



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE EXETER CONSERVATION COMMISSION

Monthly Meeting

The Exeter Conservation Commission will meet in the Nowak Room, Exeter Town Offices at 10 Front Street, Exeter on **Tuesday, September 4th, 2018 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items

1. Family Orienteering Event, November 4th, 2018 (*Deborah Humiston*)
2. Shoreland Conditional Use Permit Review for a Multifamily Residential Building at 25, 29 Franklin Street. Tax Map 72-75, and 72-77 (*Shaun Vando, TF Moran*)
3. Liberty Utilities Lease Update
4. Raynes Farm Use Agreement
5. Committee Reports
 - a. Property Management
 - i. Henderson Swasey Invasive Plant Management
 - ii. CC Property Monitoring
 - b. Trails
 - c. Outreach
 - i. Draft Sign Review: Little River @ Garrison Lane, Morrissette @ Skate Park
 - ii. September Kayak Event
 - iii. Raynes Events: Disc Golf 10/12-14, Raynes Farm Makers Fair 10/20, Story Walk 10/27 ages 4-7
 - d. CC Representatives Report on Other Committees
6. Approval of Minutes: August 14th Meeting
7. Correspondence
8. Other Business
9. Next Meeting: Date Scheduled (10/9/18), Submission Deadline (9/28/18)

Bill Campbell, Chair

Exeter Conservation Commission

Posted August 30th, 2018 Exeter Town Office, Exeter Public Library, and Town Departments.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: August 31, 2018
To: Conservation Commission Board Members
From: Kristen Murphy, Natural Resource Planner
Subject: Sept 4th Conservation Commission Meeting

1. Family Orienteering Event, November 4th

We have received an event agreement from Deb Humiston to conduct a family friendly orienteering event in the town forest. She uses specific orienteering maps and is in the process of updating them so she doesn't have a map to submit with her event agreement. Note that she has requested there be an allowance to hold the event even if it is raining. The number of participants are generally low and they are working in different areas at once so she does not anticipate an impact to the trails should it be raining.

Suggested motion:

- To [approve] [deny] the request for an orienteering event in the town forest on November 4th, 2018

2. Shoreland Conditional Use Permit Review for a Multifamily Residential Building at 25, 29 Franklin Street, Tax Map 72-75, and 72-77 (Shaun Vando, TF Moran)

A CUP application was before you and approved in 2014, but has since expired. The new proposal is a re-design from the previous proposal, moving the building outside of the shoreland protection district's building setback and a reduction in impervious cover. The addition of a storm-tech system where currently there is no stormwater treatment, and a reduction in overall impervious cover is an improvement over existing conditions.

Suggested Motions for a memo to the Planning Board:

_____ We have reviewed this application and have **no objection** to the issuance of a Shoreland conditional use permit as proposed.

_____ We have reviewed this application and recommend that the Shoreland conditional use permit be **(approved)(denied)** as noted below:

- 3. Liberty Utilities Lease** The Selectboard is considering a lease for a 300'x100' area of Tax Map-Lot 38-13. Though there is no official conservation restriction on this property, the CC in collaboration with DPW have used 1 acre of this land as the Wilfred Moreau Nursery. It was integral to the street tree program in the 70s and 90s. There may be an opportunity for mitigation to benefit CC related projects through this lease agreement and Bill would like to hear your thoughts given the history with the site.

4. Raynes Farm Use Agreement

A draft agreement was before you on May 2018 and edits are incorporated. Town Manager prefers all events to use their draft form as a model. In addition we need to discuss how to address "commercial" activities and fees.

5. Committee Reports:

a. Property management

- i. Invasive Plant Management Project: Consider setting a CC work day to assist
- ii. Property Monitoring: Review the monitoring assignment's and collect monitoring packet info

b. Trails

c. Outreach

- i. Sign Review – Little River and Morrissette
Review two draft signs: Little River kiosk at Garrison Lane, Skate Park entrance to Morrissette. They would be an 11x17 sign on a 4x4 post.
- ii. September Kayak Event: ID Volunteers and Potential Dates
High Tides: Sept 22 12:35p, Sept 23 1:30p, Sept 28 4:08p, Sept 29 4:50p (sunset kayak)
- iii. Raynes Farm Fall Events
 - Disc Golf 10/12-14: Volunteers for Stratham Hill Park 9/15 and 9/16
 - Makers Fair 10/20: Update from meeting w/ Ben
 - Story Walk: 10/27: Book Selection: [There Was An Old Lady Who Wasn't Afraid Of Anything](#)

**Exeter Conservation Commission
Event Agreement**

*NOTE: This agreement is in addition to permits required by the Town of Exeter.
Contact the Town Managers Office to determine any additional permit needs*

Event Name: _____ Event Date: _____

Point of Contact: _____

Estimate of Participants: _____

Event Description: _____

Please read, sign and initial below. A copy of the notice of Authorization will be provided to you upon signature by the Conservation Commission and should be in hand on the day of the event.

I, _____ agree to comply with the following terms for the above referenced event.

_____ Event related activities do not involve private property, unless authorized in writing by landowner, with such permission provided to the Conservation Commission 2 days prior to the event.

_____ Two (2) days prior to the event, the course conditions will be inspected. If trails are wet, the event will be cancelled or re-routed to avoid wet conditions.

_____ Inspection of trail conditions will be with the Conservation Commission's representative prior to and after the event. Trails will be returned to pre-event conditions within 7 days following the event.

_____ The event will be cancelled if rain occurs after the inspection or on the day of the race

_____ All litter will be removed within 24 hours following the event

_____ A map of the planned route is attached

_____ Trail markings shall be non-permanent

_____ Organizers are responsible for making arrangements for parking at Department of Public Works (if applicable), police and traffic control, and provisions for port-a-potties at their expense.

Date/Time of

Date/Time of

Pre-run Inspection _____

Post-run Inspection _____

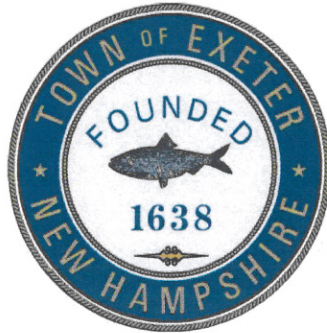
Event Point of Contact

Date

Conservation Commission

Date

Town of Exeter



Planning Board Application for Conditional Use Permit: Shoreland Protection District

February 2017



Town of Exeter Planning Board Application

Conditional Use Permit: Shoreland Protection District In accordance with Zoning Ordinance Article: 9.3

SUBMITTAL REQUIREMENTS:

(see Conservation Commission and Planning Board meeting dates and submission deadlines)

1. One (1) electronic copy of full application, including plans (color copy if available)
2. Fifteen (15) copies of the Application
3. Fifteen (15) 11"x17" and three (3) full sized copies of the plan which must include:
 - Existing Conditions
 - a. Property Boundaries
 - b. Edge of Shoreland and associated Buffer (Shoreland Protection District – SPD)
 - c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - Proposed Conditions
 - a. Edge of Shoreland and Shoreland Buffers and distances to the following:
 - i. Edge of Disturbance
 - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - b. Name and phone number of all individuals whose professional seal appears on the plan
4. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
5. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
6. A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:

Planning Board Fee: **\$50.00** Abutter Fee: **\$10.00** Recording Fee (if applicable): **\$25.00**

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: <i>PORCHES AT EXETER, LLC.</i>
	Address: <i>28 PINE STREET, EXETER, NH 03833</i>
	Email Address: <i>KATHLEEN@PORCHESATEXETER.COM</i>
	Phone: <i>(603) 777-6443</i>
PROPOSAL	Address: <i>25+29 FRANKLIN STREET</i>
	Tax Map # <i>72</i> Lot# <i>75/77</i> Zoning District: <i>C-1/R-2</i>
	Owner of Record: <i>PORCHES AT EXETER, LLC.</i>
Person/Business performing work outlined in proposal	Name: <i>TFMORAN, INC.</i>
	Address: <i>48 CONSTITUTION DRIVE, BEDFORD, NH 03110</i>
	Phone: <i>(603) 472-4488</i>
Professional that delineated wetlands	Name: <i>CHRISTOPHER DANFORTH - TFMORAN, INC.</i>
	Address: <i>48 CONSTITUTION DRIVE, BEDFORD, NH 03110</i>
	Phone: <i>(603) 472-4488</i>

**Town of Exeter
 Planning Board Application
 Conditional Use Permit: Shoreland Protection District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

PORCHES AT EXETER, LLC. IS PROPOSING A 4 UNIT TOWNHOUSE WITH ASSOCIATED DRIVEWAYS, SIDEWALKS AND LANDSCAPEING.

Shoreland Protection District Impact (in square footage):

Water Body	<i>EXETER RIVER</i>
Temporary Impact	<input type="checkbox"/> 300 Foot SPD _____
	<input type="checkbox"/> 150 foot SPD _____
	<input type="checkbox"/> SPD Building Setback _____
	<input type="checkbox"/> 75 Vegetative Buffer _____
Permanent Impact	<input type="checkbox"/> 300 Foot SPD _____
	<input type="checkbox"/> 150 foot SPD _____
	<input type="checkbox"/> SPD Building Setback _____
	<input type="checkbox"/> 75 Vegetative Buffer _____
Impervious Lot Coverage	SF of Lot within District <i>10,458 SF</i>
	SF of Impervious within District <i>4,645 SF</i>
	% of Impervious within District <i>44%</i>

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

*REAR BUILDING SETBACK 22.9' (07-17-18)
 MAX. BUILDING COVERAGE 26% (07-17-18)*

Describe how your proposal meets the conditions of Article 9.3.4.G.2 of the Zoning Ordinance (attached for reference):

(SEE ATTACHED)



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists



September 4, 2018

Abutters List
 Porches at Exeter

Job #47070.02

Map 72 Lots 72 & 122
 Porches at Exeter LLC
 28 Pine Street
 Exeter, NH 03833

Map 72 Lot 74
 Porches At Exeter LLC
 28 Pine Street
 Exeter, NH 03833

Map 72 Lot 76
 Gayle A & Carl F Edlund
 6 Blake Road
 Epping, NH 03042

Map 72 Lot 78
 Rivers Edge Condo Assoc.
 32 Franklin Street
 Exeter, NH 03833

Map 72 Lot 78-1
 Margretta A Gillis Rev Trust
 Margretta A Gillis Trustee
 34 Franklin Street
 Exeter, NH 03833

Map 72 Lot 78-2
 Mary Banach
 17 Surrey Lane
 Durham, NH 03824-4413

Map 72 Lot 78-3
 Mary Ellen Bourgault
 32 Franklin Street
 Exeter, NH 03833

Map 72 Lot 73
 Donna Hill
 PO Box 380754
 Cambridge, MA 02238-0754

Map 72 Lot 83
 Caroline M Field Rev Trust
 Caroline M Field Trustee
 40 Atlantic Ave
 North Hampton, NH 03862

Map 72 Lot 84
 Marshall Family Trust
 Philip & Madeline Marshall Trustees
 53 Depot Road
 East Kingston, NH 03827

Map 72 Lot 85
 Peter D Moutis
 10 South Street
 Exeter, NH 03833

Map 72 Lot 121
 Kristina M West
 Matthew Thibert
 PO Box 930
 West Tisbury, MA 02575

Porches at Exeter, LLC
 c/o Kathleen Mahoney
 28 Pine Street
 Exeter, NH 03833

Jeffrey Kevan
 TFMoran, Inc
 48 Constitution Drive
 Bedford, NH 03110

Conditional Use Permit Criteria
Shoreland Protection District

9.3.4 G Conditional Uses:

2. The Planning Board may grant a Conditional Use Permit for those uses listed above only after written findings of fact are made which have been reviewed by technical experts from the Rockingham Conservation District, if required by the Planning Board, at the cost of the developer, provided that all of the following are true:

- a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.
- b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined.
- c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.
- d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article.
- e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose.



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Planners

September 4, 2018

Ref: 47070.02

Dave Sharples, Town Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

**Re: Conditional Use Request – lot coverage
4 Unit Townhouse
29 Franklin Street
Tax Map 72 Lots 75 & 77**

Dear Dave:

On behalf of our client Porches at Exeter, LLC, TFMoran, Inc. (TFM) is respectfully requesting the Exeter Planning Board consider the following Conditional Uses:

- A Conditional Use to allow a site with greater than 10% lot coverage within the Exeter Shoreland Protection Overlay District. (9.3.4B-Maximum Lot Coverage)

Lots 72-75 & 72-77 previously consisted of a two family building and a three family building. The applicant is proposing to raze those buildings and construct a 4 unit townhouse building with associated driveway, walkways and landscape. The impervious cover of the site will decrease from 5,060 sf (48%) to 4,645 (44%).

Conditional Use Permit Criteria

- A. *The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.*

The site previously consisted of a two family building and a three family building with two gravel driveways and one paved driveway. No stormwater treatment existed on the site. In the proposed development, an underground StormTech system is proposed to capture, treat and infiltrate the stormwater from the proposed roof and rear of the site. The stormwater from the developed site will be treated, detained and partially infiltrated, therefore, water quality should be improved.

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

New Hampshire Office Locations: Bedford | Manchester | Claremont

- B. *The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined.*

The proposed townhouses are residential and will not have on-site storage or disposal of hazardous or toxic waste. The units will be connected to municipal sewer.

- C. *The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.*

The area between the two subject lots (lot 72-75 & 72-77) and the Exeter River is developed and consists of the Franklin Street right-of-way, an auto service building and multifamily building lots and therefore is not directly adjacent to any spawning grounds and/or other wildlife habitats. This is redevelopment of the site.

- D. *The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article.*

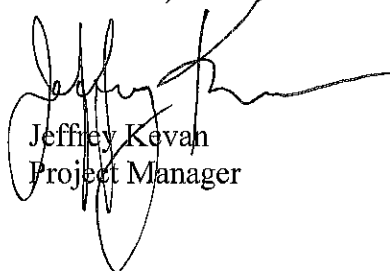
With exception of the items that require Conditional Use Permits, the proposed use meets the Use Regulations under the Exeter Shoreland Protection Overlay District Ordinance.

- E. *The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purposes.*

This project proposes a redevelopment of the site. The density of the site will be reduced from 5 units to 4 units, and an underground treatment and infiltration drainage devices will be added to a site that currently does not have any stormwater treatment measures.

TFM appreciates your continued cooperation with regard to this important project. If you have any questions or comments regarding this request, please feel free to contact me at your convenience.

Sincerely,
TFMoran, Inc.



Jeffrey Kevan
Project Manager

OWNERS

MAP 72, LOTS 75 & 77
 PORCHES AT EXETER LLC
 28 PINE STREET
 EXETER, NH 03833
 603-777-6443

APPLICANT

PORCHES AT EXETER LLC
 C/O KATHLEEN MAHONEY
 28 PINE STREET
 EXETER, NH 03833

RESOURCE LIST

PLANNING DEPARTMENT
 10 FRONT STREET
 EXETER, NH 03833
 603-773-6114
 DAVE SHARPLES, TOWN PLANNER

BUILDING DEPT
 10 FRONT STREET
 EXETER, NH 03833
 603-773-6113
 DOUGLAS EASTMAN, BUILDING
 INSPECTOR/ CODE ENFORCEMENT
 OFFICER

PUBLIC WORKS
 13 NEWFIELDS ROAD
 EXETER, NH 03833
 603-773-6157
 JENNIFER R. PERRY, PE, DPW DIRECTOR
 PAUL VLASICH, PE, TOWN ENGINEER

POLICE DEPARTMENT
 20 COURT STREET
 EXETER, NH 03833
 603-772-1212
 CHIEF BILL SHUPE

FIRE DEPARTMENT
 20 COURT STREET
 EXETER, NH 03833
 603-773-6131
 CHIEF BRIAN COMEAU

ABUTTERS

MAP 72 LOTS 72 & 122
 PORCHES AT EXETER LLC
 28 PINE STREET
 EXETER, NH 03833

MAP 72 LOT 74
 PORCHES AT EXETER LLC
 28 PINE STREET
 EXETER, NH 03833

MAP 72 LOT 76
 GAYLE A & CARL F EDLUND
 6 BLAKE ROAD
 EPPING, NH 03042

MAP 72 LOT 78
 RIVERS EDGE CONDO ASSOC
 32 FRANKLIN STREET
 EXETER, NH 03833

MAP 72 LOT 78-1
 MARGRETTA A GILLIS REV TRUST
 MARGRETTA A GILLIS TRUSTEE
 34 FRANKLIN STREET
 EXETER, NH 03833

MAP 72 LOT 78-2
 MARY BANACH
 17 SURREY LANE
 DURHAM, NH 03824-4413

MAP 72 LOT 78-3
 MARY ELLEN BOURGAULT
 32 FRANKLIN STREET
 EXETER, NH 03833

MAP 72 LOT 73
 DONNA HILL
 PO BOX 380754
 CAMBRIDGE, MA 02238-0754

MAP 72 LOT 83
 CAROLINE M FIELD REV TRUST
 CAROLINE M FIELD TRUSTEE
 40 ATLANTIC AVE
 NORTH HAMPTON, NH 03862

MAP 72 LOT 84
 MARSHALL FAMILY TRUST
 PHILIP & MADELINE MARSHALL TRUSTEES
 53 DEPOT ROAD
 EAST KINGSTON, NH 03827

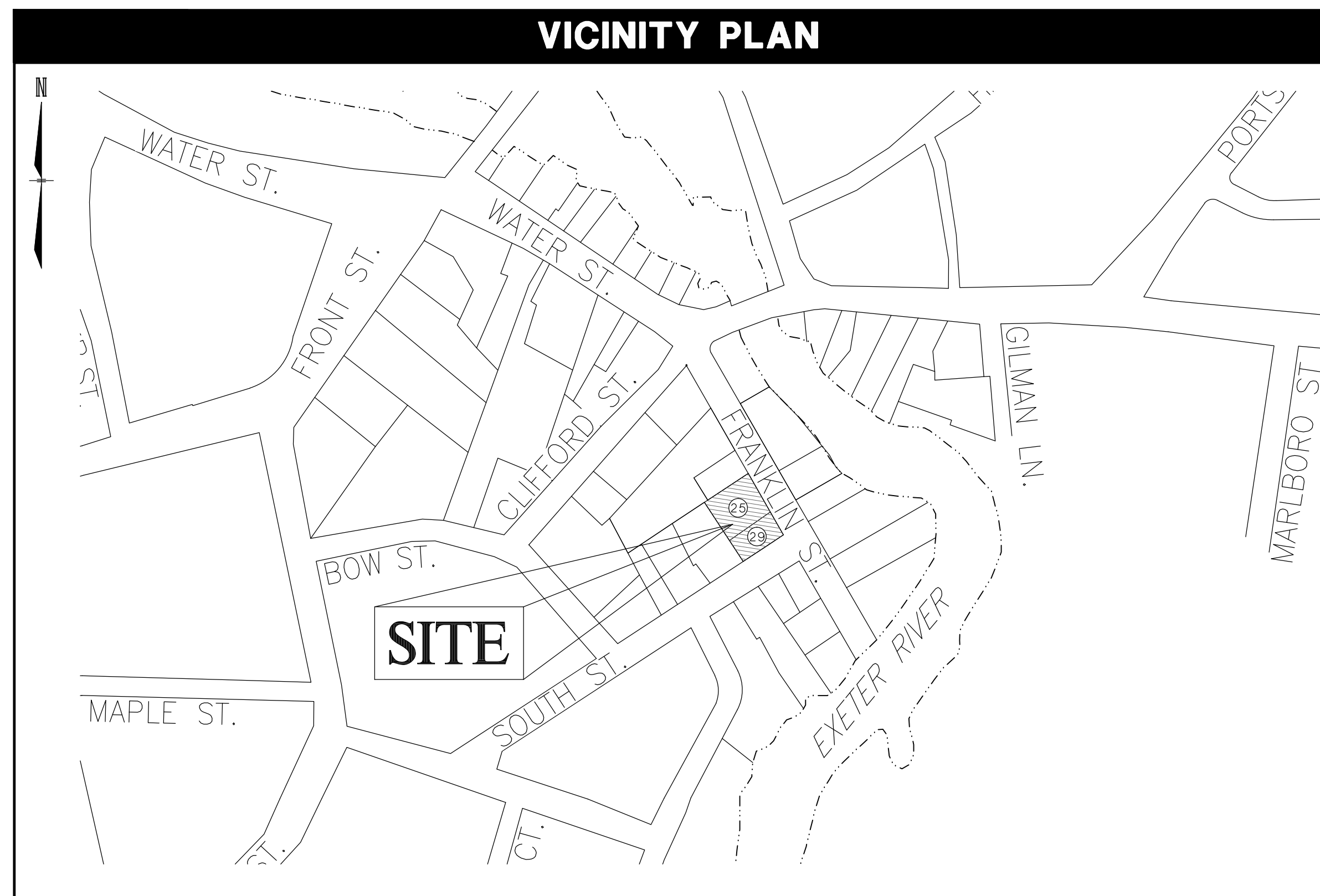
MAP 72 LOT 85
 PETER D MOUTIS
 10 SOUTH STREET
 EXETER, NH 03833

MAP 72 LOT 121
 KRISTINA M WEST
 MATTHEW THIBERT
 PO BOX 930
 WEST TISBURY, MA 02575

PORCHES AT EXETER

4-UNIT TOWNHOMES

**25 & 29 FRANKLIN STREET
 EXETER, NEW HAMPSHIRE**



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 duplicated, replicated or otherwise reproduced in any form whatsoever
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 This plan is not effective unless signed by a duly authorized officer of
 Thomas F. Moran, Inc.

REV.	DATE	DESCRIPTION	DR	CK

INDEX OF SHEETS

SHEET	SHEET TITLE
1	COVER SHEET
2	OVERALL EXISTING CONDITIONS
3	EXISTING CONDITIONS
4	SITE PREPARATION PLAN
5	SITE LAYOUT PLAN
6	GRADING, DRAINAGE & UTILITY PLAN
7	LANDSCAPE PLAN
8	STORMWATER MANAGEMENT PLAN
9-15	DETAIL SHEETS
R1-R2	ROAD IMPROVEMENT PLAN
	ARCHITECTURAL ELEVATIONS (BY SOMMA STUDIOS)

PERMITS / APPROVALS

	NUMBER	APPROVED	EXPIRES
TOWN SITE PLAN	18-10		
ZONING BOARD	18-13	7/17/2018	7/17/2021
CONDITIONAL USE PERMIT			
NHDES SHORELAND PERMIT /URBAN EXEMPTION	2014-00915	5/15/2014	5/15/2019

WAIVERS

SEC. 9.3.6.4: GRADING WITHIN 5' OF PROPERTY LINE.

**FOR REVIEW
 PURPOSES ONLY
 NOT FOR CONSTRUCTION**
 08/04/2018

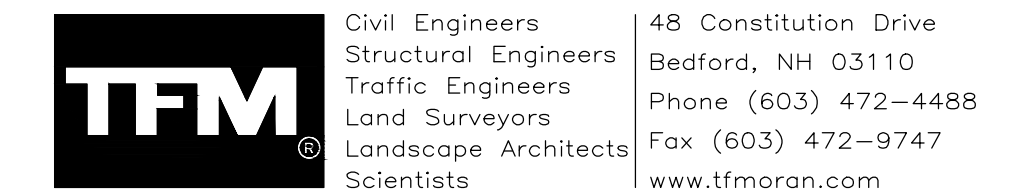
PLANNING BOARD CASE # 18-10

SITE PLAN

TAX MAP 72, LOTS 75 & 77
COVER SHEET
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
 OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
 28 PINE STREET
 EXETER, NH

SCALE: AS NOTED

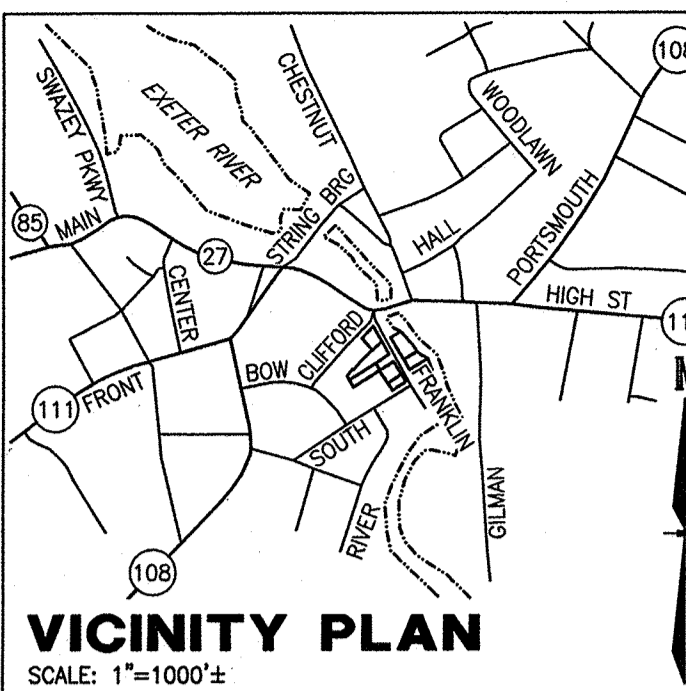
SEPTEMBER 4, 2018



FILE	47070.02	DR	SV	FB	2058	SHEET 1 OF 15
		CK	JK	CADFILE	47070-02 Details	

REFERENCE PLANS

- PROPERTY BELONGING TO LAMPERT REAL ESTATE TRUST FRANKLIN STREET EXETER, NEW HAMPSHIRE MAY 1960 BY WARD B. WILLIAMS ASSOC., RECORDED IN THE RCRD AS PLAN # D-9559.
- PLAT OF LAND FOR EXETER BOWLING CENTER, INC. IN EXETER, NEW HAMPSHIRE FEBRUARY 1979 BY PARKER SURVEY ASSOC., INC. NOT RECORDED ON FILE WITH MILLENIUM ENGINEERING.
- UNTITLED PLAN RECORDED IN THE RCRD IN BOOK 248 PAGE 171A.
- SITE PLAN LONG BLOCK CONDOMINIUM EXETER, NEW HAMPSHIRE, 5/4/83, BY VERNON DINGMAN III, RECORDED IN THE RCRD AS PLAN # D-12013.
- EXISTING SITE PLAN FOR WILLOW BEND CONDOMINIUM AND RIVERS EDGE CONDOMINIUM IN EXETER, NEW HAMPSHIRE MARCH 1996 REVISED MAY 1996 BY PARKER SURVEY ASSOC., INC., RECORDED IN THE RCRD AS PLAN # C-24684.
- A SUBDIVISION OF LAND OF LEO C. AND STACIA J. BOULCHARD EXETER, NEW HAMPSHIRE SURVEY AUG. 1978 BY ROLAND P. THERRIEN, RECORDED IN THE RCRD AS PLAN # D-8143.



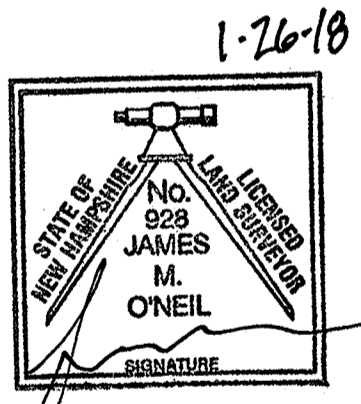
LEGEND

- IRON PIPE: IPF
- IRON PIN: IRP
- BITUMINOUS CONCRETE CURB: BCC
- VERTICAL GRANITE CURB: VCC
- EDGE OF PAVEMENT: EOP
- EDGE OF GRAVEL: EOG
- RETAINING WALL: RW
- CHAIN LINK FENCE: CLF
- WOOD FENCE: WF
- SIGN: S
- GAS GATE: GG
- HYDRANT: H
- WATER GATE: WG
- SEWER MANHOLE: SMH
- DRAIN MANHOLE: DMH
- CATCH BASIN: CB
- MONITORING WELL: MW
- ZONING BOUNDARY: ZB
- EDGE OF WETLAND: EW
- BROOK, STREAM OR RIVER: BSR
- TREES: T
- SEWER LINE: SL
- WATER LINE: WL
- DRAIN LINE: DL
- GAS LINE: GL
- OVERHEAD UTILITIES: OHW

SURVEY CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND STANDARD PROPERTY SURVEY AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

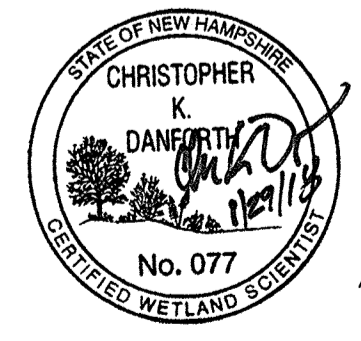


WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN OCTOBER 2013 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012.

DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPOC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010.

DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).



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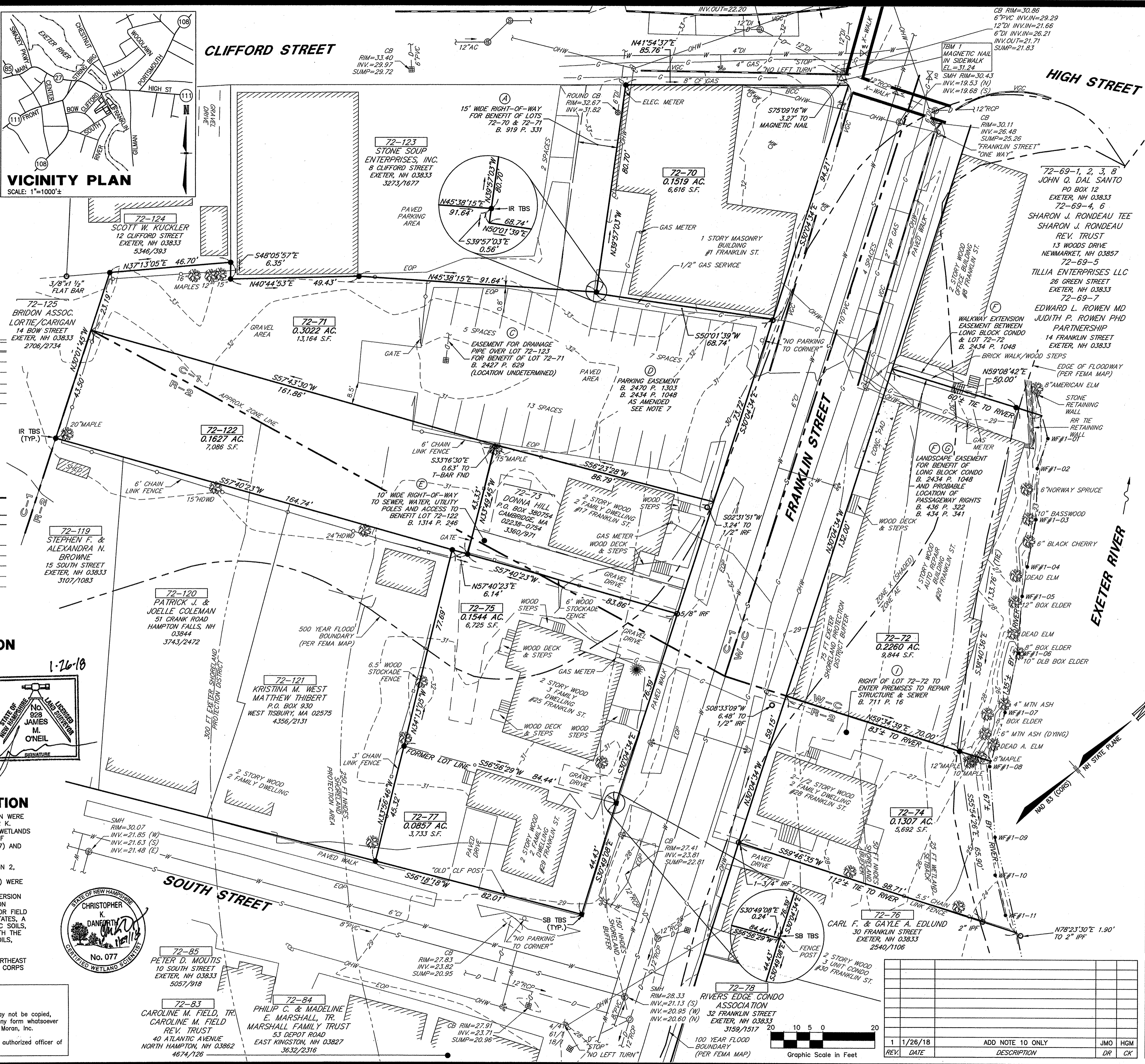
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CLIFF STREET

HIGH STREET

FRANKLIN STREET

EXETER RIVER



NOTES

- OWNER OF RECORD OF MAP 72 LOTS 75, 72, 70, 71 AND 122 IS TOWITALL C/O ALLEN LAMPERT PO BOX 683 EXETER NH 03833. DEED REFERENCE TO PARCELS IS BK. 4935 PG. 308 AND BK. 4786 P. 2447 IN THE RCRD. AREA OF MAP 72 LOT 75 = 6,725 S.F. ± OR 0.1544 ACRES ±. AREA OF MAP 72 LOT 72 = 9,844 S.F. ± OR 0.2260 ACRES ±. AREA OF MAP 72 LOT 70 = 6,616 S.F. ± OR 0.1519 ACRES ±. AREA OF MAP 72 LOT 71 = 13,164 S.F. ± OR 0.3022 ACRES ±. AREA OF MAP 72 LOT 122 = 7,086 S.F. ± OR 0.1627 ACRES ±. OWNER OF RECORD OF MAP 72 LOT 77 IS ALLEN L. LAMPERT TRUSTEE OF ALLEN L. LAMPERT TRUST 20 FRANKLIN STREET EXETER NH 03833. DEED REFERENCE TO PARCEL IS BK. 4459 PG. 255 IN THE RCRD. AREA OF MAP 72 LOT 77 = 3,733 S.F. ± OR 0.0857 ACRES ±. OWNER OF RECORD OF MAP 72 LOT 74 IS A&M RECOVERY PROPERTIES, LLC 156 EPPING ROAD UNIT 1 EXETER NH 03833. DEED REFERENCE TO PARCEL IS BK. 5017 PG. 1174 IN THE RCRD. AREA OF MAP 72 LOT 74 = 5,692 S.F. ± OR 0.1307 ACRES ±.
- [72-75] INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS ON MAP 72 LOTS 70, 71, 72, 74, 75, 77 AND 122.
- CURRENT ZONING IS R-2 SINGLE FAMILY RESIDENTIAL DISTRICT, C-1 CENTRAL AREA COMMERCIAL AND WC WATERFRONT COMMERCIAL WITH OVERLAY DISTRICTS OF DOWNTOWN HISTORIC DISTRICT, EXETER SHORELAND PROTECTION, AND FLOOD HAZARD AS FOLLOWS: MAP 72 LOT 75 MOSTLY WITHIN R-2 AND PARTLY WITHIN C-1, WHOLLY WITHIN EXETER SHORELAND PROTECTION. MAP 72 LOT 72 WHOLLY WITHIN WC, HISTORIC, AND SHORELAND, AND MOSTLY WITHIN FLOOD HAZARD. MAP 72 LOT 70 WHOLLY WITHIN C-1, HISTORIC, AND SHORELAND. MAP 72 LOT 71 WHOLLY WITHIN C-1, PARTLY WITHIN SHORELAND. MAP 72 LOT 122 PARTLY WITHIN C-1 AND R-2, PARTLY WITHIN SHORELAND. MAP 72 LOT 77 WHOLLY WITHIN R-2 AND SHORELAND. MAP 72 LOT 74 WHOLLY WITHIN R-2 AND SHORELAND, AND MOSTLY WITHIN FLOOD HAZARD.
- R-2 SINGLE FAMILY RESIDENTIAL: MIN. LOT AREA 15,000; MIN DWELLING UNIT 15,000 (INCLUDES PARKING AREA); MIN LOT WIDTH AND DEPTH 100'; MAX HEIGHT 35' ± 3 STORIES; MIN. BUILDING SETBACKS ARE 15' FRONT, 15 (ONE) 30 (BOTH) SIDE AND 25' REAR; MIN BLDG COVERAGE 25%; MIN OPEN SPACE 40%.
- C-1 CENTRAL AREA COMMERCIAL: MIN. LOT AREA 5,000; MIN DWELLING UNIT 3,500 (INCLUDES PARKING AREA); MIN LOT WIDTH 50' AND DEPTH 100'; MAX HEIGHT 35' MIN.
- BUILDING SETBACKS ARE 10' FRONT (OR AVERAGE OF THE BLOCK WHICHEVER IS LESS), SIDE EQUAL TO SIDE YARD OF ADJUTING PROPERTY OR 10' WHICHEVER IS LESS AND 20' REAR; MIN BLDG COVERAGE 75%; MIN OPEN SPACE 5%.
- WC WATERFRONT: MIN. LOT AREA 5,000; MIN DWELLING UNIT 750 (INCLUDES PARKING AREA); MIN LOT WIDTH 50' AND DEPTH 100'; MAX HEIGHT 35' FEET ON WATER STREET SIDE AND 50' ON RIVER SIDE; MIN. BUILDING SETBACKS ARE 10' FRONT (OR AVERAGE OF THE BLOCK WHICHEVER IS LESS), SIDE EQUAL TO SIDE YARD OF ADJUTING PROPERTY OR 10' WHICHEVER IS LESS AND 25' REAR (ANY DEVELOPMENT ON EXISTING REAR YARD MUST BE IN CONFORMANCE WITH THE MASTER PLAN); MIN BLDG COVERAGE 75%; MIN OPEN SPACE 5%.
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) MAP NUMBER 330150402E, EFFECTIVE DATE MAY 17, 2006, INDICATES THAT SOME OF THE SUBJECT PARCELS ARE LOCATED PARTIALLY OR WHOLLY WITHIN A FLOOD HAZARD AREA AS DEPICTED GRAPHICALLY ON THE PLAN. ZONE AE INDICATES SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, WITH BASE FLOOD ELEVATIONS DETERMINED. ZONE X INDICATES A FLOOD AREA OF 0.2% CHANCE OF FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DATUM OF F.I.R.M. IS NGVD 1929.
- BENCHMARK USED: NHCO CORS BASE STATION VERTICAL DATUM: NAVD 88 (CORS) BENCHMARK SET: AS NOTED HORIZONTAL COORDINATES: PROJECTION: NH STATE PLANE HORIZONTAL DATUM: NAD 83 (CORS)
- EASEMENTS, RIGHTS AND RESTRICTIONS: LOTS 72-70 AND 72-71 BENEFIT FROM A 15' WIDE RIGHT OF WAY OVER LOT 72-123 IN B. 919 P. 331. LOT 72-71 IS SUBJECT TO A BOUNDARY LINE AGREEMENT WITH LOT 72-123 IN B. 2427 P. 629. LOT 72-71 BENEFITS FROM AN EASEMENT FOR DRAINAGE PIPE OVER LOT 72-123 IN B. 2427 P. 629. LOT 72-71 IS SUBJECT TO A PARKING EASEMENT FOR LOTS 72-69 (LONG BLOCK CONDO) AND 72-72 IN B. 2470 P. 303 AND B. 2434 P. 1048 AS AMENDED BY ROCKINGHAM SUPERIOR COURT, DOCKET NUMBER 04-E-0533. LOT 72-122 BENEFITS FROM A 10' WIDE RIGHT OF WAY AND SEWER, WATER & UTILITY POLE RIGHTS OVER LOT 72-73 IN B. 1314 P. 246. LOT 72-72 IS SUBJECT TO A WALKWAY EXTENSION EASEMENT AND LANDSCAPE EASEMENT FOR THE BENEFIT OF LOT 72-69 (LONG BLOCK CONDO) IN B. 2434 P. 1048. LOT 72-72 IS SUBJECT TO PASSAGEWAY RIGHTS IN B. 434 P. 341 AND B. 436 P. 322. LOT 72-72 WAS PREVIOUSLY SUBJECT TO PASSAGEWAY RIGHTS IN B. 798 P. 176 WHICH ARE BELIEVED TO BE EXTINGUISHED THROUGH CONSOLIDATION OF OWNERSHIP. LOT 72-74 IS SUBJECT TO RIGHTS OF LOT 72-72 TO ENTER PREMISES TO REPAIR STRUCTURE AND SEWER IN B. 711 P. 16.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- THIS PLAN REFLECTS EXISTING CONDITIONS AS OF OCTOBER 2013. ANY SITE CHANGES SINCE THAT DATE ARE NOT REFLECTED HEREON. ALSO REGISTRY RESEARCH HAS NOT BEEN UPDATED SINCE OCTOBER 2013.

TAX MAP 72 LOTS 70, 71, 72, 74, 75, 77 & 122

EXISTING CONDITIONS PLAN

FRANKLIN STREET
EXETER, NEW HAMPSHIRE

OWNED BY
TOWITALL C/O ALLEN LAMPERT
ALLEN L. LAMPERT, TRUSTEE OF ALLEN L. LAMPERT TRUST
A&M RECOVERY PROPERTIES, LLC

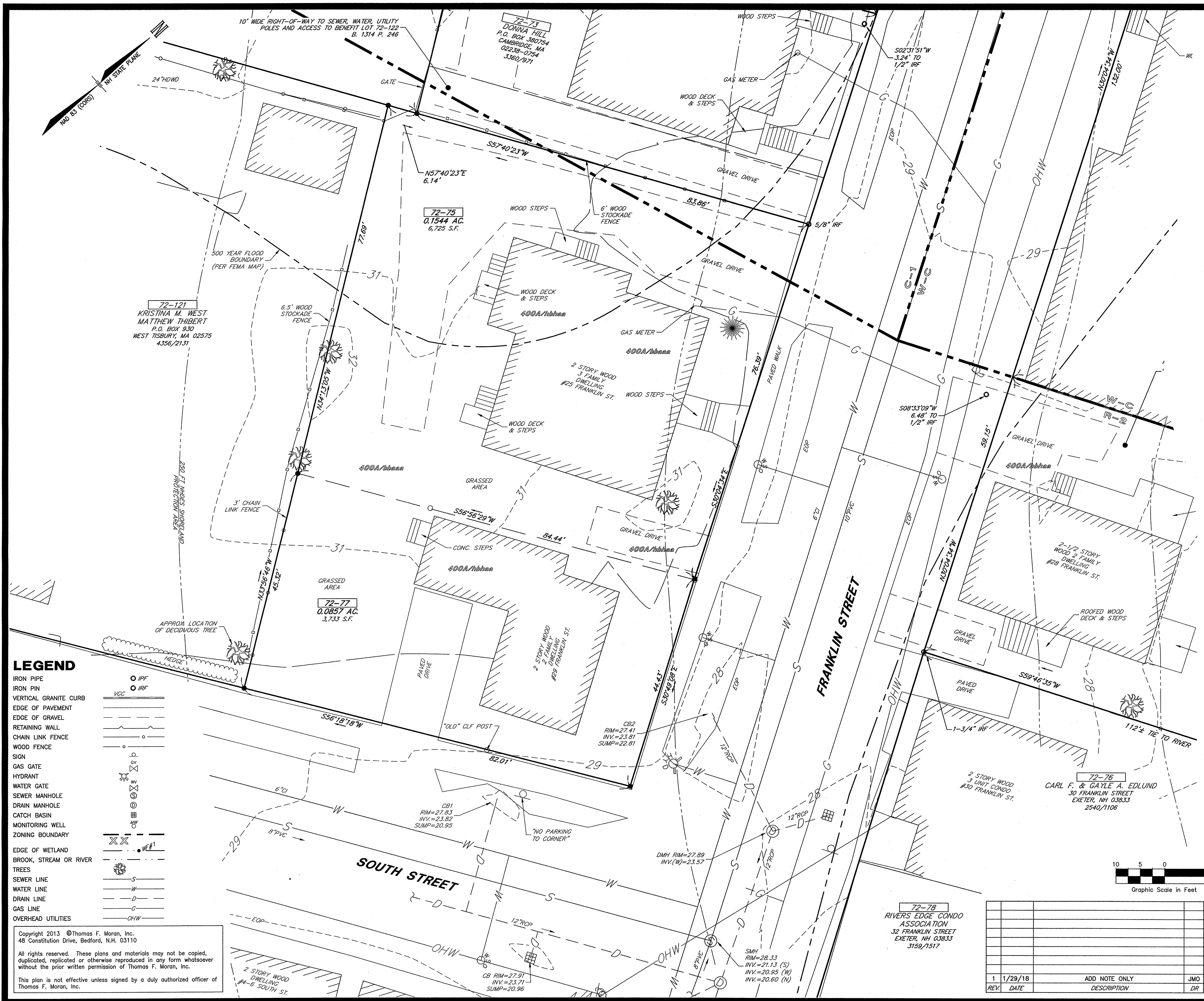
PREPARED FOR
ALLEN L. LAMPERT TRUST

SCALE: 1"=20' OCTOBER 16, 2013

	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

47070.00	DR	MC	FB	2058	
REV.	DATE	DESCRIPTION			
1/26/18		ADD NOTE 10 ONLY	JMO	HGM	
ck	PCL	CDFILE	47070-00		SHEET 2 OF 15

F:\T.M. Projects\47070.00 Franklin St. Exeter\47070.00 Lampert-Redevelopment\Acadfiles\47070.00 Excon.dwg, Ext:75, 1/29/2018 10:04:04 AM



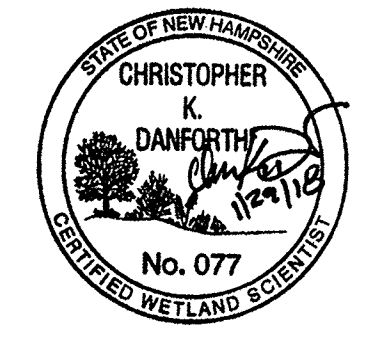
NOTE
 THIS PLAN REFLECTS EXISTING CONDITIONS AS OF OCTOBER 2013. ANY SITE CHANGES SINCE THAT DATE ARE NOT REFLECTED HEREON. ALSO REGISTRY RESEARCH HAS NOT BEEN UPDATED SINCE OCTOBER 2013.
 SEE SHEET 2 FOR NOTES AND REFERENCES.

SITE SPECIFIC SOILS LEGEND

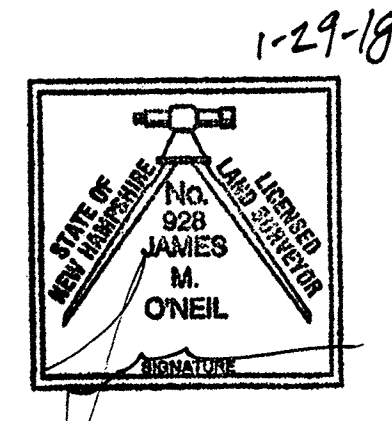
SITE SPECIFIC SYMBOL/ (HSS SYMBOL)	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HSS
400A/1b1b1a (111BH)	UDORTHENTS, SANDY	0-8%	SOMEWHAT EXCESSIVELY	A
400A/1b1b1a (111BH)	UDORTHENTS, SANDY	0-8%	SOMEWHAT EXCESSIVELY	A

SOILS SURVEY
 THIS DETAILED SITE-SPECIFIC SOIL MAP, PERFORMED ON 4/5/2013 AND 4/16/2013 BY PETER S. SCHAUER, CERTIFIED SOIL SCIENTIST #039 OF SCHAUER ENVIRONMENTAL CONSULTANTS, L.L.C. IN LOUDON, NEW HAMPSHIRE, CONFORMS TO THE STANDARDS OF SSSNIE PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT". THIS MAP HAS BEEN PREPARED TO COMPLY WITH SOIL MAPPING REQUIREMENTS OF RSA 485 A:17 AND NHDES ENV-WQ 1500, ALTERATION OF TERRAIN. SEE ACCOMPANYING REPORT FOR METHODOLOGY, MAP SYMBOL LEGEND, AND INTERPRETATIONS.

WETLAND CERTIFICATION
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN OCTOBER 2013 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFORMAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012.
 DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).



SURVEY CERTIFICATION
 I HEREBY CERTIFY TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



LEGEND

IRON PIPE	○ IPF
IRON PIN	○ IPF
VERTICAL GRANITE CURB	VCC
EDGE OF PAVEMENT	—
EDGE OF GRAVEL	—
RETAINING WALL	—
CHAIN LINK FENCE	—
WOOD FENCE	—
SIGN	—
GAS GATE	—
HYDRANT	—
WATER GATE	—
SEWER MANHOLE	—
DRAIN MANHOLE	—
CATCH BASIN	—
MONITORING WELL	—
ZONING BOUNDARY	—
EDGE OF WETLAND	— WE#1
BROOK, STREAM OR RIVER	—
TREES	—
SEWER LINE	—
WATER LINE	—
DRAIN LINE	—
GAS LINE	—
OVERHEAD UTILITIES	— OHW

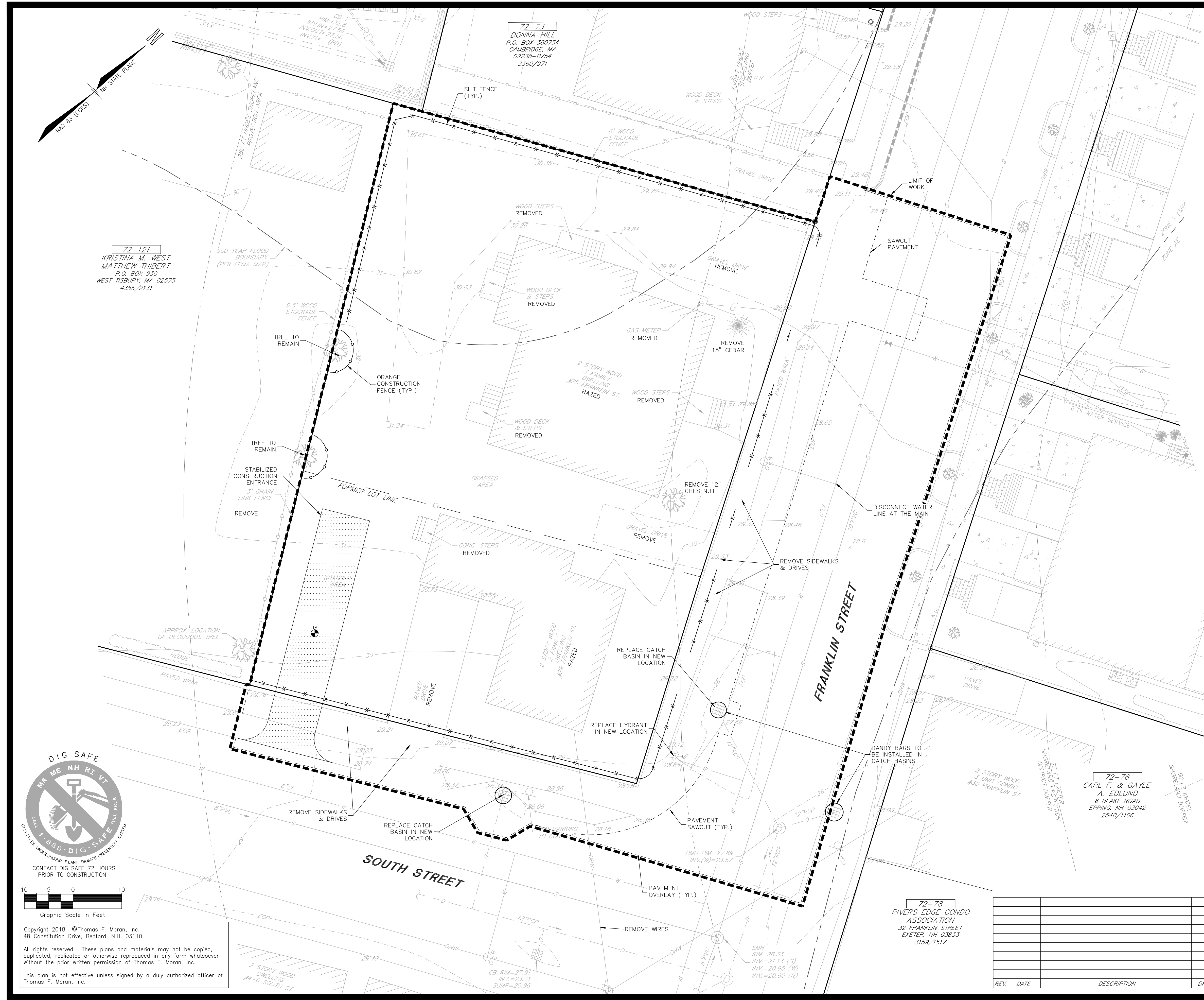
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TAX MAP 72 LOT 75 & 77
EXISTING CONDITIONS PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
 OWNED BY
TOWITALL C/O ALLEN LAMPERT
ALLEN L. LAMPERT, TRUSTEE OF ALLEN L. LAMPERT TRUST
 PREPARED FOR
ALLEN L. LAMPERT TRUST
SCALE: 1"=10' **OCTOBER 16, 2013**

TFM Civil Engineers | 48 Constitution Drive
 Structural Engineers | Bedford, NH 03110
 Traffic Engineers | Phone (603) 472-4488
 Land Surveyors | Fax (603) 472-9747
 Landscape Architects | www.tfmoran.com
 Scientists

FILE	47070.00	DR	MC	FB	2058	SHEET 3 OF 15
REV.	1/29/18	CK	PCL	CADFILE	47070-00	

REV.	DATE	DESCRIPTION	JMO	HGM
1	1/29/18	ADD NOTE ONLY	JMO	HGM
			DR	CK























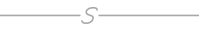

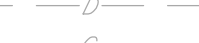



NOTES

1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
4. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
5. WATER LINES TO BE DISCONTINUED SHALL BE TERMINATED AT THE MAIN.
6. CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS WITHIN THE TOWN RIGHT OF WAY AND THE ABUTTING PROPERTIES.
7. CONTRACTOR SHALL CONTACT THE EXETER PUBLIC WORKS DEPARTMENT TO VERIFY LOCATION OF THE WATER MAIN WITHIN FRANKLIN STREET PRIOR TO START OF CONSTRUCTION.
8. DESIGN ENGINEER SHOULD BE CONTACTED IF THE TREES ALONG THE WEST CANNOT BE SAVED DURING CONSTRUCTION. IF NECESSARY, CONTRACTOR SHALL REPLACE TREES WITH OCTOBER GLORY RED MAPLE (3" INCH CALIPER).

TEST PIT (TP)

EL=30.25
 ESWHT - NONE OBSERVED
 LEDGE - NONE OBSERVED
 ROOTS - 48"+

LEGEND

- IRON PIPE  I/P
- IRON PIN  I/P
- BITUMINOUS CONCRETE CURB  BCC
- VERTICAL GRANITE CURB  VGC
- EDGE OF PAVEMENT 
- EDGE OF GRAVEL 
- RETAINING WALL 
- CHAIN LINK FENCE 
- WOOD FENCE 
- SIGN 
- GAS GATE 
- HYDRANT 
- WATER GATE 
- SEWER MANHOLE 
- DRAIN MANHOLE 
- CATCH BASIN 
- MONITORING WELL 
- ZONING BOUNDARY 
- EDGE OF WETLAND 
- BROOK, STREAM OR RIVER 
- TREES 
- SEWER LINE 
- WATER LINE 
- DRAIN LINE 
- GAS LINE 
- OVERHEAD UTILITIES 

**FOR REVIEW
 PURPOSES ONLY
 NOT FOR CONSTRUCTION**
 09/04/2018

TAX MAP 72 LOTS 75 & 77
SITE PREPARATION PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
 OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
 28 PINE STREET
 EXETER, NH

SCALE: 1"=10' **SEPTEMBER 4, 2018**

DIG SAFE
 NH ME NH RI VT
 CALL 1-888-DIG-SAFE
 UTILITIES LAZER GROUND PLANT DAMAGE PREVENTION SYSTEM
 CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION



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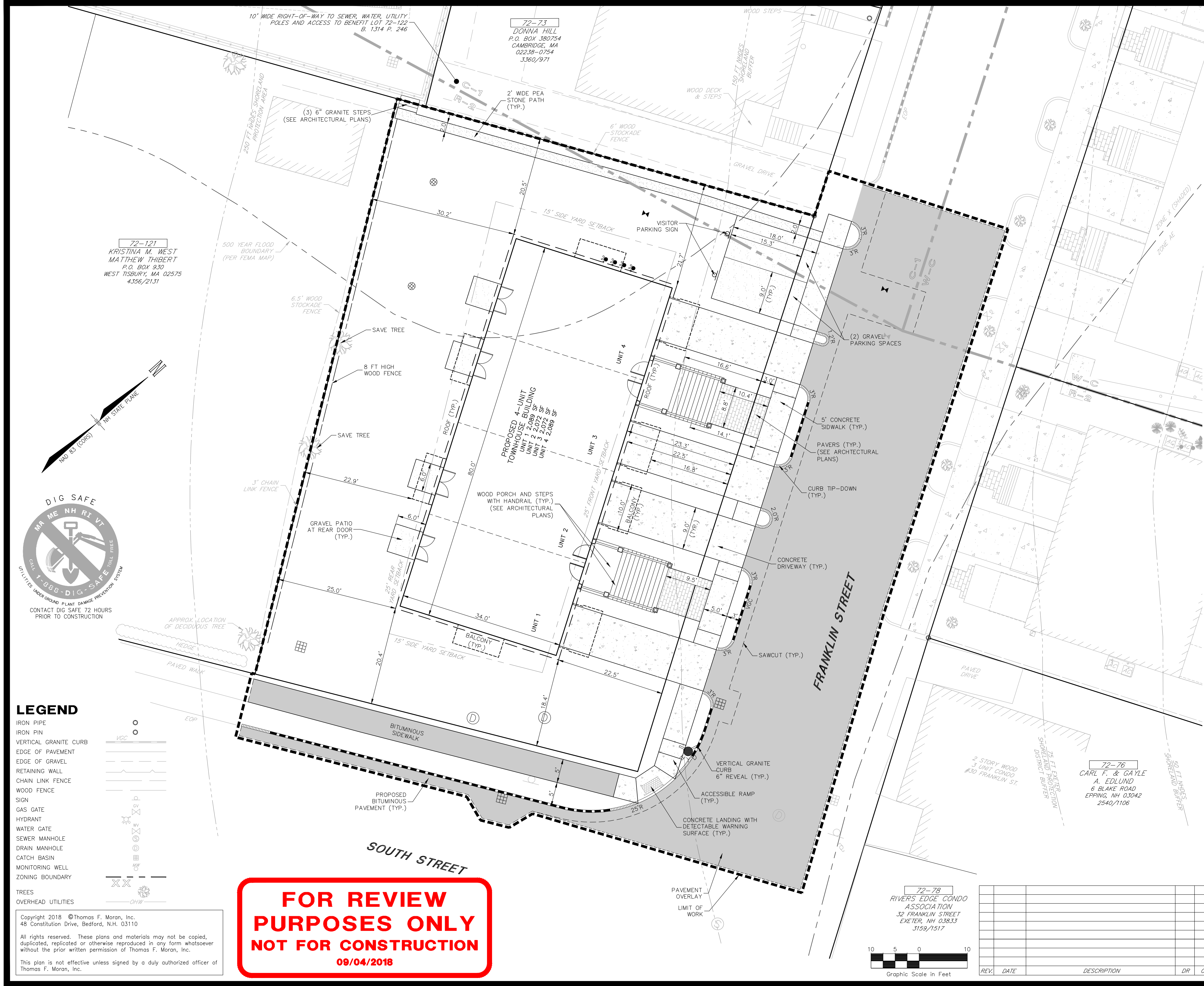
REV.	DATE	DESCRIPTION	DR	CK

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

FILE: 47070.02 DR: SV FB: 2058
 CK: JK CADFILE: 47070-02 SHEET 4 OF 15



- ### NOTES
- OWNER OF RECORD OF MAP 72 LOTS 75 & 77 PORCHES AT EXETER, LLC. 28 PINE STREET EXETER NH 03833
 DEED REFERENCE TO PARCELS IS BK. 4935 PG. 308 AND BK. 4786 P. 2447 IN THE RCRD
 AREA OF MAP 72 LOT 75 = 6,725 S.F.± OR 0.1544 ACRES±
 OWNER OF RECORD OF MAP 72 LOT 77 PORCHES AT EXETER, LLC 28 PINE STREET EXETER NH 03833
 DEED REFERENCE TO PARCEL IS BK. 4459 PG. 255 IN THE RCRD
 AREA OF MAP 72 LOT 77 = 3,733 S.F.± OR 0.0857 ACRES±
 - THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 4-UNIT TOWNHOUSE ON A PROPOSED LOT CREATED BY MERGING MAP 72 LOTS 75 AND 77.
 - CURRENT ZONING IS R-2 SINGLE FAMILY RESIDENTIAL DISTRICT AND C-1 CENTRAL AREA COMMERCIAL WITH EXETER SHORELAND PROTECTION OVERLAY DISTRICT AS FOLLOWS:
 MAP 72 LOT 75 MOSTLY WITHIN R-2 AND PARTLY WITHIN C-1, WHOLLY WITHIN THE ESP.
 MAP 72 LOT 77 WHOLLY WITHIN R-2 AND ESP.
- | | REQUIRED FOR R-2 | REQUIRED FOR C-1 | EXISTING | PROVIDED |
|--------------------------|----------------------|------------------|------------|-------------|
| MIN LOT AREA | 15,000 SF | 5,000 SF | 10,458 SF± | 10,458 SF±* |
| MIN LOT AREA PER UNIT | 15,000 SF | 3,500 SF | 2,092 SF± | 2,615 SF±** |
| MIN LOT WIDTH AND DEPTH | 100' | 50' | 82' | 82' |
| MAX HEIGHT | 35' - 3 STORIES | 35' | <35 FT | 37' |
| MAX BLDG COVERAGE | 25% | 25% | 25% | 26%* |
| MIN OPEN SPACE | 40% | 5% | 52% | 56% |
| MAX IMPERVIOUS COVERAGE | 60% | 95% | 52% | 44% |
| IMPERVIOUS COVERAGE (SF) | | | 5,060 SF | 4,645 SF |
| MIN. BUILDING SETBACKS | | | | |
| FRONT | AVERAGE OF THE BLOCK | | | 10.4' |
| SIDE | 15' | 7.4' | 18.4' | 18.4' |
| REAR | 25' | 20' | 28.7' | 22.9' |
- * GRANDFATHERED CONDITIONS
 - ** VARIANCE NEEDED
- VARIANCES GRANTED (07-17-18):
 REAR BUILDING SETBACK 22.9'
 MAX. BUILDING COVERAGE 26%
- PARKING CALCULATIONS:
 REQUIRED:
 MULTIFAMILY WITH 2 BDRMS: 2 SPACES/UNIT * 4 + 1 SPACE/4 UNITS * 4 UNITS = 9 SPACES
 PROPOSED:
 10 SPACES
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
 DRAINAGE PRIVATE
 SEWER MUNICIPAL
 WATER MUNICIPAL
 GAS NATIONAL GRID
 ELECTRIC UTILIT
 TELEPHONE FAIRPOINT COMMUNICATIONS
 CABLE COMCAST
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
 - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - ALL WATER, SEWER, ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 CONSTRUCTION, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
 - REFER TO THE ROAD IMPROVEMENT PLAN FOR FRANKLIN STREET (SHEET R-2) FOR LOCATION OF CURB LINES AND SIDEWALKS WITHIN THE RIGHT OF WAY.



- ### LEGEND
- IRON PIPE
 - IRON PIN
 - VERTICAL GRANITE CURB
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - RETAINING WALL
 - CHAIN LINK FENCE
 - WOOD FENCE
 - SIGN
 - GAS GATE
 - HYDRANT
 - WATER GATE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - MONITORING WELL
 - ZONING BOUNDARY
 - TREES
 - OVERHEAD UTILITIES

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**FOR REVIEW
 PURPOSES ONLY
 NOT FOR CONSTRUCTION**

09/04/2018

72-78
 RIVERS EDGE CONDO
 ASSOCIATION
 32 FRANKLIN STREET
 EXETER, NH 03833
 3159/1517

REV.	DATE	DESCRIPTION	DR	CK

TOWN OF EXETER PLANNING BOARD

CHAIRMAN'S SIGNATURE _____ DATE _____

TAX MAP 72 LOTS 75 & 77
SITE LAYOUT PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
 OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH

SCALE: 1"=10' **SEPTEMBER 4, 2018**

TFM	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

FILE: 47070.02	DR: SV	FB: 2058	SHEET 5 OF 15
CK: JK	CADFILE: 47070-02		

NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF EXETER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE N.H.D.O.T. STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE. CONSTRUCTION METHODS SHALL CONFORM TO N.H.D.O.T. STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO N.H.D.O.T. STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL GRATES AND COVERS IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES NECESSARY TO CONTROL EROSION THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES/EPA STANDARDS. THE DETAILS PROVIDED REPRESENT MINIMUM PERMITTED CONTROLS ONLY AND SHALL BE SUPPLEMENTED BY THE CONTRACTOR AS NECESSARY.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM).
- ON-SITE WATER DISTRIBUTION SHALL BE TO EXETER PUBLIC WORKS STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM.
- VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
- IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- ALL WATER, SEWER, AND DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- EXETER PUBLIC WORKS TO PROVIDE NEW HYDRANT. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS.
- ALL WATER, SEWER, ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED ACCORDING TO SECTION 9.5 GRADING, DRAINAGE AND EROSION & SEDIMENT CONTROL AT THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

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09/04/2018

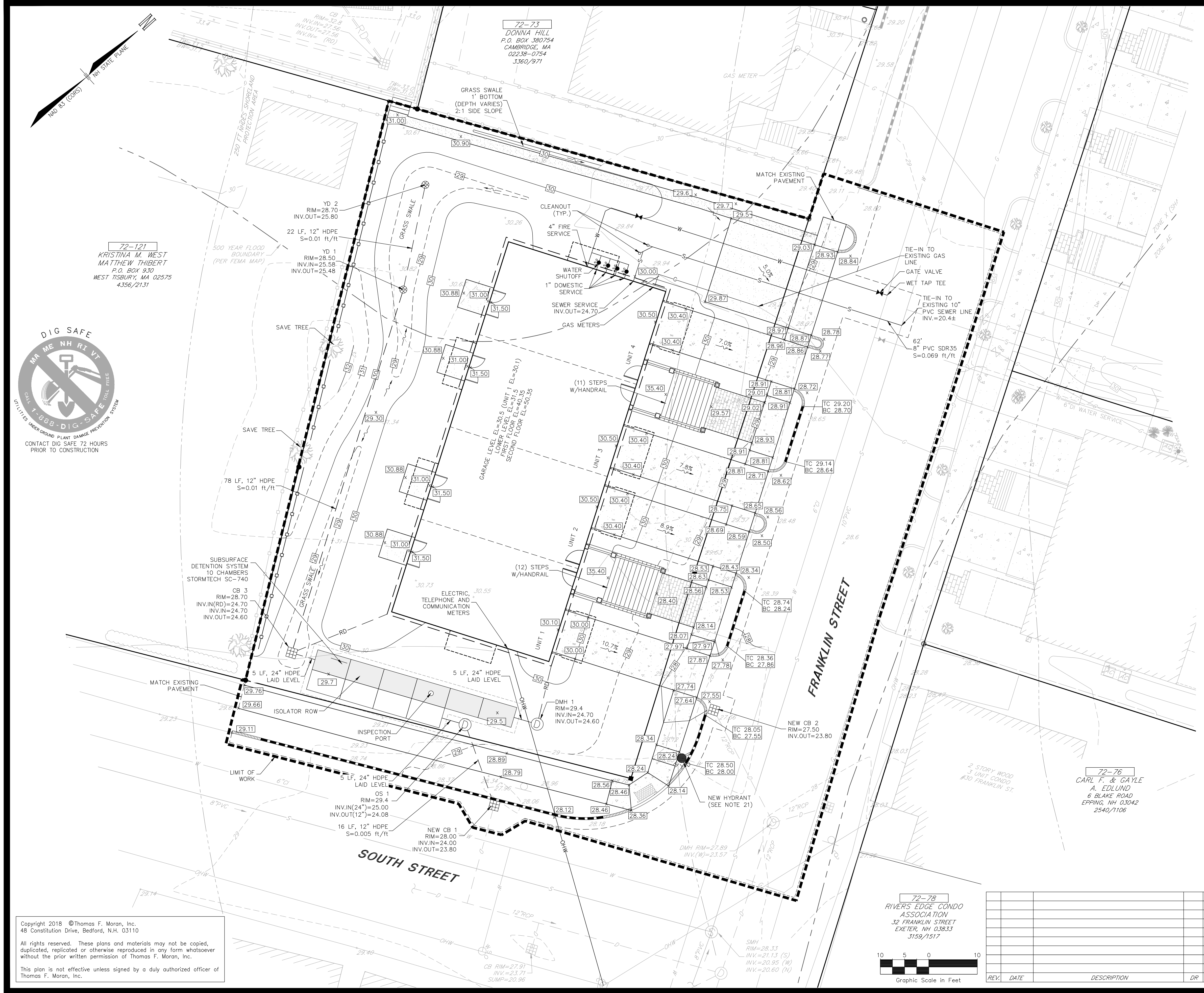
TAX MAP 72 LOTS 75 & 77
GRADING, DRAINAGE & UTILITY PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH

SCALE: 1"=10' SEPTEMBER 4, 2018

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

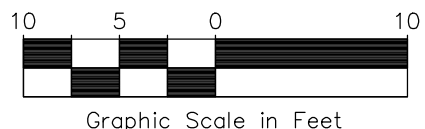
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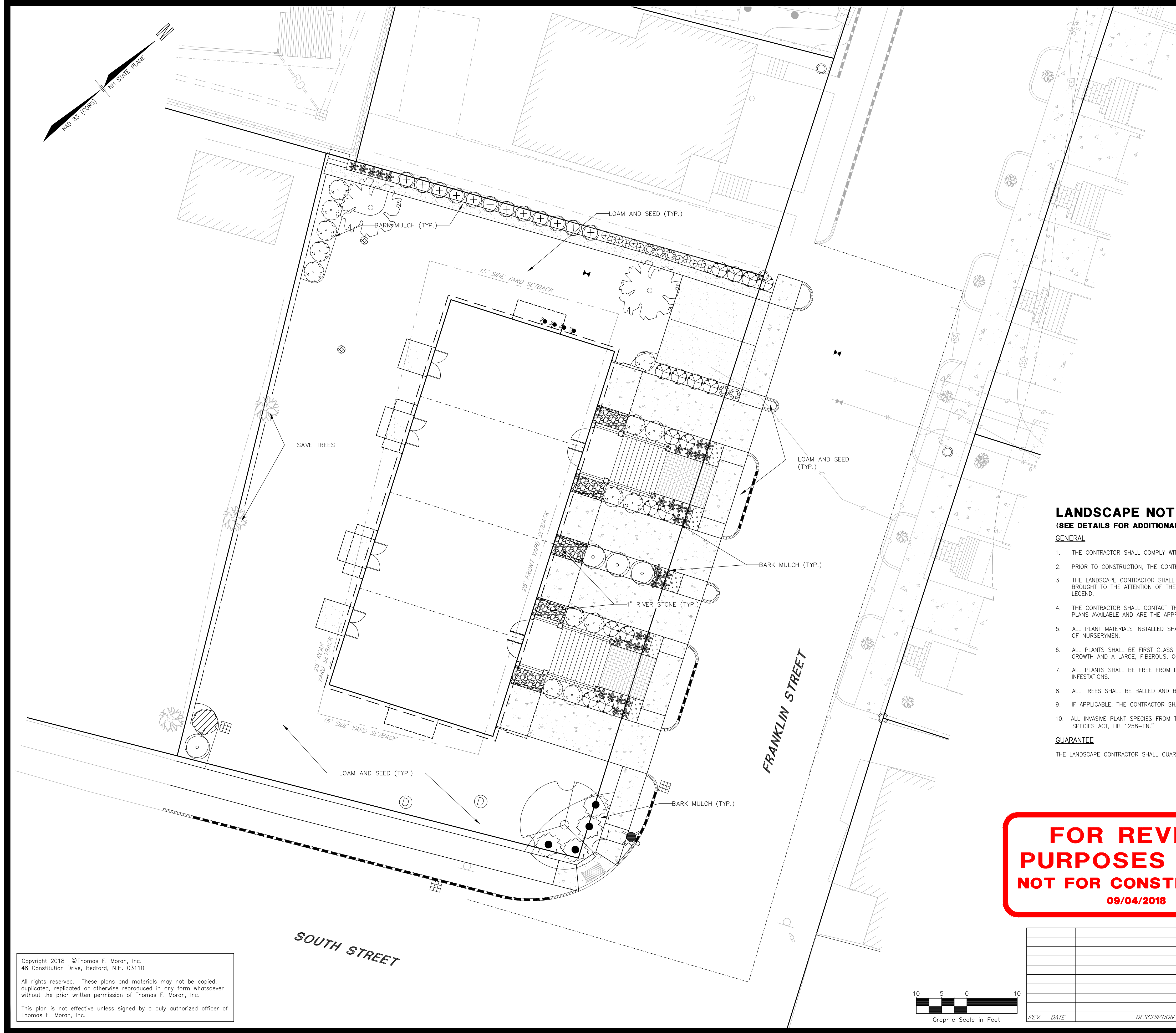


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72-78
RIVERS EDGE CONDO
ASSOCIATION
32 FRANKLIN STREET
EXETER, NH 03833
3159/1517



REV.	DATE	DESCRIPTION	DR	CK



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	2	ACER R. 'BOWHALL' BOWHALL RED MAPLE	3" TO 3 1/2" CAL.	B&B
	1	NYSSA SYLVATICA BLACKGUM	3" TO 3 1/2" CAL.	B&B
	14	HYDRANGEA M. 'LACECAP' LACECAP BLUE HYDRANGEA	3 GAL.	CONT.
	16	HYDRANGEA P. 'BOMBSHELL' BOMBSHELL HYDRANGEA	3 GAL.	CONT.
	4	LIGUSTRUM V. 'CHEYENNE' CHEYENNE PRIVET	18" TO 24"	CONT.
	4	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	18" TO 24"	CONT.
	1	RHODODENDRON 'LANDMARK' LANDMARK RHODODENDRON	5 GAL.	CONT.
	5	HEMEROCALLIS 'AUBREY JOHNSON' AUBREY JOHNSON DAYLILY	1 GAL.	CONT.
	11	HEMEROCALLIS 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	1 GAL.	CONT.
	12	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCHGRASS	3 GAL.	CONT.
	34	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF FOUNTAIN GRASS	3 GAL.	CONT.
	23	FESTUCA OVINA 'ELIJAH BLUE' ELIJAH BLUE FESCUE GRASS	2 GAL.	18" O.C.

LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

GENERAL

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
4. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
5. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
7. ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
8. ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
9. IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
10. ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

GUARANTEE

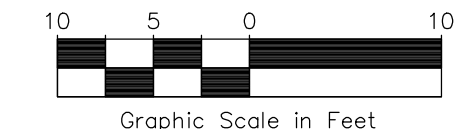
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

FOR REVIEW
PURPOSES ONLY
NOT FOR CONSTRUCTION
09/04/2018

TAX MAP 72 LOTS 75 & 77
LANDSCAPE PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH

SCALE: 1"=10' **SEPTEMBER 4, 2018**

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REV.	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers
Structural Engineers
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CONSTRUCTION GENERAL PERMIT

THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.

THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. IN ADDITION, ONE CAN CONTACT ABBY SWANE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

- A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
 - NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
 - WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
 - MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

- GOOD HOUSEKEEPING:**
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
 - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER; MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
 - TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS;
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

- HAZARDOUS PRODUCTS:**
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

- PETROLEUM PRODUCTS:**
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

- FERTILIZERS:**
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

- PAINTS:**
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

- CONCRETE TRUCKS:**
EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PAD. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.

- SPILL CONTROL PRACTICES:**
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENTS AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

- THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCH OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.

NOTES

IT IS BEING PROPOSED TO CONSTRUCT A FOUR UNIT TOWNHOUSE WITH ASSOCIATED DRIVEWAYS, SIDEWALKS AND LANDSCAPING.

TOTAL SITE AREA: .24± AC.
TOTAL AREA OF DISTURBANCE: .24± AC.

SOILS SHOWN ARE FROM A SITE SPECIFIC SOIL SURVEY DONE BY SCHAUER ENVIRONMENTAL CONSULTANTS, LLC, OCTOBER 9, 2013.

400A/bb000 - UDORTHENTS, SANDY, 0 TO 8 PERCENT SLOPES
400A/hb000 - UDORTHENTS, SANDY, 0 TO 8 PERCENT SLOPES

STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.51
IMPERVIOUS SURFACE AREA: .11± AC.

STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:

TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SQUARE FEET. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 S.F. TALL FESCUE, 0.20 LBS/1,000 S.F. CREEPING RED FESCUE, AND 0.20 LBS/1,000 S.F. BIRDFOOT TREFLOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.

STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL

SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE AT LEAST 6 INCHES OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8 INCHES OF THE FABRIC BURIED BELOW SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20 FEET WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12 INCHES OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.

CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.

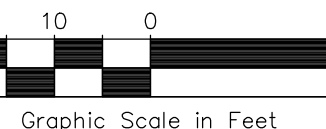
BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH, BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.

STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

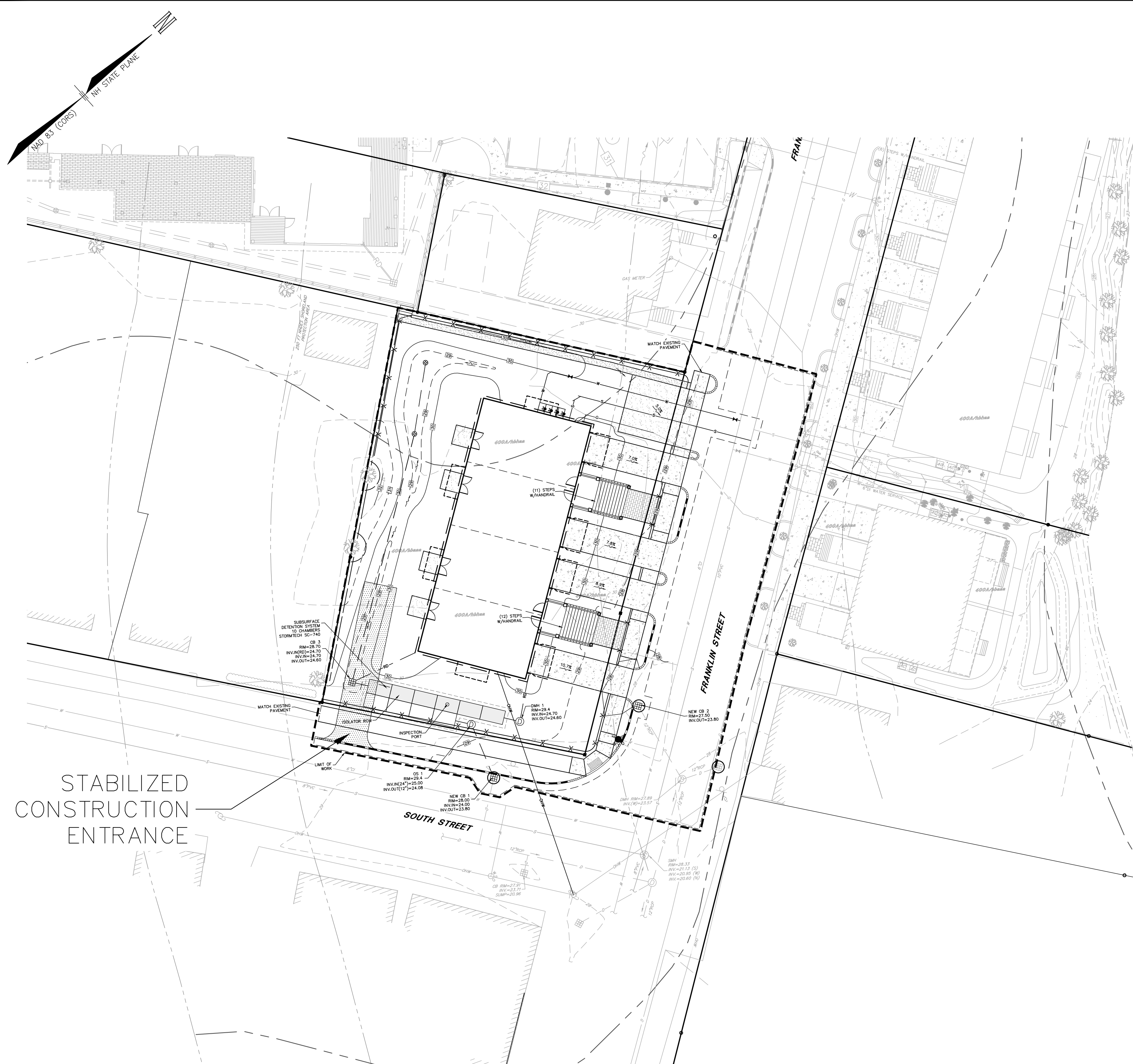
STORM WATER MANAGEMENT

STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN CLOSED DRAINAGE SYSTEM. APPROXIMATELY 200 ACRES OF THE 203 ACRE SITE WILL REMAIN UNTOUCHED. COLLECTED STORMWATER WILL BE DETAINED IN UNDERGROUND CHAMBER SYSTEMS AND TREATMENT PROVIDED BY INFILTRATION BELOW THE SYSTEMS.

ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.



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09/04/2018

TAX MAP 72 LOTS 75 & 77
STORM WATER MANAGEMENT PLAN
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH

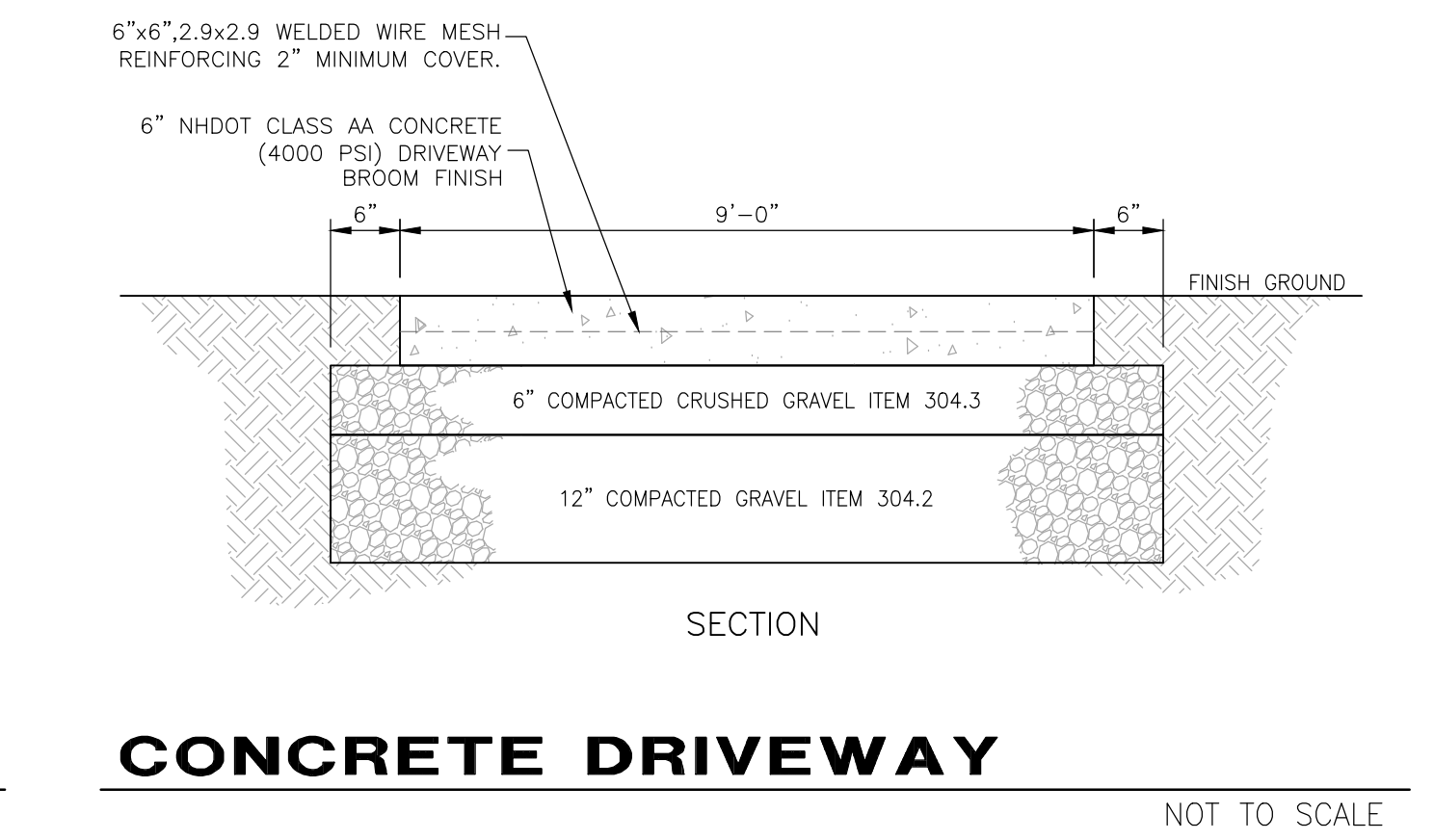
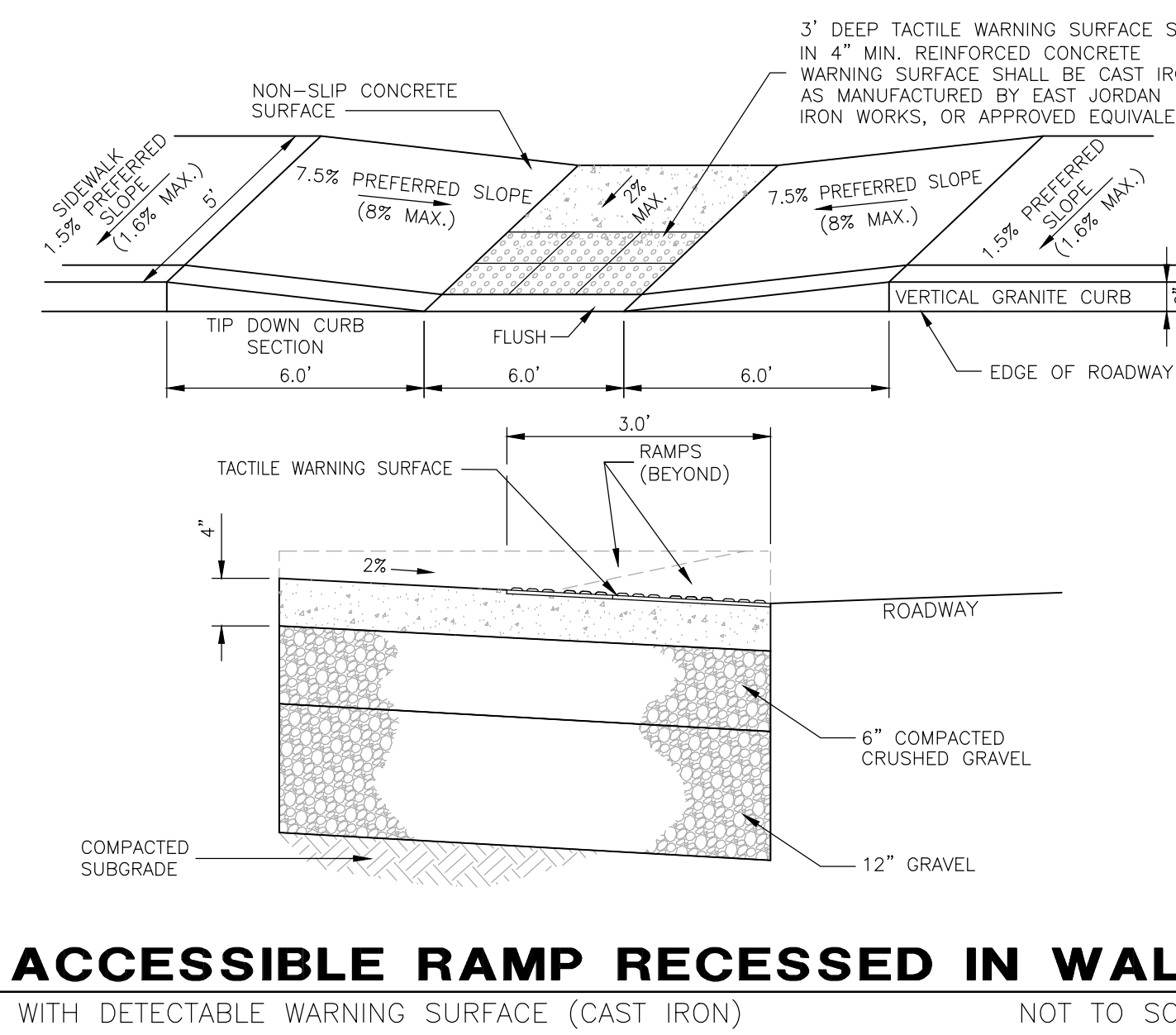
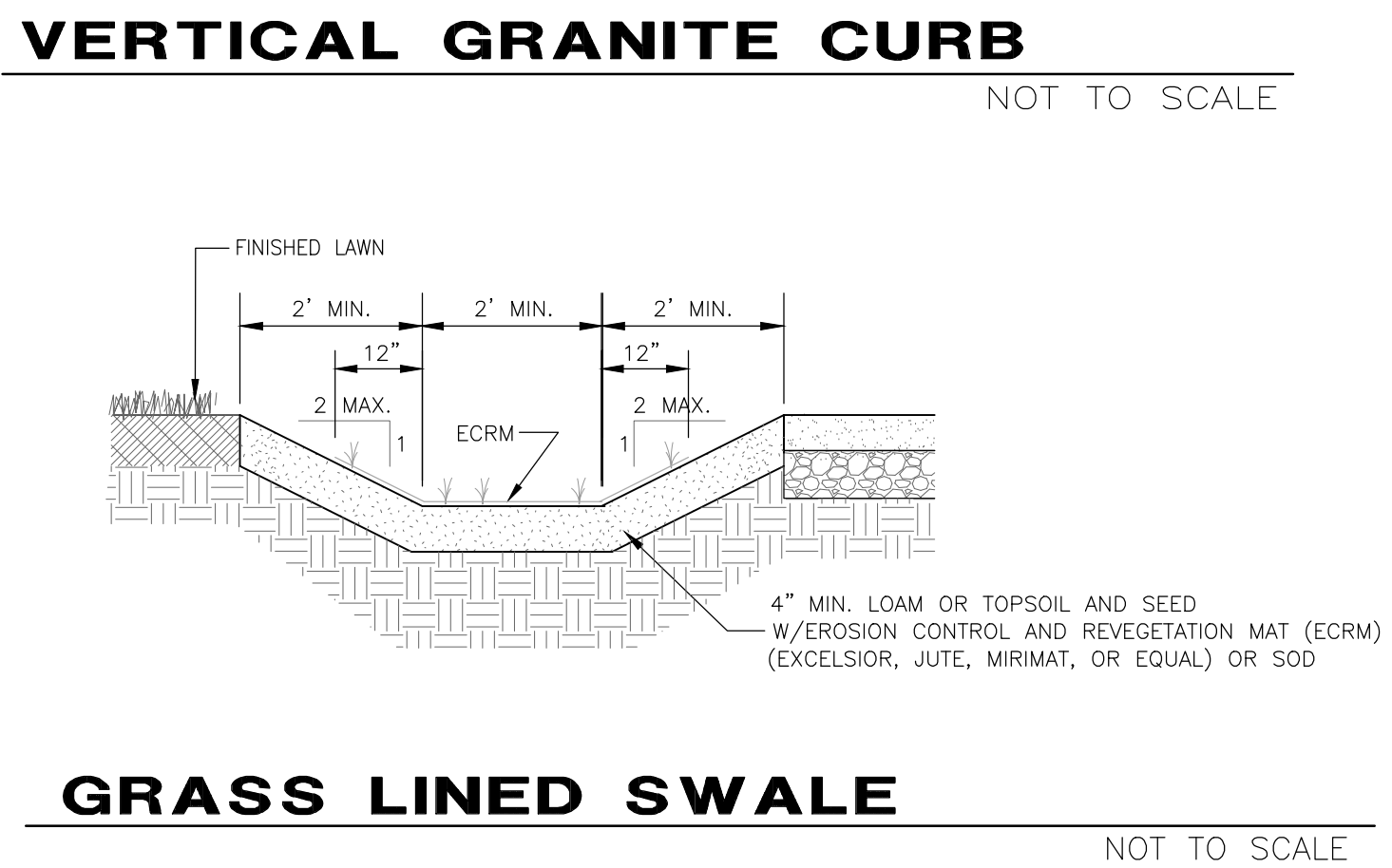
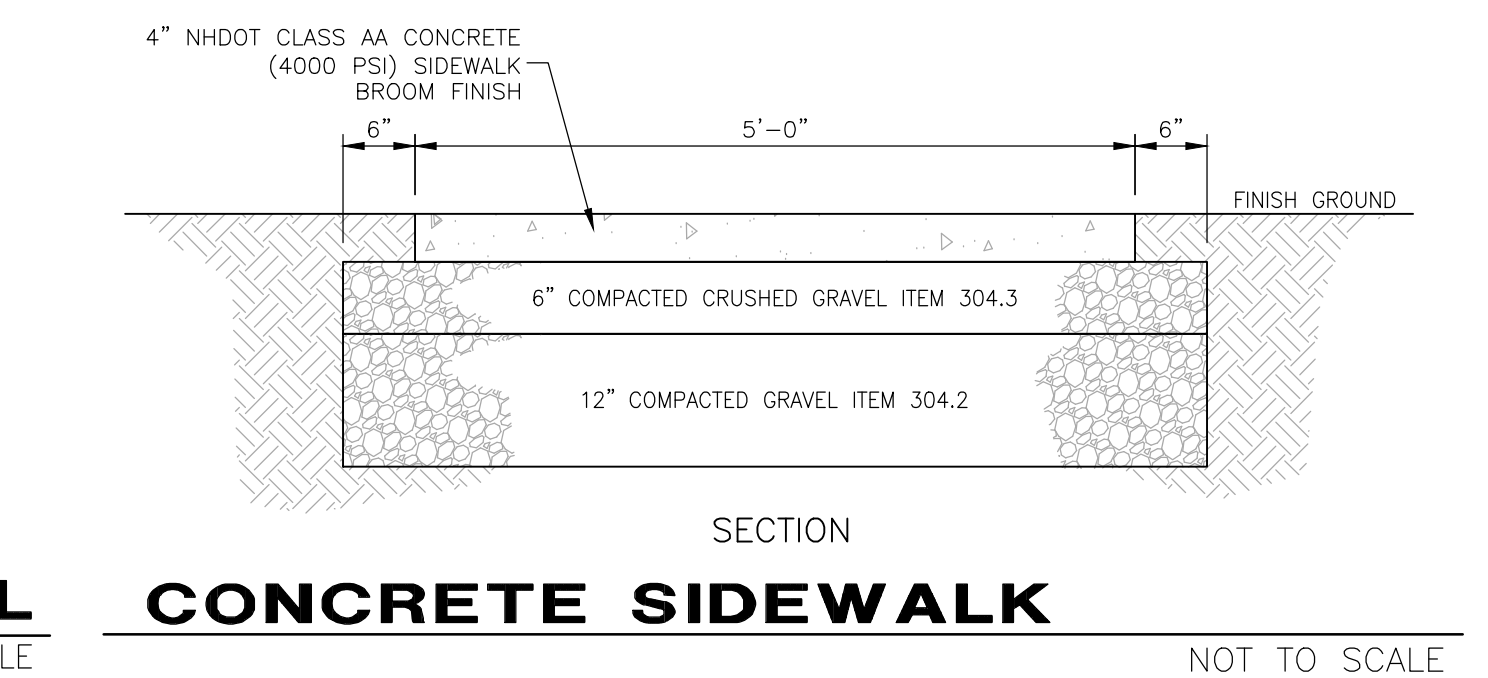
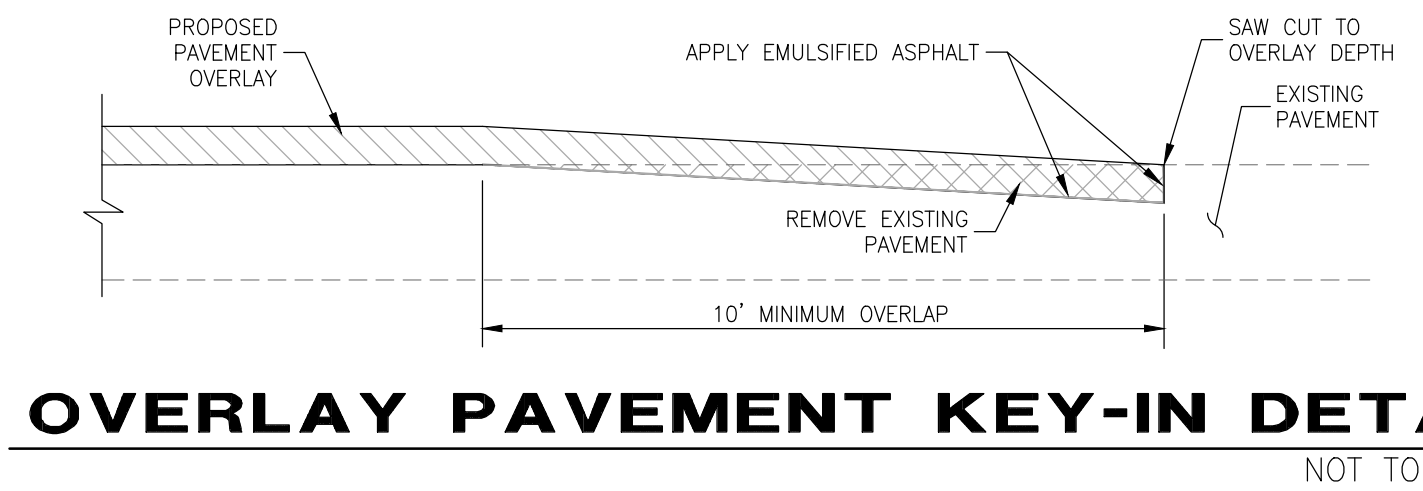
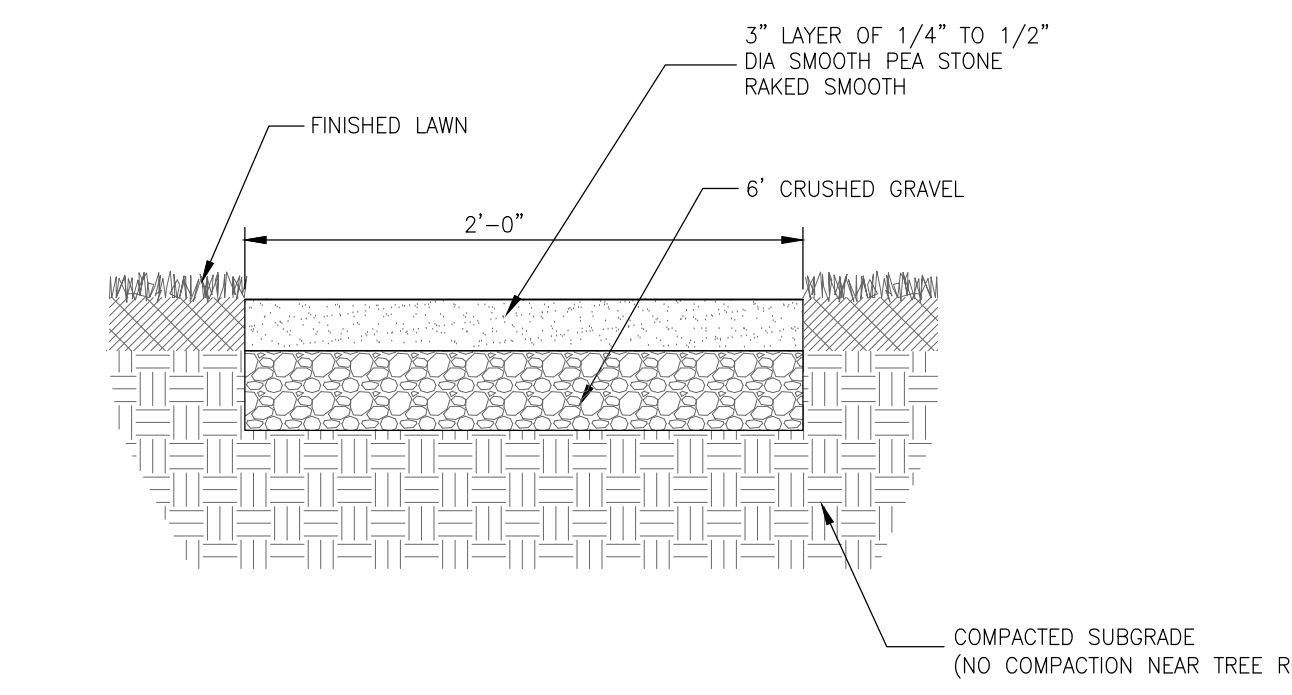
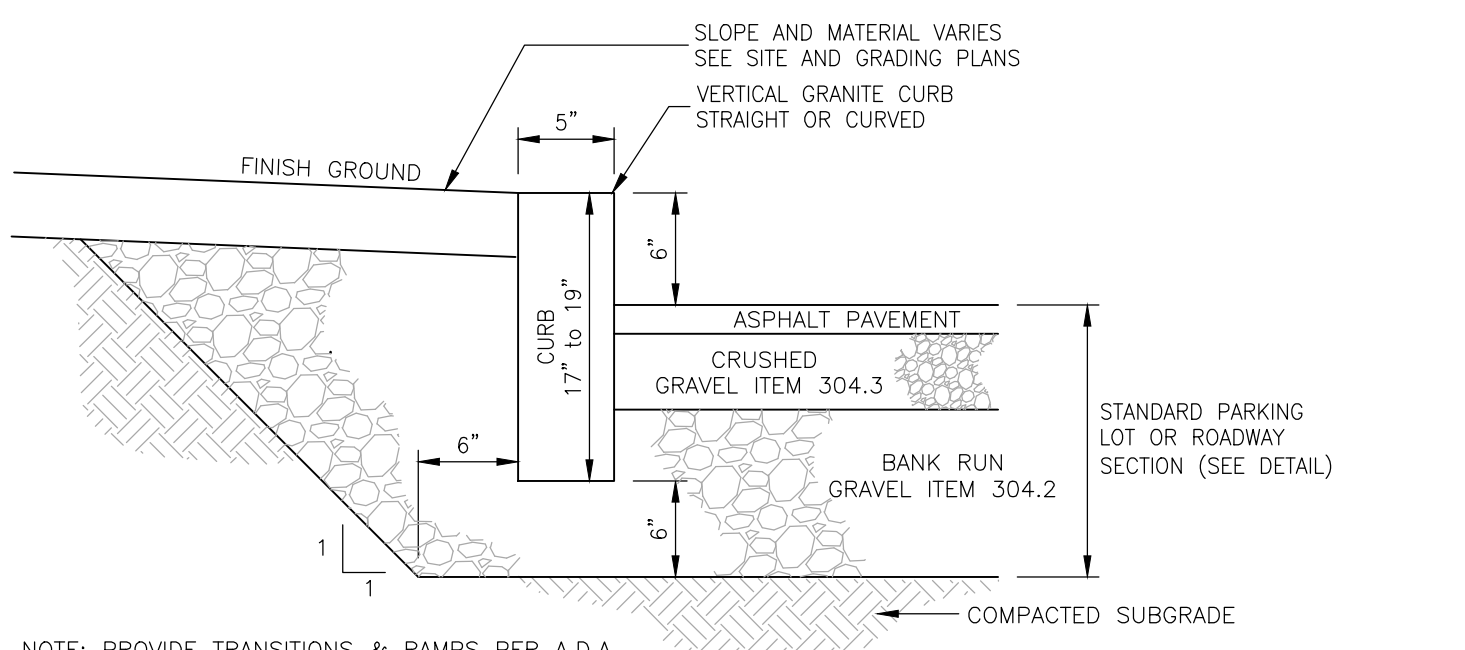
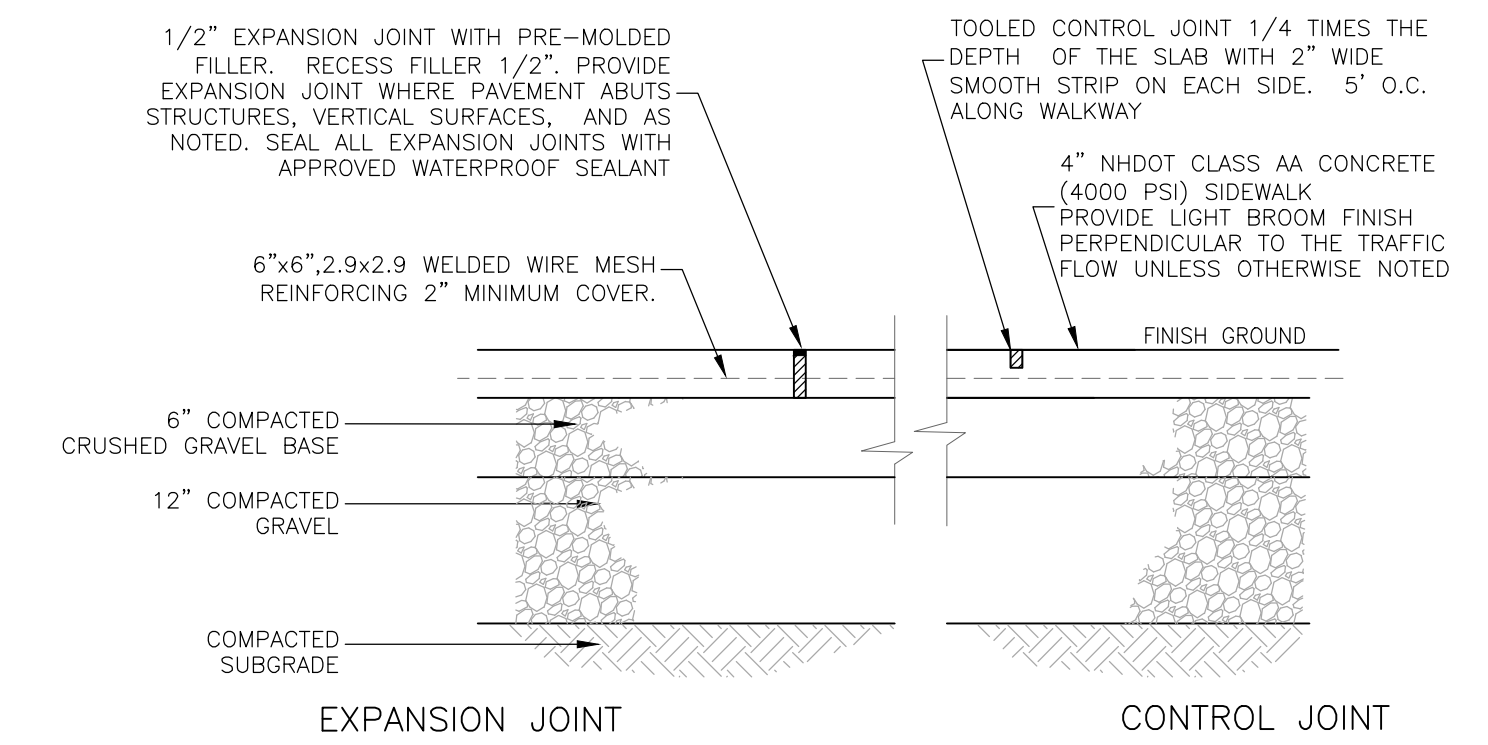
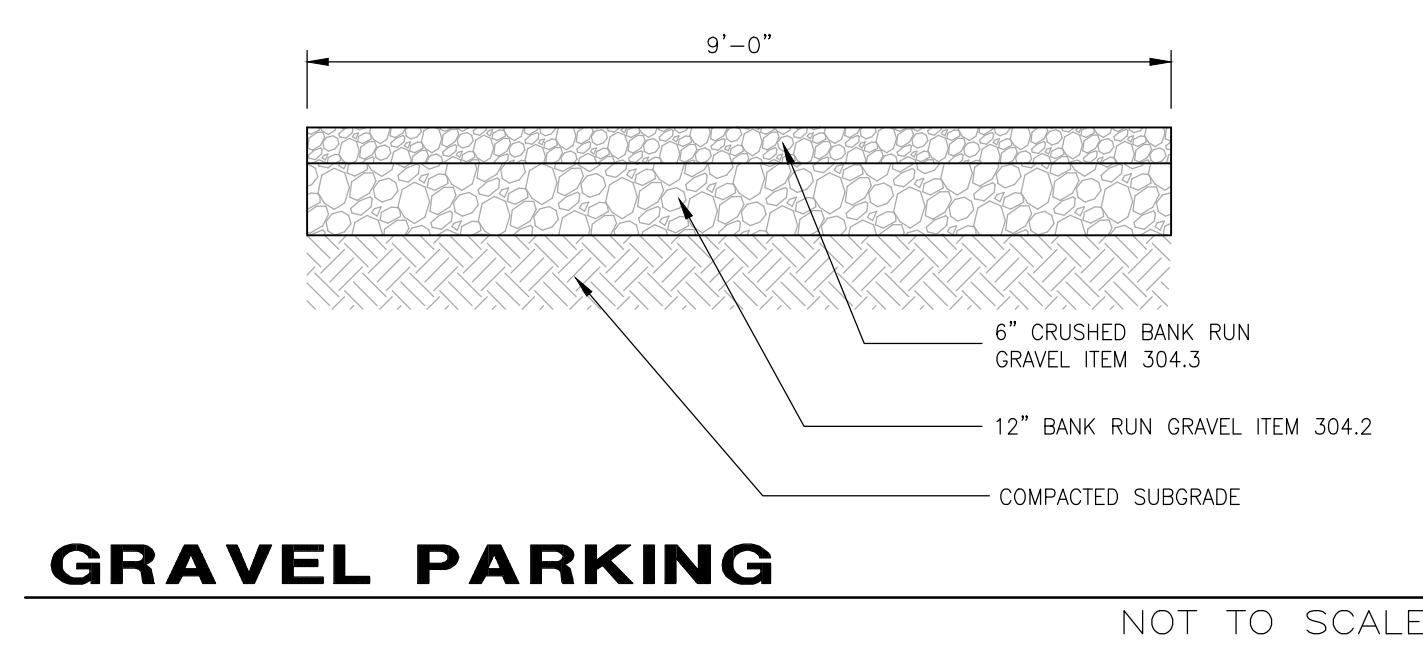
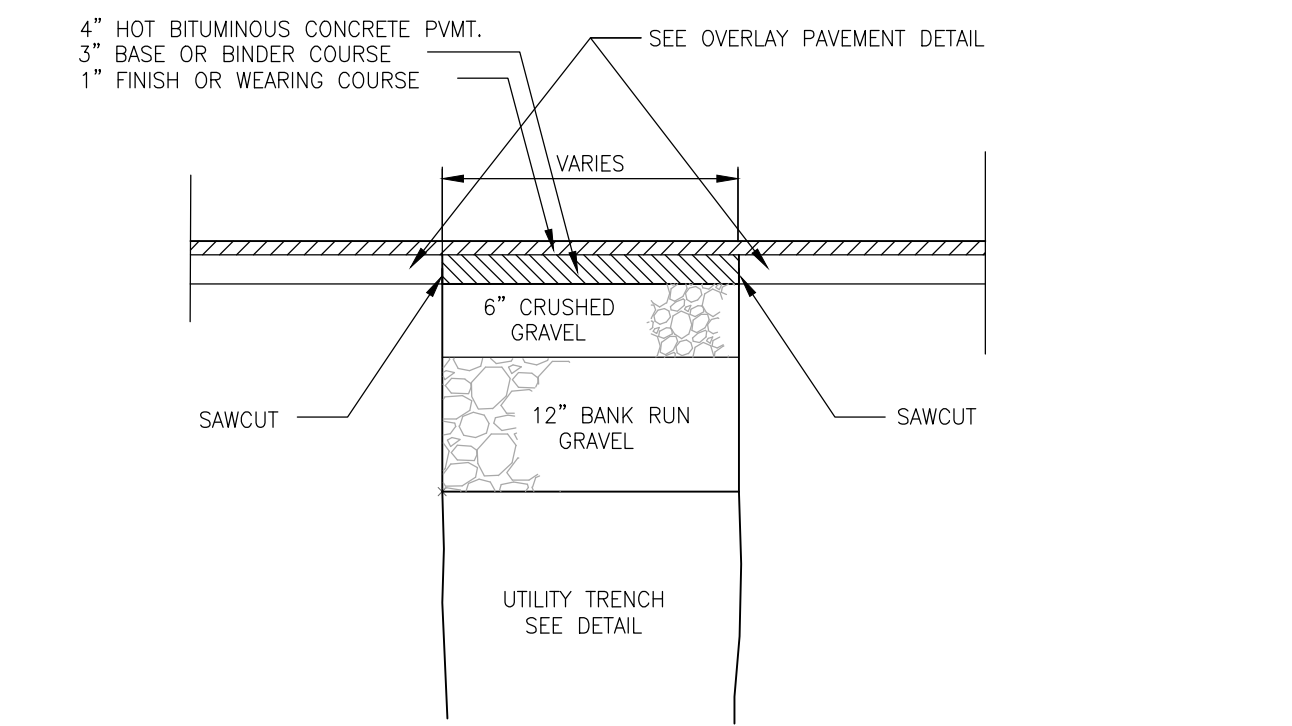
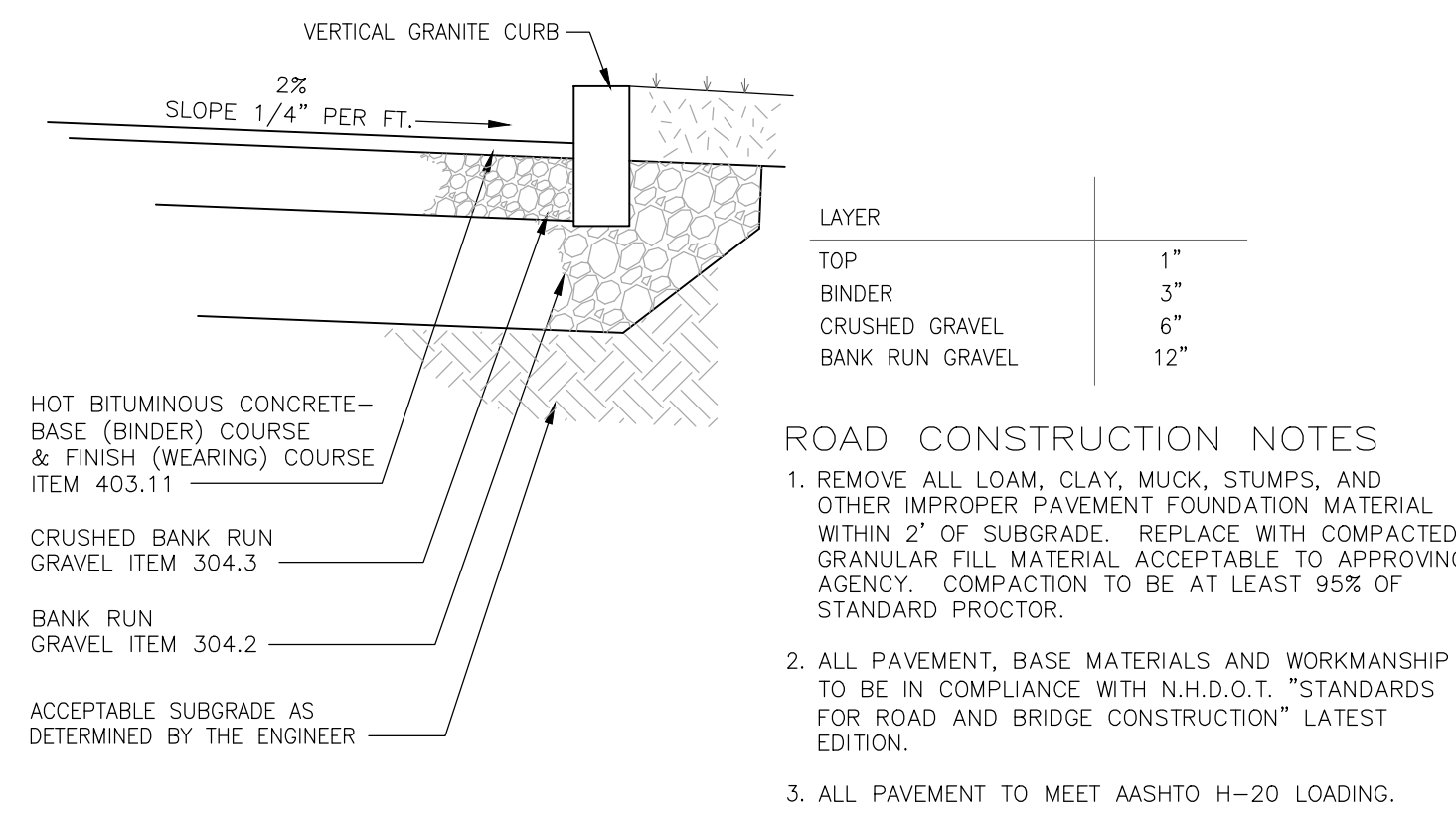
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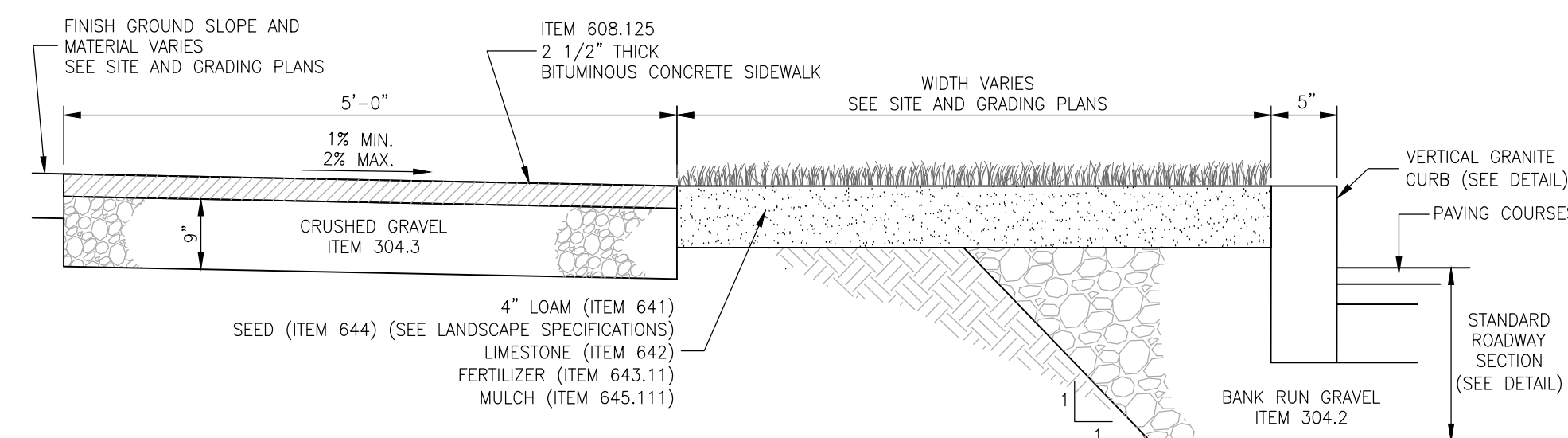
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

FILE	47070.02	DR	SV	FB	2058	SHEET 8 OF 15
		CK	JK	CADFILE	47070-02	



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**BITUMINOUS SIDEWALK
WITH VERTICAL GRANITE CURB**
NOT TO SCALE

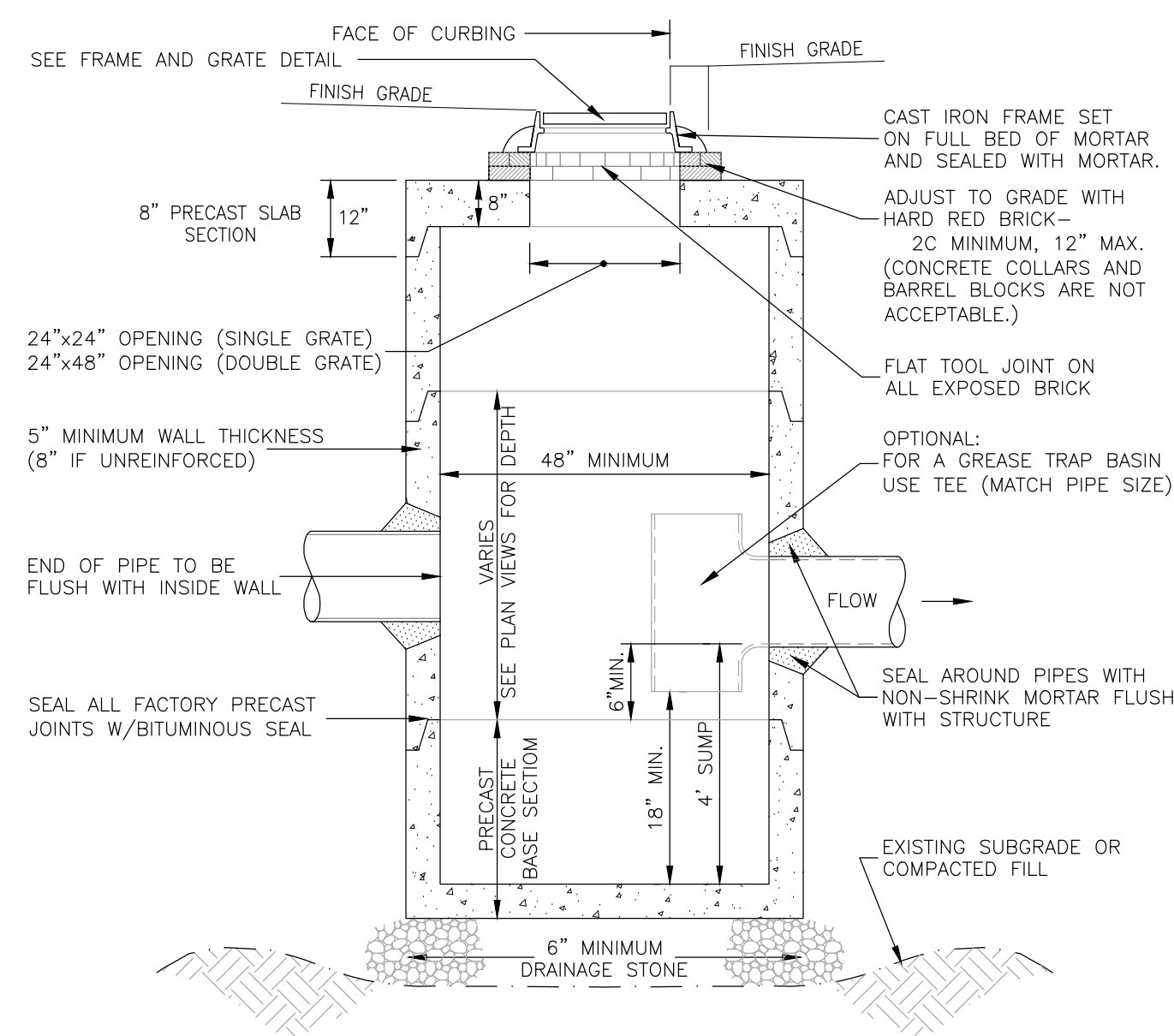
REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 72 LOTS 75 & 77
DETAIL SHEET
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH
SCALE: AS NOTED **SEPTEMBER 4, 2018**

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

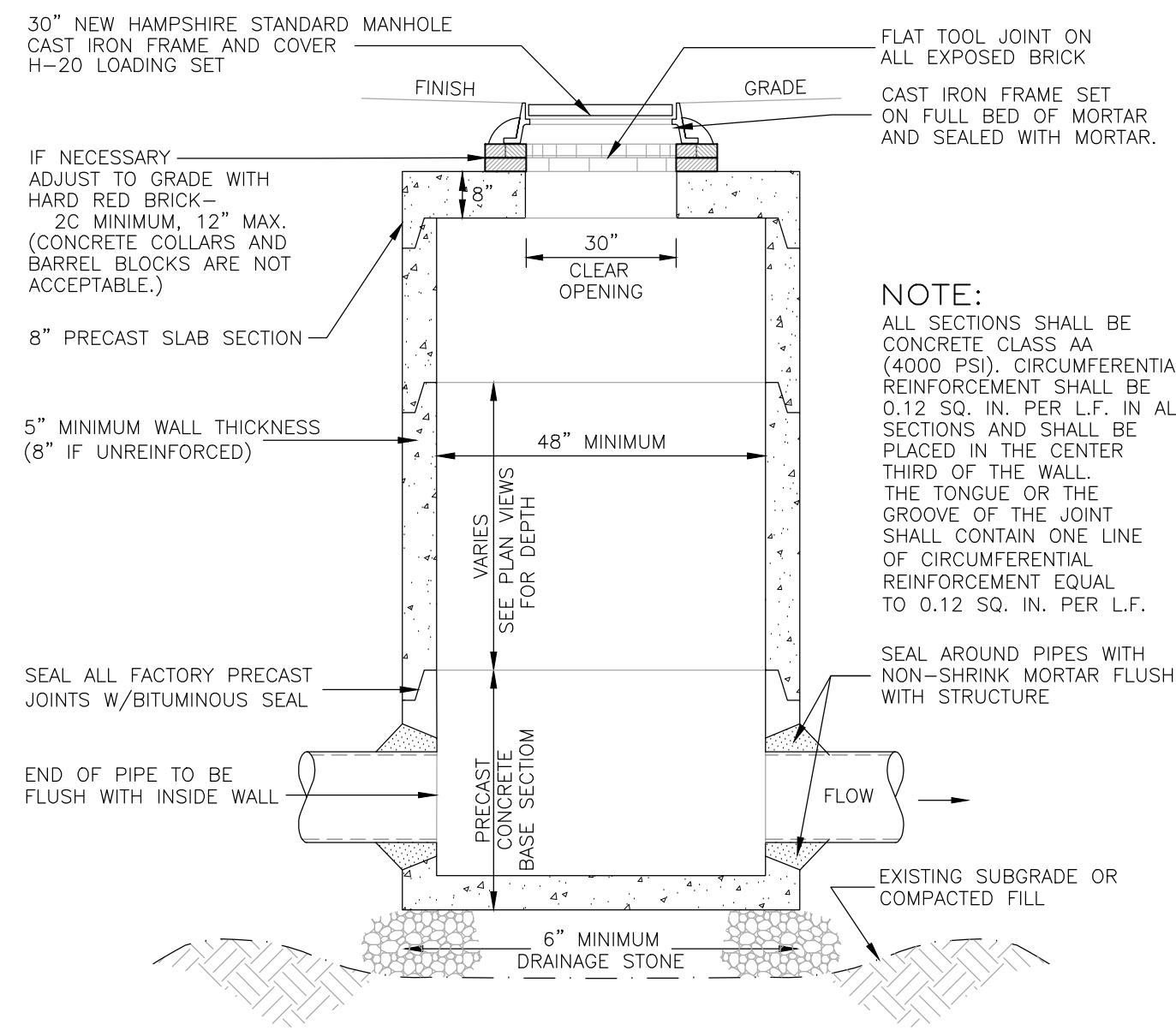
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FILE: 47070.02 DR: SV FB: 2058
CK: JK CADFILE: 47070-02 Details SHEET 10 OF 15



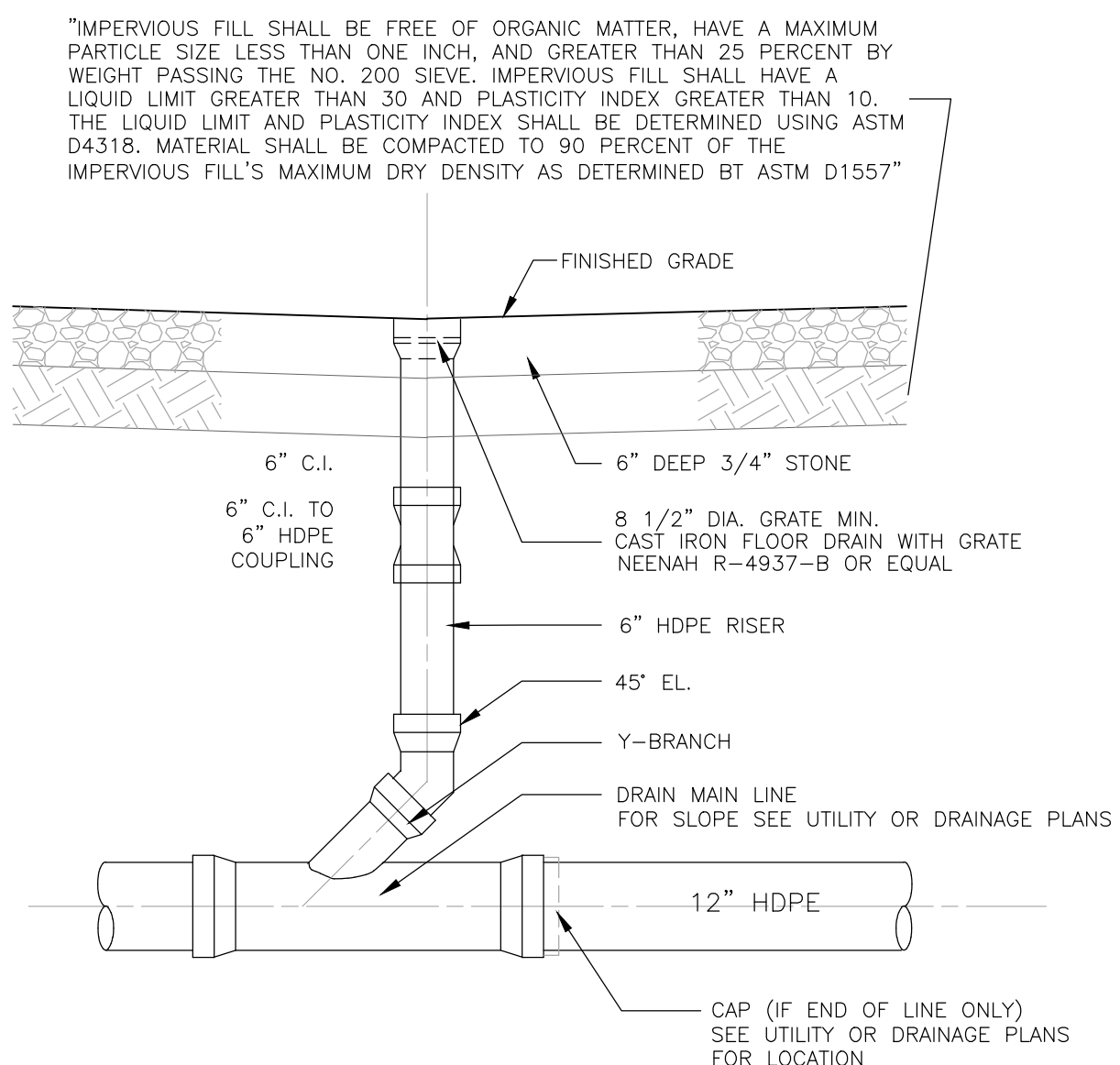
NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

CATCH BASIN
SLAB TOP NOT TO SCALE

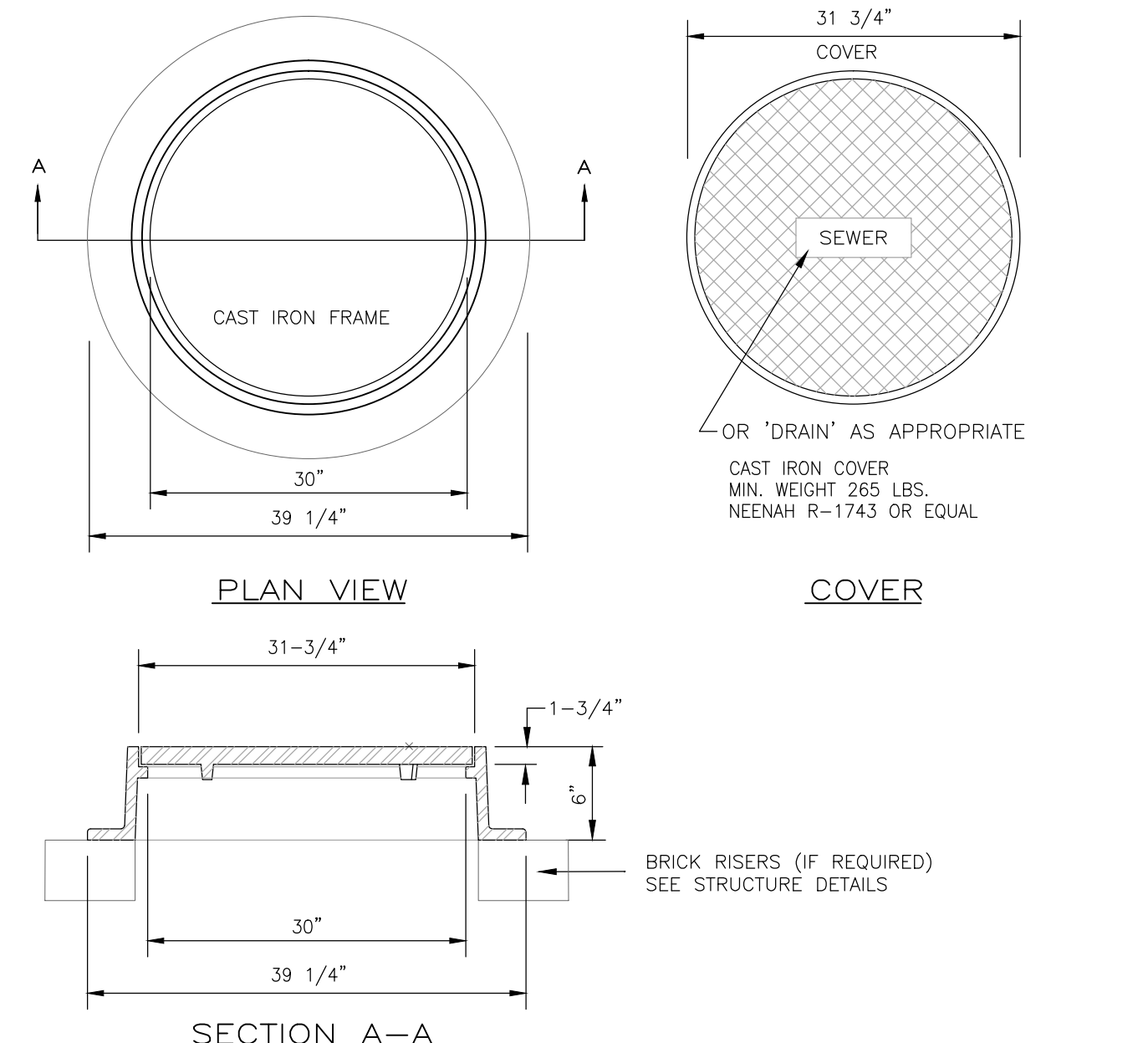


NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

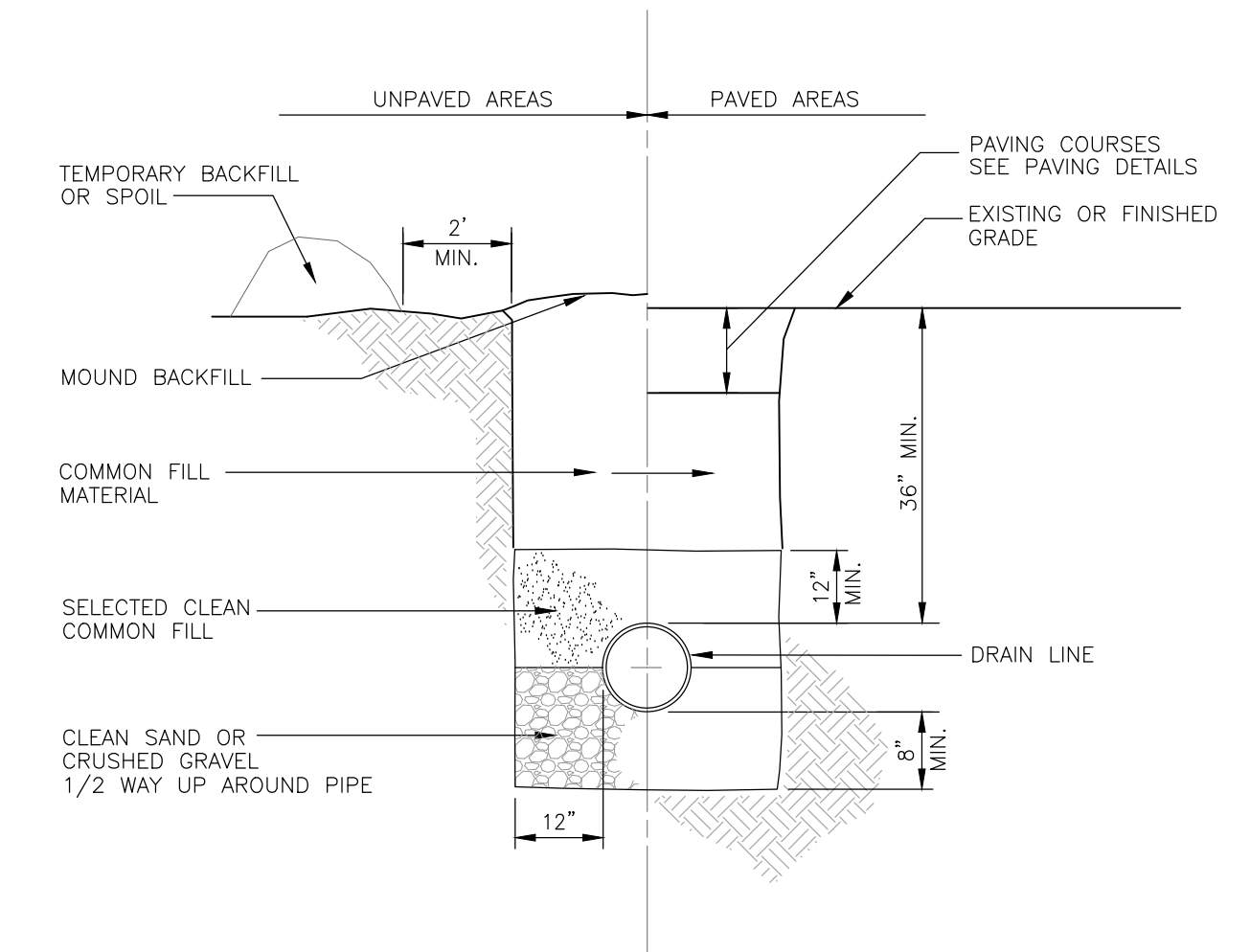
DRAIN MANHOLE
SLAB TOP NOT TO SCALE



YARD DRAIN
NOT TO SCALE



MANHOLE FRAME & COVER
HEAVY DUTY NOT TO SCALE

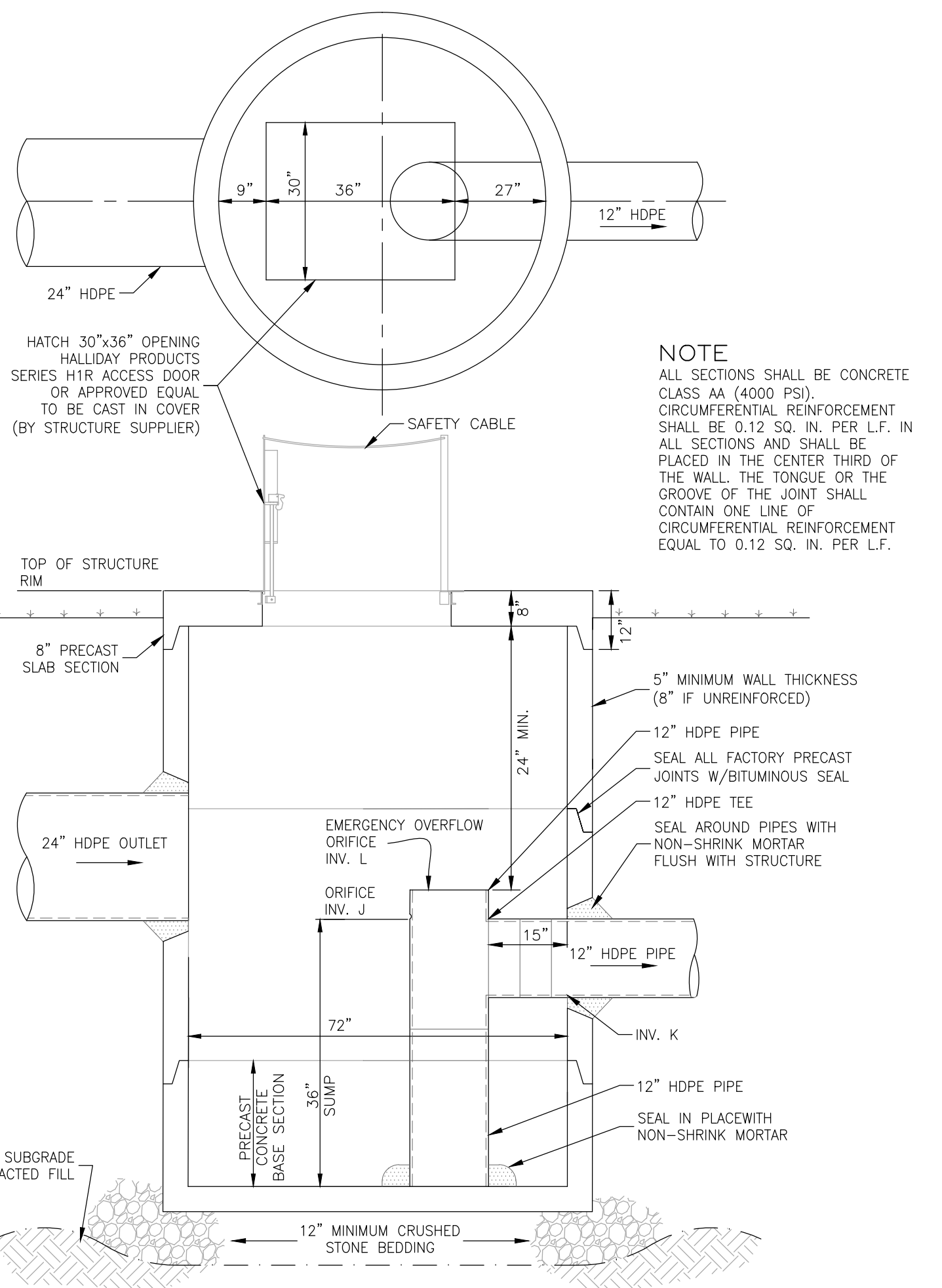


NOTES:
1. COMPACT CRUSHED SCREENED BEDDING AND SAND IN 6" LIFTS.
2. COMPACT FILL ABOVE THE SAND BLANKET IN 12" LIFTS.
3. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.

DRAINAGE LINE TRENCH
NOT TO SCALE

OUTLET STRUCTURE ELEVATIONS

OS 1	SYS. 1
RIM	29.4
INV. L	25.50
24" HDPE OUTLET	25.0
INV. K	24.08
INV. J (ORIFICE SIZE)	25.0 (3")



NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

OUTLET STRUCTURE
FOR STORMTECH SYSTEMS NOT TO SCALE

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EXETER, NEW HAMPSHIRE
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	Traffic Engineers	Phone (603) 472-4488
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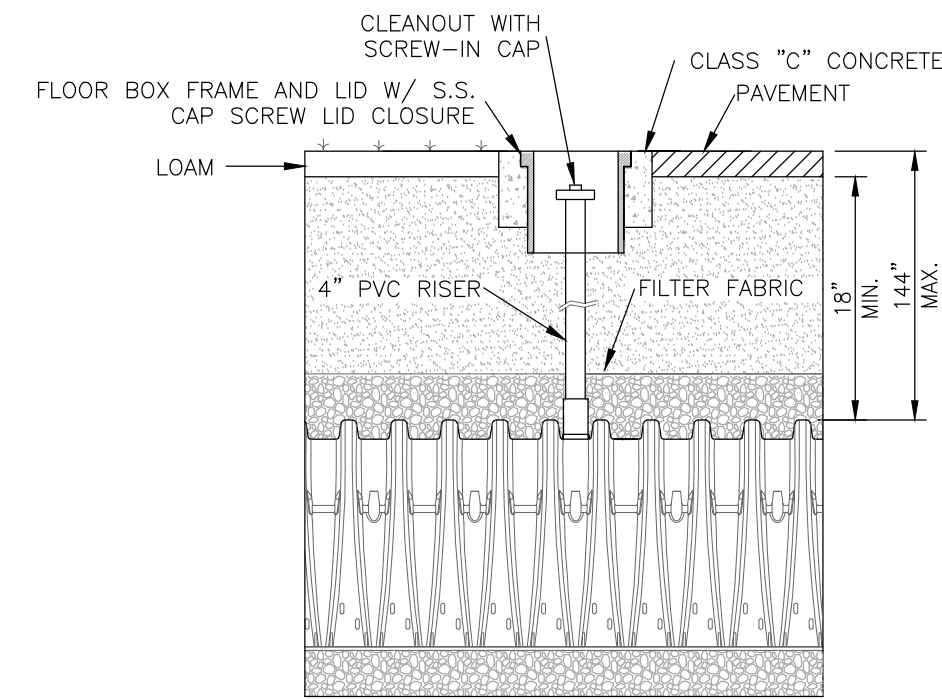
47070.02	DR	SV	FB	2058	SHEET 11 OF 15
	CK	JK	CADFILE	47070-02 Details	

STORMTECH INSTALLATION NOTES

- EXCAVATE AND LEVEL THE DESIGNATED AREA. BE SURE TO EXCAVATE AT LEAST ONE EXTRA FOOT AROUND THE PERIMETER TO ALLOW FOR PROPER FIT AND ADEQUATE COMPACTION.
 - EXCAVATION MUST BE FREE OF STANDING WATER. DEWATERING MEASURES MUST BE TAKEN IF REQUIRED. POSITIVE DRAINAGE OF THE EXCAVATION MUST BE MAINTAINED.
 - PREPARE THE CHAMBER BED SUBGRADE SOIL.
 - CONTACT TFMORAN FOR A BED BOTTOM INSPECTION.
 - PLACE AASHTO M288 CLASS 2 NON-WOVEN FILTER FABRIC OVER THE PREPARED SUBGRADE SOILS AND UP THE EXCAVATED WALLS. THE FILTER FABRIC MUST OVERLAP AT LEAST 2 FEET (610 MM) WHERE THE FABRIC EDGES MEET.
 - PLACE AASHTO M288 CLASS 2 NON-WOVEN FILTER FABRIC AROUND THE PERIMETER OF THE EXCAVATED BED.
 - PLACE ACCEPTABLE NOMINAL 1"-2" (19-51 MM) CLEAN, CRUSHED, ANGULAR STONE FOUNDATION MATERIAL (SUBGROUNDED AND ROUNDED STONES ARE UNACCEPTABLE).
 - COMPACT THE STONE USING A VIBRATORY ROLLER WITH ITS FULL DYNAMIC FORCE APPLIED TO ACHIEVE A FLAT SURFACE.
 - ROLL OUT A CONTINUOUS, DOUBLE LAYER STRIP OF AASHTO M288 CLASS 1 WOVEN GEOTEXTILE OVER THE ANGULAR STONE FOUNDATION SO THE AREA WHERE THE ISOLATOR ROW CHAMBERS WILL BE PLACED WILL BE COMPLETED COVERED. THERE MUST NOT BE ANY SEAMS IN THE WOVEN GEOTEXTILE.
 - FORM THE ISOLATOR ROW BY JOINING STORMTECH CHAMBERS CENTERED OVER THE WOVEN GEOTEXTILE.
 - PLACE A MINIMUM 12.5" OF AASHTO M288 CLASS 1 WOVEN GEOTEXTILE OVER THE BEDDING STONE UNDER EACH INLET STUB.
 - DRAPE A STRIP OF AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE OVER THE ROW OF CHAMBERS. THIS IS THE SAME TYPE OF NON-WOVEN FILTER FABRIC USED AS SEPARATION LAYER AROUND THE ANGULAR STONE OF A STORMTECH SYSTEM. A SINGLE CONTINUOUS PIECE IS PREFERRED.
 - FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF STORMTECH UNITS.
 - ONCE STORMTECH UNITS HAVE BEEN PROPERLY PLACED AND CONNECTED, ANCHOR CHAMBERS BY CAREFULLY LADLING THE STONE DIRECTLY OVER THE CENTERLINE OF THE CHAMBERS. EVENLY DISTRIBUTE STONE TO MINIMIZE CHAMBER MOVEMENT WHILE MAINTAINING ROW SEPARATION DISTANCES.
 - AFTER CHAMBERS ARE ANCHORED, CONTINUE TO PLACE THE STONE, SURROUNDING THE CHAMBERS AND FILLING THE PERIMETER AREAS TO A MINIMUM OF 6" (152 MM) OVER THE TOP OF THE CHAMBERS AND MANIFOLDS. DO NOT DRIVE EQUIPMENT OVER THE CHAMBERS WITHOUT MINIMUM 18" OF COVER.
 - COVER THE ENTIRE INSTALLATION AREA WITH AASHTO M288 CLASS 2 NON-WOVEN FILTER FABRIC. TAKE THE FABRIC FROM THE TRENCH WALLS AND LAY IT OVER THE TOP OF THE STONE. THE FILTER FABRIC MUST OVERLAP AT LEAST 2 FEET (610 MM) WHERE THE EDGES OF THE FABRIC MEET.
 - THE FIRST 12 INCHES (305 MM) OF FILL MATERIAL MUST MEET THE REQUIREMENTS LISTED IN THE ACCEPTABLE FILL MATERIALS DETAIL. BACKFILL OVER THE TOP OF THE FILTER FABRIC IN LIFTS THAT DO NOT EXCEED 6 INCHES (152 MM). DISTRIBUTE THE FILL WITH A CONSTRUCTION VEHICLE THAT MEETS THE MAXIMUM WHEEL LOADS OR GROUND PRESSURE LIMITS SPECIFIED IN THE MANUFACTURER'S SPECIFICATIONS.
 - COMPACT EACH LIFT OR BACKFILL TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY UNTIL STORMTECH'S MINIMUM COVER REQUIREMENTS ARE MET. USE THE WALK-BEHIND OR VIBRATORY ROLLER NOT TO EXCEED A MAXIMUM GROSS VEHICLE WEIGHT OF 12,000 LBS. (53KN) AND A MAXIMUM DYNAMIC FORCE OF 20,000 LBS. (89KN).
 - ONCE STORMTECH'S MINIMUM COVER REQUIREMENTS ARE MET, CONTINUE TO BACKFILL OVER THE CHAMBER BED UNTIL THE SPECIFIED GRADE IS ACHIEVED.
- NOTE: MINIMUM COVER HEIGHTS MUST BE MET BEFORE VEHICLES ARE ALLOWED ON TOP OF THE SYSTEM. LARGE ROCKS AND ORGANIC MATTER SUCH AS ROOTS, STUMPS, ETC. MUST NOT BE PART OF THE BACKFILL MATERIAL.

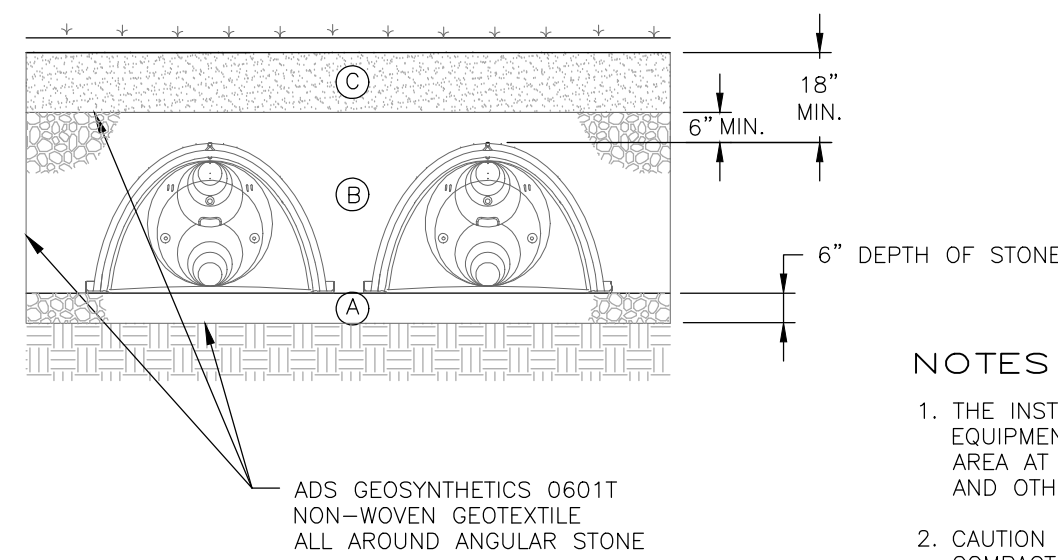
STORMTECH GENERAL NOTES

- THE CHAMBERS SHALL ALLOW FOR UNIMPEDED HYDRAULIC FLOWS DOWN A ROW'S ENTIRE LENGTH.
- DESIGN LIVE LOAD SHALL BE AASHTO H20 TRUCK.
- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH'S TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. STORMTECH'S TECHNICAL SERVICES REPRESENTATIVE SHOULD BE CONTACTED AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 96 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS' BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS SHOULD BE USED AS NECESSARY TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.



**STORMTECH SC-740 CHAMBER SYSTEM
INSPECTION PORT DETAIL**
NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
Ⓒ FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
Ⓓ EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	DOUBLE WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
Ⓔ FOUNDATION STONE BELOW CHAMBERS	DOUBLE WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

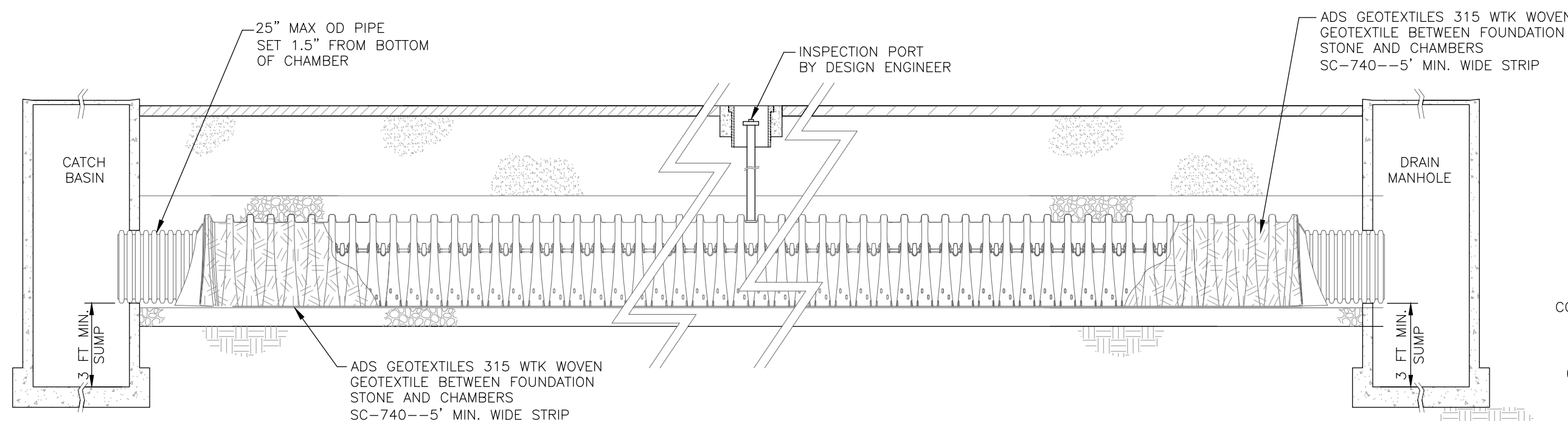


**ACCEPTABLE FILL MATERIALS
STORMTECH SC-740 CHAMBER SYSTEM**

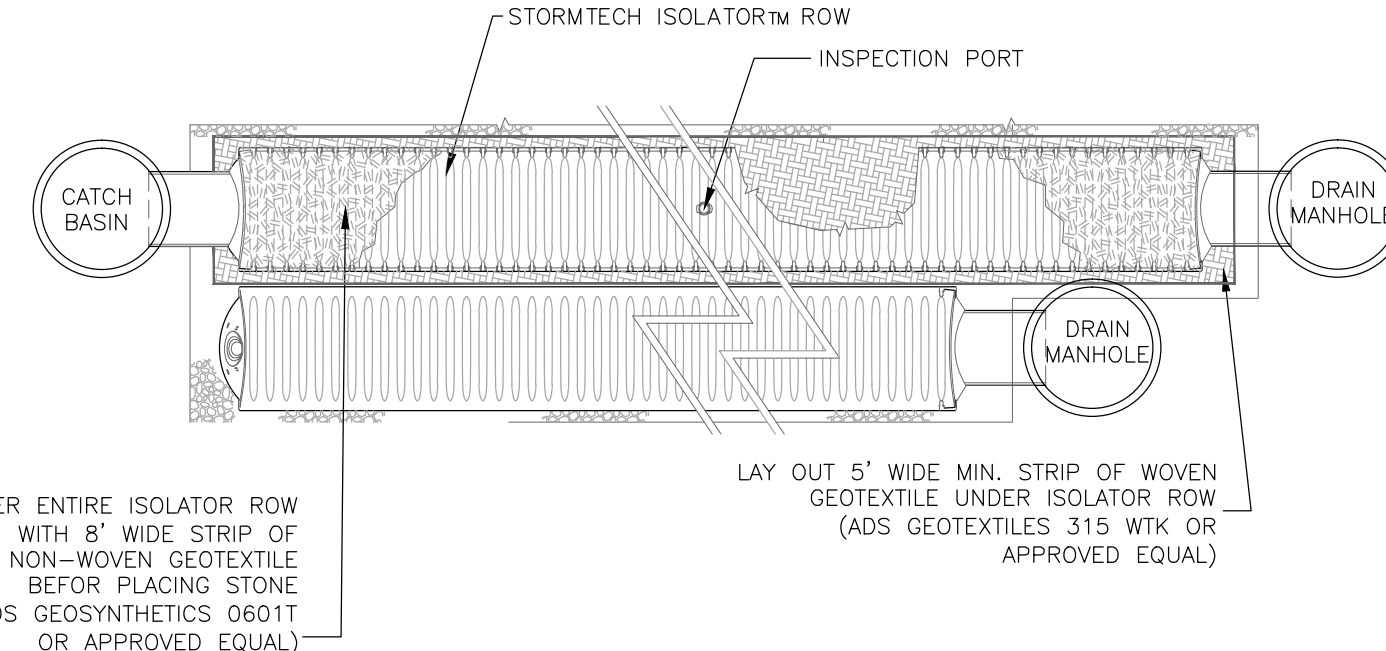
NOTES

- THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR OR CONSTRUCTION EQUIPMENT TRAVEL TO OCCUR ACROSS THE PROPOSED RECHARGE BASIN AREA AT ANY TIME EXCEPT DURING EXCAVATION OF TOPSOIL, SUBSOIL AND OTHER MATERIALS NOT SUITABLE FOR BED BOTTOM CONDITIONS.
- CAUTION SHOULD BE EXERCISED DURING SITE PREPARATION TO AVOID COMPACTION OF THE INFILTRATIVE SURFACE.

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**STORMTECH ISOLATOR™ ROW & INLET
PROFILE VIEW DETAIL**
NOT TO SCALE



**STORMTECH ISOLATOR
PLAN VIEW DETAIL**
NOT TO SCALE

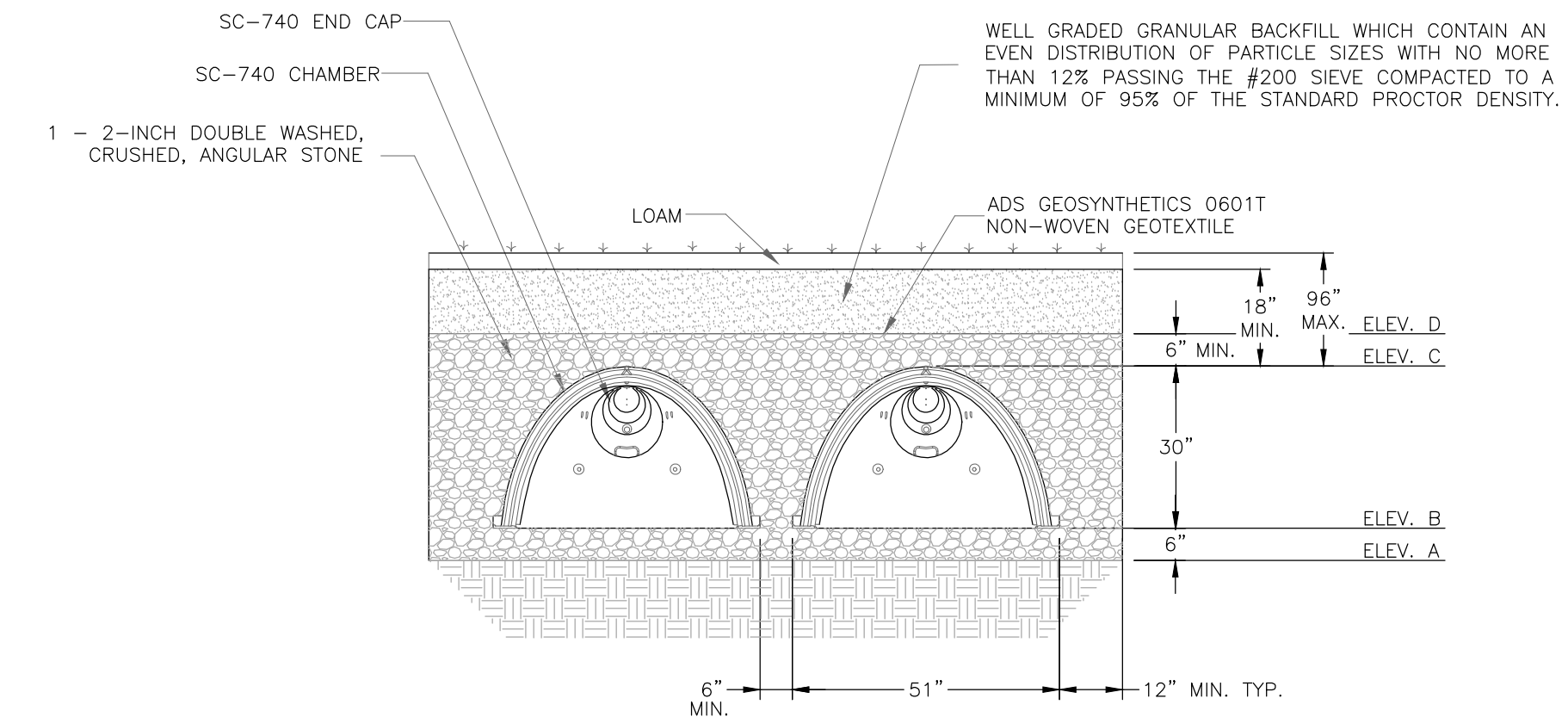
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REV.	DATE	DESCRIPTION	DR	CK

	STORMTECH CHAMBER SYSTEM
ELEV. D	27.5
ELEV. C	27.0
ELEV. OUTLET	25.0
ELEV. INLET(S)	24.6
ELEV. B	24.5
ELEV. A	24.0



**STORMTECH SC-740 CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL**
NOT TO SCALE

UNDERGROUND STORMWATER DETENTION SYSTEM OPERATION AND MAINTENANCE PLAN

THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF THE PROPOSED STORMWATER COLLECTION SYSTEM INCLUDING ROUTINE INSPECTION, CLEANING AND MAINTENANCE OF MANHOLES, DEEP SUMP HOODED CATCH BASINS, CLEAN OUTS, UNDERGROUND DETENTION SYSTEMS AND REGULAR STREET SWEEPING.

SCHEDULE FOR INSPECTION AND MAINTENANCE AFTER CONSTRUCTION:

STREET SWEEPING

- STREET SWEEPING EFFORTS SHALL BE CONDUCTED AT LEAST ONCE A MONTH OUTSIDE OF WINTER MONTHS.
- SAND SWEEPED FROM THE ROADWAYS AND PARKING LOTS WILL BE REMOVED TO AN APPROVED OFF-SITE LOCATION.

DEEP SUMP CATCH BASINS & LEACHING CATCH BASINS

- INLETS SHOULD BE CLEANED ANNUALLY AND INSPECTED SEMI-ANNUALLY.
- ALL SEDIMENTS, FLOATABLES, AND HYDROCARBONS SHOULD BE PROPERLY HANDLED AND DISPOSED OF, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

UNDERGROUND DETENTION SYSTEMS (STORMTECH ISOLATOR SC-740 CHAMBER OR EQUAL)

- ISOLATOR ROWS AND PIPE HEADERS SHALL BE INSPECTED IMMEDIATELY AFTER COMPLETION OF THE SITE'S CONSTRUCTION. THE NORMAL INSPECTION SCHEDULE AFTER CONSTRUCTION FOR ISOLATOR ROWS IS SEMI ANNUAL UNTIL AN UNDERSTANDING OF THE SITE'S CHARACTERISTICS IS DEVELOPED. PIPE HEADERS SHOULD BE INSPECTED QUARTERLY AFTER CONSTRUCTION.
- INSPECTION OF THE ISOLATOR ROW SHALL INVOLVE A VISUAL CHECK USING EITHER THE INSPECTION PORTS OR AN ACCESS MANHOLE.
- IF UPON VISUAL INSPECTION OF THE ISOLATOR ROW, IT IS FOUND THAT SEDIMENT HAS ACCUMULATED TO AN AVERAGE DEPTH EXCEEDING 3 INCHES, CLEANOUT IS REQUIRED.
- CLEANOUT OF SEDIMENT WITHIN THE PIPE HEADER IS REQUIRED WHEN THE SEDIMENT VOLUME HAS REDUCED THE STORAGE AREA BY 25% OR THE DEPTH OF SEDIMENT HAS REACHED APPROXIMATELY 25% OF THE DIAMETER OF THE STRUCTURE.
- CLEANOUT OF THE ACCUMULATED MATERIAL IN THE PIPE HEADER SHOULD BE ACCOMPLISHED BY VACUUM PUMPING. CLEANOUT SHOULD BE PERFORMED DURING DRY WEATHER AND CARE SHOULD BE TAKEN TO AVOID FLUSHING SEDIMENTS OUT THROUGH THE OUTLET PIPES AND INTO THE CHAMBER ROWS.

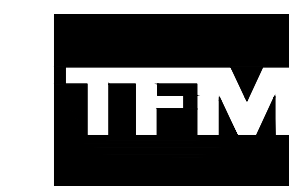
A SITE MAINTENANCE LOG WILL BE KEPT. THIS LOG WILL RECORD THE DATES WHEN MAINTENANCE TASKS WERE COMPLETED, THE PERSON WHO COMPLETED THE TASK, AND ANY OBSERVATIONS OF MALFUNCTIONS IN COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM. CALL 1-888-892-2694 TO SPEAK TO A TECHNICAL REPRESENTATIVE OR VISIT WWW.STORMTECH.COM.

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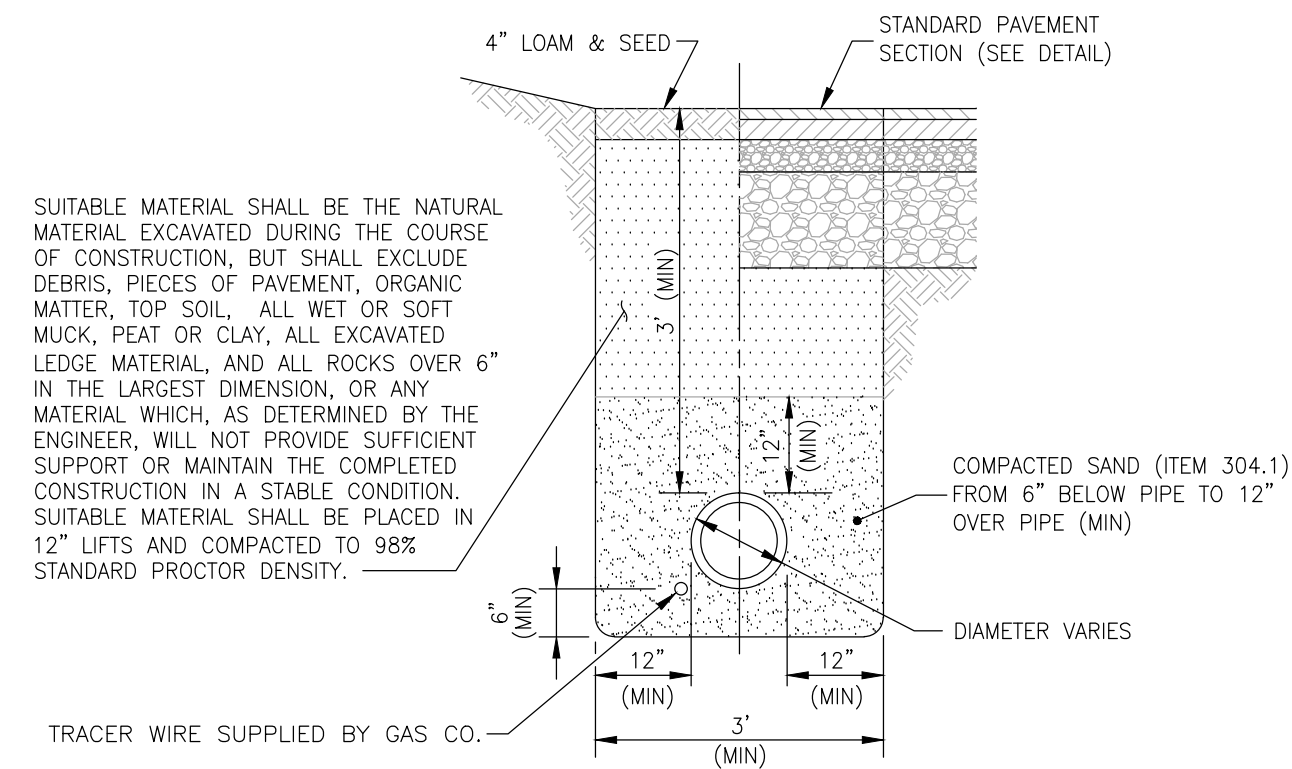
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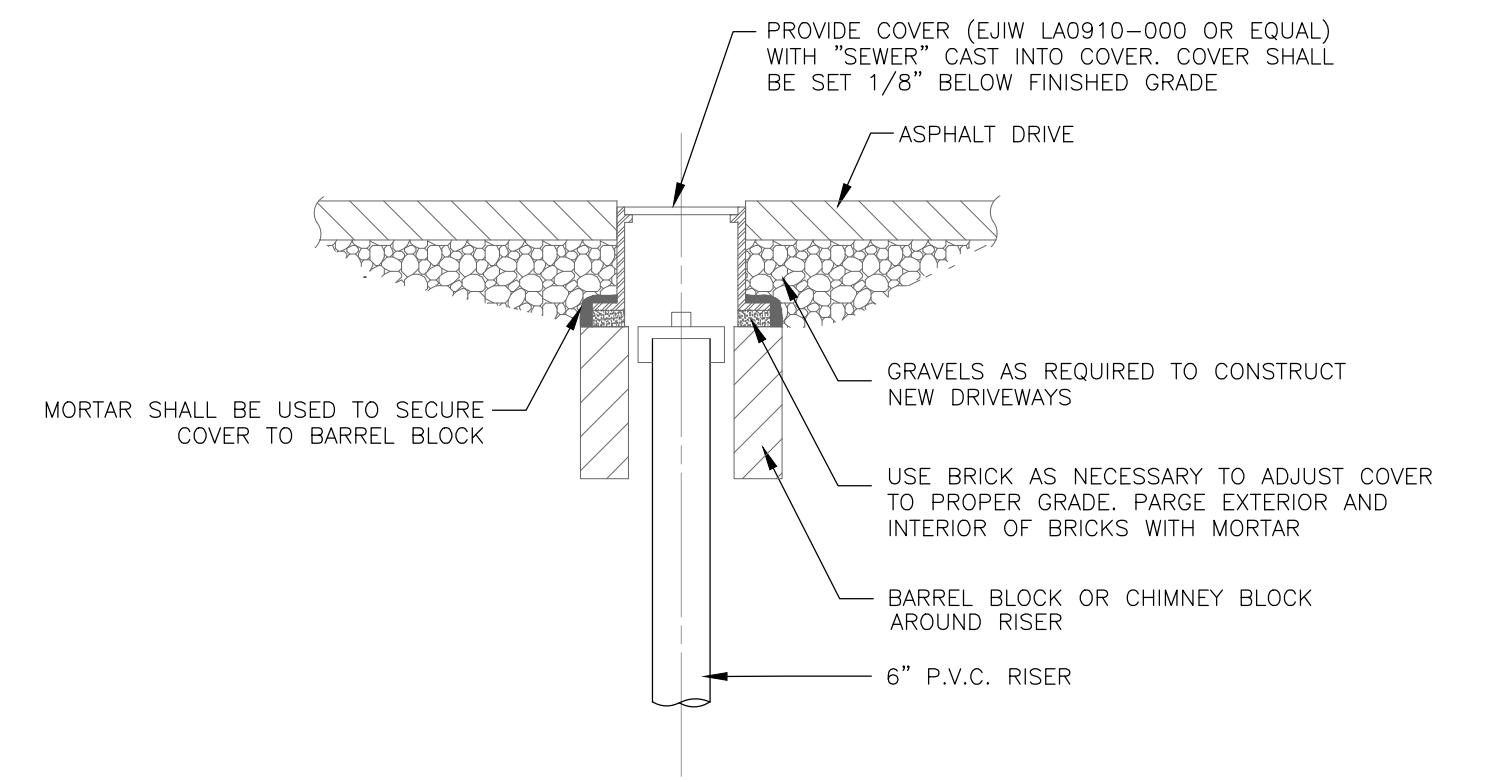
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Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

47070.02 DR SV FB 2058
CK JK CADFILE 47070-02 Details SHEET 12 OF 15



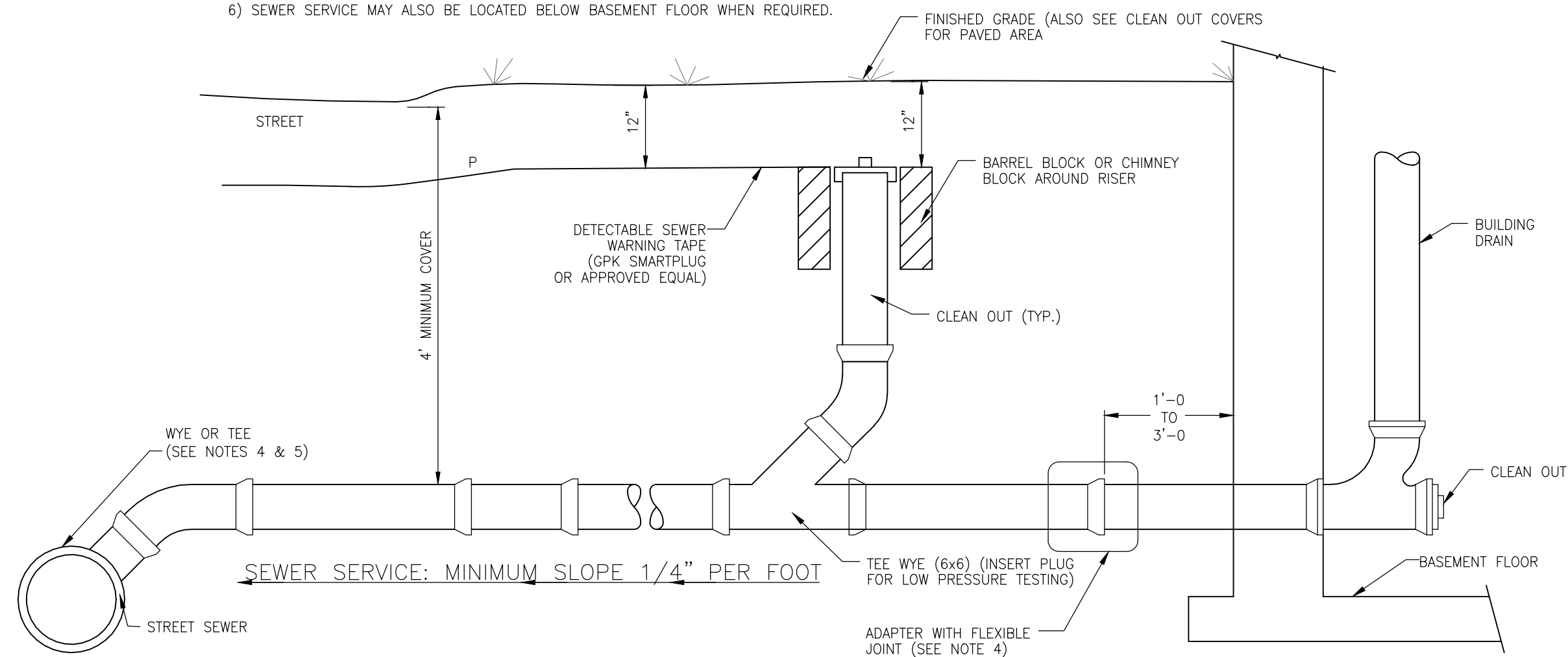
GAS MAIN TRENCH
NOT TO SCALE



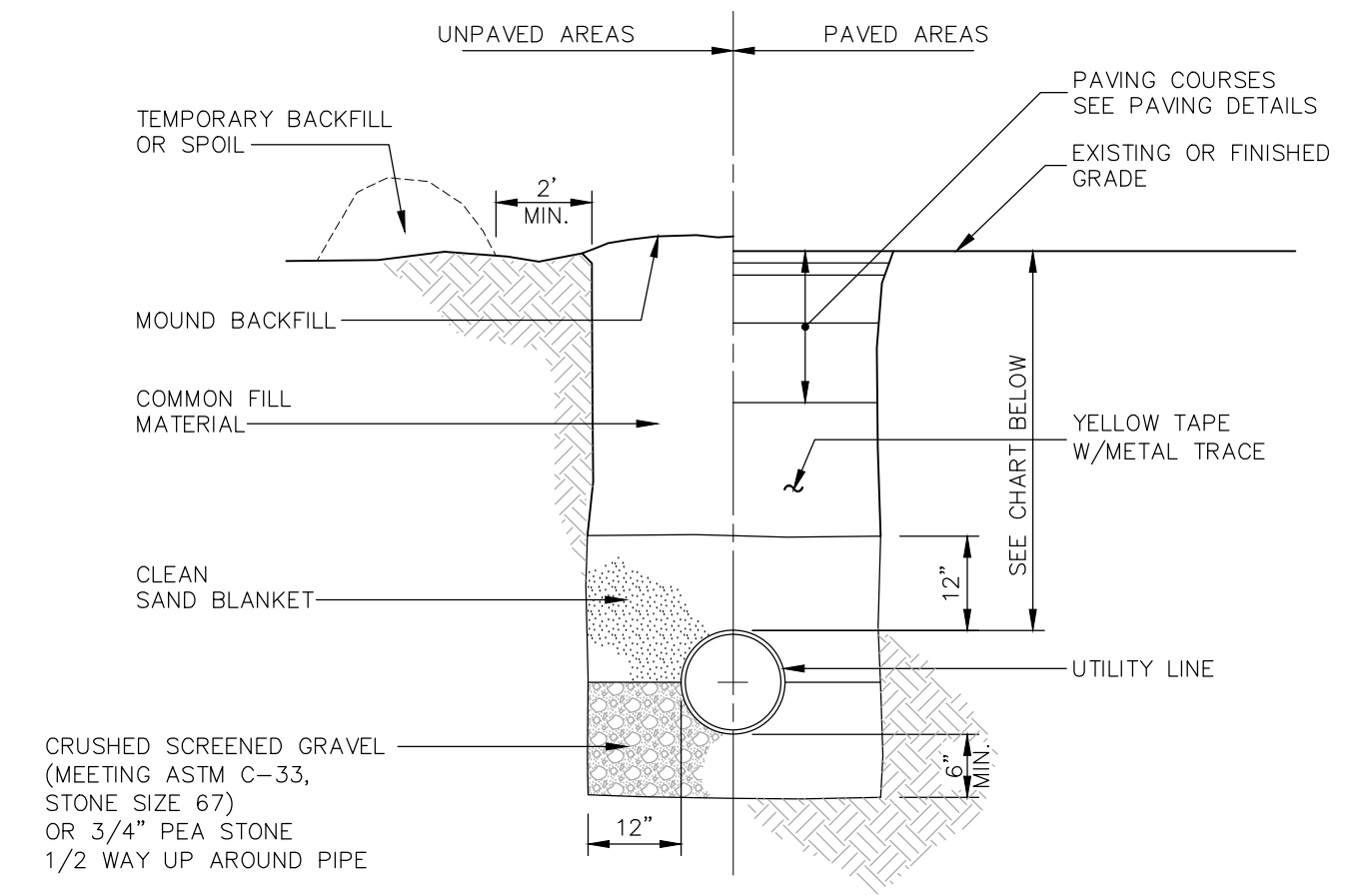
SEWER OR DRAINAGE CLEAN OUT WITH PAVED SURFACES
NOT TO SCALE

NOTES

- 1) MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.
- 2) PIPE AND JOINT MATERIALS:
PIPE AND FITTINGS SHALL CONFORM TO ASTM 3034 STANDARDS
JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
- 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- 5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.
- 6) SEWER SERVICE MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED.



SEWER SERVICE
NOT TO SCALE



SANITARY SEWER MAIN	MINIMUM PIPE COVER	
	PAVED AREAS	UNPAVED AREAS
	6'	4'

- NOTES:
1. COMPACT CRUSHED SCREENED BEDDING AND SAND IN 6" LIFTS.
 2. COMPACT FILL ABOVE THE SAND BLANKET IN 12" LIFTS.
 3. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.

SEWER TRENCH
NOT TO SCALE

**FOR REVIEW
PURPOSES ONLY
NOT FOR CONSTRUCTION**
09/04/2018

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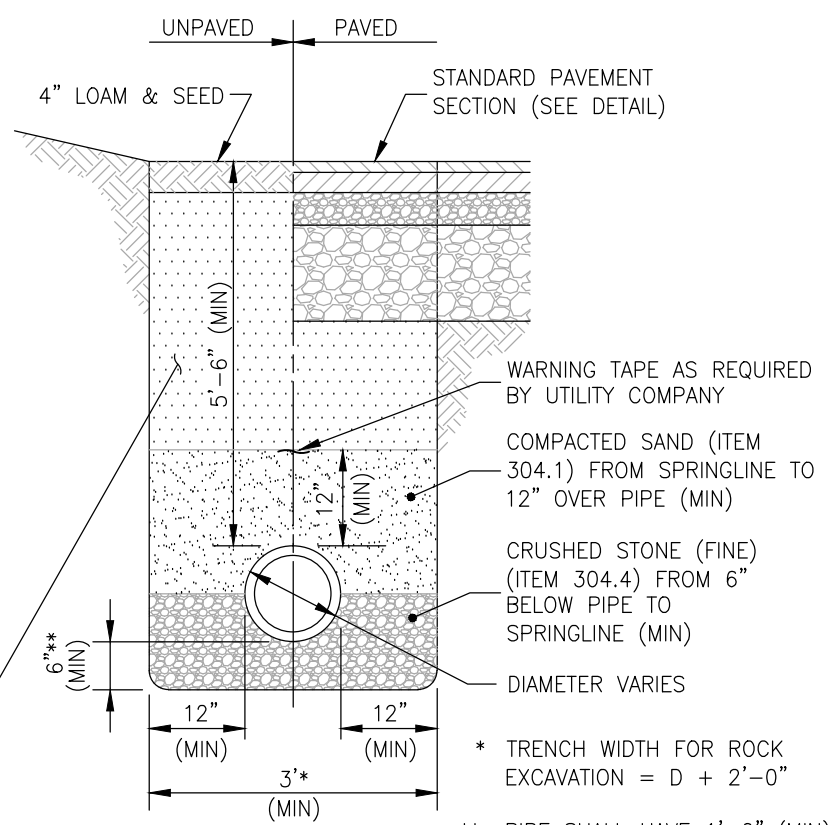
REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 72 LOTS 75 & 77
DETAIL SHEET
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH
SCALE: AS NOTED **SEPTEMBER 4, 2018**

TFM	Civil Engineers	48 Constitution Drive		
	Structural Engineers	Bedford, NH 03110		
	Traffic Engineers	Phone (603) 472-4488		
	Land Surveyors	Fax (603) 472-9747		
	Landscape Architects	www.tfmoran.com		
	Scientists			
47070.02	DR SV CK JK	FB CADFILE	2058 47070-02 Details	SHEET 13 OF 15

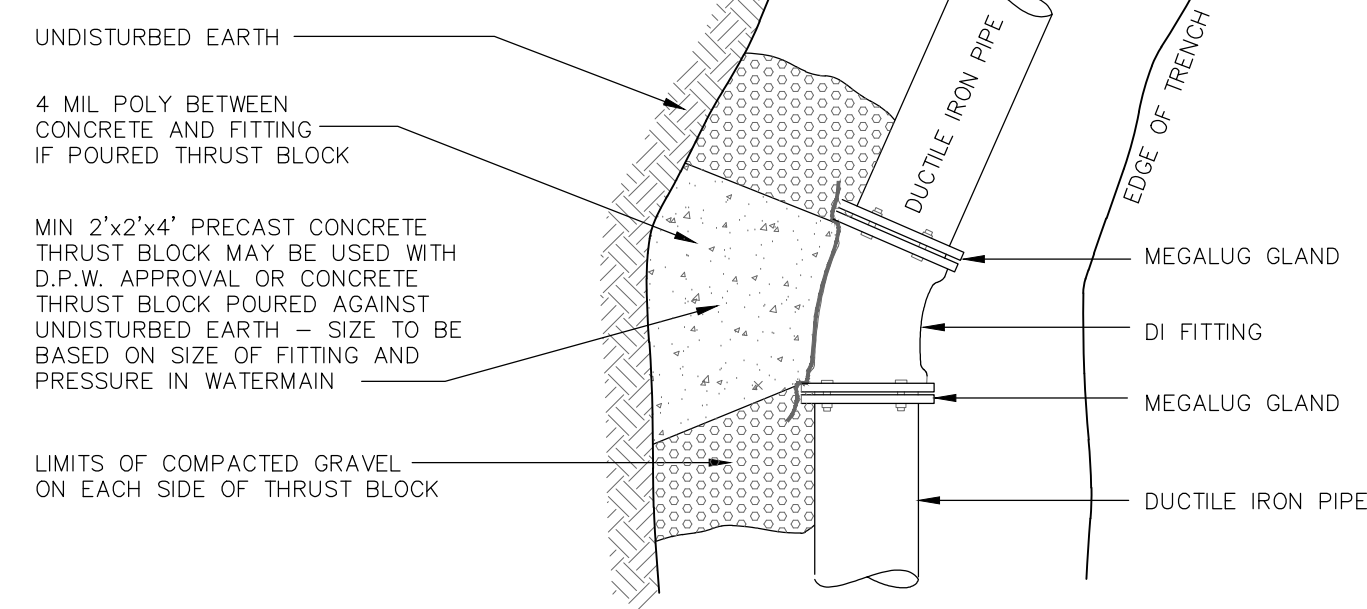
PIPE SIZE	90° BEND		45° BEND		22½° BEND		11¼° BEND		TEE & PLUG	
	WIDTH	HGT.	WIDTH	HGT.	WIDTH	HGT.	WIDTH	HGT.	WIDTH	HGT.
6"	33"	21"	18"	21"	12"	18"	9"	12"	21"	24"
8"	45"	27"	24"	27"	18"	21"	12"	15"	27"	33"
10"	60"	36"	36"	36"	24"	30"	18"	21"	36"	42"
12"	66"	39"	36"	42"	24"	30"	18"	21"	39"	45"
14"	72"	45"	42"	48"	27"	36"	18"	27"	45"	54"

SUITABLE MATERIAL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER 6" IN THE LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98% STANDARD PROCTOR DENSITY.



WATER MAIN TRENCH

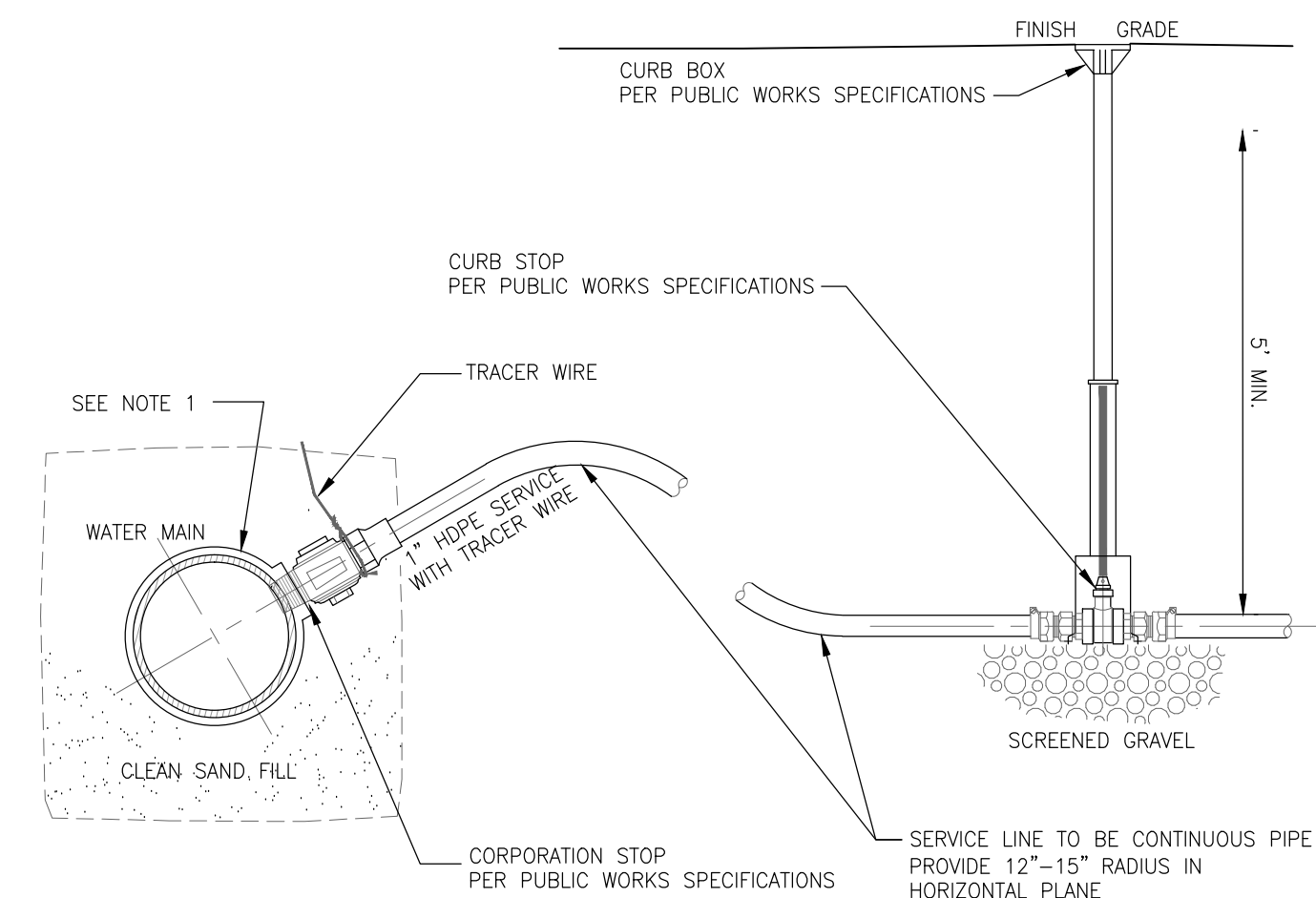
NOT TO SCALE



- NOTE**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

THRUST BLOCKING BEHIND FITTINGS INSTALLATION

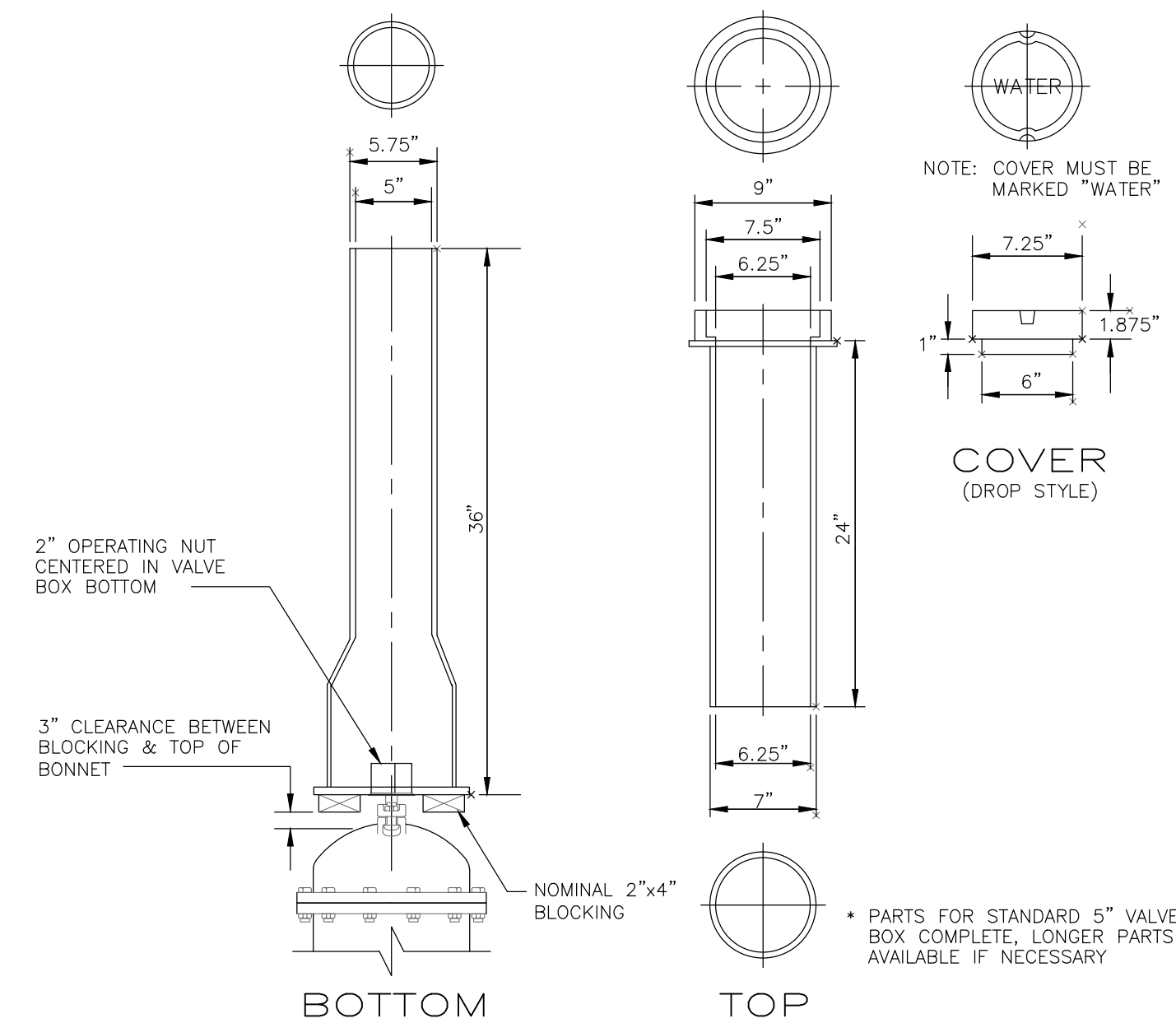
NOT TO SCALE



- NOTE**
1. IF WATERMAIN IS PVC OR TRANSITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATERMAIN.

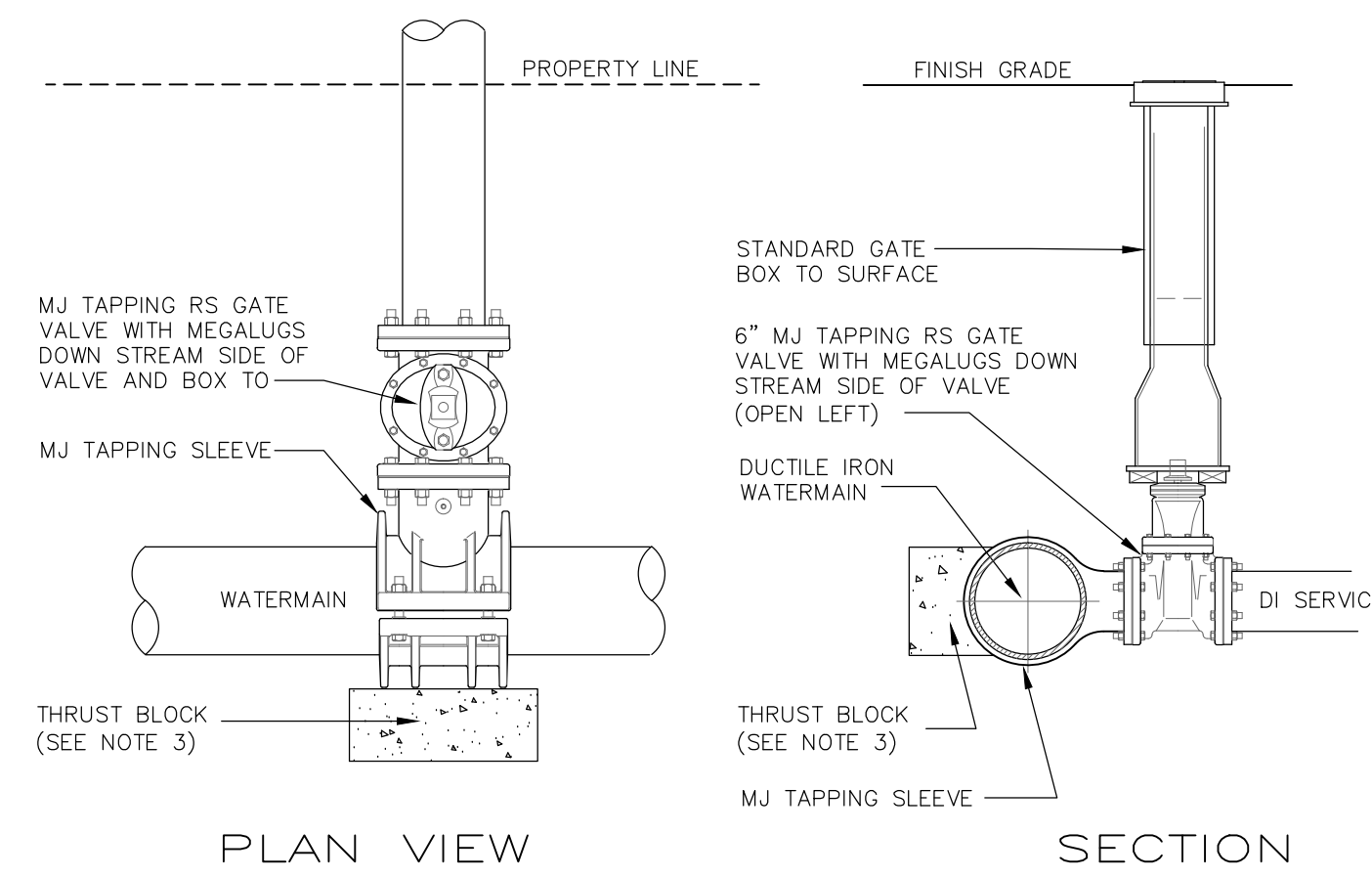
WATER SERVICE CONNECTION

NOT TO SCALE



VALVE BOX

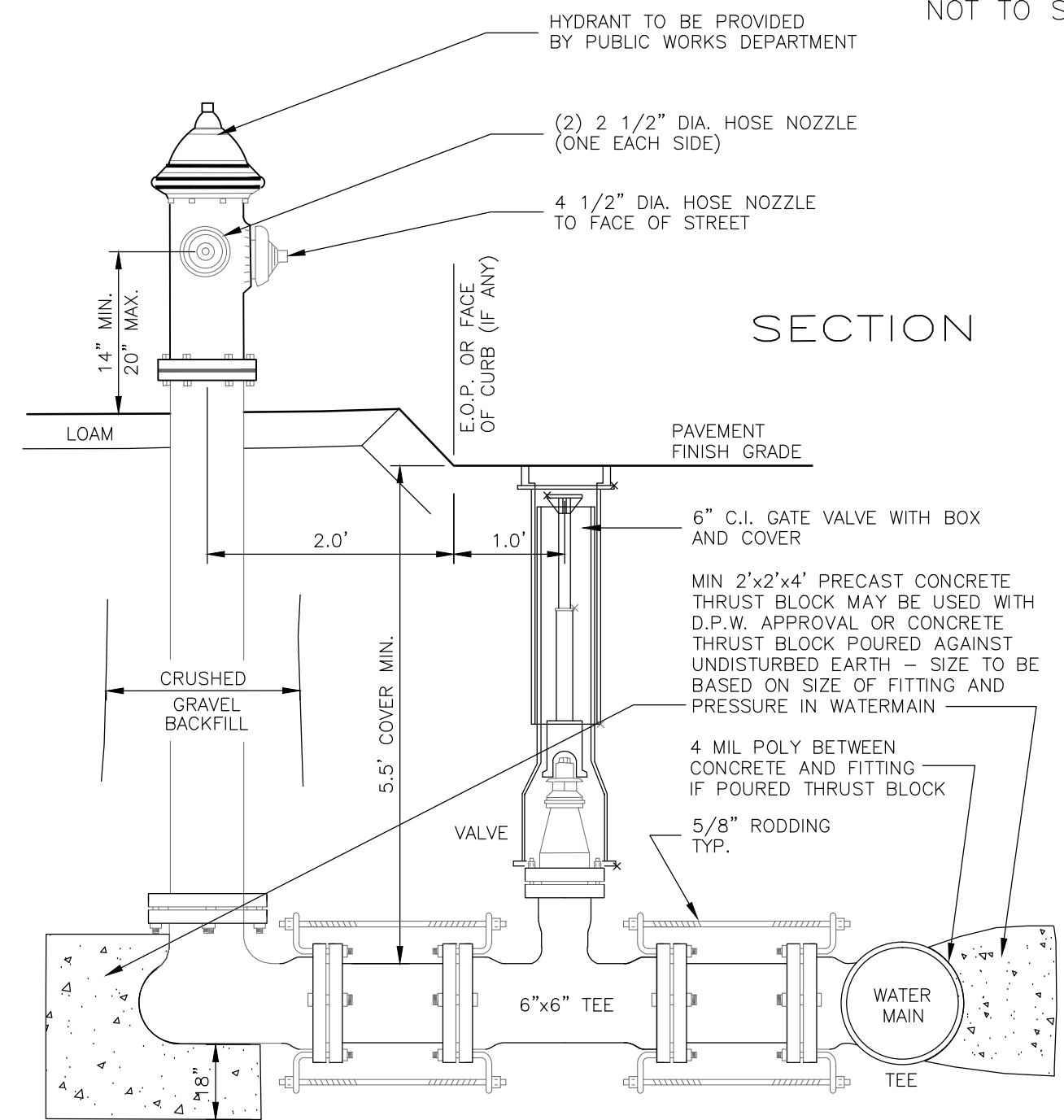
NOT TO SCALE



- NOTE**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. MIN 2'x2'x4\"/>

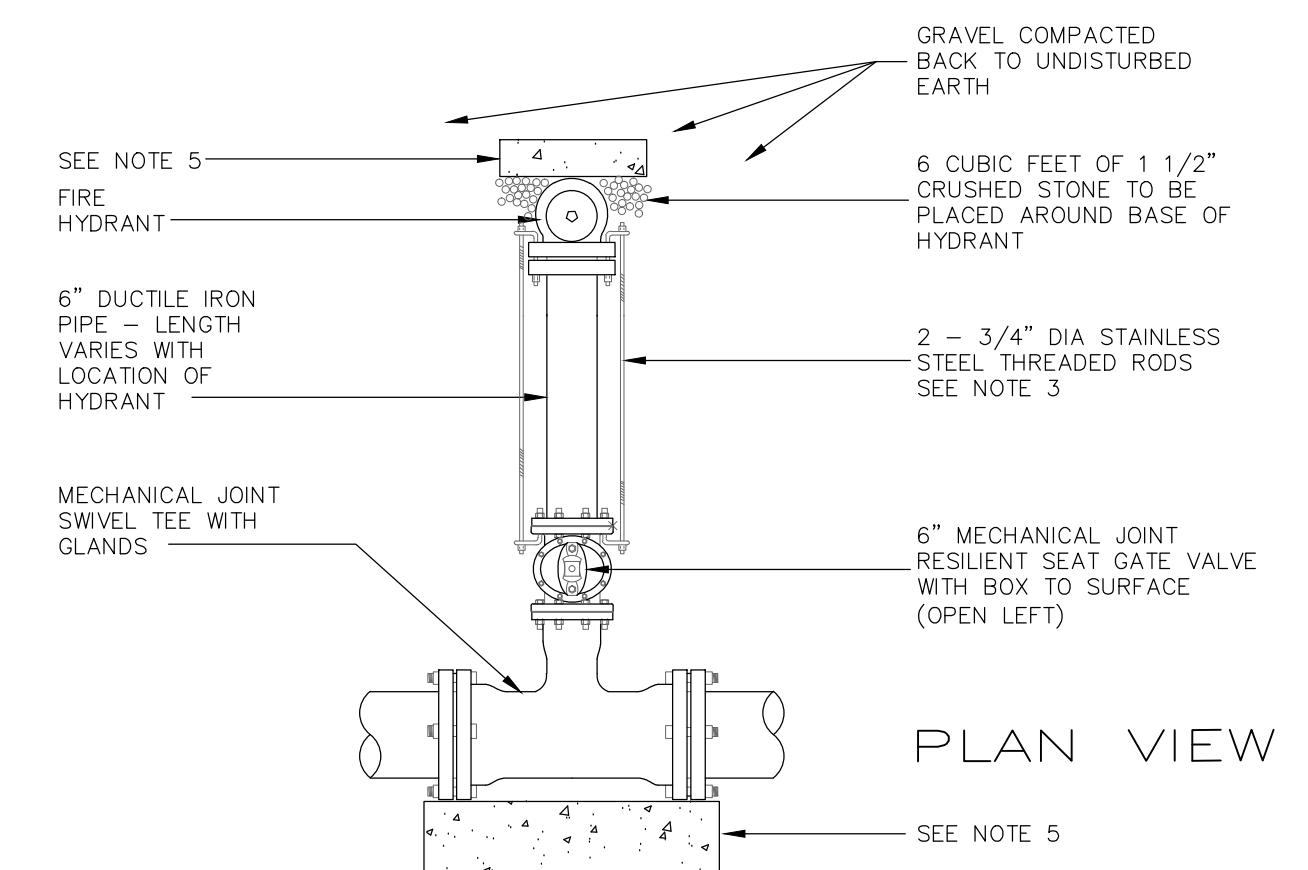
WET TAP TEE INSTALLATION

NOT TO SCALE



FIRE HYDRANT AND GATE VALVE

NOT TO SCALE



- NOTE**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. WHEN DISTANCE FROM WATERMAIN TO HYDRANT IS MORE THAN 10', SUBSTITUTE MEGALUGS IN LIEU OF THREADED ROD OR GRIP RINGS.
 5. MIN 2'x2'x4\"/>

NOT TO SCALE

TAX MAP 72 LOTS 75 & 77
DETAIL SHEET
25 & 29 FRANKLIN STREET
EXETER, NEW HAMPSHIRE
 OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
 28 PINE STREET
 EXETER, NH

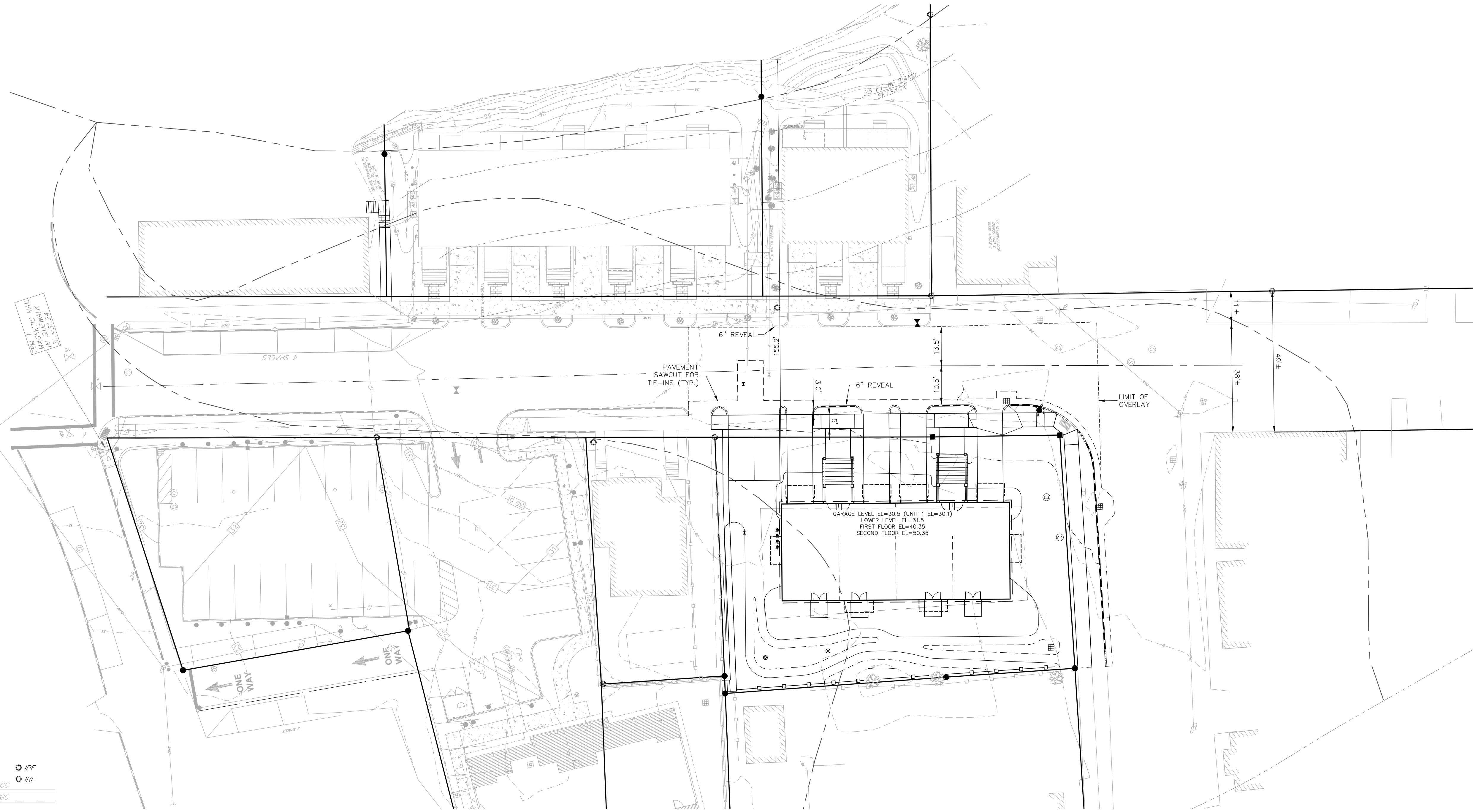
SCALE: AS NOTED SEPTEMBER 4, 2018

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 09/04/2018

REV.	DATE	DESCRIPTION	DR	CK

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
			47070.02



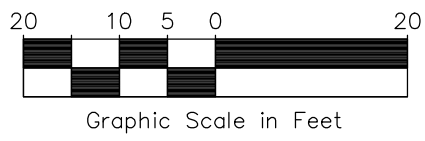
LEGEND

- IRON PIPE ○ IFF
- IRON PIN ○ IRF
- BITUMINOUS CONCRETE CURB BCC
- VERTICAL GRANITE CURB VGC
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- RETAINING WALL
- CHAIN LINK FENCE
- WOOD FENCE
- SIGN
- GAS GATE
- HYDRANT
- WATER GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- MONITORING WELL
- ZONING BOUNDARY
- EDGE OF WETLAND
- BROOK, STREAM OR RIVER
- TREES
- SEWER LINE
- WATER LINE
- DRAIN LINE
- GAS LINE
- OVERHEAD UTILITIES

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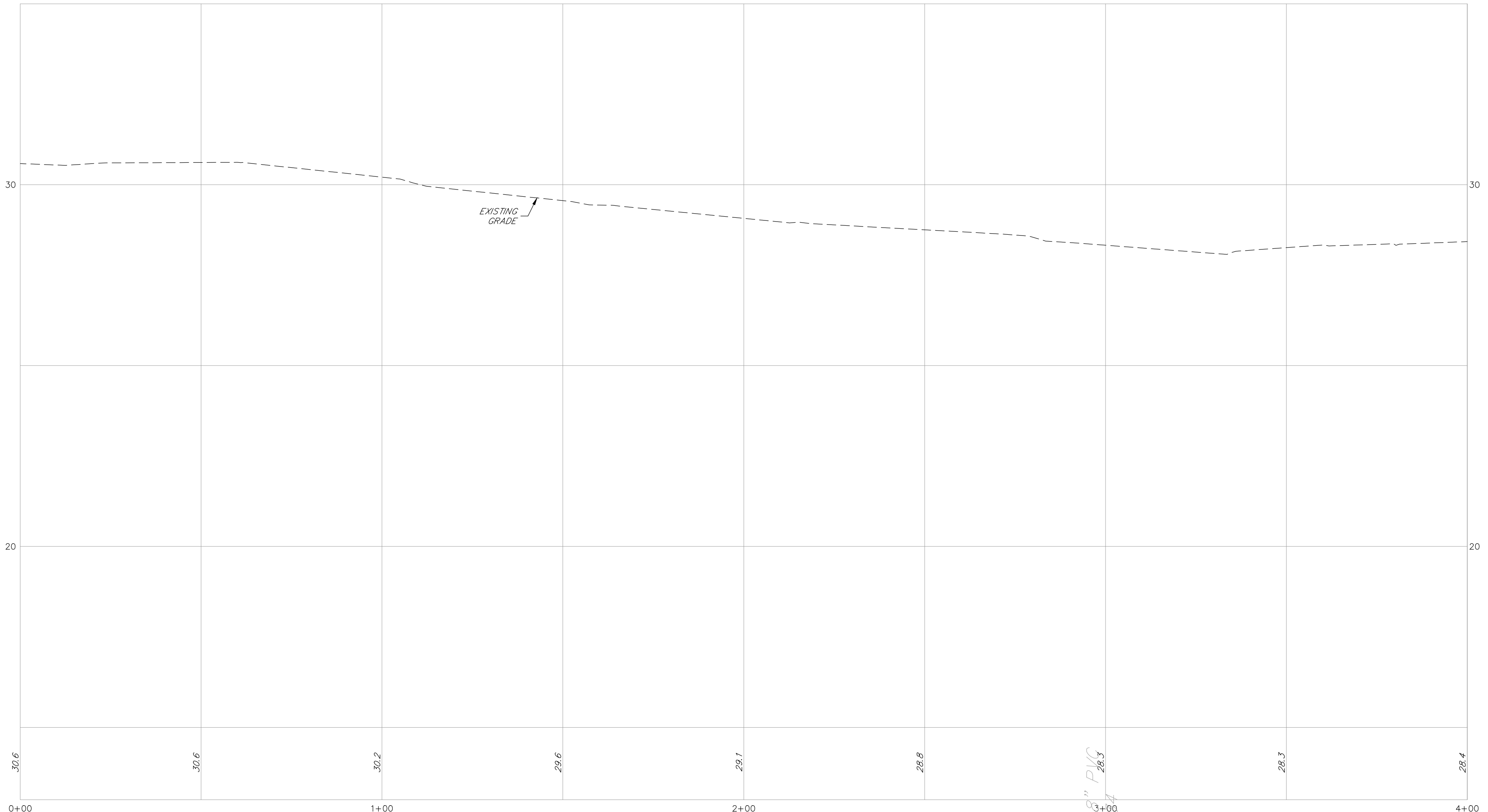
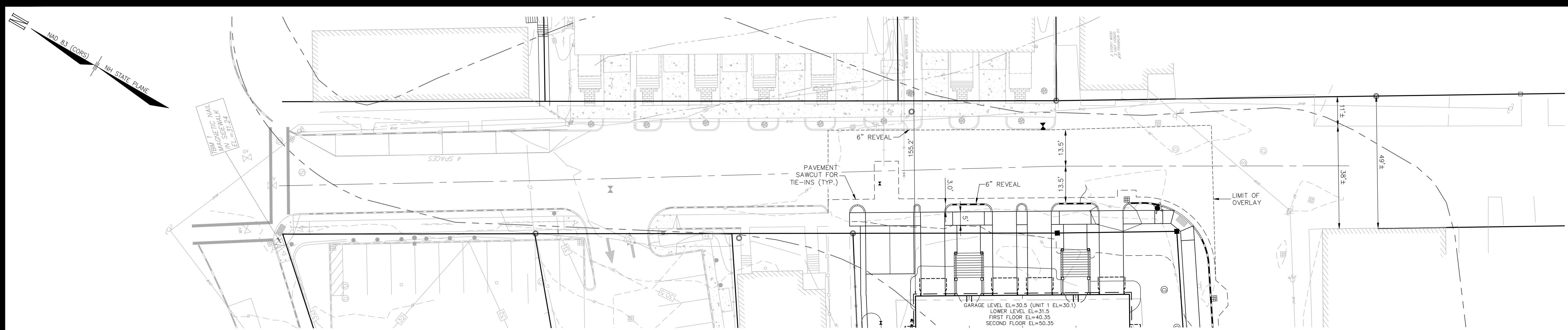
REV.	DATE	DESCRIPTION	DR	CK

**ROAD IMPROVEMENT PLAN
 FRANKLIN STREET
 EXETER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
 28 PINE STREET
 EXETER, NH

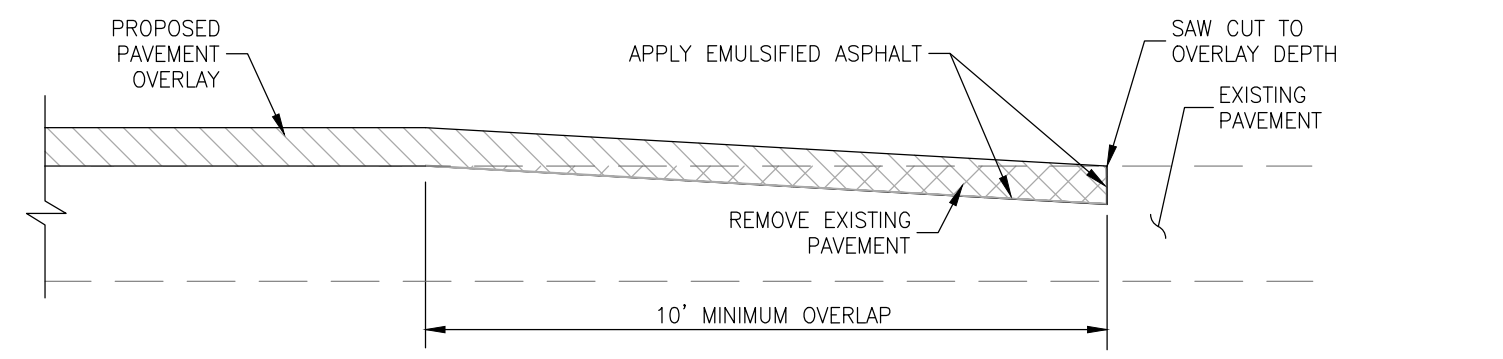
SCALE: 1"=20' **SEPTEMBER 4, 2018**

TFM	Civil Engineers		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	Structural Engineers		
Traffic Engineers		2058	47070-02 Site
Land Surveyors			
Landscape Architects		SHEET R-1	
Scientists			

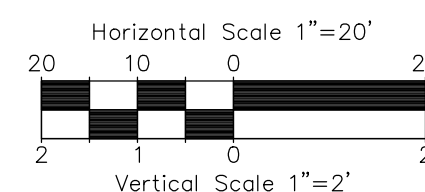


LEGEND

IRON PIPE	○ IFF
IRON PIN	○ IRF
BITUMINOUS CONCRETE CURB	BCC
VERTICAL GRANITE CURB	VGC
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
RETAINING WALL	---
CHAIN LINK FENCE	---
WOOD FENCE	---
SIGN	---
GAS GATE	---
HYDRANT	---
WATER GATE	---
SEWER MANHOLE	---
DRAIN MANHOLE	---
CATCH BASIN	---
MONITORING WELL	---
ZONING BOUNDARY	---
EDGE OF WETLAND	---
BROOK, STREAM OR RIVER	---
TREES	---
SEWER LINE	---
WATER LINE	---
DRAIN LINE	---
GAS LINE	---
OVERHEAD UTILITIES	---



OVERLAY PAVEMENT KEY-IN DETAIL
NOT TO SCALE



REV.	DATE	DESCRIPTION	DR	CK

**FOR REVIEW
PURPOSES ONLY
NOT FOR CONSTRUCTION**
09/04/2018

ROAD IMPROVEMENT PLAN & PROFILE
FRANKLIN STREET
EXETER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
PORCHES AT EXETER, LLC
28 PINE STREET
EXETER, NH

SCALE: 1"=20' **SEPTEMBER 4, 2018**

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	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

47070.02	DR	SV	FB	2058	SHEET R-2
	CK	JK	CADFILE	47070-02 Site	

**RAYNES FARM USE APPLICATION
EXETER, NH**

Application is hereby made for the privilege of using Raynes Farm on the following date(s): _____

Hours of _____ to _____. Expected number of participants: _____

Name of Applicant and Organization: _____

Address: _____

Email: _____ Phone: _____

Date of Event Contact Person and phone #: _____

Will electricity be needed? Yes No Barn Access Requested: Yes No

Please describe your event, including any details you feel the Exeter Conservation Commission (ECC) should take into consideration in granting this application:

Parking Plan:

The Certificate of Insurance amounts required are: General Liability/Bodily Injury/Property Damage (combined):
\$300,000-\$1,000,000 with additional personal injury of \$300,000 and the **Town of Exeter listed as an additional insured.**

Restrictions and Permit Fees: See attached Use Agreement Regulations

I have read the attached regulations and fees governing the use of Raynes Farm and pledge that the organization and/or individuals for which this application is intended will faithfully execute those rules and assume total responsibility in connection therewith.

Applicant Signature: _____ Date: _____

Submit application to **Exeter Planning Department, 10 Front Street, Exeter, NH;** checks made payable to **Exeter Conservation Commission**
Applications must be received by the meeting deadline. Applicants must be present at the Conservation Commission meeting for the Commission to act on an application.

This application conforms to the use limitations for Raynes Farm and is hereby approved, subject to the exceptions as stated:

Chair, Exeter Conservation Commission: _____ Date: _____

----- (If road detail is required) -----

Chief of Police: _____ Date: _____

This permit is issued for the purpose indicated and shall be valid only during the times/dates indicated above.

Raynes Farm Use Agreement Regulations

The purpose of these regulations is to assure the safety, enjoyment of the users of Raynes Farm and the preservation of the agricultural, natural, and cultural resources of this property. Please initial each of the regulations below to acknowledge your acceptance of terms.

- Any use or activity with more than **10** participants on the property requires an approved Use Agreement from the Exeter Conservation Commission (ECC).
- Events must be timed so as not to interfere with agricultural activities of the property
- Use of the barn by any number of participants requires an approved Use Agreement from the ECC
- Maximum barn occupancy shall be limited to **50** participants at any time
- Commercial events are not permitted without Conservation Commission approval
- Each function is required to include an educational component that addresses the agriculture, historic, or natural resources on the property
- Parking is limited to the gravel parking lot unless an alternate parking plan is approved by the Conservation Commission.
- Applicants are required to contact the Exeter Police Department to determine whether a police detail for traffic control is required and are responsible for associated costs.
- Events lasting more than 3 hours are required to provide one portable toilet for every 50 participants
- Applicants are responsible for trash removal during the event.
- Applicants are required to restore the site to pre-existing conditions within 48 hours of the event.
- No smoking is permitted onsite. Events providing alcohol must get prior approval from the Conservation Commission and abide by local and State regulations.
- Applications must be submitted to the Exeter Conservation Commission following the meeting submission deadlines found on the Town of Exeter Conservation Commission webpage.
- A portion of the funds generated must be provided to the Commission to supplement the Conservation Fund in support of the property.

**TOWN OF EXETER, NH
EVENT APPLICATION**

Special Event License (Reference RSA 286 1-5, Town Ordinance Chapter 807)

The Town of Exeter requires licensing for all Special Events where the Select Board is the licensing authority. Special Event applications to the Town Manager's Office, at the Town Office.

For information or questions concerning the application call 603-778-6102.

Name of Event: _____ Location: _____

Date(s) of Event: _____ Start Time: _____ End Time: _____

Event Representative Sponsor's Name: _____

Address: _____

Town: _____ State: _____ Zip: _____

Phone: _____ Email: _____

No. of Volunteers/Workers per Day: _____ # Anticipated Spectators: _____

List Vendor(s) Names: _____

Describe (in detail) the proposed event: _____

Requesting: Town Hall Bandstand Art Gallery Swasey Parkway
 Fireworks/Parade Raffle

Plywood (2 weeks) or Poster (1 week) Signboard Dates: _____

A-Frame Quantity and Dates _____

Parking Spaces: _____ Street(s) to be blocked: _____

If Applicable:

Alcohol Service? (see separate form): Yes No

Has Permit been Approved?: Yes No

Tech/AV Services needed: Yes No

Event check list

Will your event involve any of the following? (Please check all that apply)

- Food/beverage concessions/vendors/sales
- Alcoholic beverages (State NH permit required)
- Electronic sound amplification equipment, speakers, public address system (must follow noise ordinance)
- Propane/Charcoal BBQ grills (inspection by Health Officer)
- Electrical set up/ electrical cords run to the site (inspection needed by Electric Inspector)
- Fire pits, bonfires, kindle fire, campfire and other outdoor burning (must have permit from Fire)
- Tents/canopies If so, list quantity and size _____
- Animals at the event. If so, describe _____
- Motorized Vehicles. If so, describe _____

Other State and/or Local Permits (if applicable):

- Selling/serving liquor [Application](#)
- Hawkers/Peddlers (door to door sales) [Application](#)

All applicants for Special Events need to provide written submission of the plans below. The Town staff will review your application and if additional information is required or if not enough information was supplied with this application, the Town will contact you to schedule a meeting.

You Must Submit the following with this application:

1. **Certificate of Insurance:** The Town requires liability insurance to be submitted with this completed application. Required amounts: General Liability/Bodily Injury/Property Damage: \$300,000/\$1,000,000. The Town must be listed as additionally insured.
2. **Site Plan:** A drawing of the event layout, including parking, facilities, vendor setup etc. (even if you supplied one in previous years).
3. **Security/Crowd Control Plan:** Describe the number of detail police officer(s) to manage the maximum seating capacity of indoor events or to secure, control, and assure compliance with laws and licensing conditions in the case of an outdoor event.
4. **Traffic Control/ Parking Plan:** The estimated number of vehicles, provisions for parking, number of police officers or employees necessary to control traffic, type and location of any signs, and any other accommodations or procedures planned to handle attendees and their vehicles.
5. **Fire Emergency Plan:** The estimated number of occupants of all indoor events to assure compliance with the laws and permit rules and conditions required by the NH State Fire Code and its adopted references for places of assembly.
6. **Ambulance/ Medical Service Plan:** Detail the on-site emergency medical services and transportation plan.
7. **Ticket Distribution Plan:** Outline the distribution of tickets prior to the event and/or at the time and place of the event, including provision for a limitation on ticket sales to maintain required occupancy levels and provision for the refund of ticket costs in the event of cancellation of the event.
8. **Sanitary Facilities Plan:** A plan appropriate for the number of attendees, which will include information relative to portable toilet facilities, trash containers, and a provision that the property and surrounding areas and roadways shall be cleared of all debris within 12 hours following the event.
9. **Food Service Plan:** A food service plan, which may require review and acceptance by the Exeter Health

Officer or a vendor permit from the Fire Department.

10. **Special Duty Service Fees:** The application fee does not include the costs of Fire or Police protection, or any other extra Town expense required to protect the health and safety of the public which can reasonably be attributed to the event. All such costs associated with the use of active and stand-by emergency and other services provided by the Town of Exeter, or by other towns' emergency services, shall be borne by the applicant, promoter or sponsor.

After the Event, billing for the Special Duty Services will be based on actual hours incurred by Town personnel. The total will be invoiced. A history of non-payment or late payment of any application fee and or Special Duty Services is grounds to deny your request for future event permits.

A performance bond for events over 5,000 participants per day and or other security acceptable to the Town may be required in an amount equal to the amount estimated for Special Duty Services Fees as described above.

BY SIGNING BELOW, I CONFIRM THAT ALL INFORMATION PROVIDED HEREIN AND IN ALL ATTACHMENTS IS TRUE AND ACCURATE, ACKNOWLEDGE THAT THIS APPLICATION WILL NOT BE REVIEWED BY THE SELECT BOARD UNTIL CONSIDERED COMPLETE BY TOWN REVIEW STAFF, AND STATE THAT ALL LIABILITY FOR THIS EVENT IS ASSUMED AND ACCEPTED BY THE APPLICANT.

PRINT NAME: _____ DATE: _____

APPLICANT SIGNATURE: _____

I ALSO CONFIRM THAT I AM RESPONSIBLE FOR ALL COSTS INCURRED FOR THIS EVENT INCLUDING ALL SPECIAL DUTY POLICE, FIRE AND HEALTH/SAFETY SERVICES. ALL SERVICES MUST BE PAID IN FULL UPON RECEIPT OF THE INVOICE. IF NOT PAID IN FULL, THE TOWN WILL CHARGE 2% INTEREST PER MONTH.

THE TOWN MAY REQUEST/SUE FOR LEGAL EXPENSES IF THE TOWN HAS TO GO TO COLLECTIONS FOR UNPAID AMOUNTS. I AM RESPONSIBLE FOR ALL FEES, WHICH MAY INCLUDE INTEREST, ATTORNEY AND COURT FEES.

PRINT NAME: _____ DATE: _____

APPLICANT SIGNATURE: _____

Town Review Staff Comments

Police Chief (or designee):	<input type="checkbox"/> No Comments
Comments: _____ _____	
Signature: _____	Date: _____

Fire Chief (or designee):	<input type="checkbox"/> No Comments
Comments: _____ _____	
Signature: _____	Date: _____

Health Officer:	<input type="checkbox"/> No Comments
Comments: _____ _____	
Signature: _____	Date: _____

Parks/Recreation:	<input type="checkbox"/> No Comments
Comments: _____ _____	
Signature: _____	Date: _____

Public Works:	<input type="checkbox"/> No Comments
Comments: _____ _____	
Signature: _____	Date: _____

Select Board/Designee:	<input type="checkbox"/> No Comments
Approval Signature: _____	Date: _____

Town Official Use Only:	
Date Complete Application Received: _____	Final Approval Date: _____
Fee Received: _____	Check #: _____
Cleaning Deposit Received: _____	Check #: _____

FEE SCHEDULE

SWASEY PARKWAY EVENT

Event Category	Estimated Attendance Per Day	Application Fee/per day (non-refundable)
Non-commercial One Day, Resident	1 - 20	\$75
Non-commercial One Day, Resident	More than 20	\$150
Non-commercial One Day, Non-Resident	1 - 20	\$150
Non-commercial One Day, Non-Resident	More than 20	\$300
Single Commercial Vendor	One Day	\$250
Single Commercial Vendor	Seasonal	\$1000
Multiple Vendors	One day per week, per season	\$1200
Pavilion	Fee in addition	\$25
Community Event		To be determined

TOWN HALL EVENTS

Not for Profit	\$75/day	\$125 for multiple consecutive days
For Profit	\$125/day	Not to exceed \$375 for multiple consecutive days
Tech/Av Services	\$80/hr.	

Legend

- 8_6_2018
- 7_17_18
- 7_15_18
- 7_6_18
- 6_26_18

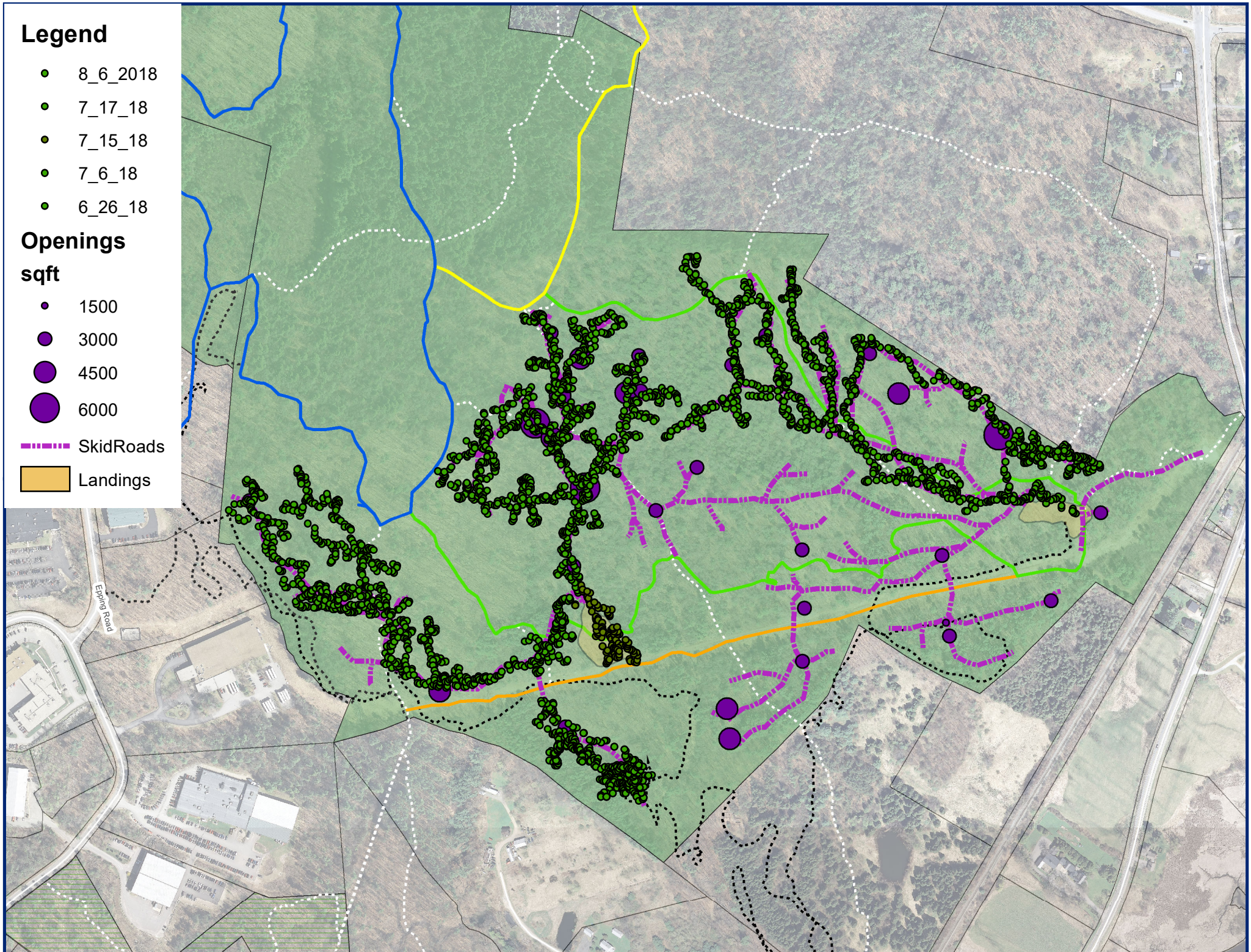
Openings

sqft

- 1500
- 3000
- 4500
- 6000

SkidRoads

Landings



Listing of properties in need of monitoring

The following is a list of lands that the Town either owns or has a Conservation easement on the parcel. In cases of easements, the owner of the land should be contacted before monitoring the land. Kristen has the contact information as well as maps and any other information.

1. Allen Street Woodland Park and Starry Brook **ALYSON EBERHARDT???**

Allen Street is a 9-acre parcel bordered by homes on Allen Street on the south, some commercial property on the east and the Swampscott River on the west. It was acquired by the Town with partial help from the residents of Allen Street. There are three entry ways to the parcel from Allen Street. The one at the end of Allen Street is probably the easiest to access, although the other two should be checked out. On this entry way, there is a part of a shed that we have allowed. There is a trail on the property which should be walked. The boundary on the east and south should also be checked for violations.

2. Dolloff Easement and FGS land. **CARLOS GUINDON**

The Dolloff Easement consists of two parts, a 2-acre lot on Brentwood Road opposite the Dolloff home and an 83-acre portion on the other side of Brentwood Road in what is called The Little River Conservation area.

The 2-acre parcel has an exclusion for the Dolloff's to use the lot for a garden. We have the right to park there, the general area for that is to the left as you drive in.

The larger area can be accessed by walking down the Dolloff's driveway to the right of their house. About 200 yards in, one will pick up the trail which leads down to Dudley Brook and the site of an old mill. One should then walk the trails and the boundaries, particularly those which bound residential areas.

On the map, one will see where the FGS land abuts the Dolloff land. The 12 acres should be easily monitored along with Dolloff.

3. Exeter Country Club, Irvine Conservation Area and Irvine-Hayes Marsh **LINDSEY WHITE ????**

The Country Club has a conservation easement on it. It is good to monitor this property along with someone from the Club, usually the groundskeeper. The Irvine land can be reached by going down the road to the maintenance house and closing the fairway to get to the property. The marsh is just to the north of the Irvine area and is largely inaccessible.

4. Joseph and Nellie Swasey Conservation Easement. **BILL CAMPBELL**

This easement can be accessed at a point at the end of Greenleaf Drive. This property is posted against hunting and thus, some signs may need replacement. Taking some "No Hunting" signs, some aluminum nails and a hammer, in addition to a bucket or small stepladder might be taken along. There is no official trail on the property, so walking the boundary is the most likely task.

5. Morrissette Property **GINNY RAUB**

This property has recently acquired a kiosk which is easily accessed by the bridge over Little River from the back of the SST parking lot. The trail that goes from Linden Street, past the kiosk to the skateboard park should be walked. In addition the boundary along the east side (parallel to Court Street) and the south (parallel to Gary Lane) , should be walked with a particular eye for encroachments.

6. Linden Commons

This property runs on the south side of the Little River between the railroad track and Linden Street. There is also an additional portion of the land on the north side of the river adjacent to the cemetery. This property is best monitored via the trail network that runs from Linden Street west to the RR with a smaller trail heading south toward the development. This portion of the trail meets the development at a site established for composting grass clippings. It is helpful to check to be sure this area is regularly mowed to encourage use by the residents.

7. McDonnell Property

TODD PISKOVITZ

The McDonnell easement can be accessed off Linden Street from the parking lot just north of the Exeter River, opposite the Exeter Landing Manufactured Home Park.

8. Raynes Land along with Lee/Diller/Renewable Resources/Thomas Lands

SALLY WARD

The Raynes farm parking lot is accessed from Newfield's road. The boundaries should be walked, along with the trail that goes through the wooded area in the northern part of the property. The three smaller pieces, the Lee/Diller, Renewable Resources and the Thomas lands are located to the North of the Raynes land, along the Swampscott. Walk along the eastern side of the railroad tracks to access these lands.

9. Henderson Swasey Town Forest

DAVE SHORT

This property can be accessed either through the parking area off Newfield's Road and through the C3i parking lot off of Industrial Drive. This is a large area, but in need of both boundary walking and trail walking. In particular, the Deene trail, which runs off the Town forest land onto the Churchill Property, is on private property. Not everyone is aware of this, and we need to be particularly aware of any transgressions on this land. This also includes the entrance to the tunnel under Route 101.

DREW KOFF: CHENEY PROPERTY * STRUCTURE VIOLATION-NEEDS LE ASSISTANCE**



Little River Conservation Area

Scan Code For
A Copy Of
This And Other
Trail Maps



Natural Resources

The Little River Conservation area is a 400± acre area of lands managed by the Exeter Conservation Commission for conservation and recreation purposes. This area is comprised of several Town-owned parcels and several privately-owned parcels with Town-held conservation easements.

The Conservation Area is bisected by the Little River, Dudley and Bloody Brooks, and when combined with the NH Fish and Game-managed Conner Farm wildlife Management Area to the north, extends from Brentwood Road north to Route 101. These lands include diverse freshwater and forest systems containing mixed conifer and deciduous forest, wetlands, marsh and riparian habitat.

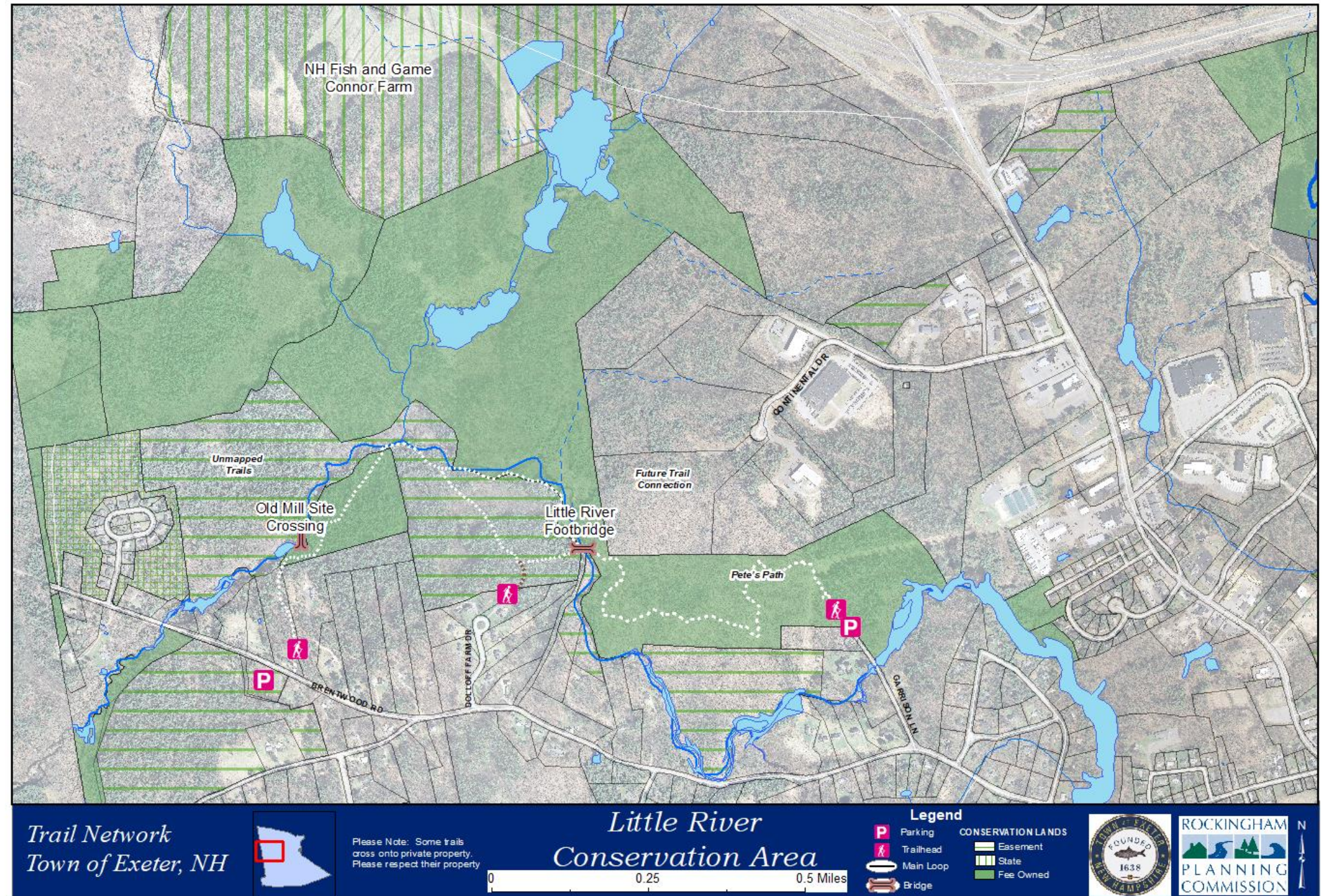
The large unfragmented block of habitat here is important for sustaining wildlife diversity, quality habitat and movement corridors for numerous of wildlife including beavers, deer, small rodents and many bird species. The large undisturbed, natural areas also create a protective buffer for this portion of the Little River watershed.

Trail Parking

Parking can be found in the field south of the Dolloff's home at 143 Brentwood Road. After parking and carefully crossing Brentwood Road, the trail starts at the top of their driveway. Parking is also available at the end of Garrison Lane. A small trail right-of-way is accessible between 5 and 8 Dolloff Farm Drive. On the north side of the Little River footbridge, an old woods road on private land will eventually lead to Continental Drive. The Commission is working with the landowner to formalize access to Continental Drive in the future.

The Trail Network

The 1.2 mi. main trail is marked with white blazes and meanders through woods and along the Little River, creating a loop at the Little River Footbridge. Points of interest such as the Dolloff Easement are marked along the way. Family patriarch Carroll was a nature-lover who protected their land in the 1990's. The Old Mill Site Crossing, with stone remnants of the mill, will lead to an unmapped trail meandering north to a large marsh complex. From the Little River footbridge, the trail continues 0.75 mi. to Garrison Lane along Pete's Path. This trail was designed by Peter Richardson, a former Conservation Commission member who was a strong advocate for Exeter's natural environment before his passing in 2016.



Compatible Uses:

- Hiking
- Winter Snowshoeing/XC Skiing
- Wildlife Viewing
- Other passive recreation
- Hunting in season

Leashed dogs under their owners control are permitted. As a courtesy to others and out of respect to your trail system, please carry in - carry out all trash and clean up dog waste.

Hunting in season is permitted within the conservation area. All visitors should wear day-glow orange for safety during hunting season

Distances:

- 0.25 mi. Brentwood Parking Lot to Old Mill Crossing
- 0.65 mi. Old Mill Site to Little River Footbridge
- 0.75 mi. Pete's Path



REMEMBER
Please take only pictures
and leave only footprints.





MORRISSETTE CONSERVATION AREA

NATURAL RESOURCES

The Morrissette Property is comprised of a 36 acre parcel with a small trail system connecting Linden Street to Court Street on the south side of the Little River. A small bridge north of the property over the Little River also connects this land to the YMCA, Seacoast School of Technology, and the Great Bay Charter School, providing opportunities for hands on learning experiences.

This property protects a unique combination of woodlands, shrubs, riparian river corridor and an open grassy field, supporting a wide variety of species for food, cover and breeding -- all within a short walk from downtown. In order to keep the fields open, the Conservation Commission conducts late season mowing of the land. This allows time for birds to nest and their young to disperse and allows bees and butterflies to feed off the wildflowers and allows those flowers to spread their seed before winter. Protecting a vegetated buffer along the shoreline of the Little River is also an essential component to keeping the river healthy.

Grassland and shrublands are declining habitats in the northeast. Preservation of these areas through land conservation affords long term protection for important wildlife such as the ruffed grouse, and the American woodcock whose mating flight is a welcomed sight each spring.

Scan Code For A Copy Of This And Other Trail Maps



ACQUISITION AND HISTORY

The Morrissette Property was donated to the Town by the Exeter School District to offset impacts from the High School construction. When owned by the school, the footbridge provided access to the large open field which was formerly the football.

Prior to the school's ownership, this land was owned by Joseph and Lillian Morrissette who farmed the land. The remnants of their apple orchard are signs of its farming history. Today these apple trees are managed to provide food for deer, turkey and other wildlife.

ACTIVITIES

The property may be enjoyed by the public for passive recreation including hiking and bird watching. Wheeled and motorized vehicles, camping and fires are prohibited. In the winter, cross-country skiing and snowshoeing enable year-round exploration of the area.

In addition, this property is included in the Conservation Commission's Trail Passport Program--a fun way for families to explore a small portion of Exeter's Conservation Lands. Passport Books and more information are available on the Town's webpage

Visitors can travel between Linden Street, the Skate park on Court Street, and continue across the street to Gilman Park and the Phillips Exeter Sports Complex.

Please be aware that the tall grass is prime habitat for ticks. Dogs are welcome but must be leashed and cleaned up after.



Photo circa 1950s courtesy of the Morrissette Family

USE LIMITATIONS:



Good afternoon! I'm a fellow Conservation Commission member (East Kingston) and volunteer for SELT. SELT's TrailFest is coming up on Sat. Sept. 22nd (yes, the same day as the Exeter Fall Equinox event, unfortunately). We'd like to invite you, and ask if you'd like a complimentary table at TrailFest (9am-2pm).

We'd also appreciate you sharing the event with your community. In return, SELT is happy to reciprocate with your events. Thanks for your consideration!



Kristen Murphy <kmurphy@exeternh.gov>

Metal detector use

1 message

david hamilton <david.m.hamilton5@gmail.com>
To: kmurphy@exeternh.gov

Tue, Aug 28, 2018 at 3:35 PM

Ms. Murphy,
I am interested in perhaps using a metal detector in the fort rock trails area, is this authorized? If so who may I seek appropriate be permission from? Thanks!
David Hamilton
609.770.1283

Conservation Commission

Draft Minutes

8/14/18

Call to Order:

1. Introduction of Members Present

Present at tonight's meeting were Lindsey White, Todd Piskovitz, Bill Campbell, Sally Ward, Ginny Raub, Don Clement, and Kristin Murphy. Ms. White acted as an alternate for this meeting and did not vote.

2. Public Comment

There was no public comment at this meeting.

Action Items

1. Minimum Impact Expedited Wetland Application for Intersection Improvements to Continental Drive and Epping Road (Paul Vlasich-DPW, Greg Bakos-VHB)

Paul Vlasich, the town engineer, reminded the commission that in March, town voters had passed intersection improvements on Continental Drive. They are now trying to get a signal installed ASAP. VHB Engineers is the consultant helping with the analysis and design of project. It will be a 3-way intersection but allows the possibility of converting it to a 4-way should the future need arise. They hope to be in construction this year, and have the signals installed in late winter.

Greg Bakos, representing VHB Engineers, showed the location of the project on a map of the intersection of Continental Drive and Epping Road. Typical cross-sections show the planned widening of the road and the location of new turning lanes. They will be using rocks and guardrails to protect slopes. The wetlands are on the left, with an intermittent stream going underneath Epping Road. They will be filling in roughly along the property line where the stone wall is. The gray shading on the wetland impact map represents roadway widening. The red shading represents the wetland impacts area, where the brook goes underneath Epping Road and the road is being widened. They will be extending the outlet and inlets accordingly. The total impact area will be 685 square feet.

Ms. Ward asked for a summary of impact on Norris Brook. Mr. Bakos said he is not sure that the impacts would be quantifiable because the impact area is so small – they are not changing the path of the stream and will be vegetating all slopes. Lindsey Matras, the wetlands scientist for the project, said that they are not changing the hydrology for the stream, so it won't be an issue. Mr. Campbell had a concern about the rainfall due to the impervious surface. Mr. Bakos said that the rock surface will allow for infiltration into the subsoils. Right now, the runoff collects in grassy areas. They are adding some curbing because the town has indicated they may want to add a sidewalk in the future. The water along the curbing will go into a catch basin causing concentrated flow.

Mr. Piskovitz asked if they are changing any topography of the stream. Mr. Bakos said they are not – essentially, they are covering part of the brook. The size of the culverts will not be increased, because they are in good shape and do not flood. Building a larger culvert would be disruptive. Mr. Clement asked how the extension of the water/sewer lines would interact with that culvert. Mr. Vlasich

said that for the utility extension project through Epping Road, the culvert is represented on the design plans for that project and the lines will be going under the culvert. There will be no impact. Mr. Campbell asked if the adjacent private property will be getting more water on their land. Mr. Bakos said the change would be negligible. Mr. Vlasich said that this is the final design for the roadway at this time.

Mr. Piskovitz asked if there was anything to be done to improve the design of the catch basin. Mr. Bakos said that there are some types of containment that could be used, a deep sump could be used to make a difference to help protect the watershed. Mr. Piskovitz asked what the weight of their recommendation will be because this is a minimum impact permit. Ms. Murphy said that the permit will be processed more quickly with their recommendation.

MOTION: Mr. Piskovitz moved to sign the wetlands application under section 12, with the condition of deepening the catch basin to remove impurities. Ms. Ward seconded the motion, and it passed unanimously.

2. Standard Dredge and Fill Wetland Application for the Addition of a Kayak Launch Structure on existing Town Dock (Greg Bisson-Parks & Rec)

Greg Bisson, the parks and rec director, said that they just replaced the town docks and they are looking to add on to it. The Exeter Areas Lions Club donated funds to purchase a kayak launch at Stuart Park. This allows for easier access into the river without having people actually get into the water. He said that he hopes that this will encourage people to explore the river more. Mr. Bisson said it will be installed after approval from DES and will likely be able to be used this season. Mr. Clement also suggesting considering reconstructing a kayak storage rack. Mr. Bisson also is considering offering kayak rentals.

MOTION: Ms. Ward moved to approve the installation of the kayak launch as proposed. Mr. Piskovitz seconded the motion, and it passed unanimously.

3. Raynes Farm Makers Fair Proposal (Ben Anderson)

Ms. Murphy outlined Mr. Anderson's plan. He is proposing to use the barn, with the different stalls, to have different craftspeople and artisans to set up in the barn and the field to have a mini-makers fair. He would lay plywood down on the barn floor so that it is uniform and is safe. This proposal would just be the commission giving permission to use the property.

The commission talked about the use agreement that was drafted. It has not yet been decided on by the Select Board. Mr. Clement said that the commission is authorized to have a conservation commission fund, which they are allowed to use for donations, fees, etc. He does not believe it requires Select Board permission for the commission to use that fund. He also suggested that the commission does not wait for the process to be reviewed.

Mr. Campbell suggested that the commission be involved some way in the event. He wondered how Mr. Anderson is charging for the event. Ms. Murphy said that there is probably going to be some kind of table fee. Mr. Campbell suggested having a fee for the use of the barn. Mr. Piskovitz agreed, but isn't sure how they would decide on that fee. The event will be October 19th or 20th, one week after the disc golf event.

Mr. Clement brought up the issue of parking. Mr. Campbell said that they would have to talk to Mr. Anderson about his plans, and they are also hoping to increase the amount of parking at Raynes Barn for the disc golf event. Ms. Ward also brought up the safe number of people who can be in the barn, which is 50 people at once.

MOTION: Mr. Koff moved to approve the use of Raynes Barn for this event. Ms. Ward seconded the motion, and it passed unanimously.

4. Annual Review of By-Laws: Last review 7/11/17

Mr. Campbell would like to review the bylaws annually. He doesn't think there are too many changes to make, but wants to add a rule to not discuss major agenda items after a certain time at night (for example, 9:30 or 10PM). He would like to get people to volunteer to put effort into this. Ms. Ward and Mr. Piskovitz volunteered. Ms. Raub also wants to look at the Raynes Farm Stewardship Committee. Mr. Campbell will setup a time to meet and go over the bylaws.

5. Treasurers Report

Mr. Koff said that at the end of the last meeting, they approved a \$1,200 cost for an LCHIP application consultant. They will also keep a budget for mowing in mine. The expenditure of dues towards the ESRLAC need to be approved, which is about \$200. Mr. Piskovitz suggested paying \$150 to the ESRLAC, and \$50 towards LRWAC.

MOTION: Mr. Koff moved to expend \$150 for the dues for ESRLAC. Ms. Ward seconded the motion, and it passed unanimously.

MOTION: Ms. Ward moved to accept the treasurers report as presented. Mr. Piskovitz seconded the motion, and it passed unanimously

6. Committee Reports

a. Property Management

i. Mowing Proposals

There are few companies that the commission can review for mowing. The White, Perry, Irvine, and Morrisette fields all need to mowed. They can choose to mow half or all of Morrisette fields. They could not mow the field at all last year, so it is overgrown. Mr. Campbell said he would like to mow the entire field to clear brush out, and maybe mow half of it next time. Ms. Murphy said that she does not have a written quote from the Brush Crew.

Ms. Ward asked if the Brush Crew includes downed trees. Ms. Murphy confirmed it did. Ms. Raub pointed out that Brush Crew were selected last year, and they could not complete the mowing and did not reach out. Mr. Clement agreed, and also liked that Field of Dreams had broken out each property into separate quotes. Mr. Campbell said that Field of Dreams has also shown interest previously in improving the land, and also spelled out exactly what he would do on each property. If Field of Dreams were chosen, they'd have to move some funds around in their budget because the current budget for mowing is \$1,800. The Field of Dreams estimate is \$2,075 for the full mowing, and the Brush Crew estimate is \$1,450.

Ms. Murphy also said that previously, the commission had requested mowing to be as late as possible to preserve seed stock. David O'Hearn of Field of Dreams suggested mowing in September which allows some growth before winter and allows wildlife to eat October shoots. The commission agreed with this recommendation.

MOTION: Ms. Raub moved that Field of Dreams be contracted for a total of \$2,075 for Irvine, White, Perry, and Morrisette fields. Mr. Koff seconded the motion, and it passed unanimously.

MOTION: Ms. Ward moved to move \$125 from Conservation Land Admin. and \$150 from contract services to the roadside mowing. Mr. Piskovitz seconded the motion, and it passed unanimously.

ii. Henderson Swasey Invasive Plant Management

Mr. Guindon is absent, but Mr. Campbell said he requested volunteers to help pull invasive species from Henderson-Swasey. In the packet is a map of the property with invasive species marked with green dots, including openings. Ms. Raub suggested asking for help on their Facebook page as well as contacting people who had shown interest before. They need to set a date. Ms. Murphy also said that this would be a good project for interns to complete and reminded them that the commission needs more flagging supplies.

MOTION: Mr. Piskovitz moved to spend \$20 from conservation land admin. fund for flagging. Ms. Ward seconded the motion, and it passed unanimously.

iii. CC Property Monitoring

Property monitoring would entail walking the boundaries of the properties to see if anything needs attention or if anything has been dumped on the properties. Ms. Murphy had included a list of properties that need to be walked. The owner of the property should be contacted beforehand. Mr. Koff said that 80 Epping Road should be added to the list for monitoring. Mr. Campbell also said that Alyson Eberhardt had volunteered for the Allen Street property.

b. Trails

i. Oaklands Trail Re-alignment Update

Ms. Murphy said that there are two legs of the trails that were moved to higher ground. She will update the map, but there is one more section to be realigned. So far people have been following the re-aligned trails. Mr. Campbell also said that the signs for the Oaklands are ready. The commission talked about some different options to secure the signs when they arrive.

ii. Industrial Drive Parking lot and trail access

The trail access and parking lot are now complete.

iii. Blazing supplies

MOTION: Ms. Raub moved to expend up to \$50 for blazing supplies. Ms. Ward seconded the motion, and it passed unanimously.

Mr. Koff asked about the trail race that had donated \$250 to the conservation fund. They had noted that there were some issues with major bridges and boardwalks. Ms. Murphy said she will clarify exactly what location those issues were in.

c. Outreach

i. Raynes Fall Events

Ms. Raub said that she needs to come up with a date for the Story Walk. She suggested the end of October or beginning of November. The commission decided on October 27th or 28th. This would be following pages of the book to a certain location, and it would be theme-based. Ms. Raub has some ideas for a book to select but hasn't chosen one. Mr. Koff said he would help out with the event too.

There will be a disc golf event occurring on 9/15 and 9/16 at Stratham Hill Park, prior to the commission's disc golf event in October. Ms. Murphy suggested that the Commission have a table at the event to promote their upcoming disc golf event. Ms. Raub said that she could help out. Mr. Piskovitz suggested finding out what their peak hours would be. Ms. Murphy suggested including a flyer of the event, and some pictures and brochures about the Raynes farm. Ms. Ward will also help out to review flyers and other promotional materials.

There are some flyers for fall events that would be good to get laminated, so they are protected.

MOTION: Ms. Raub moved to expend \$75 for laminating the signs. Mr. Piskovitz seconded the motion, and it passed unanimously.

There is a plaque that they can get that will say that the Raynes Barn is located on the state historic registry. The commission is going to hold off on this until they can see what the plaque looks like.

ii. Draft Sign Review (Little River @ Garrison Lane, Morrissette @ Skate Park)

The commission decided to wait on this to review them more thoroughly.

7. Approval of Minutes

MOTION: Ms. Raub moved to approve the minutes from the June 12th, 2018 meeting as submitted. Ms. Ward seconded the motion, and it passed unanimously.

MOTION: Mr. Piskovitz moved to approve the minutes from July 10th, 2018 meeting as submitted. Ms. Raub seconded the motion, and it passed unanimously.

8. Next Meeting: Date Scheduled (9/11/18), Submission Deadline (8/31/18)

The commission decided the change of their next meeting date to 9/4/18, because 9/11/18 is voting day.

MOTION: Mr. Piskovitz moved to adjourn the meeting at 9:00PM. Ms. Ward seconded the motion, and it passed unanimously.

Respectfully submitted by recording secretary Samantha Cave.