



# TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

[www.exeternh.gov](http://www.exeternh.gov)

## PUBLIC NOTICE EXETER CONSERVATION COMMISSION Monthly Meeting

The Exeter Conservation Commission will meet virtually (see connection info below\* and details attached) on  
**Tuesday, August 11<sup>th</sup>, 2020 at 7:00 P.M.**

### **Call to Order:**

1. Introduction of Members Present
2. Public Comment

### **Action Items**

1. Wetland Conditional Use Permit application from Phillips Exeter Academy to construct a new dormitory in the approximate location of the existing Fisher Theater (Tax Map 72/209).
2. Garrison Ln Gravel Pull Out on REDC Conservation Parcel
3. 2021 Budget Submission
4. Committee Reports
  - a. Property Management
  - b. Trails
  - c. Outreach Events
5. Approval of Minutes: July 14<sup>th</sup>, 2020
6. Correspondence
  - a. Stone Leighton Mowing
7. Other Business
8. Next Meeting: Date Scheduled (9/8/20), Submission Deadline (8/28/20)

*Exeter Conservation Commission*

Posted August 7<sup>th</sup>, 2020 Exeter Town Website [www.exeternh.gov](http://www.exeternh.gov) and Town Hall Kiosk.

### **\*ZOOM MEETING INFORMATION:**

Virtual Meetings can be watched on Channel 22 and on Exeter TV's Facebook and YouTube pages.

To participate in public comment, click this link: <https://exeternh.zoom.us/j/82674382606>

To participate via telephone, call: +1 646 558 8656 and enter the Webinar ID: 826 7438 2606

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press \*9.

More instructions for how to participate can be found here: <https://www.exeternh.gov/townmanager/virtual-town-meetings>

Contact us at [extvg@exeternh.gov](mailto:extvg@exeternh.gov) or 603-418-6425 with any technical issues.

**TOWN OF EXETER  
PLANNING DEPARTMENT MEMORANDUM**

Date: Aug 7<sup>th</sup>, 2020  
To: Conservation Commission Board Members  
From: Kristen Murphy, Natural Resource Planner  
Subject: Aug 11<sup>th</sup> Conservation Commission Meeting

1. PEA Conditional Use Permit: Wetland Conditional Use Permit application from Phillips Exeter Academy to construct a new dormitory in the approximate location of the existing Fisher Theater (Tax Map 72/209).

*Suggested Motion for Wetland Conditional Use Permit:*

\_\_\_\_\_ We reviewed this application and feel the need to **table the application to a date certain** due to insufficient information on criteria necessary for the Commission to make a recommendation to the planning board as noted below: We recommend the required information be submitted by the next meeting submission deadline of \_\_\_\_\_ to be heard at the \_\_\_\_\_ conservation commission meeting date.

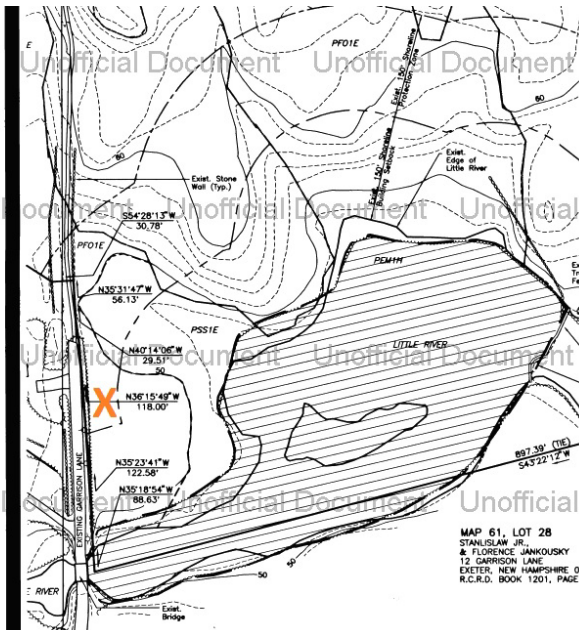
\_\_\_\_\_ We have reviewed this application and have **no objection** to the approval of the conditional use permit as proposed.

\_\_\_\_\_ We have reviewed this application and recommend that the wetland conditional use permit be **(approved with conditions) (denied)** as noted below:

2. Garrison Ln Gravel Pull Out on REDC Conservation Land (Tax Map 56-2)

DPW is responsible for plowing Garrison Lane and needs a viable spot to turn their plow around. As you are aware, there is also a need for adequate trail parking at this site. Jay Perkins reviewed the road edge and found a location that will require minimal tree removal and is interested in installing a gravel 2 car max spot in that location. I have reviewed the plans for the Garrison Glen development and this site is outside of the 150' structural setback and appears to be outside of wetland soils. I have also reviewed the deed and there is nothing prohibiting this use.

Because this is conservation land, DPW is looking for your vote of support for the gravel pull out. You can **view the location in person prior to the meeting** as it is marked with white paint on the pavement, white spots on the trees that will need to be removed, and two grade stakes with pink flagging mark how deep the pull out would need to be.



*Suggested Motion for Gravel Pull-Out:*

\_\_\_\_\_ *We have reviewed this proposal and have **no objection** to the siting of a gravel pull out as proposed.*

\_\_\_\_\_ *We have reviewed this proposal and recommend that the gravel pull out **be (approved with conditions) (denied)** as noted below:*

3. 2021 Budget Submission is due August 28<sup>th</sup>. We are instructed that any additional requests should be limited to items that are mandated due to a change in regulation, law, or similar circumstance over which the department has no control so my recommendation is a level funded budget request. Attached is the current year budget. Please consider if there are any adjustments you would like to see in the individual budget categories.
4. Correspondence:  
Stone/Leighton: Though the Marston's intended to have the property mowed this year, the person they contract with informed them the property is too wet. I can reach out to other contacts to see if we can find someone who may be interested in mowing the property. Please **drive by to see the conditions before the meeting** so we can decide if you feel it urgently needs to be mowed this year if we cannot find an alternate option and what your recommendation would be to cover the costs for having it mowed.



July 31, 2020

Town of Exeter  
Planning Board / Conservation Commission  
10 Front Street  
Exeter, NH 03833

RE: Application for Conditional Use Permit

Dear Board and Commission Members,

Phillips Exeter Academy is submitting the attached Conditional Use Permit – Wetlands Conservation Overlay District application. The Academy proposes to construct a new dormitory on parcel 72-209 in the approximate location of the existing Fisher Theater, which was vacated when the Academy completed the new Goel Center for Theater and Dance in 2018. The new dormitory will replace the existing metal Butler building that was completed in 1972. This new 60-bed dormitory is a part of a long-term housing plan to consolidate some of the Academy’s “house dorms” and accommodate beds that are lost as the Academy renovates the larger brick dorms due to ADA upgrades. It is important to note there is no increase to the enrollment at the Academy associated with this dorm.

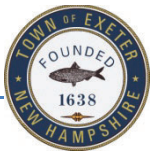
This application focuses on the proposed work within the wetlands buffer areas. There are two wetland types along the north portion of the site, an intermittent stream that flows from west to east to a poorly drained wetland just east of the pedestrian bridge. The existing site was previously been developed into the buffer. The new building will be constructed in the approximate location of the existing Fisher Theater, maintaining the existing building setback. There will be new parking within the 75 foot setback that will also provide a staging area for fire access. The project has been reviewed by the Fire Department and they support the proposed layout for access needs. All of the lower walkways and patio area within the buffer will be constructed using porous materials, which will reduce the total impervious area within the buffer by approximately 1,075 square feet. The existing site was also constructed in the early 1970’s prior to stormwater regulations, so the proposed site will provide improved water quality discharge to the wetlands, by treating the surface runoff with infiltration galleries and bio-retention raingardens prior to discharge.

We feel that this this project is a significant betterment to the site and to the adjacent wetlands and look forward to your review. If you have any questions please do not hesitate to contact us.

Fondly,

A handwritten signature in black ink, appearing to read "Heather H. Taylor".

Heather H. Taylor  
Campus Planner/Architect  
Phillips Exeter Academy



# Town of Exeter Planning Board Application

## Conditional Use Permit: Wetland Conservation Overlay District In accordance with Zoning Ordinance Article: 9.1

**SUBMITTAL REQUIREMENTS:** (Note: See Application Deadlines and Submission Requirements for Conservation Commission Requirements)

1. Fifteen (15) copies of the Application
2. Fifteen (15) 11"x17" and three (3) full sized copies of the plan which must include:
  - Existing Conditions
    - a. Property Boundaries
    - b. Edge of Wetland and associated Buffer (Wetlands Conservation Overlay District – WCOD)
      - Prime wetland: 100'   --Very Poorly Drained: 50'
      - Vernal Pool (>200 SF): 75'   --Poorly Drained: 40'
      - Exemplary Wetland: 50'   --Inland Stream: 25'
    - c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements

Proposed Conditions

- a. Edge of Wetlands and Wetland Buffers and distances to the following:
    - i. Edge of Disturbance
    - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
  - b. Name and phone number of all individuals whose professional seal appears on the plan
3. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
4. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
5. A Town of Exeter Assessors list of names and mailing addresses of all abutters

<b>Required Fees:</b>		
Planning Board Fee: <b>\$50.00</b>	Abutter Fee: <b>\$10.00</b>	Recording Fee (if applicable): <b>\$25.00</b>

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: Phillips Exeter Academy
	Address: 20 Main Street, Exeter, NH 03833
	Email Address: htaylor@exeter.edu
	Phone: 603-777-3292
PROPOSAL	Address: Front Street
	Tax Map # <u>  72  </u> Lot# <u> 209 </u> Zoning District: <u>  R-2  </u>
	Owner of Record: Phillips Exeter Academy
Person/Business performing work outlined in proposal	Name: Cory D. Belden P.E., Altus Engineering, Inc.
	Address: 133 Court Street, Portsmouth, NH 03801
	Phone: 603-433-2335
Professional that delineated wetlands	Name: Luke Hurley, Gove Environmental Services, Inc.
	Address: 4 Franklin Street A-2, Exeter, NH 03833
	Phone: 603-778-0644

**Town of Exeter  
 Planning Board Application  
 Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

See Attachment - A

**Wetland Conservation Overlay District Impact (in square footage):**

Temporary Impact	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input type="checkbox"/> VPD	_____
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD	<u>50 sf</u>
	<input type="checkbox"/> Inland Stream	_____	<input checked="" type="checkbox"/> Inland Stream	<u>350 sf</u>
Permanent Impact	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input type="checkbox"/> VPD	_____
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD	<u>300 sf</u>
	<input type="checkbox"/> Inland Stream	_____	<input checked="" type="checkbox"/> Inland Stream	<u>10,250 sf</u>

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

See Attachment - A

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):

See Attachment - A

**SEE ATTACHED ABUTTER LIST**

**ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.**

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9.1.6. B: Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;



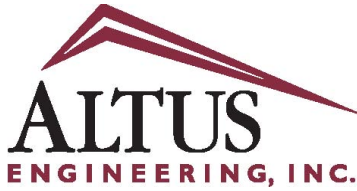
**PHILLIPS EXETER ACADEMY**

20 Main Street, Exeter, NH 03833

**New Dormitory - Tax Map 72 Lot 209**

**Planning Board - Conditional Use Permit Abutter's List**

Tax Map 72, Lot 187		Owner/Applicant:
John F and Tatiana B Roth 70 Front Street Exeter, NH 03833		Tax Map 72, Lots 169, 186, 189, 190, 208, 209, 211 Phillips Exeter Academy 20 Main Street Exeter, NH 03833 Att: Mark Leighton
Tax Map 72, Lot 188		Architect
David C. Bohn Trust 72 Front Street Exeter, NH 03833		SLAM Collaborative Inc. 250 Summer Street #402 Boston, MA 02210 Att: Neil Martin
Tax Map 72, Lot 191		Civil Engineer
Will H. and Camille M. Weete 78 Front Street Exeter, NH 03833		Altus Engineering, Inc. 133 Court Street Portsmouth, NH 03801 Att: Jeff Clifford
Tax Map 72, Lot 196		Land Surveyor
Mark J. Russ 79 Front Street Exeter, NH 03833		Nitsch Engineering 360 Merrimack Street, Suite 49 Building #5, Second Floor Lawrence, MA 01843 Att: Jamie Gayton
Tax Map 73, Lot 293		Landscape Architect
Exeter School District 30 Linden Street Exeter, NH 03833		Kyle Zick Landscape Inc. 36 Broomfield Street, Suite 302 Boston, MA 02108 Att: Kyle Zick
		Environmental Engineer
		Gove Environmental Services, Inc. 8 Continental Dr. Unit H Exeter, NH 03833 Att: Luke Hurley



*Civil  
Site Planning  
Environmental  
Engineering*

133 Court Street  
Portsmouth, NH  
03801-4413

## **Attachment A**

### **CONDITIONAL USE PERMIT APPLICATION**

**For**

### **NEW DORMITORY (FORMER FISHER THEATER)**

#### **Detailed Proposal including intent, project description, and use of property:**

The project consists of the construction of a new dormitory in the location of the existing Fisher Theater on the Phillips Exeter Academy (PEA) campus. The new dormitory will replace the existing theater's metal Butler building that was completed in 1972. This new 60-bed dormitory is a part of a long-term housing plan to consolidate some of the Academy's "house dorms" and accommodate beds that are lost as the Academy renovates the larger brick dorms due to ADA upgrades. It is important to note there is no increase to the enrollment at the Academy associated with this dorm.

Site improvements include driveway improvements for emergency vehicle access and faculty parking, stairs, walkway improvements, patios for outdoor gathering spaces, utilities, and stormwater improvements. The existing site was constructed in the early 1970's prior to stormwater regulations and was developed into the buffer. The new building will be constructed in the approximate location of the existing Fisher Theater, maintaining the existing building setback and the proposed project will not further encroach into the buffer area. There will be new parking in the 75 foot setback that will also provide a staging area for fire access. All of the lower walkways and patio area within the buffer will be constructed using porous materials, which will reduce the total impervious area within the buffer by approximately 1,075 square feet. The proposed stormwater management improvements include drain lines, deep sump catch basins, three (3) stormwater management galleries to treat, infiltrate, and control runoff from the site, as well as three (3) small raingardens to treat roof runoff prior to discharging to the wetlands. Therefore, the proposed site will provide improved water quality discharge to the wetlands.

**List any variances/special exceptions granted by Zoning Board of Adjustment including dates:**

A Variance request will be submitted for the building height and a Special Exemption request for the expansion of a non-conforming use on the property.

**Describe how your proposal meets the conditions of Article 9.1.6.B of the Town of Exeter Zoning Ordinance:**

**1. That the proposed use is permitted in the underlying zoning district;**

The project involves expansion of an existing non-conforming use within the R-2 zoning district. A Special Exemption exists for the non-conforming use on the property and an additional special exemption will be requested for the expansion of this use.

**2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;**

The site is an existing developed site with an existing building, site improvements, and utilities servicing the existing Fisher Theater. The proposed dormitory will be in the location of the existing building and utilize many of the existing utility services. The proposed building will not encroach any closer to the wetlands. The proposed site will provide stormwater management and treatment with stormwater galleries and raingardens, to a site that does not have any current treatment, therefore improving the condition of the runoff to the wetlands.

**3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.**

Gove Environmental Services, Inc. (GES) completed a Functions and Values assessment for the proposed project and determined that *“It is not anticipated that the existing wetland functional value will be impacted.”* See Attachment B - Wetlands Functions and Values by GES, dated July 13, 2020.

**4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer.**

The proposed site will provide stormwater management and treatment to an existing site that does not current have any treatment. In addition to the providing stormwater treatment, the walkways and patio area in the buffer will be constructed of porous materials to reduce the impervious coverage. By using porous surfaces, the impervious cover in the buffer will be reduced. The combination of reducing impervious cover and providing stormwater treatment will minimize any detrimental impacts on the wetland or wetland buffer.

- 5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;**

There are no direct impacts to the wetlands. The site is an existing developed site that currently has no stormwater management. The wetland buffer will be maintained and treatment will be provided to the new impervious areas. The function and value of the wetland should not be impacted and the project will not create a hazard to individual or public health, safety or welfare.

- 6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland;**

Due to the existing development on the site and around the existing wetland, there is not an opportunity to increase the buffer. However, there will be additional trees and plantings within the buffer, the impervious area in the buffer will be reduced, and stormwater treatment will be provided.

- 7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, that the landowner agrees to restore the site as nearly as possible to its original grade and condition following construction;**

The vegetation will be reestablished at the temporary impact area and the reconstructed walkway will be restored to original grade.

- 8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.**

There are no direct impacts to wetlands, therefore, does not require a New Hampshire Department of Environmental Services Permit required under RSA 482-A or a United States Army Corps of Engineers Permit as required under Section 404 of the Clean Water Act. The proposed project does not occur within the 250-foot protected shoreland, as regulated under the Comprehensive Shoreland Protection Act (RSA 483-B), and does not require a permit. NHDES Alteration of Terrain (AoT) Bureau also concurred on April 30, 2020 that the proposed project does not require an AOT permit.

**Waiver Request**  
**(Conditional Use Permit Application)**

**NEW DORMITORY (FORMER FISHER THEATER)**  
**Front Street**

Phillips Exeter Academy

July 2020

**9.9.3 Wetland Setbacks – Parking and Structure Setback from Wetlands and Limited Use Buffer to wetlands:**

*Explanation:*

The project consists of the construction of a new dormitory in the location of the existing Fisher Theater on the Phillips Exeter Academy (PEA) campus. The new dormitory will replace the existing theater's metal Butler building that was completed in 1972. This new 60-bed dormitory is a part of a long-term housing plan to consolidate some of the Academy's "house dorms" and accommodate beds that are lost as the Academy renovates the larger brick dorms due to ADA upgrades. It is important to note there is no increase to the enrollment at the Academy associated with this dorm.

The new building will be constructed in the approximate location of the existing Fisher Theater, maintaining the existing building setback and the proposed project will not further encroach into the buffer area. There will be new parking in the 75 foot setback that will also provide a staging area for fire access. All of the lower walkways and patio area within the buffer will be constructed using porous materials, which will reduce the total impervious area within the buffer by approximately 1,075 square feet. The proposed stormwater management improvements include drain lines, deep sump catch basins, three (3) stormwater management galleries to treat, infiltrate, and control runoff from the site, as well as three (3) small raingardens to treat roof runoff prior to discharging to the wetlands. Therefore, the proposed site will provide improved water quality discharge to the wetlands.

There is an intermittent stream along the north side of the site that drains to a poorly drained wetland area. The intermittent stream has a 25-foot limited use setback and the poorly drained soils has a 40-foot limited use setback.

A waiver is requested for the encroachment of the building and parking within the 75-foot parking and structural setback and for work within the 25-foot and 40-foot limited use buffer for intermittent stream and poorly drained soils, respectively.

- ***Parking and Structure Setback*** – The new dormitory will be constructed in approximately the same location as the existing Fisher theater. The northern limits of the building will not encroach any closer to the wetlands. The existing building is approximately 41.5 feet from the wetland. The proposed dormitory will be constructed using the same northern building line, which will maintain the same 41.5 foot offset to the wetlands. Additionally, a new parking area to provide faculty parking and fire access will be constructed on the west side of the building within the 75-foot buffer. The new parking area is 31.8 feet from the wetlands.
- ***Limited Use Buffer Setback*** – There is an existing gravel drive and asphalt pavement walkway along the north side of the existing Fisher Theater that currently extends into the 25-foot setback area. The proposed project will remove the gravel drive and replace it with a porous walkway and a portion of the asphalt path will be repaved. Additionally, there will be a new drainage outlet within the buffer to outlet the proposed stormwater gallery that will provide treatment prior to discharging to the wetlands.

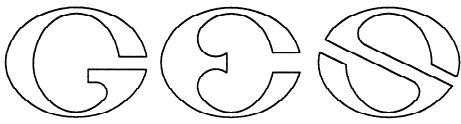
*Justification:*

The applicant and their architect performed extensive analysis of the Academy's needs and building code requirements to design the proposed building within the available space. The surrounding area is constrained by the Forester-Ball Music Theater and Dow Barn and the Front Street and Dow House dormitories. These constraints and the building's functional requirement dictated the building configuration and parking requirements. The existing Fisher Theater that will be demolished for the construction of the new dormitory is within the 75-foot setback. The new dormitory will be in the approximate same location and will not encroach closer to the wetlands.

*Mitigation*

The mitigation proposal seeks to provide improved stormwater quality runoff from the site and to the adjacent wetland by providing treatment to the new impervious areas, where no current treatment exists. The proposed project will construct three new subsurface stormwater galleries and three small raingardens to treat the proposed impervious areas prior to discharging to the wetlands. The proposed stormwater galleries and raingardens will provide improved water quality in the watershed by managing and treating runoff that currently leaves the site untreated.

In addition, the proposed walkway and patio within the buffer area will be constructed with porous materials. The result will be a decrease of approximately 1,075 square feet of impervious area within the 75-foot buffer, of which approximately 740 feet of impervious area within the limited use buffer will be removed and replaced with porous materials. A new drainage outfall is necessary to outlet the subsurface stormwater gallery and will be constructed with riprap outlet protection to prevent erosion.



GOVE ENVIRONMENTAL SERVICES, INC.

July 13, 2020

Corey Belden  
Altus Engineering, Inc.  
133 Court Street  
Portsmouth, NH 03801

Subject: PEA Science Center  
Re: Wetland Functions and Values

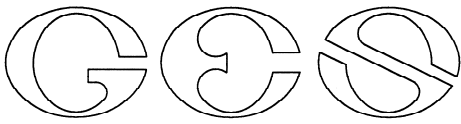
Dear Mr. Belden:

As requested, I have put together a functions and values assessment for the above-referenced project. Overall, due to the small size of the wetland, seasonal characteristics, and surrounding use of the environment, the intermittent stream/wetland has limited wildlife habitat and functional value and does not possess any unique or heritage value. The wetland does provide some sediment and nutrient removal for stormwater. Based on the proposed project, the existing buffer will be maintained and stormwater treatment will be provided. It is not anticipated that the existing wetland functional value will be impacted. Construction Best Management Practices (BMPs) should be used to limit impacts during construction

Please let me know if you have any questions

Sincerely,

Luke D. Hurley, CWS, CSS  
Vice President  
Gove Environmental Services, Inc.



## GOVE ENVIRONMENTAL SERVICES, INC.

Functions and values assessment for the work proposed as part of the Phillips Exeter Academy, Fisher Theater project.

### Flood flow Alteration

Flood flow attenuation of the wetland will not be impacted, as all work is proposed in the upland area and will maintain a vegetated buffer.

### Fish and Shellfish Habitat

No such habitat exist within this wetland.

### Sediment/Toxicant Retention

Sediment/toxicant retention will not change within the wetland. The surrounding area is developed with buildings and walkways, however a vegetated buffer is to remain between the project area and the wetlands.

### Nutrient Removal

Nutrient removal, like sediment and toxicant retention will not change within the wetland or the buffer. A well vegetated area will remain after the project is complete as it currently does prior to any work being done.

### Production Export

Production export is relatively low to almost non-existent within this wetland due to the size, location and limited fruit/nut producing vegetation.

### Sediment/Shoreline Stabilization

This is will not be effected. Any drainage through this wetland is intermittent in the spring fall and after possible heavy rains.

### Wildlife Habitat

Because of the location of the wetland and the open nature with surround buildings and walkways, little wildlife habitat exists.

### Recreation

The wetland area does not offer the potential for recreation.

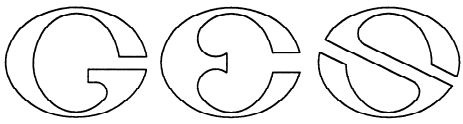
### Educational/Scientific Value

Educational/scientific value will not change in the wetland or the buffer.

### Uniqueness/Heritage

This wetland is not unique, nor does it possess any heritage value.





GOVE ENVIRONMENTAL SERVICES, INC.

Visual Quality/Aesthetics

The work proposed is entirely within an open and heavily travelled portion of the campus. The wetland is not to be impacted and will remain the same after construction as it currently does.

Endangered Species Habitat

No endangered species are present within this area.



Wetland - looking east from footbridge



Wetland(Intermittent Stream)- looking west from footbridge

# PHILLIPS EXETER ACADEMY

## NEW DORMITORY (REMOVE FISHER THEATER)

TAX MAP 72, LOT 209  
FRONT STREET  
EXETER, NEW HAMPSHIRE

CONDITIONAL USE PERMIT - WETLANDS CONSERVATION DISTRICT

Plan Issue Dates:

July 31, 2020

Initial Submission

**Owner:**

**Phillips Exeter Academy**

20 Main Street  
Exeter, New Hampshire 03833

**Architect:**



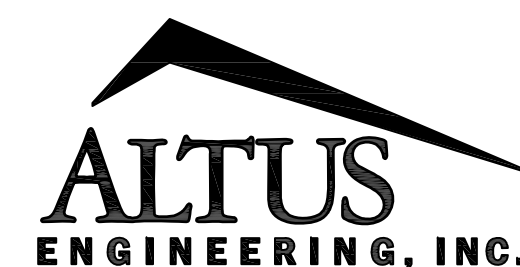
250 Summer Street  
4th Floor  
Boston, MA 02210-1135  
www.slamcoll.com

**Landscape Architect:**



Kyle Zick Landscape Architecture, Inc.  
36 Bromfield Street Suite 202  
Boston, MA 02108  
617-451-1018 Tel  
www.kylezick.com

**Civil Engineer:**



133 COURT STREET PORTSMOUTH, NH 03801  
VOICE: (603) 433-2335  
FAX: (603) 433-4194

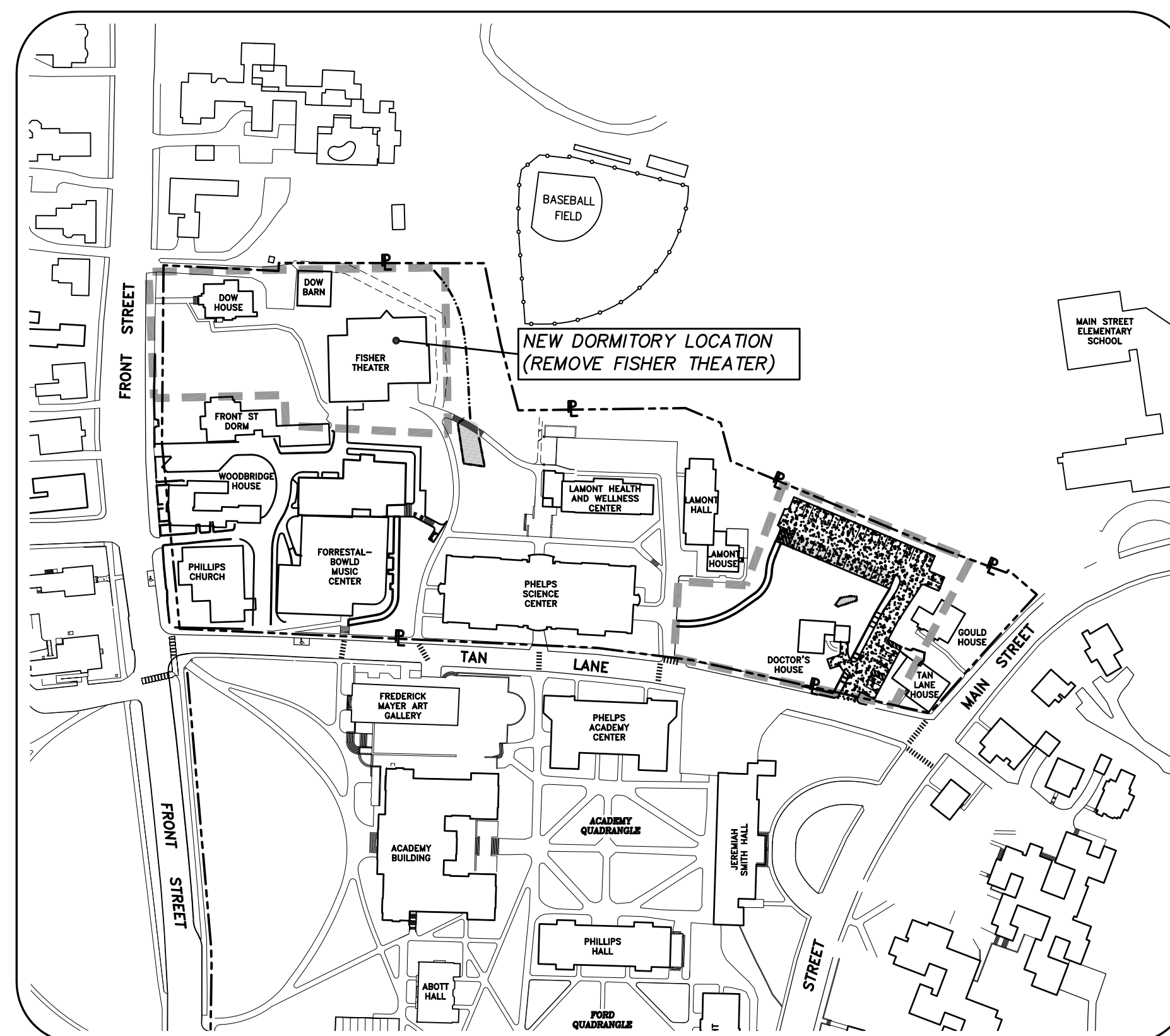
**Surveyor:**



Nitsch Engineering  
www.nitscheng.com  
2 Center Plaza, Suite 430  
Boston, MA 02108

**Soil/Wetland Scientist:**

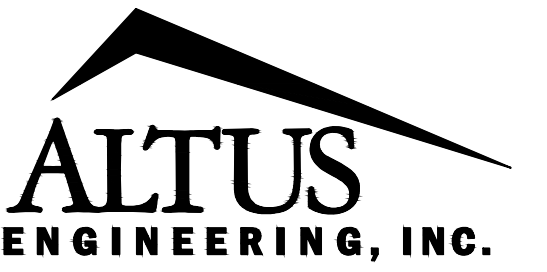
Gove Environmental Services, Inc.  
4 Franklin Street A-2  
EXETER, NH 03833



LOCUS MAP  
1" = 150'

**Sheet Index**

Title	Sheet No.:	Rev.	Date
Area Plan	C0.01	0	07/31/20
Conditional Use Permit Plan	CUP-1	0	07/31/20
Existing Conditions Survey (Nitsch)	EX-1, EX-2	2	07/29/20
Site Plan	C3.01	0	07/31/20
Grading and Drainage Plan	C4.01	0	07/31/20
Layout & Materials Plan (KZLA)	L1.01	1	07/31/20
Planting Plan (KZLA)	L1.02	1	07/31/20
Rendering (SLAM)	R-1	0	07/31/20



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ISSUED FOR:  
PLANNING BOARD APPROVAL

ISSUE DATE:  
JULY 31, 2020

NO.	DESCRIPTION	BY	DATE
0	PB SUBMITTAL	CDB	07/31/20

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APPROVED BY: \_\_\_\_\_ JKC  
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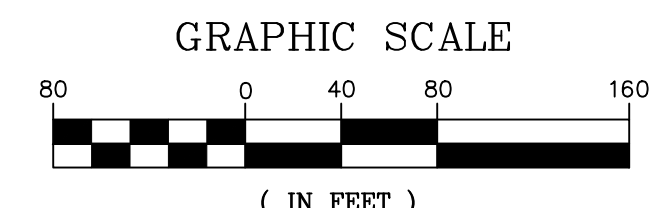
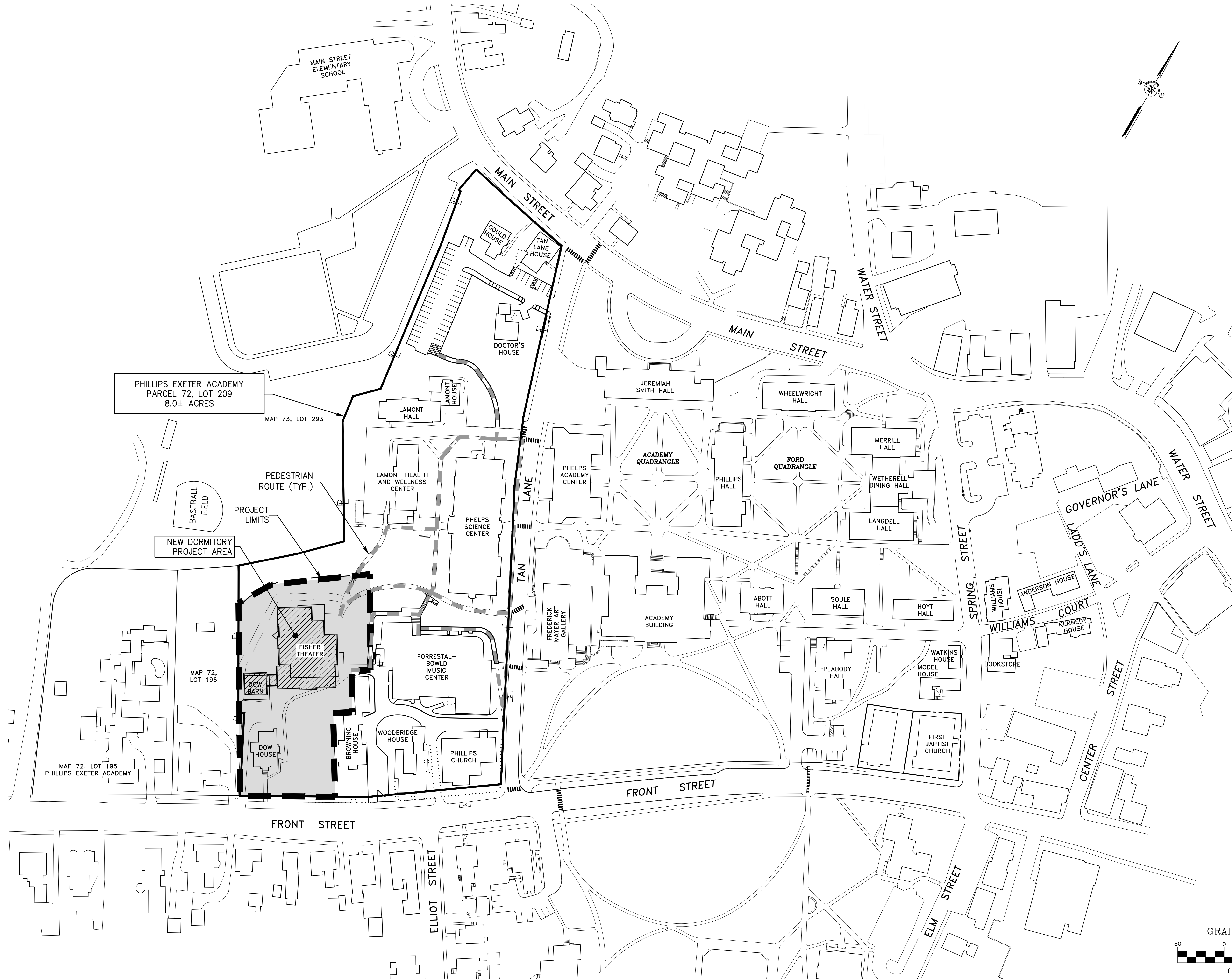
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OWNER/APPLICANT:  
PHILLIPS EXETER ACADEMY  
20 MAIN STREET  
EXETER, NH 03833

PROJECT:  
PHILLIPS EXETER ACADEMY  
NEW DORMITORY  
ASSESSOR PARCEL 72, LOT 209

TITLE:  
AREA PLAN

SHEET NUMBER:  
C0.01



THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

P6030



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ENGINEERING, INC.

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(603) 433-2335 www.ALTUS-ENG.com



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ISSUED FOR:  
**PLANNING BOARD APPROVAL**  
ISSUE DATE:  
**JULY 31, 2020**

REVISIONS  
NO. DESCRIPTION BY DATE  
0 INITIAL SUBMITTAL CDB 07/31/20

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APPROVED BY: \_\_\_\_\_ JKC  
DRAWING FILE: 5030\_071620.DWG

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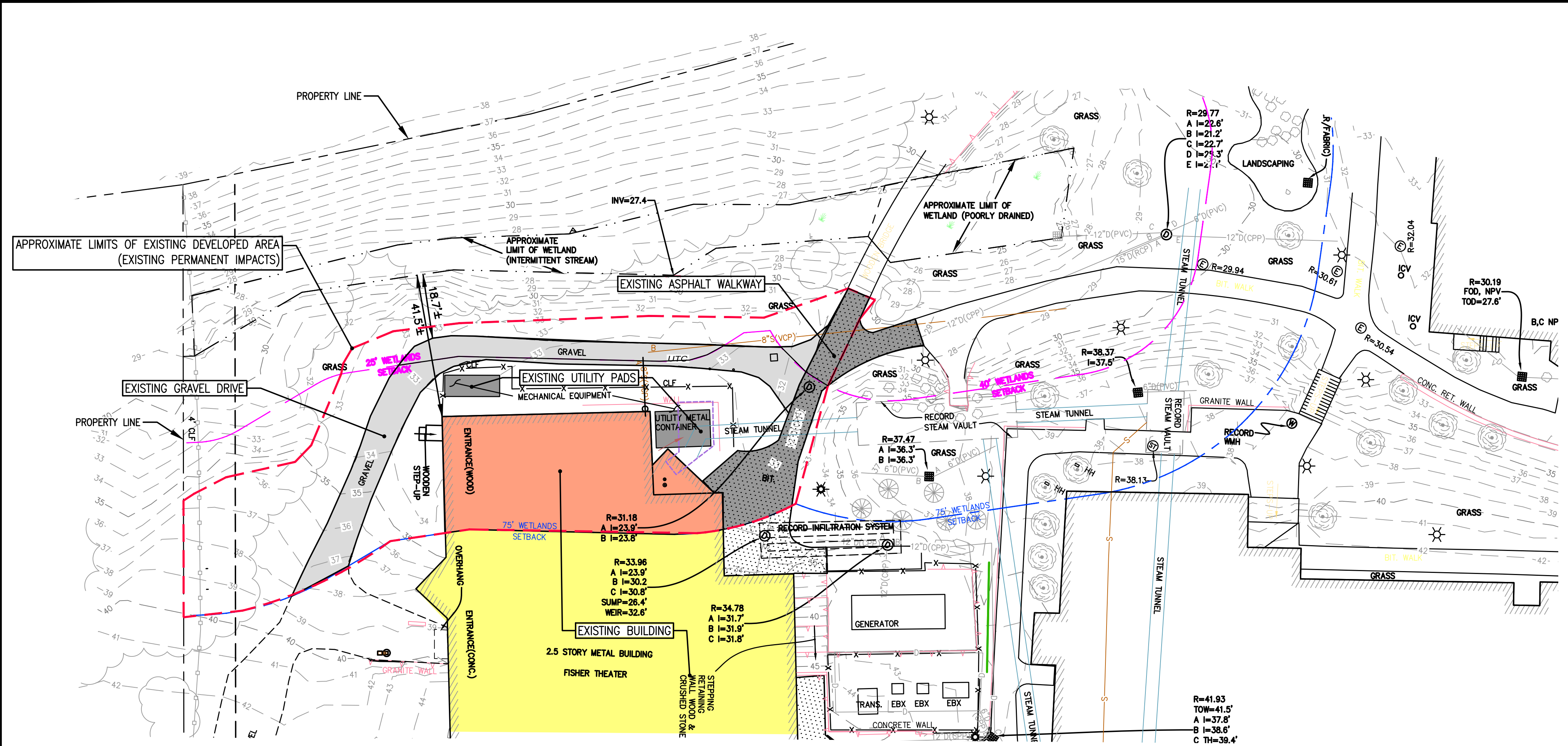
OWNER/APPLICANT:  
**PHILLIPS EXETER ACADEMY**  
20 MAIN STREET  
EXETER, NH 03833

PROJECT:  
**PHILLIPS EXETER ACADEMY**  
**NEW DORMITORY**

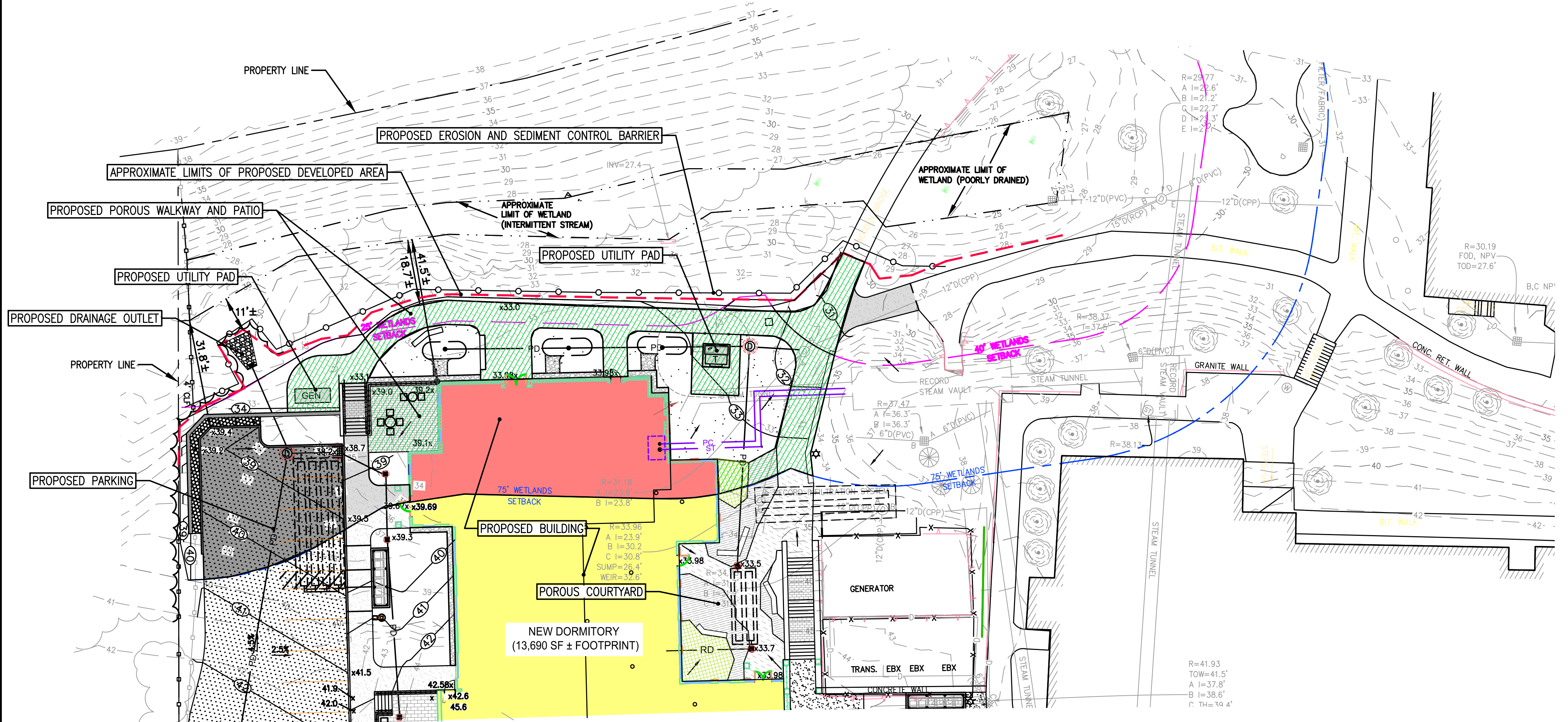
ASSESSOR PARCEL 72, LOT 209

TITLE:  
**CONDITIONAL USE**  
**PERMIT PLAN**

SHEET NUMBER:  
**CUP-1**



**EXISTING SITE CONDITIONS**

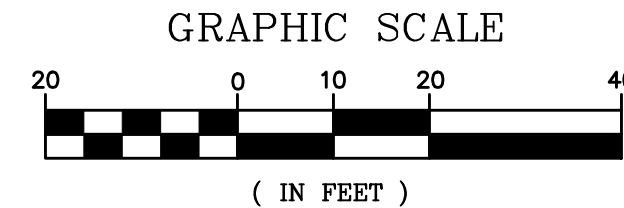


**PROPOSED SITE CONDITIONS**

**BUFFER IMPACT TABLE**

Buffer Impacts	Existing	Proposed	Difference
Permanent Impact	10,300	10,550	250
Temporary Impact	0	400	400
<b>Impervious Areas</b>			
Building	2,425	2535	110
Gravel Drive	1610	0	(1610.00)
Parking Lot/Drive	0	1450	1450.00
Impervious walkways	1280	370	(910.00)
Utility pads	265	150	(115.00)
Porous Walkways/patios	0	2950*	2950*
<b>TOTALS</b>	<b>5,580</b>	<b>4,505</b>	<b>-1,075</b>

\* NOTES: 1. Porous walkway and patio areas included for reference and not included in buffer impact area  
2. Existing Impacts estimated from from existing conditions survey and site contours.  
(X) =Reduction

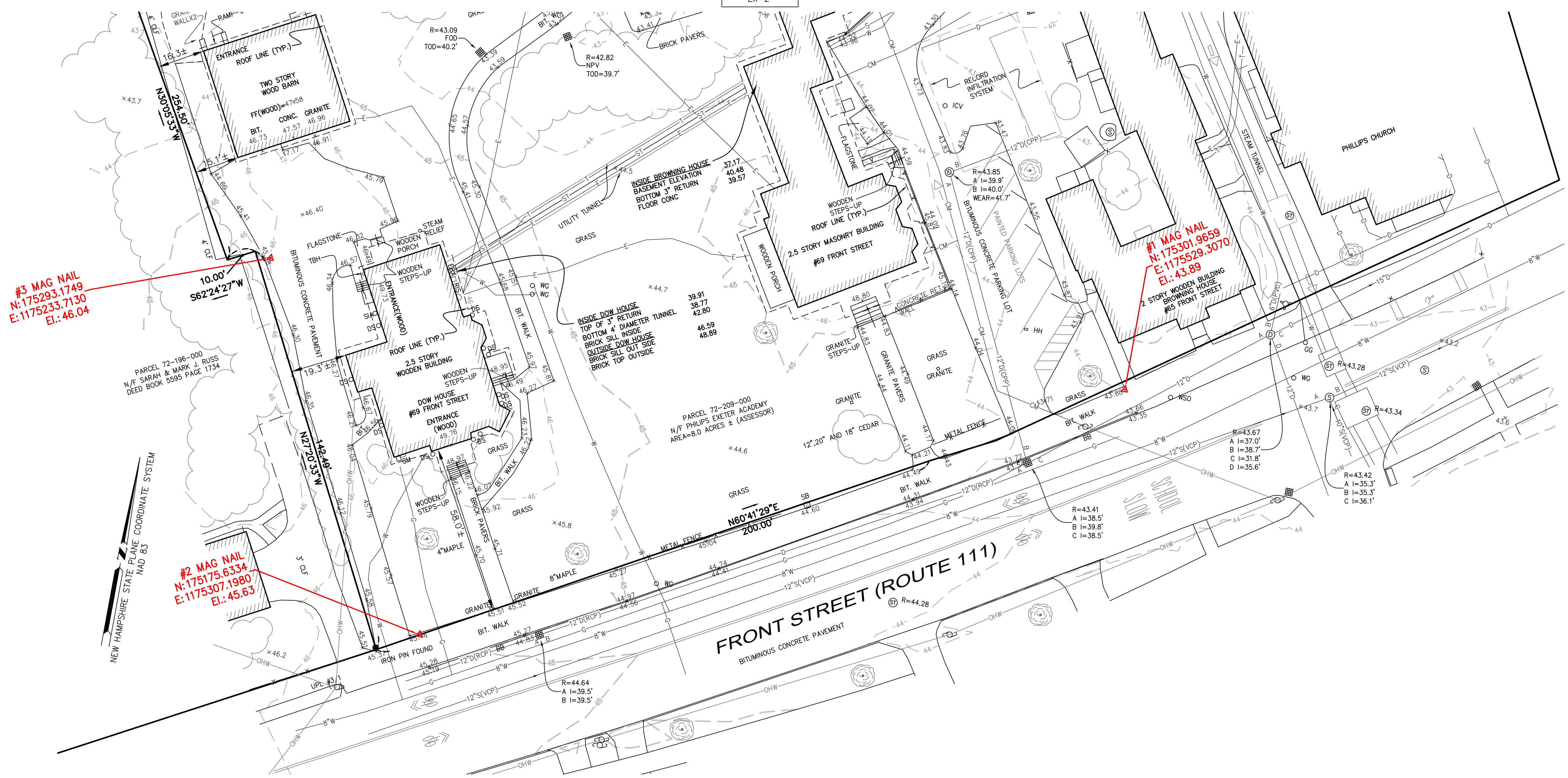


THIS DRAWING HAS NOT BEEN  
RELEASED FOR CONSTRUCTION

P5030

7/29/2020 8:47 AM  
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SEE SHEET  
EX-2



**LEGEND**

	CATCH BASIN
	CABLE TELEVISION MANHOLE
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	MISCELLANEOUS MANHOLE
	SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	GAS SHUT-OFF
	WATER SHUT-OFF
	GAS GATE
	GAS METER
	SIAMESE SPRINKLER
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	REINFORCED CONCRETE PIPE
	CORRUGATED PLASTIC PIPE
	POLYVINYL CHLORIDE PIPE
	CAST IRON PIPE
	VITRIFIED CLAY PIPE
	WETLAND FLAG
	WETLAND
	UNDERGROUND CABLE TELEVISION LINE
	UNDERGROUND DRAIN LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SEWER LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND COMMUNICATION LINE
	UNDERGROUND WATER LINE
	OVERHEAD WIRES
	MONITORING WELL

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El.:46.04

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E:1175307.1980  
El.:45.63

#1 MAG NAIL  
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El.:43.89

PLANNING BOARD CASE NUMBER \_\_\_\_\_  
APPROVED BY THE EXETER PLANNING BOARD:

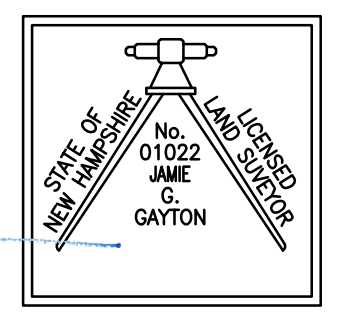
CHAIRPERSON \_\_\_\_\_  
DATE: \_\_\_\_\_

PURSUANT TO RSA 676:18 III AND RSA 671:14

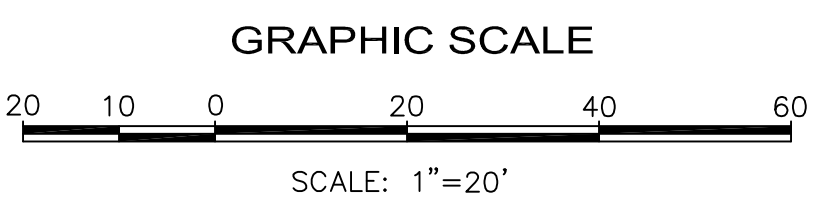
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN HEREON ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

THIS SURVEY MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR A NEW HAMPSHIRE URBAN SURVEY.

THE INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED IN DECEMBER OF 2019 AND JANUARY OF 2020.



JAMIE G. GAYTON, PLS #01022  
JULY 29, 2020  
DATE

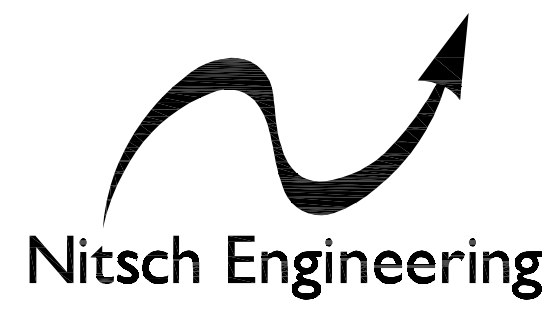


**NOTES**

- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF NITSCH ENGINEERING. IT IS ISSUED TO PHILLIPS EXETER ACADEMY FOR PURPOSES RELATED DIRECTLY AND SOLELY TO NITSCH ENGINEERING'S SCOPE OF SERVICES UNDER CONTRACT WITH PHILLIPS EXETER ACADEMY FOR FISHER THEATER LAND SURVEYING SERVICES. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT AND PROJECT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN AUTHORIZATION IS GIVEN THEREFOR BY NITSCH ENGINEERING.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS AS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY WHICH OCCURRED 11/23/2019.
- HORIZONTAL BEARINGS REFER TO NEW HAMPSHIRE STATE PLAN COORDINATE SYSTEM (NAD83) AND THE VERTICAL DATUM REFERS TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL BEARING AND VERTICAL DATUM WERE ESTABLISHED FROM RTK GPS OBSERVATIONS.
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- WETLANDS WERE DELINEATED BY GES INC. IN 2015 AND VERIFIED AND REDELINEATED IN NOVEMBER 2019 PER US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012 AND FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE.

**UTILITY INFORMATION STATEMENT**

- THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT, IF ANY; THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ACCURACIES.
- THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES HAVE BEEN DETERMINED FROM SAID INFORMATION, AND ARE APPROXIMATE ONLY. COMPILED LOCATIONS OF ANY UNDERGROUND STRUCTURES, NOT VISIBLY OBSERVED AND LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS.
- ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
- THE STATUS OF UTILITIES, WHETHER ACTIVE, ABANDONED, OR REMOVED, IS AN UNKNOWN CONDITION AS FAR AS OUR COMPILATION OF THIS INFORMATION.
- IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILING UTILITY INFORMATION IS NOT EXACT, AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER MATTERS.
- THE PROPER UTILITY ENGINEERING/COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD (V.I.F.) BEFORE PLANNING FUTURE CONNECTIONS. CONTACT THE DIG SAFE CALL CENTER AT 1-888-344-7233, SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.
- AS OF THE DATE OF THIS PLAN RECORD INFORMATION HAS NOT BEEN RECEIVED BY NITSCH ENGINEERING FOR THE FOLLOWING UTILITIES: TELEPHONE (VERIZON BUSINESS), TOWN OF EXETER FIRE DEPARTMENT, RAILROAD (CSX, PANAM).



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F: (617) 338-6472

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- Structural Engineering
- Green Infrastructure
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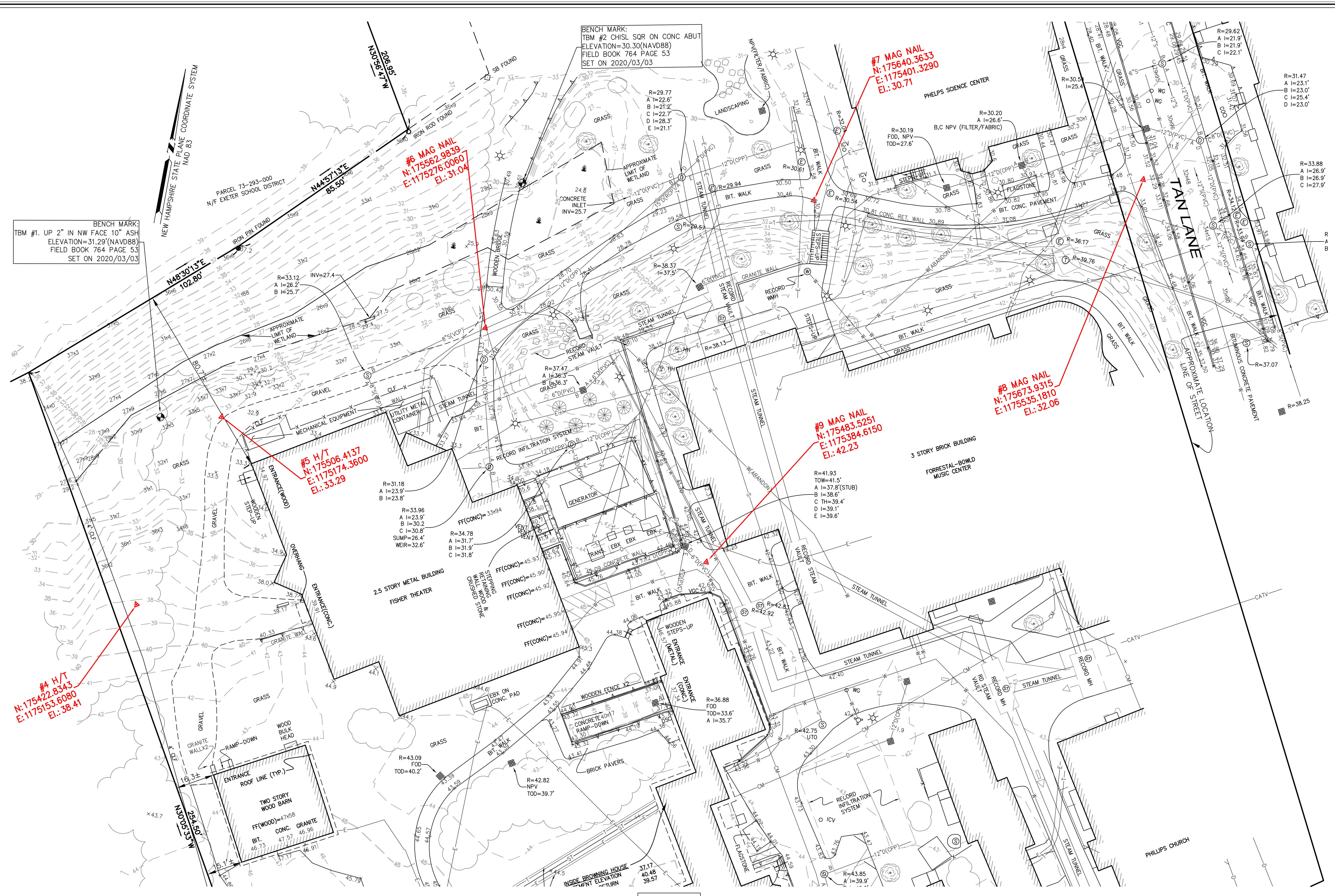
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DATE:	01/06/2020
PROJECT MANAGER:	JGG
FIELD BOOK:	684 & 759
DRAFTED BY:	MS
CHECKED BY:	JGG

REV.	DESCRIPTION	DATE
2	BASEMENT DATA	2020/07/29
1	SHEET SIZE	2020/02/27
REV.	COMMENTS	DATE
	REVISIONS	

EXISTING CONDITIONS SURVEY  
FISHER THEATER  
69 FRONT STREET, EXETER, NEW HAMPSHIRE  
PREPARED FOR:  
PHILLIPS EXETER ACADEMY  
20 MAIN STREET, EXETER, NEW HAMPSHIRE 03833

SHEET:  
**EX-1**  
OF 2 REV.

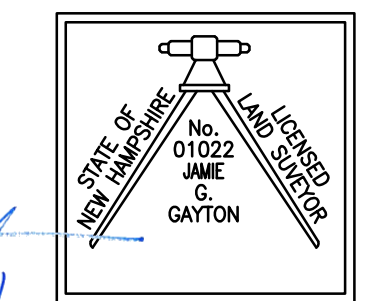
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- LEGEND**
- ⊙ CATCH BASIN
  - ⊙ CABLE TELEVISION MANHOLE
  - ⊙ DRAIN MANHOLE
  - ⊙ ELECTRIC MANHOLE
  - ⊙ MISCELLANEOUS MANHOLE
  - ⊙ SEWER MANHOLE
  - ⊙ TELEPHONE MANHOLE
  - ⊙ WATER MANHOLE
  - ⊙ GAS SHUT-OFF
  - ⊙ WATER SHUT-OFF
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  - ⊙ GAS METER
  - ⊙ SIAMSESE SPRINKLER
  - ⊙ WATER GATE
  - ⊙ IRRIGATION CONTROL VALVE
  - ⊙ CLEANOUT
  - ⊙ BOSTON WATER WORKS
  - ⊙ FIRE HYDRANT
  - ⊙ DOWN SPOUT
  - ⊙ UTILITY POLE
  - ⊙ UTILITY POLE WITH CONDUIT LINE TO GROUND
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  - ⊙ TRASH CAN
  - ⊙ FACES
  - ⊙ FIRE ALARM CALL BOX
  - ⊙ EMERGENCY PHONE BOOTH
  - ⊙ METAL POST
  - ⊙ CONCRETE POST
  - ⊙ PARKING METER
  - ⊙ SIGN POST
  - ⊙ HANDICAP PARKING
  - ⊙ SPOT ELEVATION
  - ⊙ CHAIN LINK FENCE
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  - ⊙ VERTICAL GRANITE CURB
  - ⊙ VERTICAL CONCRETE CURB
  - ⊙ WHEELCHAIR RAMP
  - ⊙ LANDSCAPE TIMBER
  - ⊙ RIM ELEVATION EQUALS
  - ⊙ INVERT ELEVATION EQUALS
  - ⊙ TOP OF HOOD ELEVATION EQUALS
  - ⊙ NO PIPES VISIBLE
  - ⊙ TOP OF WATER
  - ⊙ RCP REINFORCED CONCRETE PIPE
  - ⊙ CPP CORRUGATED PLASTIC PIPE
  - ⊙ PVC POLYVINYL CHLORIDE PIPE
  - ⊙ CIP CAST IRON PIPE
  - ⊙ VCP VITRIFIED CLAY PIPE
  - ⊙ WF WETLAND FLAG
  - ⊙ WETLAND
  - ⊙ CATV UNDERGROUND CABLE TELEVISION LINE
  - ⊙ D UNDERGROUND DRAIN LINE
  - ⊙ E UNDERGROUND ELECTRIC LINE
  - ⊙ G UNDERGROUND GAS LINE
  - ⊙ S UNDERGROUND SEWER LINE
  - ⊙ T UNDERGROUND TELEPHONE LINE
  - ⊙ CM UNDERGROUND COMMUNICATION LINE
  - ⊙ W UNDERGROUND WATER LINE
  - ⊙ OHW OVERHEAD WIRES
  - ⊙ MONITORING WELL

PURSUANT TO RSA 676:18 III AND RSA 671:14  
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN HEREON ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.  
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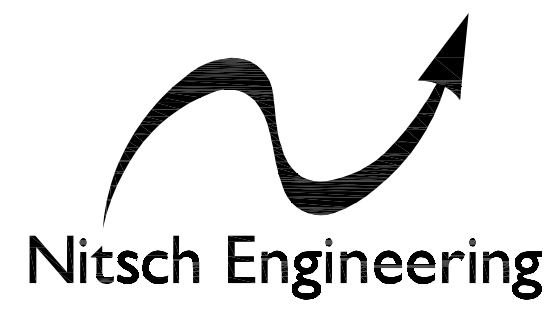
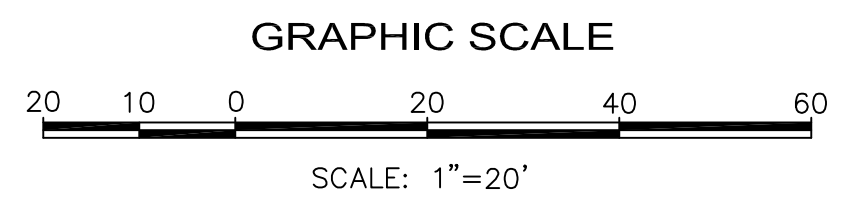
*Jamie Gayton*  
 JAMIE G. GAYTON, PLS #01022  
 JULY 29, 2020  
 DATE



PLANNING BOARD CASE NUMBER \_\_\_\_\_  
 APPROVED BY THE EXETER PLANNING BOARD:  
 CHAIRPERSON \_\_\_\_\_  
 DATE: \_\_\_\_\_

NOTE: WETLANDS WERE DELINEATED BY GES INC. IN 2015 AND VERIFIED AND REDELINEATED IN NOVEMBER 2019 PER US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012 AND FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE.

SEE SHEET  
 EX-1



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- ▶ Land Surveying
- ▶ Transportation Engineering
- ▶ Structural Engineering
- ▶ Green Infrastructure
- ▶ Planning
- ▶ GIS

PROJECT # JGG  
 FILE: 13418.1\_TOPO1.dwg  
 SCALE: 1"=20'  
 DATE: 01/06/2020  
 PROJECT MANAGER: JGG  
 FIELD BOOK: 684 & 759  
 DRAFTED BY: MS  
 CHECKED BY: JGG

REV.	DESCRIPTION	DATE
2	BASEMENT DATA	2020/07/29
1	24X36 SHEETS	2020/02/27
	COMMENTS	DATE
	REVISIONS	

**EXISTING CONDITIONS SURVEY**  
 FISHER THEATER  
 69 FRONT STREET, EXETER, NEW HAMPSHIRE  
 PREPARED FOR:  
**PHILLIPS EXETER ACADEMY**  
 20 MAIN STREET, EXETER, NEW HAMPSHIRE 03833

SHEET:  
**EX-2**  
 OF 2 REV.

CASE #20-12

ZONING SUMMARY:

OWNER OF RECORD / APPLICANT:  
PHILLIPS EXETER ACADEMY  
20 MAIN STREET  
EXETER, NEW HAMPSHIRE 03833  
603-777-4442

PROPERTY ADDRESS: TAN LANE  
TAX SHEET 72 LOT 209  
ZONED R-2, RURAL SINGLE FAMILY RESIDENCE  
WITH HISTORICAL DISTRICT OVERLAY

	REQUIRED	PROVIDED
LOT AREA:	15,000 S.F.	8.0 ACRES (PER TOWN GIS)
LOT WIDTH:	100' MIN.	> 100 FT.
DEPTH:	100' MIN.	> 100 FT.
FRONT SETBACK	25' MIN.	> 58.0± FT.
SIDE SETBACK	15' MIN.	> 16.3± FT.
REAR SETBACK	25' MIN.	> 80.7± FT.
OPEN SPACE	40% MIN.	> 60%

PARKING SUMMARY

- CAMPUS PARKING WITHIN PROJECT AREA SERVED BY DRIVEWAYS OFF TAN LANE AND FRONT STREET:
- EXISTING: 3 SPACES (DOW HOUSE)
- PROPOSED: 12 SPACES
- ADDITIONAL PARKING IS AVAILABLE AT THE TAN LANE PARKING LOT

REFERENCE PLAN:

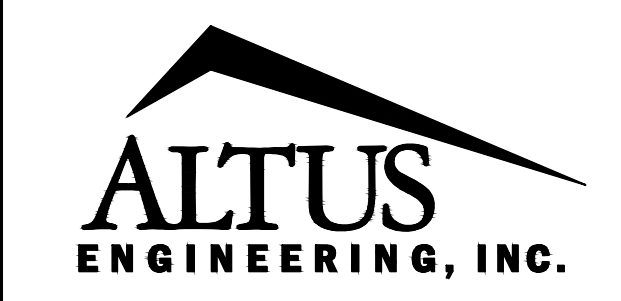
- EXISTING CONDITIONS SURVEY PERFORMED AND PROVIDED BY NITSCH ENGINEERING, DATED FEBRUARY 27, 2020.
- WETLANDS MAPPING WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC. IN 2015 AND VERIFIED IN DECEMBER OF 2019.

SITE NOTES:

- ZONING RELIEF REQUIRED FOR BUILDING HEIGHT.
- SPECIAL EXEMPTION REQUIRED FOR EXPANSION OF NON-CONFORMING USE IN RESIDENTIAL (R-2) ZONING DISTRICT.
- CONDITIONAL USE PERMIT REQUIRED FOR WORK WITHIN THE WETLANDS BUFFER LIMITS.
- WAIVERS REQUIRED FOR WETLAND SETBACK REQUIREMENTS AND GRADING WITHIN 5 FT OF PROPERTY LINE.
- SNOW STORAGE WITHIN WETLAND BUFFER AREA SHALL BE UNTREATED SNOW AND SHALL COMPLY WITH NHDES SNOW DISPOSAL GUIDELINES DOCUMENT WMB-3, 2007. SIGNAGE TO BE PROVIDED IN PARKING AREA INDICATING REQUIREMENTS, AS APPROVED BY THE EXETER PLANNING BOARD.

KEY NOTES:

- 01 LIMIT OF PAVEMENT REPAIR
- 02 CONSTRUCT BITUMINOUS ASPHALT PAVEMENT
- 03 CONSTRUCT NEW STEPS (SEE L.A. DWG.S)
- 04 CONSTRUCT PATIO /COURTYARD AREA; (SEE L.A. DWG.S FOR DETAILS)
- 05 PROP. BIKE RACK (SEE L.A. DWG.S FOR DETAILS)
- 06 CONSTRUCT 7'-WIDE BIT. CONCRETE SIDEWALK; AREAS WITHIN 25' FT WETLAND BUFFER TO BE CONSTRUCTED OF POROUS MATERIALS; SEE L.A. DWGS FOR DETAILS
- 07 CONSTRUCT NEW ENTRYWAY (SEE L.A. DWG.S FOR DETAILS)
- 08 RECONSTRUCT 4 FT CHAINLINK FENCE; REPLACE EXISTING FENCE AND RELOCATE TO PROPERTY LINE
- 09 CONSTRUCT CONCRETE RETAINING WITH HANDRAIL AND BOLLARDS; SEE DETAILS
- 10 INSTALL SMALL BLOCK GRAVITY RETAINING WALL; SEE DTLS
- 11 INSTALL "FACULTY RESIDENT PARKING ONLY" SIGN (ARROW POINT TO LEFT)
- 12 PROPOSED DRAINAGE SYSTEM; SEE GRADING AND DRAINAGE PLAN
- 13 CONSTRUCT POROUS PAVERS; (SEE DETAILS)
- 14 APPROXIMATE LIMIT OF WORK AREA. CONTRACTOR SHALL PROVIDE SAFE AND SECURE WORK AREA.
- 15 INSTALL VERTICAL GRANITE CURBING (SEE DETAILS)
- 16 INSTALL SLOPED GRANITE CURBING (AND DRIP STRIP ADJACENT TO BUILDING); (SEE DETAILS)
- 17 INSTALL ADA VAN ACCESSIBLE PARKING; INSTALL ADA SIGNS; SEE GRADING AND DRAINAGE PLAN
- 18 RECONSTRUCT SIDEWALK AND CURBING AT LOCATION OF TEMPORARY CONSTRUCTION EXIT
- 19 SEE LANDSCAPING PLANS FOR TREES AND PROPOSED PLANTINGS (TYPICAL)
- 20 STORMWATER MANAGEMENT SYSTEM; SEE GRADING AND DRAINAGE PLAN, C4.01 (TYPICAL)
- 21 USE PAVEMENT FABRIC INTERLAYER TO REDUCE REQUIRED PAVEMENT THICKNESS AND AVOID ROOT IMPACTS
- 22 DRAINAGE OUTFALL. SEE GRADING AND DRAINAGE PLANS
- 23 TRASH / RECYCLING STORAGE; CONSTRUCT CONCRETE PAD FOR TRASH TOTE STORAGE WITH FENCE ENCLOSURE; SEE L.S. DWGS
- 24 NOT USED
- 25 NEW TRANSFORMER WITH ENCLOSURE; SEE ELECTRICAL AND L.S. DWGS FOR DETAILS
- 26 NEW GENERATOR; SEE ELEC DWGS
- 27 CONSTRUCT NEW WOODEN STEPS TO PORCH



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Boston, MA 02210-1135  
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ISSUED FOR:  
PLANNING BOARD APPROVAL

ISSUE DATE:  
JULY 31, 2020

NO.	DESCRIPTION	BY	DATE
0	PB SUBMITTAL	CDB	07/31/20

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APPROVED BY: JKC  
DRAWING FILE: 5030\_071620.DWG

SCALE: 1"=20'

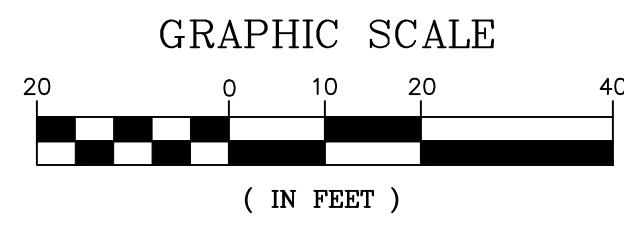
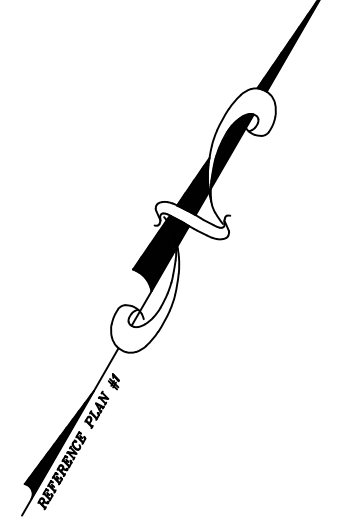
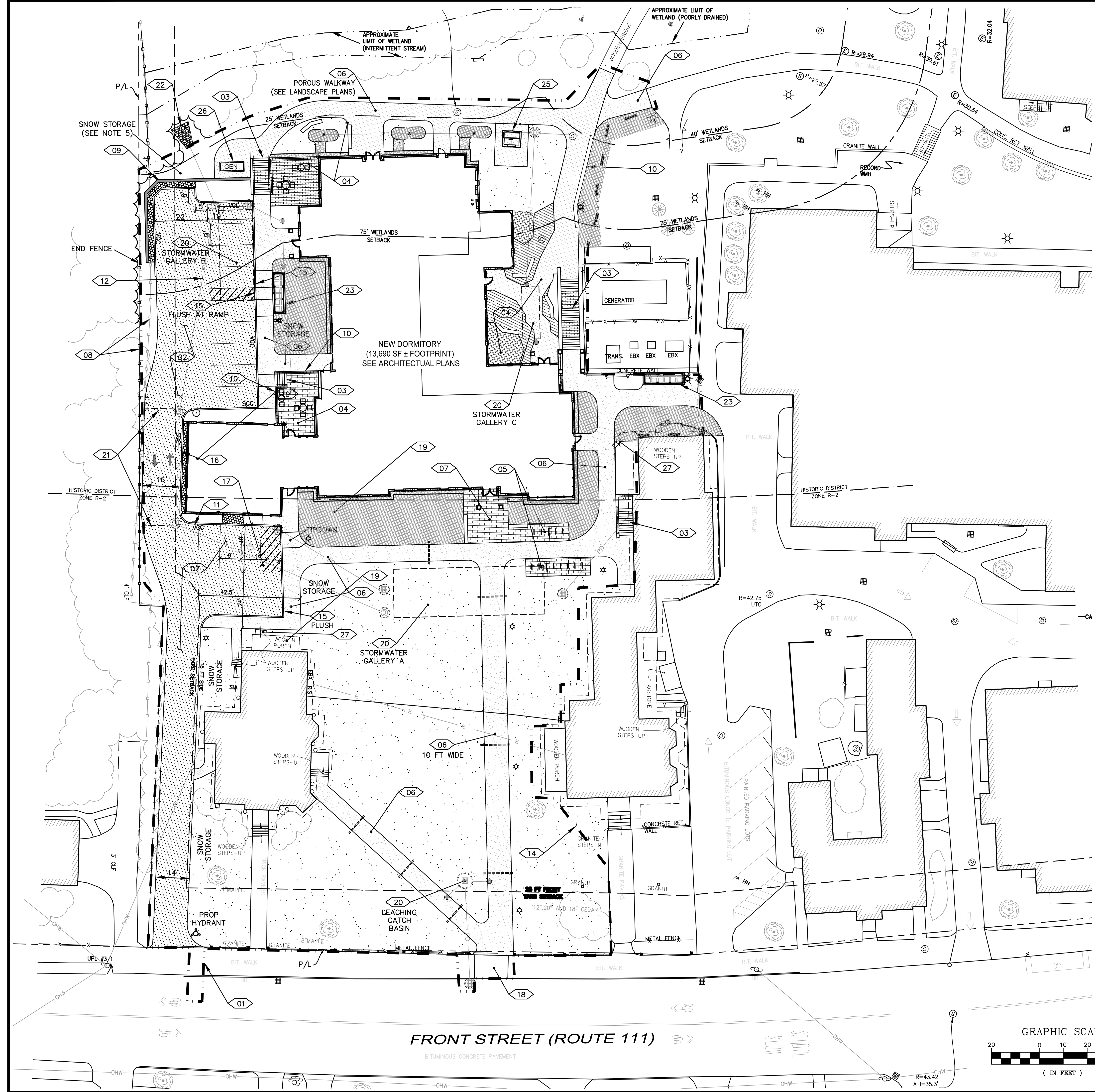
OWNER/APPLICANT:  
PHILLIPS EXETER ACADEMY  
20 MAIN STREET  
EXETER, NH 03833

PROJECT:  
PHILLIPS EXETER ACADEMY  
NEW DORMITORY

ASSESSOR PARCEL 72, LOT 209

TITLE:  
SITE PLAN

SHEET NUMBER:  
C3.01



FRONT STREET (ROUTE 111)

P5030





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ENGINEERING, INC.

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Boston, MA 02210-1135

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ISSUE DATE:  
**JULY 31, 2020**

NO. DESCRIPTION	BY	DATE
0 PB SUBMITAL	CDB	07/31/20

DRAWN BY: \_\_\_\_\_ CDB  
APPROVED BY: \_\_\_\_\_ JKC  
DRAWING FILE: 5030\_071620.DWG

SCALE: **1"=20'**

OWNER/APPLICANT:  
**PHILLIPS EXETER ACADEMY  
20 MAIN STREET  
EXETER, NH 03833**

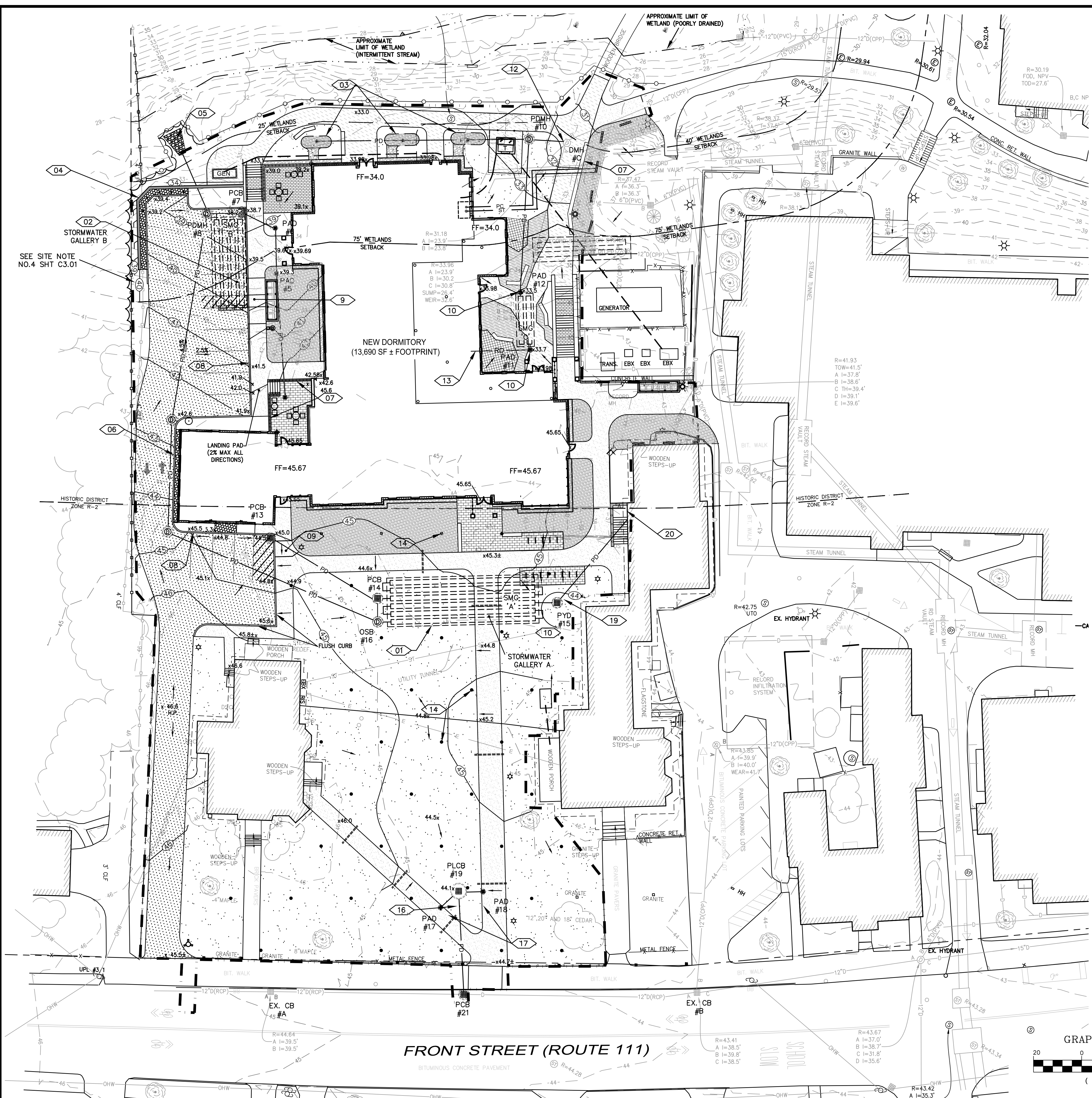
PROJECT:  
**PHILLIPS EXETER ACADEMY  
NEW DORMITORY**

ASSESSOR PARCEL 72, LOT 209

TITLE:  
**GRADING AND  
DRAINAGE PLAN**

SHEET NUMBER:

**C4.01**



**KEY NOTES:**

- 01 INSTALL STORMWATER MANAGEMENT GALLERY A; 6 ROWS OF 24" PERF. PIPE AT 60 FT LENGTH; COORDINATE STORMWATER GALLERY A LOCATION WITH GEOTHERMAL WELL LOCATIONS; SEE UTILITY PLAN AND MECHANICAL SITE PLAN
- 02 INSTALL STORMWATER MANAGEMENT GALLERY B; 3 ROWS OF 18" PERF. PIPE AT 40 FT LENGTH; SEE DETAILS
- 03 INSTALL RAINGARDEN (3, TYP - SEE LS PLANS FOR DETAILS)
- 04 CONSTRUCT CONCRETE RETAINING WALL; INSTALL PEDESTRIAN RAIL ALONG TOP OF WALL; SEE DETAILS
- 05 INSTALL 12" DRAIN OUTFALL WITH FLARED END SECTION AND RIP RAP PROTECTION, 5-INCH AVE DIA STONE 14-INCHES IN DEPTH, 3 FT BEG WIDTH, 8 FT END WIDTH, AND 10 FT LENGTH
- 06 INSTALL DRIP STRIP AND SLOPED GRANITE CURBING
- 07 INSTALL SMALL BLOCK GRAVITY RETAINING WALL; INSTALL SAFETY RAILING WHERE SHOWN; SEE L.A. DWGS.
- 08 INSTALL VERTICAL GRANITE CURB
- 09 INSTALL CURB RAMP WITH TIPDOWNS; SET VGC FLUSH
- 10 INSTALL NEW CATCH BASIN OR STORM DRAIN MANHOLE (TYP)
- 11 GRADE HANDICAP ACCESSIBLE AREA; 1.75% CROSS SLOPE MAXIMUM IN ANY DIRECTION.
- 12 CORE HOLE FOR 12" STORM DRAIN CONNECTION; RECONSTRUCT DMH TOP INSTALL DRAIN GRATE
- 13 CONNECT ROOF DRAIN TO SUBSURFACE CHAMBER INLET; (SEE ARCH DWG'S FOR ROOF DRAIN DETAILS)
- 14 PROPOSED GEO-THERMAL WELL LOCATIONS; SEE MECH. SITE PLAN, MS 1.00.
- 15 INSTALL TREE BOX FILTER; SEE DETAILS
- 16 PROPOSED LEACHING CATCH BASIN; SEE DETAILS
- 17 PROPOSED AREA DRAIN; SEE DETAILS
- 18 INSTALL FLUSH VERTICAL GRANITE CURB
- 19 FORCE DRAIN LINE FROM SUMP AT FRONT STREET DORM; SEE STRUCTURAL PLANS
- 20 SEE STRUCTURAL PLANS FOR STAIRS DETAILS

**NOTES:**

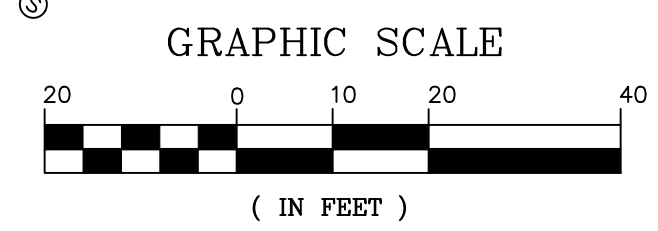
- 1. EXISTING CONDITIONS SURVEY PERFORMED AND PROVIDED BY NITSCH ENGINEERING, SEE EXISTING CONDITIONS SURVEY, SHEETS EX-1 AND EX-2.
- 2. WETLANDS DELINEATION BY GOVE ENVIRONMENTAL SERVICES, INC., EXETER, NH.
- 3. HIGH INTENSITY SOILS SURVEY (HISS) / SITE SPECIFIC SOIL MAPPING (SSM) DELINEATION PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC., IN 2015 AND VERIFIED IN 2019.

**SOIL LEGEND:**  
THE EXISTING SITE HAS BEEN IDENTIFIED AS SOIL TYPE 211/24 HISS/SSM WITH AGAWAM SOIL GROUP, HYDROLOGIC SOIL GROUP B.

HISS SYMBOL	SSSM EQUIVALET	MAP UNIT NAME	HSG
211	24	AGAWAM	B
766	799	PAVEMENT/GRAVEL/BLDG.	

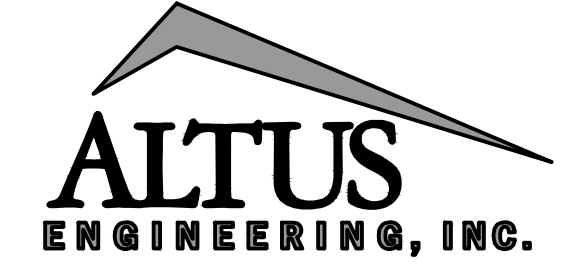
**PROPOSED DRAINAGE LEGEND**

- 41 EXISTING CONTOUR
- 41 PROPOSED CONTOUR
- 43.1 PROPOSED SPOT GRADE
- PD PROPOSED DRAIN LINE
- PCB PROPOSED CATCH BASIN (PCB)
- PDM PROPOSED STORM DRAIN MANHOLE (PDM)
- PAD PROPOSED AREA DRAIN (PAD)
- PLCB PROPOSED LEACHING CATCH BASIN (PLCB)
- SMG PROPOSED STORMWATER MANAGEMENT GALLERY (SMG)



THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

P5030



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**kzla**  
 Kyle Zick Landscape Architecture, Inc.  
 36 Bromfield Street Suite 202 617 451-1018 Tel  
 Boston, MA 02108 www.kylezick.com

**SLAM**  
 The S.L.I.A.M. Collaborative  
 250 Summer Street  
 4th Floor  
 Boston, MA 02210-1135  
 phone 617 357-1800  
 www.slamcoll.com

ISSUED FOR:  
 PLANNING BOARD APPROVAL  
 ISSUE DATE:  
 JULY 31, 2020

REVISIONS NO.	DESCRIPTION	BY	DATE

DRAWN BY: \_\_\_\_\_ RB  
 APPROVED BY: \_\_\_\_\_ KZ  
 DRAWING FILE: \_\_\_\_\_ 5030.SITE.DWG

SCALE: \_\_\_\_\_ 1"=20'

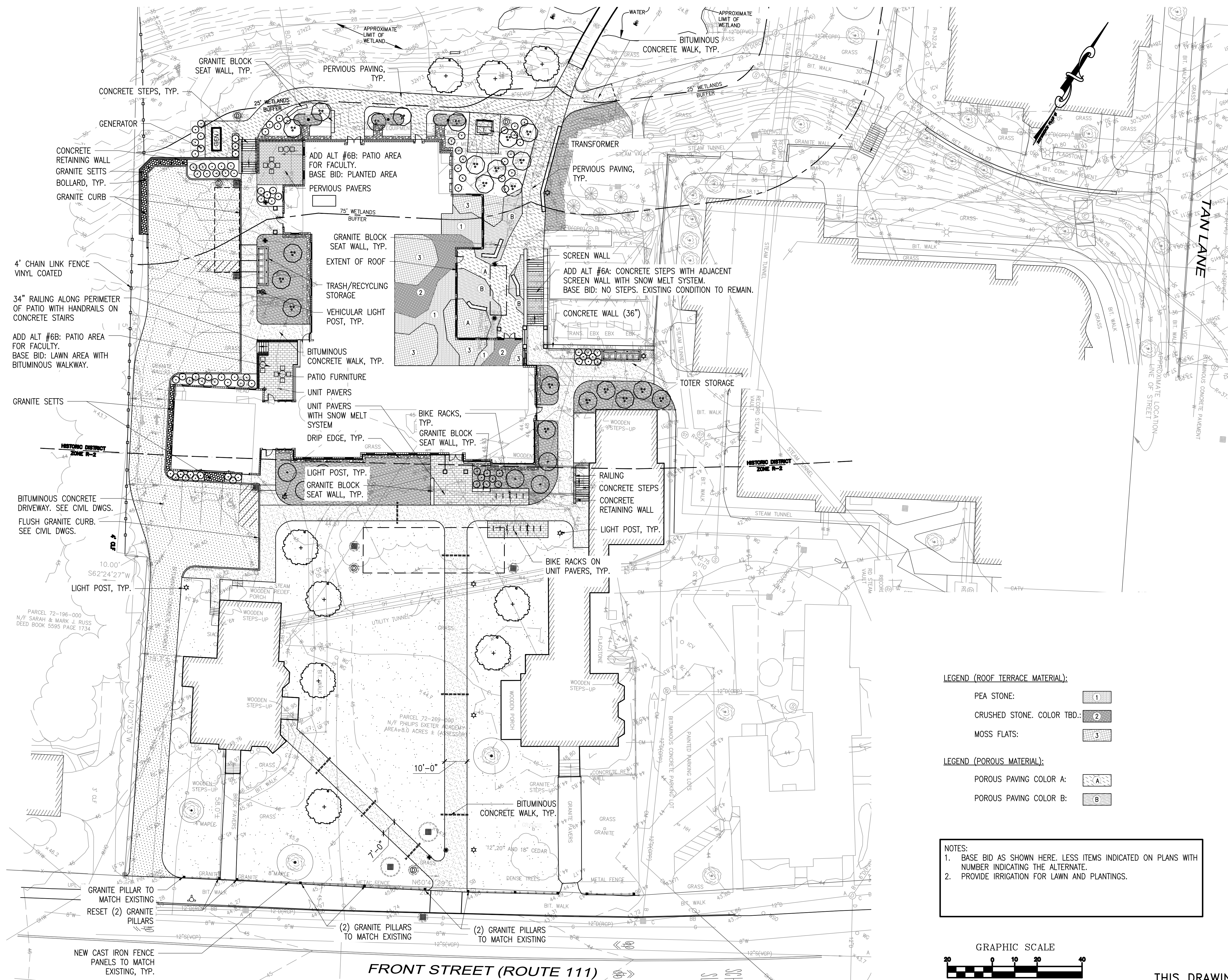
OWNER:  
**PHILLIPS EXETER ACADEMY**  
 20 MAIN STREET  
 EXETER, NH 03833

PROJECT:  
**PHILLIPS EXETER ACADEMY**  
**NEW DORMITORY**

ASSESSOR PARCEL 72, LOT 29

TITLE:  
**LAYOUT & MATERIALS PLAN**

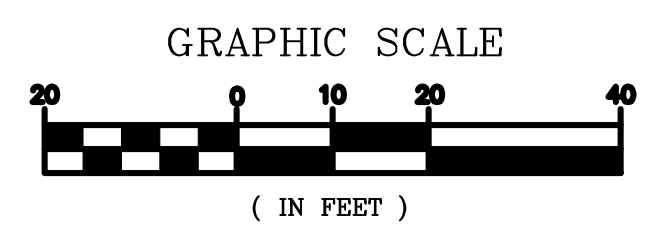
SHEET NUMBER:  
**L1.01**



- LEGEND (ROOF TERRACE MATERIAL):**
- PEA STONE: [1]
  - CRUSHED STONE, COLOR TBD.: [2]
  - MOSS FLATS: [3]
- LEGEND (POROUS MATERIAL):**
- POROUS PAVING COLOR A: [A]
  - POROUS PAVING COLOR B: [B]

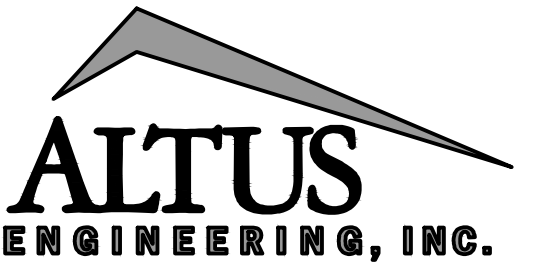
**NOTES:**

1. BASE BID AS SHOWN HERE. LESS ITEMS INDICATED ON PLANS WITH NUMBER INDICATING THE ALTERNATE.
2. PROVIDE IRRIGATION FOR LAWN AND PLANTINGS.



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P5030



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ISSUED FOR:  
PLANNING BOARD APPROVAL

ISSUE DATE:  
JULY 31, 2020

REVISIONS  
NO. DESCRIPTION BY DATE

DRAWN BY: RB  
APPROVED BY: KZ  
DRAWING FILE: 5030\_SITE.DWG

SCALE:  
1"=20'

OWNER:  
PHILLIPS EXETER ACADEMY  
20 MAIN STREET  
EXETER, NH 03833

PROJECT:  
PHILLIPS EXETER ACADEMY  
NEW DORMITORY

ASSESSOR PARCEL 72, LOT 29

TITLE:

PLANTING  
PLAN

SHEET NUMBER:

L1.02

PLANTING NOTES:

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE THREE INCHES (3") OF BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PROVIDE FULL DEPTHS OF LOAM AS NOTED ON DETAILS AND AS SPECIFIED, FOR ALL PLANTING.
- CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (WALLS, FENCE, FOOTINGS, TREE ROOTBALLS, PROPOSED LIGHTING FOOTINGS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
- LIMIT OF WORK LINE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- IN AREAS WHERE EXISTING PAVEMENTS ARE REMOVED AND ARE PROPOSED AS LAWN, THE CONTRACTOR SHALL REMOVE THE PAVEMENT AND BASE, PROVIDE FILL AND 6" TOPSOIL PRIOR TO SEEDING.

PLANT SCHEDULE

SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES					
AC	8	AMELANCHIER CANADENSIS	SERVICEBERRY	10' HT	B&B CLUMP
AP	7	ACER PENNSYLVANICUM	STRIPED MAPLE	10' HT	
AR	1	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE 'OCTOBER GLORY'	3" CAL.	
AS	2	ACER SACCHARUM 'FALL FIESTA'	SUGAR MAPLE 'FALL FIESTA'	3" CAL.	
CO	1	CELTIS OCCIDENTALIS	HACKBERRY	3" CAL.	
GB	6	GINKGO BILOBA 'GOLD SPIRE'	MAIDENHAIR TREE 'GOLD SPIRE'	3" CAL.	
GT	1	GLEDITSIA TRIACANTHOS 'SKYLINE'	HONEY LOCUST 'SKYLINE'	3" CAL.	
HV	7	HAMAMELIS VIRGINIANA	WITCHHAZEL	6'-8" HT	
NS	3	NYSSA SYLVATICA	BLACK TUPELO	3" CAL.	
TC	1	TILIA CORDATA 'GREENSPIRE'	LITTLELEAF LINDEN	3" CAL.	
UA	1	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM 'PRINCETON'	3" CAL.	
SHRUBS					
BS	35	BUXUS SEMPERVIRENS 'NEWPORT BLUE'	BOXWOOD 'NEWPORT BLUE'	30" HT.	
CA	5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET 'HUMMINGBIRD'	24" HT.	
CS	20	CORNUS SERICEA 'KELSEY'	KELSEY'S REDTWIG DOGWOOD	18" HT.	
FG	10	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" HT.	
IG	13	ILEX GLABRA	INKBERRY	24" HT.	

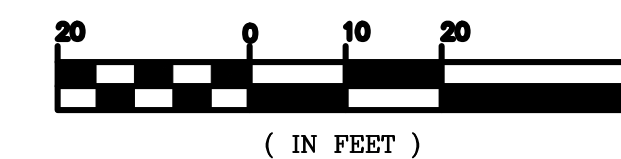
LEGEND (PLANTING):

LOAM AND SEED: [Pattern] SEED MIX 2: [Pattern] MOSS PLANTINGS: [Pattern]

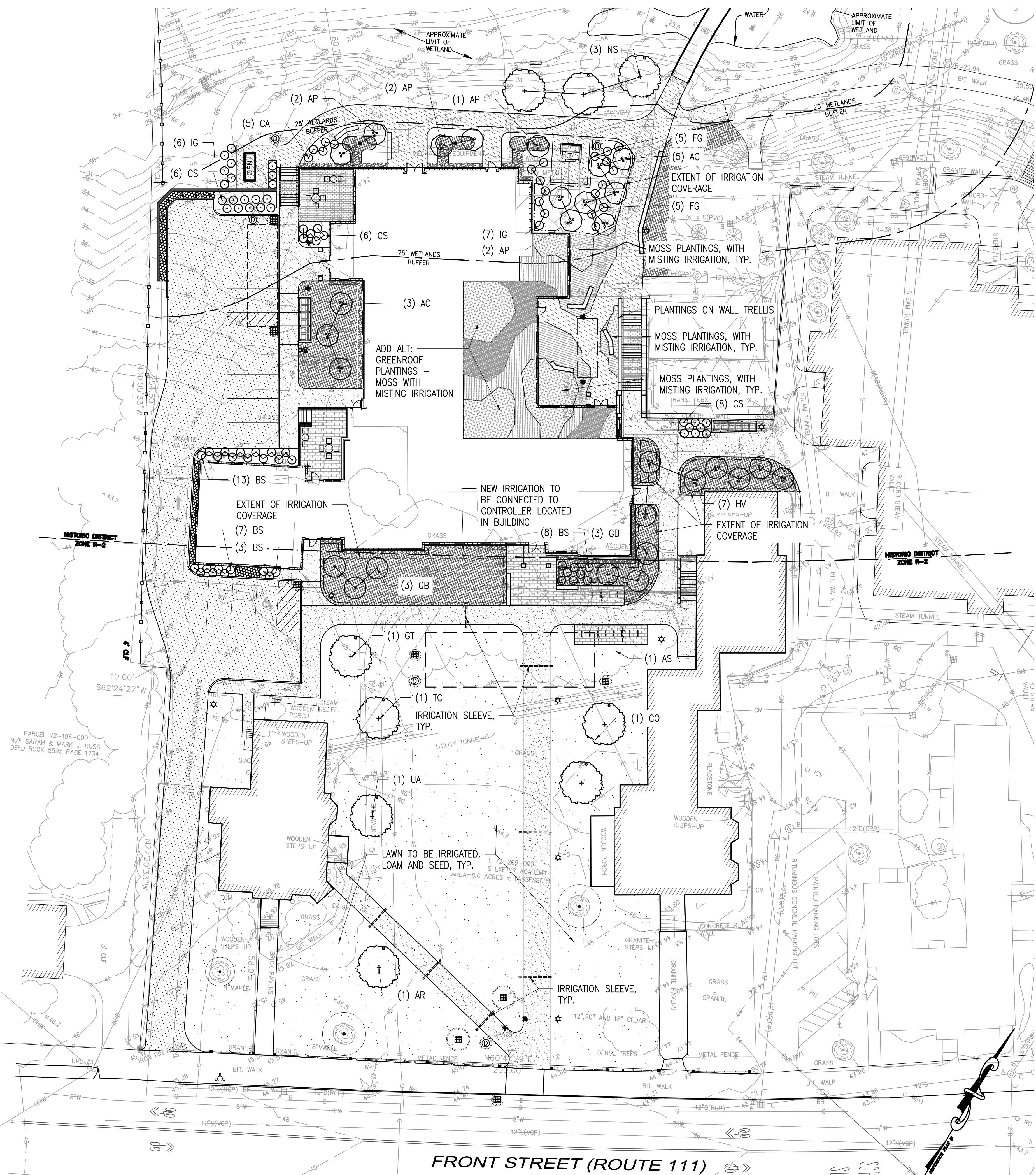
NOTES:

- BASE BID AS SHOWN HERE. LESS ITEMS INDICATED ON PLANS WITH NUMBER INDICATING THE ALTERNATE.
- PROVIDE IRRIGATION FOR LAWN AND PLANTINGS.

GRAPHIC SCALE



THIS DRAWING HAS NOT BEEN  
RELEASED FOR CONSTRUCTION



FRONT STREET (ROUTE 111)

JTC  
DMS

P5030

RENDERING - NORTH WEST AERIAL VIEW



Town of Exeter										
2021 Preliminary Conservation Commissions Budget										
Org	Object	Description	2019 Budget	2019 Actual	2020 Budget	2020 Actual as of 6/30/20	2021 Prelim Budget	2021 Budget vs. 2020 Budget \$ Increase/-(Decrease)	2021 Budget vs. 2020 Budget %-Difference	Explanation
<b>GENERAL FUND</b>										
<b>Planning &amp; Development</b>										
<b>Conservation Commission</b>										
01461105	51200	CC- Sal/Wages PT	1,000	836	1,000	353	1,000	-	0.0%	Recording secretaries @ \$15/hr avg about 6 hr/mtg
01461105	51210	CC- Sal/Wages Temp	2,520	2,622	2,520		2,520	-	0.0%	Interns 2@12/hr, 15 hrs/wk for 7 wks
		Salaries Total	3,520	3,458	3,520	353	3,520	-	0.0%	
01461105	52200	CC- FICA	218	207	218	22	218	-	0.0%	Based on wages: 6.2%
01461105	52210	CC- Medicare	51	48	51	5	51	-	0.0%	Based on wages: 1.45%
		Benefits Total	269	255	269	27	269	-	0.0%	
01461105	55022	CC- Building Maintenance						-		MOVED TO TOWN BUILDINGS
01461105	55044	CC- Community Services	850	936	500	90		(500)	-100.0%	Covers outreach event costs: Anticipated for 2020 include \$250 Spring Tree, \$50 for 5 outreach events
01461105	55051	CC- Conservation Land Administration	1,350	1,383	1,350			(1,350)	-100.0%	Combination of Cons Land Admin and Trail Mgmt and Maintenance activities such as property monitoring and maintenance needs, bridge repair, kiosk map update.
01461105	55058	CC- Contract Services	1,000	-	1,000			(1,000)	-100.0%	Support for Raynes Improvements
01461105	55088	CC- Dues	930	825	1,000	700		(1,000)	-100.0%	For board to join related organizations: SERLAC (\$150), NHACC (\$700), SELT (\$150)
01461105	55091	CC- Education/Training	170	180	450			(450)	-100.0%	Training for board members and/or natl resource planner (NHACC \$260, \$190 other workshops)
01461105	55171	CC- Legal/Public Notices	50	-	50			(50)	-100.0%	Covers approx 1 legal notice typ in newspaper
01461105	55224	CC- Postage	20	22	20			(20)	-100.0%	Mailings to ConCom members (mostly elect distr)
01461105	55247	CC- Registry of Deeds	30	-	30			(30)	-100.0%	Fee for registry of deeds (typically printing plans, deeds)
01461105	55254	CC- Roadside Mowing	1,850	1,600	1,850			(1,850)	-100.0%	Mowing White, Perry, Irvine and 1/2 of Morrissette \$1,850
01461105	55304	CC- Trail Mgmt Maintenance	-		-			-		Moved to Conservation Land Administration
		General Expenses Total	6,250	4,946	6,250	790	-	(6,250)	-100.0%	
		<b>Conservation Commission Total</b>	<b>10,039</b>	<b>8,659</b>	<b>10,039</b>	<b>1,170</b>	<b>3,789</b>	<b>(6,250)</b>	<b>-62.3%</b>	

Exeter Conservation Commission  
July 14, 2020  
Virtual Meeting  
Draft Minutes

**Call to Order**

1. Introduction of Members Present (by Roll Call)

Present at tonight's meeting were by roll call, Chair Andrew Koff, Dave Short, Treasurer, Sally Ward, Clerk, Bill Campbell, Carlos Guindon, Alyson Eberhardt, Ginny Raub, Julie Gilman( Select Board Liaison) Nick Campion (Alternate), Donald Clement (Alternate) and Kristen Osterwood (Alternate) and Kristen Murphy, Natural Resource Planner.

Members present indicated there was no one else present in the room with them during this meeting.

Absent: Vice-Chair Trevor Mattera, Lindsey White(Alternate)

Mr. Koff called the meeting to order at 7 PM.

Mr. Koff read the meeting preamble indicated that an emergency exists and the provisions of RSA 91-A:2 III (b) are being invoked. As federal, state and local officials have determined gatherings of ten or more people pose a substantial risk to the community and the meeting imperative to the continued operation of Town and government and services which are vital to public, health, safety and confidence. This meeting will be conducted without a quorum physically present in the same location and welcome members of the public accessing the meeting remotely.

2. Public Comment

None.

**Action Items**

1. Committee Reports

a. Property Management

i. Managing Multi-Use Activities at Raynes Farm

Ms. Ward reported Stewardship met recently and indicated issues with multiple users there. Occasionally agriculture, recreation and wildlife conflict with each other. Mr. Clement noted when the property was obtained agriculture was to be the priority. Mr. Koff indicated the barn needs to be preserved as well. Ms. Gilman asked if there was a formal application for activities and a description of events.

Ms. Ward noted the first cut of the haying season occurs July 15<sup>th</sup> because there are birds on the property earlier in the season. The contract is through 2022. The farmer would like to do a second cut but it could conflict with recreational uses. The Stewardship Committee decided it would be best to meet with the farmer at the beginning of the season to communicate.

ii. Outdoor Events at Raynes Farm

Ms. Murphy noted Mr. Anderson had an event approved for August. Mr. Dean indicated Raynes Farm events should go to the Select Board. Ms. Gilman indicated the Health Officer has also been reviewing these applications and permits. Ms. Raub noted the events should eventually get to the Select Board as a simple awareness matter. The use contract is very specific. Ms. Gilman recommended having the form adopted. A lot of concerns would be addressed by the Health Officer.

Ms. Ward indicated Mr. Anderson was approved for a music event, pre-COVID and had new idea to have multiple events following state guidelines and signing waivers of liability.

Mr. Anderson indicated he wanted to do something safe. There is enough space to host up to 200 people but would keep closer to half that capacity. The dates are t/b/d. Masks would be worn and there would be reminder signage.

Mr. Campbell recommended Ms. Murphy and Ms. Ward meet with Mr. Dean and/or the Health Officer to review the application with them, look at next month then move forward.

MOTION: Ms. Ward motioned to approve in concept and send for review to sub group including appropriate authorization to return to Commission next meeting. Mr. Campbell seconded the motion.

Ms. Ward indicated the subcommittee would be herself, Kristen Murphy, Russell Dean and Health Officer.

Ms. Raub asked to clarify whether this event specifically fell under this motion or whether they were adopting protocol for any event and Mr. Koff indicated just for Mr. Anderson's proposal.

Mr. Clement recommended narrowing down to one event at a time.

VOTE: A roll call vote was taken Koff – aye, Short – aye, Ward – aye, Campbell – aye, Guindon – aye, Raub – aye, Gilman – aye. Motion passed 7-0-0.

b. Trails

i. Trail Passport Supplies – Expense Request \$160

Ms. Murphy indicated trail markers have been damaged and need replacement. The cost is \$160.

**MOTION:** Mr. Campbell motioned to approve \$160.00 for trail marker replacement. Ms. Ward seconded the motion. A roll call vote was taken Koff – aye, Short – aye, Ward – aye, Campbell – aye, Guindon – aye, Raub – aye, Gilman – aye. Motion passed 7-0-0.

c. Outreach Events

i. Virtual Bird Walk at Raynes

Ms. Murphy reported the video is available on the website and Facebook. Bob Glowacky did a great job with it. There is a second video possible with turtle nestings.

ii. Pollinator Pathways partnership consideration

Ms. Murphy reported Pollinator Pathways had a workshop to discuss their program and she and Ginny attended. The goal is to encourage residents to convert even small portions of their property for pollinator habitat. Kingston initiated it and now and other conservation commissions have joined.

Mr. Clement asked if anyone could come and speak with us and Ms. Murphy indicated they were scheduled in February but . A resident who is a landscape designer reached out to Ms. Murphy to encourage families to go out on nature tours and have a virtual map for feeding stations for pollinators. Ms. Murphy just registered two properties as weigh stations.

7. Approval of Minutes: June 9, 2020

Edits were recommended to Pages 2, 4 and 5.

**MOTION:** Mr. Campbell motioned to accept the June 9, 2020 minutes as amended. Mr. Guindon seconded the motion. A roll call vote was taken Koff – aye, Short – aye, Ward – aye, Campbell – aye, Guindon – aye, Raub – abstain, Gilman – abstain. Motion passed 5-0-2.

8. Correspondence

a. Gateway Project Update



Ms. Murphy reviewed the concerns raised in Pete Steckler's letter concerning the vernal pool, question of whether a bearded iris was found and a Swamp White Oak. Planning Board requested third-party review of the wetlands. Mr. Sharples is looking for a wetland scientist to conduct this. The Planning Board will meet again on July 23<sup>rd</sup>.

Mr. Guindon indicated he was certain he saw a Swamp White Oak out there and wondered who would make a final determination as to special status plant species.

Ms. Murphy noted the Commission provided recommendation on CUP already but the memo indicated they would like additional input should impacts increase because at that time the application had not been to the Technical Review Committee. The presence of a vernal pool would increase buffer impacts. Ms. Gilman noted UNH Extension had some expertise. Ms. Murphy recommended they not be specific on who to recommend but just indicate they recommend a qualified botanist. Mr. Campbell recommended the Commission be able to review the third-party report as it may change the Commission's view.

Mr. Koff recommended they minimize impacts to the vernal pool buffer.

**MOTION:** Mr. Campbell motioned to send a memo to Planning Board outlining the Commission's concerns. Mr. Short seconded the motion. A roll call vote was taken Koff – aye, Short – aye, Ward – aye, Campbell – aye, Guindon – aye, Raub – aye, Gilman – aye. Motion passed 7-0-0.

b. Stone Leighton Mowing

Ms. Murphy noted a resident expressed concerns about the property not being mowed regularly for several years. Should have had a lease agreement with them. Have every intention to hay the field.

Ms. Raub asked if this was on Juniper Road and Ms. Murphy indicated it was.

9. Other Business

10. Next Meeting: Date Scheduled: July 14, 2020, Submission Deadline: July 31, 2020

**Adjournment**

**MOTION:** Mr. Campbell moved to adjourn at 9:17 PM. Mr. Koff seconded the motion. A roll call vote was taken, all were in favor, the motion passed unanimously.

Respectfully submitted,

Daniel Hoijer, Recording Secretary