



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE EXETER CONSERVATION COMMISSION Site Walk

The Exeter Conservation Commission will meet at 20 Continental Drive
Friday, December 7th, 2018 at 10:00 A.M.

Monthly Meeting

The Exeter Conservation Commission will meet in the Nowak Room, Exeter Town Offices
at 10 Front Street, Exeter on Tuesday, December 11th, 2018 at 7:00 P.M.

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items

1. Review of NHDES Shoreland Permit Application for reconstruction of a single family home at 374 Water Street, Tax Map Parcel # 53-3 (*Brendan Quigley, GES, Inc.*)
2. Application for a Shoreland Conditional Use Permit and Wetland Waiver by Salema KIDS Realty Ventures LLC for the construction of a 6,860 SF Commercial Retail building at 159 Epping Road, Tax Map Parcel #47-9.2. (*Chris Tymula of MHF Design Consultants, Inc.*)
3. Consideration of a Wetland Conditional Use Permit by ProCon for the construction of a Unitil Operations Facility at 20 Continental Drive, Tax Map Parcel #46-3 (*Jim Petropulos, H/S Inc*)
4. NHDES Wetland Permit Application for impacts to the protected buffer of the Squamscott River for expansion of existing development associated with 173-179 Water Street, Tax Map #64-50. within the protected buffer of Squamscott River (*Barry Gier, J&B*)
5. Exeter Parks and Recreation Response to NHDES Request for Additional Information in association with the Kayak Pad addition to the Town seasonal dock.
6. Request for Input to DOT Environmental Study associated with Road Improvements to Court Street from Crawford Ave, South to the Town Boundary.
7. Committee Reports
 - a. Property Management
 - b. Trails
 - c. Outreach
8. Approval of Minutes: November 13th Meeting
9. Correspondence
10. Other Business
11. Next Meeting: Date Scheduled (1/8/19), Submission Deadline (12/28/18)

*Bill Campbell, Chair
Exeter Conservation Commission*

Posted December 5th, 2018 Exeter Town Office, Exeter Public Library, and Town Departments.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: December 7th, 2018
To: Conservation Commission Board Members
From: Kristen Murphy, Natural Resource Planner
Subject: Dec 11th Conservation Commission Meeting

1. 374 Water Street, Tax Map Parcel # 53-3 (Brendan Quigley, GES, Inc.)

The proposal will result in an overall reduction of impervious cover and will move the impervious cover 11.4' further from the river's edge. The location of the existing house will be seeded and restored as lawn.

ESRLAC has reviewed this application and sent the following comments to NHDES. "The Exeter-Squamscott River Local Advisory Committee (ESRLAC) has reviewed Shoreland Permit Application 2018-03410. ESRLAC supports the application as proposed with the recommendation that construction BMPs be installed and maintained. ESRLAC notes that the application states there is a reduction in impervious cover post-construction but the plans did not clearly state where this reduction is taking place on the property." The applicant's representative clarified that the impervious cover reduction is provided in the table on sheet C1.

Suggested motions:

_____ *We have reviewed this application and have **no objection** to the issuance of a Shoreland conditional use permit as proposed.*

_____ *We have reviewed this application and recommend that the Shoreland conditional use permit be **(approved)(denied)** as noted below:*

2. 159 Epping Road, Tax Map Parcel #47-9.2. (Chris Tymula of MHF Design Consultants, Inc.)

The applicant has provided revised plans following TRC review. Your packet includes their response to my TRC comments. Incorporation of a retaining wall, moving a portion of the parking spaces toward Epping Road has reduced impacts to the wetland buffer. Bioretention is provided for treatment of stormwater before it reaches the wetland/Norris Brook tributary. The applicant has provided a greater number of parking spaces than required per town zoning. They have stated they believe town specs are lower than typically required and designed parking based on their experience with similar projects and parking needs.

Suggested motions:

_____ *We have reviewed this application and have **no objection** to the issuance of a Shoreland conditional use permit and wetland waiver request as proposed.*

_____ *We have reviewed this application and recommend that the Shoreland conditional use permit and wetland waiver request be **(approved)(denied)** as noted below:*

3. Consideration of a Wetland Conditional Use Permit by ProCon for the construction of a Unitil Operations Facility at 20 Continental Drive, Tax Map Parcel #46-3 (Jim Petropulos, H/S Inc)

TRC has not yet been scheduled for this project but is before you to obtain your comments early in the process to improve their ability to incorporate comments in the Planning Board application submission. Should you feel you have enough information on site design, the applicant welcomes your PB recommendation.

Suggested motions:

_____ *We have reviewed this application and have **no objection** to the issuance of a Wetland conditional use permit as proposed.*

_____ *We have reviewed this application and recommend that the Wetland conditional use permit be **(approved)(denied)** as noted below:*

4. ***NHDES Wetland Permit Application for impacts to the protected buffer of the Squamscott River for expansion of existing development associated with 173-179 Water Street, Tax Map #64-50. within the protected buffer of Squamscott River (Barry Gier, J&B)***

The project is before you for a state permit for impacts to the protected buffer of the Squamscott River. It was previously before you regarding an easement for parking on October 9th, and has been before the Planning Board and received conditional approval on October 25th (minutes online), one condition of which included a waiver from stormwater management for redevelopment. The application does not require a town shoreland CUP as the waterfront commercial district is exempt from shoreland regulations.

The application was also before the ESRLAC, who provided the following comments to the state: “ESRLAC supports the application as proposed and notes that stormwater management from the site should be improved due to new grading of parking spaces and the installation of a deep sub catch basin to capture and pre-treat runoff from the building. On-going maintenance and management of stormwater systems is a concern of ESRLAC and the Committee recommends the building owner, Freedman Realty Inc., properly maintain the deep sub-catch basin and the Town of Exeter properly maintain the stormwater cistern which is collecting runoff from the building’s catch basin prior to discharge into the Squamscott River.”

Suggested motions:

_____ *We have investigated this application and have **no objection** to the issuance of a state wetland permit as proposed.*

_____ *We have investigated this application and recommend that the permit be **(approved)(denied)** as noted below:*

5. ***Exeter Parks and Recreation Response to NHDES Request for Additional Information in association with the Kayak Pad addition to the Town seasonal dock.***

This wetland application was before you on August 14th where you voted no objection to the application. NHDES sent a request for additional information and your packet has that response. The state requires that all information be forwarded to the Commission in the event you have additional comments.

Suggested motions:

_____ *We have investigated the additional information provided and have no change to our original response.*

_____ *We have investigated the additional information and recommend the following comments be considered:*

6. ***Request for Input to DOT Environmental Study associated with Road Improvements to Court Street from Crawford Ave, South to the Town Boundary.***

The only information I have for this project is what was forwarded by ESRLAC and provided in your email. They provided the following comments to the NHDOT. “The Exeter-Squamscott River Local Advisory Committee (ESRLAC) met on November 27th and reviewed and discussed the emails you sent ESRLAC Chair Bill Meserve regarding two DOT projects, Statewide 16166 in Exeter and 16165-H in Raymond. The information you shared did not describe the proposed work in any great detail, however, ESRLAC asked me to share with you their concerns that DOT work often involves removing all vegetated buffers alongside roadways, resulting in greater stormwater runoff, the introduction of invasive plant species, and negative impacts to sensitive wetlands abutting roadways. ”

Some additional points to consider:

- Stands of Japanese knotweed existing along the route. Incorporate measures during road and shoulder work to prevent the spread of Japanese knotweed to new locations and treatment of existing stands.
- The Exeter Natural Resource Inventory identified two pinch point areas for wildlife corridors near the Little and Exeter Rivers. Consider adoption of modifications for improved wildlife crossing such as the replacement of steep slopes under bridges with dirt ledges for wildlife passage, and sloped curbing so wildlife can escape road bed.
- Several areas along this route, primarily those associated with the Little River and Exeter River flood during heavy rainfall events. Consider incorporation of bioretention and road-side buffer enhancement to facilitate pollutant attenuation and infiltration.

_____ *We have **(no)(the following)** recommendations for consideration in your environmental study for the subject project.*

GOVE ENVIRONMENTAL SERVICES, INC.
AGENT

NH DES
SHORELAND PERMIT
APPLICATION

SINGLE FAMILY HOME RECONSTRUCTION

374 Water Street
Exeter, NH

November 2, 2018

RECEIVED

NOV -5 2018

PLANNING OFFICE

Prepared By

Gove Environmental Services, Inc.
8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

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SHORELAND PERMIT APPLICATION

Water Division/ Shoreland Program Land Resources Management

Check the status of your application: www.des.nh.gov/onestop



RSA/Rule: [RSA 483-B](#), [Env-Wq 1400](#)

Administrative Use Only	Administrative Use Only	Administrative Use Only	File Number:
			Check No.:
			Amount:
			Initials:

This is an application for a permit to excavate, fill or construct new structures within the protected shoreland as regulated under RSA 483-B. For a complete list of activities that do not require a shoreland permit, view the shoreland program [frequently asked questions](#) (FAQs).

Please type or print clearly. **Please note:** Application packages missing required elements will be returned to the applicant in their entirety, including the fee. Land Resources Management will include a letter identifying the missing elements and describing how to resubmit the application package to NHDES. Application packages that are accepted will proceed to technical review to ensure the applicant has fulfilled all requirements as specified by statute or rules. For more information, visit the new [Land Resources Management Application Return Process](#) website located on the Shoreland Program page.

1. PROPERTY OWNER			
LAST NAME, FIRST NAME, M.I.: Adams, Katherine			
ADDRESS: 38 Windsor Lane	TOWN/CITY: Exeter	STATE: NH	ZIP CODE: 03833
PHONE:	EMAIL: khendersonadams@gmail.com		
2. PROJECT LOCATION			
ADDRESS: 374 Water Street	TOWN/CITY: Exeter	STATE: NH	ZIP CODE: 03833
WATERBODY NAME: Squamscott River	TAX MAP: 53	LOT NUMBER: 3	
3. CONTRACTOR OR AGENT			
LAST NAME, FIRST NAME, M.I.: Gove Environmental Services, Inc C/O Brendan Quigley			
ADDRESS: 8 Continental Drive Bldg 2 Unit H	TOWN/CITY: Exeter	STATE: NH	ZIP CODE: 03833
PHONE: 603-778-0644	EMAIL: bquigley@gesinc.biz		
4. CRITERIA			
Please check at least one of the following below:			
<input checked="" type="checkbox"/> This shoreland permit application requires neither a proposal to make the property more nearly conforming nor a request for a waiver of a minimum standard.			
<input type="checkbox"/> This shoreland permit application includes a proposal to make the structures and/or the property more nearly conforming .			
<input type="checkbox"/> This shoreland permit application includes a request for a waiver of the following minimum standard(s) under RSA 483-B:9, V _____.			
5. PROJECT DESCRIPTION			
Total square feet of <i>impact area</i> within the protected shoreland : 23,900 Total square feet of new impervious area : 21 sf reduction *To calculate total <i>impact area</i> , see Page 2, Section 10.			
Provide a complete description of the proposed project. The existing house and garage on the property will be razed and new house will be built in the same location. The existing driveway will also be reconstructed. The project will result in a reduction of impervious surface on the property. The work area consists of lawn which will be restored following completion of the project			

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

6. RELATED NHDES LAND RESOURCES MANAGEMENT PERMIT APPLICATIONS ASSOCIATED WITH THIS PROJECT:

Please indicate if any of the following permit applications are required and, if required, the status of the application.

To determine if other Land Resources Management permits are required, refer to the Land Resources Management Web Page.

Permit Type	Permit Required	File Number	Permit Application Status
Alteration of Terrain Permit Per RSA 485-A:17	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Individual Sewerage Disposal per RSA 485-A:2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Subdivision Approval Per RSA 485-A	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Wetlands Permit Per RSA 482-A	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED

7. REFERENCE LINE ELEVATION (REQUIRED FOR LAKES, PONDS AND ARTIFICIAL IMPOUNDMENTS)

Reference line elevations for most lakes, ponds and artificial impoundments greater than 10 acres in size are listed in the Consolidated List of Waterbodies Subject to the Shoreland Water Quality Protection Act. Please see RSA 483-B:4, xvii for the definition of reference line.

The reference line for this waterbody is _____ feet above sea level. *tide*

8. SHORELAND FRONTAGE Shoreland frontage is the actual frontage along the waterfront measured at the reference line.

The shoreland frontage on this lot is: _____ linear feet.

N/A - No direct frontage on this lot

9. APPLICATION FEE

A non-refundable permit application fee of \$100 plus \$0.10 per total square feet is required at the time the application is submitted. Fees are capped at \$750 for projects impacting less than 10,000 sq ft, \$1,875 for projects impacting between 10,000 and less than 25,000 sq ft, and \$3,750 for projects impacting 25,000 sq ft and greater. Please note that your application will not be considered complete if it does not include the appropriate fee. Please make checks payable to the Treasurer, State of NH.

10. CALCULATING THE TOTAL IMPACT AREA AND PERMIT APPLICATION FEE

Total impact area is calculated by determining the sum of all areas disturbed by regrading, excavation, filling, construction and structure removal. Impacts often include, but are not limited to: constructing new driveways, constructing new structures, areas disturbed when installing septic systems and foundations, creating temporary access roads to drill a new well and regrading associated with landscaping activities.

Total Area Impacted within 250 feet of the reference line. = 23,900 (A) square feet

Multiply the Total Impact Area By \$0.10 and add \$100. [(A) X .10 + \$100] = \$1,875.00 (CAP) Permit Fee

11. REQUIRED CERTIFICATIONS

By initialing within the blank before each of the following statements, and signing below, you are certifying that: to the best of my knowledge, the information provided is true, complete and not misleading.

KA I understand that any permit or waiver granted based on false, incomplete, or misleading information shall be subject to revocation.

KA I am aware that obtaining a shoreland permit will not exempt the work I am proposing from other state, local or federal approvals.

KA I have notified the municipality or municipalities in which the proposed impacts are located and provided them with a complete copy of the application and all supporting materials on 11/2/18 via certified mail.

This project is within 1/4 mile of a designated river (river name: Sagueniscott) and I have notified the Local River Management Advisory Committee by providing them with a copy of the complete application, including all supporting materials, via certified mail on day: _____ month: _____ year: _____ and I have included a copy of the certified mail receipt in the application submittal (RSA 483-B:5-b, IV-a). *11/2/18*

This project is not within 1/4 mile of a designated river.

KA I have notified all abutters of the proposed impacts via certified mail as required by RSA 483-B:5-b, IV-a. (see definition of "abutter" on page (6)).

12. SIGNATURES (Both the property owner, and applicant must sign the application form per Env-Wq 1406.08)

OWNER NAME	<i>Katherine Adams</i>	PRINT NAME LEGIBLY: <i>KA</i>	DATE: <i>10/31/18</i>
APPLICANT NAME	<i>Same</i>	PRINT NAME LEGIBLY:	DATE:

Please mail this application and all other attachments to the NHDES Wetlands Bureau, PO Box 95, Concord NH 03302-0095. Missing information will delay processing your permit application and may result in denial of a Shoreland Permit.

SHORELAND APPLICATION WORKSHEET

This form must be submitted to the NHDES Wetlands Bureau accompanied with a Shoreland Permit Application. [Instructions for completing this form](#) are available on the Shoreland Program web page.

For the purposes of this worksheet, “**Pre-Construction**” impervious surface areas¹ means all human made impervious surfaces² currently in existence on the property, whether to be removed or to remain after the project is completed. “**Post-Construction**” impervious area means all impervious surfaces that will exist on the property upon completion of the project, including both new and any remaining pre-existing impervious surfaces. All answers shall be given in square feet.

CALCULATING IMPERVIOUS AREA WITHIN 250 FEET OF THE REFERENCE LINE			
	STRUCTURE DESCRIPTION	PRE-CONSTRUCTION IMPERVIOUS AREA	POST-CONSTRUCTION IMPERVIOUS AREA
PRIMARY STRUCTURE Include all <u>attached</u> decks and porches.	<u>House & Garage</u>	<u>1,704</u> FT ²	<u>2,804</u> FT ²
	ACCESSORY STRUCTURES		
All other impervious surfaces excluding lawn furniture, well heads and fences. Common accessory structures include, but are not limited to: driveways, walkways, patios and sheds.	<u>Barn & Ramp</u>	<u>2,102</u> FT ²	<u>2,102</u> FT ²
	<u>Pavement</u>	<u>4,651</u> FT ²	<u>3,486</u> FT ²
	<u>Mortar stonewall</u>	<u>1,800</u> FT ²	<u>1,800</u> FT ²
	<u>Equipment pads</u>	<u>0</u> FT ²	<u>36</u> FT ²
	<u>Stone piers</u>	<u>0</u> FT ²	<u>8</u> FT ²
TOTAL:		(A) <u>10,257</u> FT ²	(B) <u>10,236</u> FT ²
Area of the lot located within 250 feet of reference line:			(C) <u>146,299</u> FT ²
Percentage of lot covered by pre-construction impervious area within 250 feet of the reference line: <i>[divide (a) by (c) x 100]</i>			(D) <u>7.01</u> %
Percentage of lot to be covered by post-construction impervious area within 250 feet of the reference line upon completion of the project: <i>[divide (b) by (c) x 100]</i>			(E) <u>7.00</u> %

¹ “**Impervious surface area**” as defined in Env-Wq 1402.15 means, for purposes of the impervious surface limitation specified in RSA 483-B:9, V(g), the sum total of the footprint of each impervious surface that is located within the protected shoreland.

² “**Impervious Surface**” as defined in RSA 483-B:4, VII-b means any modified surface that cannot effectively absorb or infiltrate water. Examples of impervious surfaces include, but are not limited to, roofs, and unless designed to effectively absorb or infiltrate water, decks, patios, and paved, gravel, or crushed stone driveways, parking areas and walkways.

IMPERVIOUS AREA THRESHOLDS

DETERMINING the STORMWATER MANAGEMENT REQUIREMENTS	
<input checked="" type="checkbox"/>	<p>The percentage of post-construction impervious area (Calculation E) is less than or equal to 20%.</p> <p>This project does not require a stormwater management plan and does not require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.</p>
<input type="checkbox"/>	<p>A net increase in impervious area is proposed and the percentage of post-construction impervious area (Calculation E) is greater than 20%, but less than 30%.</p> <p>This project requires a stormwater management but, does not require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.</p> <p>See details on the Checklist of Required Items on page 6</p>
<input type="checkbox"/>	<p>A net increase in impervious area is proposed and the percentage of post-construction impervious area (Calculation E) is greater than 30%.</p> <p>This project requires a stormwater management plan be designed and certified by a professional engineer and requires plans demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.</p> <p>See details on the Checklist of Required Items on page 6</p>

NATURAL WOODLAND AREA REQUIREMENT

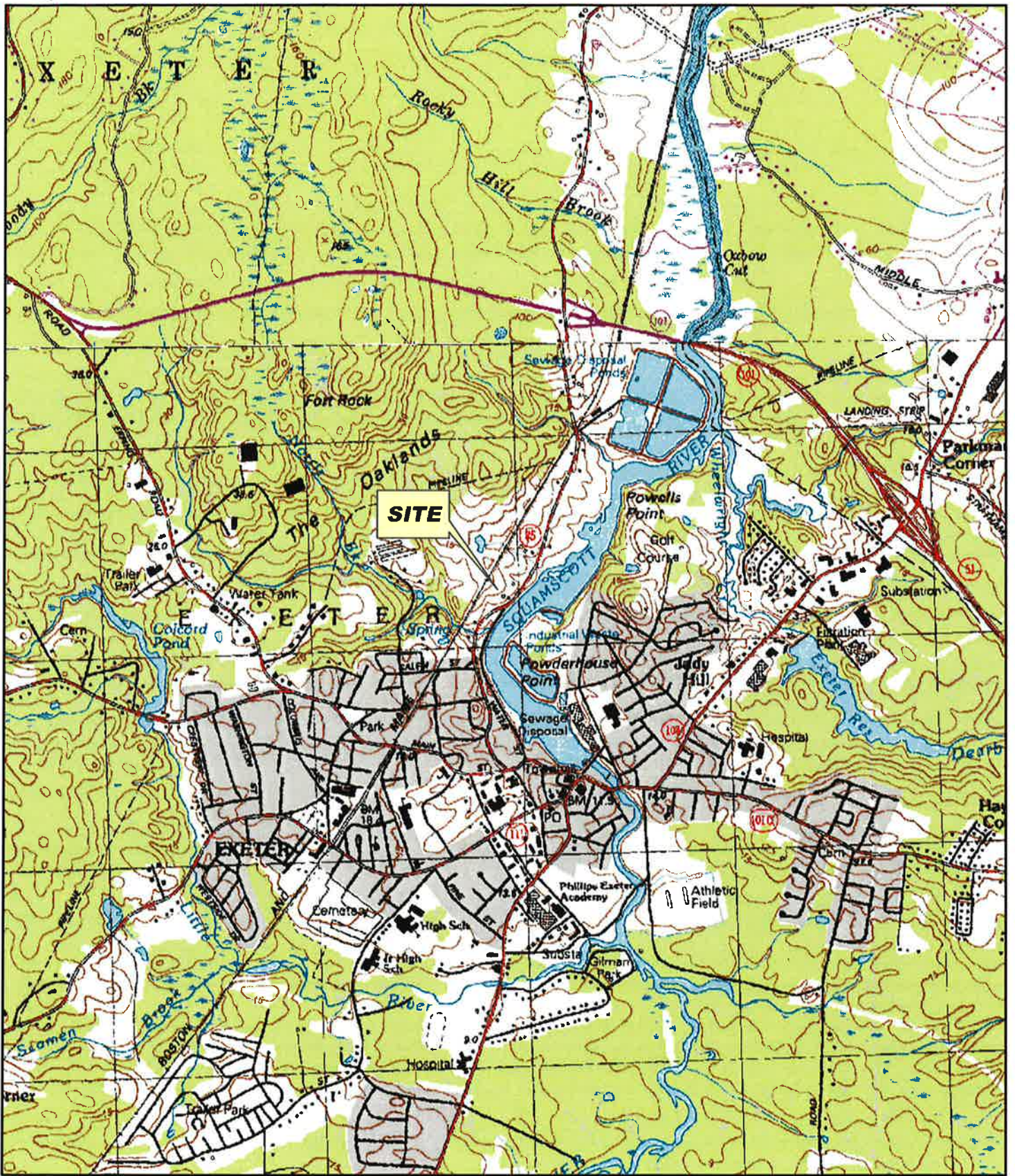
DETERMINING THE AREA TO REMAIN AS NATURAL WOODLAND	
Total area of the lot between 50 ft and 150 ft of the reference line within which the vegetation currently exists as natural woodlands ³ (see definition below).	(F) <u>0 s.f. (exist. fields and lawn)</u>
Total area of the lot between 50 ft and 150 ft from the reference line .	(G) <u>55,834 s.f.</u>
At least 25% of area (G) must remain in as natural woodland. [.25 x G]	(H) <u>13,958 s.f.</u>
Place the lesser of area (F) and calculation (H) on this line. In order to remain compliant with the natural woodland area requirement , this is the minimum area that must remain as natural woodland between 50 ft and 150 ft from the reference line . This area must be represented on all plans and this area, exclusive of existing lawn, must remain in an unaltered state ⁴ .	(I) <u>0 s.f.</u>
Name of person who prepared this worksheet: <u>Altus Engineering, Inc., Ronald M. Beal P.E.</u>	
Name and date of the plan this worksheet is based upon: <u>September 27, 2017</u>	
SIGNATURE: <u>Ronald M. Beal</u>	DATE: <u>9/28/18</u>

³ "Natural Woodland" means a forested area consisting of various species of trees, saplings, shrubs, and ground covers in any combination and at any stage of growth.

⁴ "Unaltered State" means native vegetation allowed to grow without cutting, limbing, trimming, pruning, mowing, or other similar activities except as needed for renewal or to maintain or improve plant health.

*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

USGS Locus Map



1 inch = 2,000 feet

Locus Map

374 Water Street
Exeter NH



Gove Environmental Services, Inc.
8 Continental Drive, Bldg 3, Unit 11, Exeter, NH 03833-5033, 603.778.0011

*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

Site Photographs

Shoreland Impact Area Photos
374 Water Street
Exeter, NH



Existing garage to be razed



Lawn (work area) Northeast of existing house



Existing house to be razed, Trees will be protected



Driveway looking towards Water Street

*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

Natural Heritage Bureau Inquiry



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Luke Hurley, Gove Environmental Services, Inc.
8 Continental Drive
Exeter, NH 03833

From: NH Natural Heritage Bureau

Date: 10/31/2018 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 10/29/2018

NHB File ID: NHB18-3353

Applicant: Henderson Trust

Location: Exeter
Tax Maps: 53-3

Project Description: Demolish and rebuild existing house with driveway in the same location. No expansion of footprint, no additional clearing.

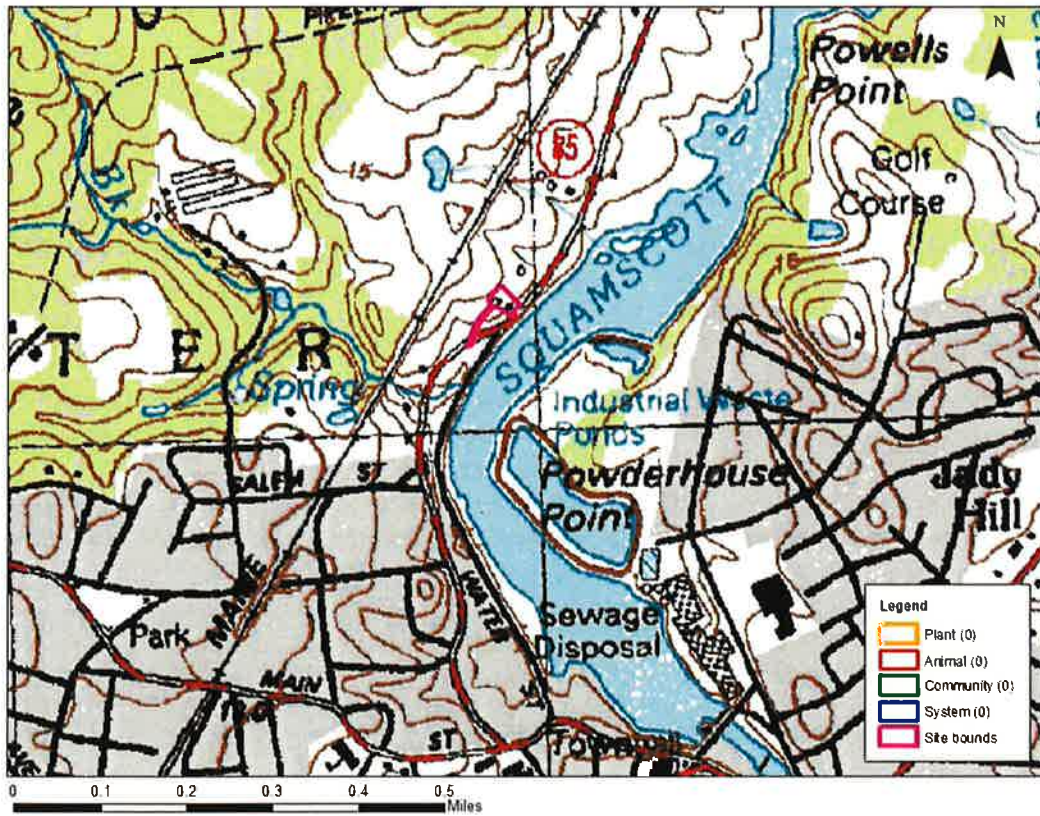
The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 10/29/2018, and cannot be used for any other project.



MAP OF PROJECT BOUNDARIES FOR: NHB18-3353

NHB18-3353



*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

Copy of Property Deed



Return to:
Donahue, Tucker & Ciandella, PLLC
P.O. Box 630
Exeter, NH 03833

LCHIP	ROA428947	25.00
RECORDING		18.00
SURCHARGE		2.00

THIS CONVEYANCE IS A NON-CONTRACTUAL TRANSFER AND THUS EXEMPT FROM TRANSFER TAXES PURSUANT TO RSA 78-B:2 (IX).

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that **WARREN C. HENDERSON**, a married person, having a mailing address of P.O. Box 520, Rye Beach, New Hampshire 03871, grants to **KATHERINE HENDERSON ADAMS and BENJAMIN DANIEL ADAMS**, husband and wife, of 38 Windsor Lane, Exeter, New Hampshire 03833, as joint tenants with rights of survivorship, with QUITCLAIM COVENANTS, the following described premises:

Two certain parcels of land together with the buildings thereon situate on the Westerly and Easterly sides of NH Route 85, also known as Newfields Road, in Exeter, County of Rockingham and State of New Hampshire, consisting of the 8.20 acre and the 1.49 acre portions of Parcel A as shown on a plan of land entitled "Subdivision of Land, Exeter, N.H., for the Estate of Leona D. Henderson, July 11, 1985," by John W. Durgin Associates, Inc., approved by Exeter Planning Board on July 18, 1985, and recorded in Rockingham County Registry of Deeds as Plan D-13883, bounded and described as follows:

PARCEL I: Part of Parcel A (8.20 acres) being land and buildings on the Westerly side of NH Route 85.

Beginning at an iron rod set in the ground on the Northwesterly sideline of said Newfields Road at the Easterly corner of land now or formerly of George and Muriel Simmons and thence running N 15° 36' 30" E by said Simmons land two hundred forty-nine and fifty hundredths (249.50) feet to a point at the end of a chain link fence; thence turning and running N 68° 26' 05" W by said Simmons land a distance of two hundred thirteen and fifty hundredths (213.50) feet to a found bound the Southeasterly sideline of land of the Boston and Maine Corporation, which said point is N 68° 26' 05" W a distance of two and forty-six hundredths (2.46) feet from a bound found; thence turning and running N 31° 00' 25" E along the Southeasterly sideline of said land of the Boston and Maine Corporation a distance of seven hundred fifty-six and thirty-two hundredths (756.32) feet to a granite bound at Parcel B, as

shown on said plan, thence turning and running S 58° 59' 25" E a distance of four hundred sixty-two and twenty hundredths (462.20) feet along said Parcel B to an iron pipe set in the ground at a stone wall on the Westerly sideline of Route 85 (Newfields Road); thence turning and running S 30° 38' 50" W along said stone wall and by Route 85 (Newfields Road) four hundred fifty-two and ninety-five hundredths (452.95) feet to a point; thence turning and running S 41° 24' 50" W by said Route 85 (Newfields Road) one hundred fifty-one and twelve hundredths (151.12) feet to a point at a chain link fence; and thence running Southwesterly by the arc of a curve to the right having a radius of eight hundred thirty-five and fifteen hundredths (835.15) feet a distance of three hundred ninety-five and twelve hundredths (395.12) feet to a point; thence turning and running S 68° 31' 20" W a distance of three and fifteen hundredths (3.15) feet to the iron rod at the point of beginning. Said parcel containing 8.20 acres according to said plan.

PARCEL II: Part of Parcel A (1.49 acres) being land on the Easterly side of NH Route 85.

Beginning at an iron rod set in the ground on the Easterly sideline of Route 85 (Newfields Road) and thence running S 59° 04' 15" E three hundred nine and ninety-seven hundredths (309.97) feet to a point on the Westerly bank of the Squamscott River; thence turning and running Southwesterly along the high waterline of said river six hundred forty-seven and twelve hundredths (647.12) feet, more or less, to a point; thence turning and running N 48° 35' 10" W six and seventy hundredths (6.70) feet to a point on the Easterly sideline of said highway; thence turning and running N 41° 24' 50" E along Route 85 (Newfields Road) eighty and ten hundredths (80.10) feet to a point; and thence running N 30° 38' 50" E by Route 85 (Newfields Road) four hundred fifty-eight and eighty-seven hundredths (458.87) feet to the point of beginning. Said parcel containing 1.49 acres according to said plan.

Meaning and intending to describe and convey the same premises conveyed to Warren C. Henderson by Fiduciary Deed of KeyBank National Association, successor by merger to Society National Bank, as Trustee of the Warren S. Henderson Trust, dated October 1, 2018 and recorded in the Rockingham County Registry of Deeds prior hereto.

The foregoing conveyance is made together with and subject to all other rights, restrictions, easements, covenants, conditions, mortgages, encumbrances and other matters of record to the extent in force and applicable.

This deed was prepared without the benefit of a title examination as requested by the parties.

This is not homestead property of Grantor, nor of his spouse.

[NO FURTHER TEXT ON THIS PAGE. SIGNATURE PAGE(S) TO FOLLOW]

EXECUTED this 27 day of OCTOBER, 2018.

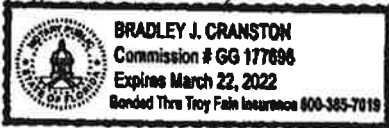
[Signature]
Witness

[Signature]
Warren C. Henderson

FLORIDA
STATE OF (NEW HAMPSHIRE)
COUNTY OF (ROCKINGHAM) ss. MAWAUF

On this 27th day of October, 2018, before me, personally appeared Warren C. Henderson, known to me, or proven to me through satisfactory evidence of identification, to be the individual whose name is subscribed to the foregoing instrument, and acknowledged that he executed the same for the purposes therein contained.

(Affix Notarial Seal)



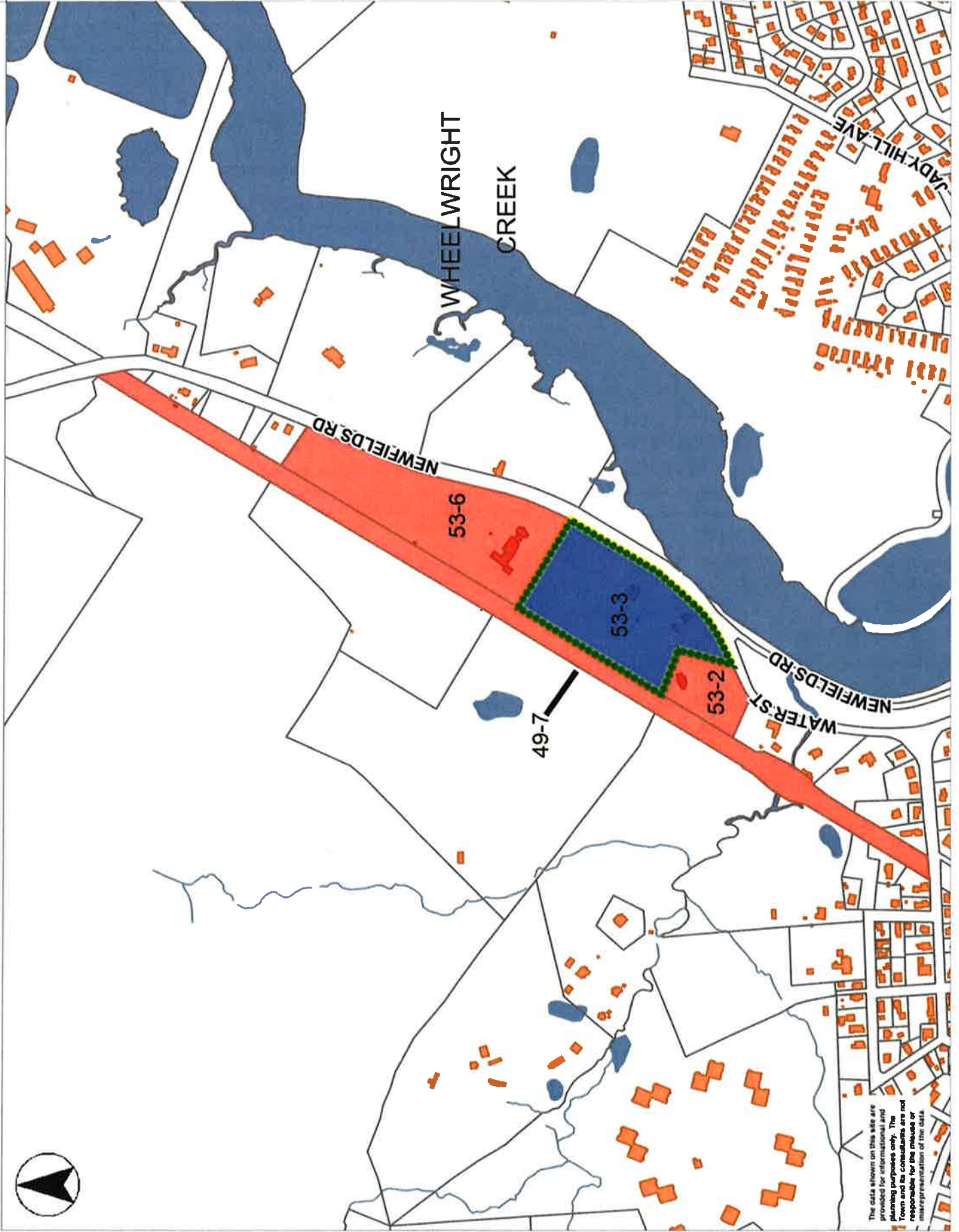
[Signature]
Notary Public / Justice of the Peace
Printed Name: BRADLEY J. CRANSTON
My Commission expires: 03/22/2022

*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

**Abutter Notification Information & Tax Map
Town & River Advisory Mailing Receipts**



- Parcels
- NH Highways
- Interstate
- US Highway
- State Highway
- Town Boundary
- Abutting Towns
- Streets (Updated Septemb
- Misc Streams
- Parcel Streams
- Open Water
- Buildings



The data shown on this site are provided for informational and planning purposes only. The Town and its Commissioners are not responsible for the accuracy or representation of the data.



Printed on 11/02/2018 at 10:51 AM

Direct Abutters to Subject Property Lot 053-003-0000

049-007-0000

BOSTON AND MAINE RAILROAD CORPORATION
1700 IRON HORSE PARK
NORTH BILLERICA, MA 01862-1681

053-002-0000

VAUGHAN KRISTIN CUSICK EILEEN M
348 WATER ST
EXETER, NH 03833

053-006-0000

TOOMEY JOHN P TOOMEY TERESA
2 NEWFIELDS RD
EXETER, NH 03833

November 1, 2018

«Name»

«Street»

«TownStateZip»

Re: 374 Water Street
Exeter, NH
Lot 053-003-0000

Dear Abutter:

The purpose of this letter is to inform you that Katie and John Adams have submitted a Shoreland Application to the NH Department of Environmental Services for construction of a single family home at 374 Water Street in Exeter, NH. DES requires this notice for work within 250 feet of the Squamscott River which lies across the street from the property. All proposed work will take place within the footprint of the existing house, driveway, and lawn area of property. After filing, copies of the application, including plans, will be made available for your review at the Exeter Town Hall and at the NH Department of Environmental Services Wetlands Bureau, 29 Hazen Drive, in Concord.

If you have any questions that we might be able to answer, please feel free to contact our office.

Sincerely,



Brendan Quigley, CWS
Gove Environmental Services, Inc.

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$ _____
 - Return Receipt (electronic) \$ _____
 - Certified Mail Restricted Delivery \$ _____
 - Adult Signature Required \$ _____
 - Adult Signature Restricted Delivery \$ _____

Postmark
Here

Boston and Maine Railroad
Corporation
1700 Iron Horse Park
North Billerica, MA 01862

Form 3800, April 2015 PSN 7530-02-900-0017 See Reverse for Instructions

U.S. Postal Service™
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- Return Receipt (hardcopy) \$ _____
 - Return Receipt (electronic) \$ _____
 - Certified Mail Restricted Delivery \$ _____
 - Adult Signature Required \$ _____
 - Adult Signature Restricted Delivery \$ _____

Postmark
Here

Vaughan Kristin Cusick Eileen M
348 Water Street
Exeter, NH 03833

Form 3800, April 2015 PSN 7530-02-900-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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 - Return Receipt (electronic) \$ _____
 - Certified Mail Restricted Delivery \$ _____
 - Adult Signature Required \$ _____
 - Adult Signature Restricted Delivery \$ _____

Postmark
Here

Toomey John P Toomey Teresa
2 Newsfields Road
Exeter, NH 03833

Form 3800, April 2015 PSN 7530-02-900-9047 See Reverse for Instructions

*Shoreland Permit Application
Single Family Home Reconstruction
374 Water Street
Exeter, NH
November 2, 2018*

Plans

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
EDGE OF RIVER	---
EDGE OF PAVEMENT	---
PROPERTY LINE SUPERSEDED	---
RAIL ROAD TRACKS	---
UTILITY POLE	○
SEWER PUMP STATION	⊙
OVERHEAD LIGHT	○
WATER SHUTOFF PER EXETER DPW	○
WATER LINE PER EXETER DPW	---
APPROX. DRAIN LINE	---
IRON PIN SET WITH CAP	IP(S)
IRON PIN FOUND	IPIN(F)
GRANITE BOUND FOUND	GBND(F)
DRILL HOLE SET	DH(S)
MASONRY WALL WITH PILLAR	---
CULVERT	---
GRANITE BOUND	---
IRON PIN	○
SIGN	---
STONE RETAINING WALL	---
WIRE FENCE REMNANTS	---
POST AND RAIL FENCE	---
SHORELAND SETBACK	---
OVERHEAD ELECTRIC	---
EDGE OF CONSERVATION EASE.	---
APPROX. UNDERGROUND GAS	---
EDGE OF FLAGGED WETLANDS	---
GRANITE CURB	---
2 FOOT CONTOUR	---

- PLAN REFERENCES:**
- 1) "SUBDIVISION OF LAND EXETER NH, FOR THE ESTATE OF LEONA D. HENDERSON" BY JOHN W. DURGIN ASSOCIATES, INC., DATED JULY 11, 1985, RCRD PLAN #D-13883.
 - 2) "BOUNDARY PLAN TAX MAP 08-03 BLOCK 08 PARCEL 001 AS DRAWN FOR TOWN OF EXETER, NH," BY WALTER J. ZNEARCAN, DATED DEC. 1984, RCRD PLAN # D-23637.
 - 3) "WRIGHT PIERCE MAIN PUMP STATION, FORCEMAIN AND WATER MAIN IMPROVEMENT PLANS FOR TOWN OF EXETER NH., DATED SEPT. 2015
 - 4) "PLAN OF NATHANIEL SWASEY FARM AT EXETER, NH" BY ARTHUR W. DUDLEY, DATED JANUARY 1988, RCRD PLAN #00153.
 - 5) "PLAN OF PROPOSED SEWERAGE SYSTEM FOR WARREN HENDERSON" EXETER, N.H. BU JOHN W. DURGIN, DATED MARCH 1976, FILE #1650

N/T JOHN P. TOOMEY
TERESA TOOMEY
MAP 53 LOT 4
RCRD BK. 5516 PG. 135
RCRD PLAN D-13883

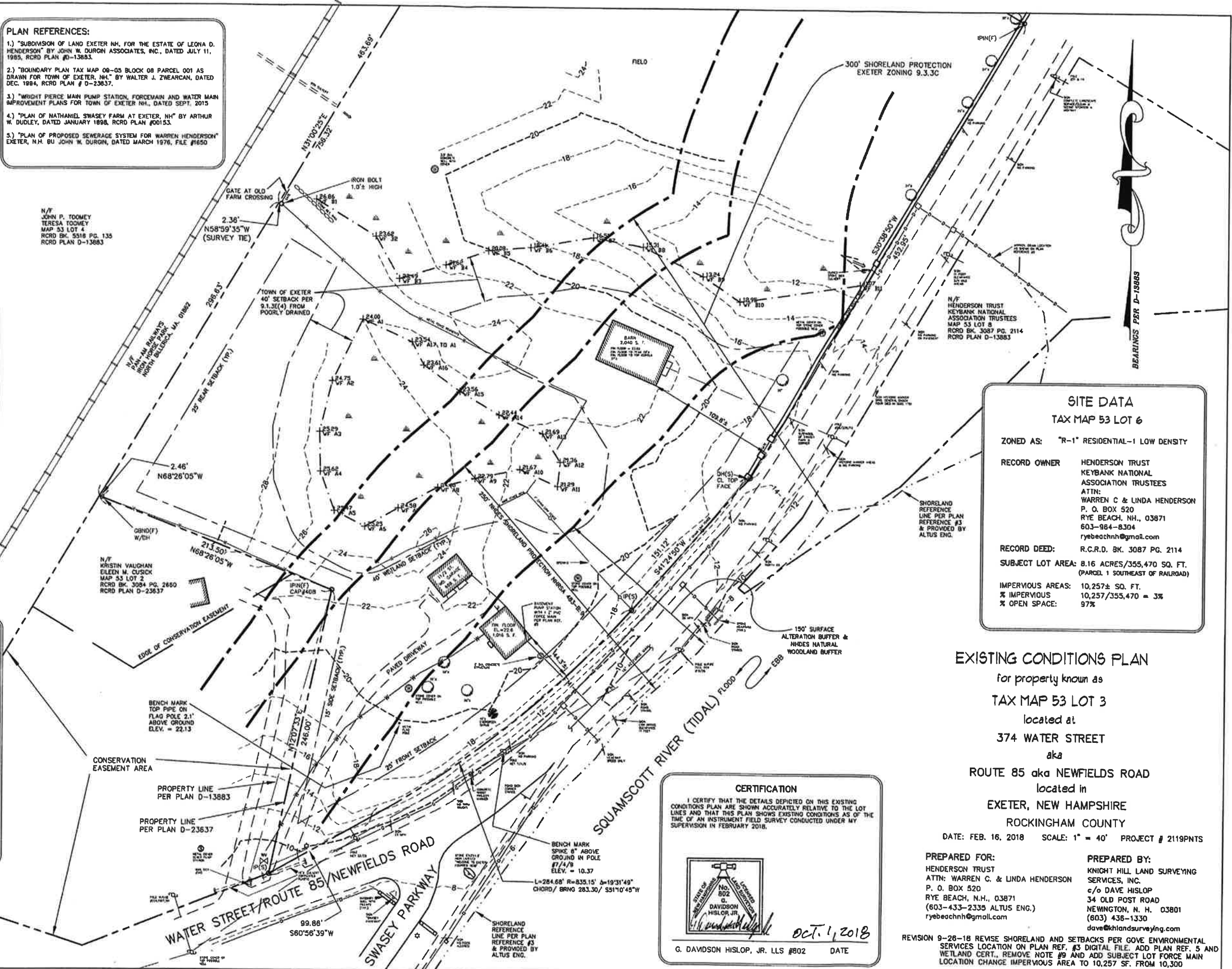
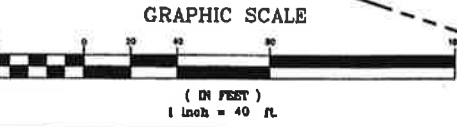
- GENERAL NOTES:**
- 1.) THE DETAILS SHOWN ON THIS EXISTING CONDITIONS WORKSHEET ARE THE RESULTS OF AN ON THE GROUND INSTRUMENT FIELD SURVEY BY KNIGHT HILL LAND SURVEYING SERVICES, INC. CONDUCTED FEBRUARY 2018.
 - 2.) THE ELEVATION DATUM WAS ESTABLISHED FROM A WRIGHT PIERCE BENCH MARK LABELED 1098-F ON DRAWING PC-7 OF WRIGHT PIERCE PLANS (PLAN REF. 3). THE BENCH MARK IS A SPIKE 6"± ABOVE THE GROUND IN POLE #7/4/9/9. BASED ON COMPARISON OF A 2008 SURVEY OF THE NORTH ABUTTER BY JONES AND BEACH ENGINEERS THIS DATUM IS BASED ON NGVD29.
 - 3.) THE BEARINGS ARE BASED ON PLAN REFERENCE #1 RCRD PLAN D-13883.
 - 4.) SUBJECT LOT APPLIED FOR THE LAND USE CHANGE TAX SEPT. 5, 2017 PER RCRD 5855 PG. 2373. THE SUBJECT PROPERTY BECAME LESS THAN 10 ACRES IN 2014 SO AT THAT TIME IT NO LONGER QUALIFIED TO REMAIN IN CURRENT USE.
 - 5.) SUBJECT LOT MAY BE SUBJECT TO A 35' WIDE GAS LINE RIGHT OF WAY PER 1956 DEED FROM LEONA D. HENDERSON RCRD BK. 1374 PG. 146. THE GAS LINE IS CURRENTLY IN THE ROAD. DEED SPECIFICS THAT "SIDELINES OF 35' STRIP SHALL NOT BE WITHIN 10' OF STONE WALL AND IN NO EVENT GO OVER OR UNDER STONE WALL" SEE DEED FOR MORE SPECIFIC DETAILS.
 - 6.) SUBJECT LOT HAS MUNICIPAL WATER SERVICE THAT IS SHOWN HEREON AS MARKED BY EXETER DPW MUNICIPAL SEWER FORCE MAIN CONNECTION IS AS SHOWN PER PLAN REF. 5. THERE IS A 3" DIAMETER CONCRETE CHAMBER IN FRONT OF HOUSE THAT MAY BE FOR SEWER THAT CONNECTS TO FORCE MAIN DOWN IN THE ROAD.
 - 7.) SUBJECT LOT KNOWN AS TAX MAP 53 LOT 3 DOES NOT LIE IN A FLOOD ZONE PER FLOOD INSURANCE MAP #33015C0402E WITH AN EFFECTIVE DATE OF 5-17-2015.
 - 8.) SUBJECT LOT MAY BE SUBJECT TO RAILROAD CROSSING RIGHTS THRU THE GATE SHOWN HEREON ABOUT 300' FROM SW LOT CORNER. SEE DEED BK. 5016 PG. 135 FOR MAP 53 LOT 4.
 - 9.) REMOVED

CERTIFICATION

VEGETATED WETLAND BOUNDARIES WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES ON 11/22/17 UTILIZING THE FOLLOWING STANDARDS:

1. US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN 1987) AND REGIONAL SUPPLEMENT TO CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.0, 2016 AND (FOR DISTURBED SITES) NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2017 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
3. NATIONAL WETLAND PLANT LIST, VERSION 5.3 (2018).

BRENDON QUIGLEY, CWS #249 DATE



SITE DATA
TAX MAP 53 LOT 6

ZONED AS: "R-1" RESIDENTIAL-1 LOW DENSITY

RECORD OWNER: HENDERSON TRUST
KEYBANK NATIONAL ASSOCIATION TRUSTEES
ATTN: WARREN C & LINDA HENDERSON
P. O. BOX 520
RYE BEACH, NH., 03871
603-964-8304
ryebecchnh@gmail.com

RECORD DEED: R.C.R.D. BK. 3087 PG. 2114

SUBJECT LOT AREA: 8.16 ACRES/355,470 SQ. FT. (PARCEL 1 SOUTHEAST OF RAILROAD)

IMPERVIOUS AREAS: 10,257± SQ. FT.
% IMPERVIOUS: 10,257/355,470 = 3%
% OPEN SPACE: 97%

EXISTING CONDITIONS PLAN
for property known as
TAX MAP 53 LOT 3
located at
374 WATER STREET
aka
ROUTE 85 aka NEWFIELDS ROAD
located in
EXETER, NEW HAMPSHIRE
ROCKINGHAM COUNTY

DATE: FEB. 16, 2018 SCALE: 1" = 40' PROJECT # 2119PNTS

CERTIFICATION

I CERTIFY THAT THE DETAILS DEPICTED ON THIS EXISTING CONDITIONS PLAN ARE SHOWN ACCURATELY RELATIVE TO THE LOT LINES AND THAT THIS PLAN SHOWS EXISTING CONDITIONS AS OF THE TIME OF AN INSTRUMENT FIELD SURVEY CONDUCTED UNDER MY SUPERVISION IN FEBRUARY 2018.

G. DAVIDSON HISLOP, JR. ILS #802 DATE

Oct. 1, 2018

PREPARED FOR:
HENDERSON TRUST
ATTN: WARREN C. & LINDA HENDERSON
P. O. BOX 520
RYE BEACH, N.H., 03871
(603-433-2339 ALTUS ENG.)
ryebecchnh@gmail.com

PREPARED BY:
KNIGHT HILL LAND SURVEYING SERVICES, INC.
c/o DAVE HISLOP
34 OLD POST ROAD
NEWINGTON, N. H. 03801
(603) 436-1330
dave@khlansurveying.com

REVISION 9-26-18 REVISE SHORELAND AND SETBACKS PER GOVE ENVIRONMENTAL SERVICES LOCATION ON PLAN REF. #3 DIGITAL FILE. ADD PLAN REF. 5 AND WETLAND CERT., REMOVE NOTE #9 AND ADD SUBJECT LOT FORCE MAIN LOCATION CHANGE IMPERVIOUS AREA TO 10,257 SF. FROM 10,300

ZONING SUMMARY:

APPLICANT/OWNER: HENDERSON TRUST
374 WATER STREET
EXETER, NH 03833
PROPERTY REFERENCE: TAX MAP 53, LOT 3
DEED REFERENCE: 3087 / 2114
LOT SIZE: 8.16 ACRES
ZONING DISTRICT: R1 - RESIDENTIAL LOW DENSITY
EXISTING USE: SINGLE RESIDENCE
SITE SERVICED WITH MUNICIPAL WATER AND SEWER
RESIDENTIAL - LOW DENSITY (R-1) ZONE REQUIREMENTS:
LOT AREA: 2 AC. REQUIRED, 8.16 AC. PROVIDED
FRONT YARD SETBACK: 25 FEET, >25 FEET
SIDE YARD SETBACK: 10 FEET, >10 FEET
REAR YARD SETBACK: 25 FEET, >25 FEET
OPEN SPACE (MIN.): 70X, >70X
WETLANDS SETBACKS: PO SOIL - NO DISTURBANCE: 40 FEET, >40 FEET
ESTIMATED AREA OF DISTURBANCE: < 1 ACRE
CHANGE IN IMPERVIOUS AREA: -21 S.F. (NET DECREASE)

- NOTES:
1. THE INTENT OF THIS PLAN IS TO SHOW THE RAZING AND PROPOSED DEVELOPED AREA WITHIN EXETER'S SHORELAND PROTECTION ZONE AND DOCUMENT IMPERVIOUS AREA.
2. THE INFORMATION SHOWN ON THIS DRAWING SHALL NOT BE COPIED TO ANOTHER DRAWING WITHOUT THE WRITTEN CONSENT OF ALTUS ENGINEERING, INC.
3. EXISTING CONDITIONS ARE BASED ON PLAN REFERENCE #1.
4. THIS PLAN DEPICTS THE SOUTHEASTERN PORTION OF MAP 53 LOT 3.
5. SEE PLAN REFERENCE #1 FOR PROJECT BENCHMARKS AND ADDITIONAL INFORMATION.
6. JURISDICTIONAL WETLANDS FLAGGED NOVEMBER 22, 2017 BY GOVE ENVIRONMENTAL SERVICES, INC.
7. PROPOSED BUILDING FOOTPRINT BASED ON CAD DATA PROVIDED BY LIVING SPACES, INC. ON SEPTEMBER 18, 2018.
8. ANY REVISIONS TO BUILDING FOOTPRINT OR CHANGE OF IMPERVIOUS AREA SHALL BE SUBMITTED TO EXETER CODE ENFORCEMENT OFFICE FOR REVIEW PRIOR TO CONSTRUCTION.
9. OBTAIN ALL APPLICABLE TOWN AND STATE PERMITS PRIOR TO CONSTRUCTION.
10. THE PROPOSED PROJECT IS LOCATED WITHIN THE STATE 250' PROTECTED SHORELAND. OBTAIN A NHDES - SHORELAND PERMIT PRIOR TO CONSTRUCTION.
11. FLAG LIMITS OF 40 FT WETLAND BUFFER PRIOR TO CONSTRUCTION.
12. INSTALL SILT BARRIERS AT THE LIMIT OF DISTURBANCE. INSTALL AND MAINTAIN ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT SILT FROM LEAVING THE WORK AREA.
13. REFER TO ARCHITECTURAL AND PLUMBING DRAWINGS FOR UTILITY CONNECTIONS TO THE PROPOSED RESIDENCE.
14. CONSTRUCT PROJECT IN COMPLIANCE WITH ALL APPLICABLE TOWN AND STATE REGULATIONS.

- PLAN REFERENCE:
1. "EXISTING CONDITIONS PLAN, TAX MAP 53 LOT 3, 374 WATER STREET (ROUTE 85 AKA NEWFIELDS ROAD), EXETER, NEW HAMPSHIRE", BY KNIGHT HILL LAND SURVEYING SERVICES, INC., DATED FEBRUARY 16, 2018
2. "PLAN OF PROPOSED SEWERAGE SYSTEM FOR WARREN HENDERSON", BY JOHN W. DURGIN, CIVIL ENGINEERS P.A., MARCH 1978
3. "TOWN OF EXETER, NH CONTRACT DRAWINGS NO. 2, MAIN PUMP STATION, FORCE MAIN AND WATER MAIN IMPROVEMENTS", BY WRIGHT-PIERCE, DATED SEPTEMBER 2015

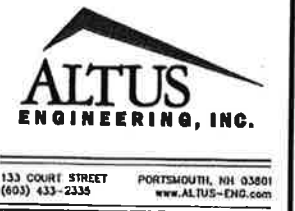
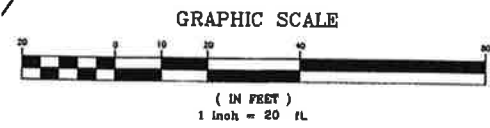
LEGEND
PROPERTY LINE
SETBACK LINE
EDGE OF PAVEMENT
EDGE OF FLAGGED WETLANDS
40' NO CUT WETLANDS BUFFER
SHORELAND REFERENCE LINE
EXETER 150' SURFACE ALTERATION BUFFER
NH 250' SHORELAND PROTECTION
EXETER 300' SHORELAND PROTECTION
WF A# WETLAND FLAG NUMBER



MAP 53 LOT 2



SUMMARY TABLE
IMPERVIOUS AREA PRE POST CHANGE
PAVEMENT 4,651 S.F. 3,486 S.F. (INCL PAVERS)
HOUSE & GARAGE 1,704 S.F. 2,804 S.F.
BARN & RAMP 2,102 S.F. 2,102 S.F.
STONEWALL 1,800 S.F. 1,800 S.F.
EQUIPMENT PADS 38 S.F. 38 S.F.
STONE PIPES 8 S.F. 8 S.F.
TOTAL 10,257 S.F. 10,236 S.F. -21 S.F.
150' SURFACE ALTERATION BUFFER DEVELOPED AREA 1,084 S.F. 1,080 S.F. - 4 S.F.



NOT FOR CONSTRUCTION
ISSUED FOR: PERMITTING
ISSUE DATE: SEPTEMBER 28, 2018

REVISIONS
NO. DESCRIPTION BY DATE
0 INITIAL SUBMISSION JKC 9/28/18

DRAWN BY: RMB
APPROVED BY: JKC
DRAWING FILE: 4893SITE.DWG

SCALE:
11"x17": 1" = 40'
22"x34": 1" = 20'

OWNER/APPLICANT:
HENDERSON TRUST
374 WATER STREET
EXETER, NH 03833

PROJECT:
HOUSE RECONSTRUCTION

TAX MAP 53 LOT 3
374 WATER STREET
EXETER, NH 03833

TITLE:
SITE PLAN
SHEET NUMBER:
C-1

BUILDING INSPECTOR HAS AUTHORIZED THE RAZING AND RECONSTRUCTION OF THE SINGLE-FAMILY RESIDENCE AROUND THE CURRENT FOOTPRINT.



NOT FOR CONSTRUCTION

ISSUED FOR: **PERMITTING**

ISSUE DATE: **OCTOBER 30, 2018**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	JKC	9/30/18

DRAWN BY: **RMB**
APPROVED BY: **JKC**
DRAWING FILE: **4893SITE.DWG**

SCALE:
11"x17": 1" = 40'
22"x34": 1" = 20'

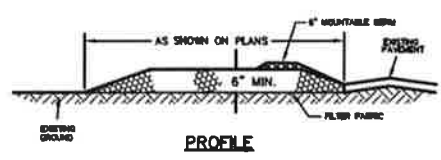
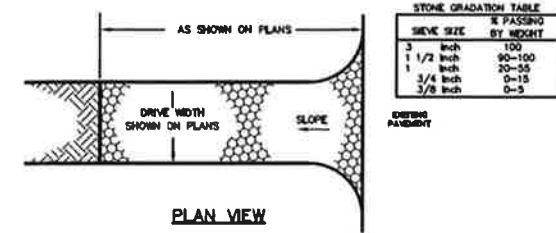
OWNER/APPLICANT:
HENDERSON TRUST
374 WATER STREET
EXETER, NH 03833

PROJECT:
HOUSE RECONSTRUCTION

TAX MAP 53 LOT 3
374 WATER STREET
EXETER, NH 03833

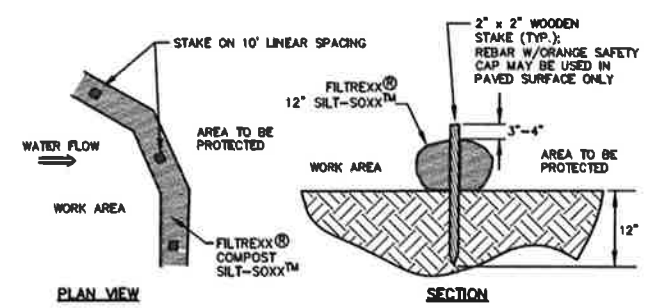
TITLE:
SITE PREPARATION PLAN

SHEET NUMBER:
C - 1A



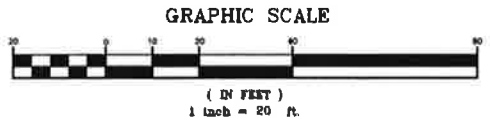
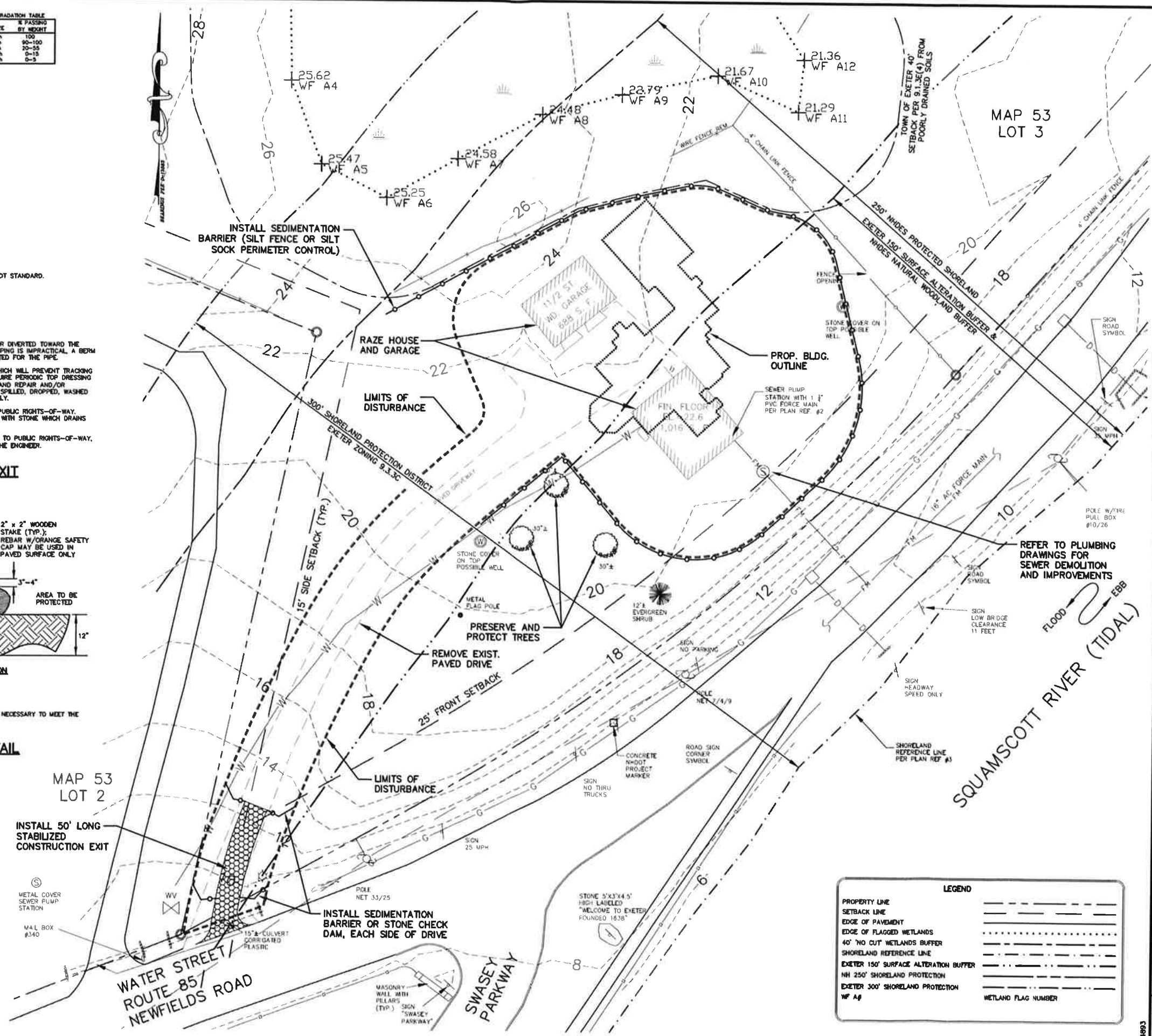
- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - MHDOT STANDARD STONE SIZE #4 - SECTION 703 OF MHDOT STANDARD.
 - LENGTH - DETAILED ON PLANS (50 FOOT MINIMUM).
 - THICKNESS - SIX (6) INCHES (MINIMUM).
 - WIDTH - FULL DRIVE WIDTH UNLESS OTHERWISE SPECIFIED.
 - FILTER FABRIC - MIRAFI 600X OR EQUAL APPROVED BY ENGINEER.
 - SURFACE WATER CONTROL - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AT ALL ENTRANCES TO PUBLIC RIGHTS-OF-WAY, AT LOCATIONS SHOWN ON THE PLANS, AND/OR WHERE AS DIRECTED BY THE ENGINEER.

STABILIZED CONSTRUCTION EXIT
NOT TO SCALE



- NOTES:**
- SILT-SOXX OR APPROVED EQUAL SHALL BE USED FOR SEDIMENT BARRIERS.
 - ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 - SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 - ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

SEDIMENT BARRIER DETAIL
NOT TO SCALE



LEGEND

PROPERTY LINE	---
SETBACK LINE	---
EDGE OF PAVEMENT	---
EDGE OF FLAGGED WETLANDS	---
40' NO CUT WETLANDS BUFFER	---
SHORELAND REFERENCE LINE	---
EXETER 150' SURFACE ALTERATION BUFFER	---
NH 250' SHORELAND PROTECTION	---
EXETER 300' SHORELAND PROTECTION	---
WF A#	---
WETLAND FLAG NUMBER	---

October 31, 2018
Revised: November 29, 2018

Dave Sharples, Town Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

Re: 159 Epping Road
Map 47, Lot 9.02

Sub: Conditional Use Permit

REQUEST FOR CONDITIONAL USE PERMIT

The Applicant, Salema K.I.D.S. Realty Ventures LLC is requesting, pursuant to Article 9.3.4.G.2 of the Zoning Ordinance, the Planning Board to issue conditional use permit for the following:

1. Construction of a 7,011-sf commercial building consisting of a 1,941-sf donut shop with drive-thru window and 5,070-sf retail space located in the C-3 Zoning District. Access to the development will be through a full access driveway curb cut located along Epping Road and will also include a paved parking lot consisting of 39 parking spaces, fenced dumpster area, landscaping, utility connections, erosion control measures and a stormwater management plan.

CRITERIA FOR ISSUANCE OF CONDITIONAL USE PERMITS

The Planning Board may grant a Conditional Use Permit for those uses listed above only after written findings of fact are made which have been reviewed by technical experts from the Rockingham Conservation District, if required by the Planning Board, at the cost of the developer, provided that all of the following are true:

a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions;

The proposed development has been designed with a stormwater management system consistent with both Town and State standards and includes bio-retention areas sized to treat onsite stormwater generated from the parking lot and drive aisles. The proposed systems provide treatment of nitrogen, phosphorous as well as total suspended solids and metals including copper, lead, zinc and cadmium.

b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wasters as herein defined;



The project has been designed with a connection to the Town sanitary sewer system located within Epping Road. Onsite sewer infrastructure will also include installation of a 1,500-gallon exterior grease trap and provide a fenced dumpster enclosure. No onsite storage of hazardous or toxic materials are proposed.

c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat;

No wetlands are proposed to be filled or altered and proposed work is shown only along the perimeter of the wetland resource area buffer zones generally consisting of grading and stormwater improvements.

d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article;

The proposed use is an allowed use within the C-3 Zoning District and is an allowed use within the Shoreland Projection District being a commercial use. Additionally, the proposed drainage infrastructure is also an allowed use within the District.

e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose;

The proposed use is consistent with the intent of the underlying zoning district, surrounding existing uses and provides a site design that minimizes impacts to buffer zones and resource areas while providing the adequate treatment measures to manage onsite stormwater runoff.

For the reasons above, and in accordance with Article 9.3.4.G.2 of the Zoning Ordinance, the Applicant believes it is entitled to a conditional use permit since it has met the above criteria as described above.

Please review the above information and should you have any questions, please feel free to contact our office at your convenience.

Sincerely yours,
MHF Design Consultants, Inc.

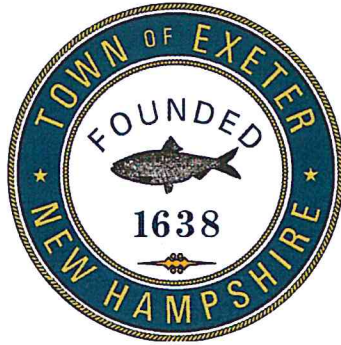
A handwritten signature in blue ink, appearing to read 'Chris Tymula', is written over the typed name and title. The signature is fluid and cursive.

Chris Tymula
Project Manager

F:\Projects\Eng\432817\PB Information\4328-Conditional Use Permit Criteria.doc
CR 432817

cc: Durval Salema, Salema K.I.D.S. Realty Ventures LLC

Town of Exeter



Planning Board Application for Conditional Use Permit: Shoreland Protection District

February 2017



Town of Exeter Planning Board Application

Conditional Use Permit: Shoreland Protection District In accordance with Zoning Ordinance Article: 9.3

SUBMITTAL REQUIREMENTS:

(see Conservation Commission and Planning Board meeting dates and submission deadlines)

1. One (1) electronic copy of full application, including plans (color copy if available)
2. Fifteen (15) copies of the Application
3. Fifteen (15) 11"x17" and three (3) full sized copies of the plan which must include:
 - Existing Conditions
 - a. Property Boundaries
 - b. Edge of Shoreland and associated Buffer (Shoreland Protection District – SPD)
 - c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - Proposed Conditions
 - a. Edge of Shoreland and Shoreland Buffers and distances to the following:
 - i. Edge of Disturbance
 - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - b. Name and phone number of all individuals whose professional seal appears on the plan
4. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
5. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
6. A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:

Planning Board Fee: **\$50.00** Abutter Fee: **\$10.00** Recording Fee (if applicable): **\$25.00**

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: Durval Salema c/o Salema K.I.D.S. Realty Ventures LLC
	Address: 369 Lafayette Road, Hampton, NH 03842
	Email Address: durvalsalema@yahoo.com
	Phone: 603-495-5967
PROPOSAL	Address: 159 Epping Road
	Tax Map # <u>47</u> Lot# <u>9.02</u> Zoning District: <u>C-3</u>
	Owner of Record: CKT & Associates
Person/Business performing work outlined in proposal	Name: Chris Tymula, MHF Design Consultants, Inc.
	Address: 44 Stiles Road, Suite One, Salem, NH 03079
	Phone: 603-893-0720
Professional that delineated wetlands	Name: Steven D. Riker, Ambit Engineering, Inc.
	Address: 200 Griffin Road, Unit 3, Portsmouth, NH 03801
	Phone: 603-430-9282

**Town of Exeter
 Planning Board Application
 Conditional Use Permit: Shoreland Protection District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

Proposal includes construction of a 7,011-sf commercial building consisting of a 1,941-sf donut shop with dual drive-thru window and 5,070-sf retail space. Access to the development will be through a full access driveway curb cut located along Epping Road. Development will also include a paved parking lot consisting of 39 parking spaces, fenced dumpster area, landscaping, utility connections, erosion control measures and a stormwater management plan designed in accordance with local requirements.

Shoreland Protection District Impact (in square footage):

Water Body	Watson Brook	
Temporary Impact	<input type="checkbox"/> 300 Foot SPD	_____
	<input checked="" type="checkbox"/> 150 foot SPD	<u>5,700-sf</u>
	<input type="checkbox"/> SPD Building Setback	_____
	<input type="checkbox"/> 75 Vegetative Buffer	_____
Permanent Impact	<input type="checkbox"/> 300 Foot SPD	_____
	<input checked="" type="checkbox"/> 150 foot SPD	<u>12,083-sf</u>
	<input checked="" type="checkbox"/> SPD Building Setback	<u>>151'</u>
	<input checked="" type="checkbox"/> 75 Vegetative Buffer	<u>1,211-sf</u>
Impervious Lot Coverage	SF of Lot within District	<u>145,797-sf</u>
	SF of Impervious within District	<u>4,091 sf</u>
	% of Impervious within District	<u>2.8 %</u>

List any variances/special exceptions granted by Zoning Board of Adjustment including dates: N/A

Describe how your proposal meets the conditions of Article 9.3.4.G.2 of the Zoning Ordinance (attached for reference): See attached criteria letter.

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP _____
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ADDRESS _____

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Please attach additional sheets if needed

Conditional Use Permit Criteria
Shoreland Protection District

9.3.4 G Conditional Uses:

2. The Planning Board may grant a Conditional Use Permit for those uses listed above only after written findings of fact are made which have been reviewed by technical experts from the Rockingham Conservation District, if required by the Planning Board, at the cost of the developer, provided that all of the following are true:

- a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.
- b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined.
- c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.
- d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article.
- e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose.

October 31, 2018
Revised: November 29, 2018

Dave Sharples, Town Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

Re: 159 Epping Road
Map 47, Lot 9.02

Sub: Waiver Request

Dear Mr. Sharples,

On behalf of our client, Salema K.I.D.S. Realty Ventures LLC, MHF Design Consultants, Inc. is requesting a Waiver from Section 9.9.2, Wetland Setbacks, in the Site and Subdivision Regulations which provides the minimum required setback/no cut/no disturbance of 40' to a wetland and 50' to very poorly drained soils.

CRITERIA FOR ISSUANCE OF WAIVERS:

9.9.3 Wetland Waiver Guidelines: In accordance with Section 13, a request for waiver(s) from the setbacks defined in 9.9.2 shall be submitted in writing by the applicant along with the application for Board review. In addition to the finding addressed under Section 13-1 General, the Board should consider the following if relief is requested:

- 1. The relative “value” of the wetland, including its ecological sensitivity, as well as its function within the greater hydrologic landscape shall be compared to the proposed impact.** Gove Environmental Services, Inc provided a letter regarding the values of the existing wetland and ecological sensitivity and their letter is attached for reference.
- 2. A wetland scientist has conducted a “function and values” study of the wetlands and deemed that the wetlands under consideration will not be negatively impacted by the development.** Gove Environmental Services, Inc provided a letter regarding the functions and values of the existing wetland system and their letter is attached for reference.
- 3. The Applicant has demonstrated that the use cannot be reasonably carried out on a portion or portions of the lot which are outside of the buffer.** Based on the extent of the wetlands in the rear of the property and associated buffers along with required building setbacks based on current zoning, the proposed development was designed to minimize disturbance in buffers to the maximum extent practicable. Retaining walls were proposed along the rear of the site to minimize buffer zone impacts and pavement was limited within the buffer zones as well.
- 4. The applicant has made a substantial effort to minimize the impacts to the buffer.** The plans have been revised to minimize impacts within the buffer zone with by incorporating a retaining wall system to reduce grading and tree clearing.

5. Consideration of waivers requested for constructed drainage facilities within the no-disturbance buffer should be determined by all of the following:

- a) **Assurance that the drainage facility has the most current water quality features that would provide measured reductions in potential pollutants typical to the proposed development:** Onsite stormwater has been designed to meet current Town/State guidelines for treatment and pollutant removal.
- b) **That a reasonable effort has been made to keep the disturbance to a minimum:** The proposed development was designed with approximately 7,418-sf of wetland buffer being impacted, or 5% of the total wetland resource/buffer zone area and reduced from previous submittals by approximately 6,000-sf. Parking has been reduced, removed from the 40' buffer zone and retaining walls and rock rip-rap slopes have been added to further reduce the disturbance within the wetland buffer areas.
- c) **Not more than 50% of the drainage structures are within the required buffer.** Only a small portion of one of the proposed four bio-retention areas is being proposed within the buffer zone. All other BMP's are clearly located outside the buffer zones.

6. Recommendations from Exeter's Conservation Commission should be reviewed and considered. Plans have been submitted to the Conservation Commission and comments will be considered as appropriate.

7. The applicant has prepared a mitigation proposal, including revegetating any disturbed area within the buffer to mimic preconstruction conditions or better. The applicant may also propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland. Disturbed areas along the downstream side of bio-retention areas #3 & #4 are shown to be seeded with New England Conservation/Wildlife Seed Mix to promote restoration of the buffer zone impacts.

The Planning Board may grant a Waiver from Section 9.9.2 based the below findings as follows:

13.7.1. The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property; The site was designed to eliminate any wetland impacts and a portion of site construction will occur within the buffer zones of resource areas consisting of site grading and minor pavement encroachments. The site was also designed to capture and treat all stormwater runoff into new drainage treatment systems prior to discharge to the wetland areas, consistent with treatment criteria of both the Town and State.

13.7.2. The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not applicable generally to other property; The site is bounded by a large wetland and stream tributary reducing the buildable footprint for site development. Additionally, the C-3 zoning setbacks to Epping Road requires the site improvements to be set back further from the ROW and into the wetland buffer areas.

13.7.3. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations are carried out; The site is

bounded by a large wetland and stream tributary reducing the buildable footprint for site development. Additionally, the C-3 zoning setbacks to Epping Road requires the site improvements to be set back further from the ROW and into the wetland buffer areas.

13.7.4. The granting of the waiver will not be contrary to the spirit and intent of the regulations; The parcel of land being developed is approximately 5.7-ac or 247,742-sf in size with approximately 153,347-sf of the lot consisting of wetland resource areas and corresponding 40' buffer zone. The proposed development was designed with approximately 7,418-sf of wetland buffer being impacted, or 5% of the total wetland resource/buffer zone area. Efforts were made to minimize impacts to said buffers to the maximum extent possible based on the size of the surrounding wetland areas, buffers and building setbacks required in the C-3 zoning district.

13.7.5. The waiver will not, in any manner, vary the provisions of the Zoning Ordinance or Master Plan. The proposed use is consistent with the intent of the underlying zoning district, surrounding existing uses and provides a site design that minimizes impacts to buffer zones and resource areas while providing the adequate treatment measures to manage onsite stormwater runoff.

Please review the above information and should you have any questions, please feel free to call our office at your convenience.

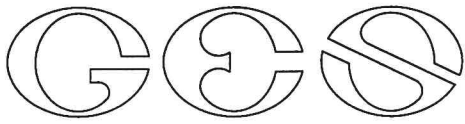
Very Truly Yours,
MHF Design Consultants, Inc.



Chris Tymula
Project Manager

CR 432817
F:\Projects\Eng\432817\432817-Waiver Request-Rev1.doc

Cc: Durval Salema, Salema K.I.D.S. Realty Ventures LLC



Chris Tymula
Project Manager
MHF Design Consultants, Inc.
Salem, NH 03709

Re: Route 27 Exeter, NH
Subject: Wetland Functions and Values

Dear Mr. Tymula:

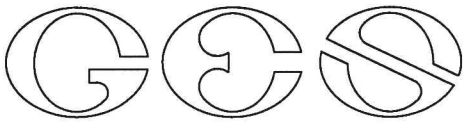
Per your request, this letter is to verify that Gove Environmental Services, Inc., performed an evaluation of the above-referenced site's functions and values. Functions and values are based on the NH Method and are listed below.

- (1) Ecological integrity;
- (2) Wildlife habitat;
- (3) Finfish habitat;
- (4) Educational potential
- (5) Visual/aesthetic quality;
- (6) Water based recreation;
- (7) Flood control potential;
- (8) Ground water use potential;
- (9) Sediment trapping;
- (10) Nutrient attenuation;
- (11) Shoreline anchoring and dissipation of erosive forces;
- (12) Urban quality of life potential;
- (13) Historical site potential; and
- (14) Noteworthiness.

The wetlands associated with the site are a combination of poorly and very poorly drained, with various classifications of emergent, scrub shrub and forested areas. The wetland contains a significant area of wetland not directly associated with the stream that is considered riparian and not influenced by the flow of water. This area has the ability to hold floodwaters and to attenuate any storm water possibly coming off of Route 27, which is directly adjacent to the site. This area is closest to the proposed development.

The remaining portion of the wetland is associated with a tributary to Norris Brook. This area is part of a perennial stream that has significant, continuous flow through the rear of the site. This stream has significant herbaceous, and root material that aids in the ability to protect against erosion from upstream floodwaters, as well as sediment trapping.

Overall this wetland is fairly large and has significant habitat potential for wildlife, mainly in the form of small nesting birds and possibly some finfish, as well as additional water dependant organisms.



GOVE ENVIRONMENTAL SERVICES, INC.

The revised site plan shows a well-maintained buffer to the wetland, as well as storm water design to ensure that no sediment or pollutants reach the wetland. With these provisions designed into the project, I would not expect any detrimental effects on the wetland system from the proposed design.

Please let me know if you have any questions or need anything else.

Sincerely,

Luke D. Hurley, CWS, CSS
Vice President
Gove Environmental Services, Inc.

8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

November 29, 2018

Kristen Murphy, Natural Resource Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

Re: 159 Epping Road
Map 47, Lot 9.02

Sub: TRC Response Letter

Dear Ms. Murphy,

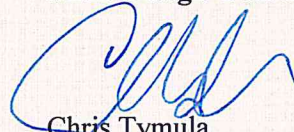
Please find enclosed a revised set of plans and supporting documentation regarding the above referenced project. The plans have been revised to address the comments in the Planning Department Memorandum dated November 13, 2018. Based on those comments we offer the following:

1. **Applicant provided criteria for 13.7. Wetland Waiver (WW) criteria are SS 9.9.3, Shoreland CUP criteria is ZO 9.3.4.G.2. Need responses to appropriate criteria for complete application.** The waiver request has been updated to include criteria set forth in SS 9.9.3 as requested. Based on our discussion on 11/14/18, the CUP Criteria has been previously provided, but has been updated based on the revised plans.
2. **Need additional justification for meeting the following criteria.**
 - a. **WW Criteria #3 – The use cannot be carried out, outside of the buffer:** Based on the extent of the wetlands in the rear of the property and associated buffers along with required building setbacks based on current zoning, the proposed development was designed to minimize disturbance in buffers to the maximum extent practicable. Retaining walls were proposed along the rear of the site to minimize buffer zone impacts and pavement was limited within the buffer zones as well.
 - b. **WW Criteria #4 – Substantial effort has been made to minimize impacts to the buffer:** The plans have been revised to minimize impacts within the buffer zone with by incorporating a retaining wall system to reduce grading and tree clearing. Additionally, the dumpster enclosure has been relocated outside of the buffer zone and the proposed loading zone removed as requested by Dave Sharples at the TRC, both of which reduce impervious area and encroachments into the wetland buffers and shoreland district.
 - c. **WW Criteria #5b – Reasonable effort made to keep disturbance to minimum:** Parking has been reduced, removed from the 40' buffer zone and retaining walls have been added to reduce the disturbance within the wetland buffer areas.
3. **CUP #2a – Will not detrimentally affect the surface water quality.**
 - a. **Has the applicant considered a retaining wall vs. 2:1 slope adjacent to the wetland on the east (right) side of building?** The plans have been revised to minimize impacts within the buffer zone with by incorporating a retaining wall system to reduce grading

- and tree clearing. This has been updated on both the east and west of the site to minimize impacts to the buffer zone.
- b. **Has the applicant considered moving the 7 parking spaces (or a portion of) on the east (right) side of building to the left side, outside of the buffer?** The parking has been revised to remove three (3) of the proposed parking spaces outside the buffer zone.
 - c. **Applicant has provided 18 parking spaces above required by zoning. Zoning requires 24. Has the applicant considered eliminating the 14 spaces in the front and moving the development further toward Epping Road to reduce shoreland buffer impacts/impervious cover within the shoreland district?** The parking is needed based on typical retail use/quick serve restaurant needs. The required Town parking based on Zoning appears to be less than standard parking requirements based on similar projects and the needs of potential end users. Additionally, we have specified nine (9) employee parking spaces so the customer parking area is reduced down to 30 spaces.
4. **Shoreland CUP Table:**
- a. **Have these values been updated based on current Shoreland district?** The values provided in the CUP application were correct based on the Shoreland district, but have also been modified based on the requested changes from the TRC meeting on 11/13/18.
 - b. **Table shows all permanent impacts. Has the applicant looked at the potential to allow natural plantings/recovery and create temporary impacts within the district at the back of the property?** The plans have been updated to incorporate a New England Conservation /Wildlife Seed mix along the rear portion of the site.
5. **Add shoreland/wetland setbacks to dimensional zoning requirements.** The shoreland and wetland setbacks have been added to the Zoning Table.
6. **Can the applicant confirm there are no VPD soils present? A stream is shown and Google Earth aerial imagery from 5/4/18 shows ponding on site.** VPD soils have been added to the plans as delineated by Gove Environmental Services, Inc.

Please review the above information and should you have any questions, please feel free to call our office at your convenience.

Very Truly Yours,
MHF Design Consultants, Inc.



Chris Tymula
Project Manager

CR 432817
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Cc: Durval Salema, Salema K.I.D.S. Realty Ventures LLC

PROPOSED SITE DEVELOPMENT PLANS

for

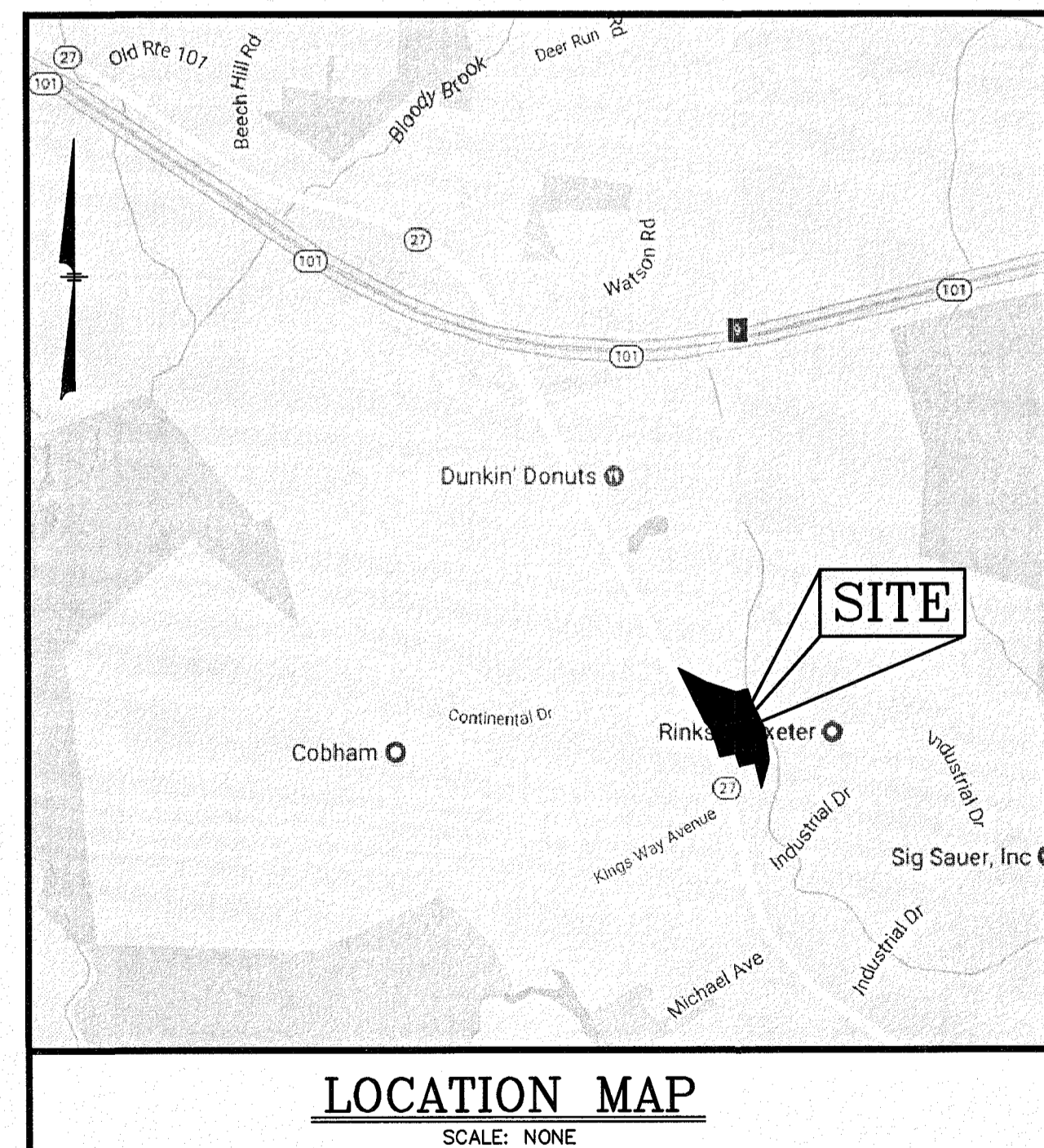
ASSESSORS MAP 47 - PROPOSED LOT 9.02

159 EPPING ROAD

EXETER, NEW HAMPSHIRE 03833

Prepared for:

SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842



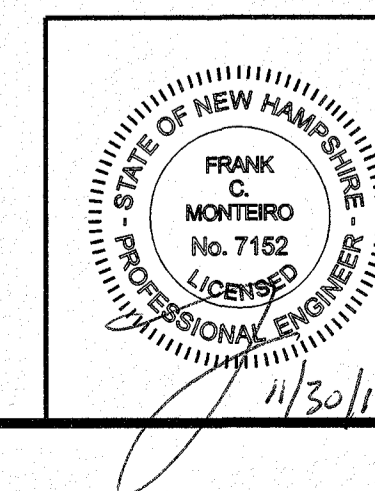
INDEX TO DRAWINGS

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN (BY OTHERS)
3. SITE SPECIFIC SOIL MAPPING PLAN
4. SUBDIVISION PLAN (BY OTHERS)
5. SITE PLAN
6. GRADING & DRAINAGE PLAN
7. UTILITY PLAN
8. EROSION & SEDIMENT CONTROL PLAN
9. LANDSCAPE PLAN
10. DETAIL SHEET
11. DETAIL SHEET
12. DETAIL SHEET
13. DETAIL SHEET
- 1 OF 1. TRUCK TURN PLAN (TTP)
- 1 OF 1. LIGHTING PLAN (LSI)
- 1 OF 2. BUILDING ELEVATIONS
- 2 OF 2. BUILDING ELEVATIONS

REVISIONS			
NO.	DESCRIPTION	BY	DATE
2	REVISE SHEETS 3, 5-9, 10, 13, LSI	CMT	11/28/18
1	REVISE SHEETS 5-9	CMT	11/5/18

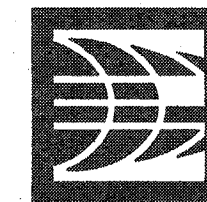
TITLE SHEET

ASSESSORS MAP 47 PROPOSED LOT 9.02
 159 EPPING ROAD
 EXETER, NEW HAMPSHIRE
 PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
 369 LAFAYETTE ROAD
 HAMPTON, NH 03842



MHF Design Consultants, Inc.
 44 Stiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
 ENGINEERS • PLANNERS • SURVEYORS
 www.mhfdesign.com

SCALE: NTS	DATE: OCTOBER 30, 2018	DRAWING NO. 4328CVR.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 1 OF 13



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE TOWN OF EXETER ASSESSOR'S MAP 47 AS LOT 9.
- 2) OWNER OF RECORD:
CKT & ASSOCIATES
158 SHATTUCK WAY
NEWINGTON, NH 03801
3231/2722 & 3437/2124
D-26425 & D-27641
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANELS 33015C0401E & 33015C0402E. EFFECTIVE DATE MAY 17, 2005.
- 4) PROPOSED LOT 9.02 AREA:
247,742 S.F.
5.6874 ACRES
- 5) PARCEL IS LOCATED IN THE EPPING ROAD HIGHWAY COMMERCIAL (C-3) AND INDUSTRIAL (I) ZONING DISTRICTS, AND IS SUBJECT TO THE WETLANDS CONSERVATION (W) OVERLAY DISTRICT AND THE EPPING ROAD STRIP MANAGEMENT SUPPLEMENTAL ORDINANCE.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF TAX MAP 47 LOT 9 IN THE TOWN OF EXETER.
- 7) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.2').
- 8) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

LEGEND:

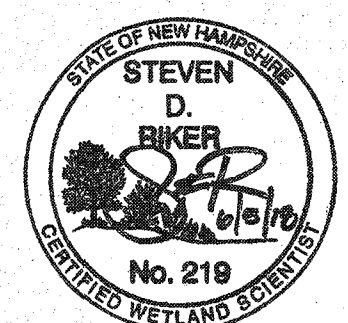
EXISTING	PROPOSED	DESCRIPTION
N/F		NOW OR FORMERLY
RP		RECORD OF PROBATE
RCRD		ROCKINGHAM COUNTY
		REGISTRY OF DEEDS
		MAP 11 / LOT 21
		BOUNDARY
		SETBACK
RR SPK FND	RR SPK SET	RAILROAD SPIKE FOUND/SET
IR FND	IR SET	IRON ROD FOUND/SET
IP FND	IP SET	IRON PIPE FOUND/SET
DH FND	DH SET	DRILL HOLE FOUND/SET
NHHD FND		NHDOT BOUND FOUND
TB FND		TOWN BOUND FOUND
BND w/DH	BND w/DH	BOUND w/ DRILL HOLE
ST BND w/DH	ST BND w/DH	STONE BOUND w/DRILL HOLE
		OVERHEAD ELECTRIC/WIRES
		EDGE OF PAVEMENT (EP)
		WOODS / TREE LINE
		UTILITY POLE (w/ GUY)
		WATER SHUT OFF/CURB STOP
		GATE VALVE
		HYDRANT
		SEWER MANHOLE
		INVERT
		TEMPORARY BENCHMARK
		TYPICAL

ZONING DIMENSIONAL REQUIREMENTS:

EPPING ROAD HIGHWAY COMMERCIAL	
MIN. LOT AREA:	40,000 S.F.
MIN. WIDTH:	175 FEET
MIN. DEPTH:	225 FEET
SETBACKS:	
FRONT:	50 FEET
SIDE:	30/60 FEET
REAR:	25 FEET
MAXIMUM STRUCTURE HEIGHT: 50 FEET	
MAXIMUM BUILDING COVERAGE: 40%	
MINIMUM OPEN SPACE: 20%	
INDUSTRIAL	
MIN. LOT AREA:	40,000 S.F.
MIN. WIDTH:	150 FEET
MIN. DEPTH:	200 FEET
SETBACKS:	
FRONT:	50 FEET
SIDE:	20/40 FEET
REAR:	50 FEET
MAXIMUM STRUCTURE HEIGHT: 50 FEET	
MAXIMUM BUILDING COVERAGE: 40%	
MINIMUM OPEN SPACE: 25%	

WETLAND NOTES:

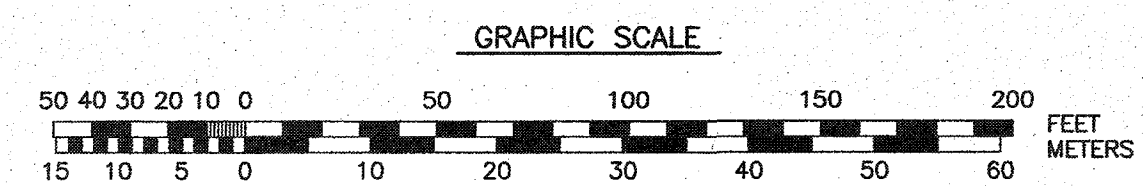
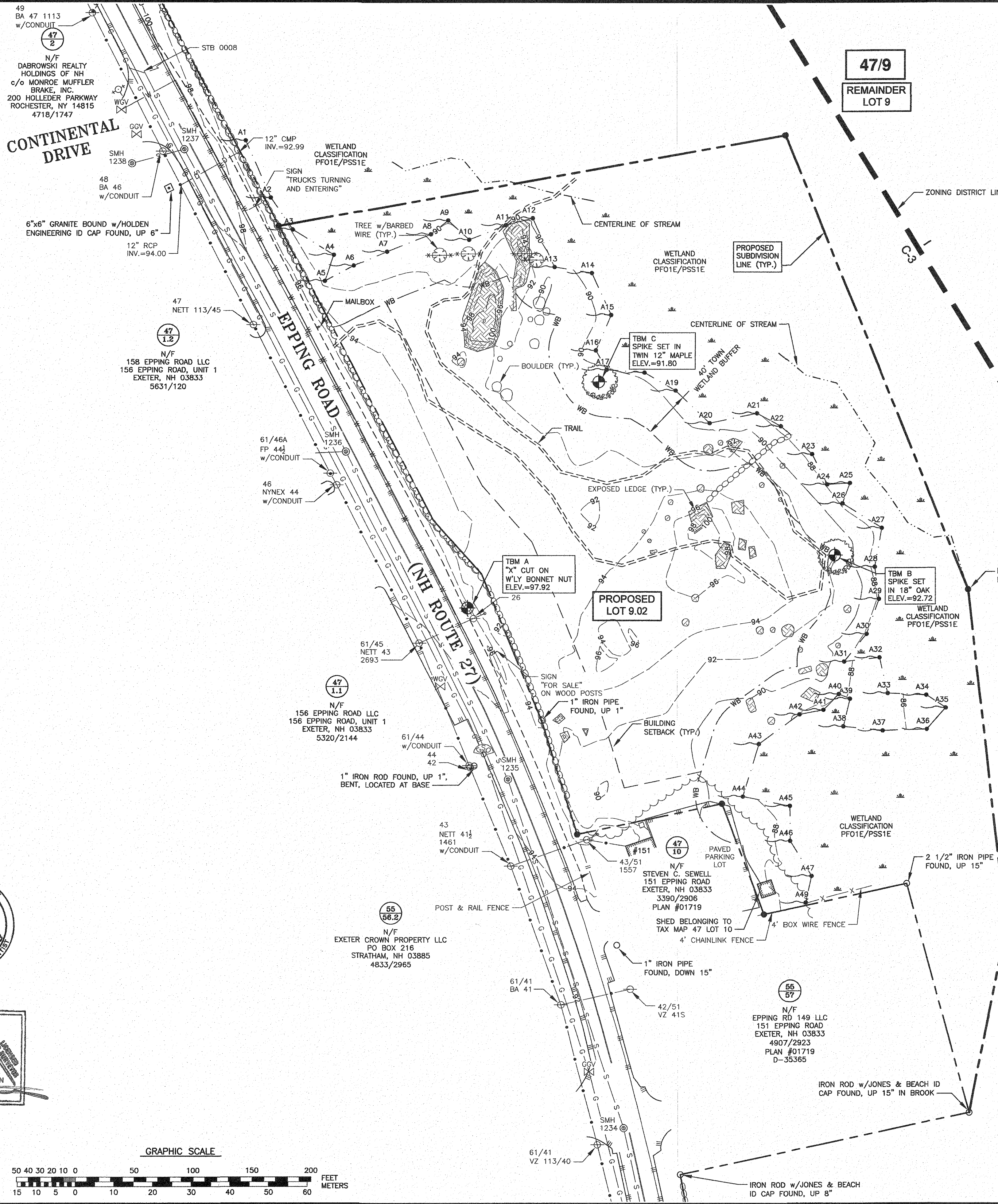
- 1) WETLANDS LINE DELINEATED BY STEVEN D. RIKER, CWS ON 5/15/2018 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEIWPCC WETLANDS WORK GROUP (2017).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFW (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS DATE 6/5/2018

TOWN OF EXETER PLANNING BOARD
CHAIRMAN DATE



SUBDIVISION PLAN
CKT & ASSOCIATES
159 EPPING ROAD
EXETER, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	6/4/18
REVISIONS		

SCALE 1"=50' JUNE 2018

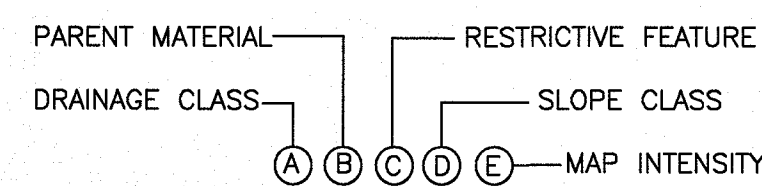
EXISTING CONDITIONS SITE PLAN **C1**

LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- VERTICAL GRANITE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- SIGN
- OBSERVATION WELL
- TREELINE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- WETLAND LINE

KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS, AND DESIGNATED WITH A FIVE PART SYMBOL.



SYMBOL: A DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED
- 7- NOT DETERMINABLE (TO BE USED ONLY WITH SYMBOL B-6)

SYMBOL: B PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL).
- 2- GLACIAL TILL MATERIAL (ACTIVE ICE) MARINE OR GLACIOLACUSTRINE DEPOSITS (3,4 OR 5)
- 3- VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS (OCEAN WATERS)
- 6- EXCAVATED, REGRADED OR FILLED (SEE CONNOTATIVE SOIL LEGEND)
- 7- ALLUVIAL DEPOSITS (FLOOD PLAINS)
- 8- ORGANIC MATERIALS - FRESH WATER BOGS, ETC.
- 9- ORGANIC MATERIALS - TIDAL MARSH

SYMBOL: C RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

- 1- NONE
- 2- BOULDERY, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).
- 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE, AND CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.
- 4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY).
- 5- SUBJECT TO FLOODING.
- 6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).
- 7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).
- 8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

SYMBOL: D SLOPE CLASS

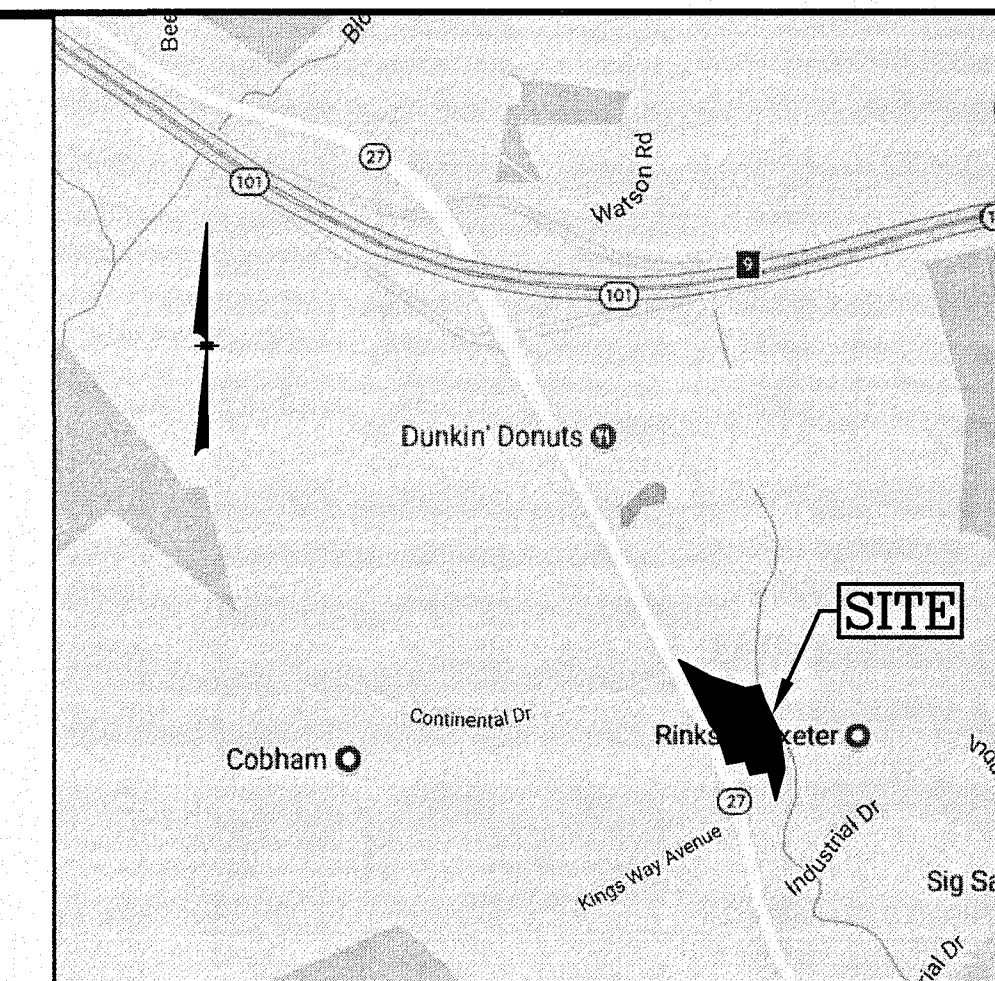
- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 25% +

SYMBOL: E HIGH INTENSITY SOIL MAP IDENTIFIER - H.

WETLAND NOTES

WETLANDS LINE DELINEATED BY STEVEN D. RIKER, CWS ON 5/15/2018 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

- 1) US ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987) AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPPCC WETLANDS WORK GROUP (2017).
- 3) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
- 5) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 6) THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.



LOCATION MAP
(NOT TO SCALE)

SOIL MAPPING NOTES

- 1) HIGH INTENSITY SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS, APRIL 2008.

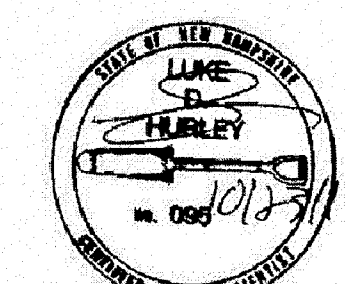
PLAN REFERENCES:

- 1) PROPOSED SUBDIVISION, 159 EPPING ROAD, PREPARED FOR CKT & ASSOCIATES, PREPARED BY AMBIT ENGINEERING, INC., DATE: JUNE 2018 (rev. 7/16/2018), SHEETS 1-4 OF 4.
- 2) PLAN & PROFILE, EPPING ROAD, PREPARED FOR THE TOWN OF EXETER BY UNDERWOOD ENGINEERS, INC., ORIGINAL DATE: 5/15/98, RECORD DATE: 1/19/99, SCALE: 1"=40', SHEET 4 OF 9.

SOIL LEGEND

- WETLAND LINE
- (321BH) SOIL TYPE DESIGNATION
- SOIL BOUNDARY

HIGH INTENSITY SOIL SURVEY PERFORMED



BY
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH 03833-7507

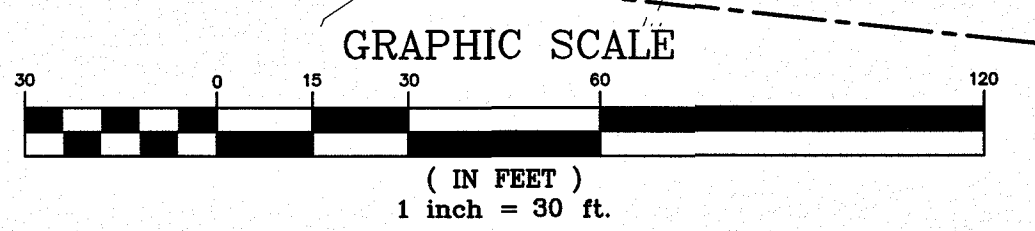
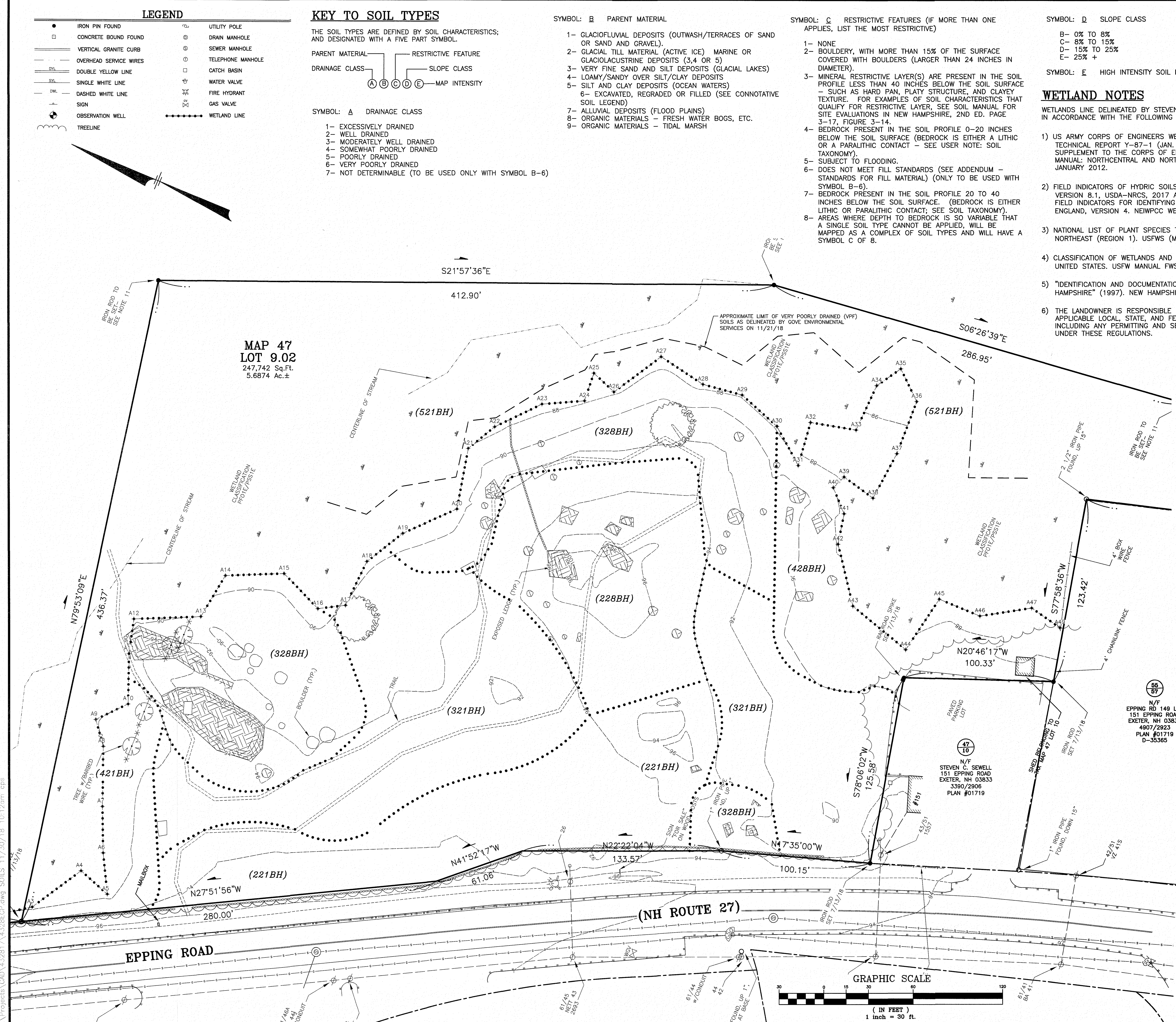
NO.	DESCRIPTION	BY	DATE
1	ADD VERY POORLY DRAINED SOILS LINE	CMT	11/28/18

SITE SPECIFIC SOIL MAPPING PLAN

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 4328ECP.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 3 OF 13



NOTES:
1) PARCEL IS SHOWN ON THE TOWN OF EXETER ASSESSOR'S MAP 47 AS LOT 9.
2) OWNER OF RECORD:
CKT & ASSOCIATES
158 SHATTUCK WAY
NEWINGTON, NH 03801
3231/2722 & 3437/2124
D-26425 & D-27641
3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANELS 33015C0401E & 33015C0402E. EFFECTIVE DATE MAY 17, 2005.
4) EXISTING LOT AREA:
2,443,392 S.F. (PER PLAN REF. 4 & 5)
56.0926 ACRES (PER PLAN REF. 4 & 5)
PROPOSED LOT AREAS:
LOT 9.02
247,742 S.F.
5.6874 ACRES
LOT 9 (REMAINDER)
2,195,650 S.F.
50.4052 ACRES

5) PARCEL IS LOCATED IN THE EPPING ROAD HIGHWAY COMMERCIAL (C-3) AND INDUSTRIAL (I) ZONING DISTRICTS, AND IS SUBJECT TO THE WETLANDS CONSERVATION (W) OVERLAY DISTRICT AND THE EPPING ROAD STRIP MANAGEMENT SUPPLEMENTAL ORDINANCE.
6) DIMENSIONAL REQUIREMENTS:
EPPING ROAD HIGHWAY COMMERCIAL
MIN. LOT AREA: 40,000 S.F.
MIN. WIDTH: 175 FEET
MIN. DEPTH: 225 FEET
SETBACKS: FRONT: 50 FEET
SIDE: 30/60 FEET
REAR: 25 FEET
MAXIMUM STRUCTURE HEIGHT: 50 FEET
MAXIMUM BUILDING COVERAGE: 40%
MINIMUM OPEN SPACE: 20%

INDUSTRIAL
MIN. LOT AREA: 40,000 S.F.
MIN. WIDTH: 150 FEET
MIN. DEPTH: 200 FEET
SETBACKS: FRONT: 50 FEET
SIDE: 20/40 FEET
REAR: 50 FEET
MAXIMUM STRUCTURE HEIGHT: 50 FEET
MAXIMUM BUILDING COVERAGE: 40%
MINIMUM OPEN SPACE: 25%

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF TAX MAP 47 LOT 9 IN THE TOWN OF EXETER INTO TWO LOTS.
8) PROPOSED LOT 9.02 IS SERVED BY MUNICIPAL WATER AND SEWER.
9) REMAINDER OF LOT 9 IS SUBJECT TO ALL EASEMENTS AND RIGHTS OF RECORD. NO RECORD EASEMENTS ARE LOCATED WITHIN THE PROPOSED LOT 9.02.
10) SEE SHEET 1 FOR PROPERTY OVERVIEW AND WAIVER REQUESTS.
11) DUE TO HIGH WATER CONDITIONS IRON RODS ALONG EASTERLY SUBDIVISION LINE TO BE SET IN FROZEN/WINTER CONDITIONS.

NO.	DESCRIPTION	DATE
2	ADD MONUMENTS AS SET	7/16/2018
1	REVISED PER COMMENTS	6/5/2018
0	ISSUED FOR COMMENT	6/1/18

REVISIONS

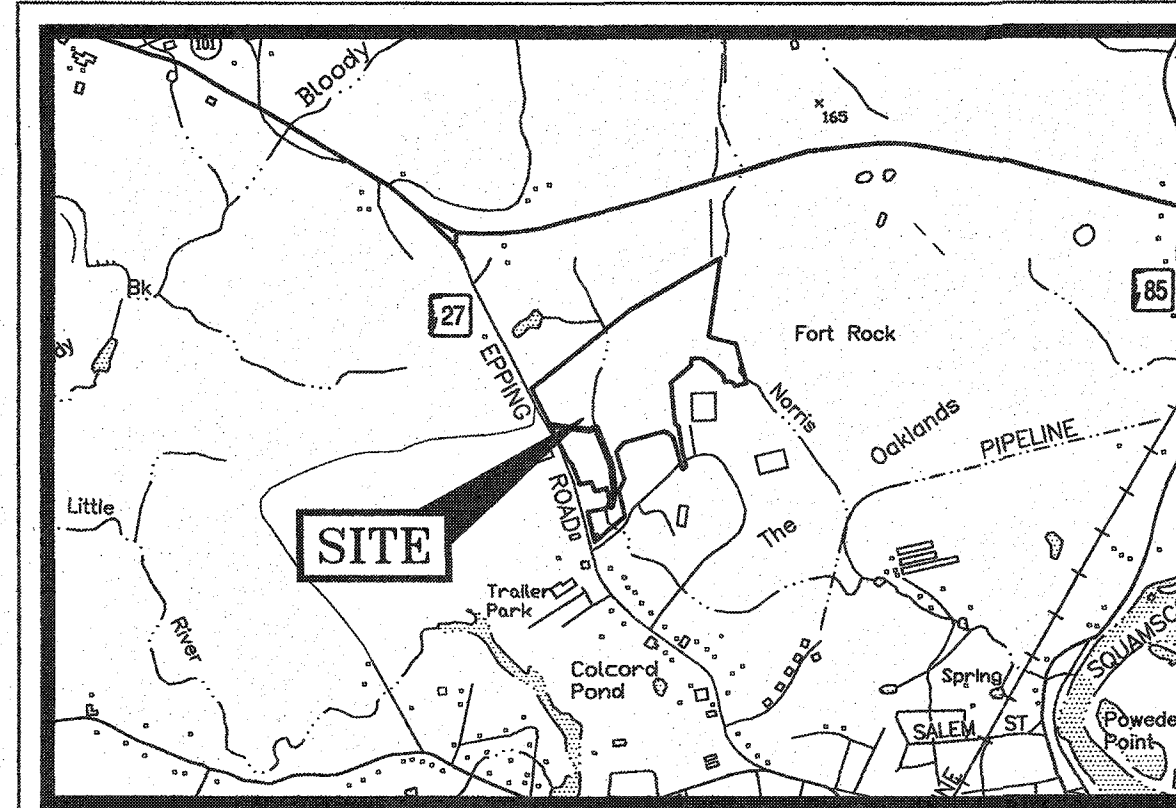
SUBDIVISION PLAN
TAX MAP 47 - LOT 9
OWNER
CKT & ASSOCIATES
159 EPPING ROAD
TOWN OF EXETER
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=50' SHEET 2 OF 2 JUNE 2018
FB 335 PG 9 2930

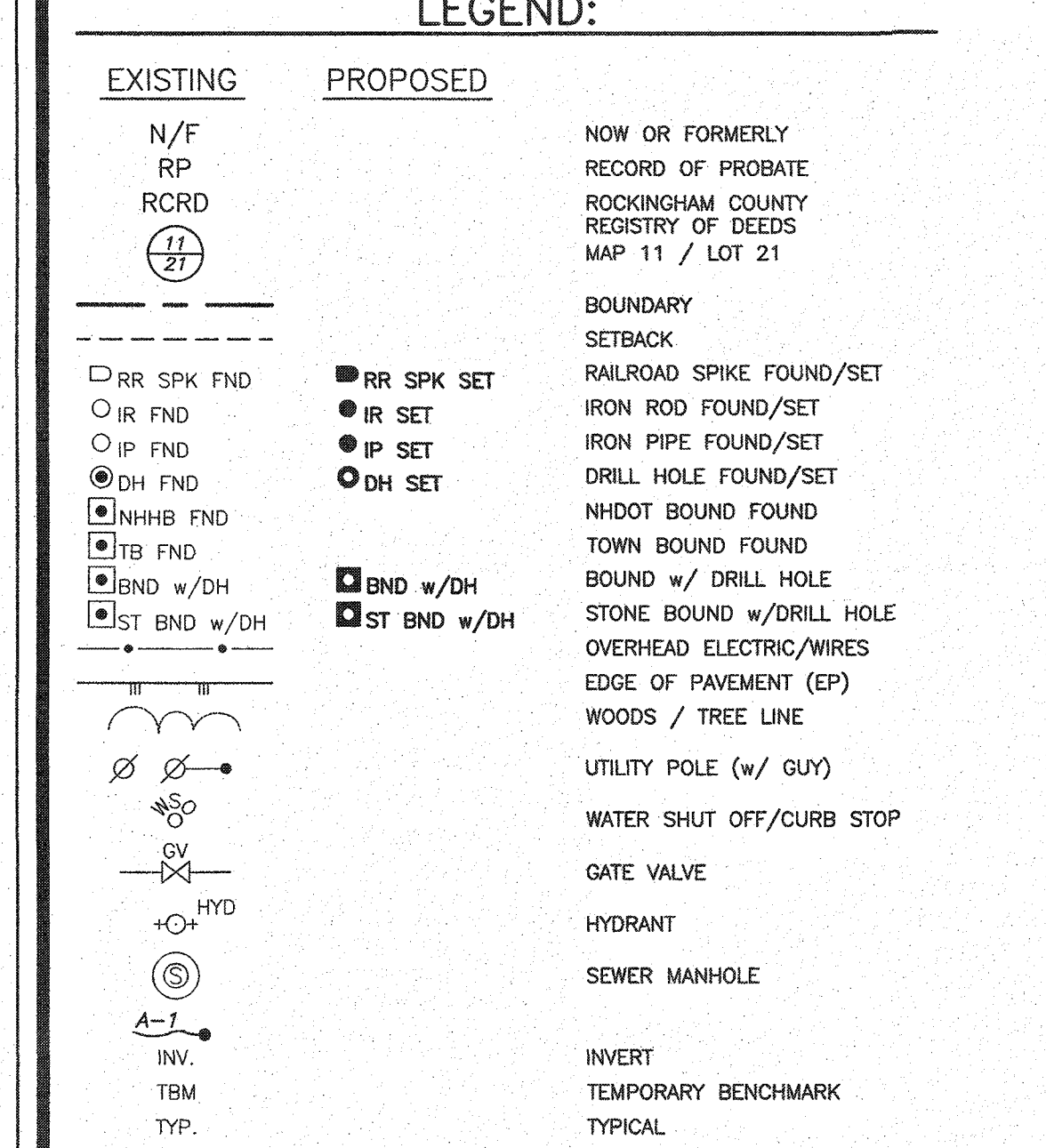
NO.	DESCRIPTION	DATE
2	ADD MONUMENTS AS SET	7/16/2018
1	REVISED PER COMMENTS	6/5/2018
0	ISSUED FOR COMMENT	6/1/18

SUBDIVISION PLAN
TAX MAP 47 - LOT 9
OWNER
CKT & ASSOCIATES
159 EPPING ROAD
TOWN OF EXETER
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=50' SHEET 2 OF 2 JUNE 2018
FB 335 PG 9 2930



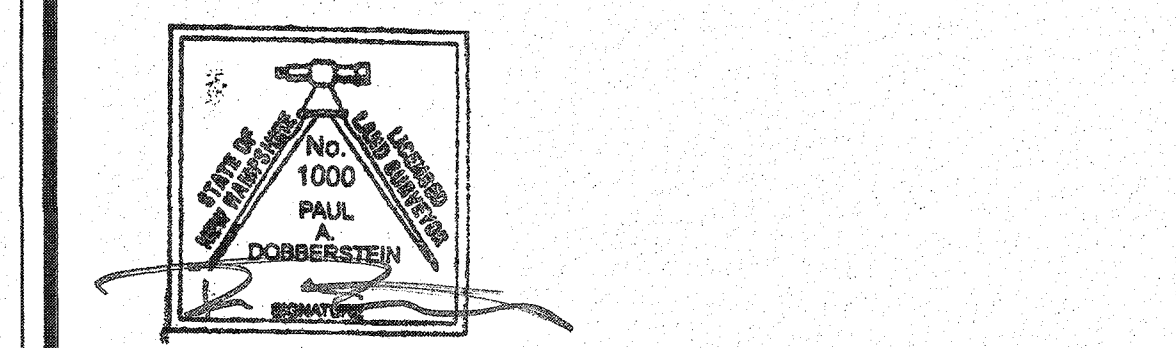
LOCATION MAP SCALE 1"=2,000'



ADDITIONAL ABUTTERS-SEE SHEET 1

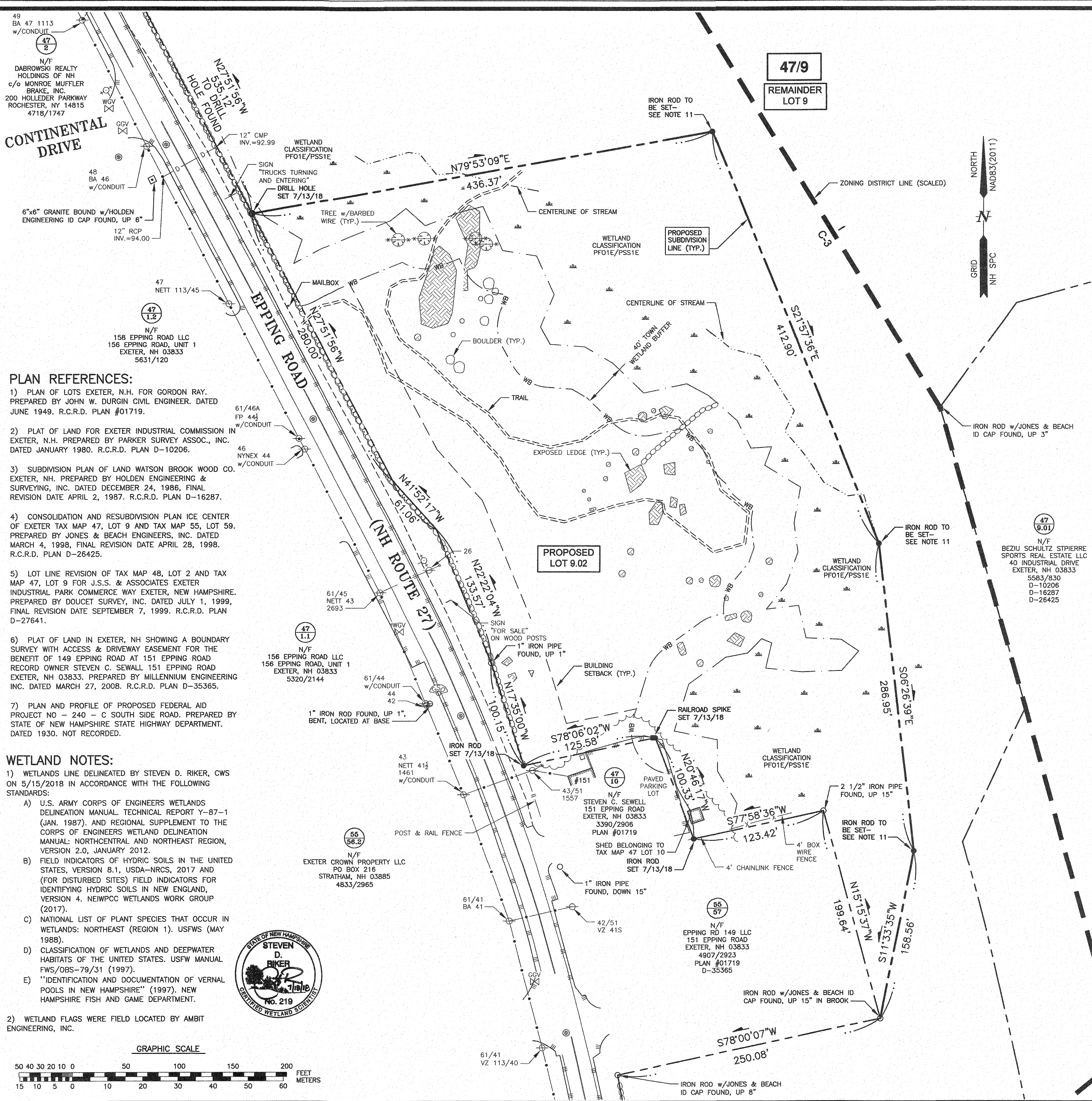
REQUIRED TOWN NOTES:

- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."
PAUL A. DOBBERSTEIN, L.L.S. DATE 7/16/2018

TOWN OF EXETER PLANNING BOARD
CHAIRMAN DATE

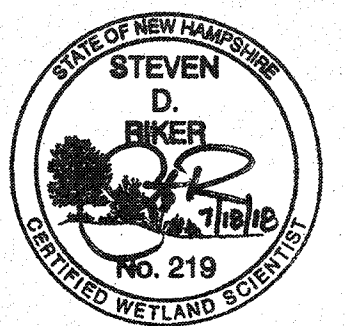
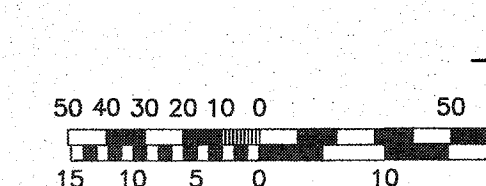


PLAN REFERENCES:

- PLAN OF LOTS EXETER, N.H. FOR GORDON RAY. PREPARED BY JOHN W. DURGIN CIVIL ENGINEER. DATED JUNE 1949. R.C.R.D. PLAN #01719.
- PLAT OF LAND FOR EXETER INDUSTRIAL COMMISSION IN EXETER, N.H. PREPARED BY PARKER SURVEY ASSOC., INC. DATED JANUARY 1980. R.C.R.D. PLAN D-10206.
- SUBDIVISION PLAN OF LAND WATSON BROOK WOOD CO. EXETER, NH. PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. DATED DECEMBER 24, 1986, FINAL REVISION DATE APRIL 2, 1987. R.C.R.D. PLAN D-16287.
- CONSOLIDATION AND RESUBDIVISION PLAN ICE CENTER OF EXETER TAX MAP 47, LOT 9 AND TAX MAP 55, LOT 59. PREPARED BY JONES & BEACH ENGINEERS, INC. DATED MARCH 4, 1998, FINAL REVISION DATE APRIL 28, 1998. R.C.R.D. PLAN D-26425.
- LOT LINE REVISION OF TAX MAP 48, LOT 2 AND TAX MAP 47, LOT 9 FOR J.S.S. & ASSOCIATES EXETER INDUSTRIAL PARK COMMERCE WAY EXETER, NEW HAMPSHIRE. PREPARED BY DOUCET SURVEY, INC. DATED JULY 1, 1999, FINAL REVISION DATE SEPTEMBER 7, 1999. R.C.R.D. PLAN D-27641.
- PLAT OF LAND IN EXETER, NH SHOWING A BOUNDARY SURVEY WITH ACCESS & DRIVEWAY EASEMENT FOR THE BENEFIT OF 149 EPPING ROAD AT 151 EPPING ROAD RECORD OWNER STEVEN C. SEWELL 151 EPPING ROAD EXETER, NH 03833. PREPARED BY MILLENNIUM ENGINEERING INC. DATED MARCH 27, 2008. R.C.R.D. PLAN D-35365.
- PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT NO - 240 - C SOUTH SIDE ROAD. PREPARED BY STATE OF NEW HAMPSHIRE STATE HIGHWAY DEPARTMENT. DATED 1930. NOT RECORDED.

WETLAND NOTES:

- WETLANDS LINE DELINEATED BY STEVEN D. RIKER, CWS ON 5/15/2018 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWIPCC WETLANDS WORK GROUP (2017).
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
 - "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



STEVEN D. RIKER
DATE 7/16/2018

LEGEND

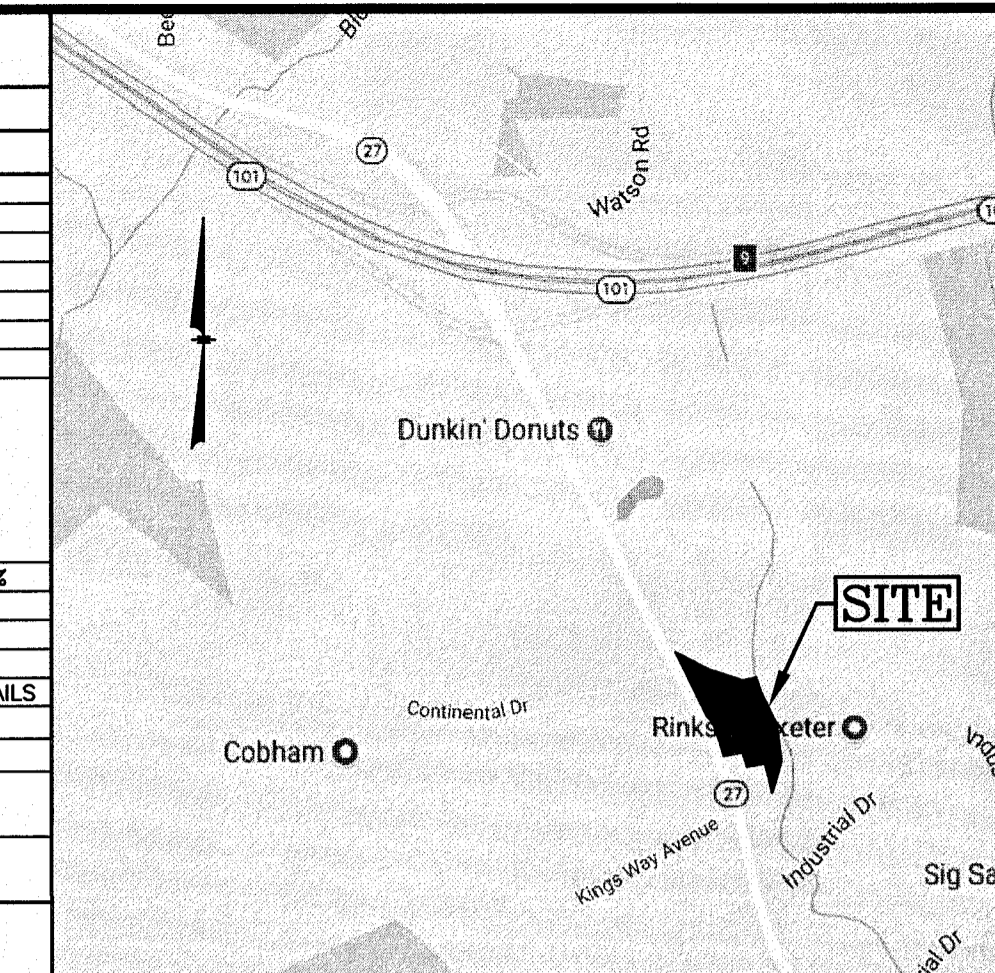
- IRON PIN FOUND
- CONCRETE BOUND FOUND
- VERTICAL GRANITE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- SIGN
- OBSERVATION WELL
- TREE LINE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- WETLAND LINE
- ① NUMBER OF PARKING SPACES

NOTES:

- 1) EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN WAS TAKEN FROM PLAN REFERENCE #1 AND IS NOT THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
- 2) TAX MAP 47 LOT 9.02
- 3) ZONING DISTRICT: EPPING ROAD HIGHWAY COMMERCIAL (C-3)
- 4) LOT AREA = 247,742 Sq.Ft. = 5.6874 Ac.±
- 5) EXISTING USE: VACANT LAND
PROPOSED USE: 1,941 SF DONUT SHOP WITH DRIVE-THRU AND 5,070 SF RETAIL SHOP
- 6) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010, OR LATEST EDITION.
- 7) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- 9) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF EXETER AND THE STATE OF NEW HAMPSHIRE.
- 10) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE OWNER/DEVELOPER.
- 11) A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- 12) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 13) ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
- 14) ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON PROPERTY.
- 15) REFER TO DETAIL SHEETS FOR ALL SITE DEVELOPMENT DETAILS AND INFORMATION.
- 16) EXISTING IMPERVIOUS COVERAGE = 0 SF (0%)
PROPOSED IMPERVIOUS COVERAGE = 36,406 SF (14.7%)
- 17) ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- 18) THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- 19) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANELS 3301SC0401E & 3301SC0402E. EFFECTIVE DATE MAY 17, 2005.
- 20) CONTRACTOR TO REFER TO PROTOTYPICAL DETAILS PROVIDED BY DUNKIN' BRANDS FOR DIRECTIONAL SIGNAGE, DRIVE-THRU LAYOUT, LOOP DETECTORS & COORDINATION OF MOBILE PICK UP LAYOUT.

TABLE OF ZONING REGULATIONS - EXETER, NH

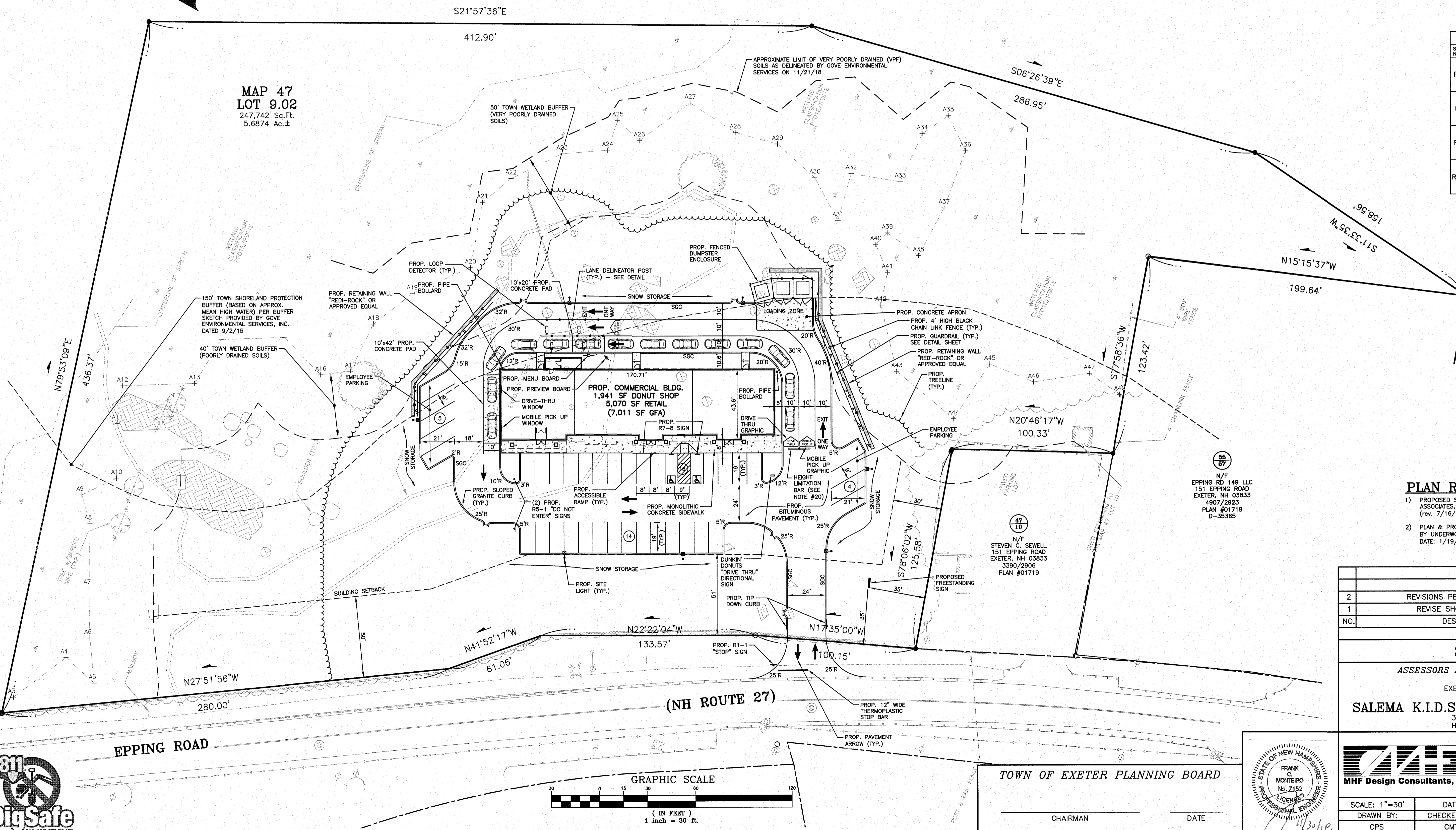
ZONE: EPPING ROAD HIGHWAY COMMERCIAL (C-3)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	247,742 SF
MINIMUM LOT FRONTAGE	N/A	574.78'
MINIMUM FRONT YARD BUILDING SETBACK	50'	99'
MINIMUM SIDE YARD BUILDING SETBACK	30' FROM ONE SIDE, 60' FROM OTHER SIDE	126'
MINIMUM REAR YARD BUILDING SETBACK	25'	228.2'
MINIMUM FRONT LANDSCAPE STRIP	35'	51'
PARKING SPACE DIMENSIONS	9'x19'	9'x19'
MINIMUM NUMBER PARKING SPACES	RESTAURANTS: 1 SPACE PER 3 SEATS x 20 SEATS = 7 SPACES RETAILS STORES: 1 SPACE/300 GFA x 5,070 SF = 17 SPACES TOTAL = 24 SPACES REQUIRED	39 SPACES (INCLUDES 9 EMPLOYEE PARKING SPACES)
MINIMUM OPEN SPACE	20%	211,336 SF/247,742 SF = 85.3%
MAXIMUM STRUCTURE HEIGHT	50'	< 50'
MAXIMUM BUILDING COVERAGE	40%	2.8%
FREESTANDING SIGN AREA, HEIGHT+SETBACK	24 SF, 25' HIGH, 35' SETBACK	SEE SIGN DETAILS
WALL SIGN AREA	40 SF	SEE ARCHITECTURE & SIGN DETAILS
LOADING SPACE REQUIREMENTS	1 SPACE/4,000 SF	1 SPACE (12'x50')
SHORELAND PROTECTION BUFFER	150' TO BUILDINGS	151'
WETLAND BUFFER (POORLY DRAINED SOILS)	75' PARKING/STRUCTURAL SETBACK	43' (WAIVER REQUIRED)
WETLAND BUFFER (VERY POORLY DRAINED SOILS)	40' NO CUT/NO DISTURBANCE	5' (WAIVER REQUIRED)
	75' PARKING/STRUCTURAL SETBACK	78' (WAIVER REQUIRED)
	50' NO CUT/NO DISTURBANCE	15' (WAIVER REQUIRED)



LOCATION MAP
(NOT TO SCALE)

SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP	R/W 30" x 30" NEW SIGN WITH POST
R5-1	DO NOT ENTER	R/W 30" x 30" NEW SIGN WITH POST
R7-8	Handicap symbol	G/B/W 12" x 18" NEW SIGN WITH POST
R7-8A	Handicap symbol	G/W 6" x 12"

**MAP 47
LOT 9.02**
247,742 Sq.Ft.
5.6874 Ac.±



PLAN REFERENCES:

- 1) PROPOSED SUBDIVISION, 159 EPPING ROAD, PREPARED FOR CKT & ASSOCIATES, PREPARED BY AMBIT ENGINEERING, INC., DATE: JUNE 2018 (rev. 7/16/2018), SHEETS 1-4 OF 4.
- 2) PLAN & PROFILE, EPPING ROAD, PREPARED FOR THE TOWN OF EXETER BY UNDERWOOD ENGINEERS, INC., ORIGINAL DATE: 5/15/98, RECORD DATE: 1/19/99, SCALE: 1"=40', SHEET 4 OF 9.

NO.	REVISIONS	BY	DATE
2	REVISIONS PER TRC COMMENTS	CMT	11/28/18
1	REVISE SHORELAND LIMITS	CMT	11/5/18

SITE PLAN

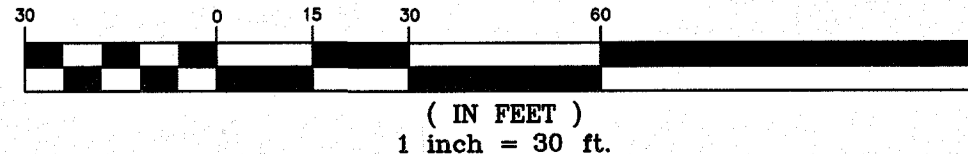
ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

MHF Design Consultants, Inc.
44 Silles Road, Suite One
Salem, New Hampshire 03079
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SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 4328SP.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 5 OF 13

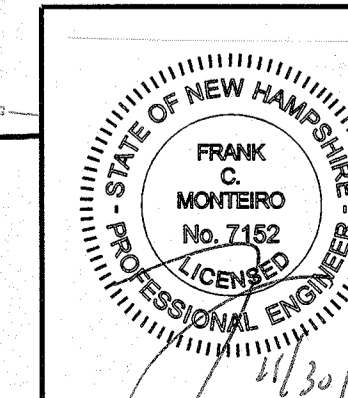


GRAPHIC SCALE



TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____



LEGEND

● IRON PIN FOUND	□ CONCRETE BOUND FOUND	— VERTICAL GRANITE CURB	— OVERHEAD SERVICE WIRES	== DOUBLE YELLOW LINE	— SINGLE WHITE LINE	- - - DASHED WHITE LINE	○ SIGN	○ OBSERVATION WELL	— TREELINE	C.O. PROP. CLEANOUT	CB-1 PROP. CATCH BASIN	DMH-1 PROP. DRAIN MANHOLE	SMH-1 PROP. SEWER MANHOLE	○ UTILITY POLE	○ DRAIN MANHOLE	○ SEWER MANHOLE	○ TELEPHONE MANHOLE	□ CATCH BASIN	○ WATER VALVE	○ FIRE HYDRANT	○ GAS VALVE	— WETLAND LINE	— MEET EXISTING GRADE	○ PROP. SPOT ELEVATION	○ PROP. CONTOUR ELEVATION	□ TEST PIT
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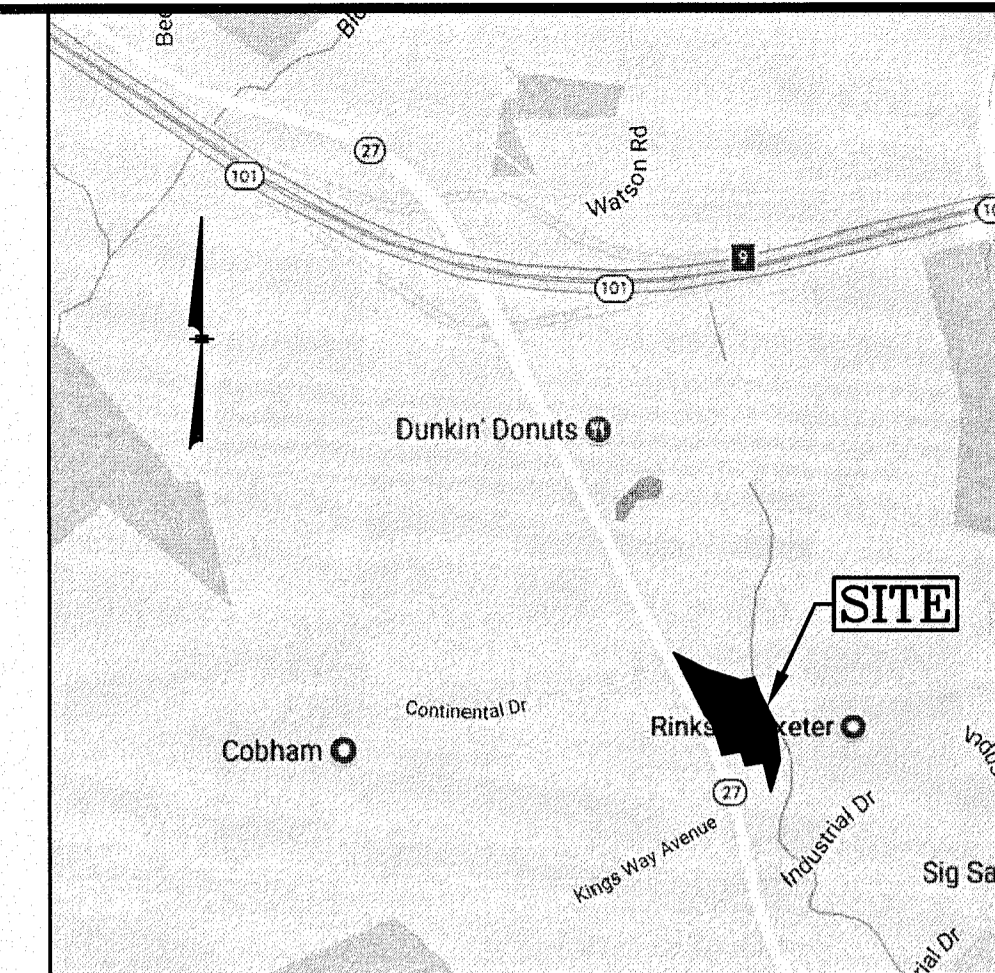
NOTES:

- 1) ALL ROOF DRAIN PIPE SHALL BE 6" PVC(SDR-35). CONTRACTOR TO VERIFY SIZE/LOCATION OF ALL ROOF DRAINS WITH MEP PRIOR TO CONSTRUCTION.
- 2) ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- 3) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) SOIL STOCKPILING TO BE SURROUNDED BY HAY BALES TO LIMIT EROSION.
- 9) SEE EROSION AND SEDIMENT CONTROL PLAN FOR DETAILED EROSION CONTROL MEASURES AND UTILITY PLAN FOR DETAILED UTILITY LAYOUT.
- 10) SEE SHEET 13 FOR TEST PIT DATA RESULTS.
- 11) OWNER AND CONTRACTOR TO REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS AND SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- 12) THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 88,000 SF). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- 13) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND EXETER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 14) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE, RAMP CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 15) ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

DRAINAGE STRUCTURES

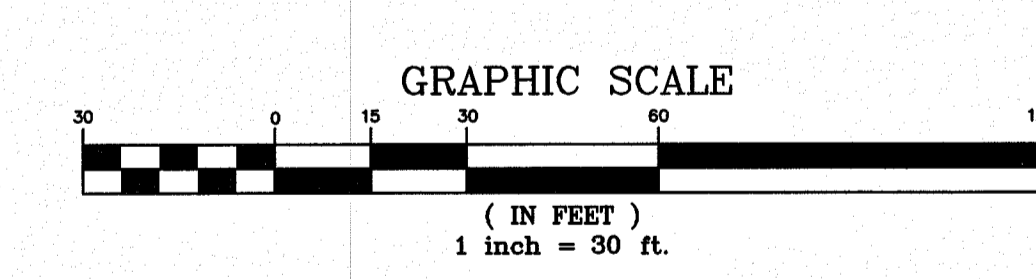
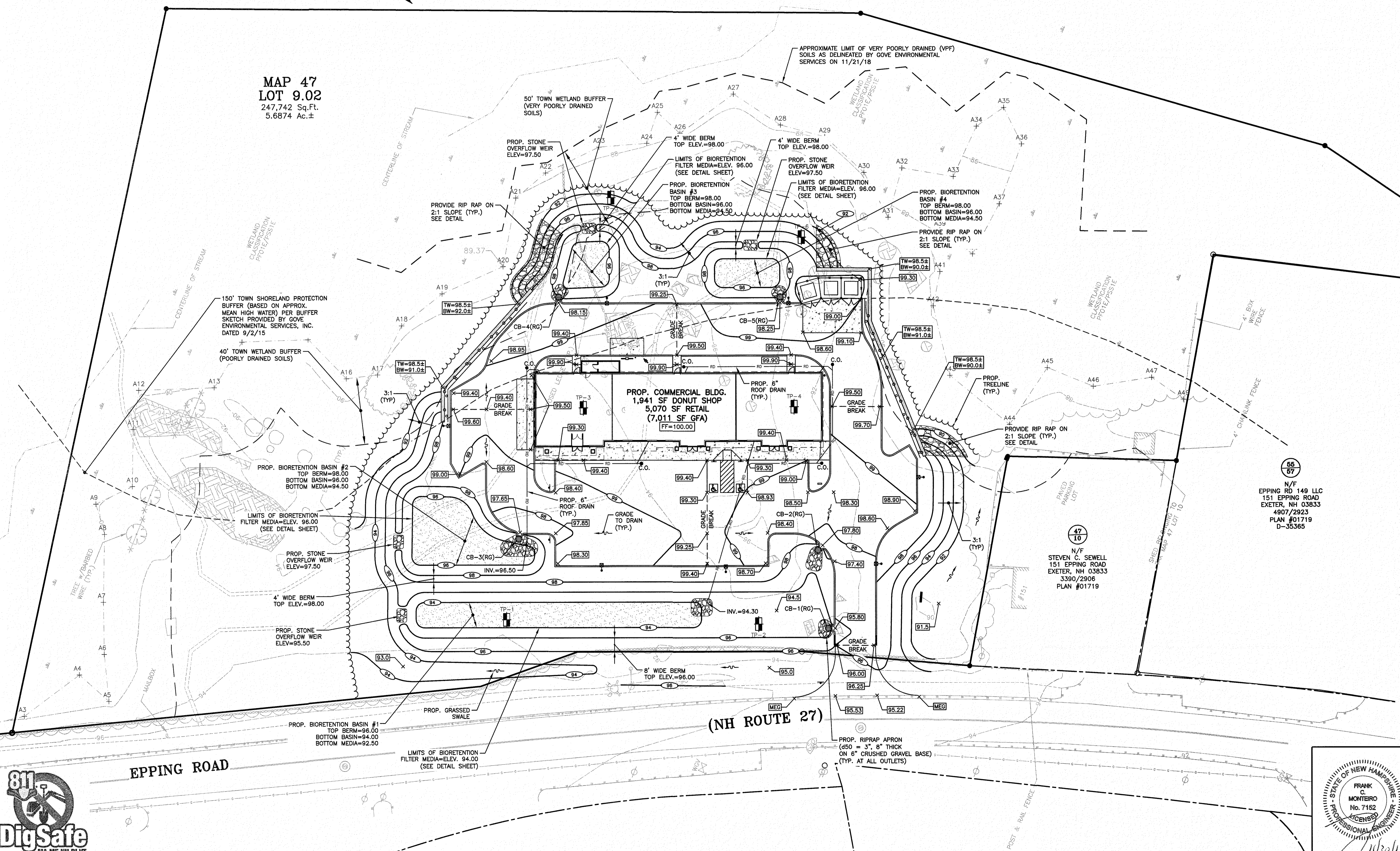
CB-1(RG)	CB-4(RG)
RM=95.75	RM=98.10
CB-2(RG)	CB-5(RG)
RM=97.75	RM=98.20
CB-3(RG)	
RM=97.60	

(RG) DENOTES RAIN GUARDIAN INLET STRUCTURE (SEE DETAIL)



LOCATION MAP
(NOT TO SCALE)

MAP 47
LOT 9.02
247,742 Sq.Ft.
5.6874 Ac.±



55
67
N/F
EPPING RD 149 LLC
151 EPPING ROAD
EXETER, NH 03833
4907/2923
PLAN #01719
D-35365

47
10
N/F
STEVEN C. SEWELL
151 EPPING ROAD
EXETER, NH 03833
3390/2906
PLAN #01719

NO.	REVISIONS	BY	DATE
2	REVISIONS PER TRC COMMENTS	CMT	11/28/18
1	REVISE SHORELAND LIMITS	CMT	11/5/18

GRADING & DRAINAGE PLAN

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE

PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

44 Shiles Road, Suite One
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SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 43286D.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 6 OF 13

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 811 DigSafe MA-NH RI-VT
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LEGEND

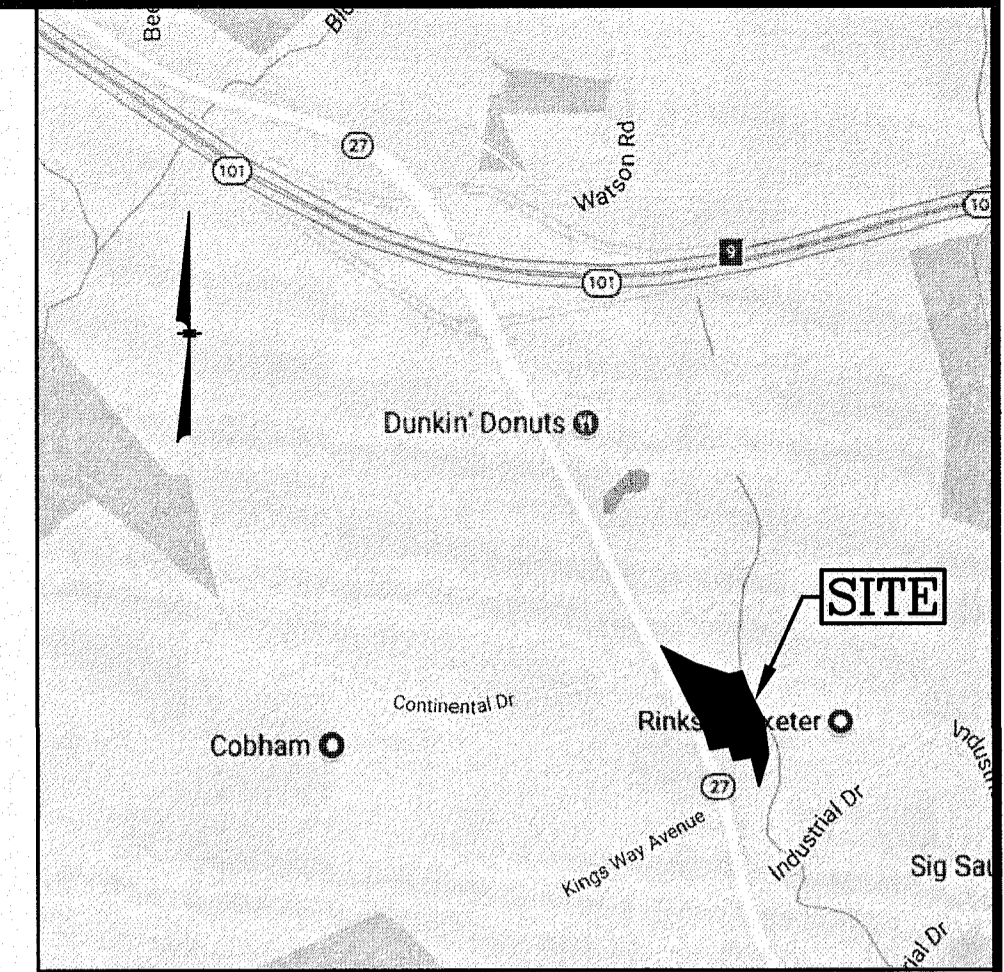
● IRON PIN FOUND	○ UTILITY POLE
□ CONCRETE BOUND FOUND	⊙ DRAIN MANHOLE
— VERTICAL GRANITE CURB	⊙ SEWER MANHOLE
— OVERHEAD SERVICE WIRES	⊙ TELEPHONE MANHOLE
— DOUBLE YELLOW LINE	□ CATCH BASIN
— SINGLE WHITE LINE	⊙ WATER VALVE
— DASHED WHITE LINE	⊙ FIRE HYDRANT
— SIGN	⊙ GAS VALVE
⊙ OBSERVATION WELL	— WETLAND LINE
— TREELINE	— MEET EXISTING GRADE
— C.O. PROP. CLEANOUT	— PROP. SPOT ELEVATION
— CB-1 PROP. CATCH BASIN	— PROP. CONTOUR ELEVATION
— DMH-1 PROP. DRAIN MANHOLE	
— SMH-1 PROP. SEWER MANHOLE	

SEWER PIPE SCHEDULE

FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
SEWER #1	4	PVC	25	0.026	SMH-1
KITCHEN	4	PVC	15	0.020	GREASE TRAP
GREASE TRAP	4	PVC	5	0.020	SMH-1
SEWER #2	4	PVC	15	0.023	SMH-2
SEWER #3	4	PVC	18	0.020	SMH-2
SMH-2	6	PVC	65	0.018	SMH-1
SMH-1	6	PVC	155	0.028	EXIST. SEWER

SEWER STRUCTURES

SMH-1 (DROP MANHOLE) RIM=99.9 INV.S.IN=95.85 INV.OUT=92.00	SMH-2 RIM=99.27 INV.S.IN=97.15 INV.OUT=97.05
1,500 GALLON GREASE TRAP RIM=99.00± INV.S.IN=96.20 INV.OUT=95.95	



LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 3) ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 6) ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARD SPECIFICATIONS FOR CONSTRUCTION AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 13) ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

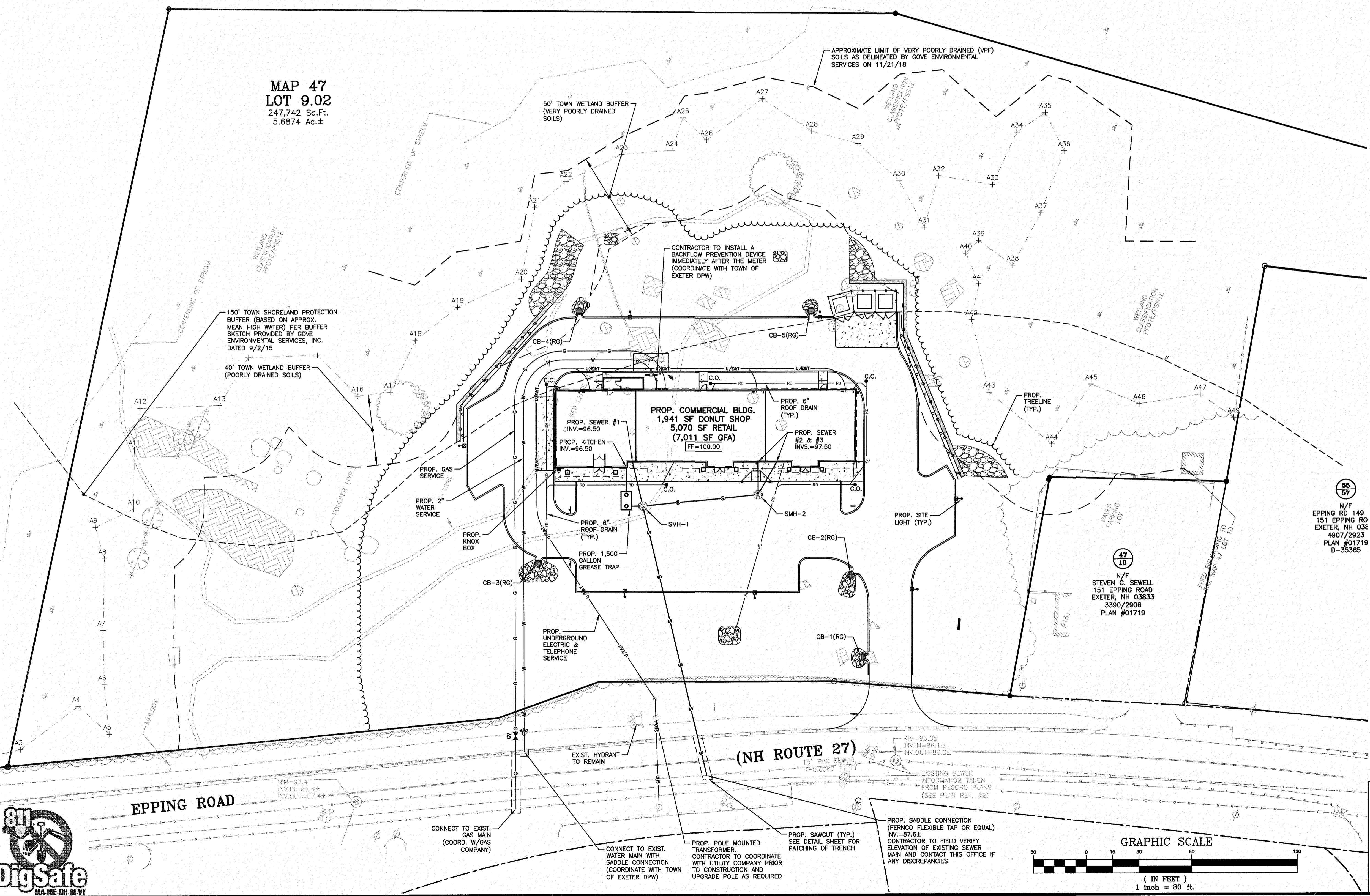
PUBLIC UTILITIES

UTILITIES	AVAILABLE
(WATER) EXETER PUBLIC WORKS DEPT. (603-773-6157)	YES
(GAS) UNITIL (866-933-3820)	YES
(ELECTRIC) UNITIL (800-582-7276)	YES
(TELEPHONE) CONSOLIDATED COMMUNICATIONS (1-866-984-3001)	YES
(SEWER) EXETER PUBLIC WORKS DEPT. (603-773-6157)	YES

PLAN REFERENCES:

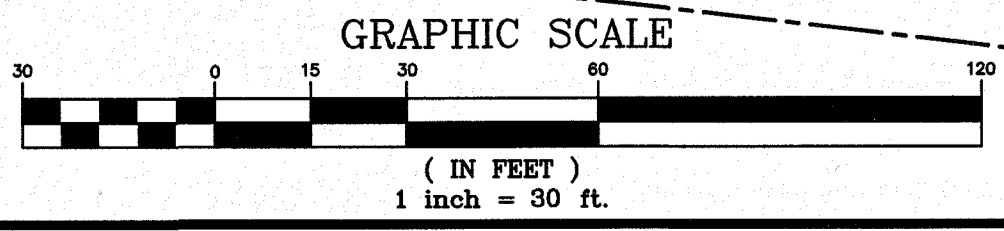
- 1) PROPOSED SUBDIVISION, 159 EPPING ROAD, PREPARED FOR CKT & ASSOCIATES, PREPARED BY AMBT ENGINEERING, INC., DATE: JUNE 2018 (REV. 7/16/2018), SHEETS 1-4 OF 4.
- 2) PLAN & PROFILE, EPPING ROAD, PREPARED FOR THE TOWN OF EXETER BY UNDERWOOD ENGINEERS, INC., ORIGINAL DATE: 5/15/98, RECORD DATE: 1/19/99, SCALE: 1"=40', SHEET 4 OF 9.

**MAP 47
LOT 9.02**
247,742 Sq.Ft.
5.6874 Ac.±



55
57
N/F
EPPING RD 149
151 EPPING RD
EXETER, NH 038
4907/2923
PLAN #01719
D-35365

47
10
N/F
STEVEN C. SEWELL
151 EPPING ROAD
EXETER, NH 03835
3390/2906
PLAN #01719



NO.	REVISIONS	BY	DATE
2	REVISIONS PER TRC COMMENTS	CMT	11/28/18
1	REVISE SHORELAND LIMITS	CMT	11/5/18

UTILITY PLAN

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

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SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 4328UT.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 7 OF 13

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LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- VERTICAL GRANITE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- SIGN
- OBSERVATION WELL
- TREETLINE
- C.O. PROP. CLEANOUT
- CB-1 ■ PROP. CATCH BASIN
- DMH-1 ● PROP. DRAIN MANHOLE
- SMH-1 ● PROP. SEWER MANHOLE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- WETLAND LINE
- MEET EXISTING GRADE
- PROP. SPOT ELEVATION
- PROP. CONTOUR ELEVATION

WINTER STABILIZATION NOTES:

- MAINTENANCE REQUIREMENTS:**
 MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.
 FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).
- SPECIFICATIONS:**
 TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.
1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. SUBJECT TO APPLICABLE REGULATIONS, THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC.
 2. STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 3 DAYS.
 - A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (SEE DESCRIPTION OF EROSION CONTROL MIX BERMS FOR MATERIAL SPECIFICATION).
 - B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER OTHAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
 3. ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 4. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
 5. ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
 6. STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
 7. FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
 8. INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
 9. ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
 10. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 11. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NIST ITEM 304.3.
 12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

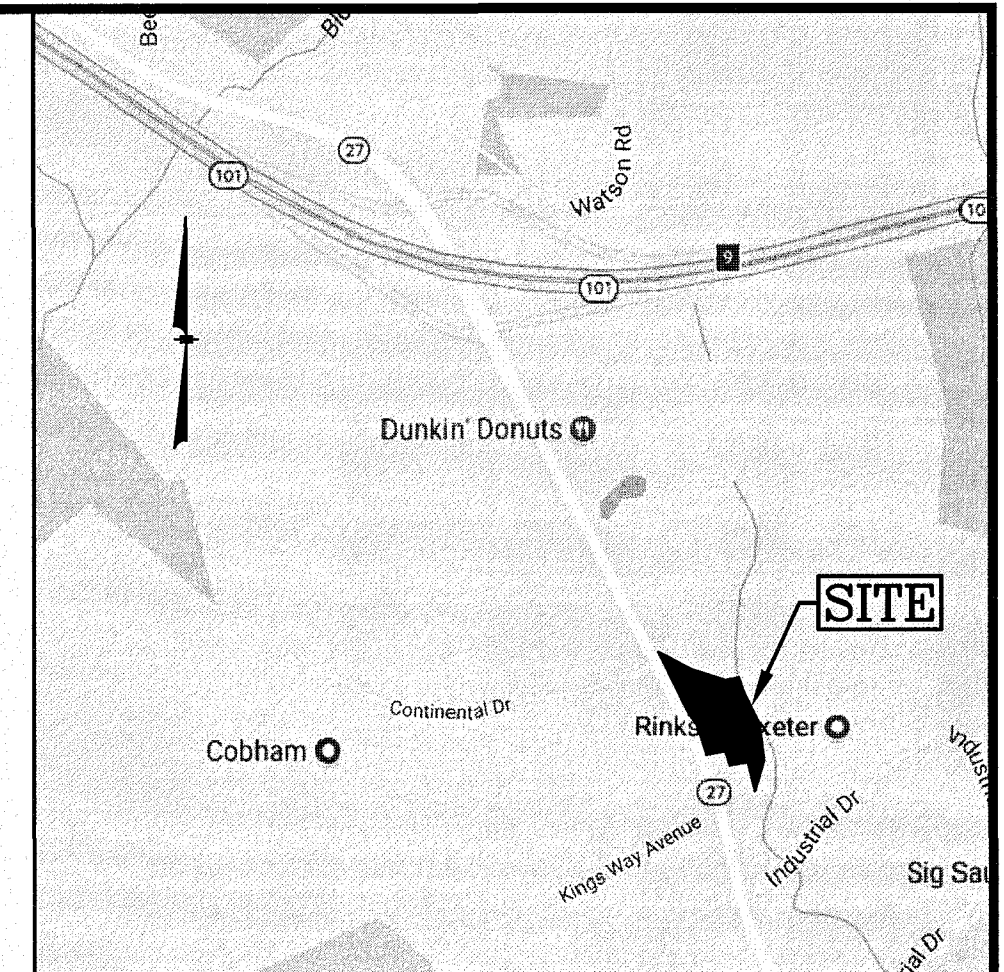
TEMPORARY EROSION CONTROL MEASURES:

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
3. BALED HAY AND MULCH SHALL BE REMAINS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
4. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
5. STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
6. ALL DISTURBED AREAS SHALL BE LOADED AND SEEDDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
8. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
10. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
11. ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
12. JUTE MATTING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

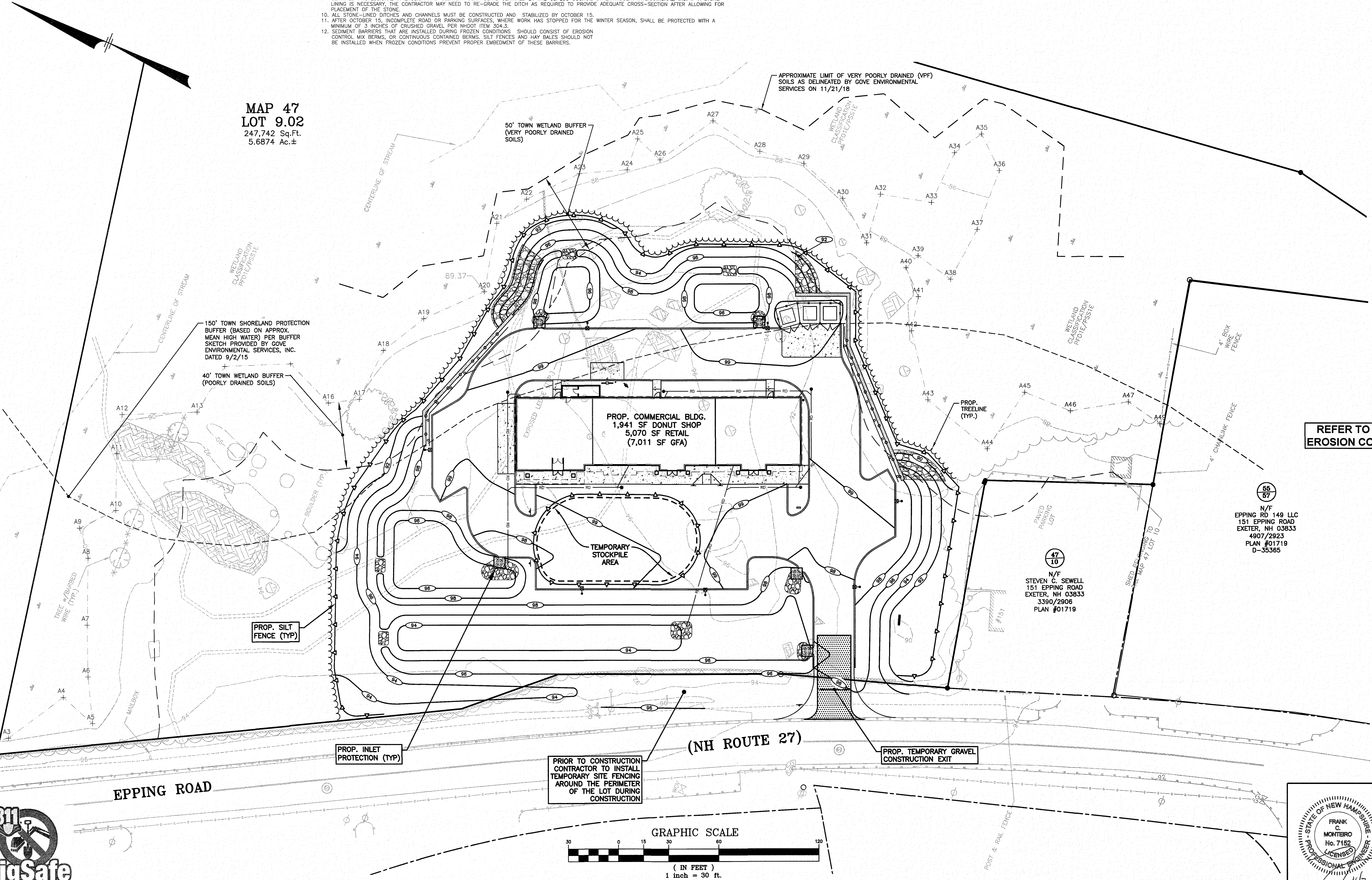
CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDDED TO PREVENT EROSION.
5. CONSTRUCT SWALES & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
6. CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM. NO STORMWATER FLOWS ARE TO BE DIRECTED TO THE INFILTRATION SYSTEMS UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
8. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDDED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISHED GRADES.
9. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DITCHES, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
10. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
11. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.

12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 13. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
 14. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW.
- | | |
|---|------------------|
| Limetone: 138 lbs./1,000 square feet. | |
| Fertilizer: 13.8 lbs./1,000 SF | |
| Mulch: 70y much approximately 3 tons/acre unless erosion control matting is used. | |
| Permanent Seed Mix | lbs./acre |
| Creeping Red Fescue | 20 |
| Tall Fescue | 20 |
| Redtop | 2 |
| TOTAL | 42 |
| Temporary Seed Mix | lbs./acre |
| Winter Rye (Aug. 15-Sept. 15) | 112 |
| Oats (No later than May 15) | 80 |
15. NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.
 16. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:5.3 AND AGR 380.0 RELATIVE TO INVASIVE SPECIES.
 17. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH EN-A 1000.



**MAP 47
 LOT 9.02
 247,742 Sq.Ft.
 5.6874 Ac.±**



EROSION CONTROL NOTES:

1. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008.
2. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
3. LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
4. ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - D) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
5. SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
6. ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOADED AND SEEDDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
7. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE PREPARED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDDED WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDDED AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOOLED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.
8. DURING GRADING OPERATIONS INSTALL HAY BALE BARRIERS ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
9. THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BUILDERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.
10. AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ROADS.

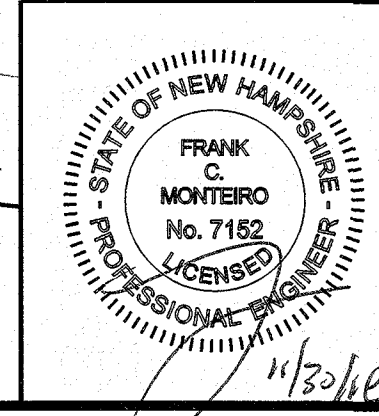
**REFER TO SHEET 12 FOR
 EROSION CONTROL DETAILS**

56
 57
 N/F
 EPPING RD 149 LLC
 151 EPPING ROAD
 EXETER, NH 03833
 4907/2923
 PLAN #01719
 D-35365

47
 10
 N/F
 STEVEN C. SEWELL
 151 EPPING ROAD
 EXETER, NH 03833
 3390/2906
 PLAN #01719

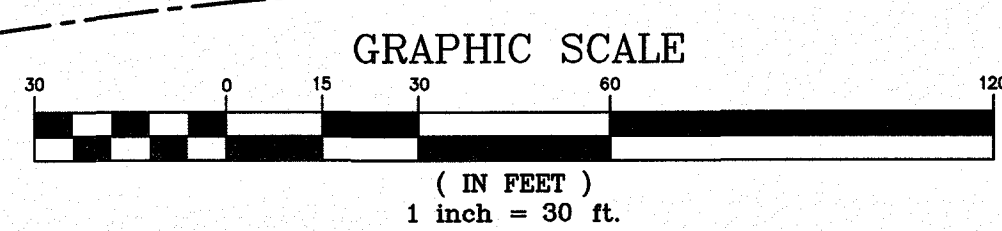
NO.	REVISIONS	BY	DATE
2	REVISIONS PER TRC COMMENTS	CMT	11/28/18
1	REVISE SHORELAND LIMITS	CMT	11/5/18

EROSION & SEDIMENT CONTROL PLAN
 ASSESSORS MAP 47 PROPOSED LOT 9.02
 159 EPPING ROAD
 EXETER, NEW HAMPSHIRE
 PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
 369 LAFAYETTE ROAD
 HAMPTON, NH 03842



MHF Design Consultants, Inc.
 44 Shiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
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 www.mhfdesign.com

SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 4328EROS.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 8 OF 13



LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- VERTICAL GRANITE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- SIGN
- OBSERVATION WELL
- TREELINE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- WETLAND LINE

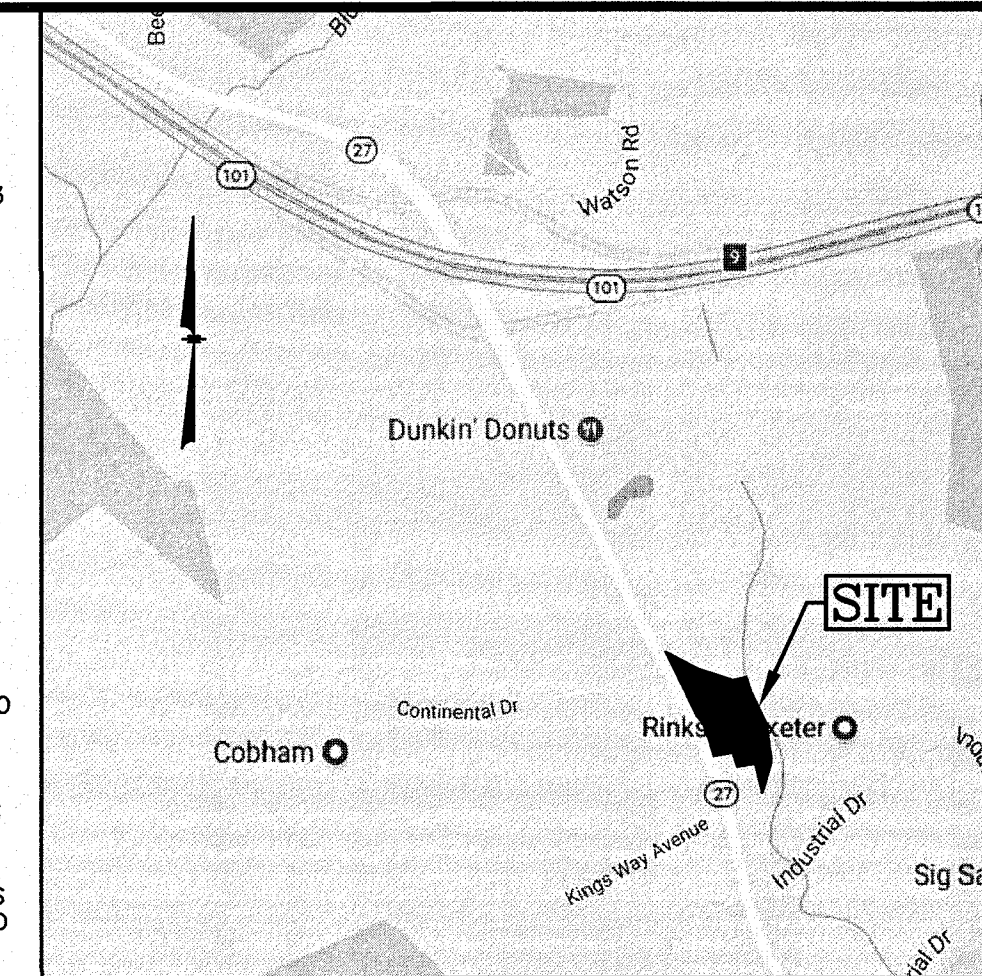
PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
TREES					
AR	5	ACER R. 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" - 2 1/2" CAL.	- / SHADE-NARROW-STREET
BN	5	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8" - 10" HT.	- / SHADE-MULTI-STEM
MS	2	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" - 2 1/2" CAL.	20' HT. MAX. / WHITE FLOWERS-AVOID FRUIT
PG	3	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	7" - 8" HT.	- / SCREEN-SPECIMEN
SHRUBS					
CA	9	CLETHRA A. 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	18" - 24" HT. 3 CAL.	FLOWERING SHRUB
CS	36	CORNUS S. 'ALLEN'S COMPACT'	ALLEN'S COMPACT DOGWOOD	18" - 24" HT. 5 GAL.	RED BARK IN WINTER
IG	24	ILEX GLABRA CULTIVAR	INKBERRY	18" - 24" HT.	EVERGREEN
IV	42	ILEX VERTICILLATA 'MARYLAND BEAUTY'	MARYLAND BEAUTY WINTERBERRY	4" - 5" HT.	FEMALE W/ BERRIES
IVM	2	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	4" - 5" HT.	MALE
JB	17	JUNIPERUS H. 'BAR HARBOR'	BAR HARBOR JUNIPER	18" - 24" SPR.	1" HT. MAX. / GROUND COVER / EVERGREEN
PS	2	PINUS STROBUS 'SOFT TOUCH'	SOFT TOUCH WHITE PINE	18" - 24" HT. 5 GAL.	3" HT. MAX. / EVERGREEN SHRUB
RP	16	RHODODENDRON 'PJM'	PJM RHODODENDRON	2" - 2 1/2" CAL.	BURGUNDY FOLIAGE IN WINTER
TE	17	TAXUS X MEDIA 'EVER-LOW'	EVER-LOW YEW	18" - 24" SPR.	1" - 2" HT. MAX. / SPREADING
TO	16	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6" - 7" HT.	TIGHT COLUMNAR EVERGREEN
PERENNIALS & GRASSES					
HHR	59	HEMERCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILLY	1 GAL.	
IS	38	IRIS S. 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	1 GAL.	
IC	140	IRIS VERSI COLOR	BLUE FLAG IRIS (PURPLE-JULY)	1 GAL.	
PH	18	PENNISETUM A. 'HAMELYN'	DWARF FOUNTAIN GRASS	2 GAL.	

1 XXX PLANT QUANTITY
PLANT DESIGNATION

NOTES:

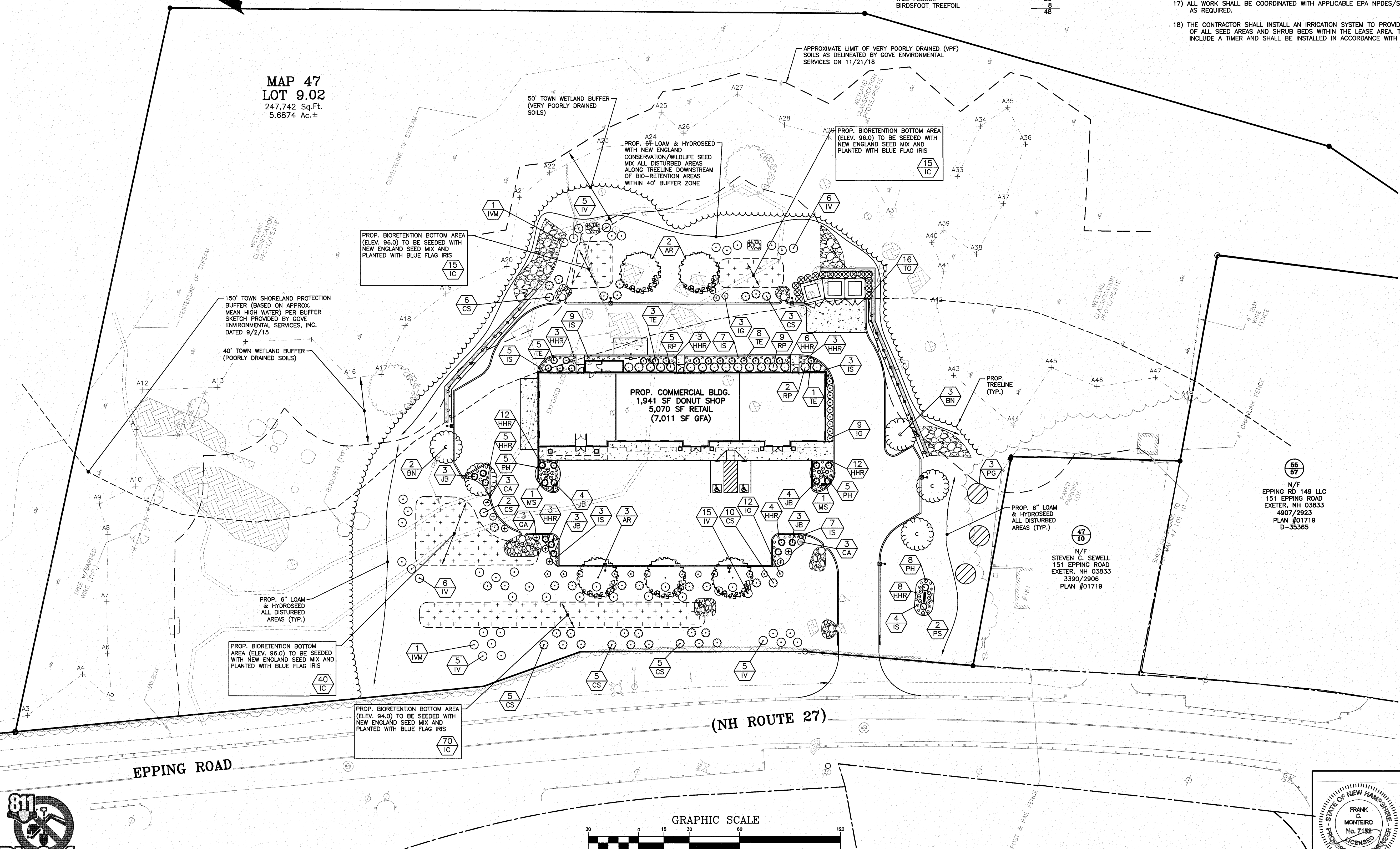
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERMEN, INC.).
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED GOV MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE
- SEED MIX (SLOPES LESS THAN 4:1) LBS./ACRE
CREEPING RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDTOP 2
42
- SLOPE MIX (SLOPES GREATER THAN 4:1) LBS./ACRE
CREEPING RED FESCUE 20
TALL FESCUE 20
BIRDSFOOT TREEFOIL 8
48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- FOR SEED (& SOD) AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCELSIOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- THE CONTRACTOR SHALL DIG ROOT BALLS FOR TRANSPLANTED ITEMS TO THE DIMENSIONS OUTLINED IN THE NURSERY STOCK SPECIFICATIONS MANUAL (SEE NOTE #1).
- THE CONTRACTOR SHALL TAKE EXTREME CAUTION TO MINIMIZE DAMAGE TO ROOT SYSTEMS DURING DIGGING AND TRANSPLANTING. ROOT BALLS OF TRANSPLANTS SHALL BE WRAPPED IN BURLAP (WHICH SHALL BE REMOVED UPON RE-PLANTING) AND KEPT MOIST.
- EXPOSED SOILS SHALL BE SEEDED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE LEASE AREA. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.



LOCATION MAP
(NOT TO SCALE)

MAP 47
LOT 9.02
247,742 Sq.Ft.
5.6874 Ac.±



NEW ENGLAND WETLAND PLANTS, INC.
520 WEST STREET
AMHERST, MA 01002
PHONE: 413.548.9000
FAX: 413.549.4000
EMAIL: INFO@NEWY.COM
WEB ADDRESS: WWW.NEWY.COM

New England Conservation/Wildlife Mix

BOTANICAL NAME	COMMON NAME	IND.
<i>Tymus virginicus</i>	Virginia Wild Rye	FACW+
<i>Schizachyrium scaparium</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Croeping Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Panicum claudetianum</i>	Deer Tongue	FAC+
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Helianthus autumnalis</i>	Common Sunflower	FACW+
<i>Helianthus helianthoides</i>	Ox Eye Sunflower	UPL
<i>Verbena hastata</i>	Blue Vervain	FACW
<i>Achillea millefolium</i>	Common Yarrow	FACU
<i>Aster umbellatus</i>	Flat Topped Umbrella Aster	FACW
<i>Eupatorium purpureum</i>	Purple Joe Pys Weed	FAC
<i>Solidago nemora</i>	Early Goldenrod	FAC
<i>Zizia aurea</i>	Golden Alexanders	FAC

PRICE PER LB. \$36.50
MIN. QUANTITY: 2 LBS.
TOTAL \$73.00
APPLY 25 LBS./ACRE
1 LB./1750 SQ FT
MINIMUM QUANTITY: 2 LBS

The New England Conservation/Wildlife Mix provides a permanent cover of grasses, wildflowers and legumes to provide both good erosion control and wildlife habitat value. This mix is designed to be a maintenance seeding, and it is appropriate to cut and fill slopes, detention basin slopes, and disturbed areas adjacent to commercial and residential projects. Always apply on clean bare soil. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper seed to soil contact. Best results are obtained with a Spring seeding. Late Spring through early Summer seeding will benefit with a light mulching of wood-free straw to conserve moisture. If conditions are drier than normal, watering will be required. Late Fall and Winter dormant seeding require an increase in the seeding rate. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free soil surface is necessary for optimal results.

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged.
Price is \$bulk pound. FOB warehouse, plus 8% and applicable taxes.

N/F
EPPING RD 149 LLC
151 EPPING ROAD
EXETER, NH 03833
4907/2923
PLAN #01719
D-35365

N/F
STEVEN C. SEWELL
151 EPPING ROAD
EXETER, NH 03833
3390/2906
PLAN #01719

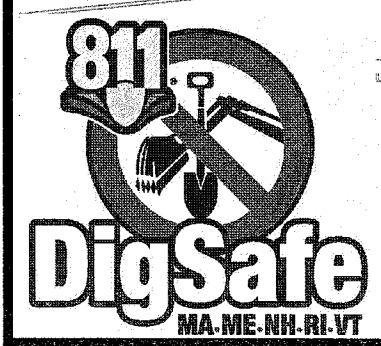
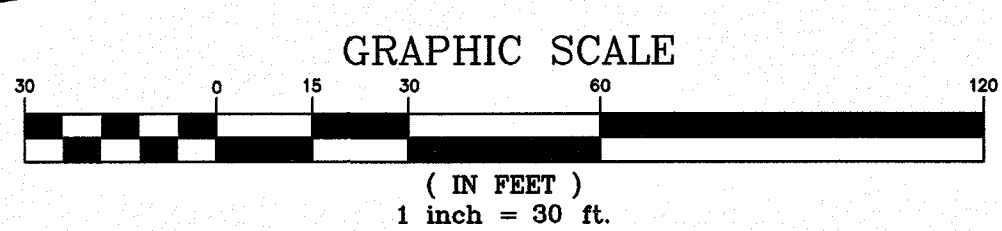
2	REVISIONS PER TRC COMMENTS	CMT	11/28/18
1	REVISE SHORELAND LIMITS	CMT	11/5/18
NO.	DESCRIPTION	BY	DATE

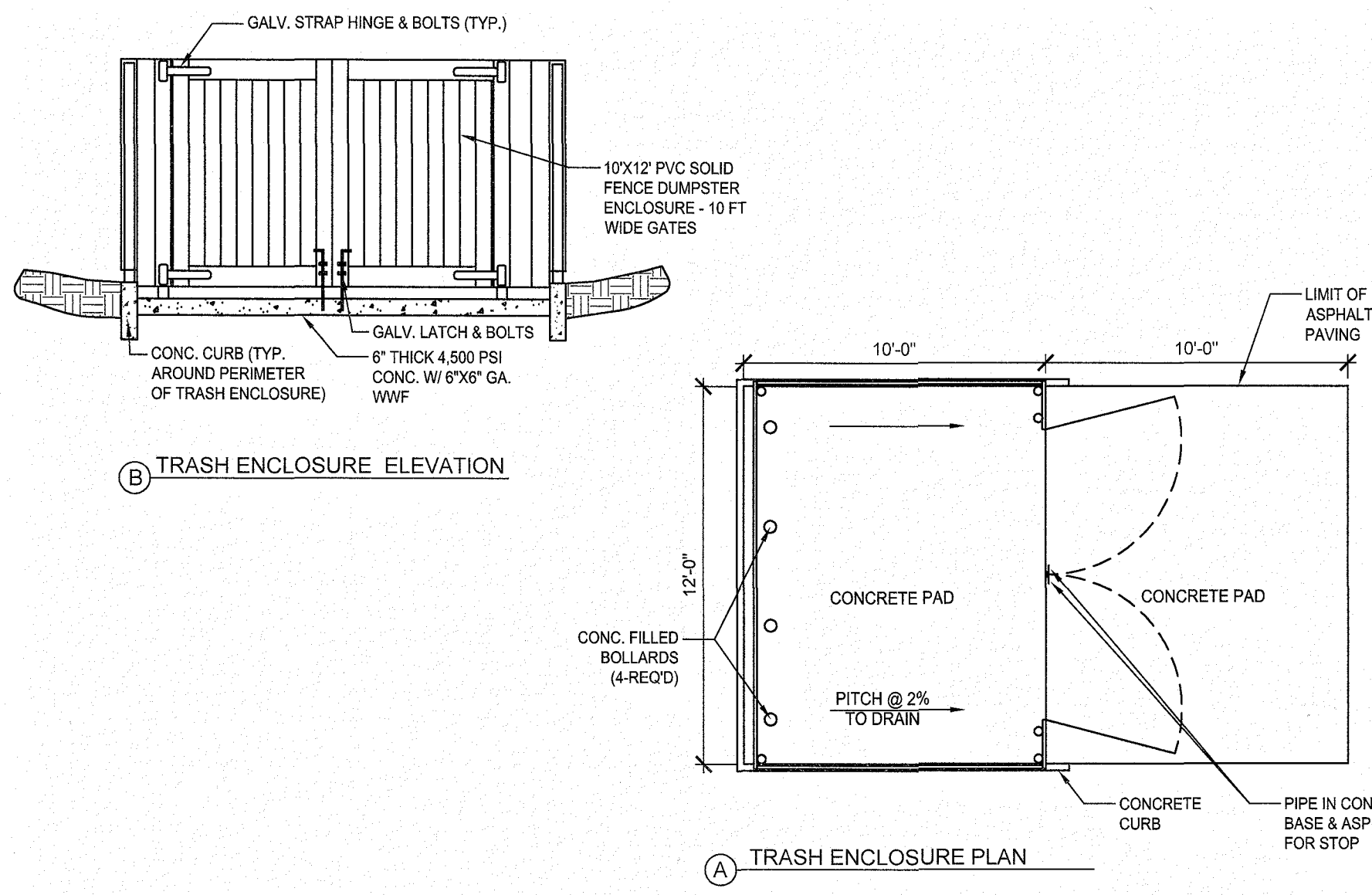
LANDSCAPE PLAN

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

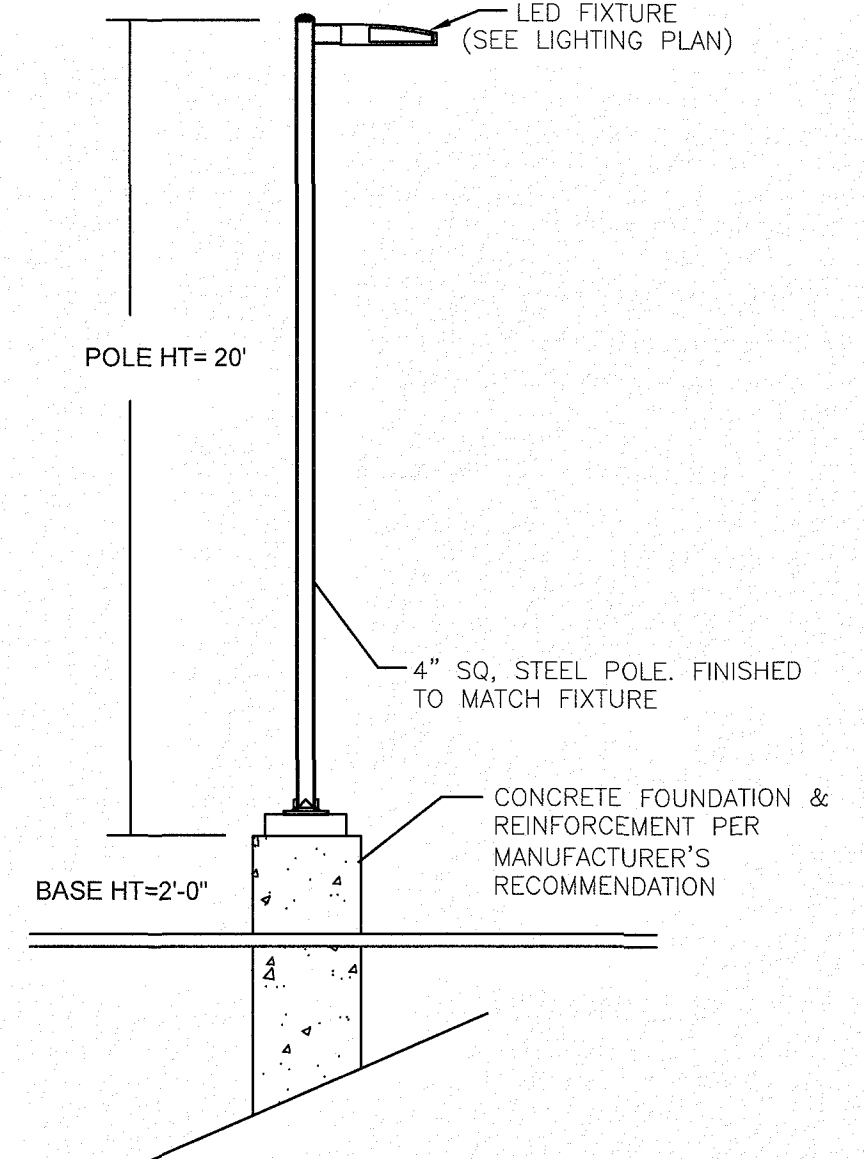
MHF Design Consultants, Inc.
44 Silles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1"=30'	DATE: OCTOBER 30, 2018	DRAWING NO. 4328LADWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 9 OF 13

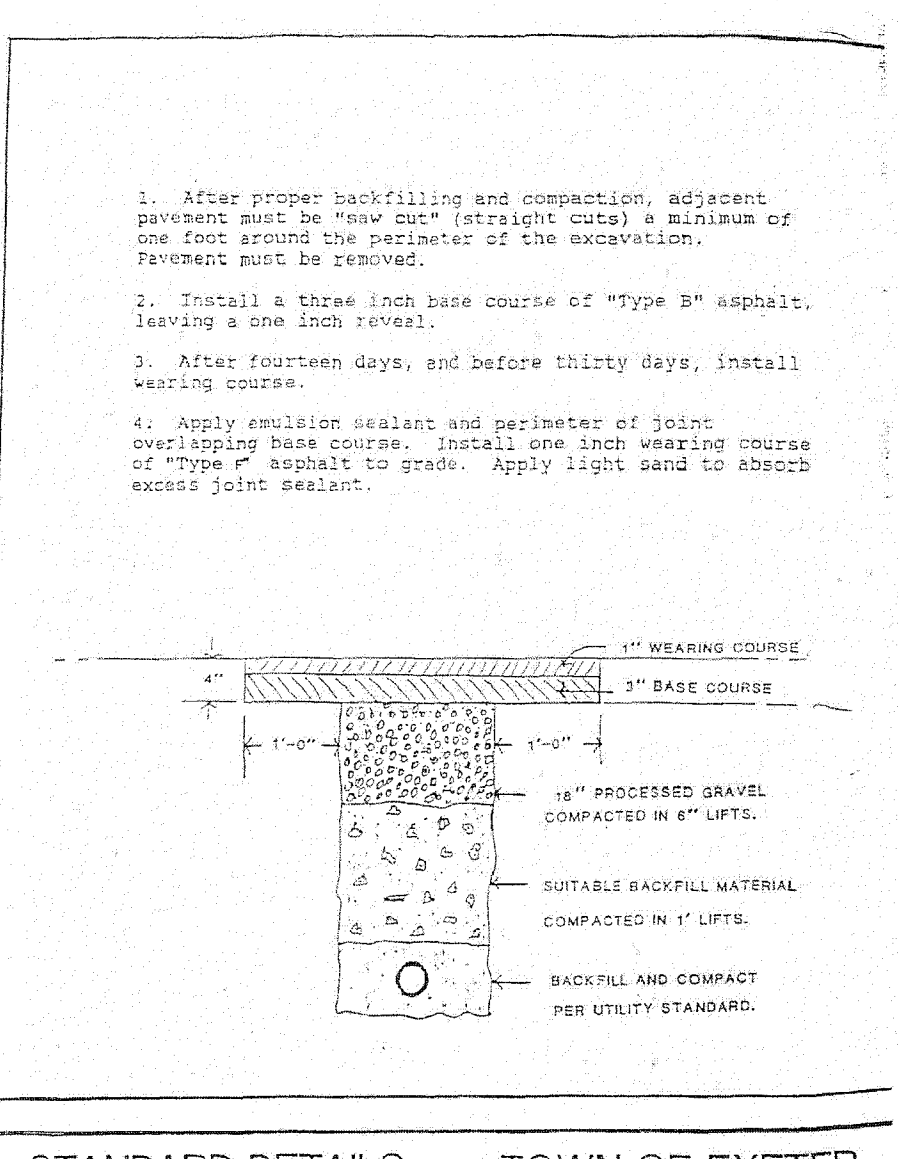




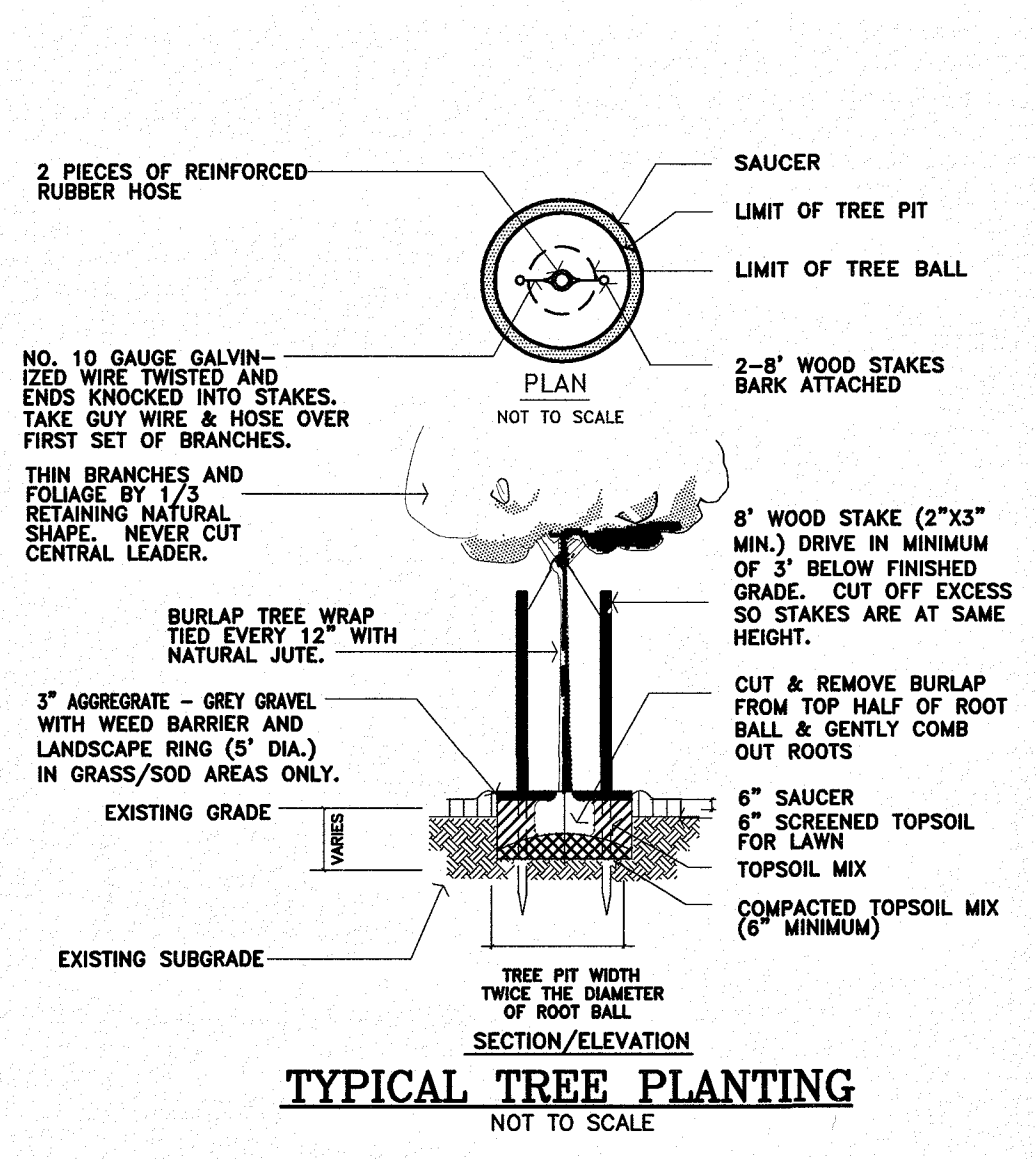
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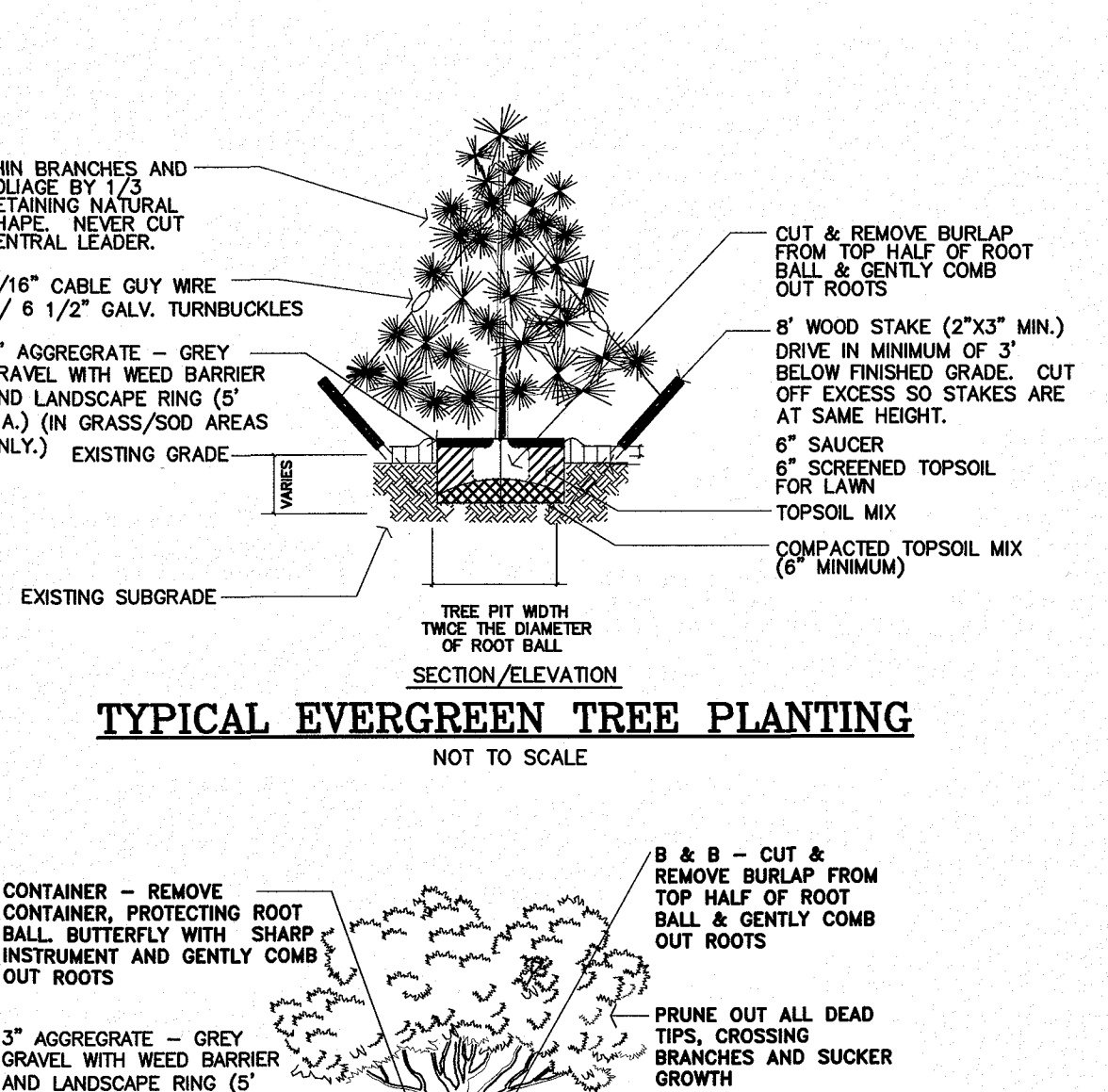
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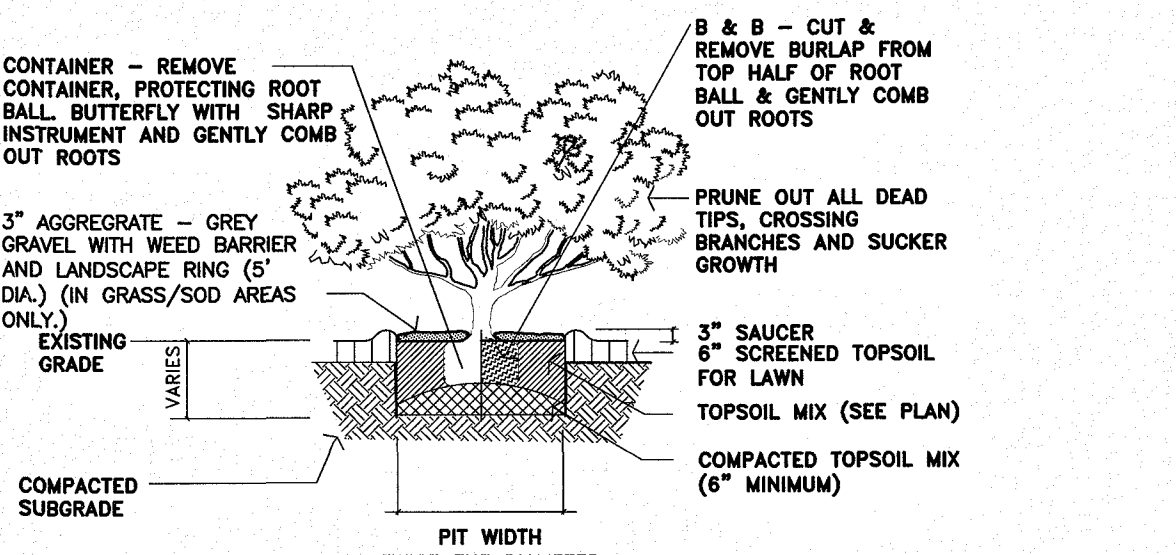
STANDARD DETAILS TOWN OF EXETER
10. TYPICAL PATCHING STANDARDS



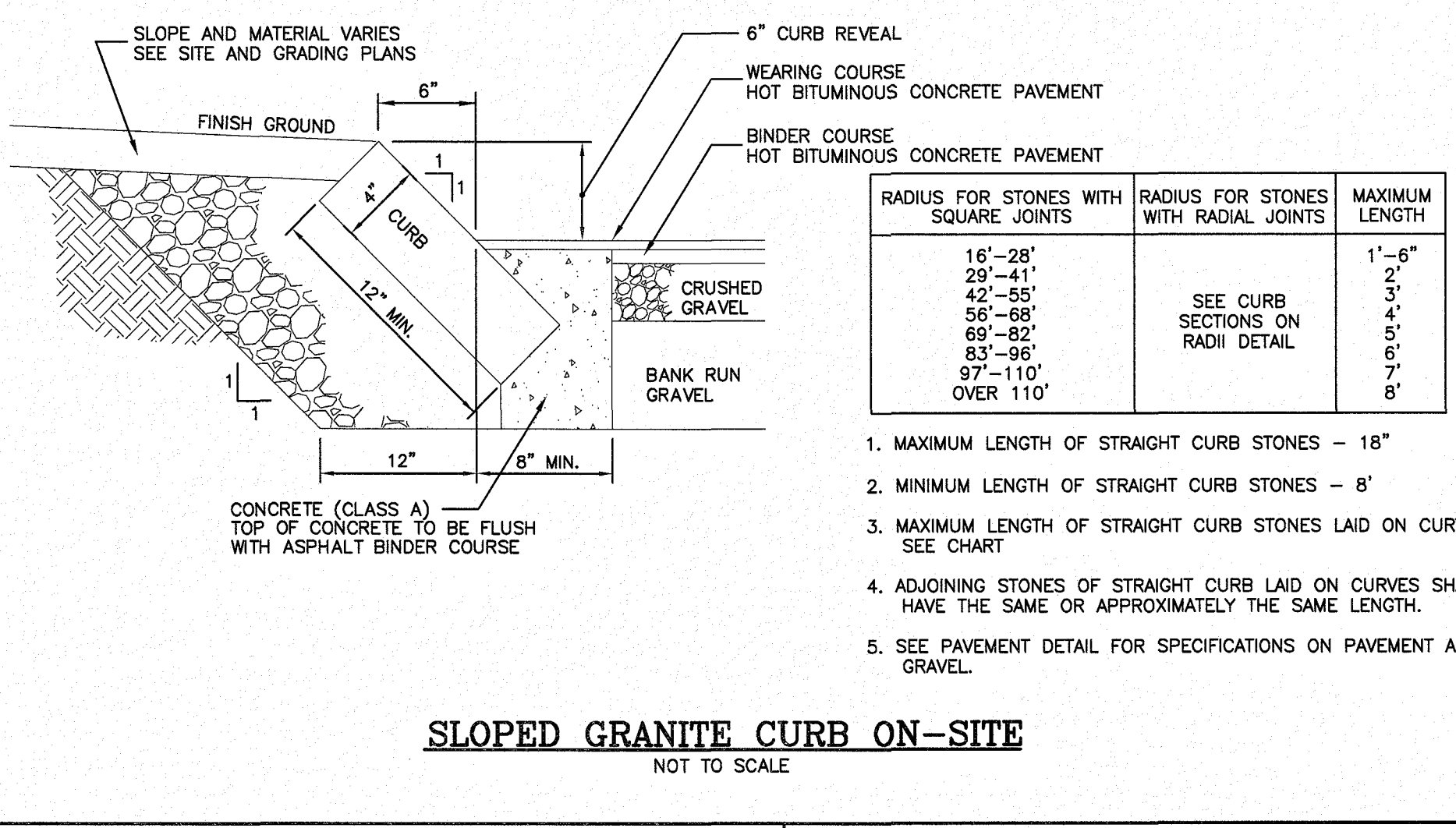
TYPICAL TREE PLANTING
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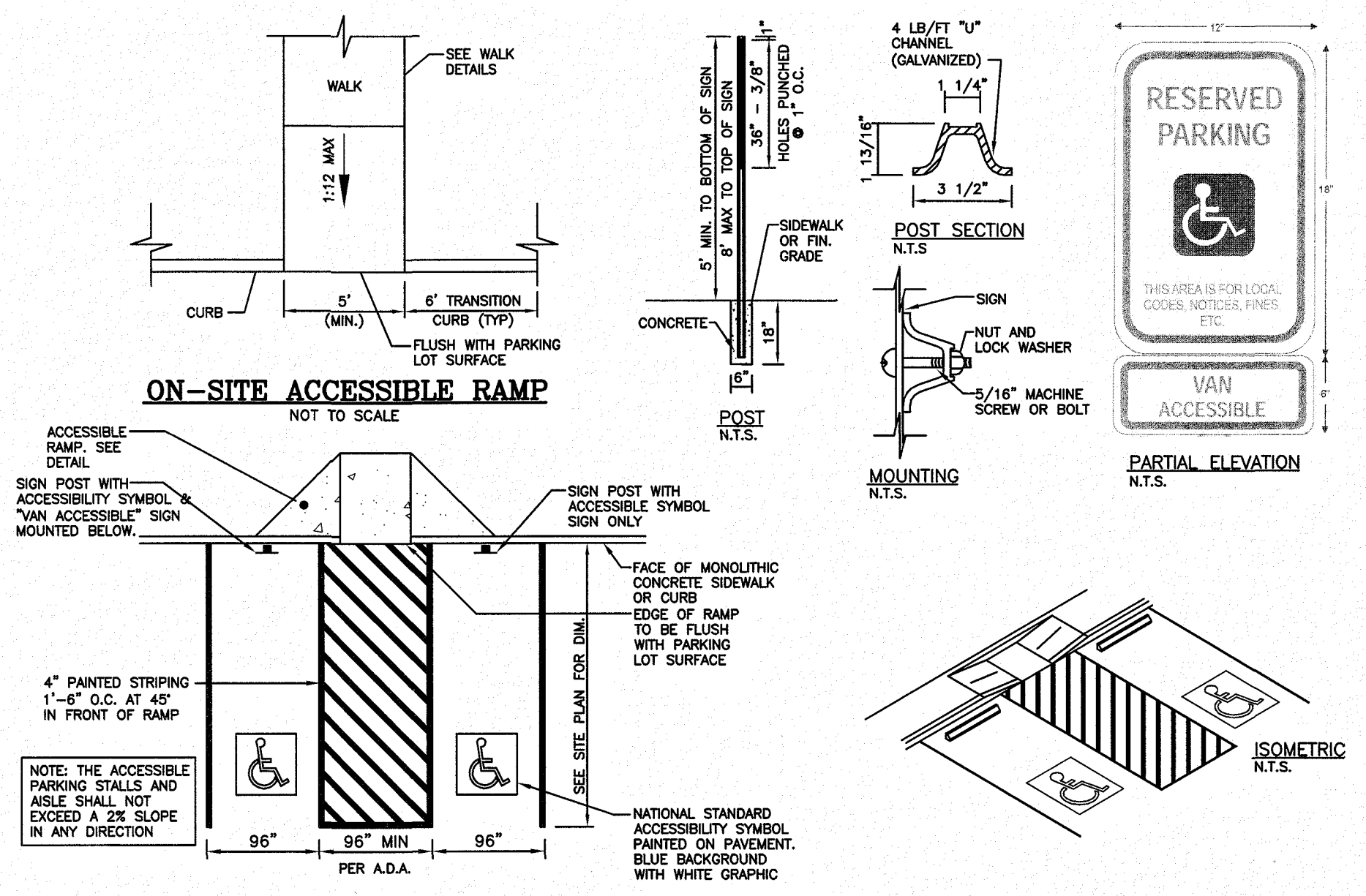
TYPICAL EVERGREEN TREE PLANTING
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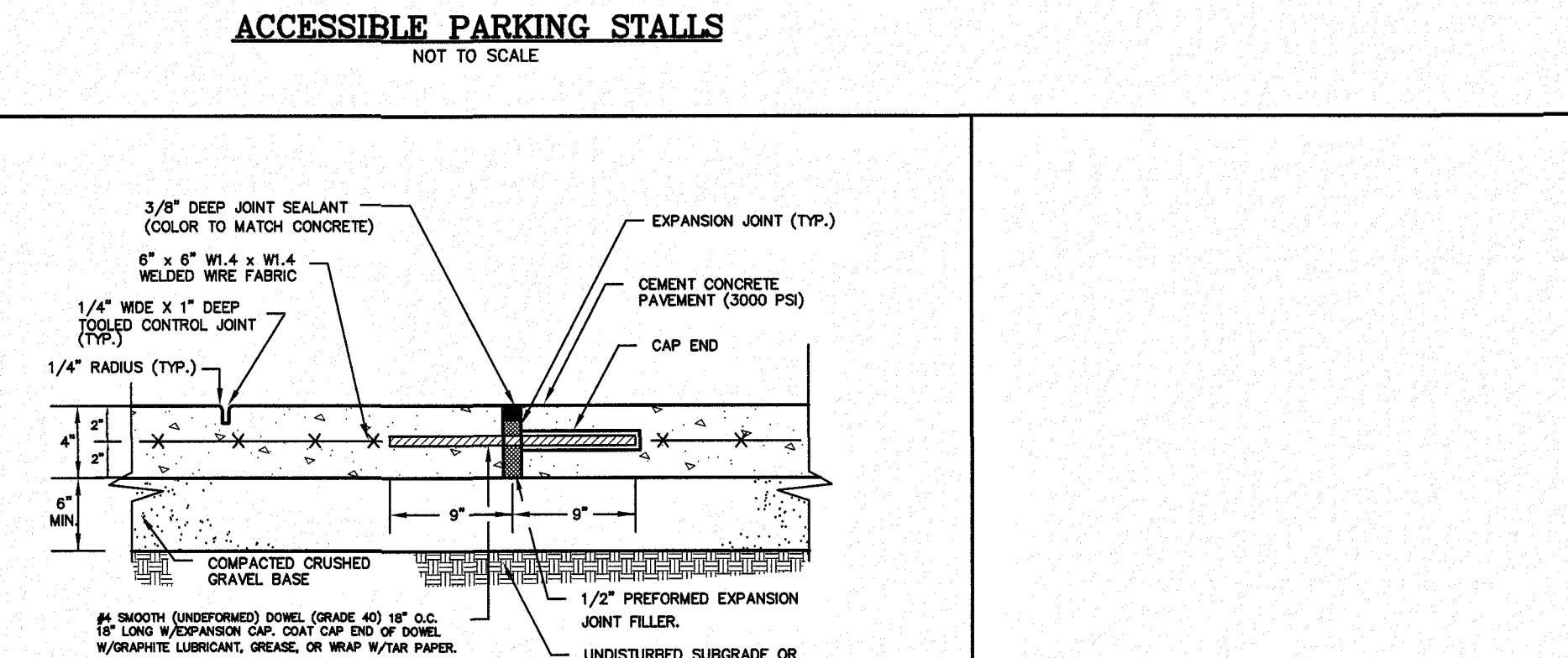
TYPICAL SHRUB PLANTING
NOT TO SCALE



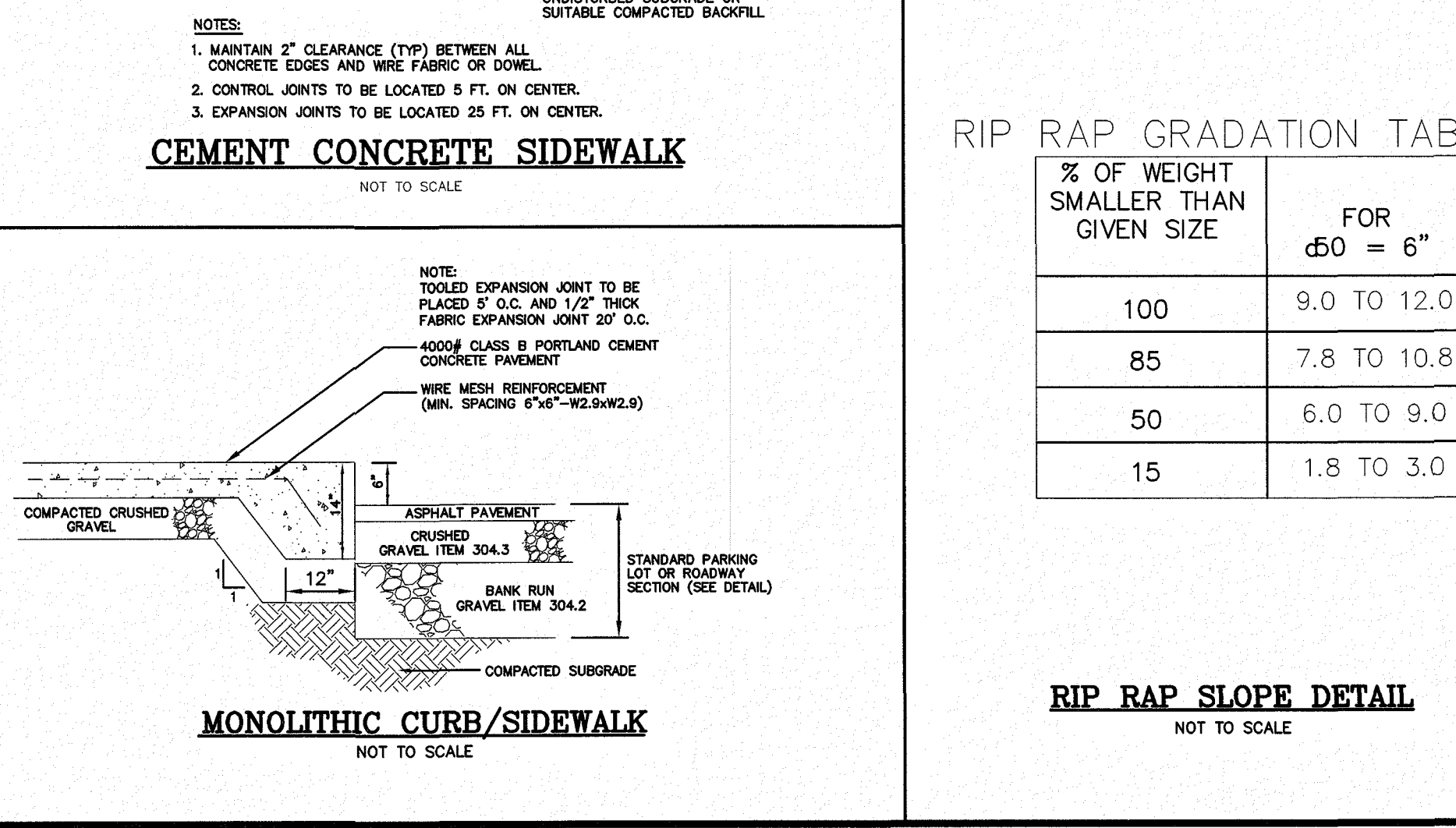
SLOPED GRANITE CURB ON-SITE
NOT TO SCALE



ON-SITE ACCESSIBLE RAMP
NOT TO SCALE



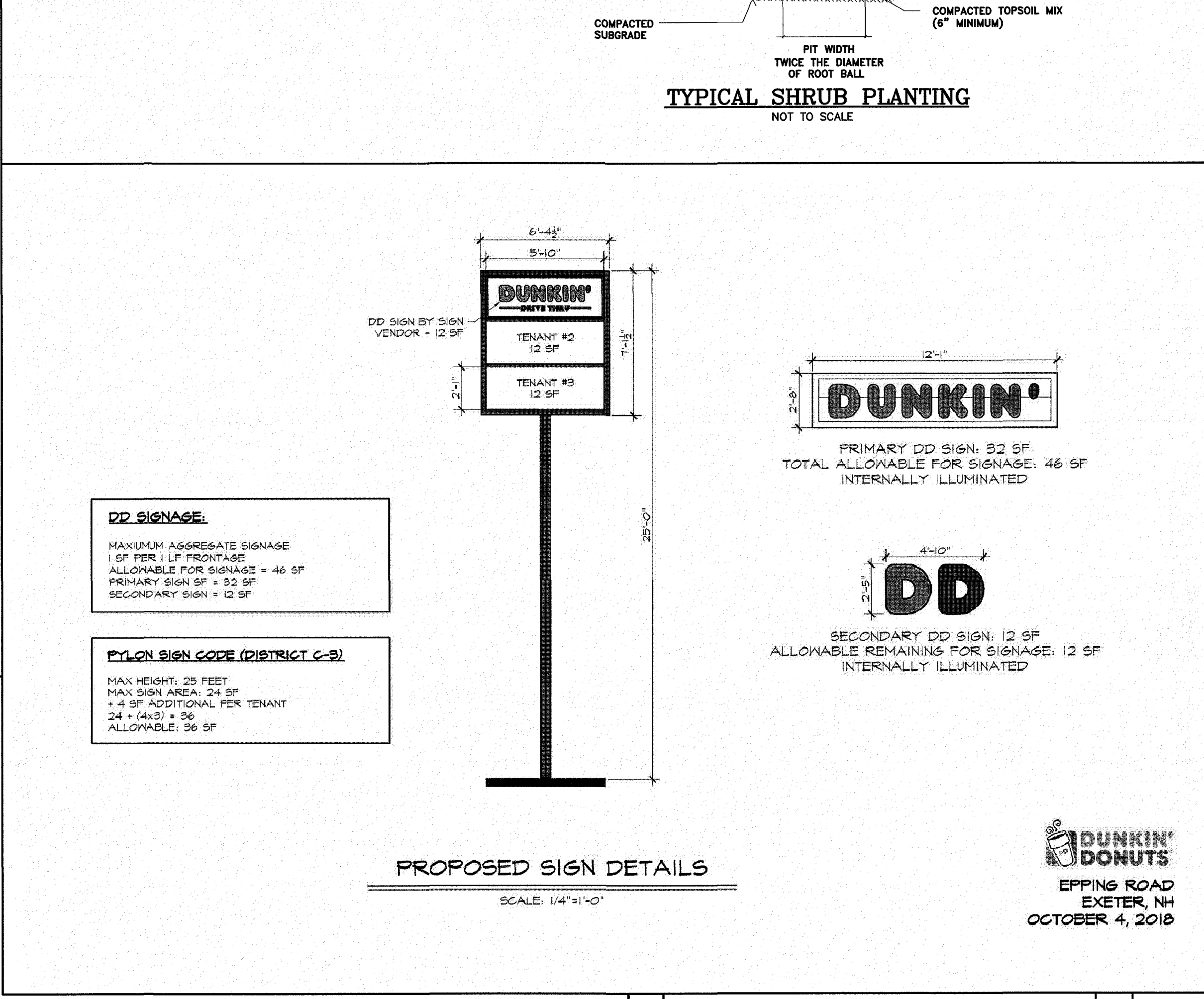
ACCESSIBLE PARKING STALLS
NOT TO SCALE



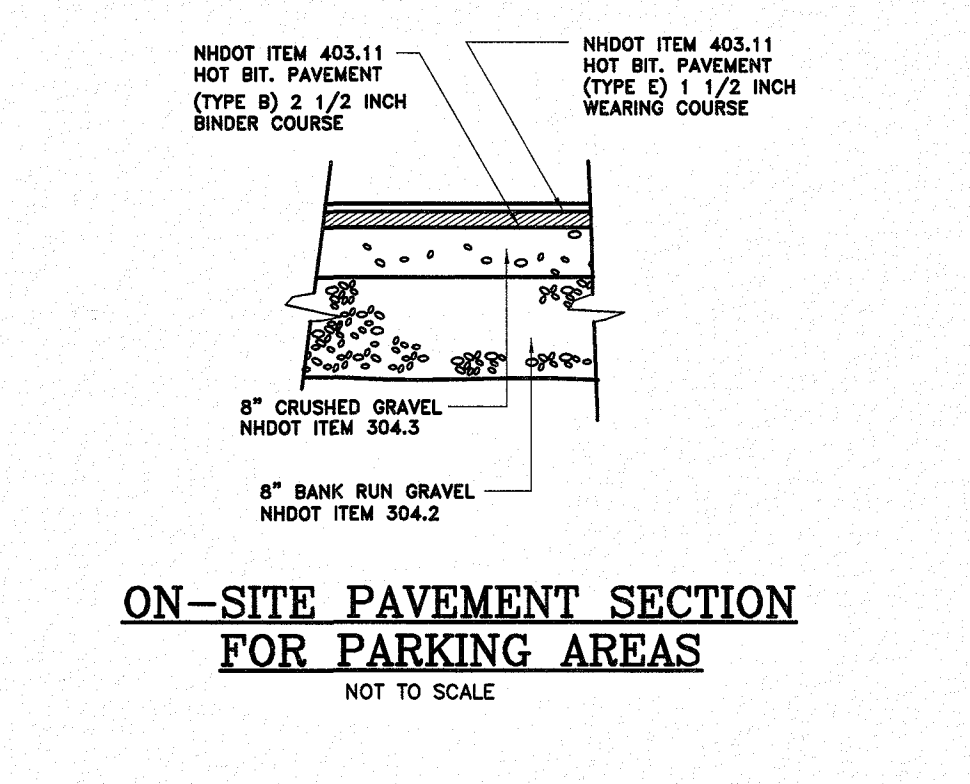
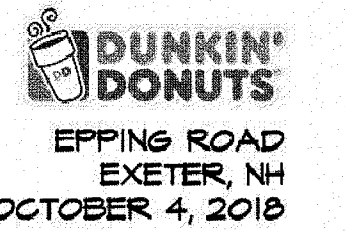
CEMENT CONCRETE SIDEWALK
NOT TO SCALE

RIP RAP GRADATION TABLE

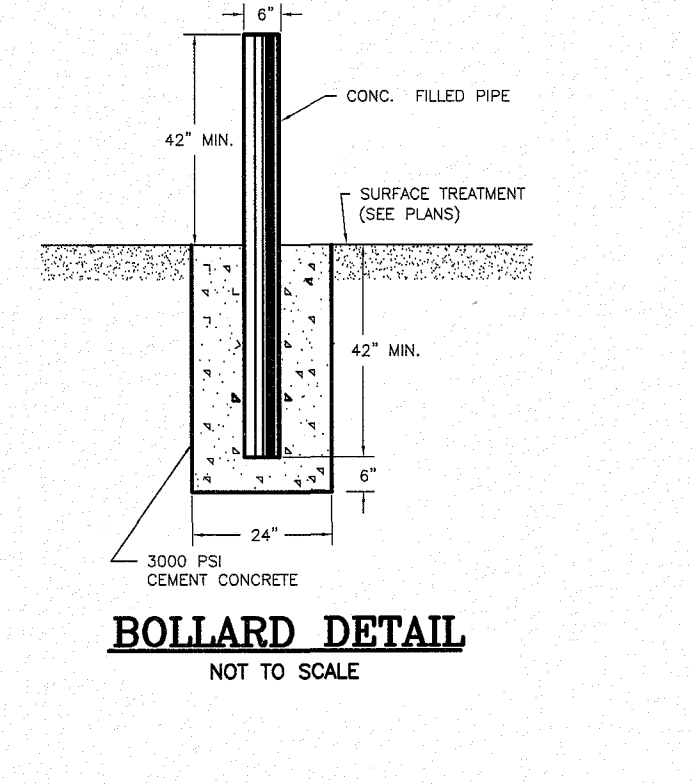
RIP RAP SLOPE DETAIL
NOT TO SCALE



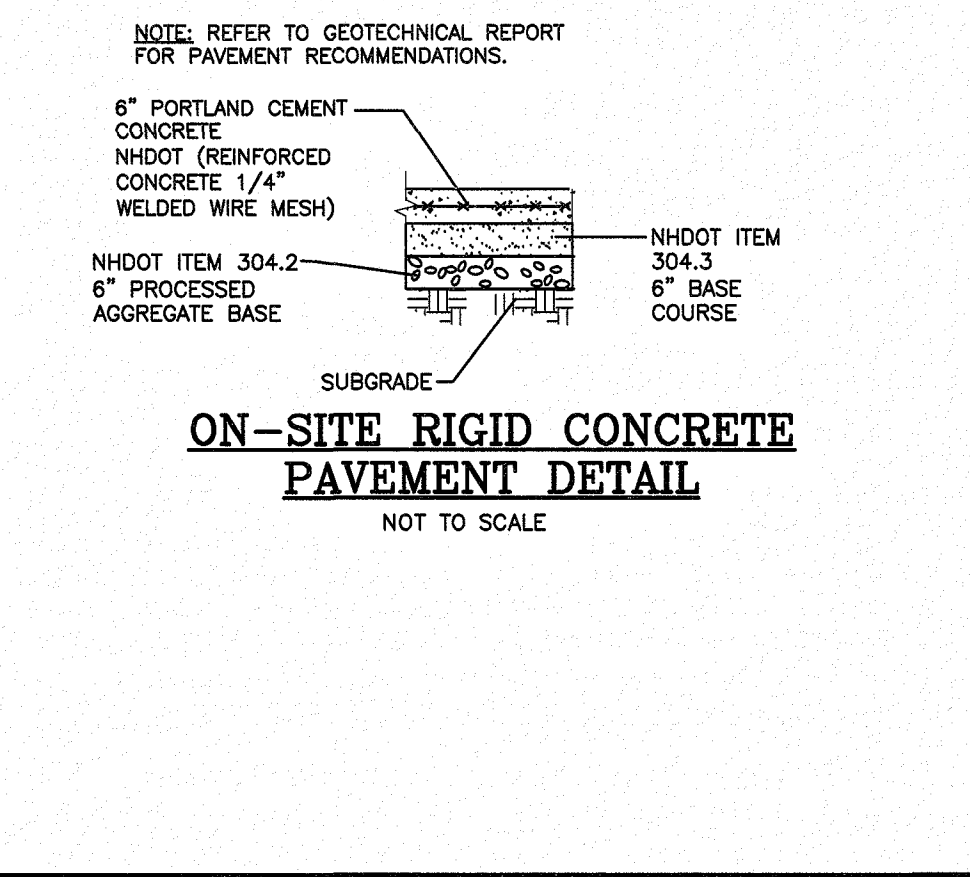
PROPOSED SIGN DETAILS
SCALE: 1/4"=1'-0"



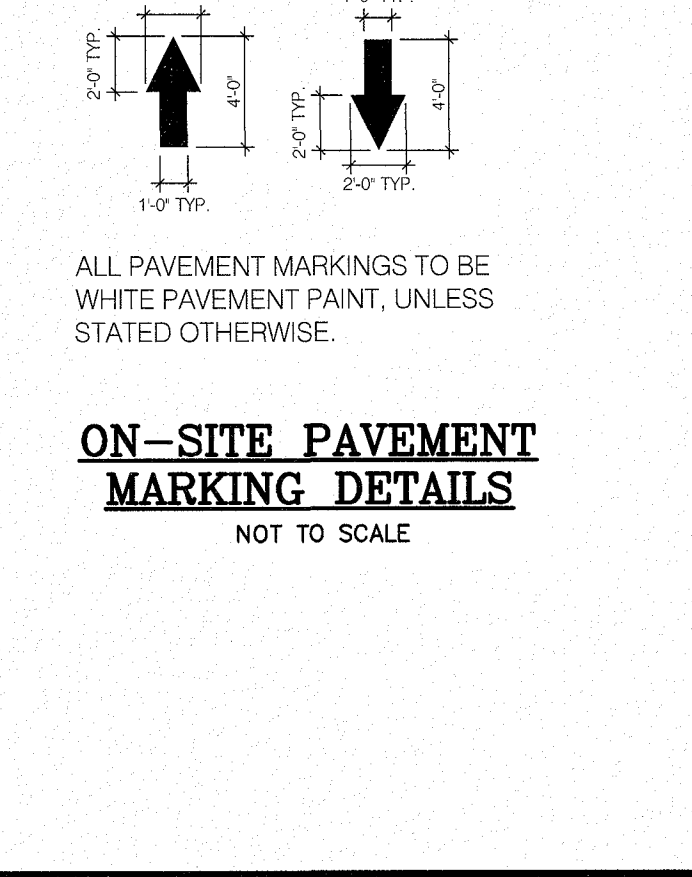
ON-SITE PAVEMENT SECTION FOR PARKING AREAS
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



ON-SITE RIGID CONCRETE PAVEMENT DETAIL
NOT TO SCALE



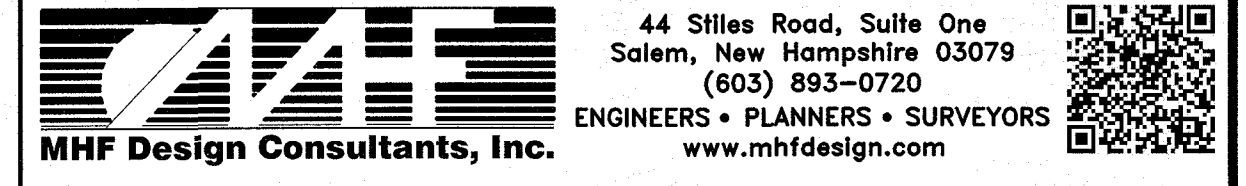
ON-SITE PAVEMENT MARKING DETAILS
NOT TO SCALE

MONOLITHIC CURB/SIDEWALK
NOT TO SCALE

NO.	REVISIONS	BY	DATE
1	REVISE MISC. DETAILS	CMT	11/28/18

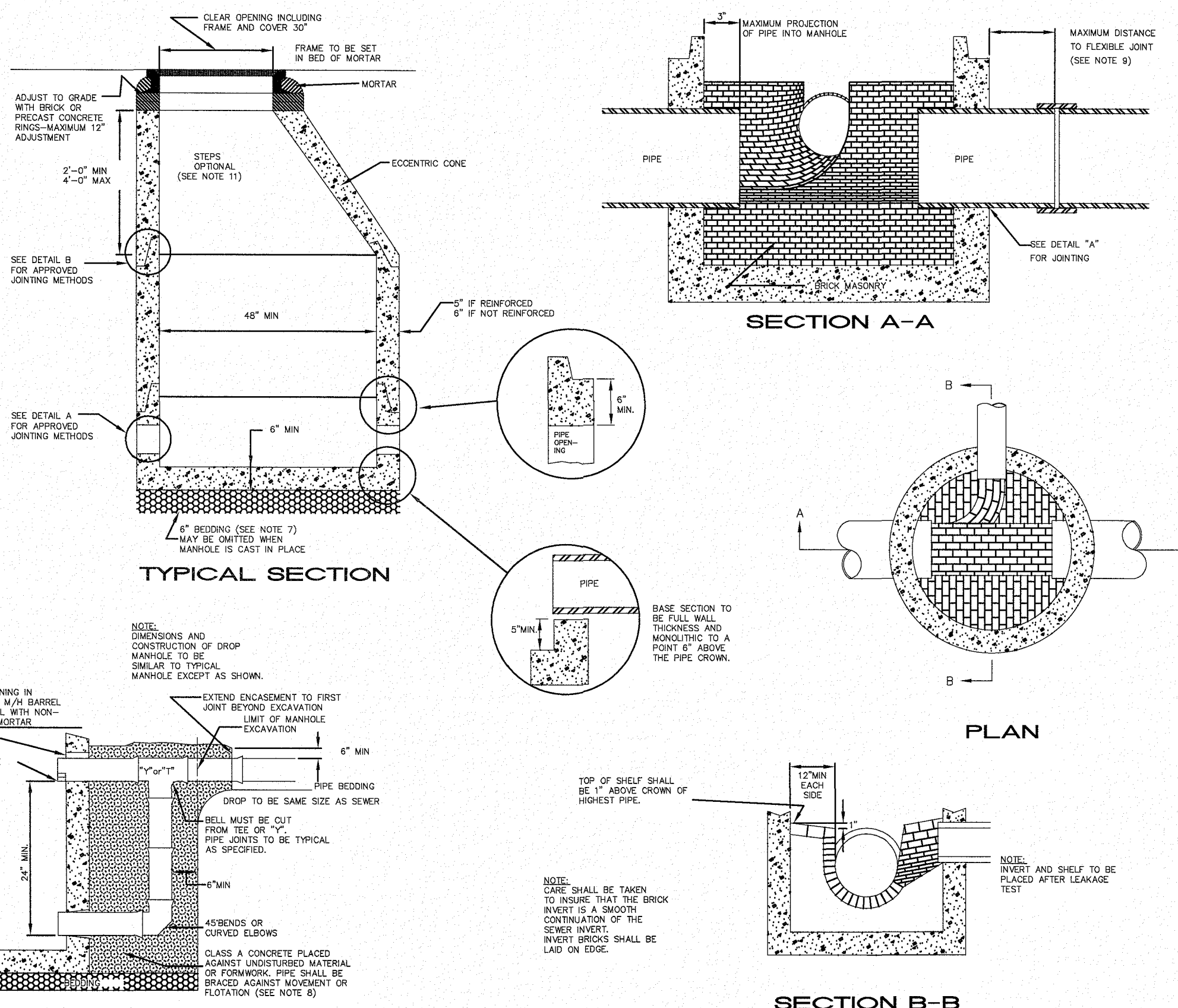
DETAIL SHEET

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842



SCALE:	DATE:	DRAWING NO.:
AS SHOWN	OCTOBER 30, 2018	4328DET.DWG
DRAWN BY:	CHECKED BY:	PROJECT NO.:
CPS	CMT	432817
SHEET NO.:	10 OF 13	

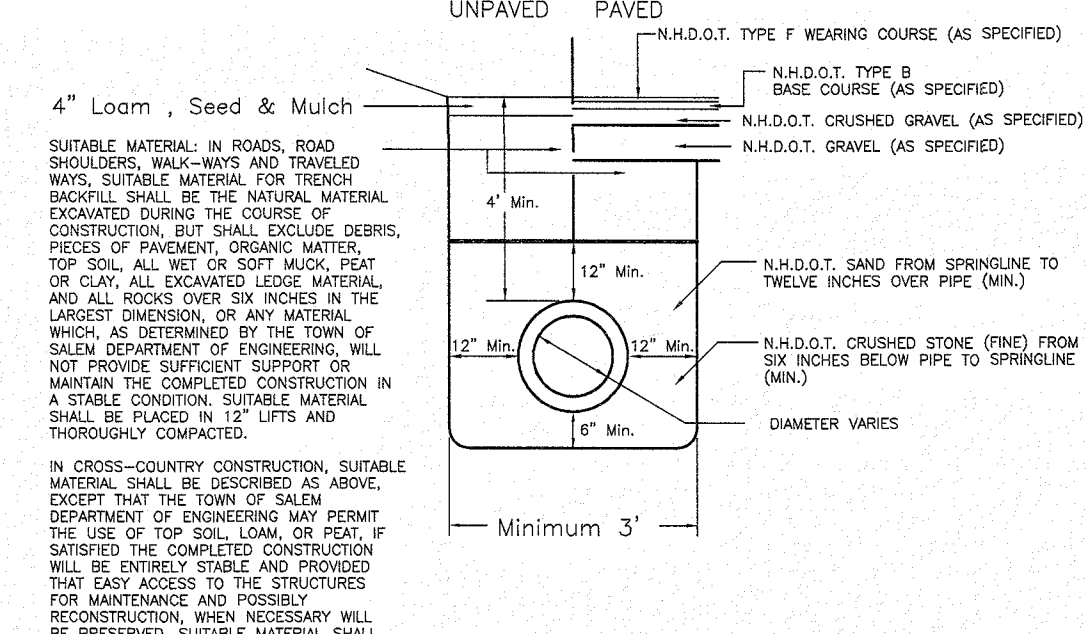
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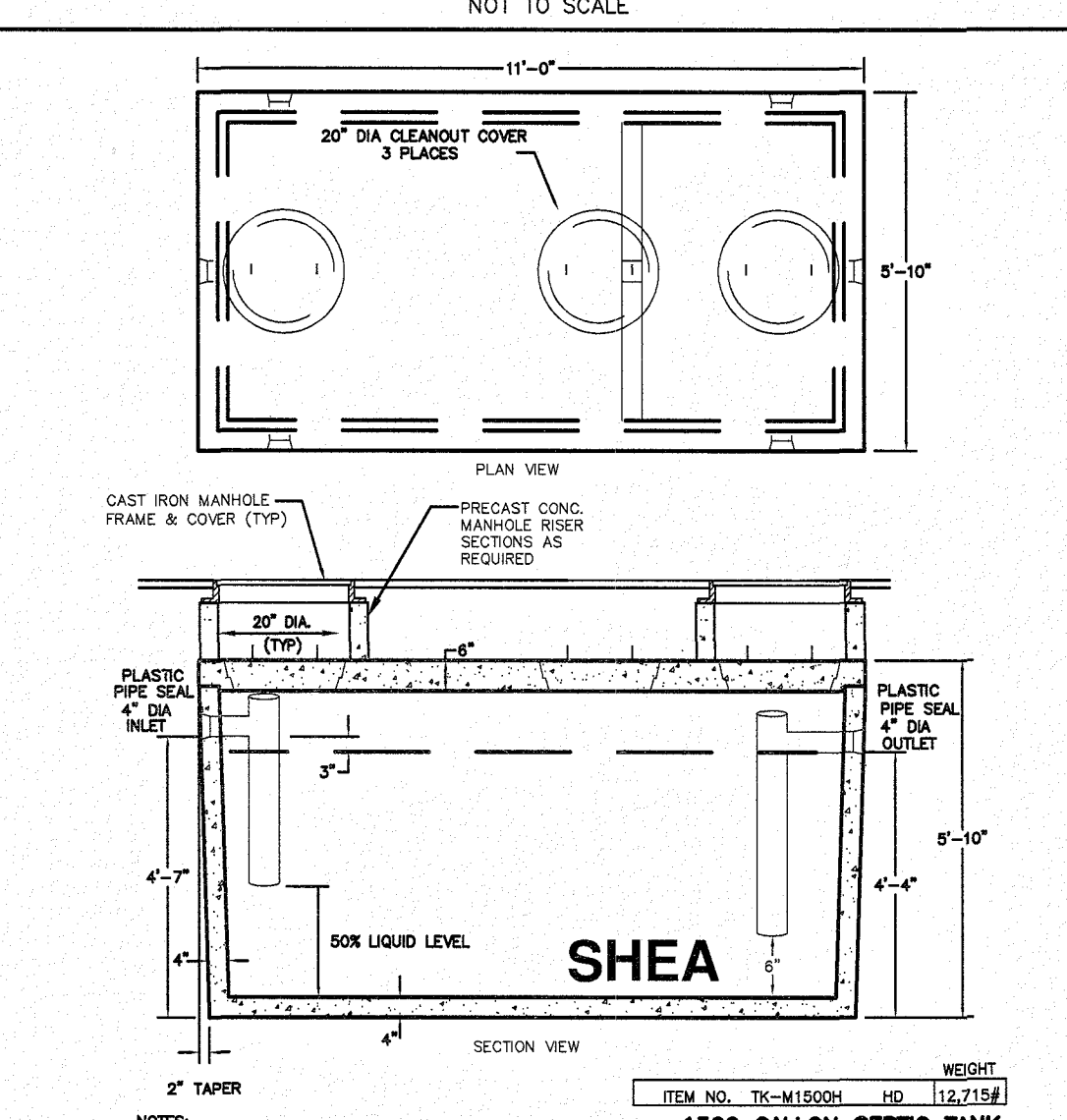
STANDARD MANHOLE - PART A

- NOTES**
- IF THE INTENT OF THE ENGINEER THAT THE MANHOLE INCLUDING ALL CONCRETE PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERS NECESSARY SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE CAST IN PLACE OR PRECAST CONCRETE WITH OR WITHOUT STEEL REINFORCEMENT. WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE. APPROVED MANHOLE, THE COMPLETE STRUCTURE WITHOUT JOINTS SHALL BE CAPABLE OF WITHSTANDING LOADS OF 8 TONS (16,000 LBS) WITHOUT FAILURE. CONCRETE SHALL BE 3,000 PSI. STRUCTURE A PERIOD GENERAL IN EXCESS OF 28 DAYS IS TO BE USED IN BOTH CASES.
 - BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED OR NON-REINFORCED CONCRETE, OR FORMED IN PLACE REINFORCED OR NON-REINFORCED CONCRETE.
 - PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C 478.
 - LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - INVERTS AND SHELVE MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOOR. IF CHANGES IN DIRECTION OF THE FLOW THROUGH CHANNEL, UNIFORMITY OF INVERT AND SHELF SHALL BE MAINTAINED TO THE CENTER LINE OF THE SEWER PIPE. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CURVE AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNIFORMITY OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH WIDENING HEIGHT LETTER "T" FOR SEWER OR "O" FOR DRAINS SHALL BE PLANKY CAST INTO THE CENTER OF EACH COVER.
 - BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM LOAM, ORGANIC MATTER AND METALS ASTM C 533.
 - 1-1/2" TO 2" PASSING 1/4 INCH SCREEN
 - 2" TO 3" PASSING 3/8 INCH SCREEN
 - 3" TO 4" PASSING #4 SIEVE
 - 4" TO 6" PASSING #10 SIEVE
 - 6" TO 12" PASSING #20 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2" TO 1/2" INCH SHALL BE USED.
 - CONCRETE FOR PUBLIC WORKS SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3,000 LBS) CONCRETE OF 14, 15, 16, 17 AND 18 INCHES HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAX. SIZE OF AGGREGATE: 1 INCH
 - FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED IN THE FOLLOWING INSTANCES:
 - 1. JOINTS SHALL BE MADE UP OF 3/4" RICH ROUND STAINLESS STEEL OR ALUMINUM ALLOY JOINT SHALL BE SUPPLIED TO THE CONTRACTOR THAT THE JOINT BE PULLED OUT OF THE CONCRETE WALL IN WHICH THEY ARE EMBEDDED.
 - 2. THE STEPS SHALL BE EMBEDDED IN THE CONCRETE AND IMMEDIATELY FOLLOWING REMOVAL OF THE FORMS SHALL BE PLACED IN POSITION WITH MORTAR IN DRILLED OR CAST HOLES WHICH WILL NOT BE ACCEPTABLE.
 - 3. THE STEPS SHALL BE THE DROP TYPE WITH A BENEATH SECTION PER HANDHOLD, APPROX. 14" X 10" IN DIMENSION.
 - SHALLOW MANHOLES IN SLOPE A CONE SECTION WHEN MANHOLE DEPTH IS LESS THAN 8 FEET, A REINFORCED CONCRETE MANHOLE SHALL BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING 30 LOADS.
 - MANHOLES SHALL BE MADE UP OF 3/4" RICH ROUND STAINLESS STEEL OR ALUMINUM ALLOY JOINT SHALL BE SUPPLIED TO THE CONTRACTOR THAT THE JOINT BE PULLED OUT OF THE CONCRETE WALL IN WHICH THEY ARE EMBEDDED.
 - THE STEPS SHALL BE EMBEDDED IN THE CONCRETE AND IMMEDIATELY FOLLOWING REMOVAL OF THE FORMS SHALL BE PLACED IN POSITION WITH MORTAR IN DRILLED OR CAST HOLES WHICH WILL NOT BE ACCEPTABLE.
 - THE STEPS SHALL BE THE DROP TYPE WITH A BENEATH SECTION PER HANDHOLD, APPROX. 14" X 10" IN DIMENSION.

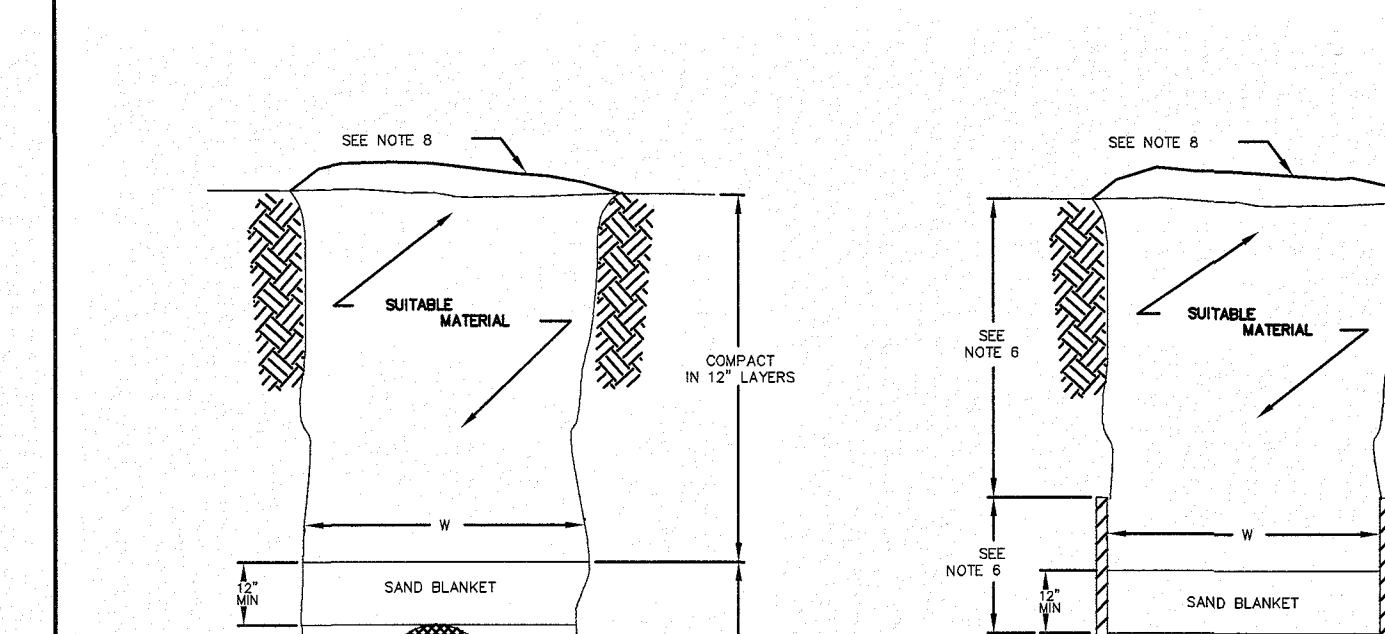
NOTE: SEPARATE CONSTRUCTION SPECIFICATIONS ARE ATTACHED TO THE CONTRACT DOCUMENTS. THESE STANDARDS MANHOLES DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.



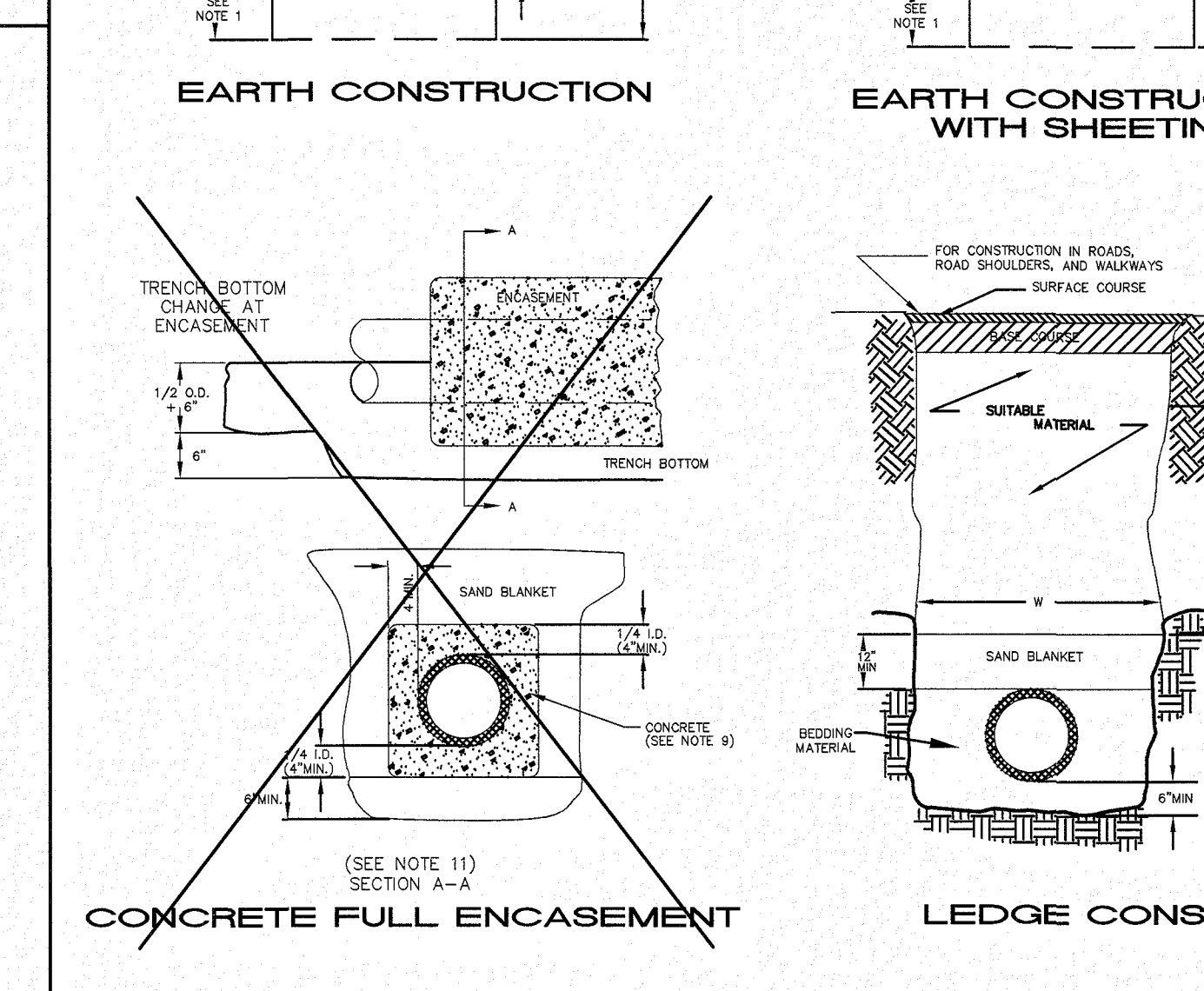
DROP MANHOLE



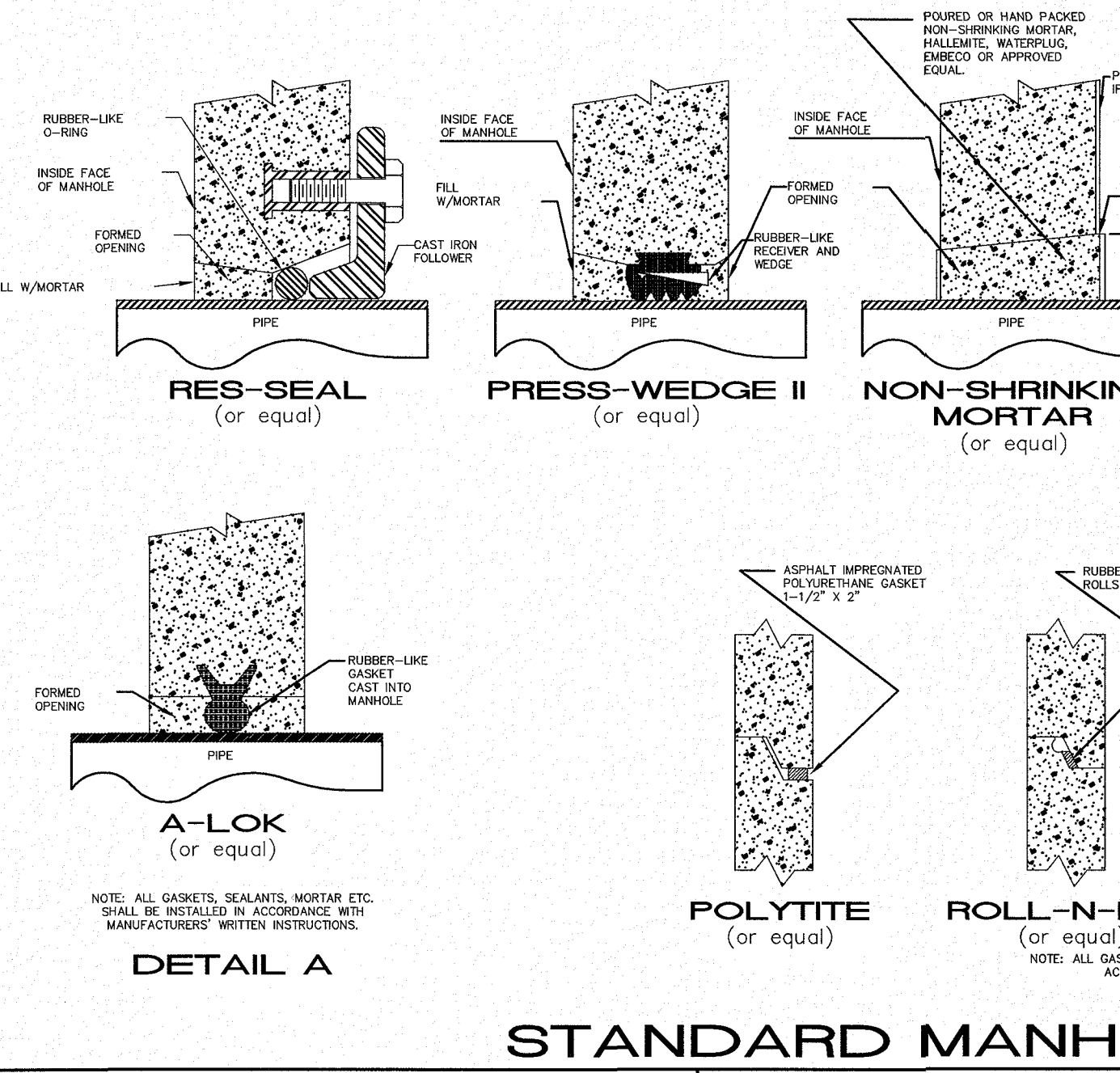
TYPICAL ON-SITE SEWER TRENCH DETAIL



TYPICAL ON-SITE SEWER TRENCH DETAIL

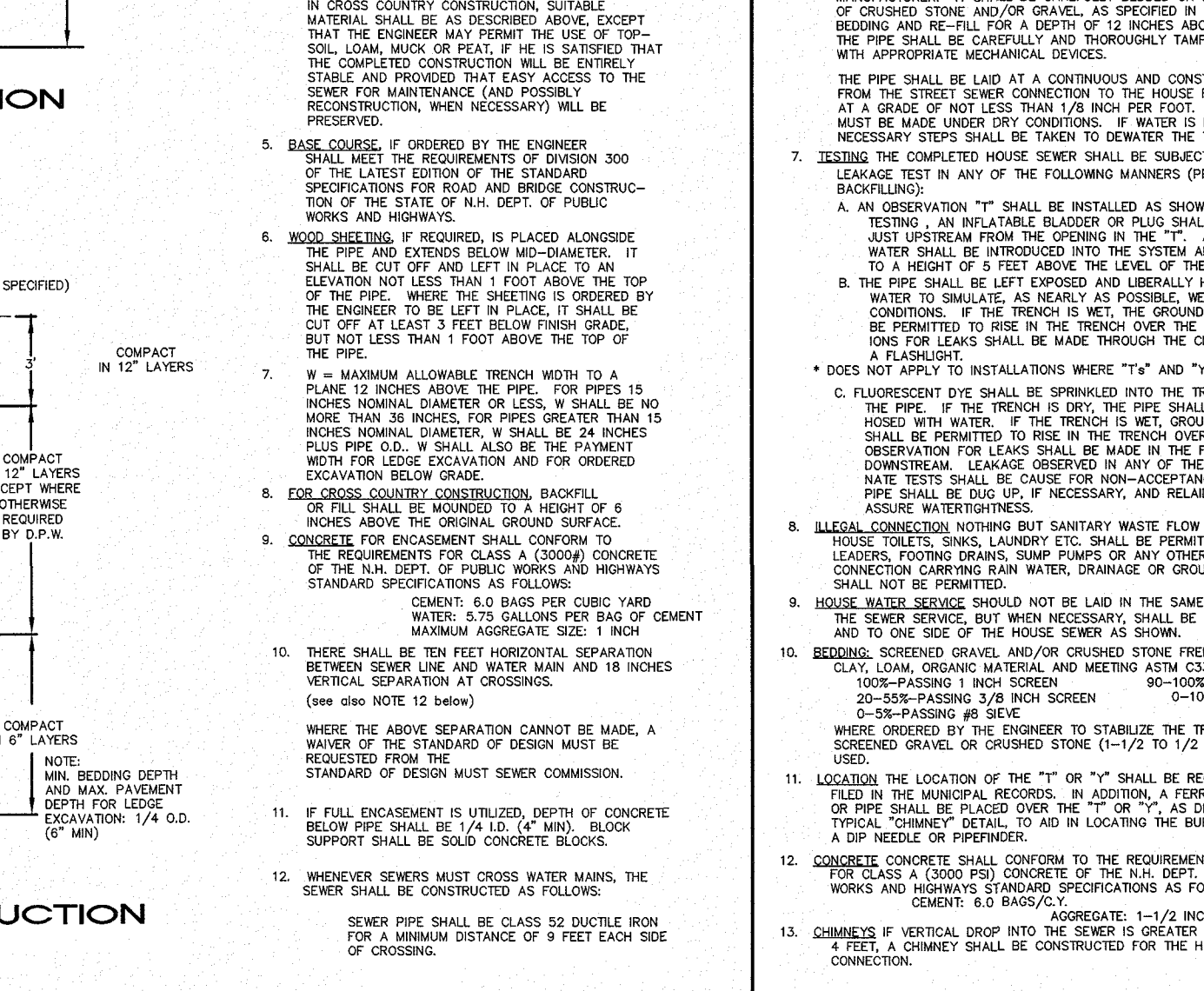


TYPICAL ON-SITE SEWER TRENCH DETAIL

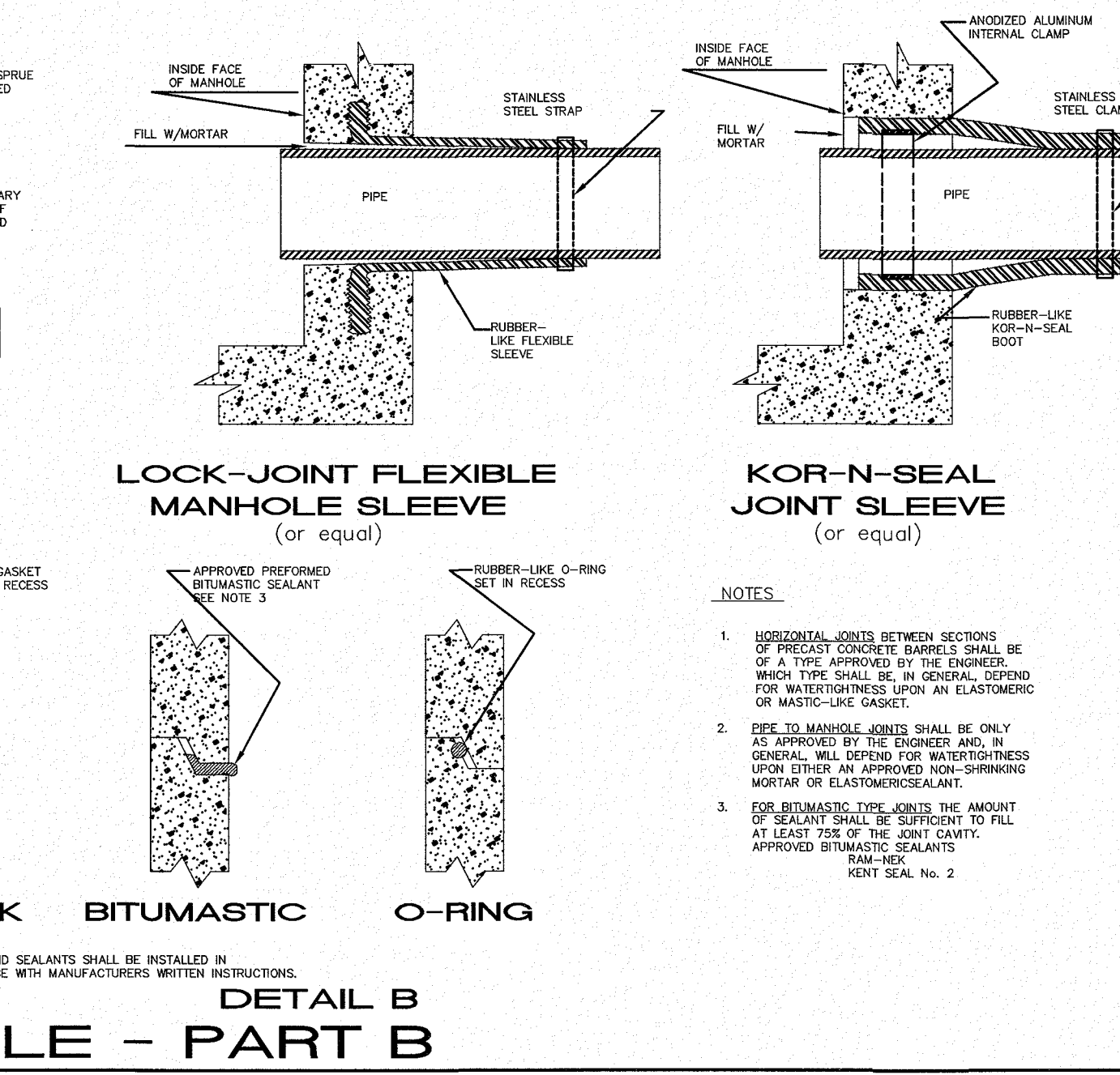


STANDARD MANHOLE - PART B

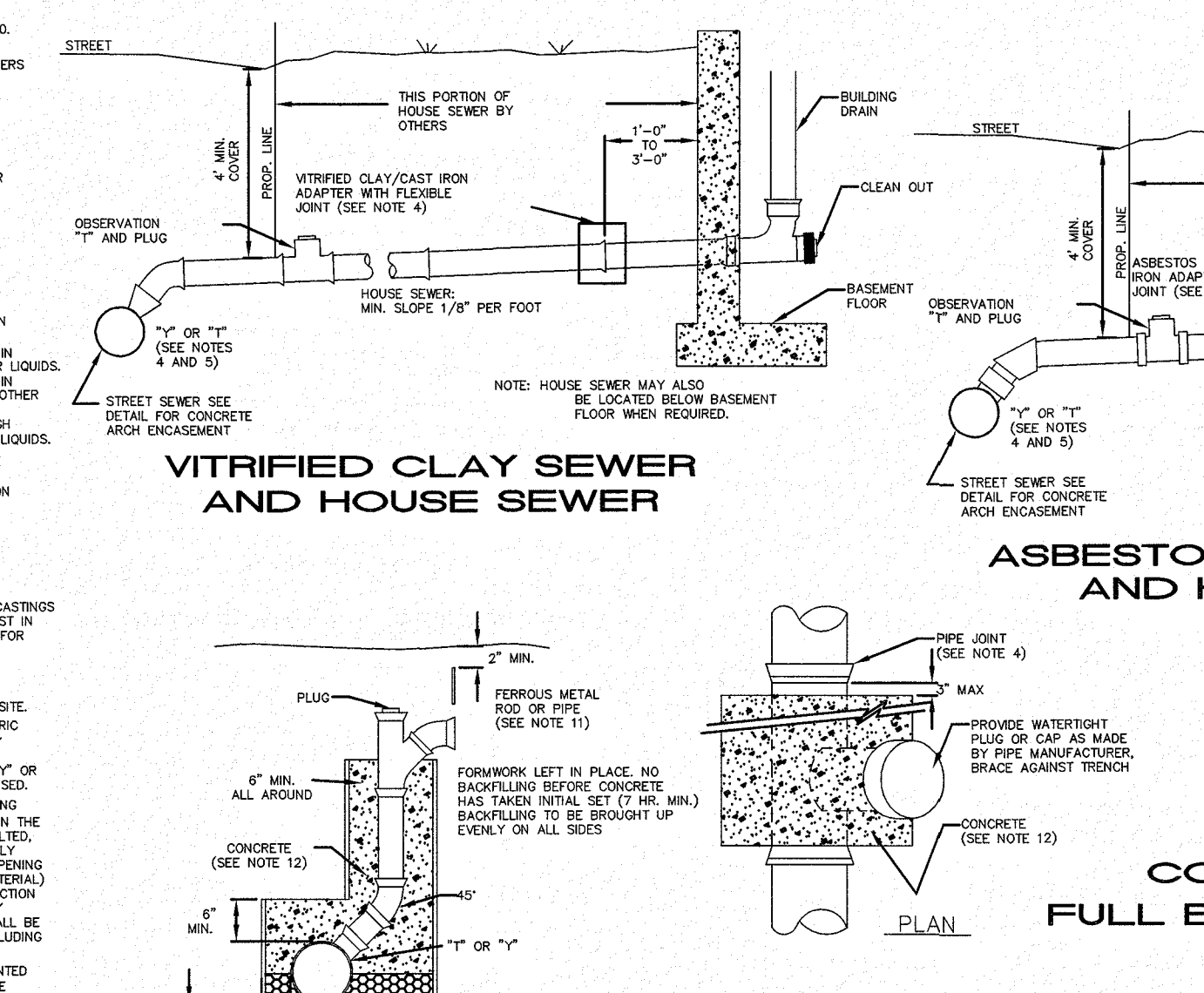
- NOTES**
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
 - PIPE AND JOINT MATERIALS
 - MISCELLANEOUS
 - CAST IRON PIPE, FITTINGS AND JOINTS
 - 1. CAST IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE:
 - A21.1 THICKNESS DESIGN OF CAST IRON PIPE AND FITTINGS
 - A21.2 CAST IRON PIPE CENTRIFUGALLY CAST IN SAND LINER MOLDS FOR WATER OR OTHER LIQUIDS.
 - A21.3 CAST IRON FITTINGS, 2 INCHES THROUGH 48 INCHES FOR WATER OR OTHER LIQUIDS.
 - A21.4 RUBBER GASKET JOINTS FOR CAST IRON PIPE JOINTS.
 - DUCTILE IRON PIPE, FITTINGS AND JOINTS
 - 1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE STANDARDS OF THE UNITED STATES OF AMERICA:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND FITTINGS
 - A21.51 DUCTILE IRON PIPE CENTRIFUGALLY CAST IN SAND LINER MOLDS FOR WATER OR OTHER LIQUIDS.
 - A21.6 RUBBER GASKET JOINTS FOR CAST IRON PIPE JOINTS.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE. JOISTS SHALL BE REJECTED UPON A REPERCUSSION GASKET FOR WATERPROOFING. ALL JOISTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. JOISTS SHALL BE USED TO BE CONNECTED AS AT THE STREET SEWER AT THE FOUNDATION WALL. APPROPRIATE JOISTING SHALL BE USED.
 - "I" AND "Y" WHERE A "T" OR "O" IS NOT AVAILABLE IN THE EXISTING STREET SEWER. AN APPROPRIATE CONNECTION SHALL BE MADE IN THE FIELD FOLLOWING MANUFACTURER'S INSTRUCTIONS (SEE NOTE 10).
 - DRILLED OR SAW OPENING. THE PRACTICE OF BRINGING AN OPENING THROUGH A SLOPE MANHOLE TO THE STREET OR OTHER MATERIALS AND ANY OTHER SIMILAR CRUDE PRACTICES OR NEPT OR HASTY JOINTING SHALL BE REJECTED. THE JOISTING SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL UP TO AND INCLUDING 10' DIAMETER.
 - INSTALLATION OF THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH THE MANUFACTURER'S AND JOINTING MANUFACTURER'S INSTRUCTIONS. IT SHALL BE CAREFULLY BEDED ON A 6" LAYER OF CRUSHED STONE (1-1/2" TO 1/2" INCH) SHALL BE USED. BEDDING AND THE FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY DAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
 - THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET OR SEWER CONNECTION TO THE HOUSE FOUNDATION. THE HOUSE SERVICE SHALL BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STRENGTH SHALL BE TAKEN TO DRY THE TRENCH.
 - TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 - A. AIR TEST: "T" SHALL BE INSTALLED AS SHOWN, WHEN READY FOR TESTING, AN INFLATABLE BAGGER OR PLUG SHALL BE INSERTED. OBSERVATION UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE TRENCH. IF THE TRENCH IS NOT TO A HEIGHT OF 6 FEET ABOVE THE LEVEL OF THE TRENCH, THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SATURATE AS NEARLY AS POSSIBLE. IF THE TRENCH IS DEEPER THAN 6 FEET, THE GROUND WATER SHALL BE CUT OFF AT LEAST 3 FEET BELOW THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FANLIGHT.
 - DOES NOT APPLY TO INSTALLATIONS WHERE "T" AND "Y" ARE USED.
 - C. FLOUROSCEIN DYE SHALL BE DISPERSED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DEEP, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS NOT TO A HEIGHT OF 6 FEET ABOVE THE LEVEL OF THE TRENCH, THE PIPE SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FANLIGHT.
 - D. WATER TEST: NOTHING BUT SANITARY WASTE FLOW FROM THE SEWER TOILETS SHALL BE PERMITTED. HOOP LEADERS, TRAPPING DEVICES, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTIONS CARRYING FLAMMABLE, CORROSIVE OR DANGEROUS LIQUIDS SHALL NOT BE PERMITTED.
 - HOUSE SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM LOAM, ORGANIC MATTER AND METALS ASTM C 533.
 - 1-1/2" TO 2" PASSING 1/4 INCH SCREEN
 - 2" TO 3" PASSING 3/8 INCH SCREEN
 - 3" TO 4" PASSING #4 SIEVE
 - 4" TO 6" PASSING #10 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2" TO 1/2" INCH) SHALL BE USED.
 - LOCALIZATION OF THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MANHOLE RECORDS. IN ADDITION, A FORMER METHAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TRENCH DRAWING DETAIL, TO Aid IN LOCATING THE BRICK PIPE WITH A DP NEEDLE OR PREFERRENT.
 - CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3,000 PSI) CONCRETE OF THE N.A. DEPT. OF PUBLIC WORKS AND SHALL BE PLACED AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALS./BAG CEMENT
 - MAX. SIZE OF AGGREGATE: 1-1/2" INCH
 - CHIMNEY: IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 1 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE DROP CONNECTION.



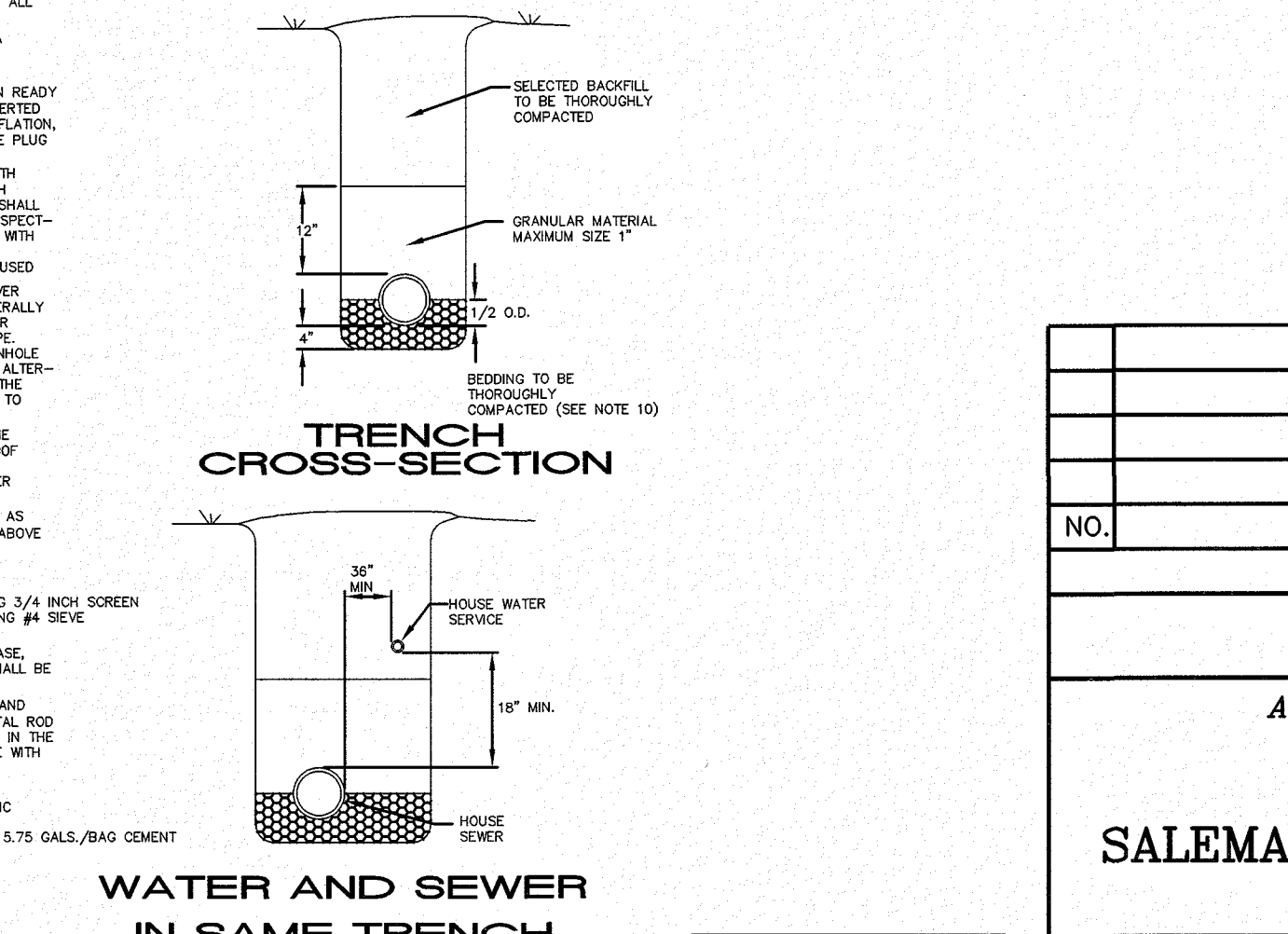
VITRIFIED CLAY SEWER AND HOUSE SEWER



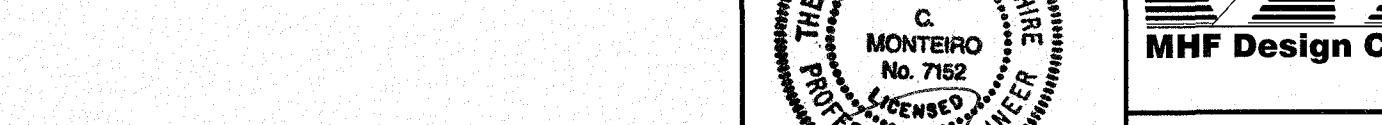
ASBESTOS CEMENT SEWER AND HOUSE SEWER



CONCRETE FULL ENCASEMENT



CHIMNEY

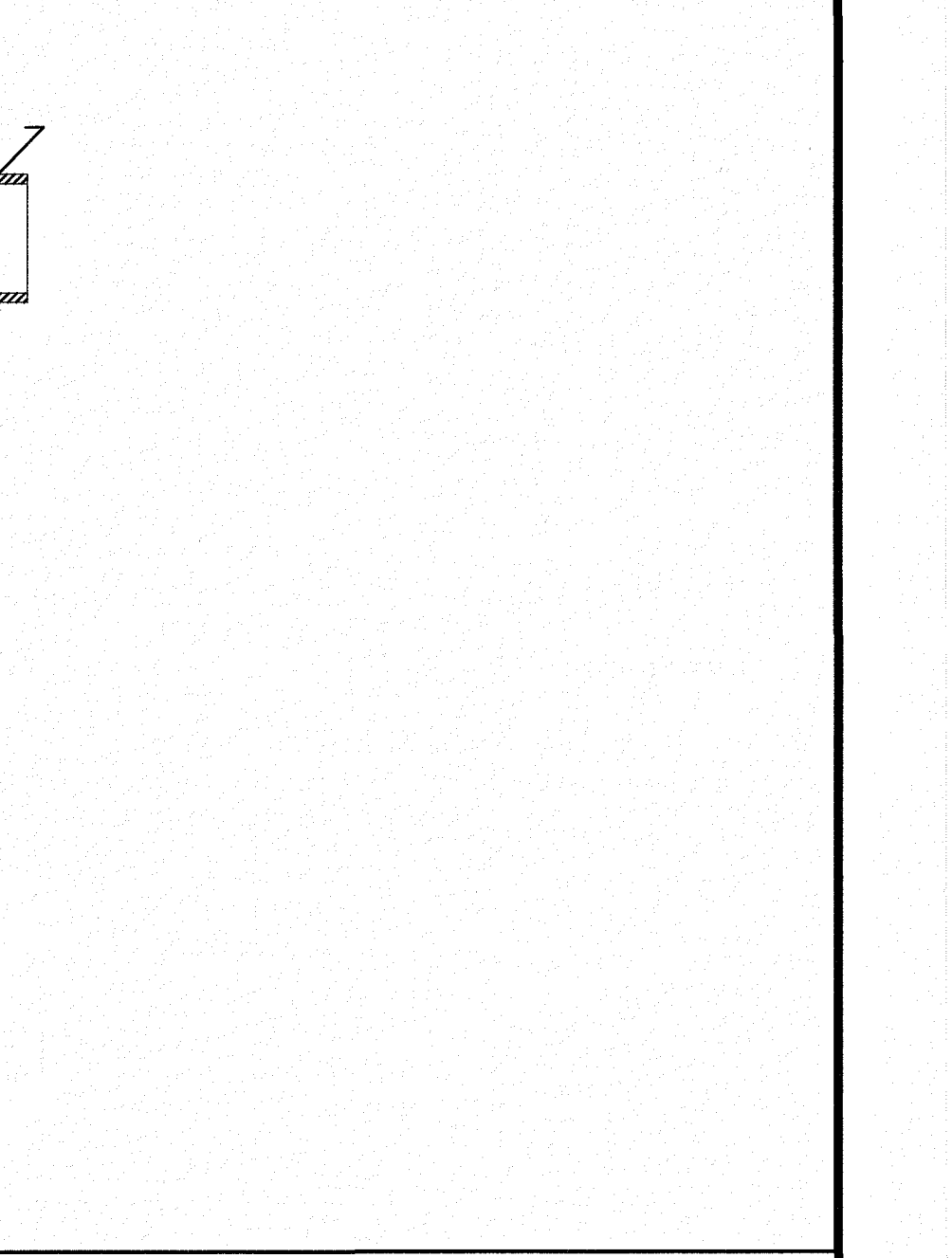


WATER AND SEWER IN SAME TRENCH

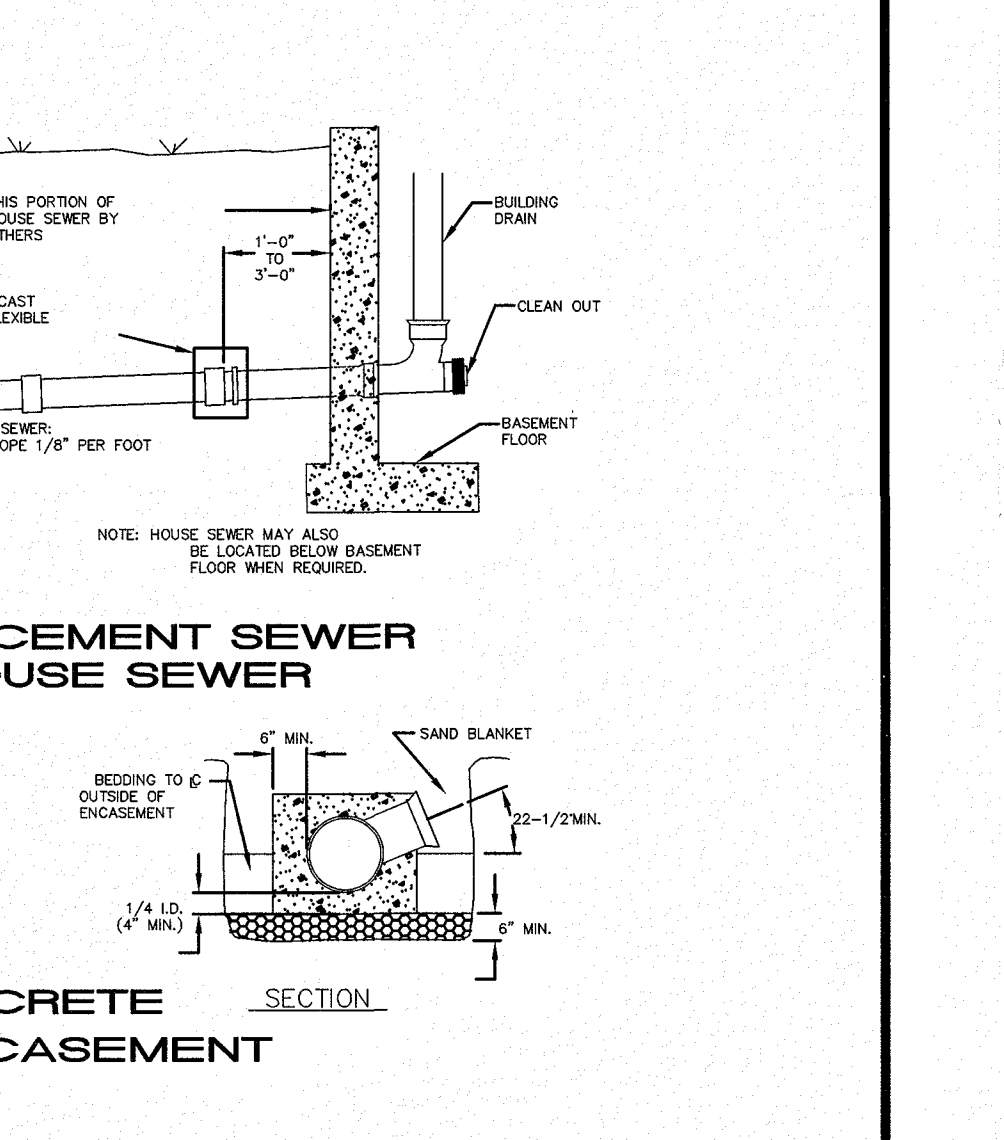


TRENCH CROSS-SECTION

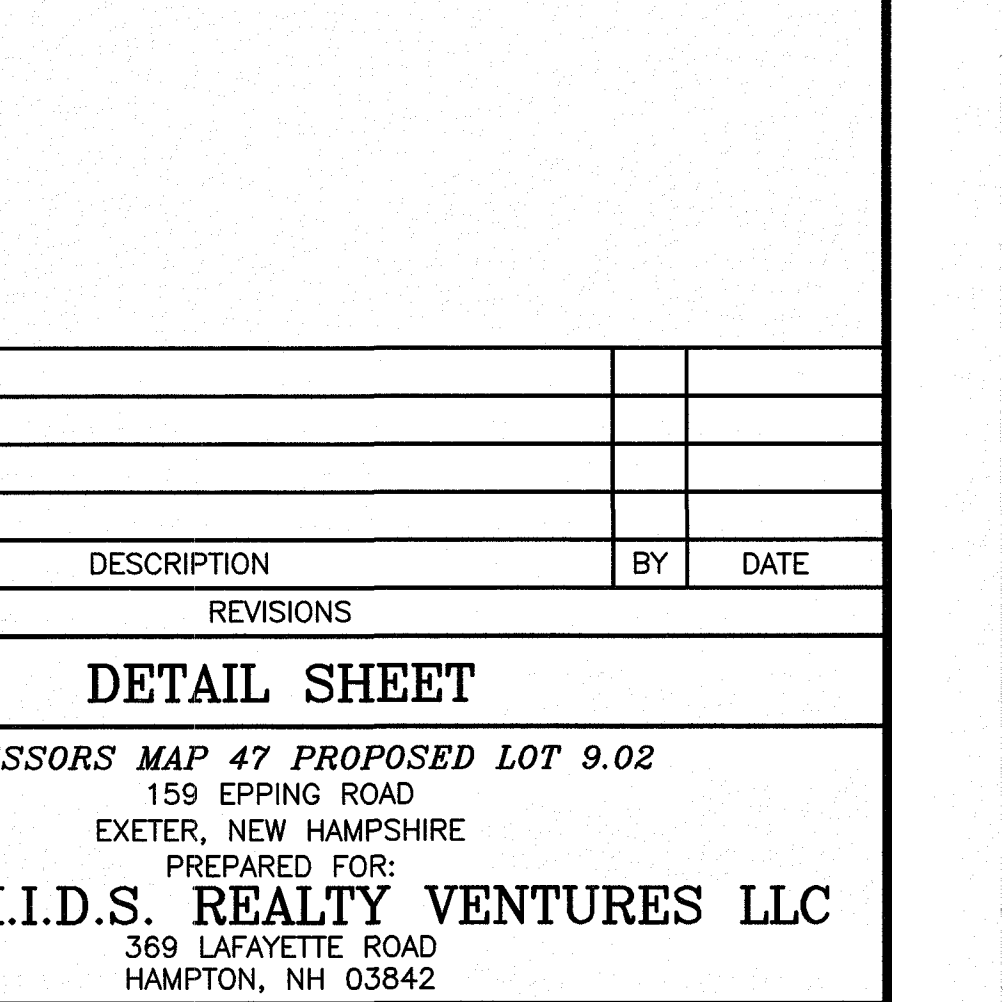
HOUSE SEWER DETAILS



HOUSE SEWER DETAILS

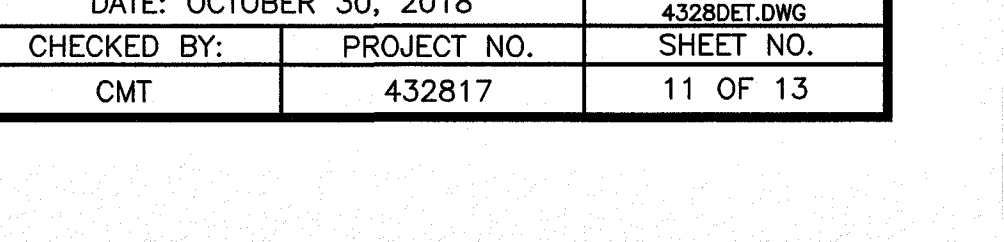


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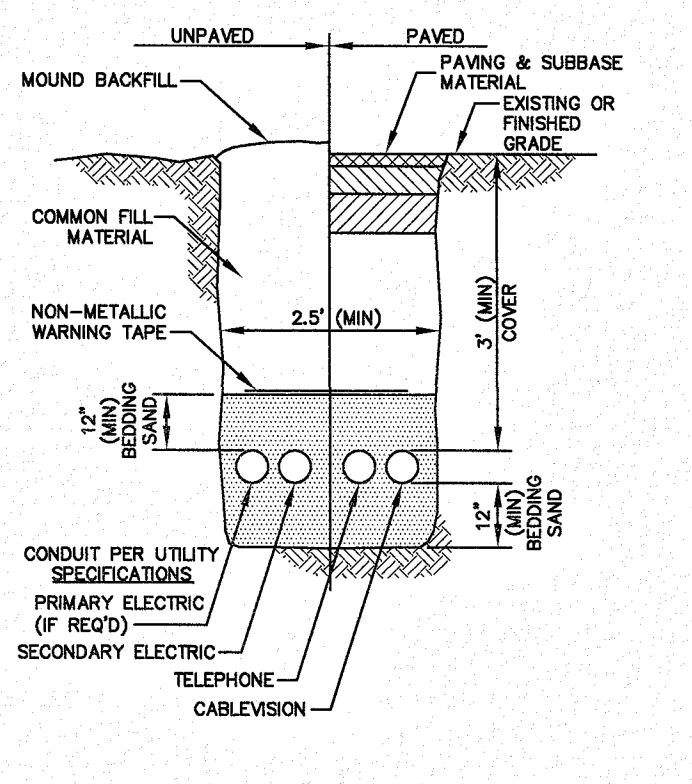
HOUSE SEWER DETAILS

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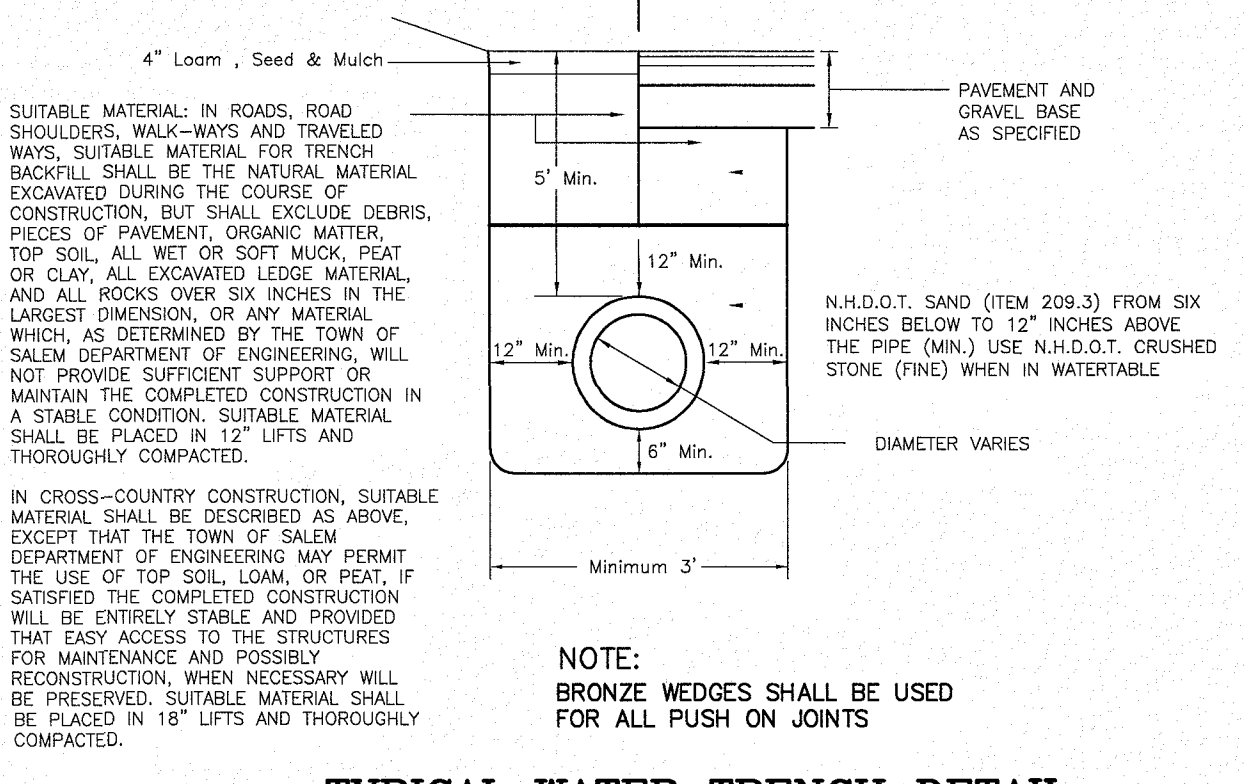
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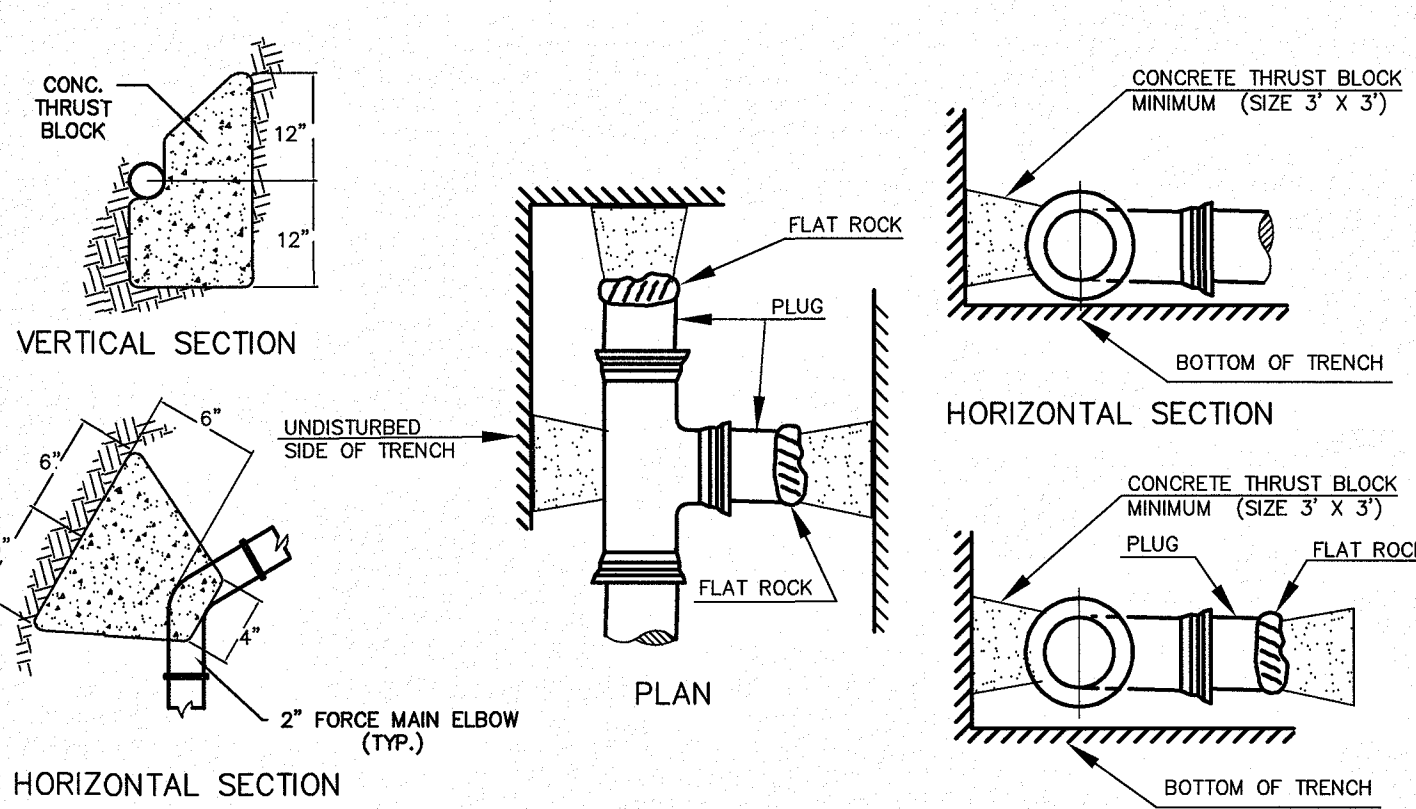


UTILITY TRENCH NOT TO SCALE

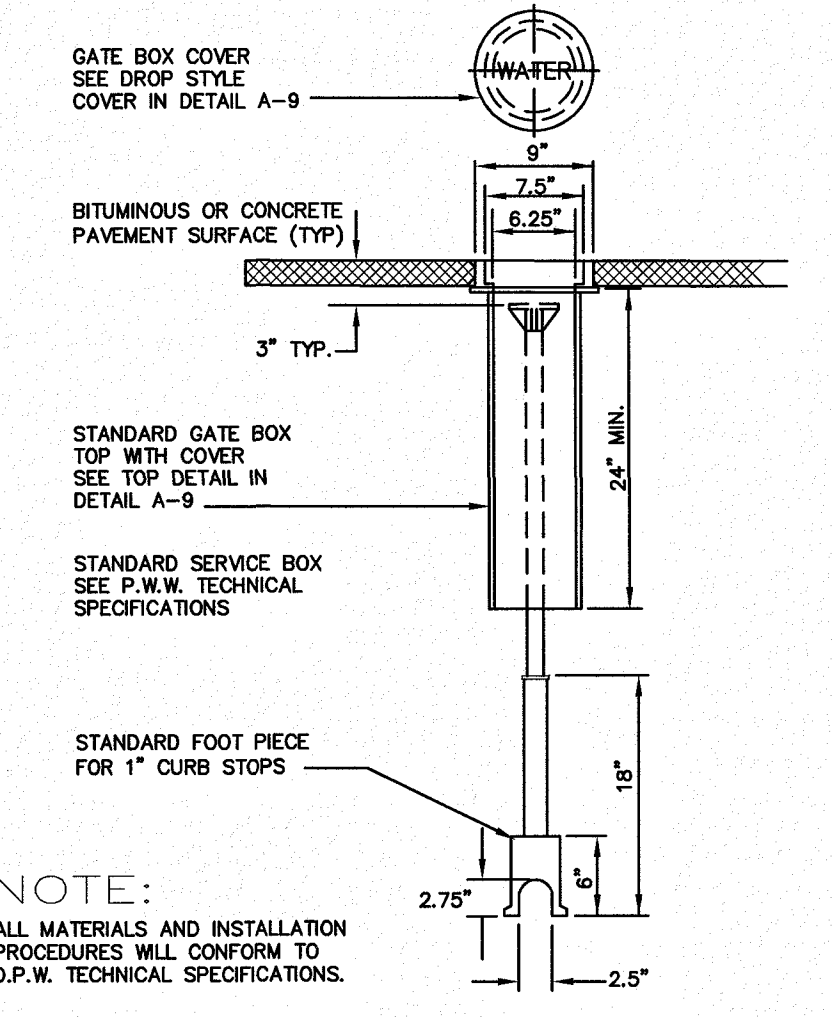


TYPICAL WATER TRENCH DETAIL NOT TO SCALE

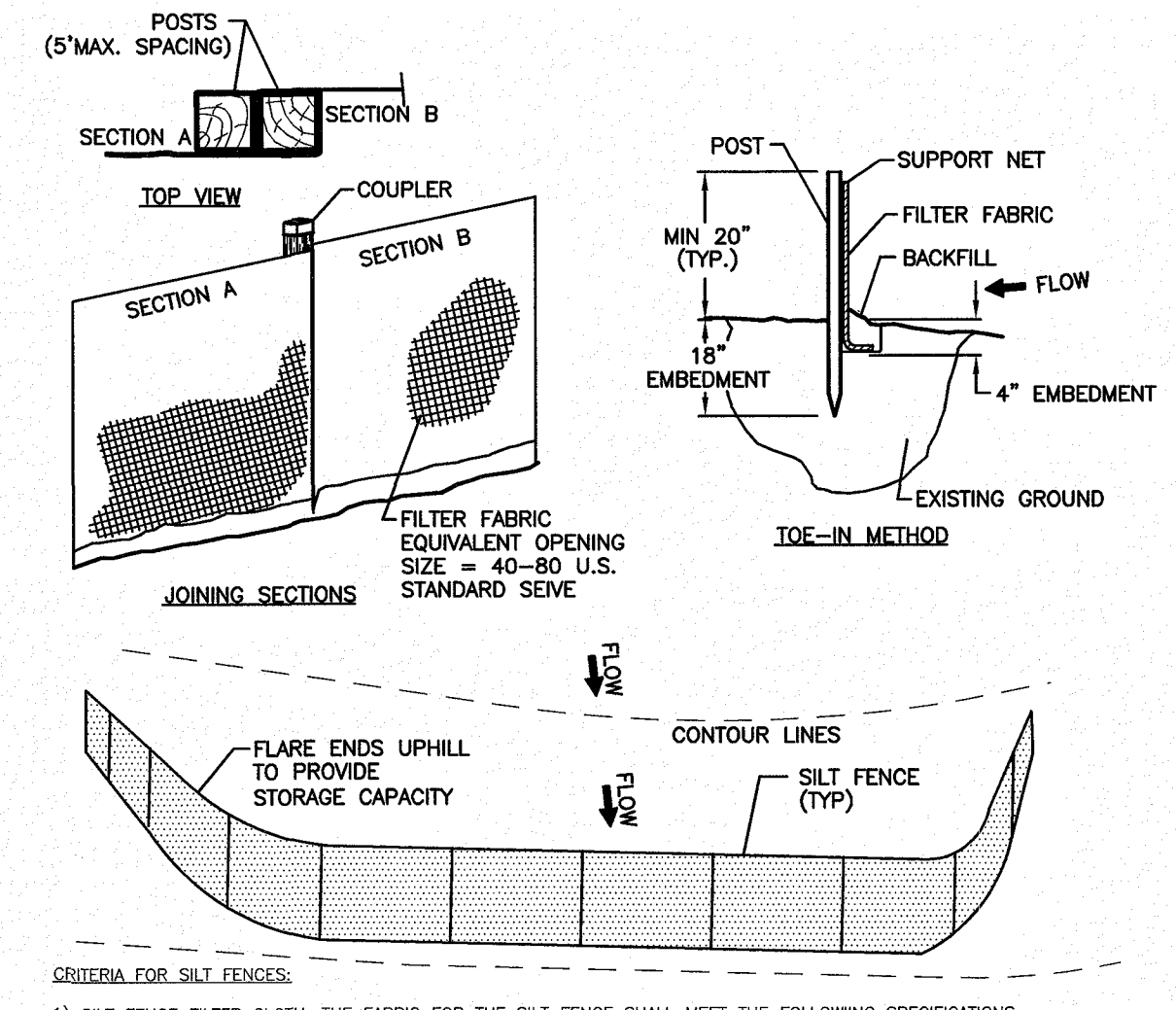
NOTE: ALL WATER SUPPLY MATERIALS TO MEET OR EXCEED LOCAL WATER WORKS SPECIFICATIONS.



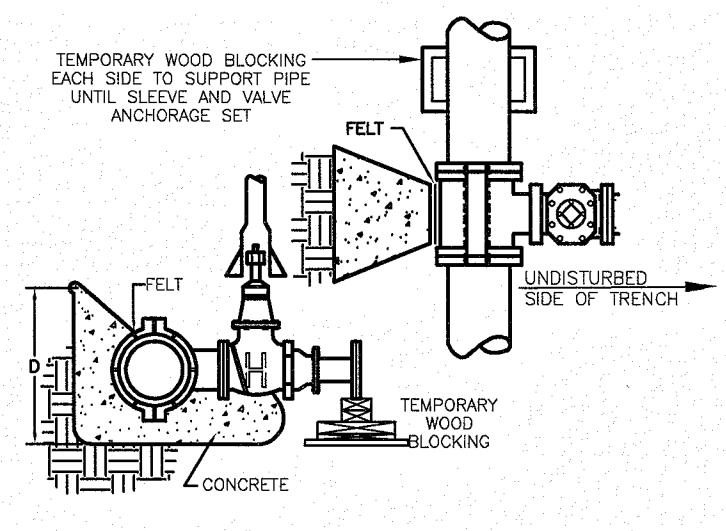
THRUST BLOCK DETAILS NOT TO SCALE



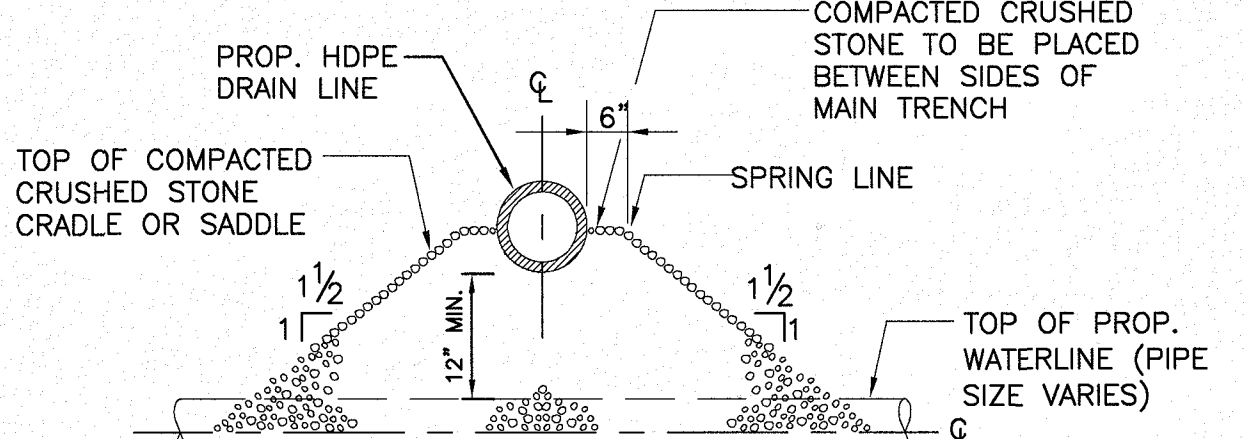
SERVICE BOX INSTALLATION IN PAVEMENT NOT TO SCALE



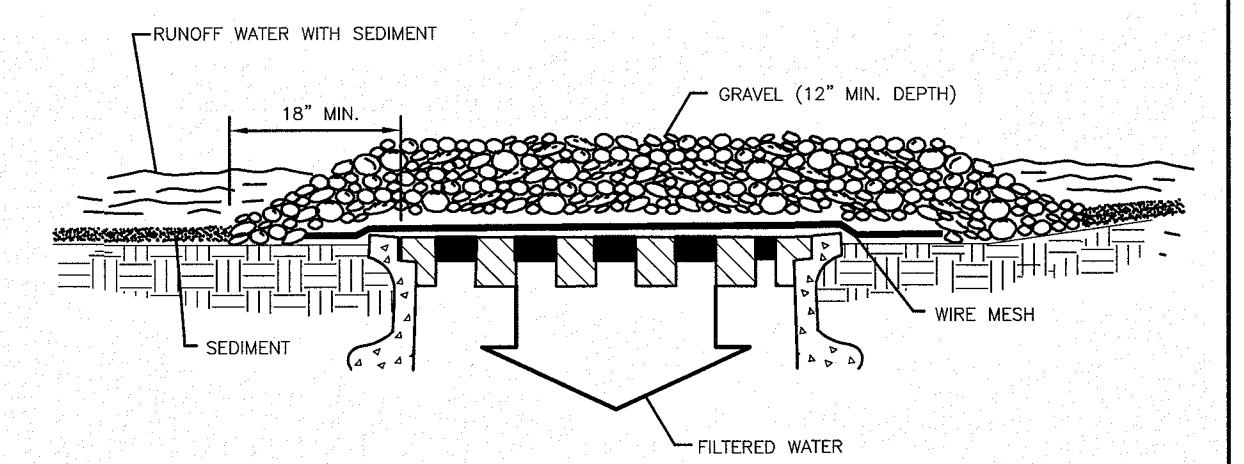
CRITERIA FOR SILT FENCES: 1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS.



TAPPING VALVE AND SLEEVE DETAIL NOT TO SCALE

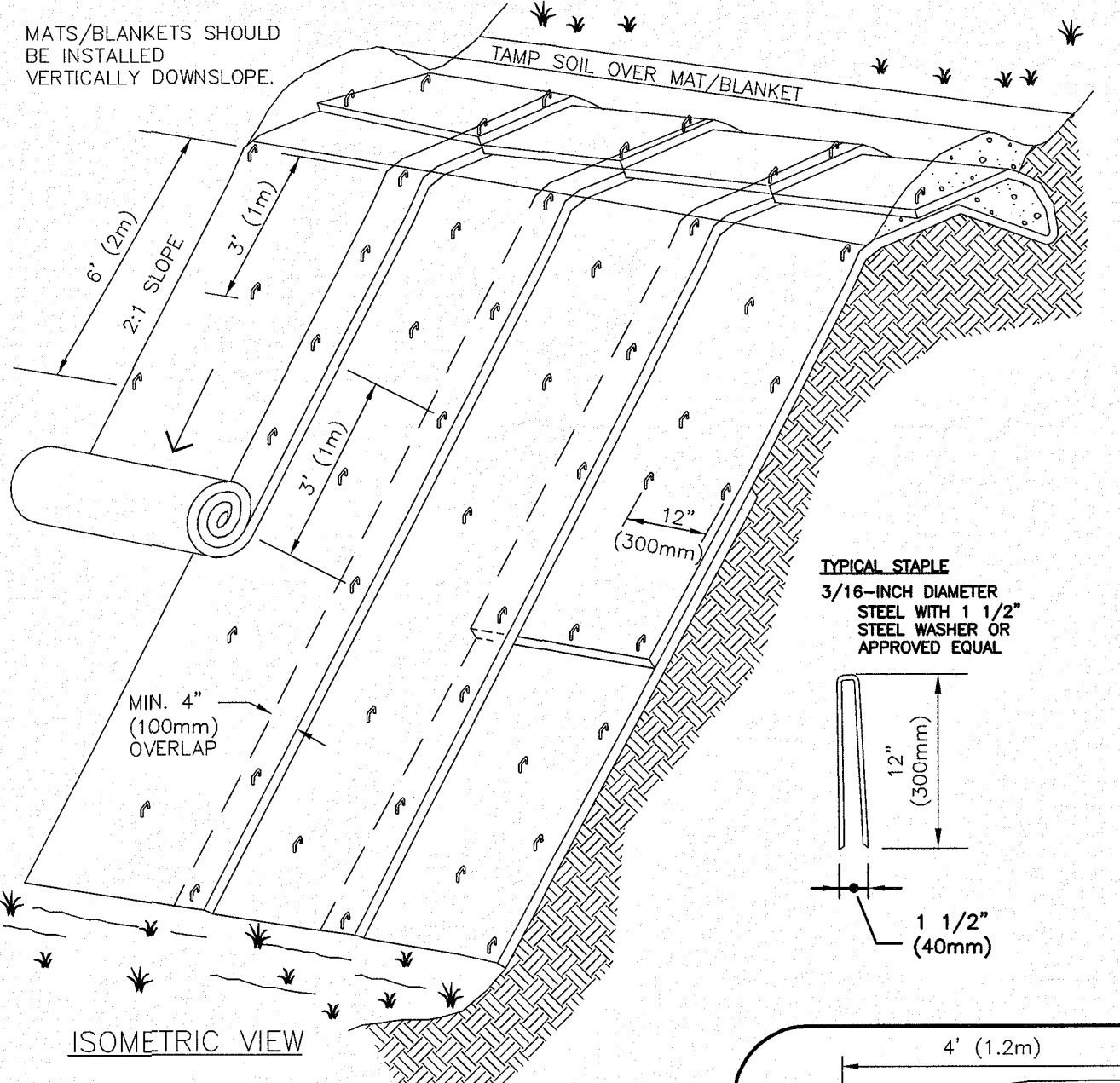


PIPE CROSSING DETAIL NOT TO SCALE



- CONSTRUCTION SEQUENCE: 1) A WIRE MESH SHOULD BE PLACED OVER THE DROP INLET OR CURB OPENING SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12 INCHES AROUND THE OPENING ARE COVERED BY THE MESH. THE MESH MAY BE ORDINARY HARDWARE CLOTH OR WIRE MESH WITH OPENINGS UP TO 1/2 INCH. 2) THE WIRE MESH SHOULD BE COVERED WITH CLEAN COARSE AGGREGATE SUCH AS SEWER STONE FOR A MINIMUM DEPTH OF 12 INCHES. 3) THE COARSE AGGREGATE SHOULD EXTEND AT LEAST 18 INCHES ON ALL SIDES OF THE DRAIN OPENING.

ON-SITE INLET PROTECTION DETAIL NOT TO SCALE

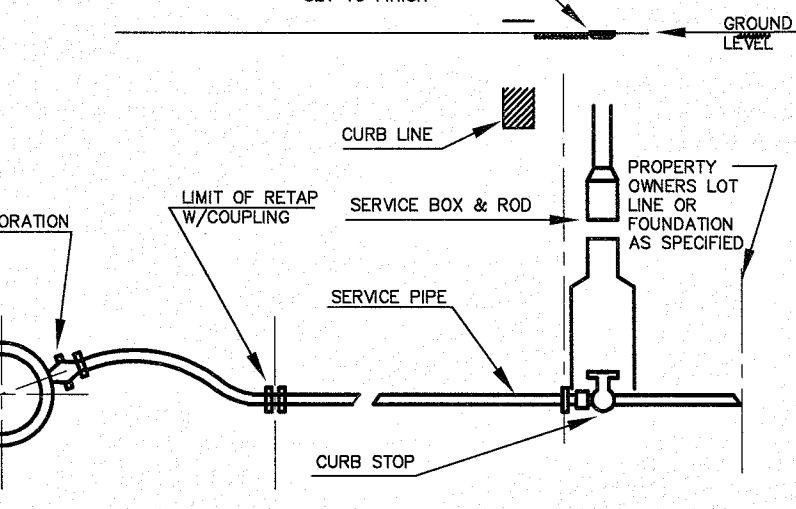


TYPICAL SLOPE SOIL STABILIZATION NOT TO SCALE

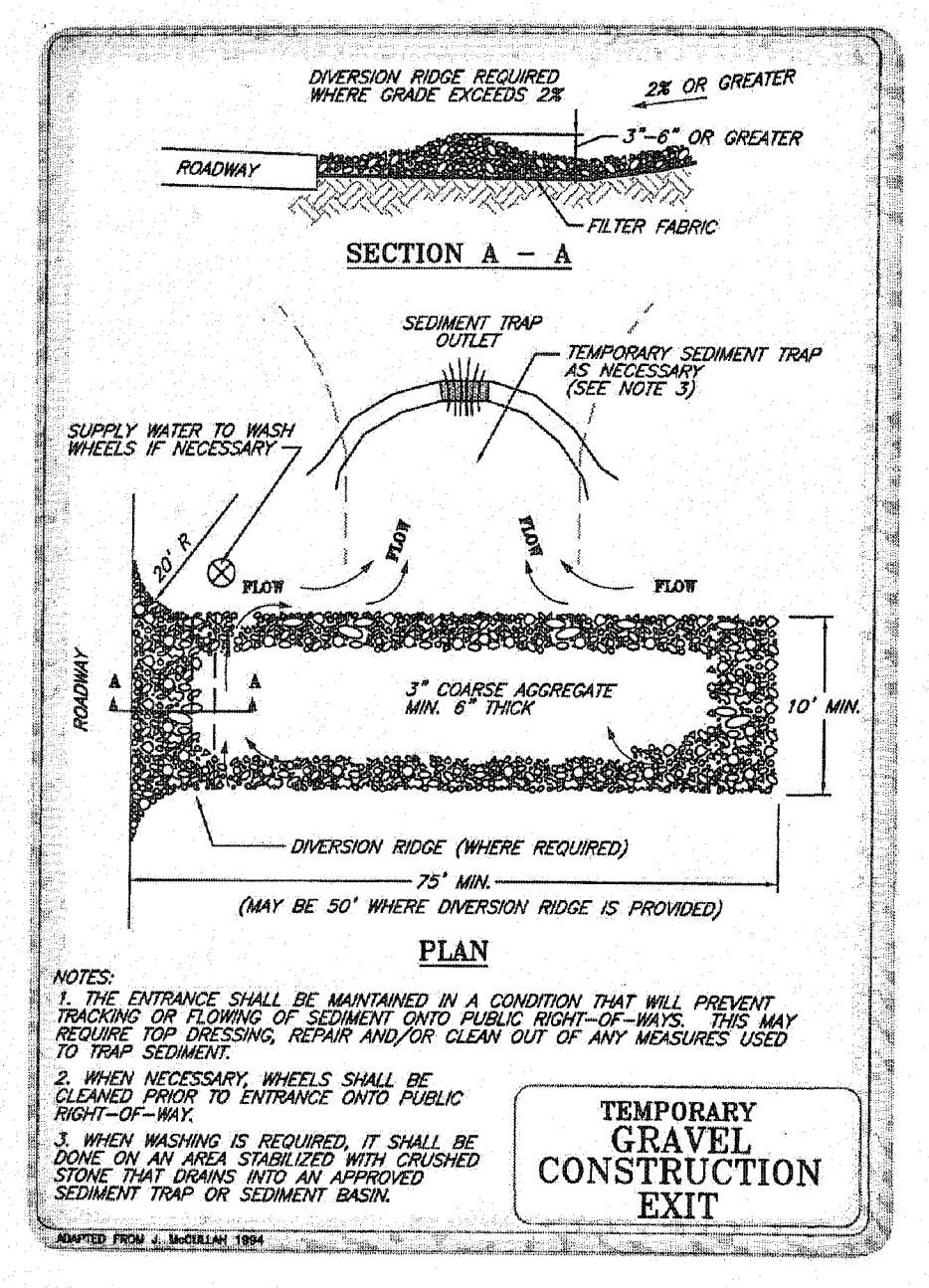
SEDIMENT CONTROL FENCE NOT TO SCALE



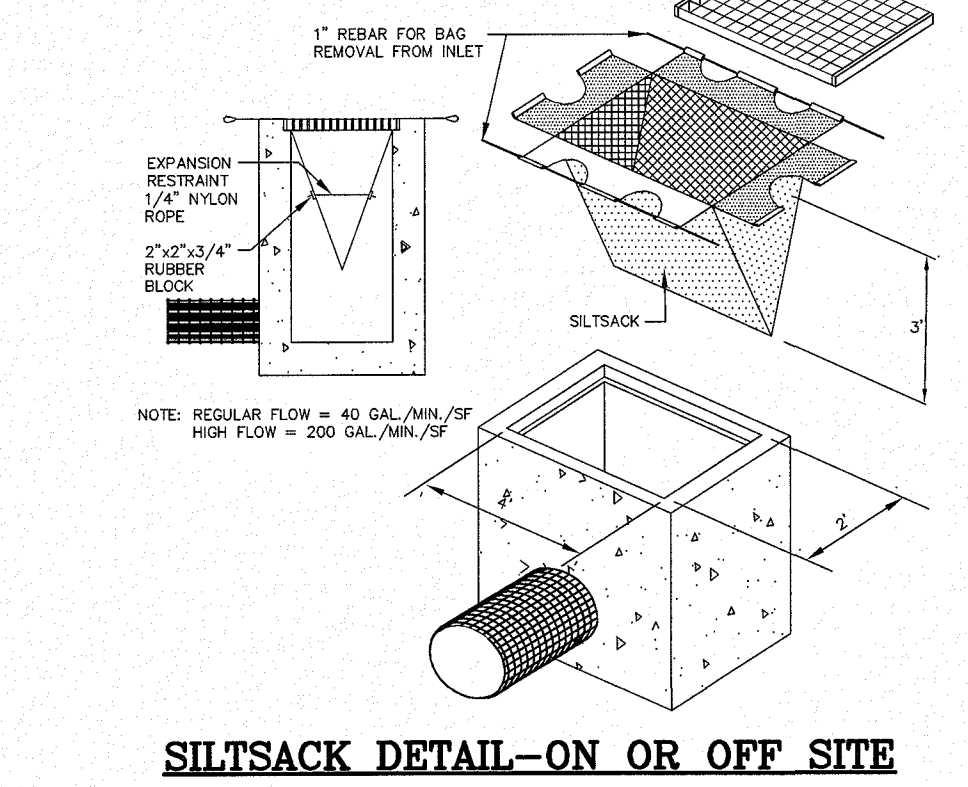
TYPICAL INSTALLATION OF EROSION CONTROL BLANKETS FOR SLOPES NOT TO SCALE



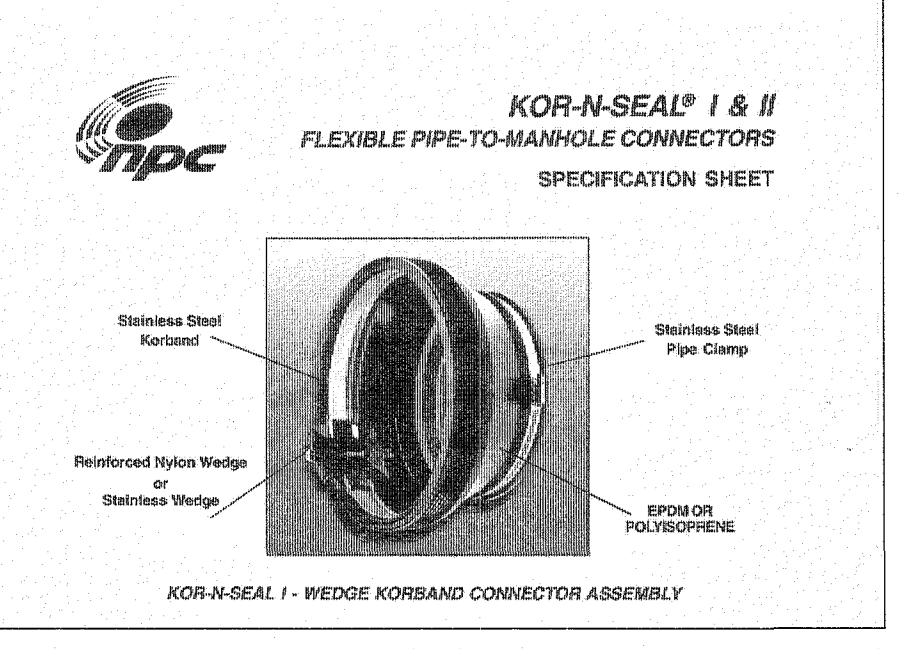
TYPICAL SERVICE CONNECTION NOT TO SCALE



GRAVEL CONSTRUCTION EXIT NOT TO SCALE



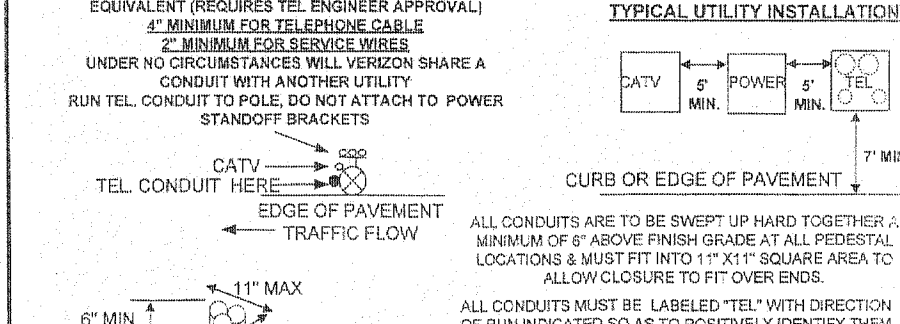
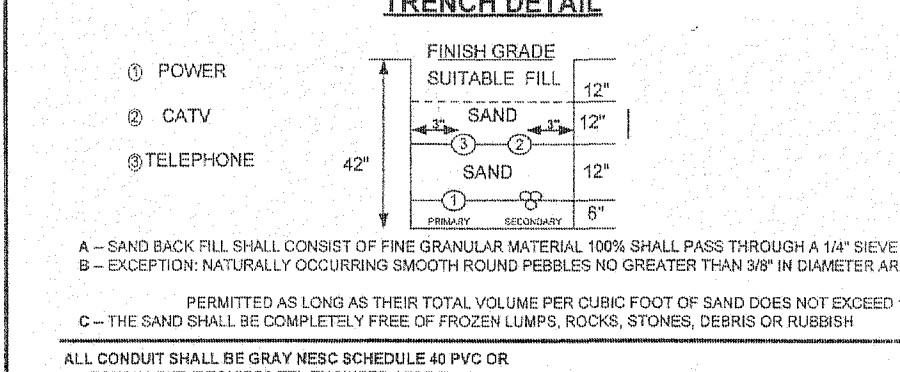
SILTSACK DETAIL-ON OR OFF SITE NOT TO SCALE



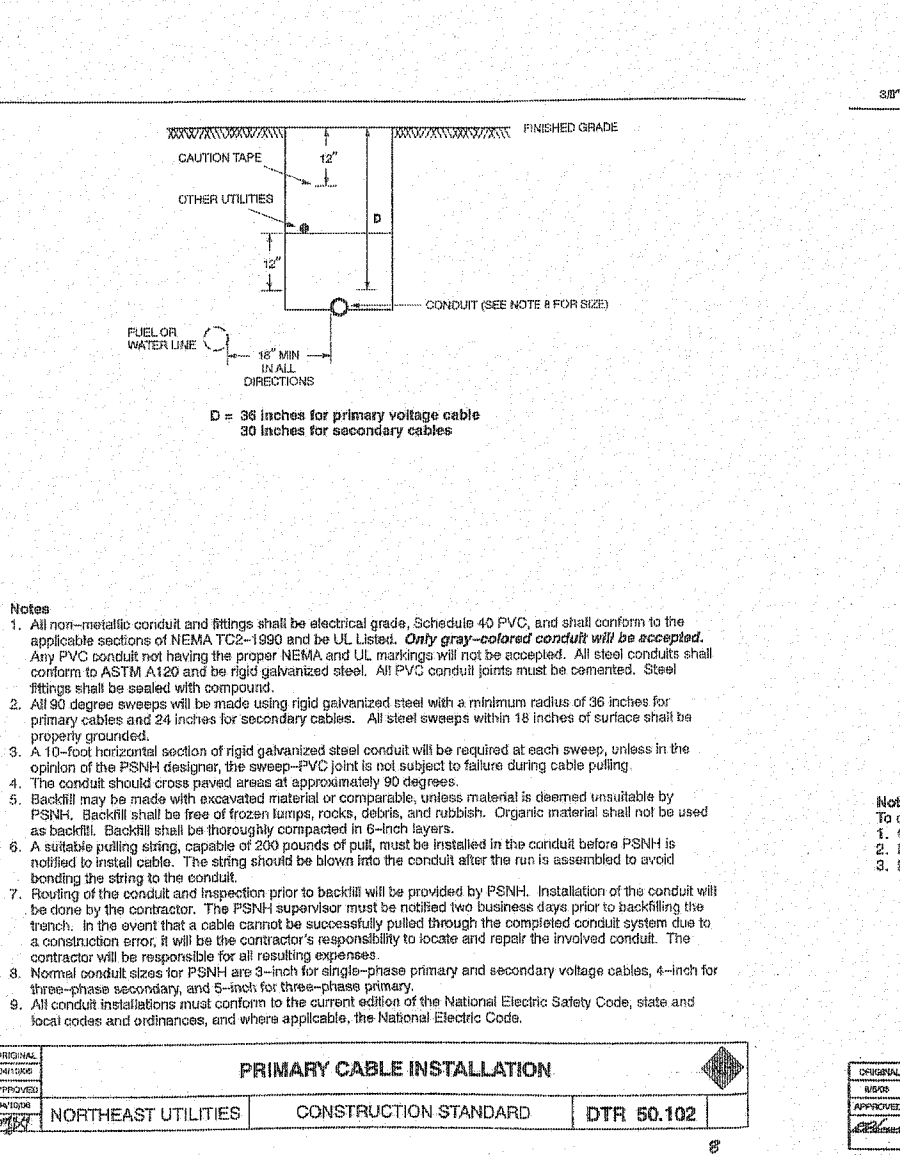
KOR-N-SEAL DETAIL NOT TO SCALE

CONDUIT SPECIFICATIONS

ANY DEVIATION FROM OUTLINED SPECIFICATIONS MUST BE AGREED TO IN ADVANCE BY VERIZON ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CONDUIT THROUGH WHICH CABLE CAN BE SUCCESSFULLY PULLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR OF CONDUIT THAT CANNOT BE USED BY VERIZON. VERIZON RESERVES THE RIGHT TO REQUIRE INSPECTION OF CONDUIT PRIOR TO BACKFILLING TO ENSURE COMPLIANCE.



ALL CONDUITS ARE TO BE SWEEP UP PAVED TOGETHER WITH... ALL CONDUITS MUST BE LABELED WITH DIRECTION OF RUN INDICATED SO AS TO POSITIVELY IDENTIFY THEM FOR OUR PERSONNEL AND FURNISHED WITH A FULL STRING CAPABLE OF A 200 TO 300 POUND PULL.



PRIMARY CABLE INSTALLATION

Table with 3 columns: Years of plant, 0 to 2; 3 to 5; 6 to 10. Rows: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10. Includes a note about oil detention for pad-mounted transformers.

Table with 3 columns: Requirements, Construction Requirement, and Date. Includes a note about preparation of slab and reinforcement.

BLANKET SLOPE PROTECTION FOR EROSION CONTROL

NOT TO SCALE

MATERIALS STOCKPILE DETAIL

NOT TO SCALE

DETAIL SHEET

ASSESSORS MAP 47 PROPOSED LOT 9.02 159 EPPING ROAD EXETER, NEW HAMPSHIRE PREPARED FOR: SALEMA K.I.D.S. REALTY VENTURES LLC 369 LAFAYETTE ROAD HAMPTON, NH 03842

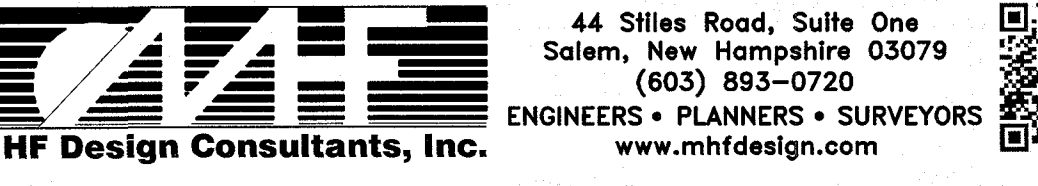
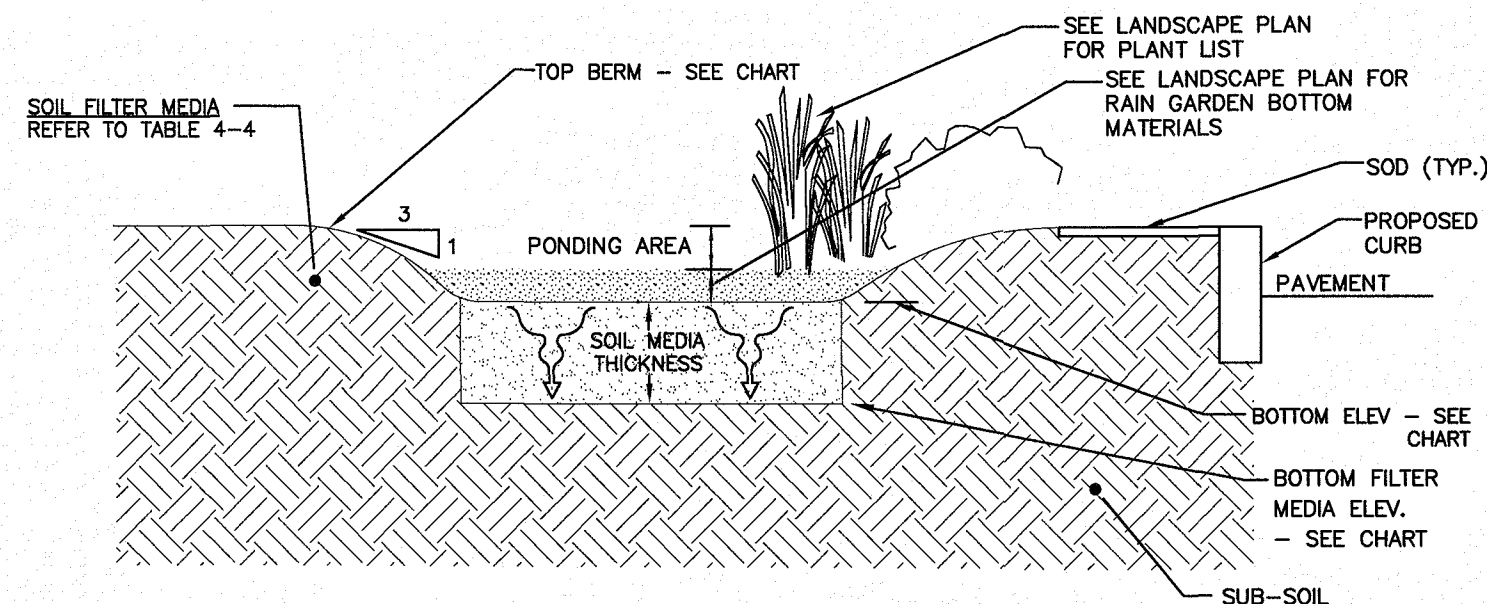


Table with 4 columns: Scale, Date, Drawing No., Sheet No. Values: AS SHOWN, OCTOBER 30, 2018, 4328DET.DWG, 12 OF 13.

Table 4-4. Bioretention Filter Media

Component Material	Percent of Mixture by Volume	Sieve No.	Gradation of Material Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
	20		70 to 100
	60		15 to 40
	200		8 to 15
Loamy coarse sand			

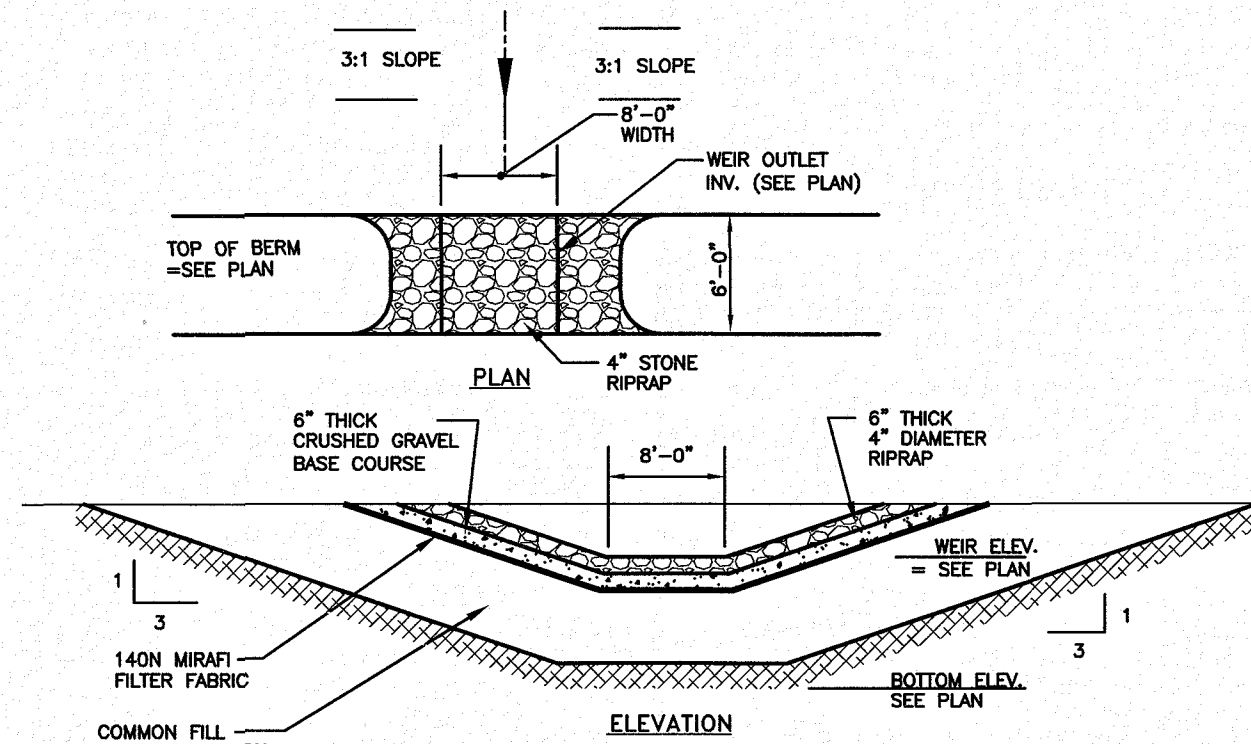
NOTES:
FOR ADDITIONAL INFORMATION REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES, DECEMBER 2008.



BIORETENTION AREA	TOP BERM ELEVATION	BASEIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.
BIORETENTION BASIN #1	96.00	94.00	18"	92.50
BIORETENTION BASIN #2	98.00	96.00	18"	94.50
BIORETENTION BASIN #3	98.00	96.00	18"	94.50
BIORETENTION BASIN #4	98.00	96.00	18"	94.50

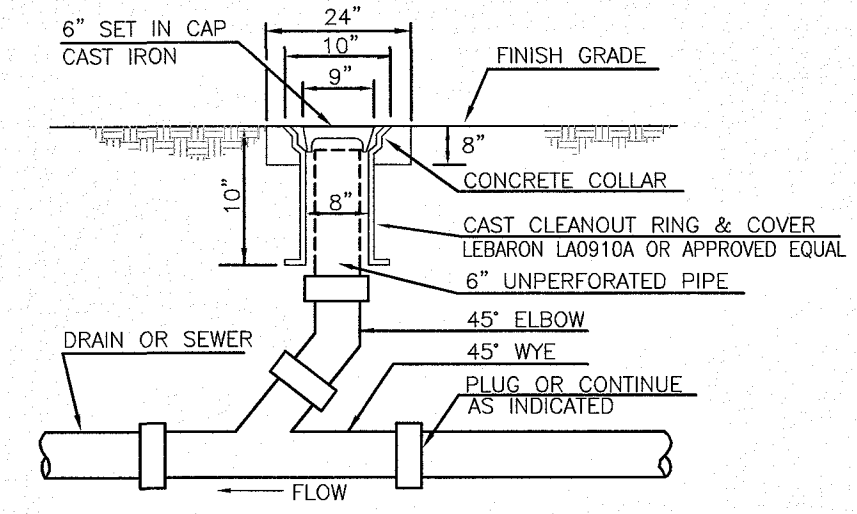
SCHEMATIC RAIN GARDEN DETAIL

NOT TO SCALE



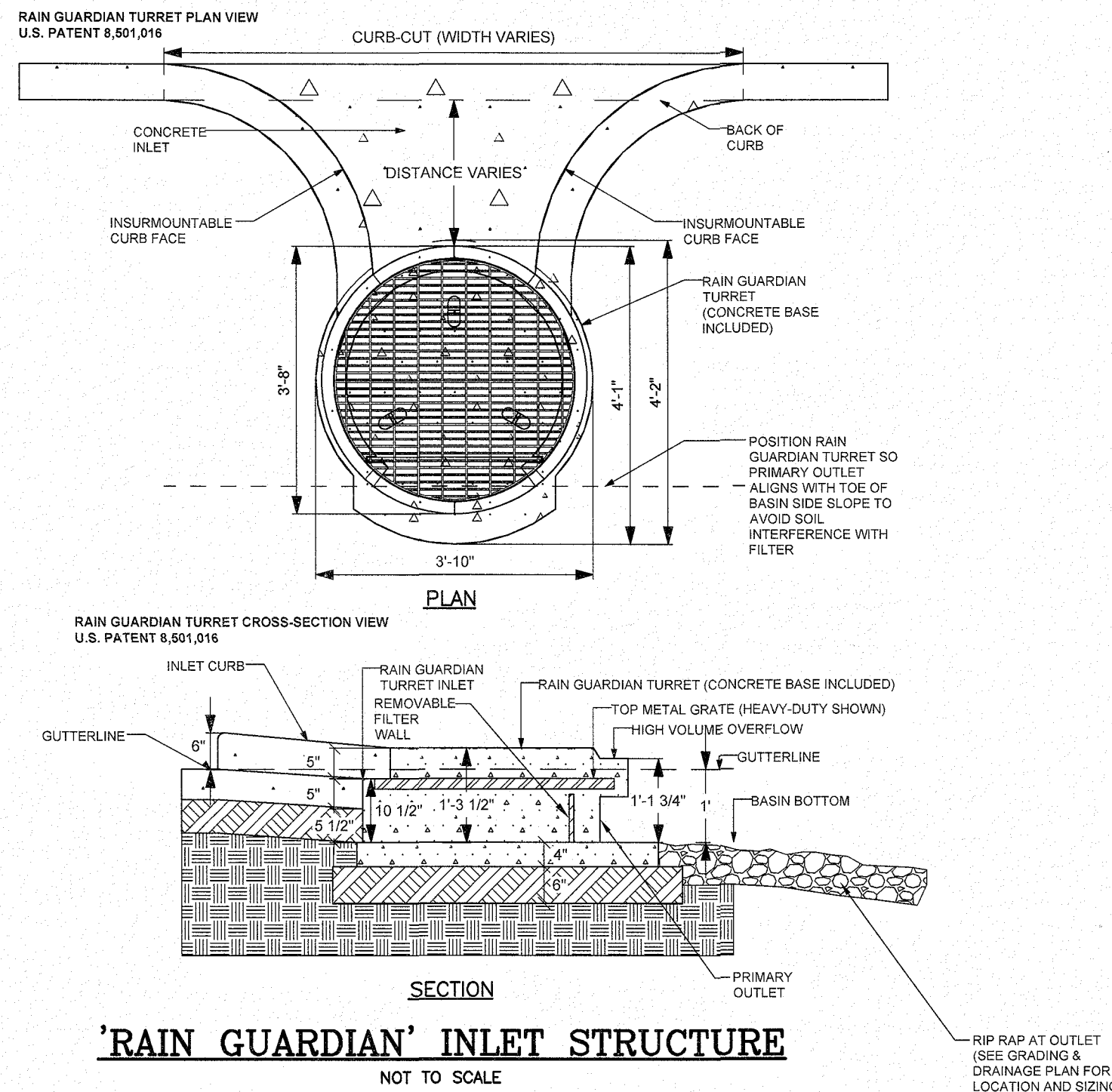
EMERGENCY SPILLWAY DETAIL

NOT TO SCALE



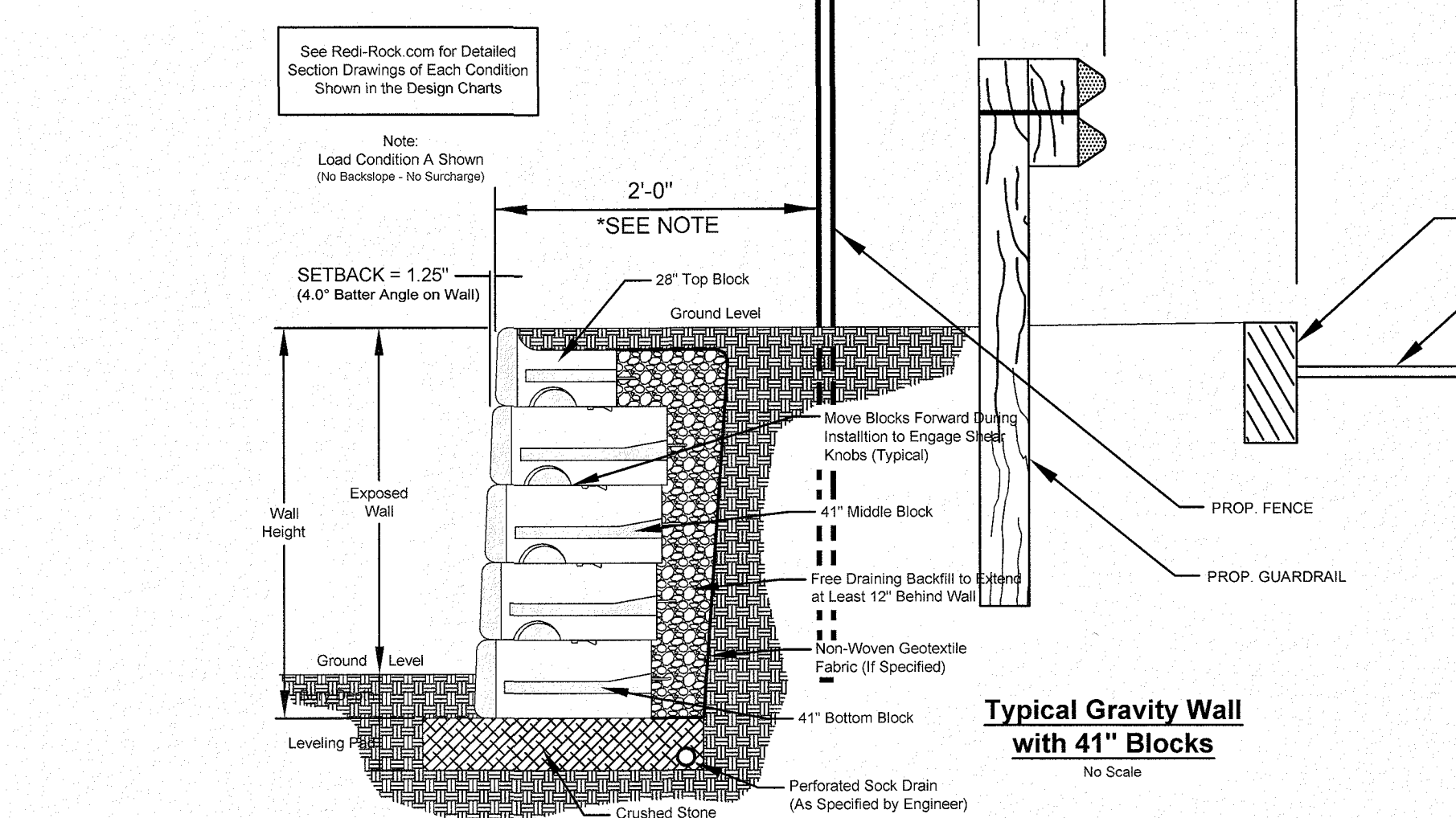
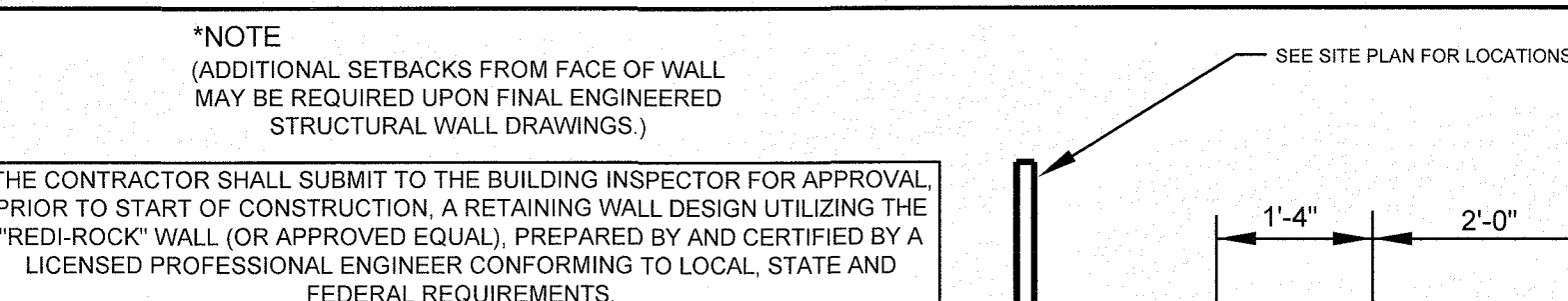
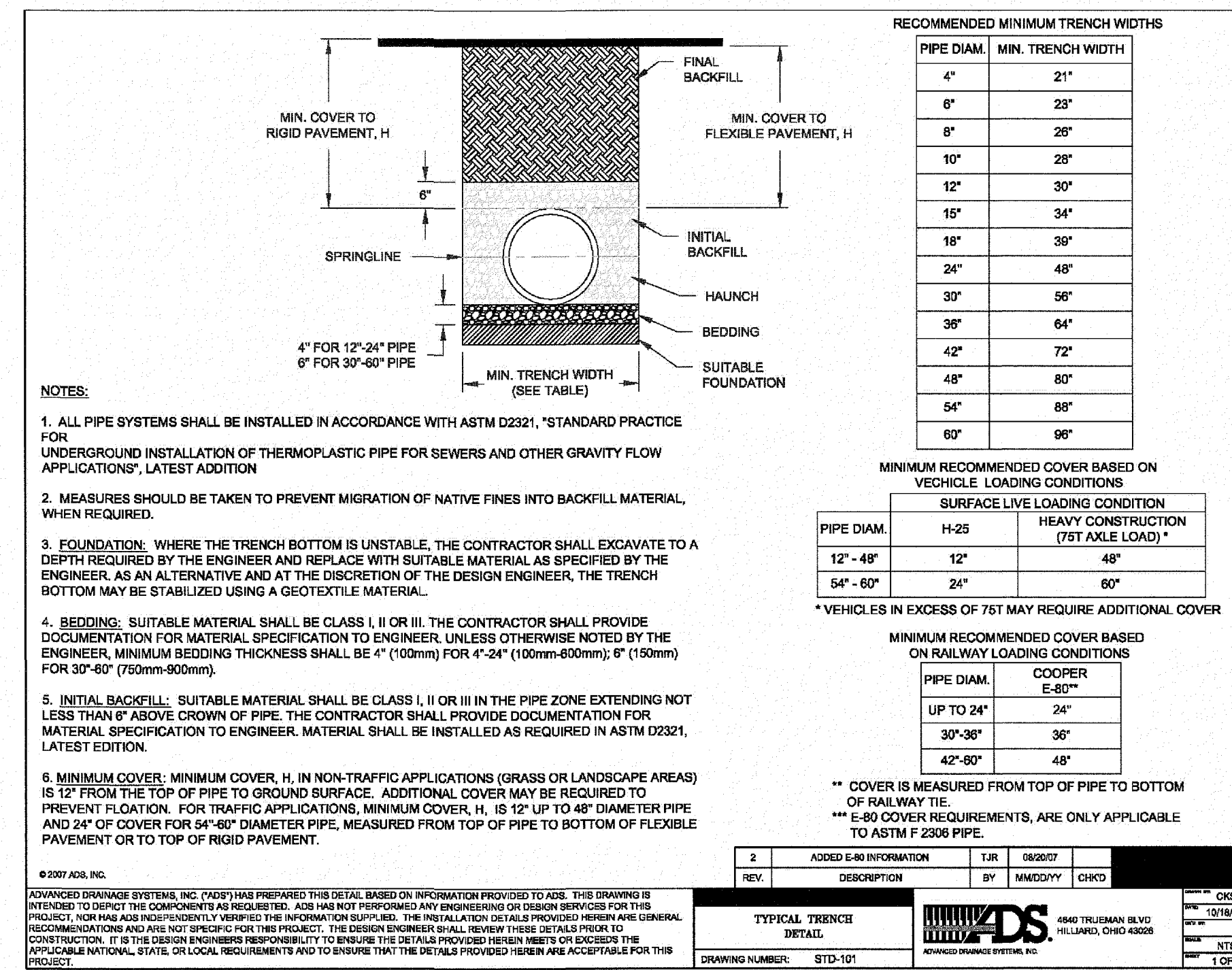
TYPICAL CLEANOUT

NOT TO SCALE



'RAIN GUARDIAN' INLET STRUCTURE

NOT TO SCALE



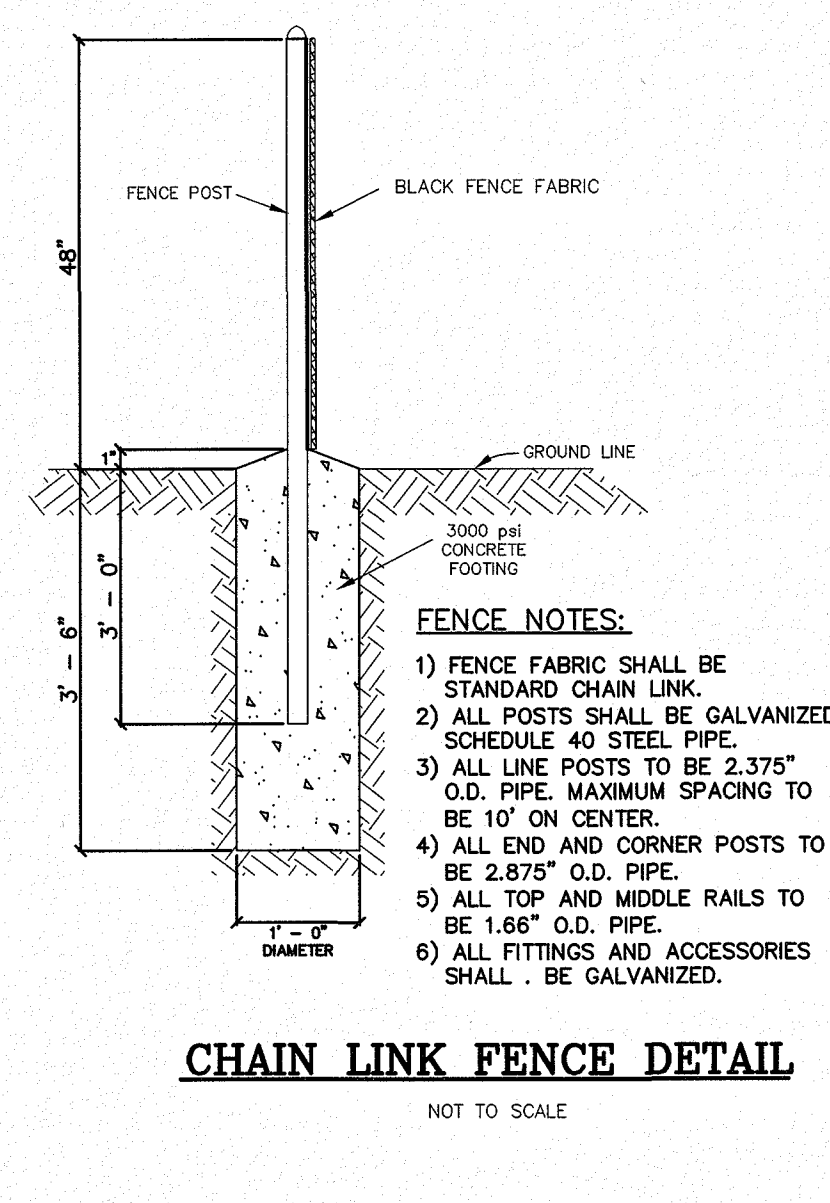
TYPICAL "REDI-ROCK" RETAINING WALL SECTION

NOT TO SCALE

MHF Design Consultants, Inc. 44 Stiles Road • Suite One • Salem, New Hampshire 03079 TEL: (603) 893-0720 • FAX: (603) 893-0738 www.mhfdesign.com

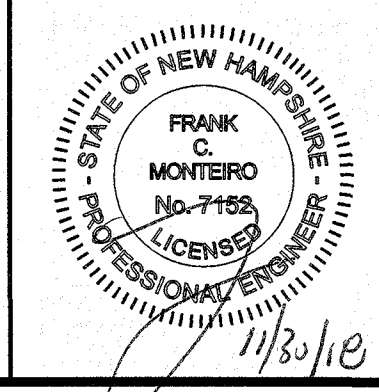
TEST PIT DATA

Test Pit No.	ESHWT:	Refusal:	Depth:	Horizon:	Soil Texture:	Color:	Consistence:	Mottles:	Quantity/Contrast:
1	30"	>124"	0-22"	A	Loamy Sand	10y 3/2	FR	@30"	Distinct
2	32"	>120"	0-12"	A	Loamy Sand	10y 3/2	FR	@30"	Distinct
3	32"	>120"	0-12"	A	Loamy Sand	10y 3/2	FR	@32"	Distinct
4	29"	67"	0-4"	A	Loamy Sand	10y 3/2	FR	@29"	Distinct



CHAIN LINK FENCE DETAIL

NOT TO SCALE



Test Pit No.	ESHWT:	Refusal:	Depth:	Horizon:	Soil Texture:	Color:	Consistence:	Mottles:	Quantity/Contrast:
5	28"	102"	0-10"	A	Loamy Sand	10y 3/2	FR	@78"	Quantity/Contrast
6	36"	99"	0-12"	A	Loamy Sand	10y 3/2	FR	@30"	Distinct
			12-40"	B	Loamy Sand	10y 5/6	FR	@30"	Distinct
			46-99"	C	Silt Loam	2.5y 4/2	Platy	@30"	Distinct

NO.	DESCRIPTION	BY	DATE
1	REVISE MISC. DETAILS	CMT	11/28/18

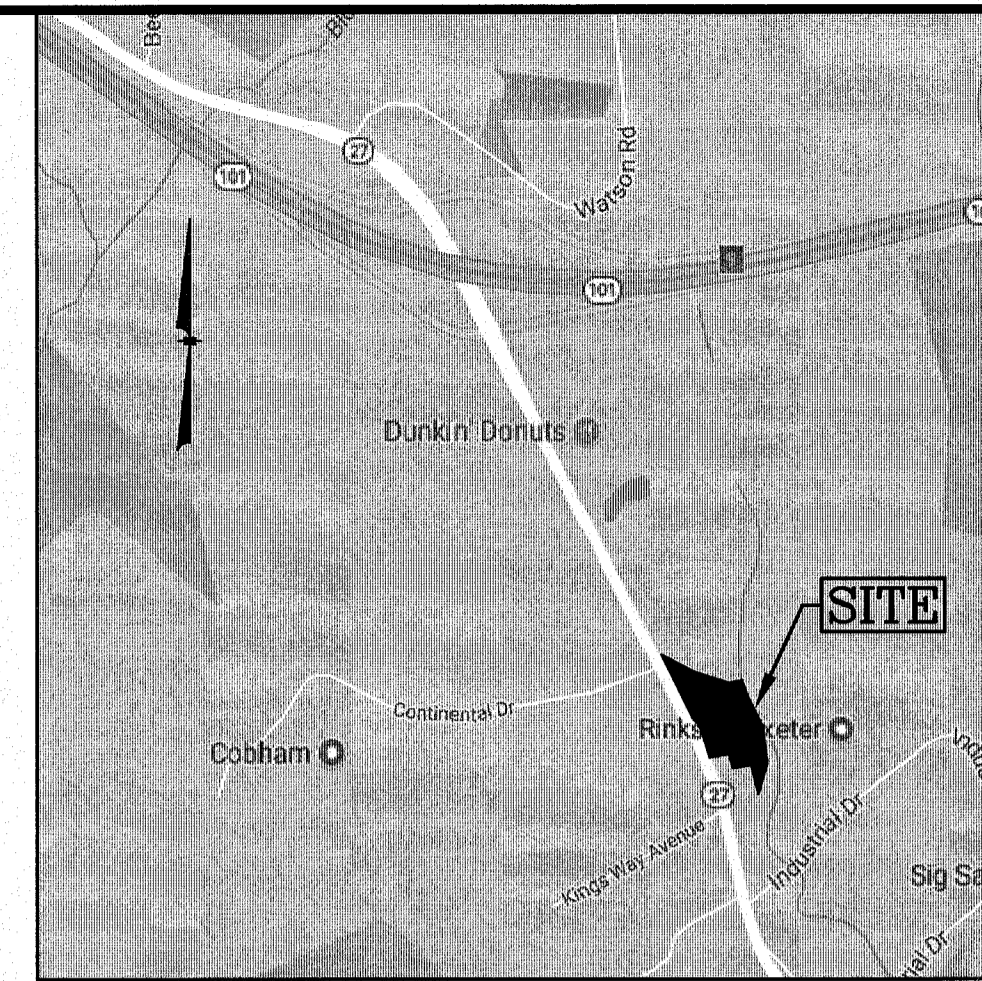
DETAIL SHEET

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842

SCALE: AS SHOWN DATE: OCTOBER 30, 2018 DRAWING NO. 4328DET.DWG
DRAWN BY: CHECKED BY: PROJECT NO. 432817 SHEET NO. 13 OF 13
CPS CMT

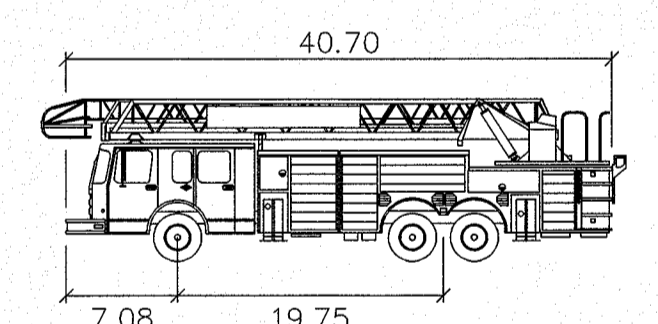
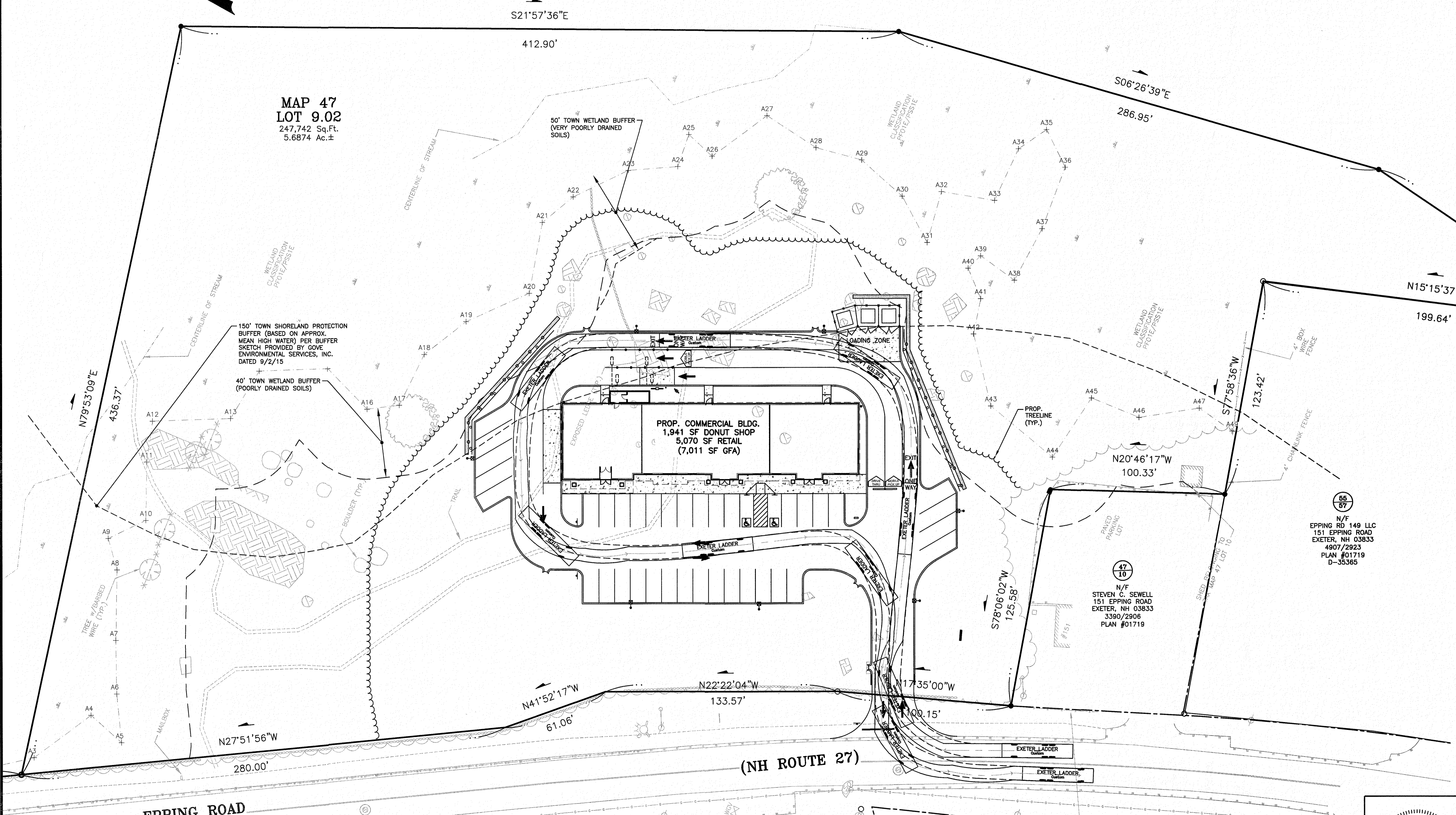
LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- VERTICAL GRANITE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- SIGN
- ⊕ OBSERVATION WELL
- TREELINE
- UTILITY POLE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- CATCH BASIN
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ GAS VALVE
- WETLAND LINE
- ① NUMBER OF PARKING SPACES



LOCATION MAP
(NOT TO SCALE)

MAP 47
LOT 9.02
247,742 Sq.Ft.
5.6874 Ac.±



EXETER LADDER
feet
Width : 8.00
Track : 7.83
Lock to Lock Time : 6.0
Steering Angle : 33.6

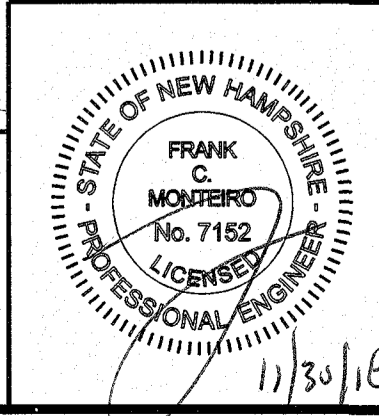
55/07
N/F
EPPING RD 149 LLC
151 EPPING ROAD
EXETER, NH 03833
4807/2823
PLAN #01719
D-35365

47/10
N/F
STEVEN C. SEWELL
151 EPPING ROAD
EXETER, NH 03833
3390/2806
PLAN #01719

NO.	DESCRIPTION	BY	DATE
REVISIONS			

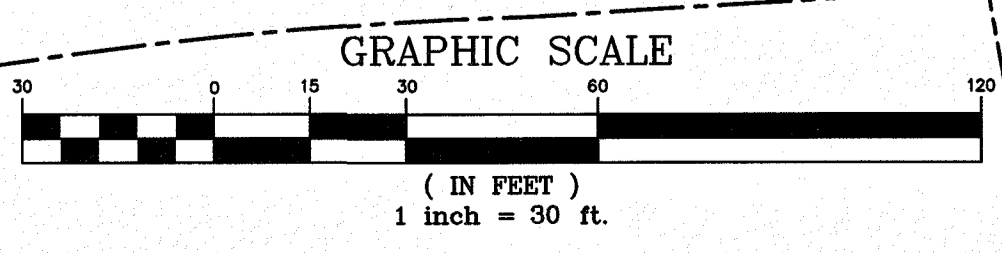
TRUCK TURN PLAN

ASSESSORS MAP 47 PROPOSED LOT 9.02
159 EPPING ROAD
EXETER, NEW HAMPSHIRE
PREPARED FOR:
SALEMA K.I.D.S. REALTY VENTURES LLC
369 LAFAYETTE ROAD
HAMPTON, NH 03842



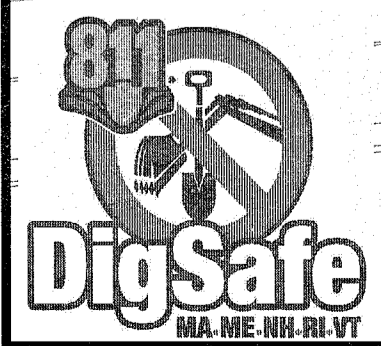
MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1"=30'	DATE: NOVEMBER 28, 2018	DRAWING NO. 4328SP
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 432817
		SHEET NO. 1 OF 1

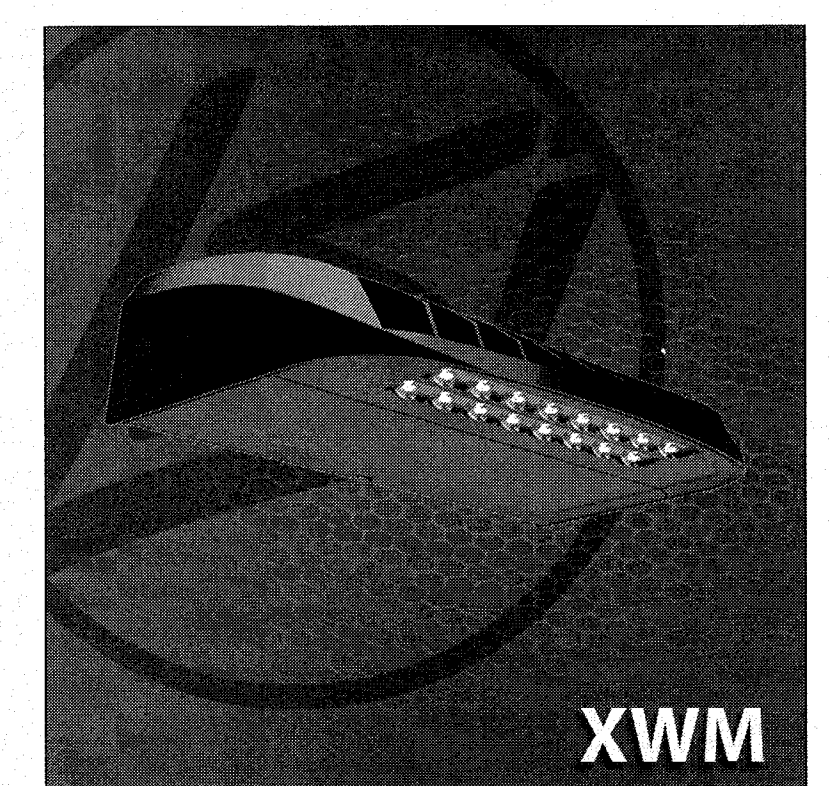
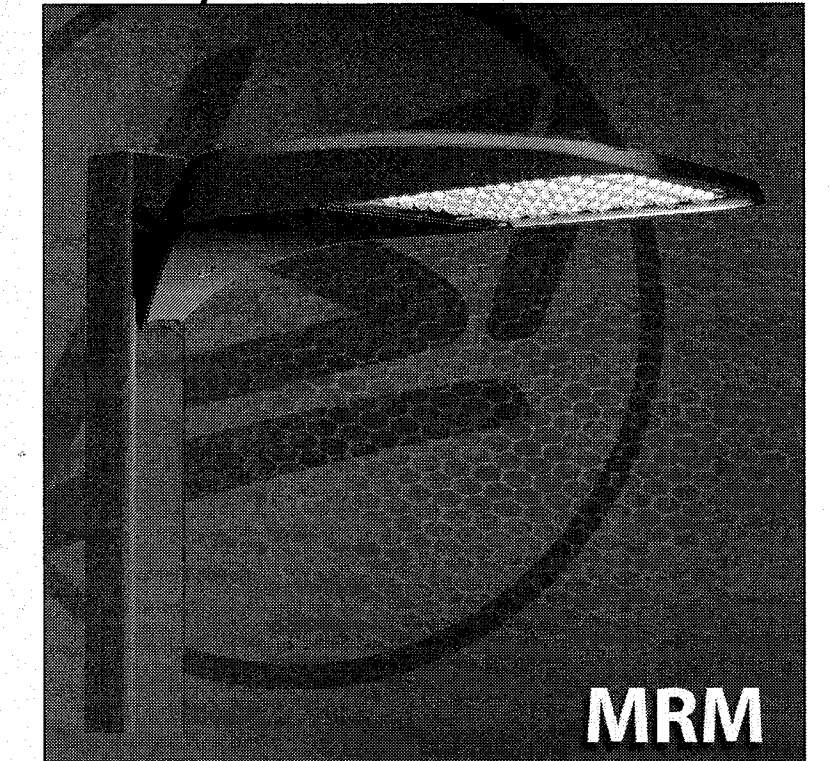
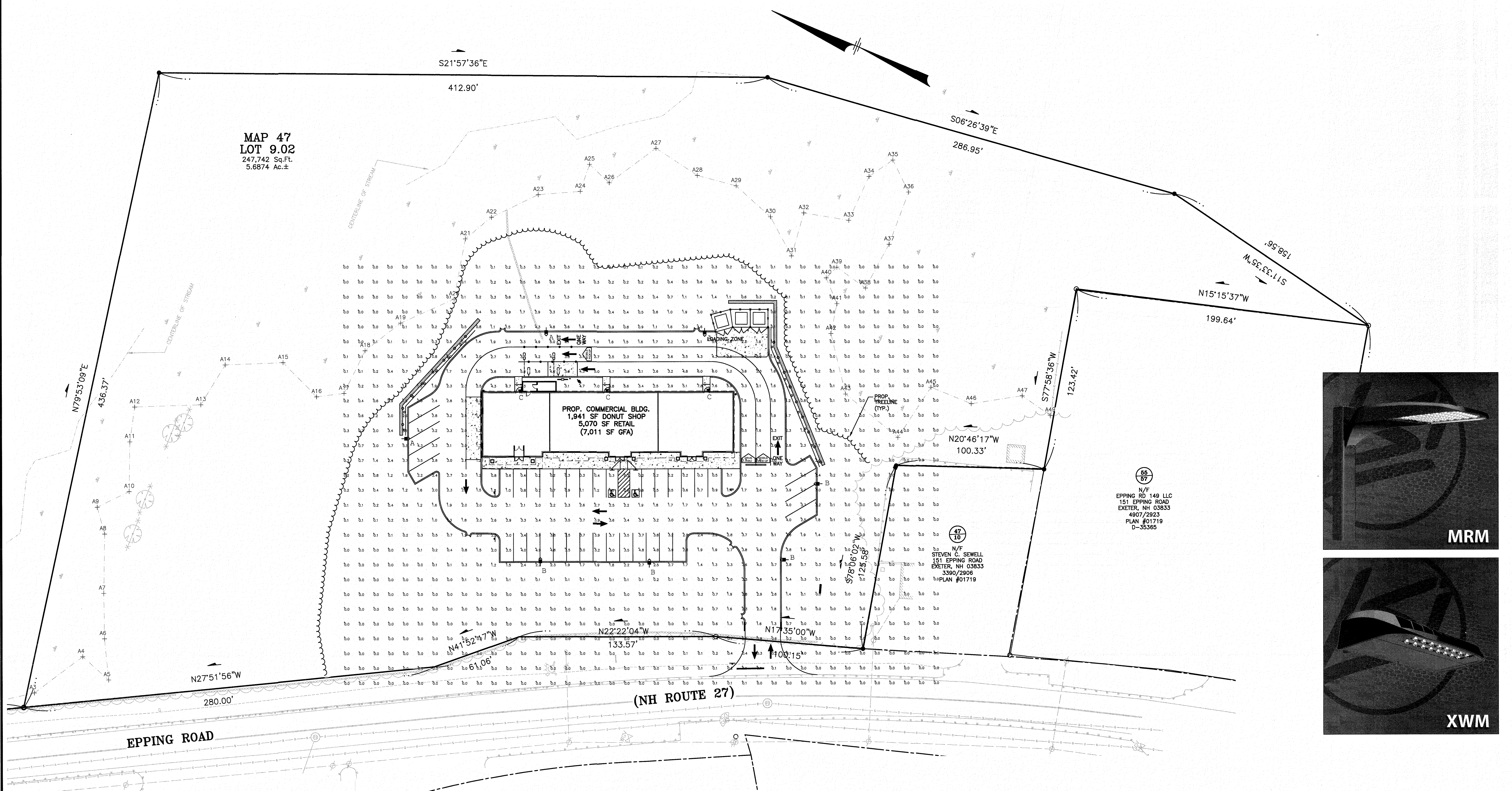


TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____



MAP 47
 LOT 9.02
 247,742 Sq.Ft.
 5.6874 Ac.±



47
 N/F
 STEVEN G. SEWELL
 151 EPPING ROAD
 EXETER, NH 03833
 4807/2923
 PLAN #01719
 D-35365

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	0.99	7.8	0.0	N.A.	N.A.
PARKING AND DRIVE SUMMARY	Illuminance	Fc	2.79	7.8	0.2	13.95	39.00

Symbol	Qty	Label	Arrangement	Description	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol A]	3	A	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-SINGLE ON 20' POLE + 2' BASE	1.000	19557	150
[Symbol B]	4	B	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE ON 20' POLE + 2' BASE	1.000	12651	150
[Symbol C]	3	C	SINGLE	XWM-FT-LED-04-50 - 10' MH	1.000	4508	38

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

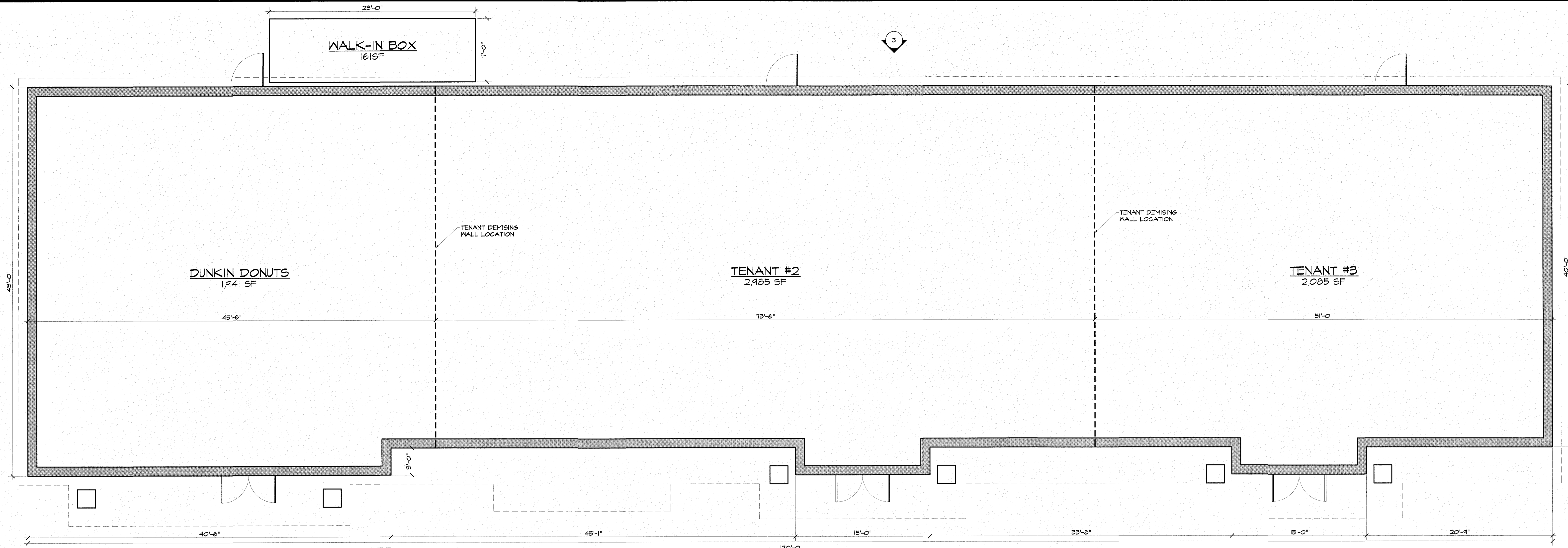
15000 HALLMARK BLVD. (CONCORD), NEW HAMPSHIRE 03301
 (603) 224-2000 • FAX (603) 224-8800

LIGHTING PROPOSAL LO-144767-1A

QSR/DONUT SHOP
 EPPING RD.
 EXETER, NH

BY: ILS DATE: 10/8/18 REV: 11/26/18 SHEET 1 OF 1

SCALE: 1"=30' 0 30



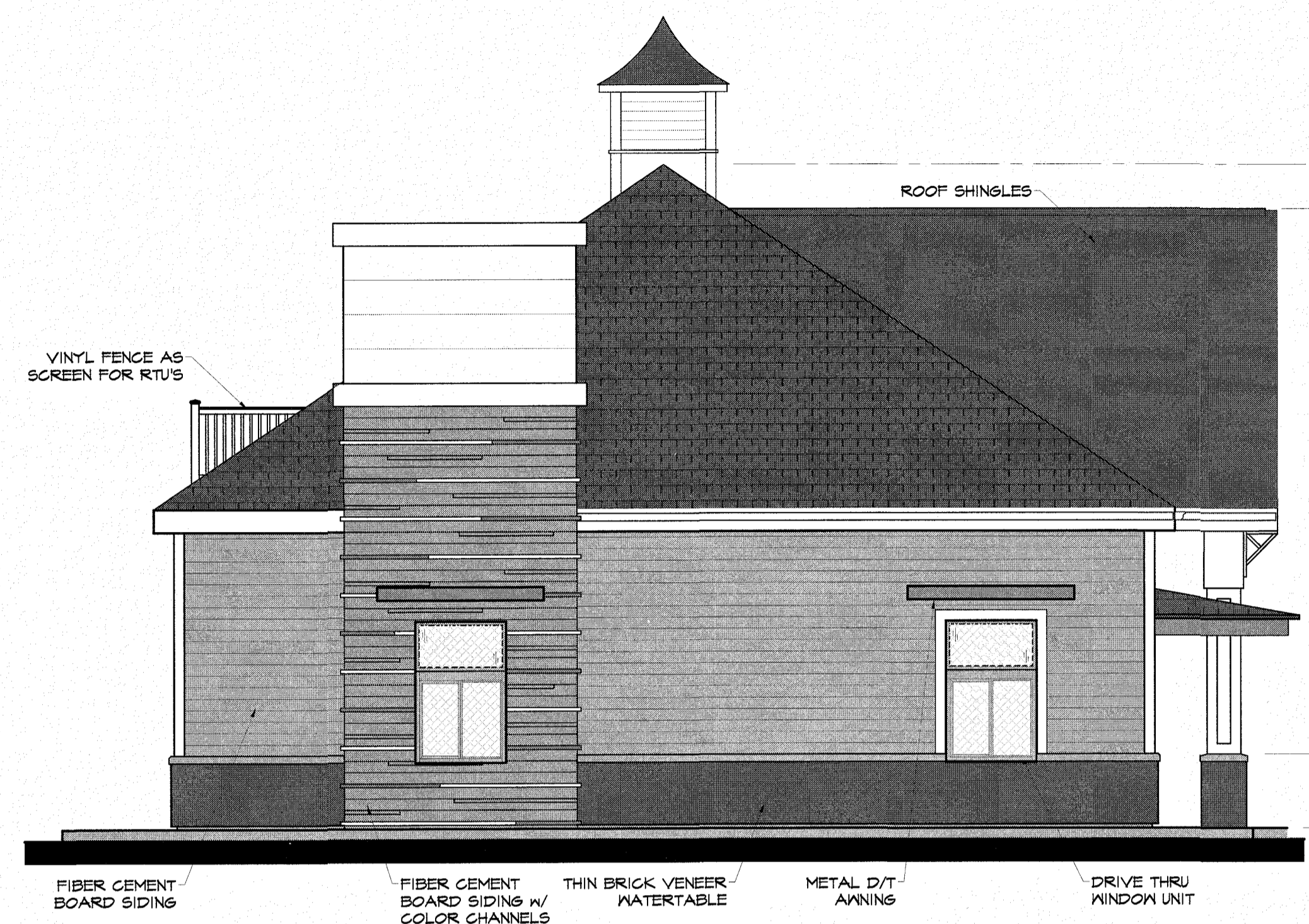
2 KEY PLAN
SCALE: 3/16" = 1'-0"
PLAN



1 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

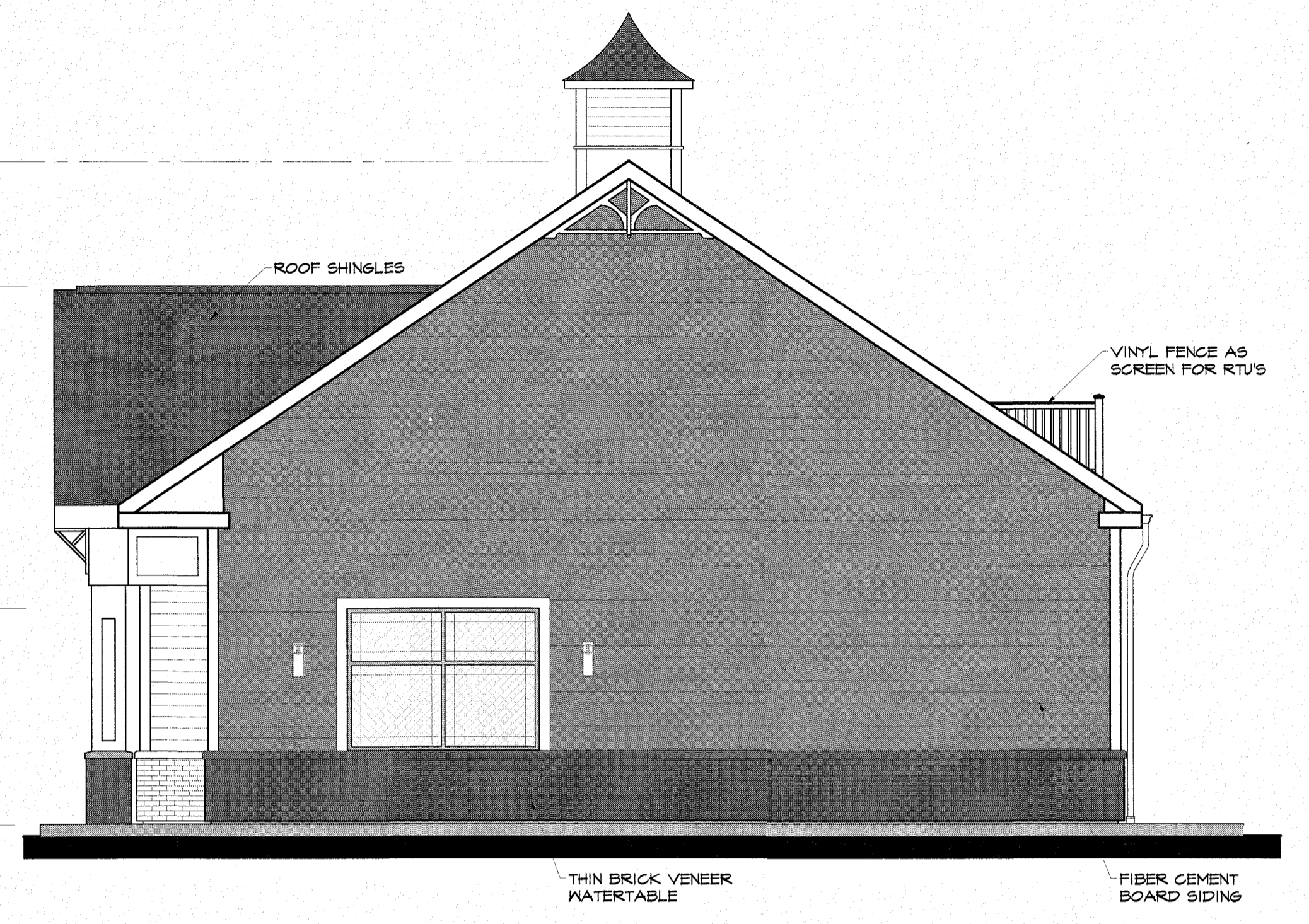
AHARONIAN & ASSOCIATES, INC.
Architects
401-232-5010
www.arch-eng.com

7,011 SF COMMERCIAL BUILDING
EPPING ROAD
EXETER, NH 03833
OCTOBER 31, 2018

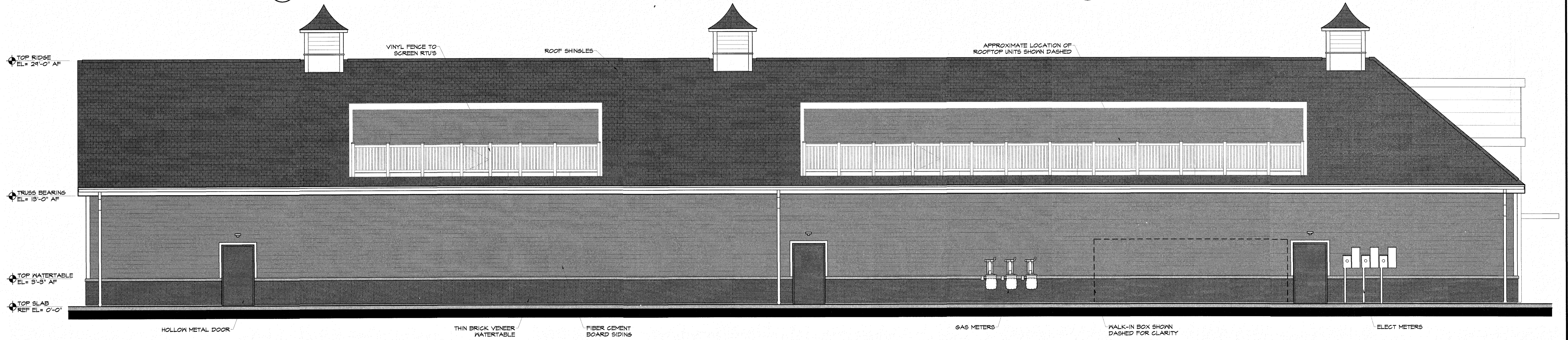


5 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

- TOP RIDGE EL= 24'-0"
- TOP DD GABLE EL= 27'-1"
- TOP TENANT GABLE EL= 25'-1"
- TRUSS BEARING EL= 13'-0"
- TOP WINDOW R.O. EL= 9'-6"
- TOP WATERTABLE EL= 3'-3"
- TOP SLAB REF EL= 0'-0"

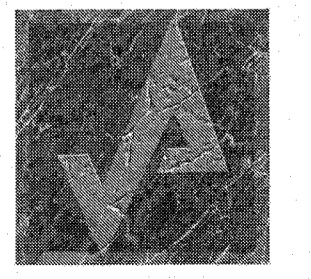


4 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

- TOP RIDGE EL= 24'-0" AF
- TRUSS BEARING EL= 13'-0" AF
- TOP WATERTABLE EL= 3'-3" AF
- TOP SLAB REF EL= 0'-0"



AHARONIAN & ASSOCIATES, INC.
Architects
401-232-5010
www.arch-eng.com

7,011 SF COMMERCIAL BUILDING
EPPING ROAD
EXETER, NH 03833
OCTOBER 31, 2018

LETTER OF TRANSMITTAL

To:
Ms. Kristen Murphy
Exeter Planning Department
10 Front Street Town Hall
Exeter, NH 03833

Date: November 28, 2018	#4891-USPP
Re:	
	Proposed Site Plan
	20 Continental Drive
	Exeter, NH

WE ARE SENDING YOU

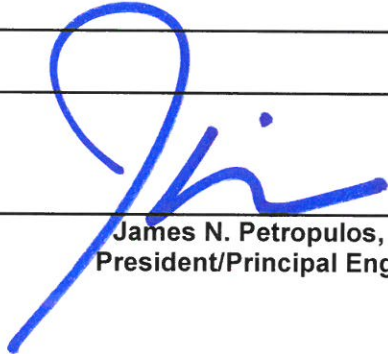
Attached Under separate cover via _____ the following items:

- | | | | | |
|---|---------------------------------------|---|----------------------------------|---|
| <input type="checkbox"/> Shop drawings | <input type="checkbox"/> Prints | <input checked="" type="checkbox"/> Plans | <input type="checkbox"/> Samples | <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of letter | <input type="checkbox"/> Change order | <input type="checkbox"/> Permit Application _____ | | |

Scope:

COPIES	DATE	NO.	DESCRIPTION
1			Cover Letter from Hayner/Swanson, Inc.
1			Project Narrative
1			11 x 17 Plan
1			Wetland/Buffer Impact Plan

REMARKS:



James N. Petropulos, P.E.
President/Principal Engineer



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

November 28, 2018
Job #4891-USPP

Ms. Kristen Murphy, Natural Resource Planner
EXETER PLANNING DEPARTMENT
10 Front Street
Exeter, NH 03833

**RE: PROPOSED SITE PLAN/CONDITIONAL USE APPLICATION
20 CONTINENTAL DRIVE
EXETER, NEW HAMPSHIRE**

Dear Kristen:

As you are aware in the next month or so we will be submitting a formal Site Plan/Conditional Use Permit application to the Exeter Planning Board for the above referenced property. Enclosed please find a copy of the Wetland/Buffer Impact Plan and a Project Narrative, which includes our Conditional Use Permit Criteria, for this development. On behalf of our client, ProCon, we respectfully request to be placed on the December 11, 2018 Exeter Conservation Commission agenda to discuss this project and to seek their recommendation to the Exeter Planning Board. If you think the ECC would be interested in walking the site in advance of this meeting we would be happy to participate in that inspection. Both Brendan Quigley of Gove Environmental and I are available to walk the site on the mornings of Friday, December 7th or Monday, December 10th, 2018.

In advance we thank you for your cooperation in processing this request. As always please do not hesitate to contact me if you have any questions or comments.

Respectfully,

A handwritten signature in black ink that reads 'James N. Petropulos'.

James N. Petropulos, P.E.
Principal Engineer/ President
HAYNER/SWANSON, INC.

cc: Brendan Quigley – GES
Michael Lawrence - ProCon

CONDITIONAL USE PERMIT – WETLAND
CONSERVATION OVERLAY DISTRICT

PROJECT NARRATIVE

The property under consideration for this application is located at 20 Continental Drive in Exeter, NH. The site is known to the Exeter Assessors Department as Map 46, Lot 3 and is currently owned by Garrison Glen, LLC of Nashua, NH. The parcel is located in Exeter's CT-1 Corporate Technology Park - 1 zoning district. Continental Drive was constructed in the late 1990's and currently contains a number of commercial and industrial businesses along its corridor. Undeveloped property within the Garrison Glen Corporate Park immediately abuts the site to the south. The recently constructed Gourmet Gift Basket facility is located west of the subject site while the FW Webb business is adjacent to the east property line. Undeveloped conservation land owned by the Town of Exeter abuts the lot to the north.

The subject lot contains 11.701 acres and is sparsely wooded; as the northern part of the lot was used as a staging area for the Gourmet Gift Basket construction two years ago. Numerous test pits were performed on the property and the soils can be generally classified as a glacial till soil. Several of the test pits in the northern half of the site contained shallow depth to bedrock. As can be seen on the accompanying plans the property contains mild topographic relief. The high point in the northeast part of the site is at elevation 115.0 +/- and the land slopes off in several directions to the mapped wetlands, which range in elevation from 84.0 to 88.0. Wetlands on the property were flagged in 2018 by Gove Environmental Services and field located by Hayner/Swanson, Inc. All of the wetlands identified on the property are forested wetlands with poorly drained mineral soils, typical in New England and within the Continental Drive area. Though ultimately

associated with the Little River, these wetland areas lie up gradient and distinctly separate from the river and its Contiguous Wetlands as defined by the Exeter Shoreland Protection District. The poorly drained on-site wetlands carry a 40-foot buffer setback and a 75-foot structural setback.

This lot is currently an undeveloped property with frontage along Continental Drive and Gourmet Place. The utilities needed to service this site (sewer, water, telephone, electric and gas) are located within Gourmet Place just north of this lot and are available to this site via a private easement.

Unitil Energy Systems (Unitil) seeks to purchase this lot for purposes of constructing a new Distribution Operations Center (DOC). This proposed site will serve as the home base for operations personnel, vehicles and storage of equipment for the seacoast region. Furthermore this site was selected for central location to Unitil's service area as they are a 'first responder' to events of widespread outages following major storms. This facility will also serve as Unitil's regional Emergency Operations Center from where they will manage the assessment and restoration activities needed during such an event. It should be noted that both the front field parking and the large paved area behind the site have the ability to accommodate service trucks coming from other areas during an emergency event to stage and dispatch.

The project proposes two curb cuts along Gourmet Place in order to gain access into the main body of the site that will contain a partial 2-story, 53,490 square foot building, which contains offices, storage, warehouse and a wash bay area. Parking for 100 vehicles is proposed along the north side of the building and two (2) loading docks are proposed behind the building. Other site improvements include underground utilities to service the building, sidewalks, landscaping and site lighting. A subsurface stormwater detention basin will accommodate the new runoff created by the proposed impervious areas of the roof, parking areas and entrance drives.

As can be seen on the site plans, portions of seven wetland areas (totaling 15,425 square feet) are being impacted as a result of this development. In

addition, 78,155 square feet of wetland buffer (40-foot setback) is also being disturbed.

Adverse impacts to local schools and traffic as a result of this project are not anticipated.

CONDITIONAL USE PERMIT CRITERIA

Town of Exeter Zoning Ordinance Article 9.1.6.A Conditional

Uses: It is being requested to allow the construction of a portion of the building, driveways, parking areas, utilities and other site improvements as shown on the attached plan within the Wetlands Conservation Overlay District.

Town of Exeter Zoning Ordinance Article 9.1.6.B Conditions:

1. That the proposed use is permitted in the underlying zoning

district. Response: The proposed operations (distribution) facility is an allowed use in the CT-1 zoning district under Article 4.2 of the Exeter Zoning Ordinance.

2. That the use for which the permit is sought cannot feasibly be carried out on a portion or portions of the lot which are outside of the Wetlands Conservation Overlay District.

Response: As described above Unutil's everyday use and the operations needed during a major storm event requires a large continuous building pad, pavement areas and the utilization of equipment storage yard behind the proposed building. The project has been centrally located in the upland portion of the lot with wetland impacts being limited to the tips of the projections of poorly drained soils that extend into the property. The impact to the isolated wetland located in the center of the property cannot be avoided.

3. A wetland scientist has conducted a functions and values study of the wetlands and deemed that the wetlands under consideration will not be negatively impacted by the development. Response: Gove Environmental Services, Inc. evaluated the wetlands in the vicinity of the proposed impacts and buffer encroachment to determine the functions and values of these areas. The relevant wetland areas forested red maple dominated wetland formed in generally dense till on a bouldery landscape. This wetland type is very common in the Continental Drive area and can be found on all the adjoining lots, often in close proximity to the road or to existing industrial development. The value of these wetlands is generally low unless they are closely associated with the Little River or with other features such as vernal pools, streams, or similar more sensitive areas. There are no such features on this site. The isolated wetland where direct impacts are proposed is not a vernal pool. The function of the wetlands on the site is limited to modest wildlife habitat and water quality. The wildlife habitat value of the wetlands on the site is little different than that of the surrounding uplands; the true wetland related habitat value lies within the wetlands more closely associated with the Little River. Since impacts are located far up-gradient of these areas and stormwater management systems will be design to protect water quality, proposed impacts will have negligible, if any effect on the overall functions and values of the wetland areas which will remain intact and largely offsite

4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer and that no alternative design, which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer, is feasible. Response: The amount of

wetland impact has been minimized by sliding the main elements of the site plan as far north as possible. Furthermore, the use of 2H:1V riprap slopes along the three sides of the developed areas minimize the overall impact to the wetlands. The proposed stormwater management system will protect water quality in the wetlands and in the watershed of the Little River.

5. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use; that the landowner agrees to restore the site as nearly as possible to its original grade and condition following

construction. Response: The proposed impacts are associated with grade changes and structures and are not temporary in nature.

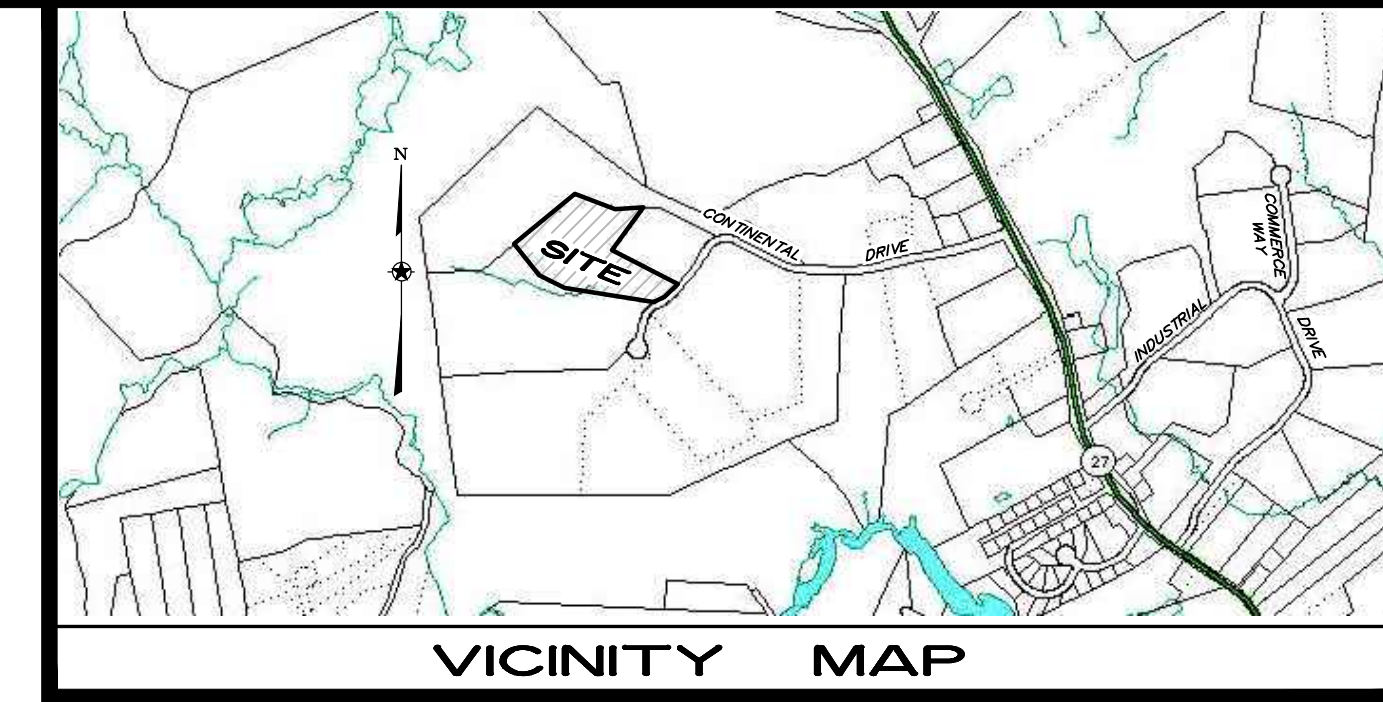
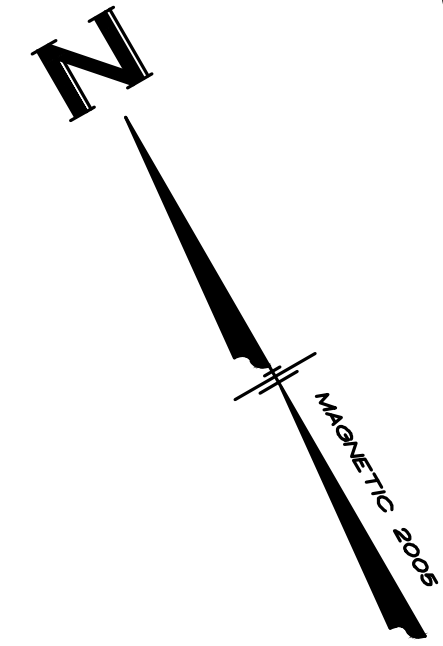
Impacts associated with grading only, will however, be restored to the maximum extent practical by seeding with a conservation seed mix containing herbaceous and woody shrub species for screening and wildlife habitat.

6. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater or other reasons.

Response: Due to the nature of the proposed impacts and the clean nature of this proposed use; hazardous impacts to public health, safety and welfare are not expected.

7. That all required permits shall be obtained from the New Hampshire Department of Environmental services Water Supply and Pollution Control Division under NH RSA 485-A:17, the New Hampshire Wetlands Board under NH RSA 483-A and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.

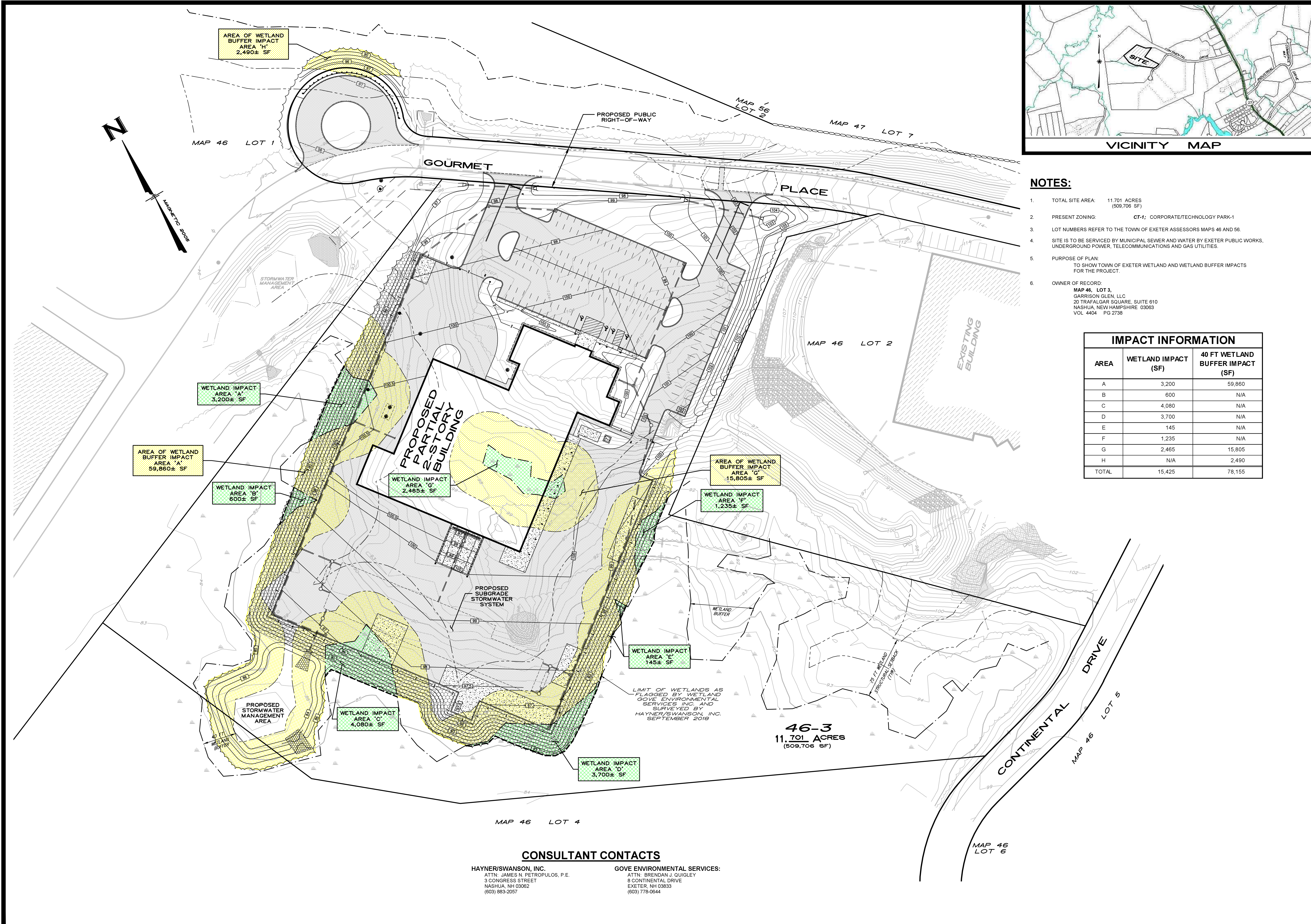
The permits required to develop this site as shown on the proposed site plan shall be applied for in accordance with local, state and federal regulations.



NOTES:

- TOTAL SITE AREA: 11.701 ACRES (509,706 SF)
- PRESENT ZONING: CT-1; CORPORATE/TECHNOLOGY PARK-1
- LOT NUMBERS REFER TO THE TOWN OF EXETER ASSESSORS MAPS 46 AND 56
- SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY EXETER PUBLIC WORKS, UNDERGROUND POWER, TELECOMMUNICATIONS AND GAS UTILITIES.
- PURPOSE OF PLAN: TO SHOW TOWN OF EXETER WETLAND AND WETLAND BUFFER IMPACTS FOR THE PROJECT.
- OWNER OF RECORD: MAP 46, LOT 3, GARRISON GLEN, LLC (603) 623-8811 20 TRAFALGAR SQUARE, SUITE 610 NASHUA, NEW HAMPSHIRE 03063 VOL 4404 PG 2738

IMPACT INFORMATION		
AREA	WETLAND IMPACT (SF)	40 FT WETLAND BUFFER IMPACT (SF)
A	3,200	59,860
B	600	N/A
C	4,080	N/A
D	3,700	N/A
E	145	N/A
F	1,235	N/A
G	2,465	15,805
H	N/A	2,490
TOTAL	15,425	78,155



CONSULTANT CONTACTS

HAYNER/SWANSON, INC.
 ATTN: JAMES N. PETROPULOS, P.E.
 3 CONGRESS STREET
 NASHUA, NH 03862
 (603) 883-2057

GOVE ENVIRONMENTAL SERVICES:
 ATTN: BRENDAN J. QUIGLEY
 8 CONTINENTAL DRIVE
 EXETER, NH 03833
 (603) 778-0644

WETLAND/BUFFER IMPACT PLAN
 MAP 46 LOT 3

Unitil/NH Electric Operations
DOC - Seacoast Region
 20 CONTINENTAL DRIVE
 EXETER, NEW HAMPSHIRE

PREPARED FOR: **PROCON**
 P.O. BOX 4430 MANCHESTER, NEW HAMPSHIRE 03108 (603) 623-8811
 RECORD OWNER: **GARRISON GLEN, LLC**
 20 TRAFALGAR SQUARE, SUITE 610 NASHUA, NH 03063 (603) 860-0502

DATE: _____ REVISION: _____ BY: _____

FIELD BOOK: _____ DATE: 27 NOVEMBER 2018
 DWG: 4891U1-01 DATE: 27 NOVEMBER 2018
 1 OF 1 SHEET

Scale: 1" = 50'
 DWG LOCATION: G:\1881\DWG\4891-U1

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03862
 (603) 883-2057
 www.haynerswanson.com

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

November 20, 2018

New Hampshire Department of Environmental Services
Wetlands Bureau
29 Hazen Drive, PO Box 95
Concord, NH 03302-0095

RE: Wetlands Permit Application
173-179 Water Street, Exeter, NH
Tax Map 64 Lot 50
JBE Project No. 17110

Town Clerk's Office

NOV 26 2018

Received

Dear Reviewer:

On behalf of our client and property owner, Freedman Realty Inc., we are submitting a Wetlands Permit Application for the development of the existing Smith Building located at 173-179 Water Street, Exeter, NH. This project is located within the protected wetlands buffer associated with the Squamscott River in downtown Exeter.


The intent of this project is to update the existing Smith Building within the existing building footprint and add parking on the south and east side of the building.

A copy of the following items is being submitting with this application:

- Check in the amount of \$448.40
- Completed Wetlands Application
- Attachment A Minor – Major 20 Questions
- NHB Report
- Appendix B – US Army Corp of Engineers
- NHDHR – Pending
- Designated River Check
- Wildlife habitat Map
- Signed Letter of Authorization
- Copy of the Recorded Deed
- USGS Map
- Tax Map
- Photographs of the site
- Abutter Notification Letter
- Abutter List
- Certified Mail Receipts
- Two Copies of the plans

If you have any questions or need any additional information, please feel free to contact me at the office.
Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.


Barry Gier, P.E.
Vice President

cc: Mike Todd (via email)
Town of Exeter (via Certified Mail)
Exeter-Squamscott River Local Advisory Committee (via Certified Mail)

Excel Construction Management, LLC

60 Deertrees Lane
Newfields, NH 03856-8229
(603) 778-7415

TD BANK, NATIONAL ASSOCIATION
CONCORD, NH 03301
54-007/114

12257

11/19/2018

PAY TO THE ORDER OF Treasurer, State of NH

\$ **448.00

Four Hundred Forty-Eight and 00/100*****

DOLLARS

Treasurer, State of NH

MEMO 173 Water St. Exeter



⑆0⑆12257⑆ ⑆0⑆1140007⑆⑆ 9245942598⑆

Excel Construction Management, LLC

Treasurer, State of NH

Permitting: Wetland

11/19/2018

448.00

12257

Checking TD Banknor 173 Water St. Exeter

448.00

DATE	INVOICE NO.	COMMENT	AMOUNT /	NET AMOUNT
11/19/2018	17110	Additional Wetland Permit Fee		0.40
DATE 11/19/18			VENDOR TREASURER, STATE OF NEW HAMPSHIR	TOTAL 0.40

JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885



the Provident Bank

ESSENTIAL Check Fraud Protection for Business

53-7402/2113

DATE

AMOUNT

Zero and 40/100

PAY TO THE ORDER OF:

TREASURER, STATE OF NEW HAMPSHIRE

11/19/18

9162

\$0.40



Emily W. Cinn
 AUTHORIZED SIGNATURE

⑈009162⑈ ⑆211374020⑆ 420051013⑈

Security Features: Details on back



WETLANDS PERMIT APPLICATION

Water Division/ Wetlands Bureau
Land Resources Management



Check the status of your application: www.des.nh.gov/onestop

RSA/Rule: RSA 482-A/ Env-Wt 100-900

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

1. REVIEW TIME: Indicate your Review Time below. To determine review time, refer to Guidance Document A for instructions.

Standard Review (Minimum, Minor or Major Impact) Expedited Review (Minimum Impact only)

2. MITIGATION REQUIREMENT:

If mitigation is required a Mitigation-Pre Application meeting must occur prior to submitting this Wetlands Permit Application. To determine if Mitigation is Required, please refer to the Determine if Mitigation is Required Frequently Asked Question.

Mitigation Pre-Application Meeting Date: Month: Day: Year:

N/A - Mitigation is not required

3. PROJECT LOCATION:

Separate wetland permit applications must be submitted for each municipality that wetland impacts occur within.

ADDRESS: 173 Water Street		TOWN/CITY: Exeter	
TAX MAP: 64	BLOCK:	LOT: 50	UNIT:
USGS TOPO MAP WATERBODY NAME: Squamscott River		<input type="checkbox"/> NA	STREAM WATERSHED SIZE: <input type="checkbox"/> NA
LOCATION COORDINATES (If known): 42 48 55.79 N 70 56 53.16 W		<input checked="" type="checkbox"/> Latitude/Longitude <input type="checkbox"/> UTM <input type="checkbox"/> State Plane	

4. PROJECT DESCRIPTION:

Provide a brief description of the project outlining the scope of work. Attach additional sheets as needed to provide a detailed explanation of your project. DO NOT reply "See Attached" in the space provided below.

The intent of this project is to modify the existing structure located at 173-179 Water Street. Two additional floors will be added to the existing building within the existing building footprint. Additional parking is going to be added around the building, and within the proposed covered garage area, which will be located within the existing footprint of the building.

5. SHORELINE FRONTAGE:

NA This does not have shoreline frontage. SHORELINE FRONTAGE:

Shoreline frontage is calculated by determining the average of the distances of the actual natural navigable shoreline frontage and a straight line drawn between the property lines, both of which are measured at the normal high water line.

6. RELATED NHDES LAND RESOURCES MANAGEMENT PERMIT APPLICATIONS ASSOCIATED WITH THIS PROJECT:

Please indicate if any of the following permit applications are required and, if required, the status of the application.

To determine if other Land Resources Management Permits are required, refer to the Land Resources Management Web Page.

Permit Type	Permit Required	File Number	Permit Application Status
Alteration of Terrain Permit Per RSA 485-A:17	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Individual Sewerage Disposal per RSA 485-A:2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Subdivision Approval Per RSA 485-A	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Shoreland Permit Per RSA 483-B	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	_____	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED

7. NATURAL HERITAGE BUREAU & DESIGNATED RIVERS:

See the Instructions & Required Attachments document for instructions to complete a & b below.

a. Natural Heritage Bureau File ID: NHB 18 - 33086

b. Designated River the project is in ¼ miles of: Squamscott River ; and
 date a copy of the application was sent to the Local River Management Advisory Committee: Month: 10 Day: 22 Year: 2018
 N/A

8. APPLICANT INFORMATION (Desired permit holder)LAST NAME, FIRST NAME, M.I.: **Freedman, Bert**TRUST / COMPANY NAME: **Freedman Realty Inc.**MAILING ADDRESS: **173 Water Street**TOWN/CITY: **Exeter**STATE: **NH**ZIP CODE: **03833**EMAIL or FAX: **mike@buildwithexcel.com**PHONE: **603-778-7415**ELECTRONIC COMMUNICATION: By initialing here: **BWG**, I hereby authorize NHDES to communicate all matters relative to this application electronically.**9. PROPERTY OWNER INFORMATION (If different than applicant)**

LAST NAME, FIRST NAME, M.I.:

TRUST / COMPANY NAME:

MAILING ADDRESS:

TOWN/CITY:

STATE:

ZIP CODE:

EMAIL or FAX:

PHONE:

ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize NHDES to communicate all matters relative to this application electronically.

10. AUTHORIZED AGENT INFORMATIONLAST NAME, FIRST NAME, M.I.: **Gier, Barry, W**COMPANY NAME: **Jones and Beach Engineers Inc.**MAILING ADDRESS: **PO BOX 219**TOWN/CITY: **Stratham**STATE: **NH**ZIP CODE: **03885**EMAIL or FAX: **bgier@jonesandbeach.com**PHONE: **603-772-4746**ELECTRONIC COMMUNICATION: By initialing here **BWG**, I hereby authorize NHDES to communicate all matters relative to this application electronically.**11. PROPERTY OWNER SIGNATURE:**

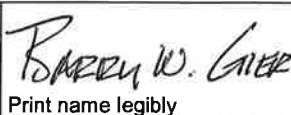
See the Instructions & Required Attachments document for clarification of the below statements

By signing the application, I am certifying that:

1. I authorize the applicant and/or agent indicated on this form to act in my behalf in the processing of this application, and to furnish upon request, supplemental information in support of this permit application.
2. I have reviewed and submitted information & attachments outlined in the Instructions and Required Attachment document.
3. All abutters have been identified in accordance with RSA 482-A:3, I and Env-Wt 100-900.
4. I have read and provided the required information outlined in Env-Wt 302.04 for the applicable project type.
5. I have read and understand Env-Wt 302.03 and have chosen the least impacting alternative.
6. Any structure that I am proposing to repair/replace was either previously permitted by the Wetlands Bureau or would be considered grandfathered per Env-Wt 101.47.
7. I have submitted a Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) to the NH State Historic Preservation Officer (SHPO) at the NH Division of Historical Resources to identify the presence of historical/ archeological resources while coordinating with the lead federal agency for NHPA 106 compliance.
8. I authorize NHDES and the municipal conservation commission to inspect the site of the proposed project.
9. I have reviewed the information being submitted and that to the best of my knowledge the information is true and accurate.
10. I understand that the willful submission of falsified or misrepresented information to the New Hampshire Department of Environmental Services is a criminal act, which may result in legal action.
11. I am aware that the work I am proposing may require additional state, local or federal permits which I am responsible for obtaining.
12. The mailing addresses I have provided are up to date and appropriate for receipt of NHDES correspondence. NHDES will not forward returned mail.



Property Owner Signature



Print name legibly

11/19/18
Date

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095


www.des.nh.gov

MUNICIPAL SIGNATURES

12. CONSERVATION COMMISSION SIGNATURE

The signature below certifies that the municipal conservation commission has reviewed this application, and:

1. Waives its right to intervene per RSA 482-A:11;
2. Believes that the application and submitted plans accurately represent the proposed project; and
3. Has no objection to permitting the proposed work.

	Print name legibly	Date
--	--------------------	------

DIRECTIONS FOR CONSERVATION COMMISSION

1. Expedited review ONLY requires that the conservation commission's signature is obtained in the space above.
2. Expedited review requires the Conservation Commission signature be obtained **prior** to the submittal of the original application to the Town/City Clerk for signature.
3. The Conservation Commission may refuse to sign. If the Conservation Commission does not sign this statement for any reason, the application is not eligible for expedited review and the application will be reviewed in the standard review time frame.

13. TOWN / CITY CLERK SIGNATURE

As required by Chapter 482-A:3 (amended 2014), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

	Print name legibly	Town/City	Date
---	--------------------	-----------	------

DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3,I

1. For applications where "Expedited Review" is checked on page 1, if the Conservation Commission signature is not present, NHDES will accept the permit application, but it will NOT receive the expedited review time.
2. IMMEDIATELY sign the original application form and four copies in the signature space provided above;
3. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
4. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board; and
5. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

1. Submit the single, original permit application form bearing the signature of the Town/ City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery.

14. IMPACT AREA:

For each jurisdictional area that will be/has been impacted, provide square feet and, if applicable, linear feet of impact

Permanent: impacts that will remain after the project is complete.

Temporary: impacts not intended to remain (and will be restored to pre-construction conditions) after the project is complete.

JURISDICTIONAL AREA	PERMANENT Sq. Ft. / Lin. Ft.	TEMPORARY Sq. Ft. / Lin. Ft.
Forested wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Scrub-shrub wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Emergent wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Wet meadow	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Intermittent stream	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Perennial Stream / River	/	/
Lake / Pond	/	/
Bank - Intermittent stream	/	/
Bank - Perennial stream / River	/	/
Bank - Lake / Pond	/	/
Tidal water	/	/
Salt marsh	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Sand dune	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland buffer	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Undeveloped Tidal Buffer Zone (TBZ)	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Previously-developed upland in TBZ	2,442	<input type="checkbox"/> ATF
Docking - Lake / Pond	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - River	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - Tidal Water	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Vernal Pool	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
TOTAL	2,442 /	/

15. APPLICATION FEE: See the Instructions & Required Attachments document for further instruction

Minimum Impact Fee: Flat fee of \$ 200

Minor or Major Impact Fee: Calculate using the below table below

Permanent and Temporary (non-docking) 2,442 sq. ft. X \$0.20 = \$ 448.40

Temporary (seasonal) docking structure: _____ sq. ft. X \$1.00 = \$

Permanent docking structure: _____ sq. ft. X \$2.00 = \$

Projects proposing shoreline structures (including docks) add \$200 = \$

Total = \$ 448.40

The Application Fee is the above calculated Total or \$200, whichever is greater = \$

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov



**WETLANDS PERMIT APPLICATION – ATTACHMENT A
MINOR AND MAJOR - 20 QUESTIONS**
Land Resources Management
Wetlands Bureau



Check the Status of your application: www.des.nh.gov/onestop

RSA/ Rule: RSA 482-A, Env-Wt 100-900

Env-Wt 302.04 Requirements for Application Evaluation - For any major or minor project, the applicant shall demonstrate by plan and example that the following factors have been considered in the project's design in assessing the impact of the proposed project to areas and environments under the department's jurisdiction. Respond with statements demonstrating:

1. The need for the proposed impact.

The intent of this project is to modify the existing structure located at 173-179 Water Street. Two additional floors will be added to the existing building within the existing building footprint. Additional parking is going to be added around the building, and within the proposed covered garage area, which will be located within the existing footprint of the building. This is a existing use which is to be modified, which is currently within the shoreland setback. Due to this we have to modify the site within the setback.

2. That the alternative proposed by the applicant is the one with the least impact to wetlands or surface waters on site.

The curent site is highly urbanized and already developed. The majority of the property is comprised of the existing building. There is very little space to utilize for the proposed development. This creates a situation where there is few options in how to use the available land. Impact was kept the smallest practical, and no excess parking was proposed beyong the minimum required.

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

3. The type and classification of the wetlands involved.

Impact within 100' of a tidal river (Squamscott River).

4. The relationship of the proposed wetlands to be impacted relative to nearby wetlands and surface waters.

N/A

5. The rarity of the wetland, surface water, sand dunes, or tidal buffer zone area.

Tidal Buffer Zone in area of disturbance is completely developed and urbanized as part of downtown Exeter. Therefore, the Tidal Buffer Zone to be disturbed is not rare.

6. The surface area of the wetlands that will be impacted.

None.

7. The impact on plants, fish and wildlife including, but not limited to:
- a. Rare, special concern species;
 - b. State and federally listed threatened and endangered species;
 - c. Species at the extremities of their ranges;
 - d. Migratory fish and wildlife;
 - e. Exemplary natural communities identified by the DRED-NHB; and
 - f. Vernal pools.

The project location is highly urbanized and already developed. There are no additional impacts from the proposed project from what already exists along this section of Squamscott River.

8. The impact of the proposed project on public commerce, navigation and recreation.

None.

9. The extent to which a project interferes with the aesthetic interests of the general public. For example, where an applicant proposes the construction of a retaining wall on the bank of a lake, the applicant shall be required to indicate the type of material to be used and the effect of the construction of the wall on the view of other users of the lake.

There is a existing town road between the proposed project and the Squamscott River high tide mark so no direct impacts will take place the shoreline itself. The remaining open areas on site will be loamed and seeded.

10. The extent to which a project interferes with or obstructs public rights of passage or access. For example, where the applicant proposes to construct a dock in a narrow channel, the applicant shall be required to document the extent to which the dock would block or interfere with the passage through this area.

None.

11. The impact upon abutting owners pursuant to RSA 482-A:11, II. For example, if an applicant is proposing to rip-rap a stream, the applicant shall be required to document the effect of such work on upstream and downstream abutting properties.

All abutters to the property have been notified. It is noted that the project has been approved by the Town of Exeter Planning Board where town public comment was allowed.

12. The benefit of a project to the health, safety, and well being of the general public.

The project proposes to provide retail and residential uses for the Town of Exeter.

13. The impact of a proposed project on quantity or quality of surface and ground water. For example, where an applicant proposes to fill wetlands the applicant shall be required to document the impact of the proposed fill on the amount of drainage entering the site versus the amount of drainage exiting the site and the difference in the quality of water entering and exiting the site.

The existing stormwater treatment train for the area is a catch basin system that discharges into a sediment settling chamber. The proposed system will utilize the same treatment path with the addition of a proposed deep sump catch basin, which all proposed impervious drains. The existing catch basins are not deep sump.

14. The potential of a proposed project to cause or increase flooding, erosion, or sedimentation.

Given the project proposed only a increase of impervious of 1,466 SF, and the addition of a deep sump catch basin, we do not anticipate any increase in erosion and sedimentation. In addition to the small amount of impervious, the site discharges to a tidal river which will mitigate flood concerns.

15. The extent to which a project that is located in surface waters reflects or redirects current or wave energy which might cause damage or hazards.

NA

16. The cumulative impact that would result if all parties owning or abutting a portion of the affected wetland or wetland complex were also permitted alterations to the wetland proportional to the extent of their property rights. For example, an applicant who owns only a portion of a wetland shall document the applicant's percentage of ownership of that wetland and the percentage of that ownership that would be impacted.

Area is completely developed.

17. The impact of the proposed project on the values and functions of the total wetland or wetland complex.

Given the fact the proposed project does not directly abut the Squamscott river, and the added treatment of a deep sump catch basin, there is no anticipated impact to the functionality of the Squamscott River.

irm@des.nh.gov or (603) 271-2147

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www.des.nh.gov

18. The impact upon the value of the sites included in the latest published edition of the National Register of Natural Landmarks, or sites eligible for such publication.

NA

19. The impact upon the value of areas named in acts of congress or presidential proclamations as national rivers, national wilderness areas, national lakeshores, and such areas as may be established under federal, state, or municipal laws for similar and related purposes such as estuarine and marine sanctuaries.

NA

20. The degree to which a project redirects water from one watershed to another.

The proposed project utilizes the same watershed flow path as existing.

Additional comments

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Patrick Bogle
85 Portsmouth Avenue
PO Box 219
Stratham, NH 03885

From: NH Natural Heritage Bureau

Date: 10/8/2018 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 10/2/2018

NHB File ID: NHB18-3086

Applicant: Patrick Bogle

Location: Exeter
Tax Maps: MAP 64, LOT 50

Project
Description: The existing building is being modified to create a covered parking lot and be used for residential use. Existing building footprint is to remain the same. No disturbance is taking place within 50' of the Squamscott River.

The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

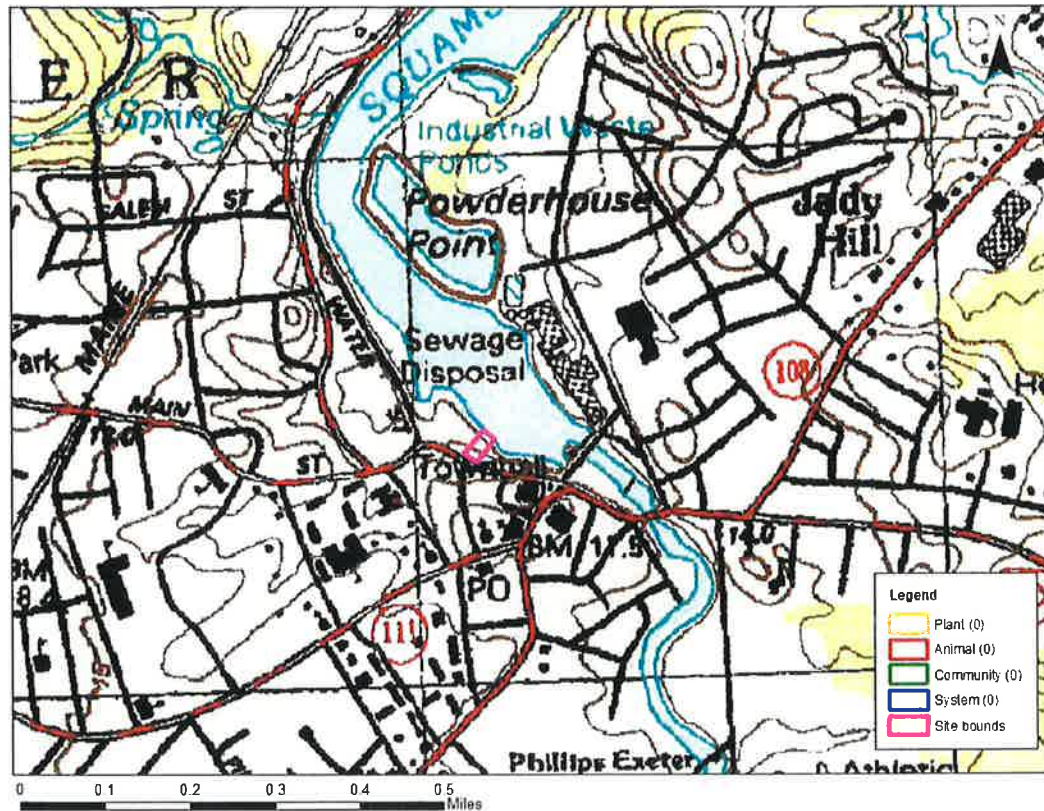
It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 10/2/2018, and cannot be used for any other project.



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATA CHECK RESULTS LETTER

MAP OF PROJECT BOUNDARIES FOR: NHB18-3086

NHB18-3086





**US Army Corps
of Engineers®**
New England District

Appendix B

Regional General Permits (GPs) Required Information and Corps Secondary Impacts Checklist

In order for the Corps of Engineers to properly evaluate your application, applicants must submit the following information along with the New Hampshire DES Wetlands Bureau application or permit notification forms. Some projects may require more information. For a more comprehensive checklist, go to www.nae.usace.army.mil/regulatory, “Forms/Publications” and then “Application and Plan Guideline Checklist.” Check with the Corps at (978) 318-8832 for project-specific requirements. For your convenience, this Appendix B is also attached to the State of New Hampshire DES Wetlands Bureau application and Permit by Notification forms.

All Projects:

- Corps application form (ENG Form 4345) as appropriate.
- Photographs of wetland/waterway to be impacted.
- Purpose of the project.
- Legible, reproducible black and white (no color) plans no larger than 11”x17” with bar scale. Provide locus map and plan views of the entire property.
- Typical cross-section views of all wetland and waterway fill areas and wetland replication areas.
- In navigable waters, show mean low water (MLW) and mean high water (MHW) elevations. Show the high tide line (HTL) elevations when fill is involved. In other waters, show ordinary high water (OHW) elevation.
- On each plan, show the following for the project:
- Vertical datum and the NAVD 1988 equivalent with the vertical units as U.S. feet. Don’t use local datum. In coastal waters this may be mean higher high water (MHHW), mean high water (MHW), mean low water (MLW), mean lower low water (MLLW) or other tidal datum with the vertical units as U.S. feet. MLLW and MHHW are preferred. Provide the correction factor detailing how the vertical datum (e.g., MLLW) was derived using the latest National Tidal Datum Epoch for that area, typically 1983-2001.
- Horizontal state plane coordinates in U.S. survey feet based on the Traverse Mercator Grid system for the State of New Hampshire (Zone 2800) NAD 83.
- Show project limits with existing and proposed conditions.
- Limits of any Federal Navigation Project in the vicinity of the project area and horizontal State Plane Coordinates in U.S. survey feet for the limits of the proposed work closest to the Federal Navigation Project;
- Volume, type, and source of fill material to be discharged into waters and wetlands, including the area(s) (in square feet or acres) of fill in wetlands, below the ordinary high water in inland waters and below the high tide line in coastal waters.
- Delineation of all waterways and wetlands on the project site,:
- Use Federal delineation methods and include Corps wetland delineation data sheets. See GC 2 and www.nero.noaa.gov/hcd for eelgrass survey guidance.
- GP 3, Moorings, contains eelgrass survey requirements for the placement of moorings.
- For activities involving discharges of dredged or fill material into waters of the U.S., include a statement describing how impacts to waters of the U.S. are to be avoided and minimized, and either a statement describing how impacts to waters of the U.S. are to be compensated for (or a conceptual or detailed mitigation plan) or a statement explaining why compensatory mitigation should not be required for the proposed impacts. Please contact the Corps for guidance.



**US Army Corps
of Engineers**[®]
New England District

**New Hampshire General Permits (GPs)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*	X	
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to SAS, special wetlands. Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at https://www2.des.state.nh.us/nhb_datacheck/ . The book <u>Natural Community Systems of New Hampshire</u> also contains specific information about the natural communities found in NH.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?		N/A
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	0	
2.7 What is the area of the proposed fill in wetlands?	0	
2.8 What is the % of previously and proposed fill in wetlands to the overall project site?	0	
3. Wildlife	Yes	No
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: https://www2.des.state.nh.us/nhb_datacheck/ USFWS IPAC website: https://ecos.fws.gov/ipac/location/index		X

3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> • PDF: www.wildlife.state.nh.us/Wildlife/Wildlife_Plan/highest_ranking_habitat.htm. • Data Mapper: www.granit.unh.edu. • GIS: www.granit.unh.edu/data/downloadfreedata/category/databycategory.html. 		X
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?		X
3.5 Are stream crossings designed in accordance with the GC 21?		N/A
4. Flooding/Floodplain Values	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?	X	
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?		X
5. Historic/Archaeological Resources		
For a minimum, minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 11 GC 8(d) of the GP document**	X	

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

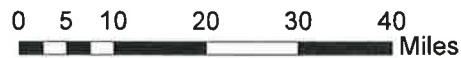
** If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.

DESIGNATED RIVERS of NEW HAMPSHIRE

NH Rivers Management & Protection Program

Designated Rivers

1. Ammonoosuc River 8/10/07 & 9/13/09
2. Ashuelot River 6/07/93
3. Cochecho River 7/21/09
4. Cold River 7/20/99
5. Connecticut River 7/14/92
6. Contoocook and North Branch Rivers 6/28/91
7. Exeter and Squamscott Rivers 8/11/95 & 5/31/11
8. Isinglass River 6/30/02
9. Lamprey River 6/26/90 & 6/7/11
 - A. Lamprey River
 - B. North Branch River
 - C. Pawtuckaway River
 - D. North River
 - E. Little River
 - F. Piscassic River
10. Mascoma River 5/9/11
11. Merrimack River (Lower) 6/26/90
12. Merrimack River (Upper) 6/26/90
13. Oyster River 6/2/11
14. Pemigewasset River 6/28/91
15. Piscataquog River 7/16/93
16. Saco River 6/26/90
17. Souhegan River 5/28/00
18. Swift River 6/26/90
19. Warner River 8/7/18



Legend

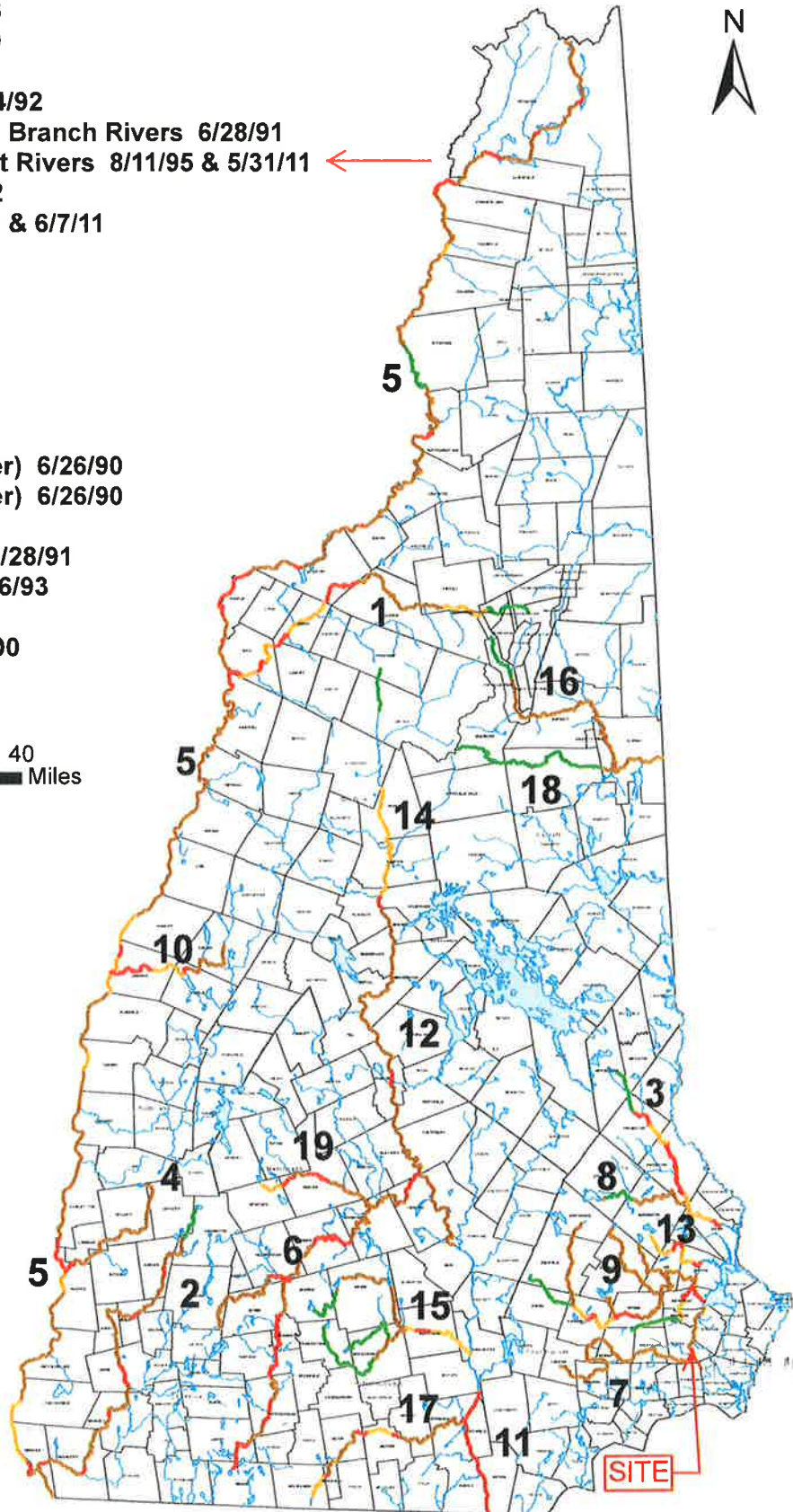
Designated Rivers

Class

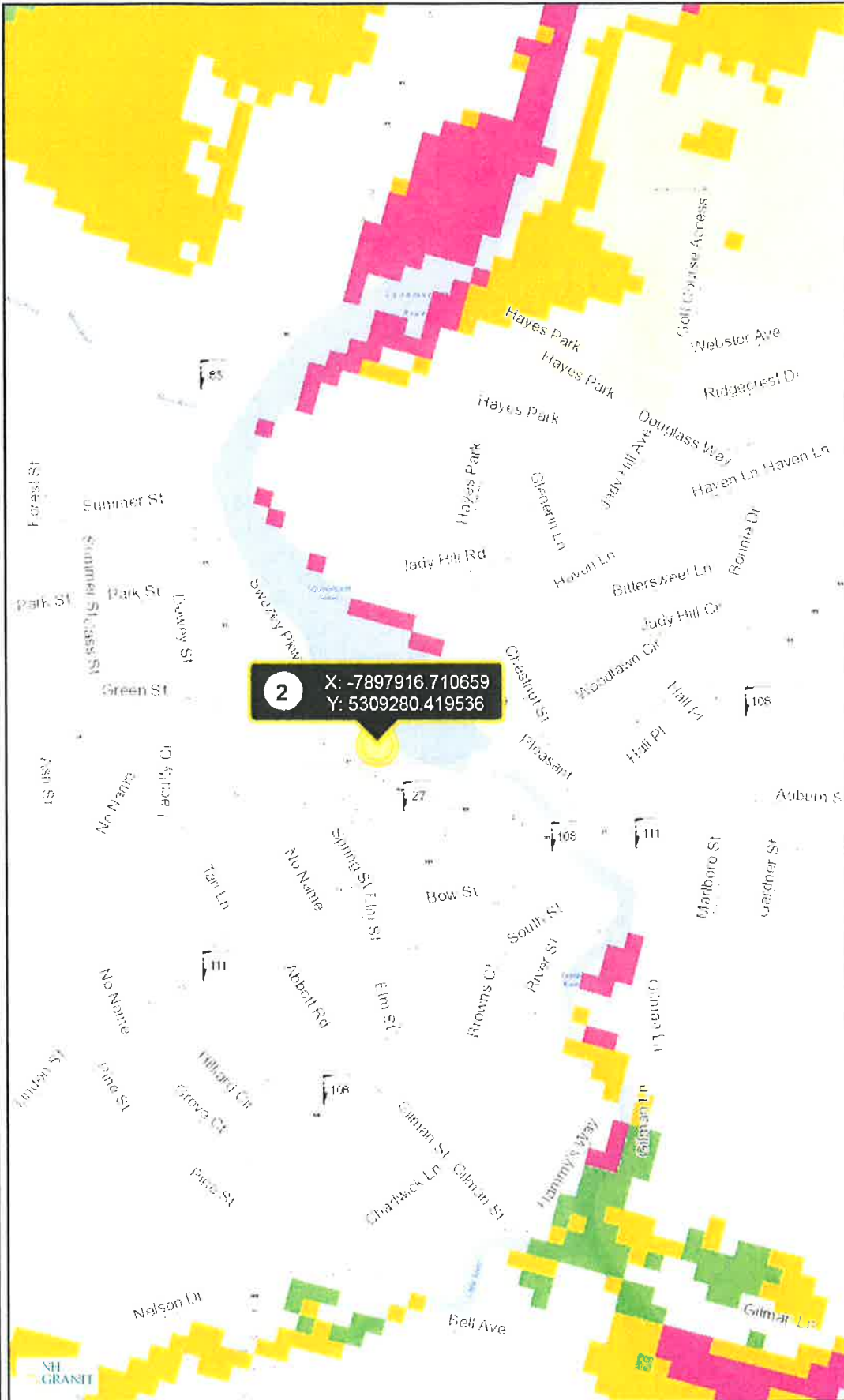
- Natural
- Rural
- Rural-community
- Community
- Waterbodies

- Participating
- County Boundary
- Town Boundary

Designated River Communities



Highest Ranked Wildlife Habitat



Legend

WAP 2015: Highest Ranked Wildlife Habitat

- Not Top Ranked
- Highest Ranked Habitat in NH
- Highest Ranked Habitat in Region
- Supporting Landscape

Map Scale

1: 10,000

© NH GRANIT, www.granit.unh.edu

Map Generated: 11/12/2018



Notes



Letter of Authorization

Freedman Realty Inc., 173 Water Street, Exeter,, NH 03833-2456, owner of property located in Exeter, NH, known as Tax Map 64, Lot 50, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on 173-179 Water Street in Exeter, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Helen Spalding
Witness

[Signature]
Freedman Realty Inc.

12/20/17
Date

#P-607

WARRANTY DEED

HOUSE PROPERTY

KNOW ALL MEN BY THESE PRESENTS THAT Norman S. Freedman of 195 Hillside Drive, Portsmouth, County of and State of New Hampshire, and Robert H. Freedman of 90 Sheffield Road, Portsmouth, County of Rockingham and State of New Hampshire, for consideration paid, grant to FREEDMAN REALTY, INC., a New Hampshire corporation with a principal business address of 239 Water Street, Exeter, County of Rockingham and State of New Hampshire,

with WARRANTY COVENANTS, the following described premises:

A certain tract of land, with all the buildings thereon, situate on Water Street, in Exeter, County of Rockingham, State of New Hampshire, bounded and described as follows:

Easterly by land of the heirs of William A. Seward, formerly of Charles A. Merrill; Southerly by Water Street; Westerly by land formerly of Tuspleton, now of Mantegani; and Northerly by Salt River, so-called, also known as Squamscott River.

The described premises are the same premises conveyed to Goldie Freedman by deed of Thomas Smith dated August 15, 1922, and recorded in the Rockingham County Registry of Deeds at Book 752, Page 204. See also Estate of Goldie M. Freedman, Rockingham County Probate Docket No. 51757. See also Quitclaim deed of Arthur S. Sobil, as Trustee of the Goldie M. Freedman Trust, dated April 11, 1985 to the within grantors, to be recorded herewith.

THIS IS NOT A HOMESTEAD PROPERTY.

Witness our hands this 22 day of May, 1985

Witness

Norman S. Freedman

Witness

Robert H. Freedman

State of New Hampshire
Rockingham, ss.

Then personally appeared the above named Norman S. Freedman and Robert H. Freedman and made oath that they executed the foregoing for the purposes contained therein.

Before me,

Justice of the Peace/Notary Public

Mar 22 3 16 PM '85
Rockingham County
Registry of Deeds 200940

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
9000.00
MAR 22 '85

110600

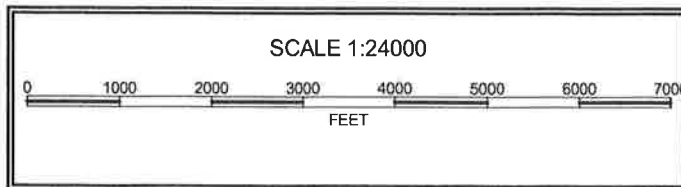
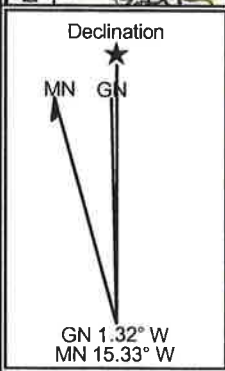
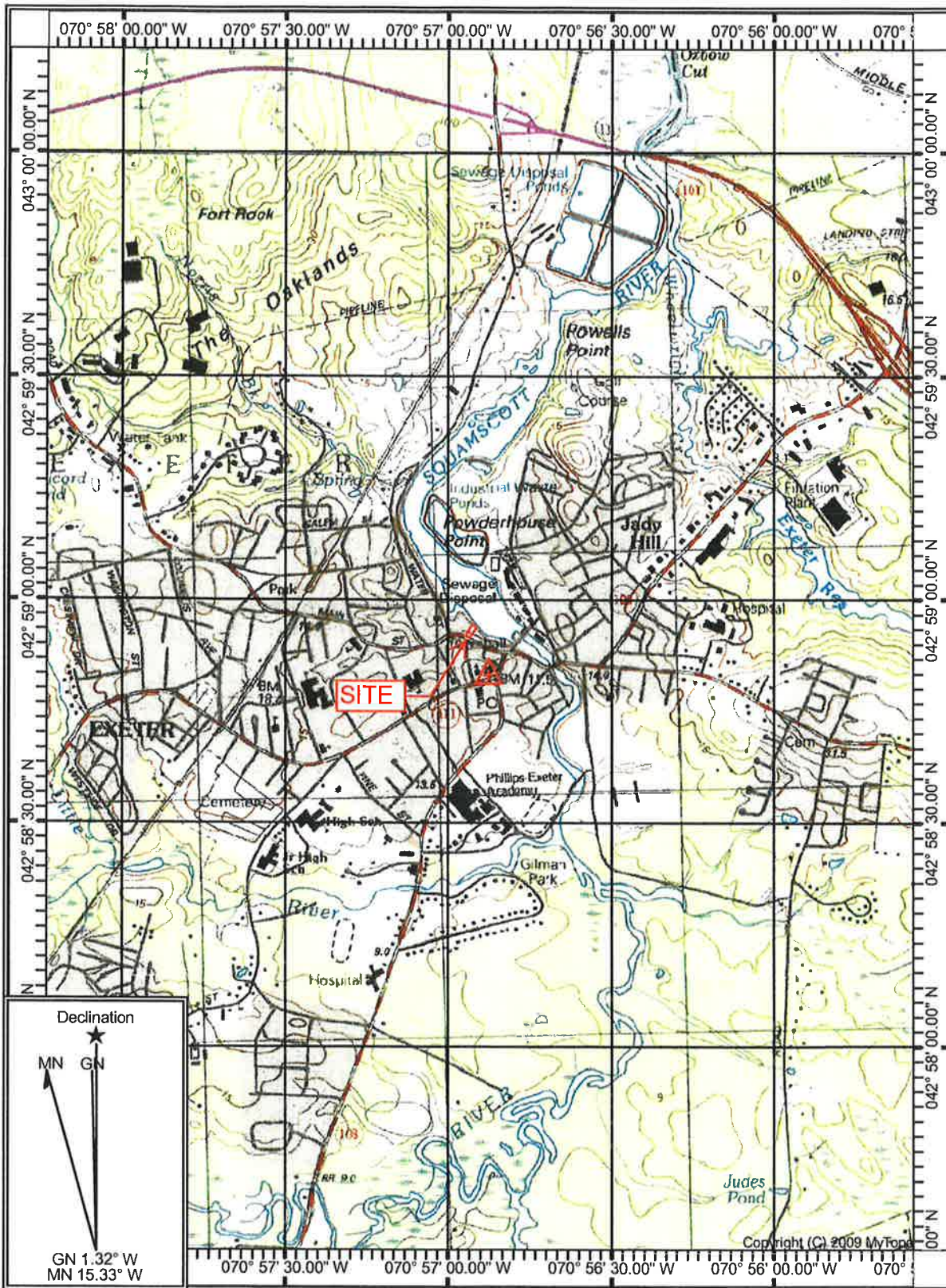
STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
9000.00
MAR 22 '85

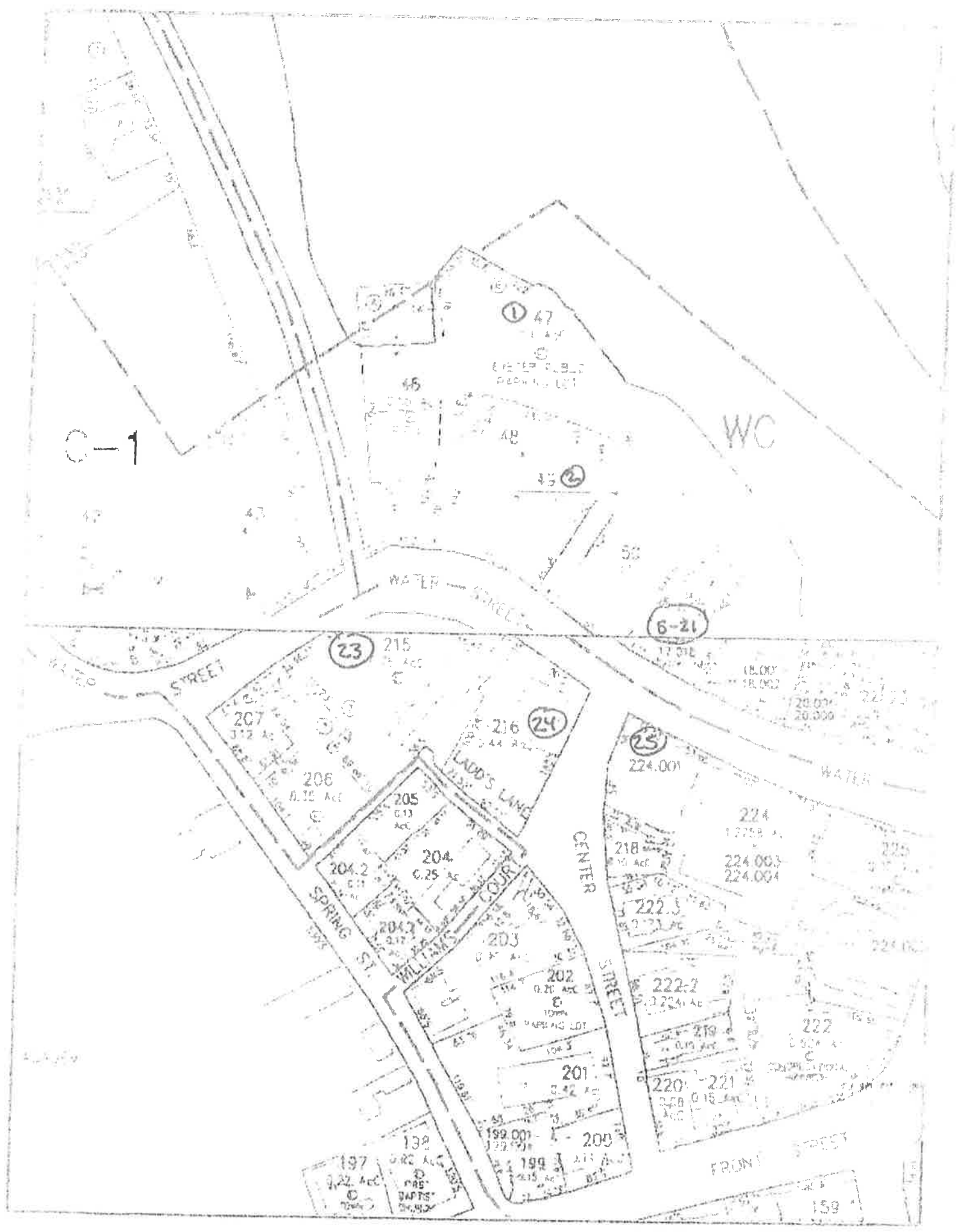
020100

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
9000.00
MAR 22 '85

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
9000.00
MAR 22 '85

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
5000.00
MAR 22 '85





C-1

WC

6-21

23

24

25

197
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24.82

198
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D
PARTS
24.82

199
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PARTS
24.82

159

207
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PARTS
24.82

206
0.12 AC
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PARTS
24.82

205
0.13 AC
C
D
PARTS
24.82

204
0.25 AC
C
D
PARTS
24.82

204.2
0.11 AC
C
D
PARTS
24.82

204.3
0.17 AC
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PARTS
24.82

203
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202
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201
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200
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PARTS
24.82

224.001
0.11 AC
C
D
PARTS
24.82

224
1.7758 AC
C
D
PARTS
24.82

224.003
224.004
0.11 AC
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PARTS
24.82

222.5
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PARTS
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222-2
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WATER STREET

WATER STREET

WATER STREET

WATER

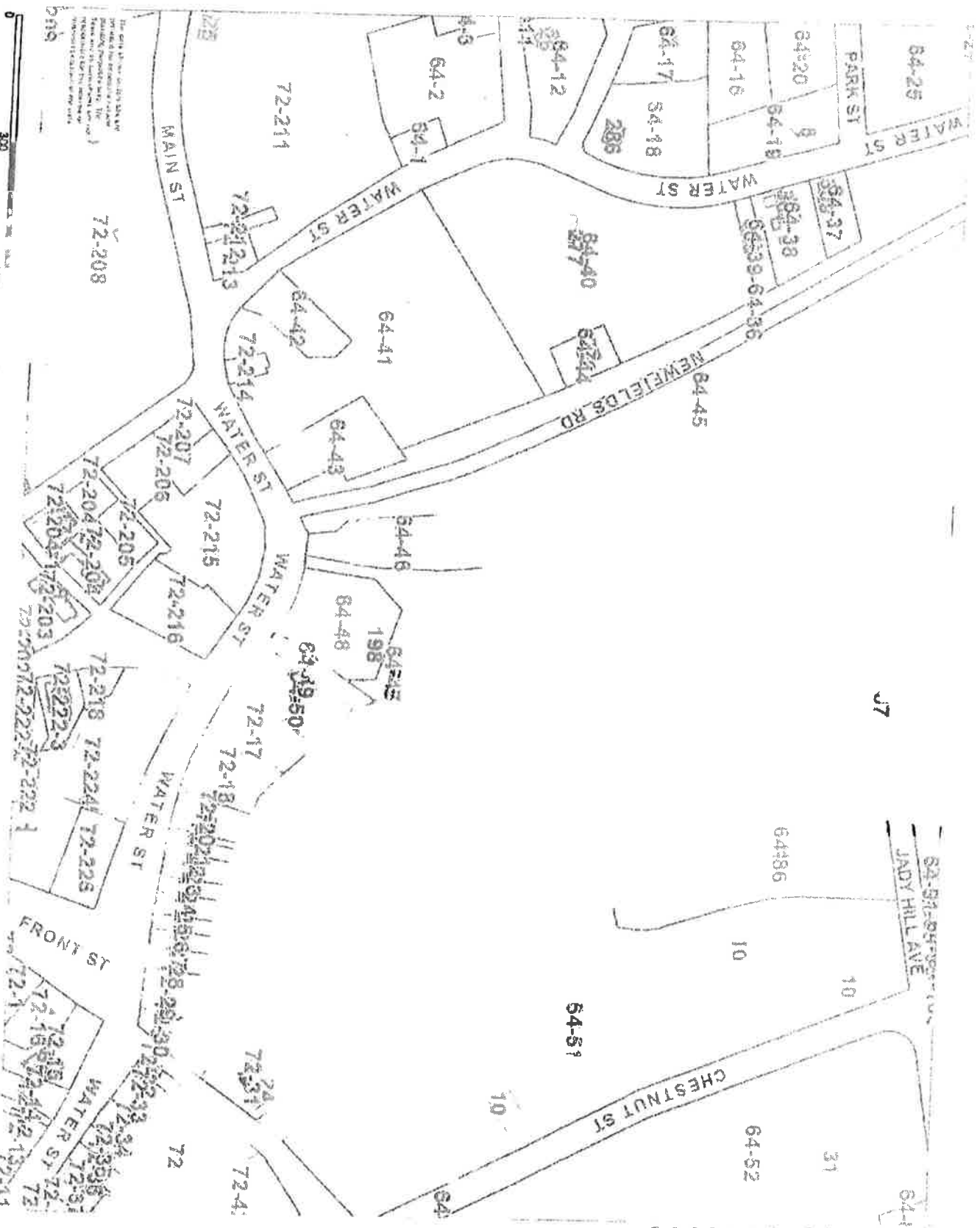
CENTER STREET

SPRING ST.

LADD'S LANE

FRONT STREET

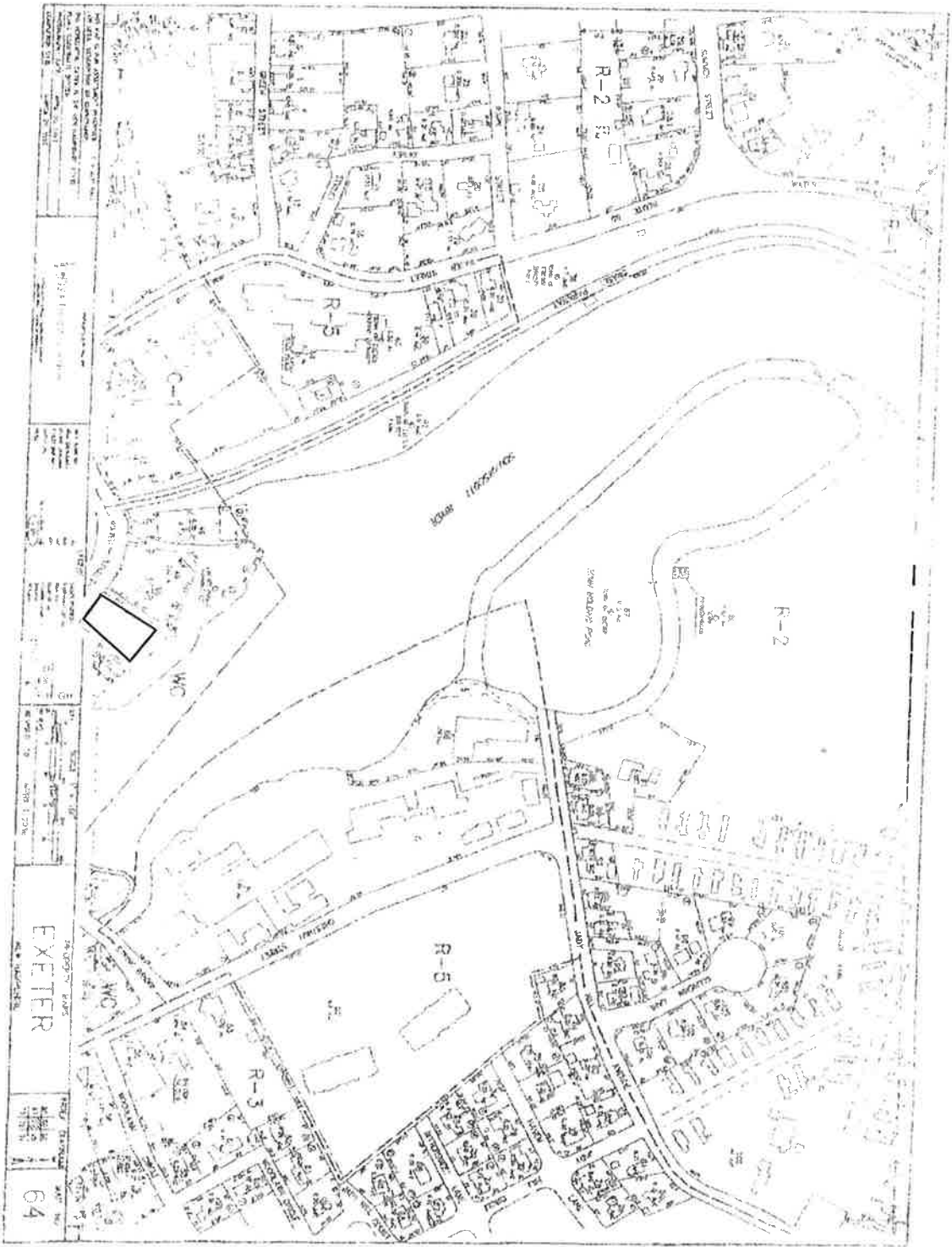
CENTER P.B.C. RECORD LOT

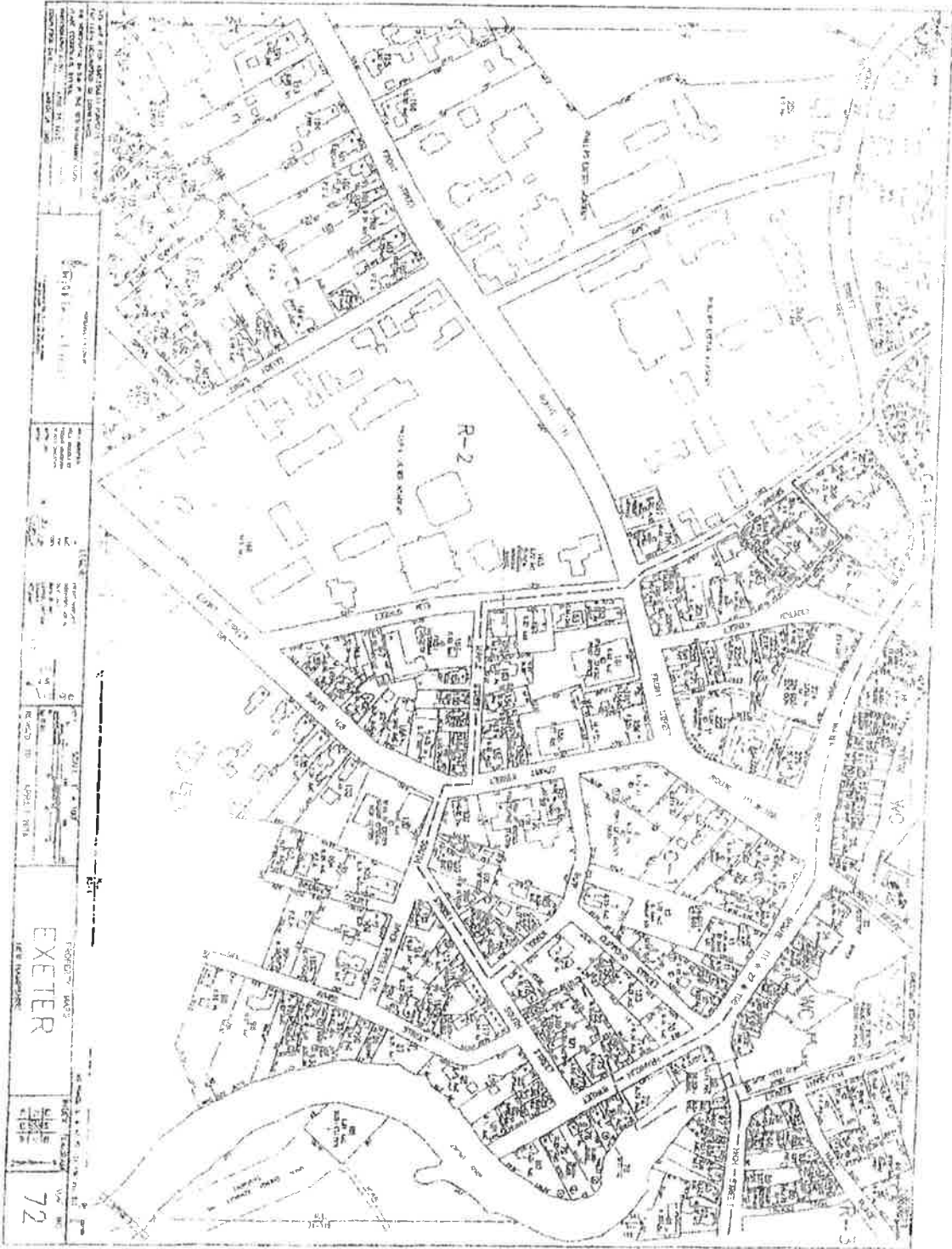


J7

- ◆ Town
- ◆ Water
- ◆ Sewer
- ◆ Gas
- ◆ Electric
- ◆ Telephone
- ◆ Cable
- ◆ Fire
- ◆ Police
- ◆ School
- ◆ Church
- ◆ Cemetery
- ◆ Public
- ◆ Private
- ◆ Other
- ◆ Unknown

Exeter Mapson





NHDES Wetland Permit Photos

173-179 Water Street

Exeter, NH 03833

November 13, 2018

JBE No. 17110

Photo 1 –



Photo 2 –



11/13/2018 11:11:11

Photo 3 –



Photo 4 –



Photo 5 –



Photo 6 –



Photo 7 –



Photo 8 –



JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

**RE: Wetland Permit Application
173-179 Water Street, Exeter, NH
Tax Map 64 Lot 50
JBE Project No. 17110**


Dear Abutter:

Under RSA 482-A, we are required to notify you that we are applying for a Wetland Permit from the N.H. Department of Environmental Services (DES) Shoreland Bureau. This letter is to inform you, as an abutter to the above-referenced property, that an application will be filed with the DES Wetlands Bureau. This project proposes to modify the existing building and parking area. The existing building is being upgraded with an additional 2nd & 3rd floor being added to rear portion of building and a parking area is being added underneath the existing building. In addition, an at grade parking area will be added behind the existing building. The footprint of the building is not changing.

The application with plans that show the proposed project will be available for viewing during normal business hours at the office of the Exeter Town Clerk.

Please feel free to contact me with any questions. Thank you for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.


Barry Gier, P.E.
Vice President

**ABUTTERS LIST (DIRECT)
FOR
173-179 WATER STREET, EXETER, NH
JBE PROJECT No. 17110
DECEMBER 19, 2017
REVISED JANUARY 25, 2018
REVISED FEBRUARY 6, 2018
REVISED JUNE 4, 2018
REVISED JULY 30, 2018
REVISED NOVEMBER 19, 2018**

OWNER OF RECORD:

TAX MAP 64/ LOT 50 (173-179 WATER ST)
FREEDMAN REALTY INC.
173 WATER ST.
EXETER, NH 03833-2456
BK 2546/ LOT 7

APPLICANT:

EXCEL CONSTRUCTION
MANAGEMENT, LLC
ATTN. MIKE TODD
60 DEERTREES LANE
NEWFIELDS, NH 03856

ABUTTERS:

64/47 (WATER ST)
TOWN OF EXETER
10 FRONT ST
EXETER, NH 03833
2631/271

64/49 (183 WATER ST)
CHARLES C. TRAVERSE JR.
LUCIEN & NORMA DALLAIRE
22 PEABODY DR
BRENTWOOD, NH 03833
4467/0637 (04/18/05)

72/17-1 (163 WATER ST. C-1)
VINO E. VIVO LLC
28 PARK ST
EXETER, NH 03833
5872/1153 (11/17/17)

72/17-2 (163 WATER ST. C-2)
RIVERS EDGE INVESTMENTS LLC
128 ORCUTT DR
CHESTER, NH 03036
4588/1337 (11/13/05)

72/17-3 (163 WATER ST. C-3)
HAYDN PROPERTIES LLC
17 JADY DR
DANVILLE, NH 03819
5076/2184 (12/15/09)

72/17-4 (163 WATER ST. C-4)
JUSTIN BRYANT HOLDINGS LLC
161 WATER ST
EXETER, NH 03833
3468/0419 (04/19/00)

72/17-5 (163 WATER ST. C-5)
163 WATER STREET REALTY LLC
38 STUMFIELD RD
KENSINGTON, NH 03833
5006/1246 (05/01/09)

72/17-6
WENDELL C. RING
163 WATER ST., B-1
EXETER, NH 03833
3553/1578 (03/15/01)

72/17-7 (163 WATER ST. B-2)
PEDIATRIC PHARMACEUTICAL CONSULTANTS
5215 S. DURANGO, SUITE 3
LAS VEGAS, NV 89113
5930/1073 (07/13/18)

72/17-8
CARLA & SUMNER VANDERHOOF
163 WATER ST., B-3
EXETER, NH 03833
5860/0669 (10/04/17)

72/17-9
SACRED SPIRAL LLC
163 WATER ST, B-4
EXETER, NH 03833
5410/2842 (02/15/13)

72/17-10 (163 WATER ST. B-5)
72/17-11 (163 WATER ST. B-6)
DEREK A. STERN
JEANNE K. STERN
PO BOX 2013
NEWCASTLE, NH 03854
2823/1824

72/17-12
LAWRENCE ANDREW AU
163 WATER ST, A-1
EXETER, NH 03833
5907/2031 (04/19/18)

72/17-13 (163 WATER ST. A-2)
ROBERT R. LEBEL REVOCABLE TR
ROBERT R. LEBEL TRUSTEE
3600 LAFAYETTE RD
PORTSMOUTH, NH 03801
5865/0872 (10/18/17)

72/17-14
JONATHAN A. RUST
163 WATER ST. A-3
EXETER, NH 03833
5743/0881 (08/15/16)

72/17-15
ROB ROY M. MCGREGOR
163 WATER ST. A4
EXETER, NH 03833
5791/0655 (12/27/16)

72/17-16
HANS C.F. WRIEDT
FRANCES L. WRIEDT
163 WATER ST. A5
EXETER, NH 03833
5334/0988 (06/14/12)

72/17-17 (163R WATER ST)
NOONEY-MUNGER REV LIVING TRUST
JILL NOONEY TRUSTEE
45 HIGH ST
LEE, NH 03824
3562/2866 (04/03/01)

72/17-18 (163 WATER ST. C-4A & 5A)
JEFFREY D. ROTH
12 JUNIPER DR
STRATHAM, NH 03885
464/0530 (04/14/06)

ENGINEERS/SURVEYORS:

JONES & BEACH ENGINEERS, INC.
ATTN: BARRY GIER
PO BOX 219
STRATHAM, NH 03885

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$2.35
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage \$.47
Total Postage
 \$ 6.67
 Sent To
 Street and Apt. 1
 City, State, ZIP+4

HANS C.F. WRIEDT
FRANCES L. WRIEDT
163 WATER ST. A5
EXETER, NH 03833

17110

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$2.35
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage \$.47
Total Postage
 \$ 6.67
 Sent To
 Street and Apt.
 City, State, ZIP+4

JONATHAN A. RUST
163 WATER ST. A-3
EXETER, NH 03833

17110

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$2.35
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage \$.47
Total Postage and F
 \$ 6.67
 Sent To
 Street and Apt. No.
 City, State, ZIP+4®

JEFFREY D. ROTH
12 JUNIPER DR
STRATHAM, NH 03885

17110

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$2.35
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage \$.47
Total Postage
 \$ 6.67
 Sent To
 Street and Apt.
 City, State, ZIP+4

ROB ROY M. MCGREGOR
163 WATER ST. A4
EXETER, NH 03833

17110

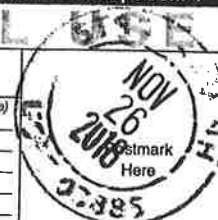
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage \$.47
Total Postage and
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NOONEY-MUNGER REV LIVING TRUST
JILL NOONEY TRUSTEE
45 HIGH ST
LEE, NH 03824

17110

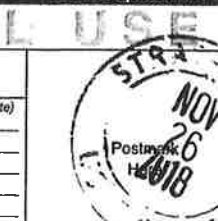
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JONES & BEACH ENGINEERS, INC.
ATTN: BARRY GIER
PO BOX 219
STRATHAM, NH 03885

17110

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9494 4648
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421
7016 0910 0000 1631 4621

004 4600
7016 0910 0000 1631 4600

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Adult Signature Restricted Delivery \$

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Sent To
 DEREK A. STERN
 JEANNE K. STERN
 PO BOX 2013
 NEWCASTLE, NH 03854

Street and Apt. No.
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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
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Total Postage and
 \$6.67

Sent To
 LAWRENCE ANDREW AU
 163 WATER ST, A-1
 EXETER, NH 03833

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
 \$1.47

Total Postage and
 \$6.67

Sent To
 ROBERT R. LEBEL REVOCABLE TR
 ROBERT R. LEBEL TRUSTEE
 3600 LAFAYETTE RD
 PORTSMOUTH, NH 03801

Street and Apt. No.,
 City, State, ZIP+4®
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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
 \$1.47

Total Postage and
 \$6.67

Sent To
 JUSTIN BRYANT HOLDINGS LLC
 161 WATER ST
 EXETER, NH 03833

Street and Apt. No.
 City, State, ZIP+4®
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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
 \$1.47

Total Postage and
 \$6.67

Sent To
 WENDELL C. RING
 163 WATER ST., B-1
 EXETER, NH 03833

Street and Apt. No.
 City, State, ZIP+4®
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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
 \$1.47

Total Postage and
 \$6.67

Sent To
 PEDIATRIC PHARMACEUTICAL
 CONSULTANTS
 5215 S. DURANGO, SUITE 3
 LAS VEGAS, NV 89113

Street and Apt. No.
 City, State, ZIP+4®
 17110

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7016 0910 0001 1631 4679

7016 0910 0001 1631 4747

7016 0910 0001 1631 4716

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Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$2.75
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 CARLA & SUMNER VANDERHOOF
 163 WATER ST., B-3
 EXETER, NH 03833

City, State, ZIP+4
 17110

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 SACRED SPIRAL LLC
 163 WATER ST, B-4
 EXETER, NH 03833

City, State, ZIP+4
 17110

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 RIVERS EDGE INVESTMENTS LLC
 128 ORCUTT DR
 CHESTER, NH 03036

City, State, ZIP+4
 17110

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<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 HAYDN PROPERTIES LLC
 17 JADY DR
 DANVILLE, NH 03819

City, State, ZIP+4
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 163 WATER STREET REALTY LLC
 38 STUMFIELD RD
 KENSINGTON, NH 03833

City, State, ZIP+4
 17110

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$1.47
Total Postage and	\$6.67

Sent To
 FREEDMAN REALTY INC.
 173 WATER ST.
 EXETER, NH 03833-2456

City, State, ZIP+4
 17110

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6999 7036 0910 0001 1631 4754
 7036 0910 0001 1631 4815

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$



Postage
\$.47

Total Postage and
\$6.67

Sent To
EXCEL CONSTRUCTION MANAGEMENT
ATT. MIKE TODD
60 DEERTREES LANE
NEWFIELDS, NH 03856

Street and Apt. No.
City, State, ZIP+4

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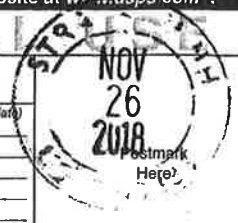
Return Receipt (hardcopy) \$2.75

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$



Postage
\$.47

Total Postage and
\$6.67

Sent To
TOWN OF EXETER
10 FRONT ST
EXETER, NH 03833

Street and Apt. No.
City, State, ZIP+4

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Return Receipt (hardcopy) \$2.75

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$



Postage
\$.47

Total Postage and
\$6.67

Sent To
CHARLES C. TRAVERSE JR.
LUCIEN & NORMA DALLAIRE
22 PEABODY DR
BRENTWOOD, NH 03833

Street and Apt. No.
City, State, ZIP+4

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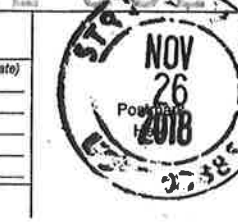
Return Receipt (hardcopy) \$2.75

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$



Postage
\$.47

Total Postage and
\$6.67

Sent To
VINO E. VIVO LLC
28 PARK ST
EXETER, NH 03833

Street and Apt. No.
City, State, ZIP+4

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1710

1710

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

RECEIVED

RE: Wetland Permit Application
173-179 Water Street, Exeter, NH
Tax Map 64 Lot 50
JBE Project No. 17110

DEC 4 2018

EXETER PLANNING OFFICE


Dear Abutter:

Under RSA 482-A, we are required to notify you that we are applying for a Wetland Permit from the N.H. Department of Environmental Services (DES) Shoreland Bureau. This letter is to inform you, as an abutter to the above-referenced property, that an application will be filed with the DES Wetlands Bureau. This project proposes to modify the existing building and parking area. The existing building is being upgraded with an additional 2nd & 3rd floor being added to rear portion of building and a parking area is being added underneath the existing building. In addition, an at grade parking area will be added behind the existing building. The footprint of the building is not changing.

The application with plans that show the proposed project will be available for viewing during normal business hours at the office of the Exeter Town Clerk.

Please feel free to contact me with any questions. Thank you for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.

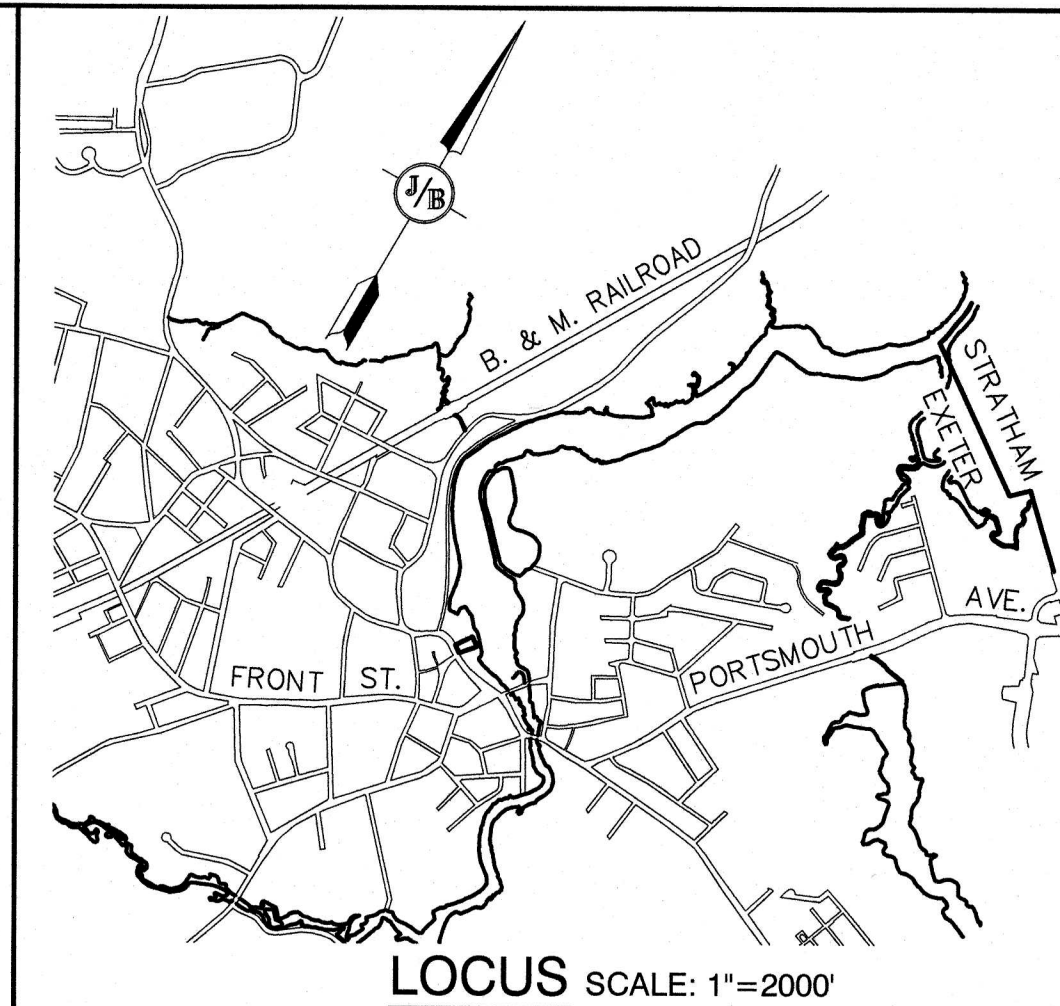

Barry Gier, P.E.
Vice President

REFERENCES

- "PLOT PLAN OF LAND AND BUILDINGS BELONGING TO GOLDIE FREEDMAN AND LOCATED IN EXETER N.H." DATED NOVEMBER 20, 1950. SCALE 1" = 10'. PREPARED BY CHARLES E. BREWER C.E. R.C.R.D 1151.
- "EXISTING SITE PLAN FOR THE MERRILL BLOCK CONDOMINIUMS IN EXETER, N.H." DATED MAY 1982. SCALE 1" = 10'. PREPARED BY PARKER SURVEY ASSOCIATES. R.C.R.D D-11057.
- "SUBDIVISION OF LAND FOR PHILLIPS EXETER ACADEMY IN EXETER, N.H." DATED AUGUST 1984. SCALE 1" = 20'. PREPARED BY PARKER SURVEY ASSOCIATES. R.C.R.D D-13149.
- "SITE PLAN, WATERFRONT / TOWNSCAPE DESIGN, EXETER, N.H." DATED MARCH 1979. SCALE 1" = 30'. PREPARED BY PARKER SURVEY ASSOCIATES. NOT RECORDED.
- "PLAN OF LOT, NOS. 149-155 WATER STREET, EXETER, NEW HAMPSHIRE." DATED SEPTEMBER 1976. SCALE 1" = 10'. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. R.C.R.D C-6247.
- "W. F. WOOLWORTH CO., WATER STREET, EXETER, N.H. STORE NO. 603." DATED AUGUST 1950. SCALE 1" = 20'. R.C.R.D BK 1185 PG 147.
- "PROPOSED IMPROVEMENTS PLAN, WATER STREET RIVERFRONT, EXETER, N.H." DATED JANUARY 15, 1997. SCALE 1" = 10'. SHEETS C1 AND C2. PREPARED BY JONES & BEACH ENGINEERS. NOT RECORDED. ON FILE AT THIS OFFICE.
- "EXETER WATERFRONT PARK PHASE II" DATED FEBRUARY 15, 1989. SCALE 1" = 30'. PREPARED BY UNDERWOOD ENGINEERS, INC. NOT RECORDED.
- "EXETER WATERFRONT PARK PHASE III" DATED APRIL 1990. SCALE 1" = 30'. PREPARED BY UNDERWOOD ENGINEERS, INC. NOT RECORDED.
- QUITCLAIM EASEMENT DEED FROM FREEDMAN REALTY, INC TO THE TOWN OF EXETER. DATED MAY 2, 1989. NOT RECORDED.

LEGEND

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- HIGH TIDE REFERENCE LINE
- OVERHEAD ELECTRIC LINES
- UTILITY POLE
- ELECTRIC METER
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- WATER GATE VALVE
- WATER SERVICE SHUTOFF
- GAS GATE VALVE
- SINGLE POST SIGN
- BENCHMARK LOCATION
- BRICK SIDEWALK
- CONCRETE SIDEWALK

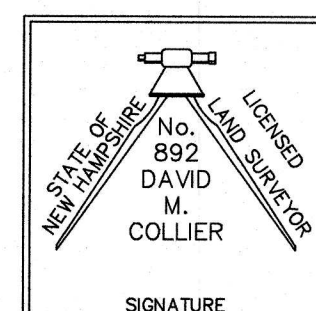


NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 64, LOT 50.
- ZONING DISTRICT: WATERFRONT COMMERCIAL - HISTORIC DISTRICT OVERLAY
LOT AREA MINIMUM = 5,000 SF
LOT FRONTAGE MINIMUM = 75'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = LESSER OF 10' OR AVERAGE OF BLOCK
SIDE SETBACK = LESSER OF 10' OR SIDE YARD OF ABUTTING PROPERTY
REAR SETBACK = 25'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 75%
MIN. OPEN SPACE = 5%
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY.
- THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN AN AREA HAVING A ZONE 'AE' - BASE FLOOD ELEVATION 8.0' DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 330150402E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 402 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- BASIS OF BEARING: HORIZONTAL - ASSUMED MAGNETIC. VERTICAL - NGVD29.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSORS OFFICE, THE DARTMOUTH COLLEGE LIBRARY, AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- HIGHEST OBSERVABLE TIDE LINE DELINEATED BY CHRISTOPHER S. ALBERT OF JONES AND BEACH ENGINEERS, INC. IN AUGUST 2017.
- REAR BOUNDARY LINE FOLLOWS OLD SEA WALL, PER REFERENCE 1. WALL AS SHOWN HEREON IS APPROXIMATE DUE TO FILL THAT WAS PLACED ON SITE PER REFERENCE 8.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 50,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M. COLLIER, LLS 892 DATE:
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

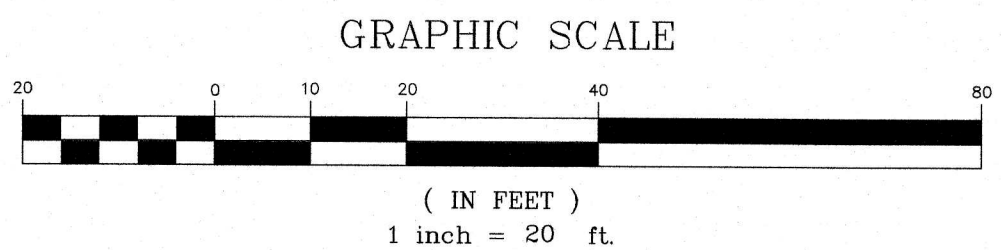
PROJECT PARCEL
TOWN OF EXETER
TAX MAP 64, LOT 50

TOTAL LOT AREA
19,700 ± SQ. FT.
0.45 ± ACRES

DRAWING No.

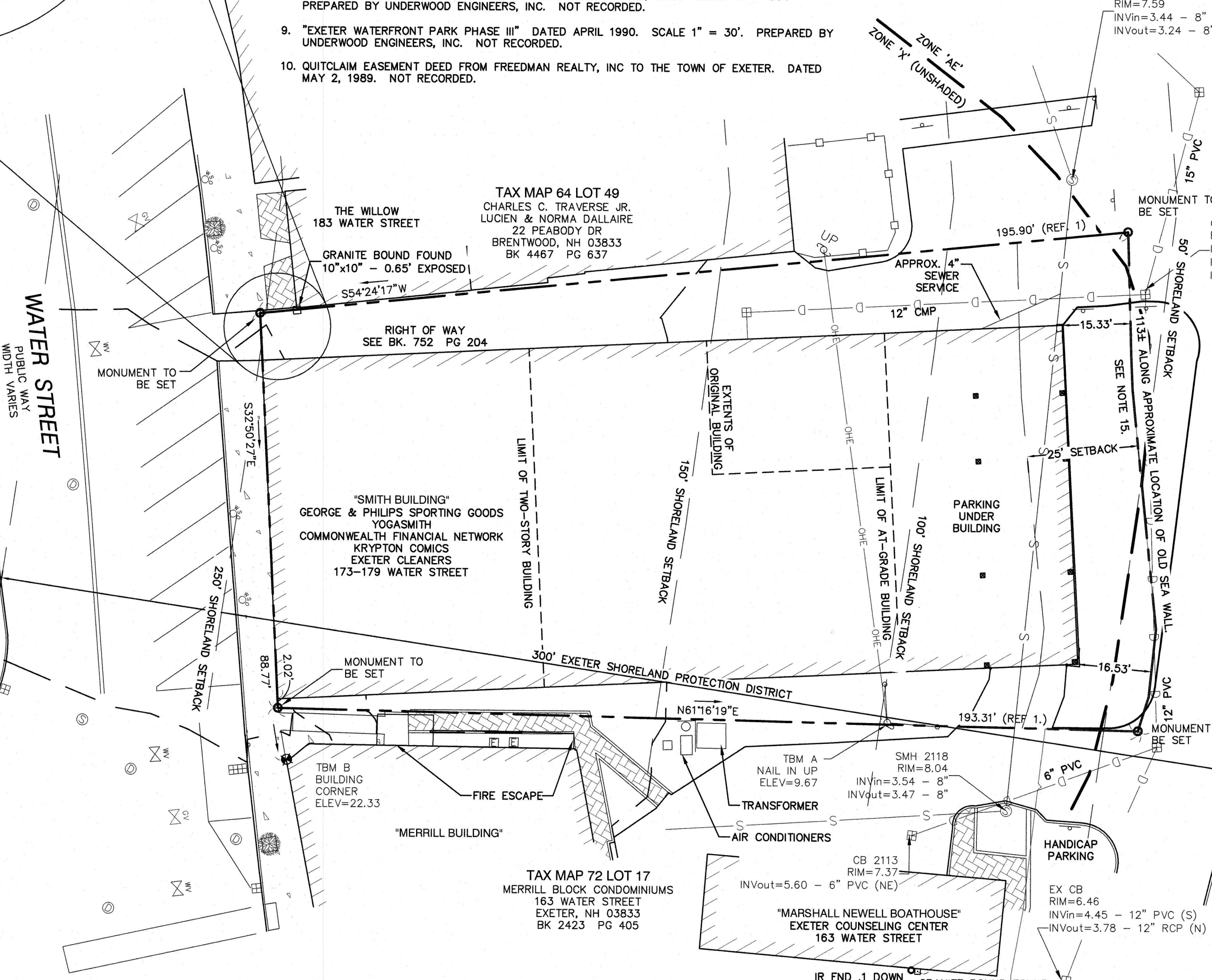
C1

SHEET 1 OF 2
JBE PROJECT NO. 17110



- TAX MAP 64 LOT 47 (WATER STREET) 10 FRONT STREET EXETER, NH 03833 BK 2631 PG 271
- TAX MAP 64 LOT 49 183 WATER STREET CHARLES C. TRAVERSE JR. LUCIEN & NORMA DALLAIRE 22 PEABODY DRIVE BRENTWOOD, NH 03833 BK 4467 PG 0637
- TAX MAP 72 LOT 17-1 (163 WATER STREET C-1) VINO E. VINO LLC 28 PARK STREET EXETER, NH 03833 BK 5872 PG 1153
- TAX MAP 72 LOT 17-2 (163 WATER STREET C-2) RIVERS EDGE INVESTMENTS LLC 128 ORCUTT DRIVE CHESTER, NH 03036 BK 4588 PG 1337
- TAX MAP 72 LOT 17-3 (163 WATER STREET C-3) HAYDN PROPERTIES LLC 17 JADY DRIVE DANVILLE, NH 03819 BK 5076 PG 2184
- TAX MAP 72 LOT 17-4 (163 WATER STREET C-4) JUSTIN BRYANT HOLDINGS LLC 161 WATER STREET EXETER, NH 03833 BK 3468 PG 0419
- TAX MAP 72 LOT 17-5 (163 WATER STREET C-5) 163 WATER STREET REALTY LLC 38 STUMPFIELD ROAD KENSINGTON, NH 03833 BK 5006 PG 1246
- TAX MAP 72 LOT 17-6 WENDELL C. RING 163 WATER STREET, B-1 EXETER, NH 03833 BK 3553 PG 1578
- TAX MAP 72 LOT 17-7 (163 WATER STREET, B-2) GST-EXEMPT TRUST RICHARD S. ROBIE JR., TRUSTEE 175 ANDOVER STREET DANVERS, MA 01923 BK 5511 PG 1337
- TAX MAP 72 LOT 17-8 (163 WATER STREET, B-3) CARLA & SUMNER VANDERHOOF 163 WATER STREET, B-3 EXETER, NH 03833 BK 5860 PG 0669
- TAX MAP 72 LOT 17-9 SACRED SPIRAL, LLC 163 WATER STREET, B-4 EXETER, NH 03833 BK 5410 PG 2842

- TAX MAP 72 LOT 17-10/LOT 17-11 (163 WATER STREET B-5,B-6) DEREK A. STERN JEANNE K. STERN PO BOX 2013 NEW CASTLE, NH 03854 BK 2823 PG 1824
- TAX MAP 72 LOT 17-12 (163 WATER STREET A-1) ROBERT F. CURTIS MARIELLEN CURTIS PO BOX 265 EXETER, NH 03833 BK 5101 PG 0117
- TAX MAP 72 LOT 17-13 (163 WATER STREET A-2) ROBERT R. LEBEL REVOCABLE TR 1/2% MARY ANN LEBEL 1/2% 3600 LAFAYETTE ROAD PORTSMOUTH, NH 03801 BK 5885 PG 0872
- TAX MAP 72 LOT 17-14 JONATHAN A. RUST 163 WATER STREET A-3 EXETER, NH 03833 BK 5743 PG 0881
- TAX MAP 72 LOT 17-15 GEORGE & PHILIPS SPORTING GOODS YOGASMITH COMMONWEALTH FINANCIAL NETWORK KRYPTON COMICS EXETER CLEANERS 173-179 WATER STREET EXETER, NH 03833 BK 5791 PG 0655
- TAX MAP 72 LOT 17-16 HANS C.F. WRIEDT FRANCES L. WRIEDT 163 WATER STREET A-5 EXETER, NH 03833 BK 5334 PG 0988
- TAX MAP 72 LOT 17-17 (163R WATER STREET) NOONEY-MUNGER REV LIVING TRUST JILL NOONEY TRUSTEE 45 HIGH STREET LEE, NH 03824 BK 3562 PG 2866
- TAX MAP 72 LOT 17-18 (163 WATER STREET C-4A & 5A) JEFFREY D. ROTH 12 JUNIPER DRIVE STRATHAM, NH 03885 BK 464 PG 0530
- TAX MAP 72 LOT 215 SOCIETY OF THE CINCINNATI C/O AMERICAN INDEPENDENCE MUSEUM ONE GOVERNORS LANE EXETER, NH 03833 BK 1571 PG 397
- TAX MAP 72 LOT 216 CHITTENDEN BANK ATTN. FACILITIES MANAGER PO BOX 820 BURLINGTON, VT 05402
- TAX MAP 72 LOT 224-1 (154-156 WATER STREET #1) EXETER REALTY TRUST CHARLES C. HAJJAR TRUSTEE 30 ADAMS STREET MILTON, MA 02186 BK 4816 PG 0565



WATER STREET
PUBLIC WAS
WIDTH VARIES

SQUAMSCOTT RIVER
WOODEN BOARDWALK

Design: WGM	Draft: MJS	Date: 8/8/17
Checked:DMC	Scale: 1" = 20'	Project No.: 17110
Drawing Name: 17110-EX-CONDITIONS.DWG		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
3	6/5/18	REVISED PER ARCHITECTURAL REDESIGN	EMP
2	4/19/18	REVISED PER REVIEW COMMENTS	MJS
1	01/25/18	REVISED PER TRC COMMENTS	EMP
0	12/21/17	ISSUED FOR REVIEW	EMP
REV.	DATE	REVISION	BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	THE SMITH BUILDING 173-179 WATER STREET, EXETER, NH 03833
Owner of Record:	FREEDMAN REALTY, INC. 173 WATER STREET, EXETER, NH 03833. R.C.R.D BK 2546 PG 7

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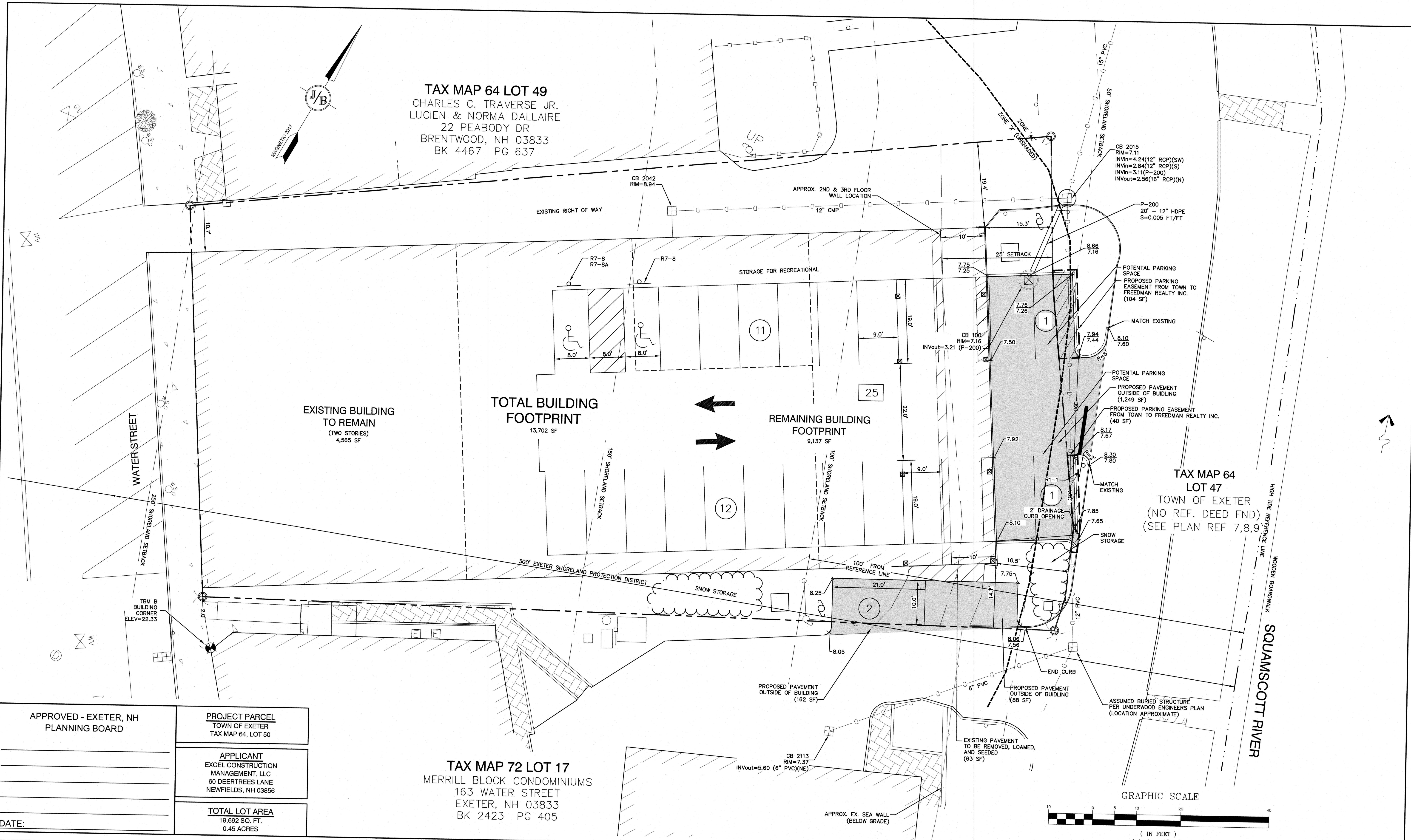
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TAX MAP 64 LOT 49
CHARLES C. TRAVERSE JR.
LUCIEN & NORMA DALLAIRE
22 PEABODY DR
BRENTWOOD, NH 03833
BK 4467 PG 637

**TAX MAP 64
LOT 47**
TOWN OF EXETER
(NO REF. DEED FND)
(SEE PLAN REF 7,8,9)

TAX MAP 72 LOT 17
MERRILL BLOCK CONDOMINIUMS
163 WATER STREET
EXETER, NH 03833
BK 2423 PG 405



APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 64, LOT 50
	APPLICANT EXCEL CONSTRUCTION MANAGEMENT, LLC 60 DEERTREES LANE NEWFIELDS, NH 03856
DATE:	TOTAL LOT AREA 19,692 SQ. FT. 0.45 ACRES

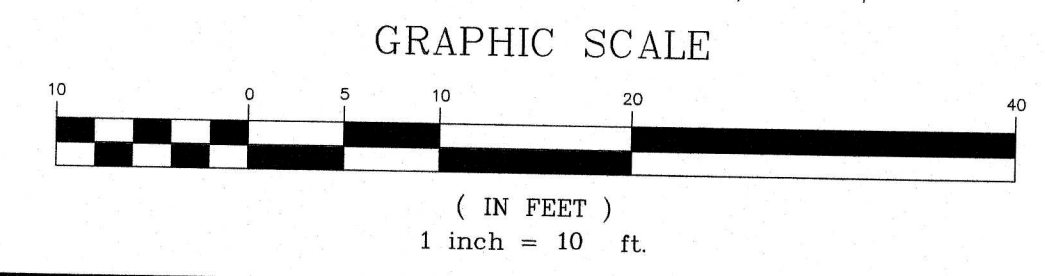
Design: EMP	Draft: EMP	Date: 12/20/17
Checked: WGM	Scale: AS NOTED	Project No.: 17110
Drawing Name: 17110-PLAN.DWG		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
5	8/23/18	REVISED PER PUBLIC WORKS COMMENTS	EMP
4	7/30/18	REVISED PER ZBA APPROVAL	EMP
3	7/5/18	REVISED PER ARCHITECTURAL REDESIGN	EMP
2	6/5/18	REVISED PER ARCHITECTURAL REDESIGN	EMP
1	01/25/18	REVISED PER TRC COMMENTS	EMP

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE AND GRADING PLAN
Project:	173 WATER STREET IMPROVEMENTS 173-179 WATER STREET, EXETER, NH
Owner of Record:	FREEDMAN REALTY INC. 173 WATER STREET, EXETER, NH 03833 R.C.R.D. BK 2546 PG 7

DRAWING No.
C2
SHEET 4 OF 7
JBE PROJECT NO. 17110



F:\CADD\MASTER STANDARD\DWG\LAYOUTS.dwg 2/16/2017 12:25:50 PM EST



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.town.exeter.nh.us

November 30, 2018

Eben Lewis
NH DES Wetlands Bureau
Pease Field Office
222 International Dr., Suite 175
Portsmouth, NH 03801

RE: Request for Additional Information
NHDES File # 2018-02612

Dear Mr. Lewis:

This letter is a formal response to your Request for More Information dated November 9, 2018 regarding the above referenced file.

In order to provide a single and complete response to your request, items addressed below are numbered to correspond with your numbered items in the request.

1. Please submit a check for the remaining \$135.

An additional check in the amount of \$135 is attached.

2. Since the impacts occur within the Squamscott River, a tidal resource, please provide a complete response to Env-Wt302.04(c)(attached).

Items listed in rule Env-Wt 302.04(c) are addressed below.

1. The extent to which a project impacts beach or tidal flat sediment replenishment and movement of sediments along a shore;
The project proposes no impact to a beach or tidal flat as there are no such resources associated with the site. There will be no impacts to sediment replenishment or the movement of sediments along a shore. The project is located in front of a shoreline which is completely altered with a stone rip rap wall. This was done 20 plus years ago.
2. The impact on a tidal wetland's ability to dissipate wave energy and storm surge;
There will be no impacts to the ability to dissipate wave energy and storm surge. The kayak launch will be located behind (toward the stone rip rap wall) the existing seasonal dock.
3. The impact of project runoff on salinity levels in tidal environments.
There will be no runoff from the project site that would impact salinity levels in a tidal environment.

3. Please revise the plans to reflect the following:

a. Env-Wt 301.02 Classification of Wetland Types. (b) Wetlands classification shall be identified on plans for all major projects involving dredge and/or fill of wetlands.

According to the "classification of Wetlands and Deep Water Habitats of the United States" (USFWS December 1979) the tidal wetlands associated with the site would be classified as an estuarine subtidal unconsolidated bottom system.

b. Please show on both plan and cross-section views the presence of any saltmarsh vegetation, mudflat, mean high tide line (public boundary line) and mean low tideline, and appropriate water depths;

The project area contains no saltmarsh vegetation or mudflats. The kayak launch pad will be placed within the subtidal zone of the Squamscott River and located to remain submerged at low tide. The depth at high tide is approximately 16 feet while low tide is 10 feet.

c. The distance from existing and proposed work to abutting property lines;

This has been added to the Tax Map. There would be no change in distance as the work would not encroach on abutter's property.

d. The person responsible for each portion of the plan, such as the wetland delineation, the survey, and the engineering;

This has been added to the revised plans. The town of Exeter is aware of all the wetland delineation. The project and area has not change since the first dock installation over 20 years ago..

e. A labeled north-pointing arrow to indicate orientation;

This has been added to the revised plans.

f. A legend that clearly indicates all symbols, line types, and shading used on the plan;

This has been added to the revised plans.

g. The date of each plan and revision date if revised;

This has been added to the revised plans.

4. Please provide a statement from the Pease Development Authority - NH Division of Ports and Harbors assessing impact of the proposed docking structure on navigation

Emailed to by Tracy Shattuck, Harbor Master, see attached.

Please feel free to contact me if you have any questions.

Sincerely,



Greg Bisson

Director, Exeter Parks and Recreation

Attachment: USGS Map Revised to Include 3d-f.
Revised Tax Map to Include 3d-g.
Revised EZ Dock Plan to Include 3c-3,g
Correspondence from Pease Development Authority
Additional Fee

CC: Exeter Conservation Commission



- Parcels w/Orthos
- NH Highways Interstate
- US Highway
- State Highway
- Town Boundary
- Abutting Towns



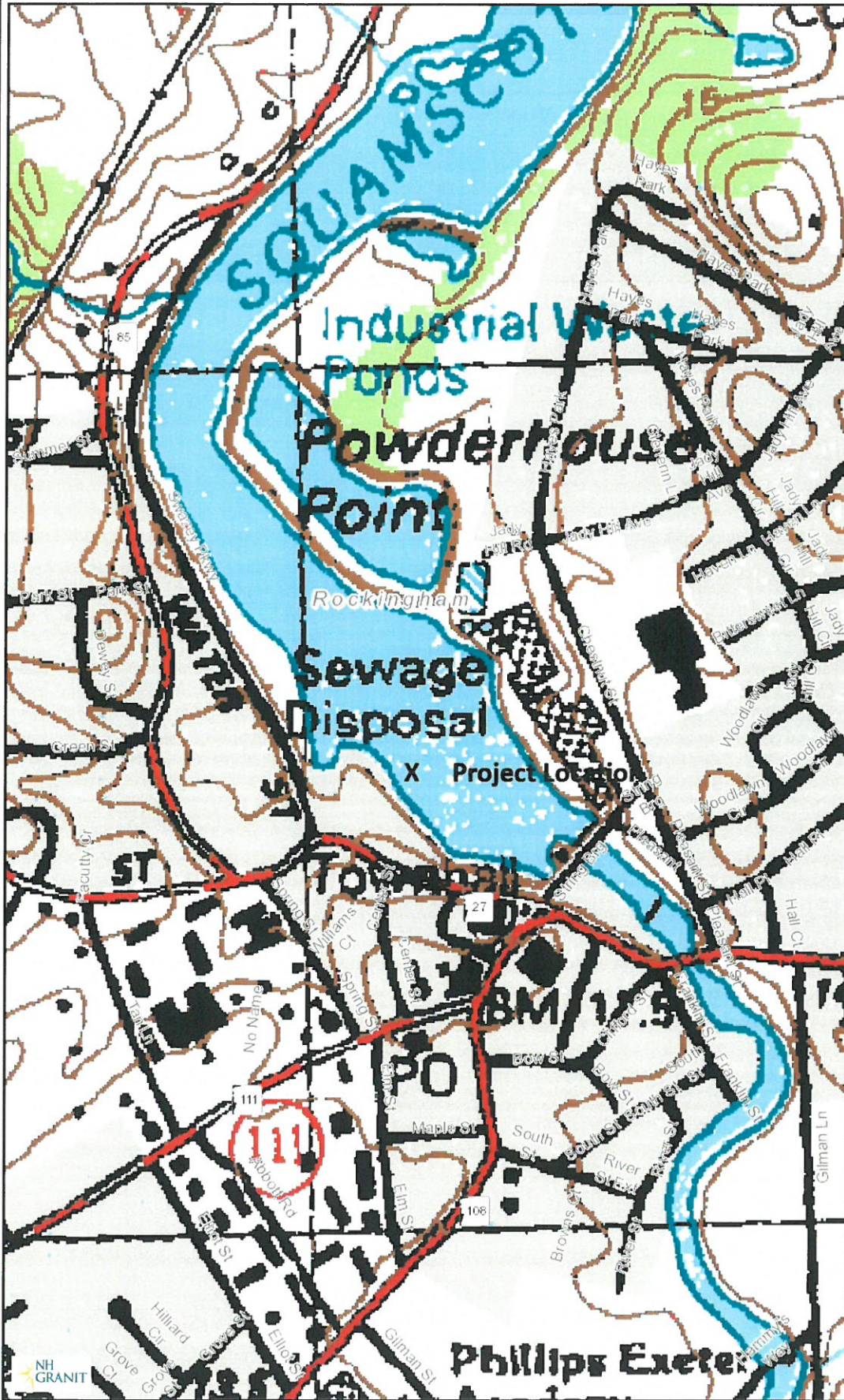
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



Printed on 11/14/2018 at 11:29 AM

Tax Map

Map by NH GRANIT



Legend

- State
- County
- City/Town

Map Scale

1: 6,494

© NH GRANIT, www.granit.unh.edu

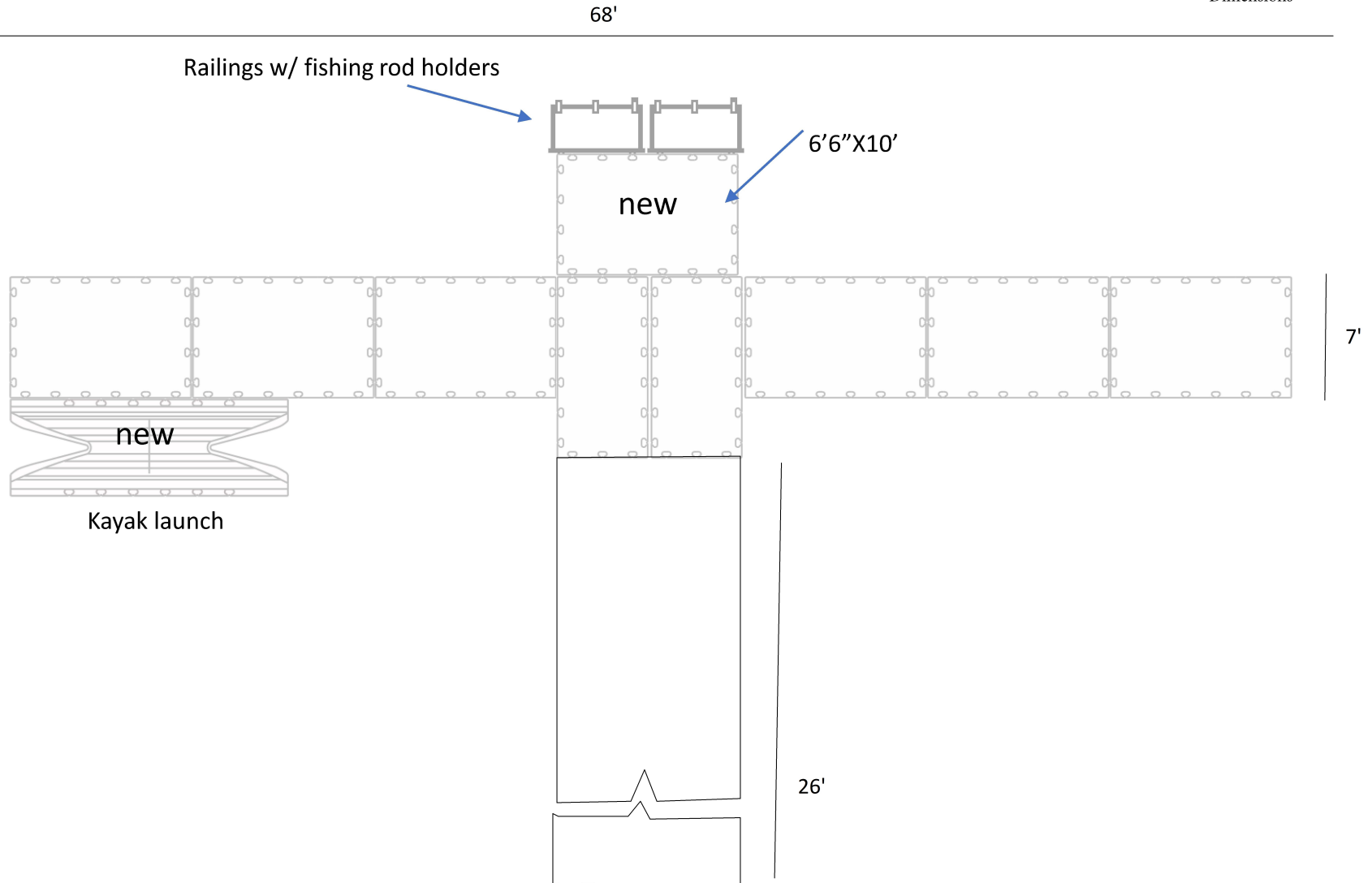
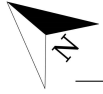
Map Generated: 6/28/2018



Notes

Map Created by Kristen Murphy, Natural Resource Planner, Town of Exeter
 Revised 11/14/18 to add this note.





MODULAR

VERSATILE

MAINTENANCE FREE

DURABLE

SAFE



Exeter Kayak & Fishing platform

MADE IN USA





PEASE
INTERNATIONAL
PORTS AND HARBORS

555 Market Street, Suite 1 Portsmouth, NH 03801

November 28, 2018

NH Department of Environmental Service
Coastal Division
Pease Field Office
222 International Drive, Suite 175
Portsmouth, NH 03801

Attn: Eben Lewis

Re: Town of Exeter, Tax map 64 Lot 47

Dear Eben,

We reviewed plans for the addition of a kayak launch to the Exeter seasonal dock, belonging to

Town of Exeter
32 Court St
Exeter, NH

We examined the proposed site and found that the project will have no negative effect on navigation in the channel.

Sincerely,

Tracy R. Shattuck
Chief Harbor Master

Cc: Greg Bisson
Town of Exeter
32 Court St
Exeter, NH

○○○○ TAKING YOU THERE

ph: 603-436-8500 fax: 603-436-2780 www.peasedev.org



FW: Statewide 16166

1 message

theresawalker@comcast.net <theresawalker@comcast.net>
To: kmurphy@exeternh.gov

Sun, Dec 2, 2018 at 11:46 AM

Hi Kristen – Don asked me to share the following email and attachment with you to make sure you're aware of the DOT's work. If you send a reply to DOT can you please copy me on that email so I can let ESRLAC know? Thanks, Theresa

From: Bill Meserve <meservew@gmail.com>
Sent: Tuesday, November 27, 2018 1:00 PM
To: theresawalker@comcast.net
Subject: Fwd: Statewide 16166

Another piece.

Sent from my iPhone

Begin forwarded message:

From: "Ryan, Kerry" <Kerry.Ryan@dot.nh.gov>
Date: November 27, 2018 at 12:52:06 PM EST
To: "'meservew@gmail.com'" <meservew@gmail.com>
Subject: **Statewide 16166**

Dear Mr. Meserve,

The NH Department of Transportation is planning the subject project involving resurfacing on various Tier 3 and Tier 4 roads throughout District 6. A portion of the proposed work, identified in purple on the attached map, is within 0.25 miles of the Exeter River. The purpose of the proposed project is to preserve the existing pavement sections and prevent a more expensive treatment in the near future. Additional work may also include upgrade of sidewalk tip down units for ADA compliance, shoulder leveling, pavement markings and replacement of plug joints on bridges. A location map is attached.

The Department's Bureau of Environment is conducting an environmental study for the subject project. In an effort to ensure that all resources associated with the project are appropriately evaluated, we request your agency's input. Any comments you may have concerning this project, or resources within the project area, will assist in the preparation of the environmental document. An early response to this email will greatly aid us in meeting our established schedule. If you have any questions, comments or require further information regarding the above referenced project, please contact me.

Thank You,

Kerry Ryan

NH Department of Transportation

Bureau of Environment

7 Hazen Drive, Concord, NH 03302

Ph: 603-271-3717

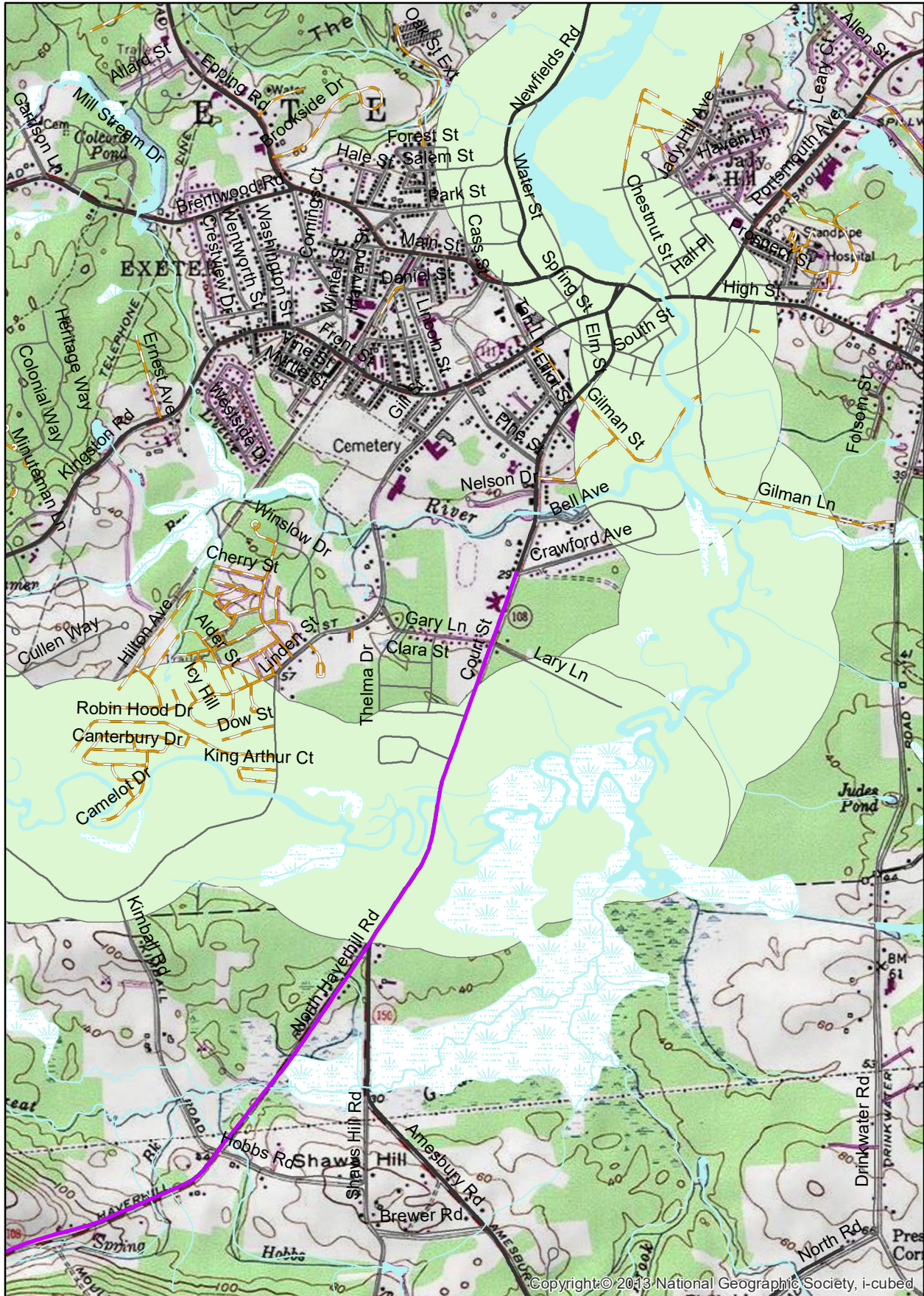
Fax: 603-271-7199



Exeter River.pdf

1800K

Statewide 16166-H, Exeter River



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1:24,000

Exeter Conservation Commission
November 13th, 2018
Wheelwright Room
Draft Minutes

Call To Order

1. Introduction of Members Present

Present at tonight's meeting were Bill Campbell, Carlos Guindon, Ginny Raub, Alyson Eberhardt, Sally Ward, Trevor Mattera, Todd Piskovitz, Dave Short, and Kristen Murphy.

2. Public Comment

There was no public comment at this meeting.

Action items

1. End of Year Expenses

- a. Consideration of Raynes Farm Conservation Fund Contribution, contingent on LCHIP Grant Acceptance.

Mr. Campbell said that in their LCHIP grant application, they had promised that if they were awarded the grant for Raynes Farm, they would pay \$2,000 from the Conservation Fund - not from their regular budget - as a contribution to this project. If they get the grant, there will be a warrant article to cover the town's contribution. Ms. Murphy said that contributing from the Conservation Fund shows that the Commission is serious about stewardship there. Also, in the past, when there has been a warrant article originating with the Conservation Commission, the Budget Recommendations Committee has asked them to provide a contribution. Mr. Campbell asked for a motion to approve the expenditure of \$2,000 from the Conservation Fund, contingent upon getting the LCHIP grant.

MOTION: Ms. Raub so moved, and Ms. Eberhardt seconded. All were in favor.

Ms. Murphy said the amount remaining in the Conservation Commission's town budget is \$2,925, mostly because they didn't hire interns this year.

b. StoryWalk expenditures

Ms. Raub said she had paid for the following expenses in advance of the cancelled Story Walk: lamination of story book pages, paper goods, little old lady wigs, and the book, for a total of \$73.72. Ms. Murphy said this would come out of Community Services.

MOTION: Ms. Eberhardt moved to approve the expenditure of \$73.72. Mr. Guindon seconded. All were in favor.

c. No Hunting Signs and Garrison Lane and Morrissette Mini-Kiosk Signs

Mr. Campbell said that they would need to purchase "No Hunting" signs. These are not generic signs, they are custom signs which specify that they're from the Conservation Commission. Ms. Murphy said if they wanted to get 100 signs, it would be \$740, or they could get 50 for \$572. Mr. Campbell said that those numbers include the other signs, and corrected that it would be \$515 for 100 signs or \$347.50 for 50 signs. They wouldn't put up all 100 signs

this year, but they could save them for the future. Mr. Campbell asked Ms. Murphy to round it up to \$750.

Ms. Murphy said that interns had posted these around the Henderson-Swasey Town Forest and the Swasey parcel. They're larger signs, 8 ½ x 11. The town ordinances list the properties where hunting is permitted; in order to officially prohibit hunting somewhere, you have to post it in accordance with state Fish and Game requirements. They have been posting these signs so they are visible every fifty feet, although they're more than fifty feet apart. Mr. Short said he thought that was overkill; they should focus on the ingress and egress points instead. Ms. Murphy said they'd had a problem with that at the Henderson-Swasey Town Forest because a hunter had come up along an alternate access point that was not signed. Mr. Short volunteered to put up some signs.

Mr. Campbell said they also need money for the Morrissette Mini-Kiosk trailhead signs reviewed at the last meeting. Ms. Murphy said these would be \$225 for printing the two signs.

Ms. Murphy said that the total for the two sets of signs would be \$750, and it would come out of Conservation Land Administration.

MOTION: Mr. Piscovitz moved to approve the expenditure of \$750. Mr. Short seconded. All were in favor.

Ms. Murphy raised the issue of dues for the Exeter-Squamscott River Local Advisory Committee. The Commission had voted to send them \$100 for dues, and keep \$50 aside in the event that it needed to go to the Lamprey River Advisory Committee. Ms. Murphy asked if that \$50 could go to ERLAC, because they sent in a bill for \$200. Mr. Piscovitz said that the Lamprey River Advisory Committee told him they could not accept the \$50.

MOTION: Ms. Eberhardt moved to send ERLAC the \$50. Ms. Raub seconded. All were in favor.

Mr. Piscovitz mentioned that he'd heard good feedback on Mr. Thunberg's signs in the town forest, although he did hear that one person thought they were lost because they'd never seen a sign there before. Mr. Campbell said after they put the signs up, they had someone get lost in the forest, so Chief Comeau asked to have a meeting on signage, blazing, and trails on private property. Ms. Murphy said there's no paint blaze that takes you from the parking lot to any main route. They can't recommend blazing on private land, but Chief Comeau wanted the side trails blazed. The meeting with Chief Comeau is at 8:30 on Monday, November 19th. Mr. Campbell will bring any recommendations back to the commission, and he added that Mr. Thunberg is willing to make more signs over the winter.

2. Approval of Minutes: October 9th Meeting

MOTION: Ms. Ward moved to approve the minutes of October 9th, 2018 as written. Mr. Piscovitz seconded. All were in favor.

3. Other Business

Mr. Campbell said that each of them took an oath of allegiance to monitor a piece of property, and suggested that they go this week. He asked that they please wear orange because of hunting season.

Ms. Ward asked if they have an updated list of membership and contact information. Mr. Campbell said that Lucretia Ganley and Andy Weeks will be joining them after the Select Board appointments tonight, so now they will have a full commission. Ms. Murphy said she will bring the revised bylaws to the next meeting.

Ms. Raub asked for a report on the disc golf event, and Ms. Murphy said it poured Friday. Ms. Raub went out on Saturday and it poured, and the wind was crazy, but people did golf. Several members were there on Sunday, and there was steady stream of people. The town brought in around \$675 plus a \$250 sponsorship from Sea Dog. Mr. Campbell said that there were seventy participants, some of whom were very serious.

Mr. Campbell mentioned that he, Ms. Murphy, and Mr. Guindon went to the annual meeting of the NHACC; Mr. Mattera was also there. They went to different sessions, and Ms. Murphy presented a session.

4. Next Meeting: Date Scheduled (12/11/18), Submission Deadline (11/30/18)

Work Session

At 7:25 the CC closed the meeting and exited to a work session for a presentation on [the Coastal Conservation Plan update](#).

Respectfully Submitted,
Joanna Bartell
Recording Secretary