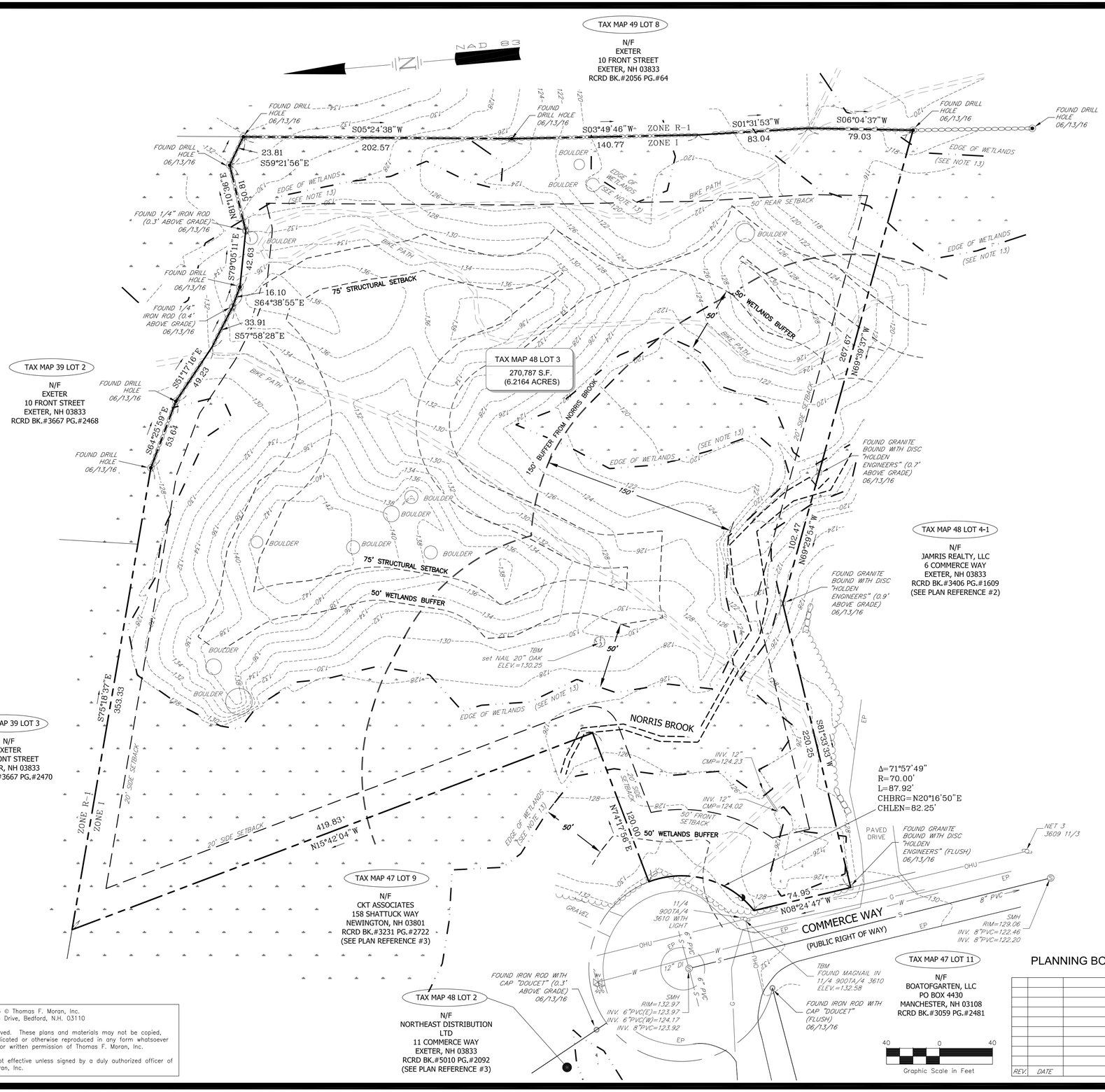
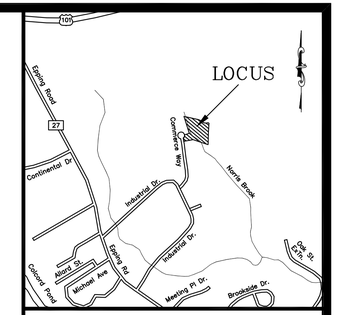


LEGEND:

BK/PG	BOOK & PAGE
CHBRG	CHORD BEARING
CHLEN	CHORD LENGTH
CMP	CORRUGATED METAL PIPE
DI	DUCTILE IRON
ELEV.	ELEVATION
EP	EDGE OF PAVEMENT
INV.	INVERT
N/F	NOW OR FORMERLY
L	LENGTH
NAD83	NORTH AMERICAN DATUM OF 1983
NET	NEW ENGLAND TELEPHONE
R	RADIUS
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
SMH	SEWER MANHOLE
TBM	TEMPORARY BENCH MARK
MAP 47 LOT 11	ASSESSOR'S MAP # / LOT #
	PROPERTY LINE
OHU	OVERHEAD UTILITIES
G	GAS LINE
S	SEWER LINE
130	CONTOUR
	STONE WALL
	EDGE OF WETLANDS
	EDGE OF WOODS
Δ	CENTRAL ANGLE
	UTILITY POLE
	GUY WIRE
S	SEWER MANHOLE
W	WATER VALVE
	HYDRANT
	BOULDERS
	WETLANDS



LOCATION PLAN
(NO SCALE)

NOTES:

1. THE PARCEL IS LOCATED IN THE INDUSTRIAL (I) ZONE.
2. THE PARCEL IS SHOWN ON THE TOWN OF EXETER ASSESSOR'S MAP 48 AS LOT 3.
3. THE PARCEL IS LOCATED IN FLOOD ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 402 OF 681, MAP NUMBER 33015C0402E WITH AN EFFECTIVE DATE OF MAY 17, 2005.
4. OWNER OF RECORD:
   JSS AND ASSOCIATES
   158 SHATTUCK WAY
   NEWINGTON, NH 03801
   RCRD BK.#2568 PG.#2033
   603-929-9989
5. ZONING REQUIREMENTS:

MINIMUM LOT AREA:	40,000 S.F.
MINIMUM WIDTH:	150'
MINIMUM DEPTH:	200'
MAXIMUM HEIGHT:	50'
MINIMUM YARD SETBACKS:	
FRONT:	50'
SIDE:	20'
REAR:	50'
MAXIMUM BUILDING COVERAGE:	40%
MINIMUM OPEN SPACE:	25%

6. UTILITIES SHOWN HEREON ARE A COMPILATION OF FIELD LOCATION AND RECORD PLANS. THEY ARE APPROXIMATE LOCATIONS ONLY. CONTACT DIGSAFE @ 1-888-DIG-SAFE TO VERIFY UTILITIES.
7. ALL MONUMENTS SHOWN HEREON WERE OBSERVED OR SET AS PART OF THIS SURVEY.
8. FIELD SURVEY WAS COMPLETED BY TCE & NJM IN JUNE 2016, WITH A TOPCON DS103 AND TOPCON TESLA DATA COLLECTOR.
9. HORIZONTAL DATUM IS NAD83 (NORTH AMERICAN DATUM OF 1983).
10. VERTICAL DATUM IS NAVD88 (NORTH AMERICAN VERTICAL DATUM OF 1988).
11. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
12. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY, EXISTING CONDITIONS AND TOPOGRAPHY OF THIS PARCEL.
13. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING 10-14 & 4-15 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT Y-87-1. WETLANDS SHOWN HEREON ARE TAKEN FROM 'WATSON BROOK COMPILATION MAP OF TAX MAP 47, LOTS 8 & 9, TAX MAP 48, LOT 3 & TAX MAP 55, LOT 68' ROUTE 27 (EPPING ROAD), INDUSTRIAL DR. & COMMERCE WAY EXETER, NEW HAMPSHIRE' PROVIDED BY DOUCET SURVEY, INC.
14. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND GENERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.

PLAN REFERENCES:

1. "EXETER INDUSTRIAL PARK SUBDIVISION OF LAND FOR EXETER DEVELOPMENT COMMISSION IN EXETER, N.H." BY PARKER SURVEY ASSOC., INC. DATED JULY 1976. RCRD PLAN #D-6158.
2. "CONSOLIDATION & RESUBDIVISION PLAN EXETER INDUSTRIAL PARK PREPARED FOR WILLEY CREEK DEVELOPMENT COMPANY EXETER, NH" BY HOLDEN ENGINEERING & SURVEYING, INC. DATED 6-20-06. RCRD PLAN #D-16204.
3. "LOT LINE REVISION OF TAX MAP 48, LOT 2 AND TAX MAP 47, LOT 9 FOR J.S.S. & ASSOCIATES EXETER INDUSTRIAL PARK COMMERCE WAY EXETER, NEW HAMPSHIRE" BY DOUCET SURVEY, INC. DATED JULY 1, 1999, WITH REVISION 1 DATED 9/7/99. RCRD PLAN #D-27641.
4. "PLAT OF LAND FOR EXETER INDUSTRIAL COMMISSION IN EXETER, N.H." BY PARKER SURVEY ASSOC, INC. DATED JAN. 1980. RCRD PLAN #D-10206.
5. "SUBDIVISION OF LAND FOR J.S.S. & ASSOCIATES, EXETER INDUSTRIAL PARK, INDUSTRIAL DRIVE, EXETER, NEW HAMPSHIRE" BY DOUCET SURVEY, INC. RCRD PLAN #D-27302.

TAX MAP 48 LOT 3
EXISTING CONDITIONS
C3I, Inc.
8 COMMERCE WAY
EXETER, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
JSS AND ASSOCIATES

SCALE: 1" = 40' (22x34)
1" = 80' (11x17)
AUGUST 3, 2016

PLANNING BOARD CASE:_____

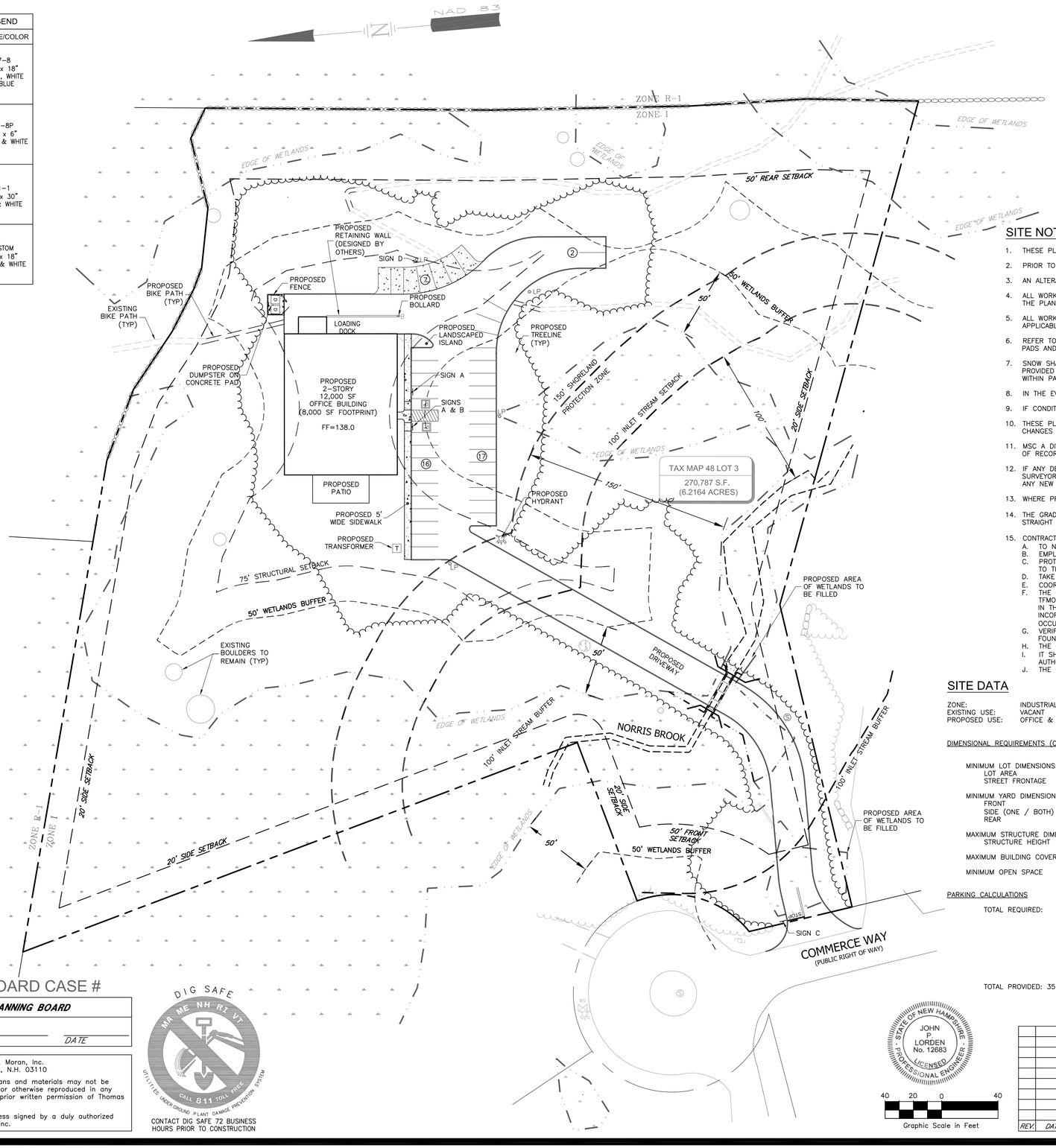
REV.	DATE	DESCRIPTION	DR	CK

TFM MSC
A division of TFMoran, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.mscengineers.com

FILE	DR	IID	FB		
47201.00	CK	JCC	CADFILE	47201.00_Existing Conditions	C-1

Aug 03, 2016 - 1:59pm
P:\47201 Commerce Way - Exeter\47201.00\dwg\47201.00_C01_Existing Conditions.dwg

DIRECTIONAL SIGN LEGEND		
ID	SIGN	NO./SIZE/COLOR
A	RESERVED PARKING	R7-8 12" x 18" GREEN, WHITE & BLUE
B	VAN ACCESSIBLE	R7-8P 12" x 6" GREEN & WHITE
C	STOP	R1-1 30" x 30" RED & WHITE
D	BIKE PATH PARKING	CUSTOM 12" x 18" BLACK & WHITE



LEGEND

SF	SQUARE FEET		EXISTING WETLANDS
	ACCESSIBLE PARKING		PROPOSED PAINT
TYP	TYPICAL		
	EXISTING UTILITY POLE		PROPOSED CONCRETE
	PROPOSED SIGN		PROPERTY LINE
LP	PROPOSED LIGHTPOLE BASE		PROPOSED EDGE OF WETLANDS
B	PROPOSED BOLLARD		WETLANDS BUFFER
17	PROPOSED PARKING COUNT		STRUCTURAL SETBACK
D	PROPOSED DUMPSTER		SETBACK LINE
			EXISTING TREELINE
T	PROPOSED TRANSFORMER PAD		PROPOSED TREELINE
			PROPOSED FENCE
			EXISTING BIKE PATH
			PROPOSED BIKE PATH

SITE NOTES

1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING.
2. PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
3. AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED AS THE DISTURBANCE IS LESS THAN 100,000 SF.
4. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF EXETER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
5. ALL WORK TO CONFORM TO TOWN OF EXETER, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE TOWN SHALL COMPLY WITH APPLICABLE STANDARDS.
6. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
7. SNOW SHALL NOT BE STOCKPILED IN SEDIMENT FOREBAYS, WETLAND BUFFERS OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
8. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
9. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
10. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. MSC A DIVISION OF TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
11. MSC A DIVISION OF TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
12. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWING STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
13. WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE SEAM SHALL BE A SAW CUT EDGE AND TREATED WITH EMULSION.
14. THE GRADE SURFACE TOLERANCE AT THE INTERFACE BETWEEN EXISTING PAVEMENT TO REMAIN AND PROPOSED NEW PAVEMENT SHALL NOT VARY MORE THEN 3/8" FROM A 10' STRAIGHT EDGE, MEASURED IN ANY DIRECTION PLACED AT ANY LOCATION ALONG THE INTERFACE.
15. CONTRACTOR'S RESPONSIBILITIES:
    A. TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
    B. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
    C. PROTECTING NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
    D. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS.
    E. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
    F. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MSC A DIVISION OF TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
    G. VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
    H. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
    I. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
    J. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.

SITE DATA

ZONE: INDUSTRIAL (I) ZONE
EXISTING USE: VACANT
PROPOSED USE: OFFICE & LIGHT INDUSTRIAL

DIMENSIONAL REQUIREMENTS (CURRENT ZONING)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	40,000 SF	270,787 SF
STREET FRONTAGE	150 FT	162 FT
MINIMUM YARD DIMENSIONS:		
FRONT	50 FT	>50 FT
SIDE (ONE / BOTH)	20 / 40 FT	>20 FT
REAR	50 FT	>50 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	50 FT	<50 FT
MAXIMUM BUILDING COVERAGE	40%	3 %
MINIMUM OPEN SPACE	25%	>25%

PARKING CALCULATIONS

TOTAL REQUIRED: PROFESSIONAL OFFICE – 1 SPACE PER 300 SF
LIGHT INDUSTRIAL – 1 SPACE FOR EACH EMPLOYEE ON MAX. SHIFT
PROFESSIONAL OFFICE 8,000 SF X 1/300 = 26.7 SPACES
LIGHT INDUSTRIAL – 8 EMPLOYEES = 8 SPACES
TOTAL REQUIRED = 35 SPACES

TOTAL PROVIDED: 35 SPACES (INCLUDING 2 ACCESSIBLE SPACES)

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

DIG SAFE
MA ME NH RI VT
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CALL 811 TOLL FREE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

JOHN P LORDEN No. 12683 LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

40 20 0 40
Graphic Scale in Feet

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

SITE PLAN

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

SCALE: 1"=40' (22X34)
1"=80' (11X17)

AUGUST 3, 2016

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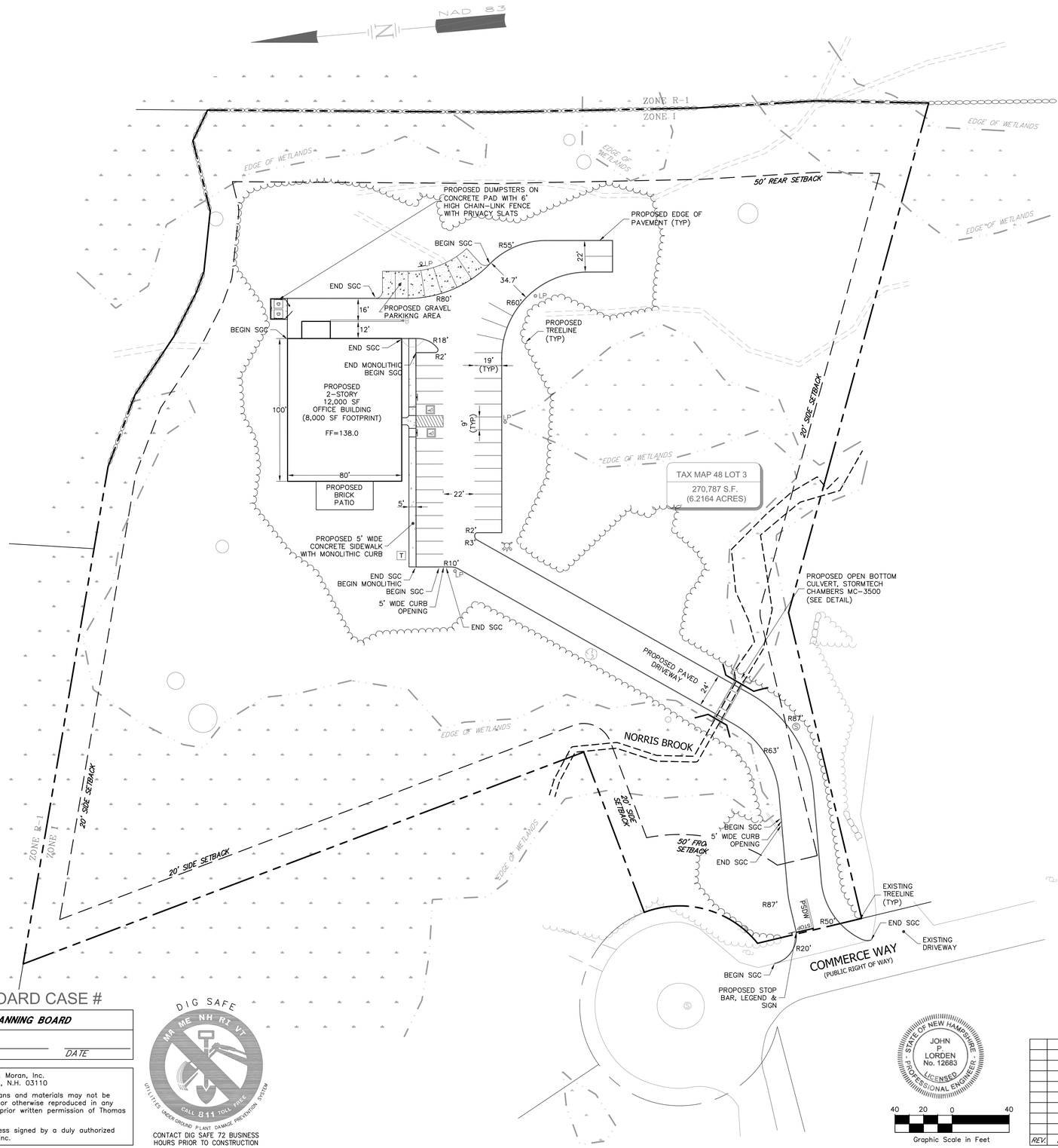

LEGEND

PSDW	PROPOSED SOLID DOUBLE WHITE LINE
R	RADIUS
TYP	TYPICAL
SGC	SLOPED GRANITE CURB
	PROPOSED ACCESSIBLE PARKING
LP	PROPOSED LIGHT POLE BASE
	PROPERTY LINE
	PROPOSED CONCRETE

LAYOUT & MATERIAL NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND FEDERAL CODES.
2. CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND EXISTING FEATURES.
3. THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
4. ALL ON-SITE CURBING SHALL BE SLOPED GRANITE CURBING, EXCEPT ALONG SIDEWALK WHERE CURBINB SHALL BE MONOLITHIC. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
5. CURBING ALIGNMENT SHALL BE MODIFIED TO AVOID CONFLICTS WITH ALL UTILITY MANHOLES OR POLES AND OTHER CASTINGS. ALL CONFLICTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO PLACEMENT OF CURB FOR APPROVAL OF MODIFIED ALIGNMENT.
6. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
7. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY 4" WIDE LINES.
8. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO THE LATEST EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
9. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS AND PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
10. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.

CONSTRUCTION SEQUENCE

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE. MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

1. CONTRACTOR TO MARK OUT LIMITS OF WETLAND DISTURBANCE PRIOR TO COMMENCEMENT OF WORK. SPECIAL CARE SHALL BE TAKEN TO NOT FURTHER ENCROACH INTO WETLANDS.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL A TEMPORARY BROOK CROSSING THAT SPANS THE ENTIRE BROOK TO ALLOW CONSTRUCTION VEHICLES ACCESS TO SITE.
4. PONDS AND SWALES SHALL BE INSTALLED AS REQUIRED.
5. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC.. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
7. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
8. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT FENCE SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
9. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
10. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
11. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
12. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
13. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
14. CONSTRUCT PROPOSED ROADWAY, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
15. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
16. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
17. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
18. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
19. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

DIG SAFE
ME NH RI VT MA
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE - PROFESSIONAL ENGINEER
JOHN P LORDEN No. 12683 LICENSED

40 20 0 40
Graphic Scale in Feet

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

LAYOUT PLAN

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

SCALE: 1"=40' (22X34)
1"=80' (11X17)

AUGUST 3, 2016

TFM MSC
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Portsmouth, NH 03801
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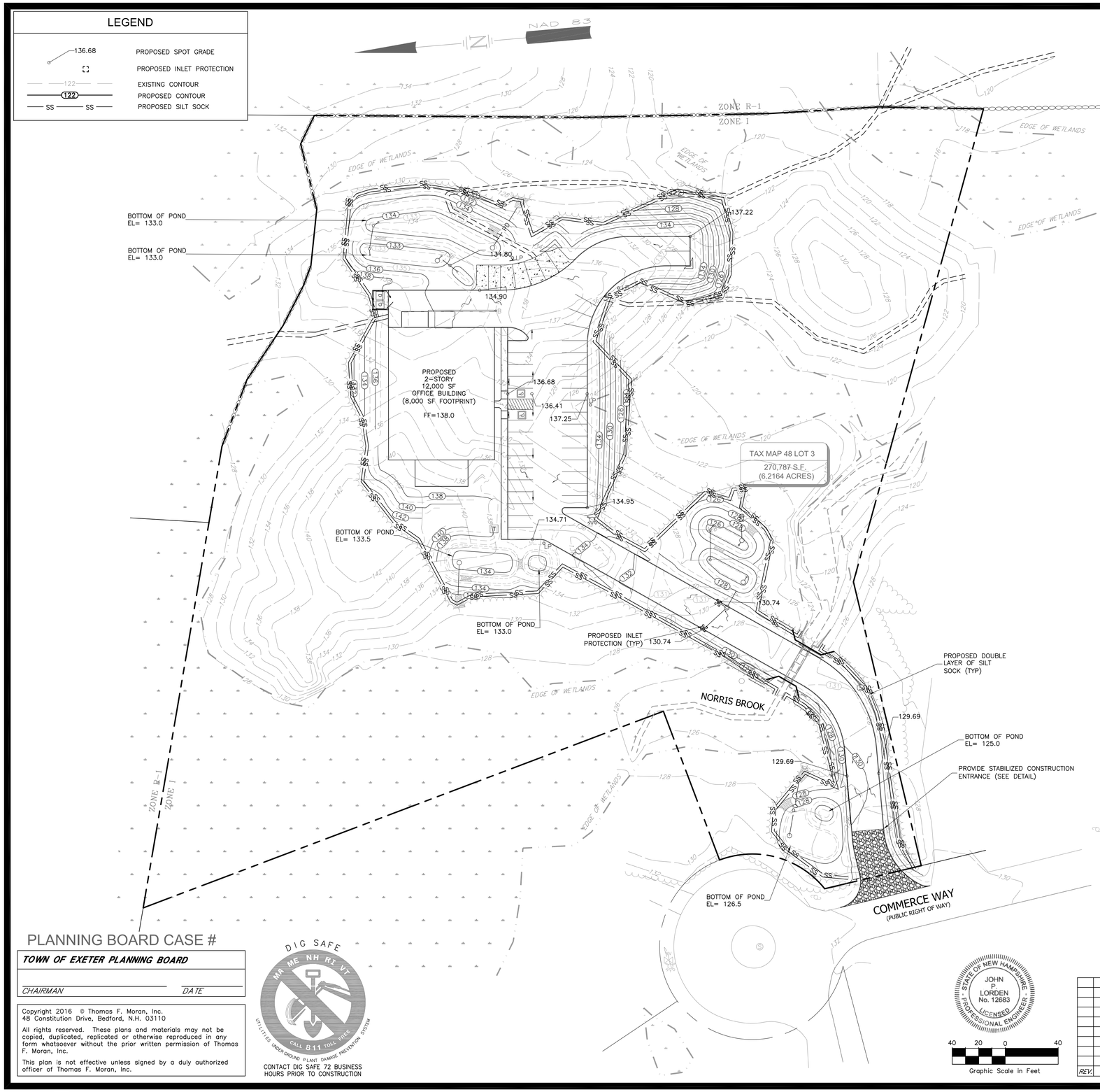

GRADING NOTES

1. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
2. DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
5. SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
6. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
7. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THEN ¼ INCH FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
8. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS ¼".
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
10. NO FILL SHALL BE PLACED IN ANY WETLAND AREA NOT DESIGNATED TO BE FILLED ON THE WETLANDS IMPACT PLAN.
11. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
13. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
14. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
15. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
16. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
18. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE , AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

EROSION CONTROL NOTES

1. SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
2. INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
3. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
4. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
5. THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
6. SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
7. CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
8. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
9. PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
10. ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
11. ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
12. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
    B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
    C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
    D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
13. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
15. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN DATE

DIG SAFE MA ME NH RI VT UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM CALL 811 TOLL FREE

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE JOHN P LORDEN No. 12683 LICENSED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

GRADING & EROSION CONTROL PLAN

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

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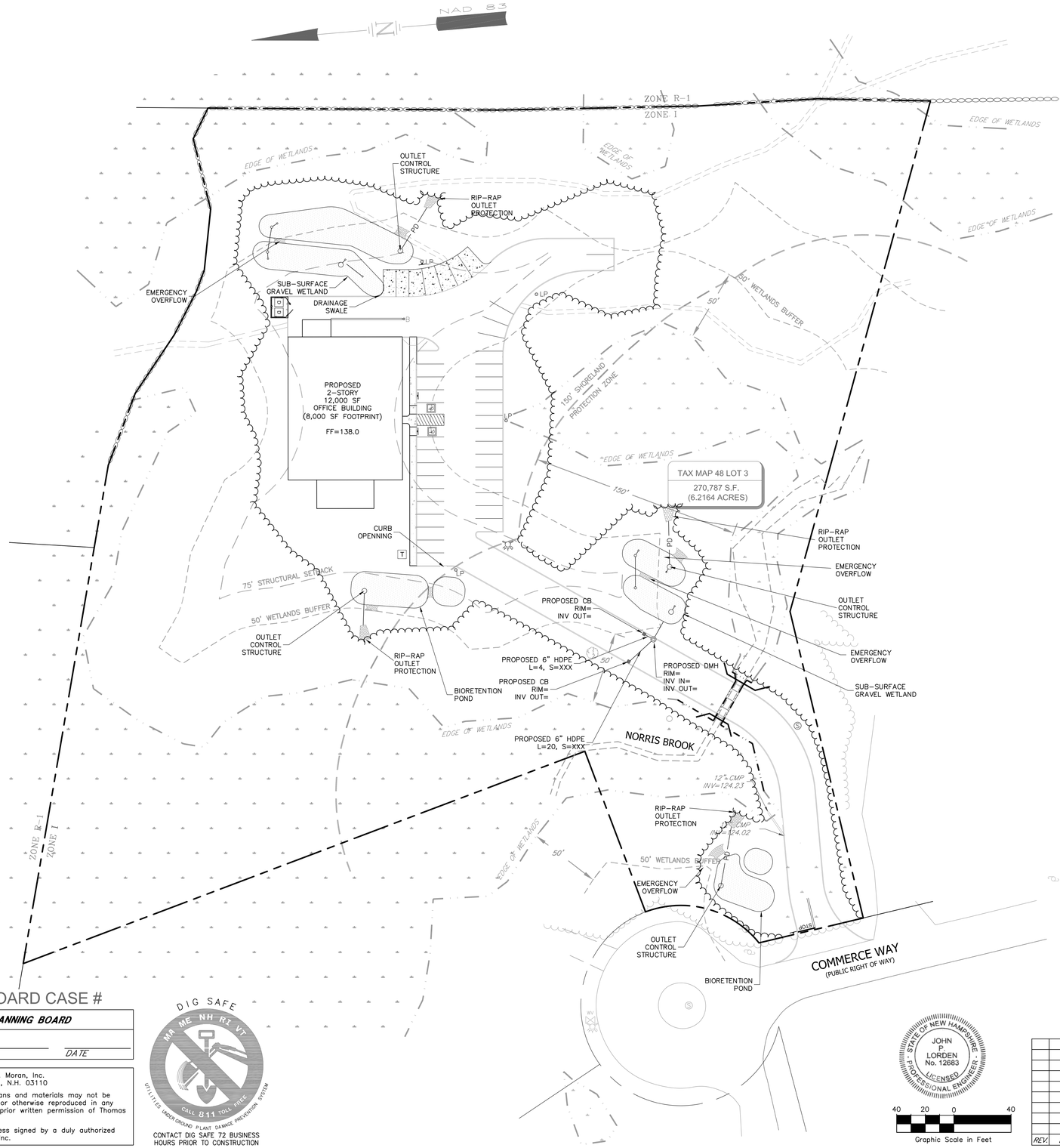

DRAINAGE NOTES

1. ALL STORM DRAIN LINES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS "N-12", OR APPROVED EQUAL) UNLESS OTHERWISE NOTED FOR ROOF DRAINS & CANOPY LEADERS.
2. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY/TOWN, COUNTY, AND STATE CODES.
4. LENGTH OF PIPE IS PROVIDED FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
5. COORDINATE ROOF AND CANOPY DRAINS WITH BUILDING PLANS.
6. ALL PROPOSED MANHOLES, CATCH BASINS AND OTHER STORMWATER STRUCTURES SHALL BE SUBJECT TO REVIEW AND APPROVAL UNDER SUBMITTAL REQUIREMENTS.
7. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
8. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
9. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.

TEST PIT LOGS

TEST PIT 1

0-4"	10YR3/2	FSL	GR	FR		
4-23"	10YR5/6	FSL	GR	FR		
23-52"	2.5Y5/3	LS	OM	FR	5%	5YR5/6

ESHWT = 23" TERMINATED @ 52" NO REFUSAL
ROOTS = 23" NO OBS. WATER

TEST PIT 2

0-4"	10YR3/2	FSL	GR	FR		
4-25"	10YR5/6	FSL	GR	FR		
24-59"	2.5Y5/4	LS	OM	FR	5%	5YR5/6

ESHWT = 24" TERMINATED @ 59" NO REFUSAL
ROOTS = 24" NO OBS. WATER

TEST PIT 3

0-5"	10YR3/2	FSL	GR	FR		
5-33"	10YR5/6	FSL	GR	FR		
33-40"	2.5Y5/4	LS	OM	FR		
40-60"	2.5Y5/3	LS	OM	FI	5%	5YR5/6

ESHWT = 40" TERMINATED @ 60" REFUSAL@60"
ROOTS = 40" NO OBS. WATER

TEST PIT 4

0-6"	10YR3/2	FSL	GR	FR		
6-13"	10YR3/6	FSL	GR	FR		
13-25"	2.5Y5/3	LS	OM	FI	5%	5YR5/6
25-52"	2.5Y5/3	LS	OM	FR	20%	5YR5/6

ESHWT = 13" TERMINATED @ 52" NO REFUSAL
ROOTS = 13" OBS. WATER @ 50"

TEST PIT 5

0-5"	10YR3/2	FSL	GR	FR		
5-32"	10YR5/6	FSL	GR	FR		
32-52"	2.5Y5/3	LS	OM	FR	5%	5YR5/6

ESHWT = 32" TERMINATED @ 52" REFUSAL @ 52"
ROOTS = 32" NO OBS. WATER

TEST PIT 6

0-4"	10YR3/2	FSL	GR	FR
4-29"	10YR5/6	FSL	GR	FR
29-36"	10YR4/4	LS	OM	FR
36-120"	2.5Y5/4	LS	OM	FR

ESHWT GREATER THAN 120" TERMINATED @ 120" NO REFUSAL
ROOTS = 36" NO OBS. WATER

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TOWN OF EXETER PLANNING BOARD

CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
UTILITIES UNDER GROUND PLANT DAMAGE PREVENTION SYSTEM
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE
JOHN P. LORDEN
No. 12683
LICENSED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

DRAINAGE PLAN

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

SCALE: 1"=40' (22X34)
1"=80' (11X17)

AUGUST 3, 2016

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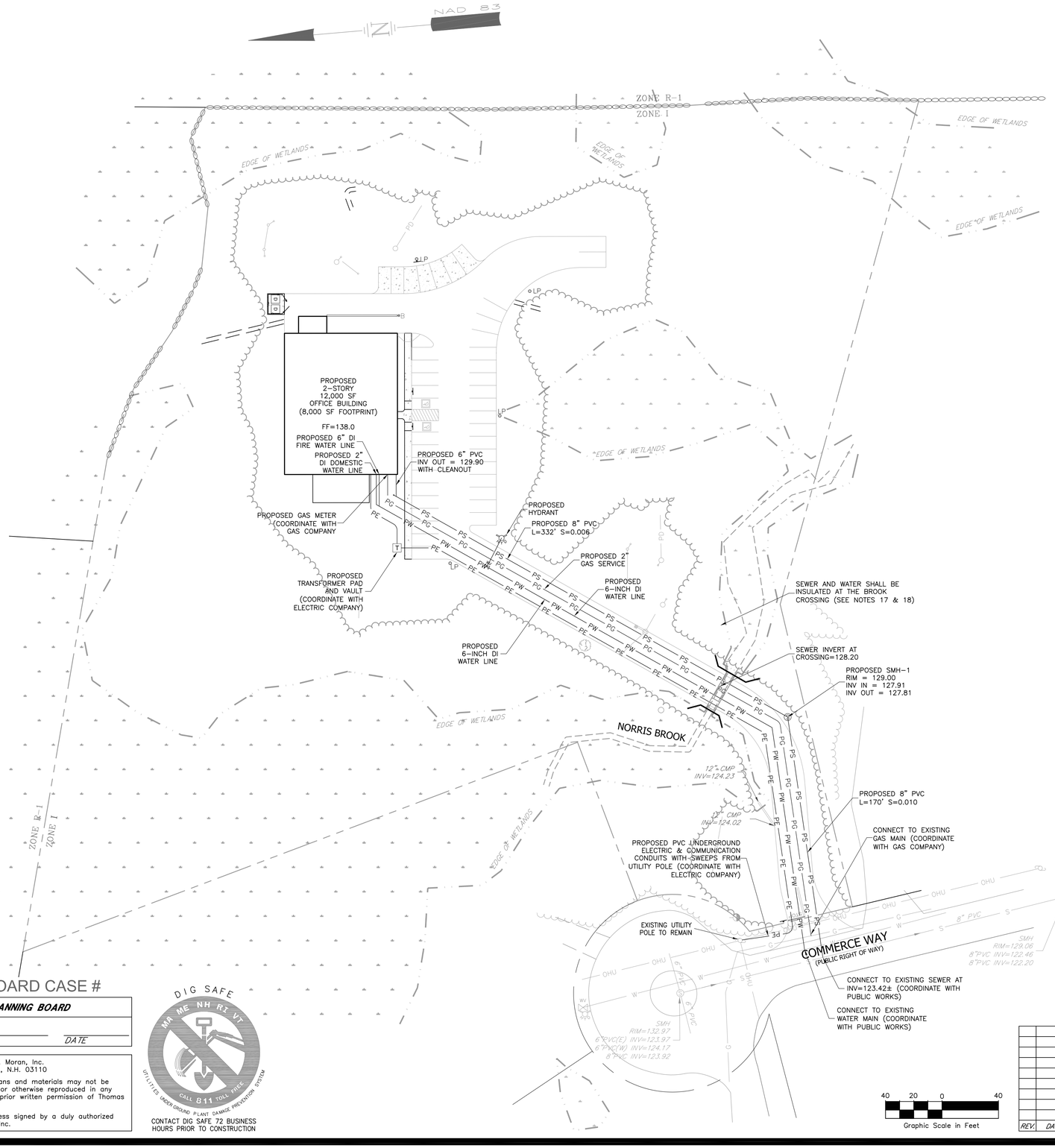

LEGEND

EXISTING UTILITY POLE	EXISTING DRAIN LINE
PROPOSED LIGHT POLE BASE	EXISTING GAS LINE
PROPOSED SEWER MANHOLE	EXISTING OVERHEAD UTILITIES
PROPOSED DRAIN MANHOLE	EXISTING SEWER LINE
PROPOSED CATCH BASIN	EXISTING WATER LINE
	PROPOSED DRAIN LINE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPERTY LINE
	EDGE OF WETLANDS

UTILITY NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF EXETER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY AND/OR STATE AGENCY.
2. ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
6. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
7. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
8. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
9. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
10. SEE EXISTING FEATURES PLAN FOR ANY KNOWN EXISTING UTILITY EASEMENTS. CONTACT ALL EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENT.
11. ALL UTILITY STRUCTURES IN PAVEMENT SHALL BE SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
12. LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
13. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
14. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
15. COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
16. THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY AND/OR PRIVATE UTILITY COMPANY.
17. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). ALL SEWER CONTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON. SEWER LINES SHALL BE INSULATED WHERE COVER IS LESS THAN 6' BELOW PAVED AREAS.
18. ON-SITE WATER DISTRIBUTION SHALL BE TO EXETER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER OR BE INSULATED. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
19. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
20. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
21. ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
22. THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.

THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNITIL
ELECTRIC	EVERSOURCE
TELEPHONE	FAIRPOINT COMMUNICATIONS
CABLE	COMCAST

STATE OF NEW HAMPSHIRE
JOHN P. LORDEN
No. 12683
LICENSED PROFESSIONAL ENGINEER

TAX MAP 48 LOT 3

UTILITY PLAN

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

SCALE: 1"=40' (22X34)
1"=80' (11X17)

AUGUST 3, 2016

PLANNING BOARD CASE #

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CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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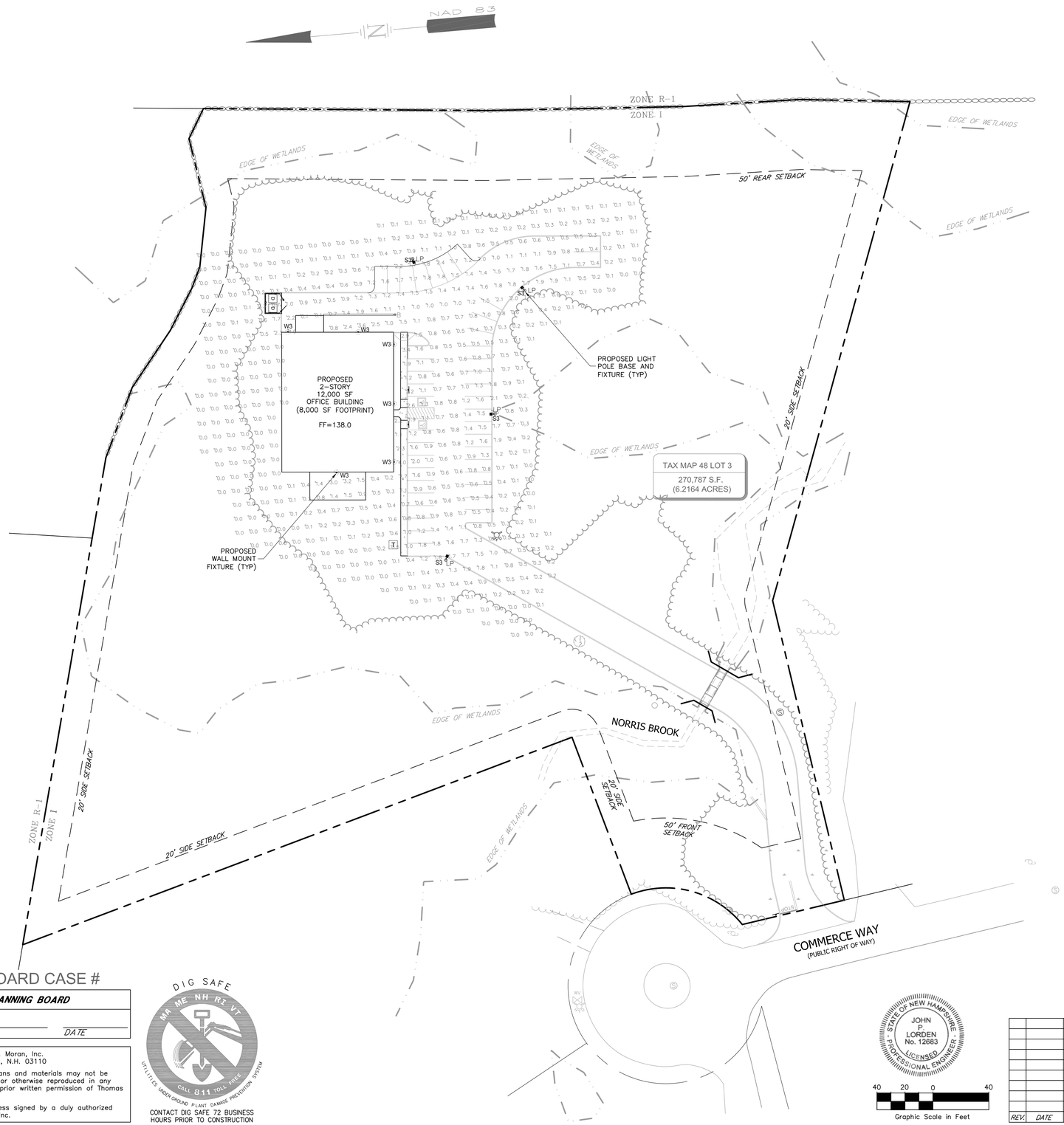

LEGEND	
TYP	TYPICAL
0.0	ILLUMINANCE AT PAVEMENT SURFACE
LP	LIGHT POLE BASE
	LIGHT FIXTURE
W	WALL MOUNT FIXTURE
	PROPERTY LINE

NOTES

1. ALL FIXTURES SHALL BE LED FIXUTRES MEETING FULL CUT-OFF, DARK-SKY COMPLIANCE.
2. ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF 24 INCHES.
3. ALL UNDERGROUND CONDUITS WILL HAVE NYLON PULL ROPE.
4. ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
5. ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ABUTTING PROPERTIES.
6. LUMINAIRIES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF A 20 FEET HIGH (SEE LUMINAIRE SCHEDULE).
7. PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
8. POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
9. ALL LIGHT BASES TO BE SQUARE.
10. LIGHTING DESIGN, CALCULATIONS AND PHOTOMETRICS PROVIDED BY CHARRON, INC.

PRV PREVAIL

LED

AREA / SITE / ROADWAY LUMINAIRE

POLE FIXTURE (S3)

LUMARK PRV-A15-D-UNV

XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

WALL MOUNT FIXTURE (W3)

XTOR3A

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
LP	4	S3	SINGLE	PRV-A15-D-UNV-T3-BZ / 20' AFG
W	6	W3	SINGLE	XTOR3A / WALL MTD 18' AFG

Illuminance (Fc)
Average = 1.03
Maximum = 2.4
Minimum = 0.3
Avg/Min Ratio = 3.43
Max/Min Ratio = 8.00

TAX MAP 48 LOT 3

LIGHTING PLAN

C3I, INC.

8 COMMERCE WAY

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STATE OF NEW HAMPSHIRE
JOHN P. LORDEN No. 12683
LICENSED PROFESSIONAL ENGINEER

40 20 0 40
Graphic Scale in Feet

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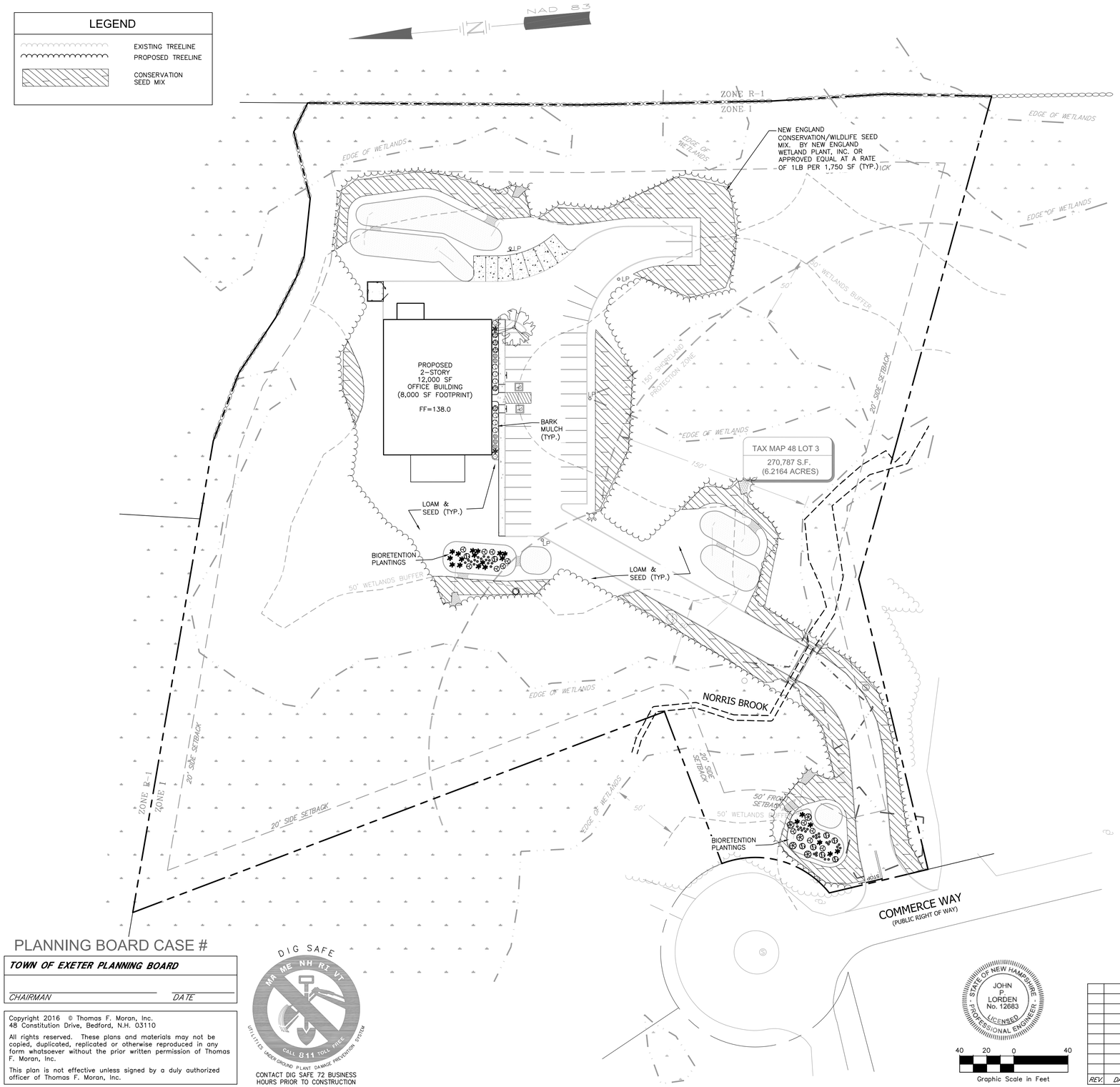

Graphic Scale in Feet

40 20 0 40

LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	1	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" TO 3" CAL.	B&B
	5	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES' SIXTEEN CANDLES SUMMERSWEET	#3	CONT.
	6	RHODODENDRON 'POHJOLAS DAUGHTER' POHJOLAS DAUGHTER RHODODENDRON	18"-24"	B&B
	5	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIREA	#3	CONT.
	2	RHODODENDRON 'PJM' PJM RHODODENDRON	18"-24"	CONT.
	4	FESTUCA GLAUCA 'ELIJAH BLUE' ELIJAH BLUE FESCUE GRASS	1 GAL.	CONT.

BIORETENTION LEGEND

	38	AQUILEGIA CANADENSIS RED COLUMBINE	#2	CONT.
	12	CLETHRA ALNIFOLIA 'COMPACTA' COMPACT SUMMERSWEET	#3	CONT.
	8	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	#3	CONT.
	5	ILEX VERTICILLATA WINTERBERRY	#3	CONT.
	21	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCHGRASS	#2	CONT.

LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

GENERAL

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
4. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
5. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBEROUS, COMPACT ROOT SYSTEM.
7. ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
8. ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
9. ALL LANDSCAPED AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SEE IRRIGATION NOTES.
10. IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
11. ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."
12. RHODODENDRON'S PLANT 1:5 PEAT MOSS TO PLANTING SOIL.
13. EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.

GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

TAX MAP 48 LOT 3

LANDSCAPE PLAN

C3I, INC.

8 COMMERCE WAY

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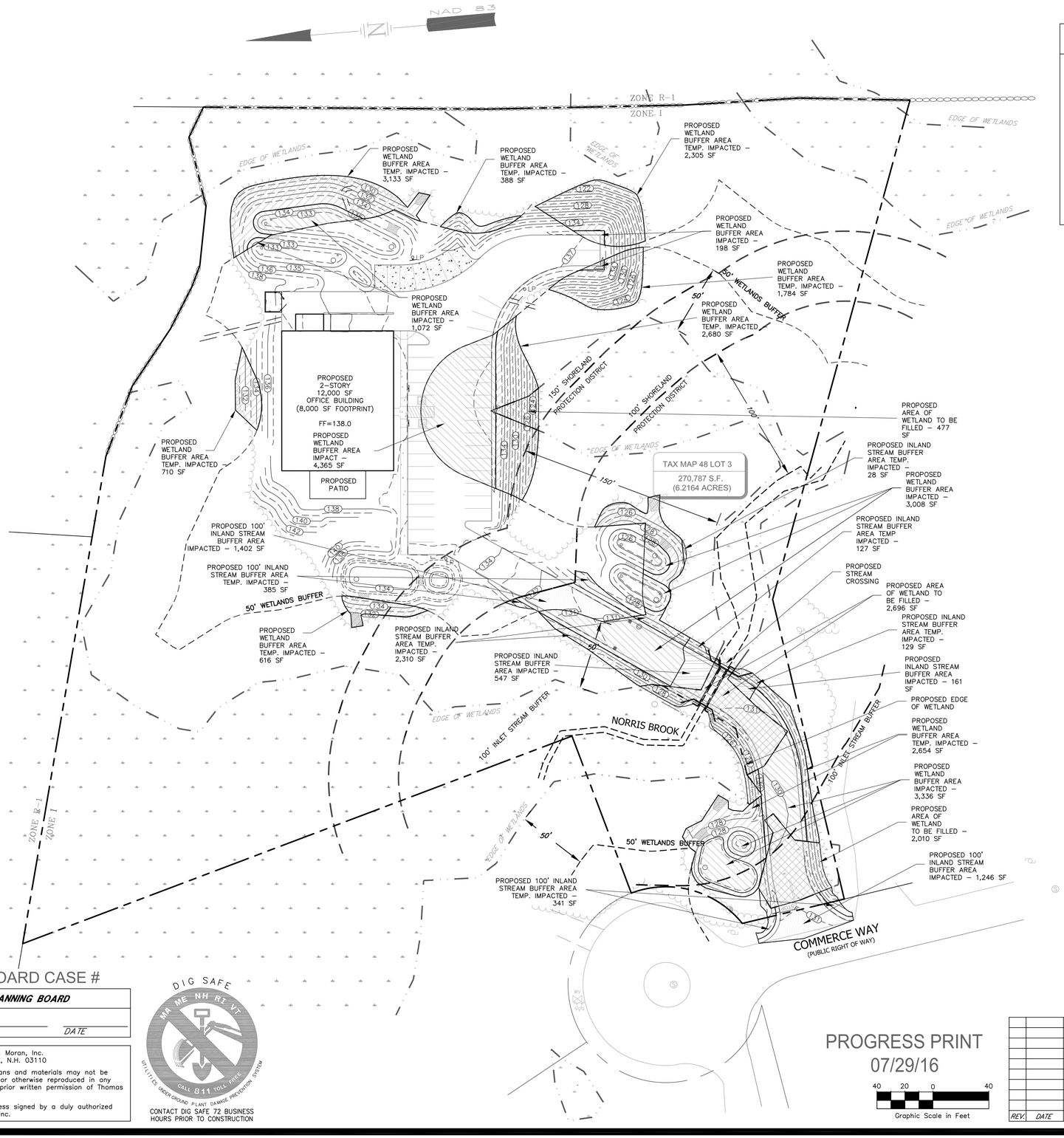

LEGEND

EP	PROPOSED EDGE OF PAVEMENT		EXISTING WETLANDS
LF	LINEAR FEET		PROPOSED CONCRETE
TYP	TYPICAL		PROPOSED WETLAND IMPACT
LP	PROPOSED LIGHTPOLE BASE		PROPOSED WETLAND BUFFER IMPACT
	PROPERTY LINE		PROPOSED INLET STREAM BUFFER IMPACT
	EDGE OF WETLANDS BUFFER		
	EXISTING TREELINE		
	PROPOSED TREELINE		
	EXISTING EDGE OF WETLANDS		
	PROPOSED EDGE OF WETLANDS		

WETLAND IMPACT SUMMARY

DIRECT WETLAND IMPACT:	5.183 SF
PERENNIAL STREAM IMPACT (36 LF X 3):	108 LF
25' INLAND STREAM BUFFER IMPACT, PERMANENT:	708 SF
25' INLAND STREAM BUFFER IMPACT, TEMPORARY:	284 SF
50' WETLAND BUFFER IMPACT, PERMANENT:	11,979 SF
50' WETLAND BUFFER IMPACT, TEMPORARY:	16,580 SF
100' INLAND STREAM BUFFER IMPACT, PERMANENT:	2,468 SF
100' INLAND STREAM BUFFER IMPACT, TEMPORARY:	726 SF

NOTE: THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.

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07/29/16

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REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

WETLAND IMPACT PLAN

C3I, INC.

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170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.mscengineers.com

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SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF CHATFIELD–HOLLIS–CANTON COMPLEX AND SWANSEA MUCKY PEAT, THE MAJORITY OF THE SOIL IS HSG TYPE B AND B/D.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 65,000 SQUARE FEET. CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SWPPP IF REQUIRED.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. COMPLETE MAJOR GRADING OF SITE.
4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
5. CONSTRUCT PARKING LOT.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
7. CONSULT APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON–EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSIVE VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10 INCHES OR GREATER.
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

A. B. FILTERS / BARRIERS

1. SILT SOCKS

A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE ⅜" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11–A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02–B	2" SIEVE AND MIN. 60% GREATER THAN THE ⅜" SIEVE
MOISTURE CONTENT		STND TESTING < 60%

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN–MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL–DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED ½ OF THE EXPOSED HEIGHT OF THE SILT SOCK.

C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.

D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED

C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS, IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

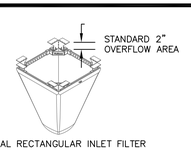
D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF FOUR INCHES. THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER ONE INCH IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10–20–20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 300 POUNDS PER ACRE.

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE



TYPICAL RECTANGULAR INLET FILTER

NOTES:

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > ½".
3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
5. REPLACE BAG IF TORN OR PUNCTURED TO > ½" DIAMETER ON LOWER HALF OF BAG.

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC.
A DIVISION OF ADS, INC.
WWW.INLETFILTERS.COM
(866) 287–8655 INFO@INLETFILTERS.COM

INLET PROTECTION

NOT TO SCALE

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.

C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)

D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST–DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3–INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

1. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.

B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS:
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.

C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

2. PRODUCT SPECIFICATION PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:
CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
B.
C. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

E. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

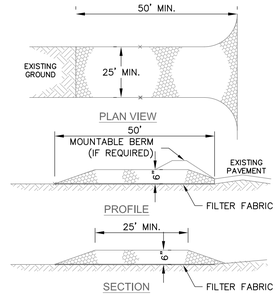
F. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

G. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.

H. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY–TO–DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.



SIEVE SIZE	% PASSING BY WEIGHT
2 inches	100
1 ½ inches	90–100
1 inch	20–55
½ inch	0–15
⅜ inch	0–5

CONSTRUCTION SPECIFICATIONS

STONE SIZE – NHDOT STANDARD STONE SIZE #4 – SECTION 703 OF NHDOT STANDARD SPECIFICATIONS. (SEE GRADATION TABLE)

LENGTH – 50 FOOT MINIMUM

THICKNESS – SIX (6) INCHES MINIMUM

WIDTH – 25' MINIMUM OR WIDTH OF DRIVEWAY

FILTER FABRIC – MIRAFI 600X OR APPROVED EQUAL SHALL BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.

INSTALLATION – THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS–OF–WAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
CALL 811 TOLL FREE
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE
JOHN P. LORDEN No. 12683 LICENSED
PROFESSIONAL ENGINEER

TAX MAP 48 LOT 3

EROSION CONTROL NOTES & DETAILS

C3I, INC.
8 COMMERCE WAY
EXETER, NEW HAMPSHIRE

OWNED BY
JSS AND ASSOCIATES

AUGUST 3, 2016

REV.	DATE	DESCRIPTION	DR	CK

TFM MSC
A division of TFMoran, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431–2222
Fax (603) 431–0910
www.mscengineers.com

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	CK JPL	CADFILE	Details.dwg	

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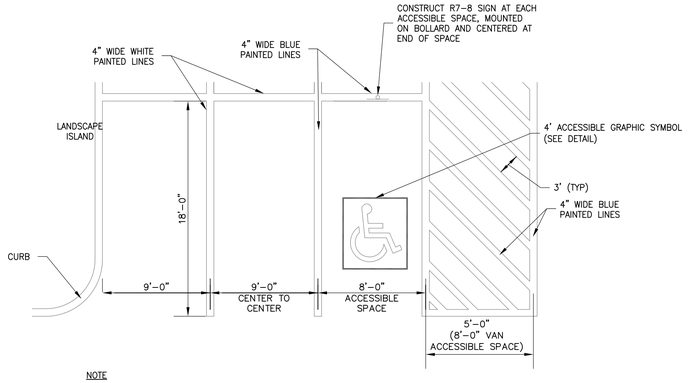
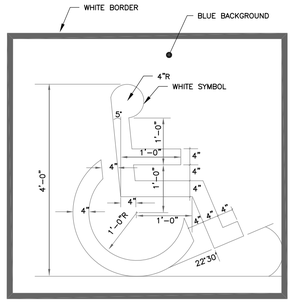


NOTE

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
3. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" OC BORDERED BY 4" WIDE LINES.
4. 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

TYPICAL PARKING LAYOUT

NOT TO SCALE



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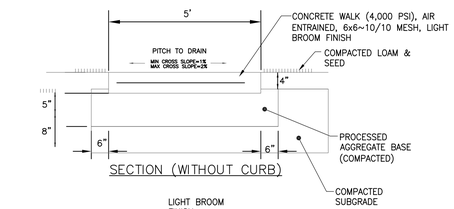
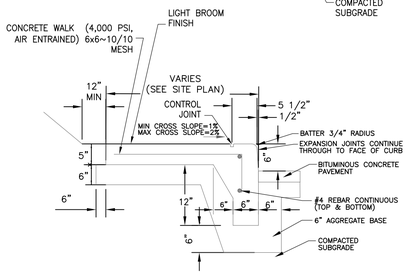
ACCESSIBLE GRAPHIC SYMBOL

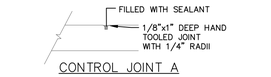
NOT TO SCALE



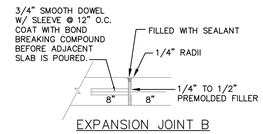
SECTION (WITHOUT CURB)



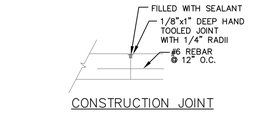
SECTION (WITH MONOLITHIC CURB)



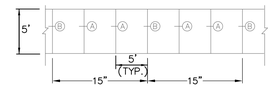
CONTROL JOINT A



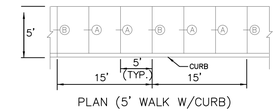
EXPANSION JOINT B



CONSTRUCTION JOINT



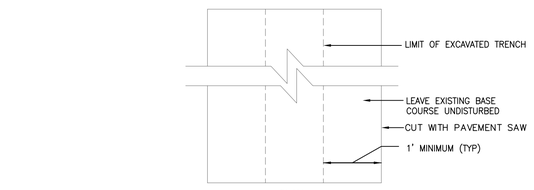
PLAN (5' WALK W/OUT CURB)



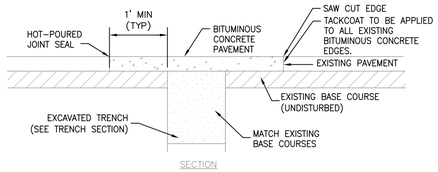
PLAN (5' WALK W/CURB)

CONCRETE SIDEWALK

NOT TO SCALE



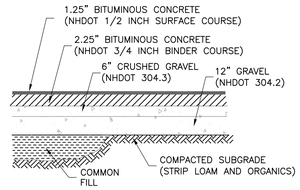
PLAN



SECTION

TRENCH PATCH

NOT TO SCALE

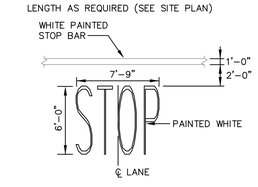


NOTES

1. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
9. ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER LOCATIONS SHALL BE HEAVY DUTY.

PAVEMENT SECTIONS

NOT TO SCALE



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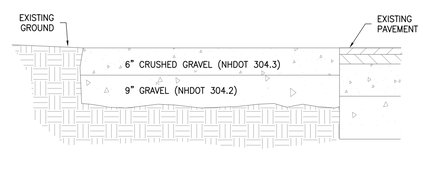
STOP BAR & LEGEND

NOT TO SCALE



STANDARD GRAVEL PARKING AREA

NOT TO SCALE

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

DIG SAFE
MA ME NH RI VT
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CALL 811 TOLL FREE

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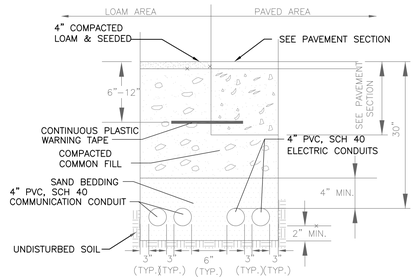
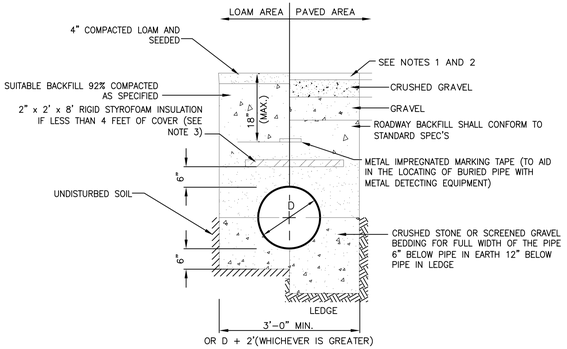


NOTES

1. ELECTRIC SERVICE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
2. COMMUNICATION SERVICE INSTALLATION SHALL MEET ALL CONSTRUCTION REQUIREMENTS.
3. SEE UTILITIES PLAN OF NUMBER OF CONDUITS.

ELECTRIC/COMMUNICATIONS CONDUIT

NOT TO SCALE

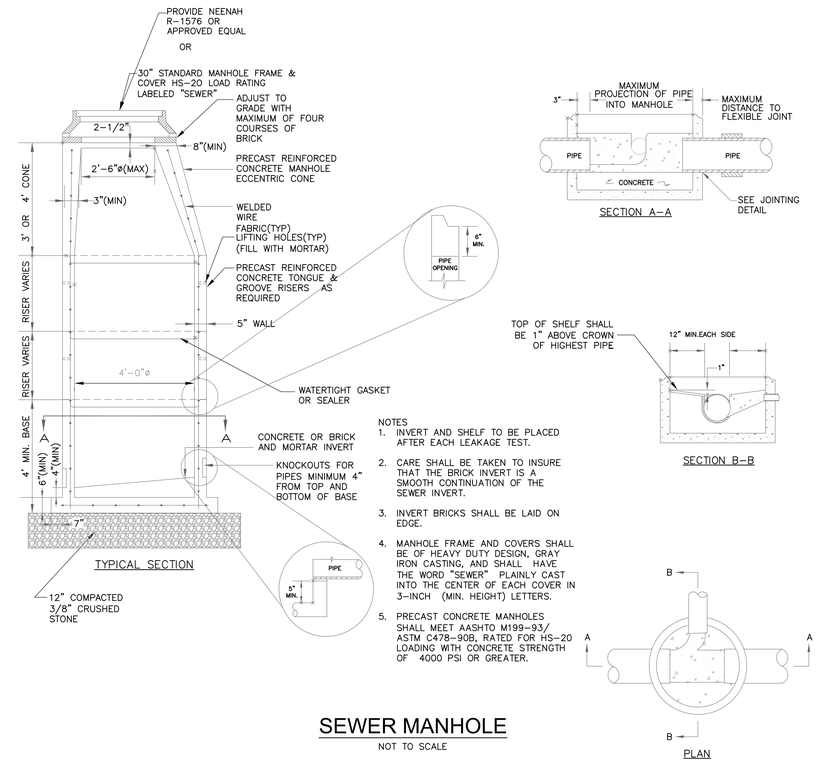


NOTES

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.
3. GAPS BETWEEN SECTIONS OF INSULATION TO BE COVERED WITH 2" x 2' x 2' PIECE OF INSULATION CENTERED OVER GAP.

SEWER TRENCH W/OPTIONAL INSULATION

NOT TO SCALE

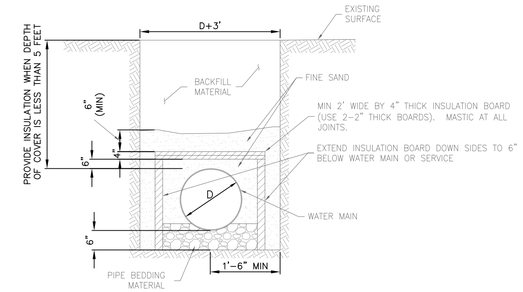


NOTES

1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
3. INVERT BRICKS SHALL BE LAID ON EDGE.
4. MANHOLE FRAME AND COVERS SHALL BE OF HEAVY DUTY DESIGN, GRAY IRON CASTING, AND SHALL HAVE THE WORD "SEWER" PLAINLY CAST INTO THE CENTER OF EACH COVER IN 3-INCH (MIN. HEIGHT) LETTERS.
5. PRECAST CONCRETE MANHOLES SHALL MEET AASHTO M199-93/ ASTM C478-90B, RATED FOR HS-20 LOADING WITH CONCRETE STRENGTH OF 4000 PSI OR GREATER.

SEWER MANHOLE

NOT TO SCALE



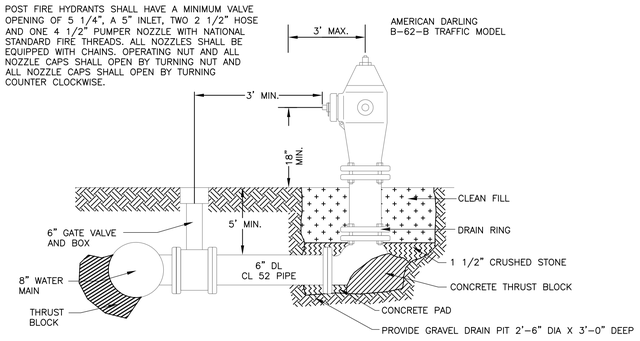
NOTES

1. INSULATION BOARD SHALL BE FOAMULAR® 250 RIGID FOAM INSULATION BY OWENS CORNING OR APPROVED EQUAL, 2" THICK.
2. BACKFILL MATERIAL AROUND INSULATION MUST BE FINE SAND FREE FROM ROOTS, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS.
3. OVERLAP ALL INSULATION BOARD JOINTS.

WATER MAIN TRENCH INSULATION DETAIL

NOT TO SCALE

POST FIRE HYDRANTS SHALL HAVE A MINIMUM VALVE OPENING OF 5 1/4", A 5" INLET, TWO 2 1/2" HOSE AND ONE 4 1/2" PUMPER NOZZLE WITH NATIONAL STANDARD FIRE THREADS. ALL NOZZLES SHALL BE EQUIPPED WITH CHAINS. OPERATING NUT AND ALL NOZZLE CAPS SHALL OPEN BY TURNING NUT AND ALL NOZZLE CAPS SHALL OPEN BY TURNING COUNTER CLOCKWISE.



HYDRANT INSTALLATION DETAIL

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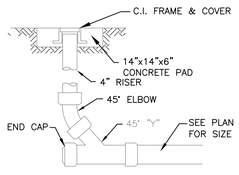

CLEAN OUT

NOT TO SCALE

PLANNING BOARD CASE #

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CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
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SITE AND SOIL PREPARATION

1. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
2. ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
3. LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
4. NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
5. SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
6. APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
7. THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

1. ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
2. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

PARK SEED MIX (NHDOT TYPE 44) MIN. 135 LBS/ACRE:

33% CREEPING RED FESCUE	(MIN. 45 LBS/ACRE)
42% PERENNIAL RYEGRASS	(MIN. 55 LBS/ACRE)
21% KENTUCKY BLUEGRASS	(MIN. 30 LBS/ACRE)
4% REDTOP	(MIN. 5 LBS/ACRE)

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
100% ANNUAL RYE

SLOPE SEED (WF) (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 105 LBS/ACRE):

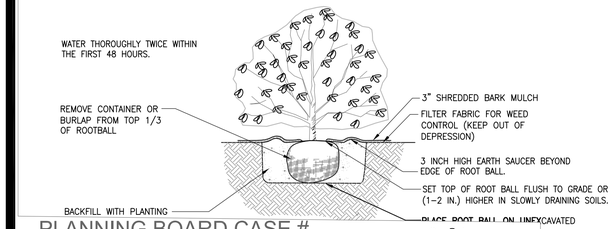
38% CREEPING RED FESCUE	(MIN. 40 LBS/ACRE)
32% PERENNIAL RYEGRASS	(MIN. 35 LBS/ACRE)
5% REDTOP	(MIN. 5 LBS/ACRE)
5% ALSIKE CLOVER	(MIN. 5 LBS/ACRE)
5% BIRDSFOOT TREFOIL	(MIN. 5 LBS/ACRE)
3% LANCE-LEAF COREOPSIS	(MIN. 3 LBS/ACRE)
3% OXEYE DAISY	(MIN. 3 LBS/ACRE)
3% BUTTERFLY WEED	(MIN. 3 LBS/ACRE)
3% BLACKEYED SUSAN	(MIN. 3 LBS/ACRE)
3% WILD LUPINE	(MIN. 3 LBS/ACRE)

SLOPE SEED (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 90 LBS/ACRE):

44% CREEPING RED FESCUE	(MIN. 40 LBS/ACRE)
38% PERENNIAL RYEGRASS	(MIN. 35 LBS/ACRE)
6% REDTOP	(MIN. 5 LBS/ACRE)
6% ALSIKE CLOVER	(MIN. 5 LBS/ACRE)
6% BIRDSFOOT TREFOIL	(MIN. 5 LBS/ACRE)

PLANTING

1. EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
2. ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
3. DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
4. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
5. DISH TOP OF BACKFILL TO ALLOW FOR MULCH – PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6' DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
6. MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"–2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
7. STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8', WOOD STAKES. GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH–TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
8. TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
9. ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
10. TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.
11. THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.



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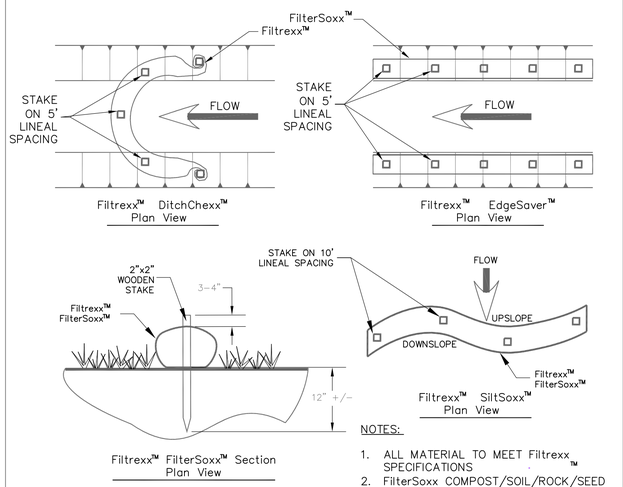
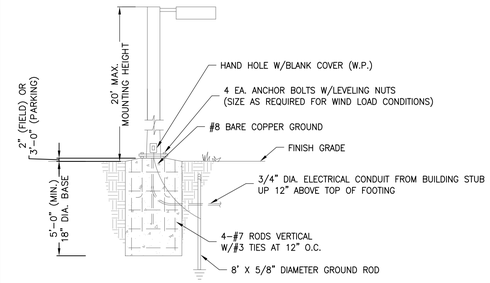


NOTES:
1. ALL MATERIAL TO MEET Filtrexx™ SPECIFICATIONS
2. FilterSoxx COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Filtrexx™ FilterSoxx™ Staking

NOT TO SCALE

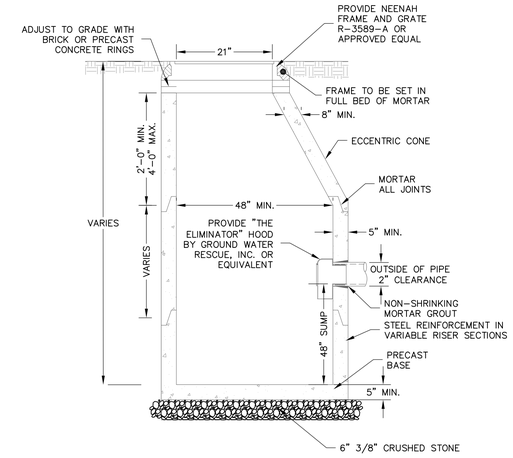


NOTES

1. BASE SHOWN IS PROTOTYPICAL. VERIFY THAT LIGHT POLE BASE INSTALLED MEETS LIGHT POLE MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR.
2. WHERE LIGHT POLE BASES ARE PLACED IN AREAS NOT PROTECTED BY CURBING, A 3'–0" REVEAL OF BASE IS REQUIRED WITH REVEAL TO BE PAINTED SAFETY YELLOW. WHERE LIGHT POLE BASES ARE PLACED IN FIELD APPLICATIONS OR PROTECTED BY CURBING, THE BASE IS TO BE PLACED 2" ABOVE FINISHED GRADE.
3. BASE CONCRETE TO BE 4,000 PSI, SMOOTH FINISH.
4. POLES SHALL BE FACTORY CUT TO PROVIDE REQUIRED MOUNTING HEIGHTS.
5. POLES AND LIGHT FIXTURES TO BE XXX.

LIGHT POLE BASE

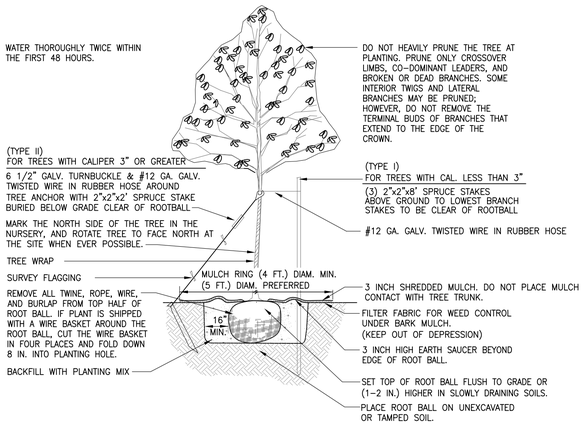
NOT TO SCALE



NOTES
1. ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
2. CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
3. ALL COMPONENTS SHALL BE DESIGNED FOR HS–20 LOADING.
4. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
5. ALL CASTINGS SHALL BE MADE IN THE USA.

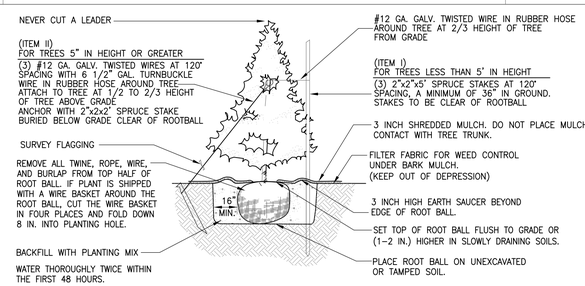
ECCENTRIC CATCH BASIN WITH HOODED OUTLET

NOT TO SCALE



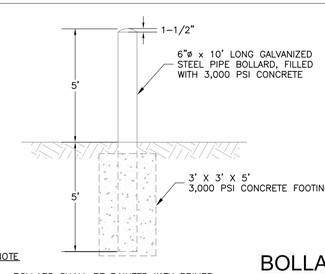
DECIDUOUS TREE PLANTING

NOT TO SCALE



EVERGREEN PLANTING

NOT TO SCALE



NOTE
1. BOLLARD SHALL BE PAINTED WITH PRIMER & 2 COATS OF SAFETY YELLOW PAINT.

BOLLARD

NOT TO SCALE

JOHN P. LORDEN No. 12683 LICENSED PROFESSIONAL ENGINEER – STATE OF NEW HAMPSHIRE

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

DETAILS

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

AUGUST 3, 2016

TFM MSC
A division of TFMoran, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431–2222
Fax (603) 431–0910
www.mscengineers.com

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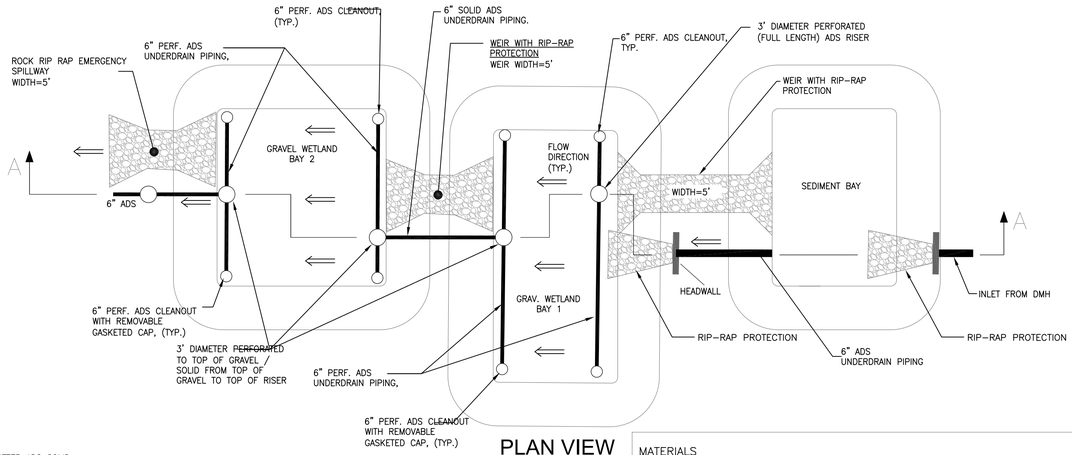
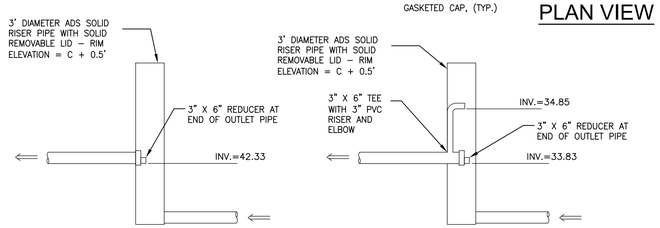


PLAN VIEW



OUTLET CONTROL FOR GRAVEL WETLAND NO. 1

OUTLET CONTROL FOR GRAVEL WETLAND NO. 2

INSPECTION AND MAINTENANCE.

FOREBAYS: INSPECT FOREBAYS FOR SEDIMENT ACCUMULATION TWICE PER YEAR MINIMUM AND REMOVE WHEN LEVEL REACHES 4 INCHES OR MORE. INSPECT FOR AND REMOVE ACCUMULATED DEBRIS TWICE PER YEAR MINIMUM. MOW FOREBAY SIDES AND BOTTOM WEEKLY TO PREVENT WOODY GROWTH AND PROMOTE GRASS GROWTH.

WETLANDS: INSPECT WETLANDS FOR AREAS OF DEAD OR STRESSED WETLAND GRASSES, REEDS, HERBACEOUS PLANTS, OR SHRUBS A MINIMUM OF TWICE PER YEAR AND REPLANT AS NECESSARY. MOW GRASSED SIDESLOPES ON A REGULAR BASIS TO KEEP HEIGHT OF VEGETATION BELOW 4 INCHES. INSPECT FOR AND REMOVE ACCUMULATED DEBRIS TWICE PER YEAR MINIMUM.

DESIGN LIFE: FOLLOWING THE MINIMAL MAINTENANCE PROCEDURES ABOVE, STUDIES CONDUCTED AT UNH INDICATE THE SYSTEM WILL CONTINUE TO DEVELOP INTO A HEALTHY DIVERSE WETLAND WITH NO QUANTIFIABLE DESIGN LIFE EXTENT.

MATERIALS

ORGANIC GRANULAR SOIL: THE ORGANIC GRANULAR SOIL MATERIAL SHALL BE FREE FROM REFUSE, FOREIGN MATERIALS, ROOTS, HARD DIRT, STIFF CLAY, COBBLES, MATERIALS DELETERIOUS TO PLANT GROWTH, OR OTHERS WHICH WILL PREVENT THE FORMULATION OF A UNIFORM MIXTURE WHEN BLENDED WITH PULVERIZED, WELL COMPOSTED LEAF MULCH OR ROTTED MANURE. THE PH OF THE BLENDED MATERIAL SHALL NOT BE LESS THAN 6.0 AND NOT GREATER THAN 7.0. ANY BLENDED MATERIAL THAT IS STOCKPILED ON SITE SHALL BE LOCATED HIGH AND DRY, OUTSIDE OF THE STREAM CHANNEL AND POND BASIN, PROTECTED FROM PRECIPITATION, AND PREVENTED FROM MINGLING WITH STORM WATER RUNOFF.

GRANULAR SOIL SHALL BE GUARANTEED CLEAN FILL MATERIAL OBTAINED FROM A COMMERCIAL SAND AND GRAVEL PIT, NOT ORIGINATING FROM RECONSTITUTED OR RECYCLED PAVEMENT MATERIALS. THE GRANULAR SOIL PORTION SHALL CONSTITUTE 80 TO 85 PERCENT OF THE MIXTURE, AND SHALL HAVE THE FOLLOWING GRADATION:

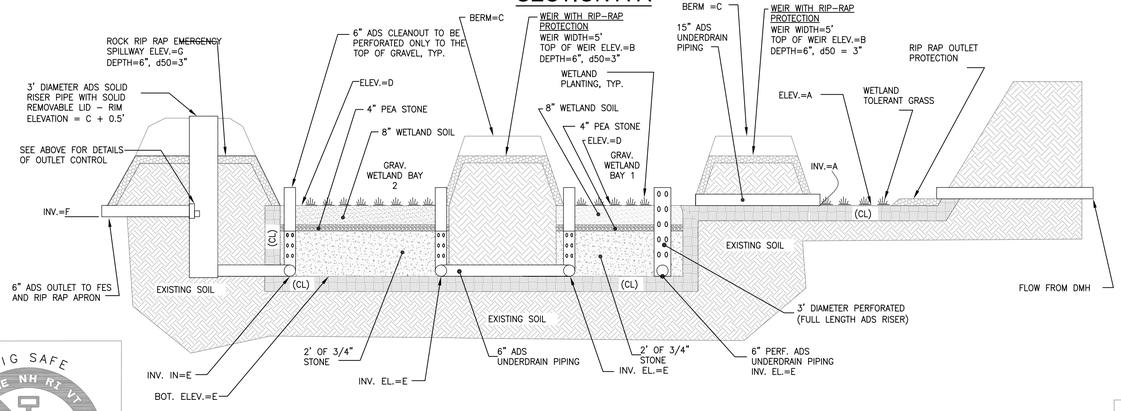
SIEVE SIZE	% PASSING BY WEIGHT
NO. 16	100%
NO. 40	85–100%
NO. 60	40–100%
NO. 200	5–10%

THE ORGANIC PORTION SHALL CONSTITUTE 15–20% OF THE MIXTURE, AND BE COMPRISED OF WELL PULVERIZED AND COMPOSTED LEAF MULCH OR ROTTED MANURE.

THE CONTRACTOR SHALL BLEND THE ORGANIC PORTION WITH THE GRANULAR PORTION UNDER DRY CONDITIONS TO PRODUCE A HOMOGENOUS MIXTURE. ANY REQUIRED TESTING OF THE SOIL MATERIALS SHALL BE CONDUCTED AT THE CONTRACTORS EXPENSE.

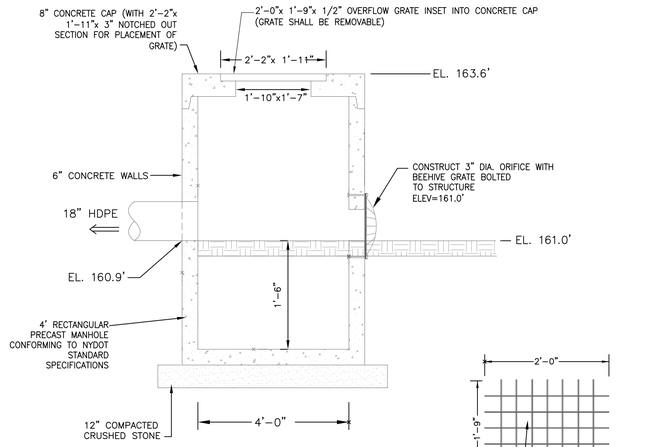
PROVIDE 1 FOOT DEEP CLAY LINER (CL) USING NATURAL CLAY FOR SEDIMENT FOREBAY AND FOR GRAVEL WETLAND BAYS.

SECTION A-A



TYPICAL GRAVEL WETLAND

NOT TO SCALE



OUTLET CONTROL STRUCTURE

NOT TO SCALE

PLANNING BOARD CASE

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

DIG SAFE — MA ME NH RI VT — UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM — CALL 811 TOLL FREE

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE — JOHN P. LORDEN No. 12683 — LICENSED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

DETAILS

C3I, INC.

8 COMMERCE WAY

EXETER, NEW HAMPSHIRE

OWNED BY

JSS AND ASSOCIATES

AUGUST 3, 2016

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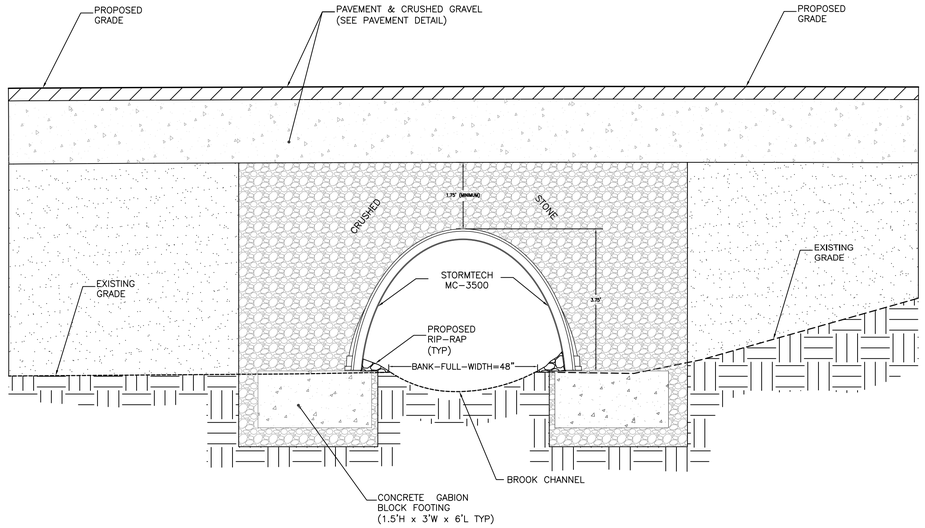

BROOK CROSSING

SCALE: 1"=2'

PLANNING BOARD CASE #

TOWN OF EXETER PLANNING BOARD

CHAIRMAN *DATE*

DIG SAFE
MA ME NH RI VT
CALL 811 TOLL FREE
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE
JOHN P. LORDEN No. 12683
LICENSED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 48 LOT 3

DETAILS

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		CK	JPL	CADFILE	Details.dwg	

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Potential Focus Areas – Areas of Interest

Rivers/Watershed

- VRAP
- Vernal Pools
- Wetlands
- Beaver Activity

Conservation Land Management

- Timber Harvest
- Invasives
- Raynes Farm Stewardship Committee
- Future Conservation Acquisitions
- Boundary Location
- Property Inspection

Trail Management

- Trail Marking and Maintenance
- Establishment and Closures

Outreach Planning

-

Project Reviews

- Technical Review Committee
- Zoning Amendments
- Regional and Local Planning

Other

-

EXETER CONSERVATION LANDS
October 2009 Final

Area	Parcel #, (E = Easement)	Steward Lead
Fresh River – Beech Hill	9, 15, 29, 39, 43, 52, 8E 13E, 25E	_____
Oaklands	11, 12, 13, 21, 38, 45, 48, 2E 2, 34, 53, 3E, 4E	_____
Henderson-Swasey	1^ (4 parcels), 44, 11E, 16E	_____
Little River	5, 6, 8, 22, 33, 37*, 46, 47, 6E, 7E 14E, 15E, 19E, 20E	_____
Jolly Rand	7, 36, 10E	_____
Juniper Road	24, 27, 49, 26, 23E	_____
Linden Street	14, 16, 23, 25, 51, 9E, 12E, 18E, 50 22E, 26E	_____
Exeter Country Club	17^, 18^, 20#, 35, 1E^, 28 42, 17E, 21E	_____
Enwright	10, 5E	_____
Smith-Page	3#, 30	_____
Raynes Farm	4, 19, 31, 32, 40@, 41	_____

*Parcel 37 is not labeled on maps
- Requires annual reporting for Land Water Conservation Fund (LWCF)
^- Requires annual reporting for Land Conservation Investment Program (LCIP)
@- Requires annual reporting for Land Conservation Historic Preservation (LCHIP)

Information Resources: 2008 Planning map, www.mapsonline.net, www.nhdeeds.com Conservation Land File Tracking spreadsheet, Property files, Parcels organized by 1st Trail Plan meeting w/ Town Planner, ConCom Chair and plan contractor

EXETER CONSERVATION LANDS

Fresh River – Beech Hill

9	Tomlinson &Kenick Land
15	Tomlinson &Kenick Land
29	Chapman Woods
39	Morgan Ryan Land
43	Birch Road Trust
52	Beech Hill Estates
8E	Bunker Property McDonnell
13E	Chapman Woods
25E	Exeter High School

Oaklands

11	Neal Land
12	Pease
13	Deene Land
21	Richard Parker Land
38	Oaklands (Forest Ridge)
45	Tax Deeded Parcels (adj to OTF)
48	Connor Land
2E	Captains Meadow
2	Oaklands South
34	Carlisle Land
3E	Chamberlin Easement
4E	Chamberlin Easement
53	Elliott (NRCS has easement)

Henderson-Swasey TF

1	Henderson Swasey Town Forest
44	Tax Deeded Parcels (adj to HSTF)
11E	Vaughn-Cusick Land
16E	Mobil Land

Little River

5	PEA
6	Houk/Kanzanjian Land
8	Colcord Pond
22	Dudley Land
33	REDC
37	FGS Land
46	Tax Deeded Parcels (Brentw Rd T/L)
47	Tax Deeded Parcels (Brentw /Ex T/L)
6E	Dollof Land
7E	Dollof Land
14E	Atwood Property
15E	Edmunds Easement
19E	Amundsen Easement
20E	Field Easement

Jolly Rand

7	Cheney Land
36	Christina Estates
10E	Joseph & Nellie Swasey

Juniper Road

24	Juniper Ridge
27	Clemson Fabrics Land
49	Stone Land
26	Leighton Land
23 E	Jones Land

Linden Street

14	Tara Development & Co Riverbend Cr
16	Perry Land
23	Perry Land Ext.
25	Shaw Land
51	Linden Commons
9E	McDonnell Property
12E	Waleryszack Land
18E	Hanson Easement
50	White Land
22E	(New) White Land
26E	Linden Commons

Exeter Country Club

17	Irvine Conservation Area
18	Irvine-Hayes Marsh
20	Allen Street Woodland Park
35	Starry Brook Land
1E	Exeter Country Club
28	Prospect Park Marsh
42	Windmere Land
17E	Exeter Hospital Land
21E	Route 88 Connector

Enwright

10	Enwright Land
5E	Pine Meadow Condos

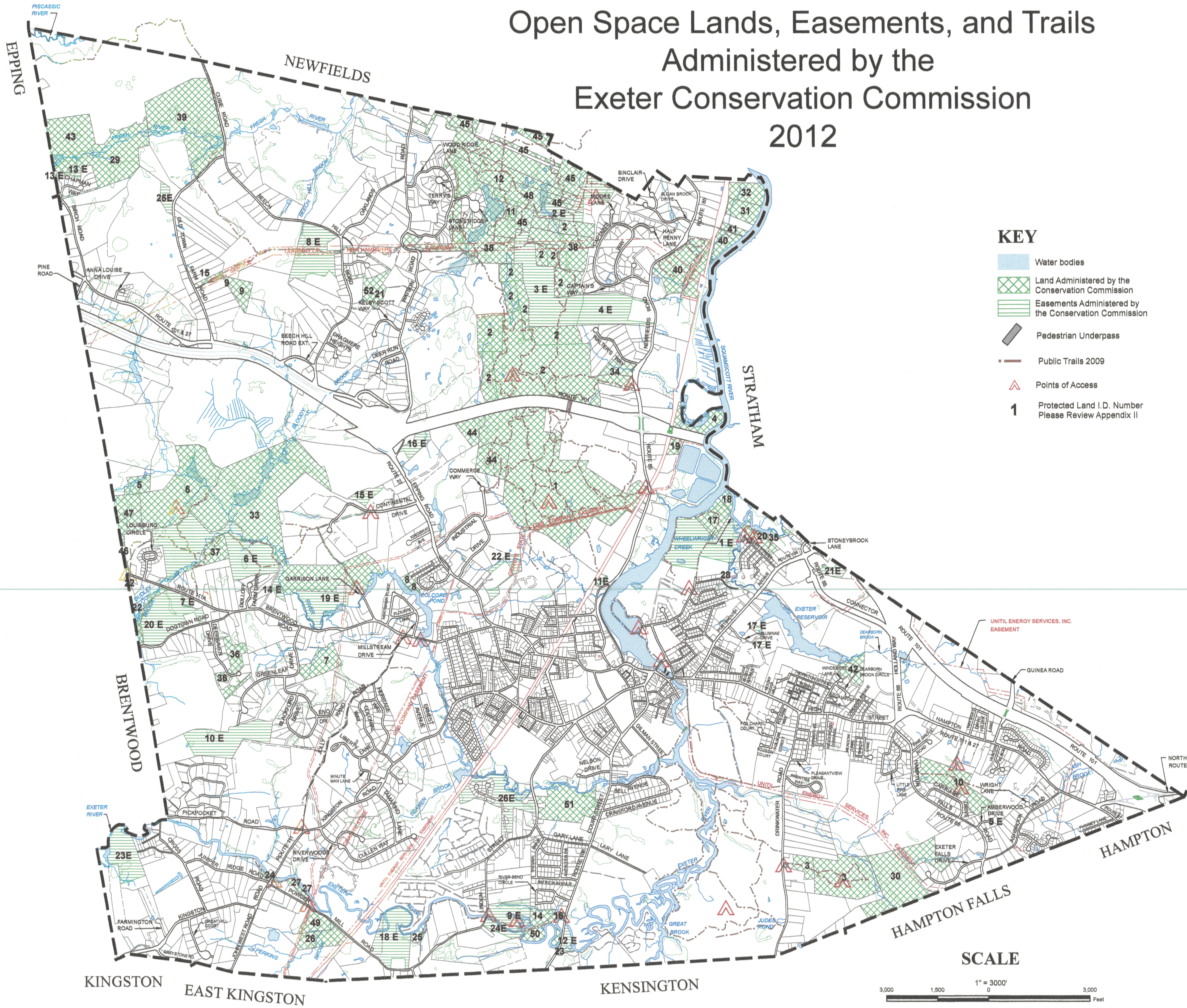
Smith-Page

3	Smith Page Conservation Land
30	Katz Land

Raynes Farm

4	Malloy Land
19	Wilfred Moreau Nursery
31	Renewable Resources Land
32	Lee/Diller Land
40	Raynes Land
41	Thomas Land

Open Space Lands, Easements, and Trails Administered by the Exeter Conservation Commission 2012



APPENDIX

LANDS AND EASEMENTS ADMINISTERED BY THE EXETER CONSERVATION COMMISSION

Map #	Lands	Acreage		Year Acquired	Tax Map-Lot
1.	Henderson-Swasey Town Forest				
	Henderson Swasey Land	178.0		1973	49-8
	Mary Williams Land	7.0			
	Arthur Plouffe Land	13.0			
	Ruth Churchill Land	3.0		1976	
	Industrial Park Land	16.0		1967	
	Rowell Land	4.0		1992	
		221.0	Total		
2.	The Oaklands Town Forest				
	Deene Land	141.5		1991	35-2
	Chamberlin Land	4.0		1991	20-3
	Stockbridge Land	5.0		1991	
	Jensen Land	37.5		1991	
	Phillips Exeter Academy Land	16.8			35-2
	Dawson/Dagostino Land	27.0		1984	25-1
		231.8	Total		
3.	Smith Page Conservation Land				
	Smith Cove (Drinkwater Road)	46.8		1979	107-3
	Page Land (Drinkwater Road)	8.5		1978	93-11
		55.3	Total		
4.	Molloy Land (Great Roundabout) Herman Smith Land (Great Throw)	11.7		1976	38-9
5.	P.E.A. Land (Brentwood Road)	8.0		1981	44-5
6.	Houck/Kazanjian Land (Brentwood Road)	74.3		1987	44-1
7.	Cheney Land (Greenleaf Drive)	16.5		1983	75-21
8.	Colcord Pond (several parcels)	3.8		1984	55-16,55-36
9.	Tomilson/Kenick Land (Old Town Farm Road)	10.3		1978	28-14,28-15
10.	Enwright Land (Hampton Falls Rd.)	30.4		1986	86-12
11.	Neal Land (part of Dawson Land)	3.4		1984	20-6
12.	Pease Land (part of Dawson Land)	4.0		1984	10-8
13.	Deene Land (Watson Road)	21.0		1991	10-8
14.	Tara Development Company & Riverbend Cr.	6.7		1986	104-23
15.	Tomilson & Kenick Land (Old Town Farm Road)	2.5		1998	28-13
16.	Perry Land	4.0		1993	104-4
17.	Irvine Conservation Area (Powell's Point)	13.4		1989	50-1
18.	Irvine-Hayes Marsh	3.3		1989	50-2
19.	Wilfred Moreau Nursery	4.6		1967	38-13
20.	Allen Street Woodland Park	9.0		1990	52-97
21.	Richard Parker Land	3.0			26-8
22.	Dudley Land (Brentwood Road)	7.0			58-6,58-1
23.	Perry Land Ext.	0.2		2001	111-7
24.	Juniper Ridge	2.0		1991	101-49
25.	Shaw Land	3.0		1979	112-11
26.	Leighton Land	16.0		1969	102-5
27.	Clemson Fabrics Land	4.0		1981	102-3
28.	Prospect Park Marsh	0.2		1995	52-8
29.	Chapman Woods	43.2		1998	15-3
30.	Katz Land - Exeter Falls Estates II	67.3		1998	91-35.1
31.	Renewable Resources Land (Squamscott)	11.8		1995	22-8
32.	Lee/Diller Land (Squamscott River)	13.2		1995	22-6
33.	R.E.D.C. Land	212.0		1999	56-2
34.	Carlisle Land (Walters Way)	9.6		1999	35-3
35.	Starry Brook Land	3.5		1998	52-97
36.	Christina Estates	17.1		2002	60-10, 76-18
37.	FGS Land	12.0		1999	57-4
38.	Oaklands (Forest Ridge) LLC	151.5		2005	19-16
39.	Morgan Ryan Land Realty (proposed)	88.0		2000	13-2
40.	Raynes Land (Wiggins Farm)	48.6		2002	24-30, 23-1,2
41.	Thomas Land	3.7		2002	22-14
42.	Windemere Land	8.6		2000	70-21
43.	Birch Road Trust	45.0		2002	15-5
44.	Tax-Deeded Parcels (adj. to HSTF)	28.6		2001	40-13,39-2,3
45.	Tax-Deeded Parcels (adj. to OTF)	71.6		2001	10-various,20-various
46.	Tax-Deeded Land (Brentwood Road/ Town Line)	1.5		2001	58-8
47.	Tax-Deeded Land (Brentwood/Exeter Line)	19.1		2002	44-2,3
48.	Connor Land	19.0		2004	20-5
49.	Stone Land	10.7		2005	102-6
50.	White Land	5.8		2005	104-3
51.	Morrissette Property	36.0		2010	82-15
52.	Beech Hill Estates	14.66		2011	27-12

TOTAL LANDS ADMINISTERED BY THE CONSERVATION COMMISSION: 1712.46 ACRES

Map #	Lands	Acreage	Year Acquired	
1 E.	Exeter Country Club	55.4	1989	52-1
2 E.	Captain's Meadow	26.2	1991	24-3,21-1
~~3 E.~~	~~Chamberlin Easement~~	~~61.5~~	~~1991~~	~~24-1~~
4 E.	Chamberlin Easement	30.0	2002	24-30
5 E.	Pine Meadows Condominium (Amberwood)	2.5	1995	87-18
6 E.	Dollof Land	82.7	1996	57-3
7 E.	Dollof Land	2.3	1998	60-21
8 E.	Bunker Property (Beech Hill Road)	36.7	1995	18-3
9 E.	McDonnell Property	18.0	1998	104-77
10 E.	Joseph & Nellie Swasey Land	40.0	1995	79-10
11 E.	Vaughan-Cusick Land (Newfields Road)	1.7	1994	53-2
12 E.	Waleryzack Land	4.0	1998	111-1
13 E.	Chapman Woods	2.2	1998	15-3.01-3.05
14 E.	Atwood Property	3.3	2000	61-25.1, 60-25
15 E.	Edmunds Easement	6.2	2001	47-4,4.1
16 E.	Mobil Land (Epping Road)	7.9	2000	40-11
17 E.	Exeter Hospital Land	3.2	2001	68-129
18 E.	Hanson Easement	34.3	2004	112-9, 113-2
19 E.	Amundsen Easement	22.2	2005	61-27
20 E.	Field Easement	41.8	2005	60-16
21 E.	Route 88 Connector LLC	5.8	2005	51-13
22 E.	Felder Kuehl Properties	8.6	2008	55-75.1
23 E.	Jones Easement	25.0	2003	99-13
24 E.	White Land	5.33	2006	103-1
25 E.	High School Easement	46.29	2010	16-5
26 E.	Linden Commons	36.0	2011	95-67, 95-78, 95-79

TOTAL EASEMENTS ADMINISTERED BY THE CONSERVATION COMMISSION: 609.22 ACRES

NOTES

THIS MAP IS BASED ON THE TOWN OF EXETER PROPERTY MAPS. IT IS INTENDED FOR REFERENCE AND PLANNING PURPOSES ONLY. PROPERTY LINES CURRENT TO APRIL 1, 2012

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