



TOWN OF EXETER, NEW HAMPSHIRE

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www.exeternh.gov

PUBLIC NOTICE EXETER CONSERVATION COMMISSION

Monthly Meeting

The Exeter Conservation Commission will in the Nowak Room, Exeter Town Offices
at 10 Front Street, Exeter on **Tuesday, Sept 14th, 2021 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items:

1. Final Draft – Tree Ordinance
2. Wetland Conditional Use Permit Application for impacts associated with a 12-lot single family open space residential subdivision at 19 Watson Road, Tax Map 33, Lot 26. (Barry Gier-Jones & Beach, Scott Carlisle, Owner).
3. Draft conservation deed for the Mendez parcel associated with the 16-unit subdivision off Tamarind Lane and Cullen Way. (Brian Griset, Owner, Sharon Somers, DTC)
4. Committee Reports
 - a. Property Management
 - b. Trails
 - c. Outreach Events
5. Approval of Minutes: August 10th, 2021 Meeting
6. Other Business
7. Next Meeting: Date Scheduled (10/12/21), Submission Deadline (10/1/21)

Andrew Koff

Exeter Conservation Commission

Posted September 3, 2021 Exeter Town Website www.exeternh.gov and Town Office kiosk.

ZOOM Public Access Information:

Virtual Meetings can be watched on Channel 22 and on Exeter TV's Facebook and YouTube pages.

To participate in public comment, click this link: <https://exeternh.zoom.us/j/86513853661>

To participate via telephone, call: +1 646 558 8656 and enter the Webinar ID: 865 1385 3661

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press *9.

More instructions for how to participate can be found here: <https://www.exeternh.gov/townmanager/virtual-town-meetings>

Contact us at extvg@exeternh.gov or 603-418-6425 with any technical issues.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: Sept 10th, 2021
To: Conservation Commission Board Members
From: Kristen Murphy, Natural Resource Planner
Subject: Sept 14th Conservation Commission Meeting

1. **Tree Ordinance**

The draft was revised based on additional comments from the Conservation Commission and the rest of the tree committee. The tree committee is looking for your final comments and recommendation to the Select Board. The Committee plans to present a draft ordinance to the Select Board for comments then will initiate legal counsel review prior to adoption.

Suggested Motion:

_____ We have reviewed the draft ordinance and, following legal counsel review, and **RECOMMEND** the adoption of these tree regulations as a section within the Exeter Town Ordinances.

2. **Wetland CUP for 19 Watson Road**

This project was before you on 6/8/21 for review of the CUP. At that time, you requested the applicant return with some revisions. I have included the 6/9/21 memo to the Planning Board in your packet for reference. The applicant has submitted revised plans, CUP and Natural Resource Plan.

The proposal included deeding the proposed open space portion of the property to the town with an easement to SELT. Though that it not the main purpose of the applicant's visit, I wanted to remind you of Item 7 in the Land Protection Policy you adopted in 2009 and amended in 2019: *7. All land should have a surveyed plan, baseline documentation, on-site boundary marker placement confirmed by CC and Grantor, Phase 1 environmental report, and monetary endowment or other method to ensure long term management.* It is likely an easement to SELT will have similar requirements but it would be helpful to offer the applicant your thoughts on these items in preparation for future discussions.

Suggested Motion for Wetland Conditional Use Permit:

_____ We reviewed this application and feel the need to **table the application to a date certain** due to insufficient information on criteria necessary for the Commission to make a recommendation to the planning board as noted below: *As agreed to by the applicant, the required information will be submitted by the next meeting submission deadline of _____ to be heard at the _____ conservation commission meeting date.*

_____ We have reviewed this application and have **no objection** to the approval of the conditional use permit as proposed.

_____ We have reviewed this application and recommend that the wetland conditional use permit be **(approved with conditions) (denied)** as noted below:

3. **Draft conservation deed for the Mendez parcel**

The applicant was before you on 11/12/19 to discuss the proposal for conserving a portion of their property. At that time you voted in support of holding conservation interest in this parcel with a surveyed plan of the area, baseline documentation, and boundaries confirmed with a walk, and with a look at stewardship fees. You also requested a Phase 1 environmental report ([See p. 90 in meeting packet for 5/11/21](#)).

The majority of the deed appears similar to those on other conservation deeds but I have the following comments for your consideration:

- 1B: I have not seen a reference to the grantor in such a statement before. Typically it simply says "*passive recreational use by the public*".

- 2A: reference to 2D and Paragraph 3. I am unclear about the intent of this reference as neither proposes industrial or commercial activities. *I suggest deletion of reference.*
- 2F: reference to Section K (see note re: Section K below).
- 2I: Append to this: *“in association with Planning Board Case # 20-2, approval date July 30, 2021”.*
- 2K: the details of the 2 constructed/maintained observation points are unclear. Suggest explicit description and location. Also consider whether a wetland permit will be necessary and who would be responsible to obtain.
- 3A: Kiosk. I have no concerns about the sign, but it is unusual to burden the deed for this property with a use on a separate property (Brickyard Park). I feel this is better addressed between the Brian Grisette and Greg Bisson of Exeter Parks and Rec. I spoke to Greg and he is supportive of a sign in the southern end of the property outside the chain link fence. *I suggest deletion.*
- We need a *survey plan* specific to the conservation area that includes boundary markers existing and to be added, and depicted on a single sheet.
- You should address whether you will require a *baseline document*. There has been a lot of information relevant to a baseline document contained in several documents we received over the review timeframe (swamp white oak locations, vernal pools etc.). I also advise you require walking the boundaries jointly with the applicant to confirm placement of boundary markers prior to recording of the deed. Similar to past deeds, both of these items could be included in the deed. Suggested language below under new deed section *“Stewardship”*.
 - *The Grantor will provide the Grantee baseline documentation of the conservation area prior to the issuance of a certificate of occupancy for the residential structures associated with the development.*
 - *Once the bounds of the conservation area are set, the Grantor and the Exeter Conservation Commission, or a representative thereof, shall walk the boundaries to confirm proper placement.*
- You previously mentioned a *stewardship fee* but that when it was unclear whether this was an easement. You should discuss whether you will require a stewardship fee given this is proposed as a fee owned conservation land.
- Lastly, as with all easements, I recommend *legal counsel review* prior to submission to the Select Board for approval.

Suggested Motion:

Following receipt of the aforementioned edits [and documents], I motion to send a memo to the Select Board indicating:

_____ *We have reviewed the proposal and **recommend acceptance** of the conservation deed for Tax Map Parcels 81-53*

_____ *We have reviewed this proposal and (**recommend acceptance**) (**do not recommend acceptance**) of the conservation easement for a portion of Tax Map Parcel 81-53 as noted below:*

4. Committee Reports

a. Property Management

Raynes:

- Phase 1 Archeological Review: I have included an email summarizing the initial Phase 1a results and requested a cost estimate for Phase 1b. You initially approved use of the Conservation Funds for this work. Since we do have funds in the town allocated budget, I am suggesting you consider the following expenditure: *Approve the expenditure of \$1k from Contract Services and \$935 Cons Land Admin to cover the cost.*
- Haying, Mowing & Raynes Invasive Removal: Raynes has been hayed by the Davis', the conservation parcels are being mowed, and David O'Hearn has indicated he will be starting the invasive removal at Raynes.

b. Trails

c. Outreach – Day of Assistance for Sky Watch 10/2 at 7:30 (10/16 cloud date)

CHAPTER X TREE ORDINANCE

XXX PURPOSE

The purpose of this Chapter is to encourage the proper management of public trees within the Town of Exeter; to establish a standard of care and provide clear guidance to Town officials, public utilities, arborists, and residents regarding the planning, planting, preservation, maintenance, care, and removal of trees in public parks and on public rights-of-way within the Town of Exeter; and to establish and assign proper authority regarding care of public trees on these lands within the Town of Exeter.

XXX JURISDICTION

Areas subject to the Ordinance: All streets, highways, parks, cemeteries, or other grounds owned by the Town. This includes public easements along all public roads to the property line. The Conservation Commission has its own procedures for dealing with trees on conservation land, therefore this Ordinance does not apply to Town owned (fee owned) conservation land.

Activities subject to the Ordinance: Planning, planting, preservation, maintenance, care, and removal of trees in public parks and on public rights-of-way within the Town of Exeter. Any work on public trees shall comply with the tree regulations regardless of whether such work involves private individuals, businesses, public utility companies, contractors, or Town officials.

XXX DEFINITIONS

As used in this Chapter, the following terms are defined as follows:

Caliper

Tree Caliper means an American National Standards Institute (ANSI) standard for the measurement of nursery trees and shall be used for trees under 12" in Diameter at Breast Height (DBH). The caliper measurement of a trunk shall be taken 6" above the ground for trees up to and including a 4" caliper size at that height. If the caliper at 6" above ground exceeds 4", the caliper measurement should be taken at 12" above the ground. For trees above 12" in diameter, Diameter at Breast Height (DBH) is used.

Central Leader

Referred to as the leader or dominant leader. It is a vertical continuation of the main trunk, beginning above the highest lateral branch and extending to the top of the tree.

Diameter at Breast Height (DBH)

The measurement of a tree's trunk diameter in inches at breast height (4 ½ feet above ground level at the tree's base). For trees with less than 4 ½ feet of clear

trunk, the diameter shall be of the largest leader measured 4 ½ feet above ground level. For multi-trunk trees, it shall be the sum of the diameter of the individual trunks measured 4 ½ feet above ground level.

Easement

An agreed-upon use of land by a party other than the landowner, whereby the holder of the easement acquires only a reasonable and usual enjoyment of the property, and the owner of the land retains the benefits and privileges of ownership consistent with the easement.

Fee Owned Conservation Land

Outright ownership of a property.

Hazard Tree

A tree or tree part that has defects or structural weaknesses that poses a high risk upon its failure of causing personal injury or death, or damage to property; public or private, and could be a threat to public passage or traffic safety.

A tree becomes a potential hazard when its woody structure is weakened by one or more defects which decrease its structural integrity and increase its potential for failure. Defects are visible signs that a tree has failed, is failing, or has the potential to fail. There are seven main categories of defects:

1. Cracks,
2. Weak branch unions,
3. Stem or branch decay,
4. Cankers, infectious disease, insect problems,
5. Dead trees, tops or branches,
6. Root problems, and
7. Poor tree architecture.

As defined by the International Society of Arboriculture (ISA), a hazard tree must meet three (3) criteria:

- (1) The tree is sufficiently large enough to cause damage should it fall;
- (2) The tree has a target that would be damaged should it fall;
- (3) The tree has a condition that would make it likely to fall.

By definition, a hazard tree = a defective tree plus a target

Note: Hazard trees within the river are addressed through the River Hazard Removal Policy (Select Board Policy 2010-01)

Invasive Species

An alien or an introduced organism that causes ecological harm, or is likely to cause harm in a new environment where it is not native. Invasive species can lead to extinction of native plants or animals, destroy biodiversity, and permanently alter habitats. The NH Department of Agriculture maintains the list of NH Invasive Species in accordance with the State Invasive Species Act.

Memorial Tree Program

The Exeter Parks and Recreation Department's Memorial Tree Program is designed as a resource to allow residents, organizations, and businesses the opportunity to assist the Town in its beautification of public spaces with a purchase of designated trees. The Memorial Tree Program contributes to the Town's goal of increasing trees in the community through the efforts of the Tree Committee.

Through this special Exeter Parks and Recreation program, trees can also be purchased and planted in public places as living tributes to friends and loved ones or to commemorate a special occasion.

Park

An area of land owned and managed by the Town and set aside for environmental protection and/or recreation.

A list of Exeter's parks can be found [here](#).

Property Owner

A person or business entity with a legal or equitable interest in a property (as shown by the Town's Assessor's list).

Pruning

A horticultural practice of selectively cutting/removing specific portions of a tree (such as roots, buds, branches) that are dead, undesirable, or overgrown, OR trimming for healthy plant development and aesthetic purposes. Pruning can be considered preventive maintenance.

Public Places

Includes all streets, highways, parks, cemeteries, easements, or other grounds owned by the Town. This includes public easements along all public roads to the property line. Property owners should ascertain the public easement along their property line before any tree work, including pruning, removal, or planting. Questions can be directed to the Tree Warden or the Code Enforcement Officer of the Town.

Public Trees and Street Trees

Public Trees refers to trees, shrubs, and other woody vegetation within the public right-of-way or on any public property. This includes shade, ornamental, and forest trees or shrubs growing on any street, park, cemetery, or public place. Street Trees refers to trees and other woody vegetation growing on public streets and on land lying within the public rights-of-way.

Replacement Trees

A tree or trees to be planted to replace any trees removed. The replacement trees will be nursery grown, with a preference for native trees.

Equivalent Replacement: The replacement of a removed or damaged tree to compensate for that tree's removal, or its damage, with one tree the same diameter, or a combination of smaller trees that will equal that removed tree's DBH as defined herein. Alternatively, payment of equivalent replacement value can be made to the Parks and Recreation Memorial Tree Fund.

Tree-for-Tree Replacement: Replacing a removed tree with a tree, or trees, with a minimum of two to two-and-one-half inches in cumulative trunk diameter at breast height (DBH). The Tree Warden and the Tree Committee will develop and maintain within the regulations an up-to-date list of approved trees for planting under appropriate circumstances.

Right-of-Way

The "legal right, established by grant or usage, to pass along a specific route through grounds or property belonging to another". It usually includes the median, utility poles, sidewalks, and the area immediately adjacent to the street.

Significant Trees

Significant trees, as defined in Exeter's Site and Subdivision regulations (7.4.7), are 20-inches or greater in diameter at breast height (DBH).

Tree Maintenance

Activities, equipment, plans, and provisions to keep trees alive and flourishing.

XXX TREE WARDEN

The Exeter Tree Warden is an appointed official with relevant training and/or experience, who has the authority and responsibility for maintaining public trees, and advising the public on matters relating to public trees. The Tree Warden works with and is supported by the Exeter Tree Committee.

The Tree Warden's job may include, but is not limited to, the oversight of the following:

- Pruning of trees for health and safety;
- Spraying of trees;
- Removal of trees that are dead or dying as a result of storms, insects, disease, or old age;
- Identification of sites for planting new trees;
- Planting new trees;
- Maintaining an inventory of public trees;
- Supervising Town tree workers;
- Inspecting contracted tree work;
- Utility arboricultural operations;
- Assessment of trees for potential hazards to public safety.

The Technical Review Committee may request that the Tree Warden or designee provide advice on tree removal, tree selection, and placement of trees on projects that come before the Planning Board.

The Tree Warden shall advise on and help coordinate landscaping efforts on Town properties and/or within the Town's right-of-way.

XXX TREE COMMITTEE

The Exeter Tree Committee was created in 2019 as part of the Town of Exeter's efforts to be officially recognized as a Tree City. The Committee is a subcommittee of the Conservation Commission, and is made up of volunteers who will:

- Coordinate efforts in support of Exeter's Tree City USA designation;
- Aid in carrying out the provisions of this ordinance;
- Collaborate with the Tree Warden, Town departments, and other Town officials to foster a tree-rich community;
- Help monitor the health and protection of public trees;
- Work to update our inventory of public trees;
- Seek grants and secure funds to support and advance the work of the committee;
- Advance educational efforts to promote awareness and knowledge of the benefits of trees.

More information on the Tree Committee can be found on the Town's website under the Conservation Commission Main Page.

<https://www.exeternh.gov/bcc-cc/exeter-tree-committee>

More information on Tree City USA at Arborday.org can be found [here](#).

XXX PERMITS / PERMISSION REQUIRED

Permission must be obtained from the Tree Warden prior to doing any work related to public trees, or commencing any activity within the public right-of-way that may disturb roots, trunks, or limbs of public trees. This can include, but is not limited to, trimming, fertilizing, planting, treating with chemicals (fertilizer, herbicides, or pesticides), and removal.

Any person engaging in the business of cutting, planting, pruning, removing, spraying or otherwise treating public trees must first produce evidence of certification/license to the Tree Warden or designee.

Permission for removal of a public tree will not be granted without first

establishing an acceptable plan for replacement. The Tree Warden shall determine which replacement method (Equivalent or Tree-For-Tree Replacement) is appropriate for the given circumstance.

XXX TREE COMMITTEE CONSULTATION

A significant public tree (defined as having a diameter larger than 20" DBH) may be removed only with prior approval of the Tree Committee, and only after the opportunity for public input at a Tree Committee meeting, *except* where delay in the removal of the tree would pose an imminent threat to public safety or property.

Replacement plans for Significant Trees will be determined in consultation with the Tree Committee.

XXX SPONSORSHIP OF PUBLIC TREES

The sponsorship of public trees within the public right-of-way by the abutting property owner is permissible and encouraged provided that the Tree Warden approves the location and selection of such trees. The selected tree or trees will be planted by the Department of Public Works, and it will be the responsibility of the abutting property owner to water the tree(s) until they have become successfully established.

(See our standards for planting and care.)

XXX TREE REMOVAL AND REPLACEMENT

The Tree Warden, subject to the approval of the Tree Committee, shall take such action necessary to order the removal of a public tree or trees wherever necessary to preserve public safety or to prevent the spread of disease or insects to other public trees and places. The approval of the Tree Committee is not necessary in emergency situations when public safety, health, and welfare is at risk.

Prior to the removal of a public tree, a replacement plan must be approved by the Tree Warden. The plan shall identify the replacement method (Equivalent Replacement or Tree-for Tree Replacement), planting location, and tree species. If the tree to be removed is a Significant public tree, the replacement plan will be determined in consultation with the Tree Committee.

When a public tree has been (unlawfully) damaged or destroyed, in addition to tree replacement, the responsible party shall pay for the removal and disposal of the removed tree, including the stump, and any resulting sidewalk and/or landscape repairs, and shall provide a 3-year guarantee of success. (Trees that do not survive must be replaced.)

XXX HARMING PUBLIC TREES

No person shall, willfully or mischievously, break down, injure, climb upon, or commit any injury to public trees, nor shall they interfere with the roots or place signs or posters or any other fixture on a tree using nails or other devices which may damage the tree. Removal of any guard, stake, or watering device intended for the promotion of the health and protection of a public tree is also prohibited.

XXX PENALTIES

Anyone who violates any provision of this ordinance, upon being found guilty of violation, shall be subject to a fine not to exceed (\$300) for each separate offense. If the injury, mutilation, or death of any public tree(s) is caused, the cost of repair or replacement, or the appraised dollar value of such tree(s), shall be borne by the party in violation.

XXX ENFORCEMENT

The Town Warden or designee, in consultation with the Tree Committee, shall have the power to promulgate and enforce regulations, rules, and specifications concerning the spraying, trimming, removal, planting, and protection of public trees.

XXX PRIVATE TREES

If the Tree Warden determines that a tree on private property is a public hazard, the Tree Warden will notify the property owner to make them aware of the problem, and alert them that immediate action must be taken to resolve the issue. If the property owner does not respond, or does not take corrective action, the Town Manager will be notified and the Tree Warden will then remove what is necessary to ensure public safety.

XXX STANDARDS FOR PROPER PLANTING AND MAINTENANCE

XXX NATIVE TREES AND SHRUBS

See Exhibit A-Notes on Approved Trees and Shrubs; Recommended Native Trees

See Exhibit B-Notes on Native Trees and Shrubs; Invasive Trees and Plants to be avoided.

Note: This will be updated every 5 years.

XXX FUNDING

It is the goal of the Tree Committee to work with the Town to establish a fund that will support the activities of the Committee.

This fund would cover for activities and purchases including:

- Tree work such as labeling public trees in Town;
- The expense of a Town arborist;
- The purchase, planting, and maintenance of new trees in public places;
- The purchase of equipment for emergency and tree maintenance work to be done in-house.

Version: June 9, 2021. July 18, 2021. August 2, 2021, August 11, August 23
August 31, September 7

EXHIBIT A: APPROVED TREES AND SHRUBS

Please Note: Justification must be provided prior to the selection of a non-native species.

The Town maintains a spreadsheet with tree characteristics and suitable planting conditions (street tree, park or suitable for larger area, high salt tolerance, and more). Contact the Tree Warden at the Department of Public Works if you would like assistance in selecting a species for particular conditions. (*indicates native to the Eastern US)

Common name	Scientific name	Native
Red maple	<i>Acer rubrum</i>	Yes
Sugar maple	<i>Acer saccharum</i>	Yes
Freeman maple	<i>Acer xfreemanii</i>	Yes
Serviceberry/ juneberry	<i>Amelanchier canadensis</i>	Yes
River birch (single trunk)	<i>Betula nigra</i>	Yes
American hornbeam, ironwood, musclewood	<i>Carpinus caroliniana</i>	Yes
Hackberry	<i>Celtis laevigata</i>	Yes
Common hackberry	<i>Celtis occidentalis</i>	Yes
Pagoda dogwood/alternate leaf dogwood	<i>Cornus alternifolia</i>	Yes
Flowering dogwood	<i>Cornus florida</i>	Yes
Hawthorn	<i>Crataegus macrosperma</i>	Yes
American beech	<i>Fagus grandifolia</i>	Yes
Eastern red cedar	<i>Juniperus virginiana</i>	Yes
Sweetgum	<i>Liquidambar styraciflua</i>	Yes*
Tulip tree or tulip poplar	<i>Liriodendron tulipifera</i>	Yes*
Cucumber magnolia	<i>Magnolia acuminata</i>	Yes*
Black gum or black tupelo	<i>Nyssa sylvatica</i>	Yes
Ironwood	<i>Ostrya virginiana</i>	Yes
White spruce	<i>Picea alba</i>	Yes
Pitch pine	<i>Pinus ridgida</i>	Yes
White pine	<i>Pinus strobus</i>	Yes
American sycamore	<i>Platanus occidentalis</i>	Yes
Pin cherry	<i>Prunus pensylvanica</i>	Yes

Common name	Scientific name	Native
White oak	<i>Quercus alba</i>	Yes
Swamp white oak	<i>Quercus bicolor</i>	Yes
Scarlet oak	<i>Quercus coccinea</i>	Yes
Bur oak	<i>Quercus macrocarpa</i>	Yes
Red oak	<i>Quercus rubra</i>	Yes
Black willow	<i>Salix nigra</i>	Yes
Sassafras	<i>Sassafras albidum</i>	Yes
American mountain ash	<i>Sorbus americana 'dwarfscrown'</i>	Yes
Common baldcypress	<i>Taxodium distichum</i>	Yes*
American linden/basswood	<i>Tilia americana</i>	Yes
American elm	<i>Ulmus americana</i>	Yes
Eastern redbud	<i>Cercis canadensis</i>	No
White fir	<i>Abies concolor</i>	No
Flame amur maple	<i>Acer ginnala 'flame'</i>	No
Paperbark maple	<i>Acer griseum</i>	No
Fort McNair horse chestnut	<i>Aesculus carnea 'fort McNair'</i>	No
European hornbeam	<i>Carpinus betulus</i>	No
Northern catalpa	<i>Catalpa speciosa</i>	No
Yellowwood	<i>Cladrastis kentukea</i>	No
Stellar pink dogwood	<i>Cornus 'stellar pink'</i>	No
Cornelian-cherry dogwood	<i>Cornus mas</i>	No
Gingko	<i>Gingko biloba</i>	No
Honey locust	<i>Gleditsia triacanthos</i>	No
Kentucky coffee tree	<i>Gymnocladus dioicus</i>	No
Elizabeth magnolia	<i>Magnolia 'elizabeth'</i>	No
Flowering crabapple	<i>Malus spp.</i>	No
Dawn redwood	<i>Metasequoia glyptostroboides</i>	No

Common name	Scientific name	Native
Sourwood	<i>Oxydendron arboretum</i>	No
Norway spruce	<i>Picea abies</i>	No
Bloodgood london planetree (sycamore, <i>plantanus occidentia</i>)	<i>Platanus acerfolia</i>	No
Japanese cherry	<i>Prunus serrulata</i>	No
Douglas fir	<i>Pseudotsuga menziesii</i>	No
Pin oak	<i>Quercus palustrus</i>	No
Scholar tree or japanese pagodatree	<i>Sophora japonica</i>	No
Japanese stewartia	<i>Stewartia pseudocamellia</i>	No
Japanese tree lilac	<i>Syringa reticulata</i>	No
Japanese zelkova	<i>Zelkova serrata</i>	No
Green vase zelkova	<i>Zelkova serrata</i> 'green vase'	No

EXHIBIT B: PROHIBITED TREES AND SHRUBS

Prohibited Species: No trees or shrubs that have been designated a State of New Hampshire Prohibited Species may be planted. The full list can be found at [State of New Hampshire Office of Legislative Services, Administrative Rules s Agr-3800](#) and shall be the main resource. Below is a compilation of the trees and shrubs from that list, current as of 8/6/21.

Prohibited Plant Species		
Scientific name	Synonyms	Common name
<i>Acer platanoides</i> L.	<i>Acer platanoides</i> var. <i>schwedleri</i> Nichols.	Norway maple
<i>Ailanthus altissima</i> (P. Mill.) Swingle	<i>Ailanthus glandulosa</i> Desv.	Tree of heaven
<i>Alnus glutinosa</i> (L.) Gaertn.	<i>Alnus alnus</i> (L.) Britt.; <i>Betula alnus</i> L. var. <i>glutinosa</i> L.	European black alder
<i>Berberis thunbergii</i> DC.		Japanese barberry
<i>Berberis vulgaris</i> L.		European barberry
<i>Celastrus orbiculatus</i> Thunb.		Oriental bittersweet
<i>Elaeagnus umbellata</i> Thunb. var. <i>parvifolia</i> (Royle) Schneid.	<i>Elaeagnus parvifolia</i> Royle	Autumn olive
<i>Euonymus alatus</i> (Thunb.) Sieb.	<i>Celastrus alatus</i> Thunb.	Burning bush
<i>Frangula alnus</i> P. Mill.	<i>Rhamnus frangula</i> L.	Glossy buckthorn
<i>Ligustrum obtusifolium</i> Sieb. & Zucc. var. <i>obtusifolium</i>	<i>Ligustrum obtusifolium</i> var. <i>leiocalyx</i> (Nakai) H. Hara	Blunt-leaved privet
<i>Ligustrum vulgare</i> L.		Common privet
<i>Lonicera japonica</i> Thunb.	<i>Nintooa japonica</i> (Thunb.) Sweet	Japanese honeysuckle
<i>Lonicera maackii</i> (Rupr.) Herder*		Amur honeysuckle*
<i>Lonicera morrowii</i> Gray*		Morrow's honeysuckle*
<i>Lonicera tatarica</i> L.*		Tartarian honeysuckle*
<i>Lonicera ×bella</i> Zabel*	<i>Lonicera morrowii</i> × <i>L. tatarica</i>	Bella honeysuckle*
<i>Lysimachia nummularia</i> L.		Moneywort
<i>Rhamnus cathartica</i> L.		Common buckthorn
<i>Rosa multiflora</i> Thunb. ex Murr.		Multiflora rose

****See page 2 for Plants Recommended for Avoidance****

Recommended for Avoidance: The following list of plants are strongly discouraged for public tree planting is based on a combination of the NH Invasive Plant Species Watch List, developed by the New Hampshire Invasive Species Committee (ISC), as well as additional plants that are discouraged due to their invasive-like growth qualities.

Scientific	Synonyms	Common Name
<i>Acer ginnala</i> Maxim.		Amur maple
<i>Amorpha fruticosa</i> L.	<i>Amorpha fruticosa</i> var. <i>angustifolia</i> Pursh; <i>Amorpha fruticosa</i> var. <i>oblongifolia</i> Palmer; <i>Amorpha fruticosa</i> var. <i>tennesseensis</i> (Shuttlw. ex Kunze) Palmer	False indigo-bush
<i>Bassia scoparia</i> (L.) A.J. Schott	<i>Chenopodium scoparium</i> L.; <i>Kochia scoparia</i> (L.) Schrad.; <i>Kochia scoparia</i> var. <i>pubescens</i> Fenzl; <i>Kochia scoparia</i> var. <i>subvillosa</i> Moq.	Firebush smotherweed
<i>Cytisus scoparius</i> (L.) Link var. <i>scoparius</i>	<i>Spartium scoparium</i> L.	Scotch broom
<i>Elaeagnus angustifolia</i> L.		Russian-olive
<i>Euonymus europaeus</i> L.		European spindle-tree
<i>Euonymus fortunei</i> (Turcz.) Hand.-Mazz	<i>Euonymus fortunei</i> var. <i>radicans</i> (Sieb. ex Miq.) Rehd.; <i>Euonymus fortunei</i> var. <i>vegetus</i> (Rehd.) Rehd.; <i>Euonymus radicans</i> Sieb. ex Miq.; <i>Euonymus radicans</i> Sieb. ex Miq. var. <i>vegetus</i> Rehd.	Climbing spindle-tree
<i>Kalopanax septemlobus</i> (Thunb.) Koidz.	<i>Acanthopanax ricinifolius</i> (Sieb. & Zucc.) Seem.; <i>Kalopanax pictus</i> (Thunb.) Nakai	Castor-aralia
<i>Lespedeza bicolor</i> Turcz.		Two-colored bush-clover
<i>Lonicera xylosteum</i> L.		Fly honeysuckle
<i>Phellodendron amurense</i> Rupr.	<i>Phellodendron amurense</i> var. <i>sachalinense</i> F. Schmidt; <i>Phellodendron japonicum</i> Maxim.; <i>Phellodendron sachalinense</i> (F. Schmidt) Sarg.	Amur corktree
<i>Pinus sylvestris</i> L.		Scotch pine
<i>Populus alba</i> L.	<i>Populus alba</i> L. var. <i>bolleana</i> Lauche	White poplar
<i>Pyrus calleryana</i> ,		Callery/Bradford Pear
<i>Robinia pseudoacacia</i> L.		Black locust
<i>Rosa rugosa</i> Thunb.		Beach rose
<i>Ulmus pumila</i> L.		Siberian elm

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

August 27, 2021

Exeter Planning Board
Attn. Langdon Plumer, Chair
10 Front Street
Exeter, NH 03833

**RE: Conditional Use Application
19 Watson Road, Exeter, NH
Tax Map 33, Lot 26
JBE Project No. 19102
Revision #1**

Dear Mr. Plumer:

Jones & Beach Engineers, Inc. respectfully submits a Conditional Use application for wetland buffer impacts associated with the construction of a 920 sq. ft. road in support of a proposed 12-lot single-family open space residential subdivision on the above-referenced parcel on behalf of our client and property owner, Scott W. Carlisle, III. Impacts are required for the construction of the proposed roadway, driveways, and drainage system associated with the proposed construction.

The following are the required conditions for approval of the Conditional Use permit and how the applicant believes the proposal meets the condition.

1. That the proposed use is permitted in the underlying zoning district.

The proposed project is a residential open space subdivision which is permitted in the underlying zone.

2. No alternative design which does not impact a wetland or wetland buffer which has less detrimental impact on the wetland or wetland buffer is feasible.

This project required NO wetland impacts.

The proposed project was designed to minimize or avoid any wetland or wetland buffer impacts to the extent practicable. Project area drains east to west (toward Watson Road) thereby requiring stormwater features be constructed along the Watson Road property line. The property along Watson Road is mostly wetland, therefore, wetland buffer impacts are required.

- 3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetlands(s) or the greater hydrologic system.**

A Function and Values assessment evaluating the anticipated impacts due to the proposed buffer impacts and a Natural Resources Plan have been submitted for this project.

- 4. That the design, construction, and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer.**

Majority of the wetland buffer impact is associated with the construction of stormwater features along the western property line. These stormwater features will infiltrate and treat stormwater prior to discharge to the wetlands. Stormwater features will collect stormwater within the wetland buffer and therefore not be detrimental to the wetland buffer or wetland.

Temporary grading within the wetland parking/structure setback will be revegetated and therefore minimize detrimental impact on the wetland buffer. Revegetation will be completed utilizing “New England Roadside Matrix Upland Seed Mix” which includes shrub varieties and grasses to effectively revegetate the buffer in a natural state.

- 5. That the proposed use will not create a hazard to individual or public health, safety, and welfare due to the loss of wetland, the contamination of groundwater, or other reasons.**

The proposed buffer impacts pose no threat to health, safety, and/or welfare. No loss of wetland is proposed and the proposed uses within the buffer pose no threat of groundwater contamination.

- 6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland.**

The applicant is proposing no increase in wetland buffers elsewhere on the site at this time.

7. **In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.**

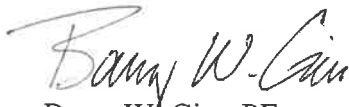
All proposed impacts (with the exception of driveway installation) are to be revegetated as per the project plans.

8. **That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA 485-A: 17, the New Hampshire Wetlands Board under NH RSA 483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.**

No wetland impacts are proposed. All required permits will be obtained prior to the start of construction.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Barry W. Gier, PE
Vice President

Town of Exeter



Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

March 2020

Town of Exeter
Planning Board Application
Conditional Use Permit: Wetland Conservation Overlay District

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

Proposed project includes the construction of a 920' linear foot roadway in support of a 12-lot single-family open space residential subdivision. Project includes construction of drainage features in support of proposed development. Lots to be serviced by on-site septic and wells.

Wetland Conservation Overlay District Impact (in square footage):

Temporary Impact	Wetland: (SQ FT.)	Buffer: (SQ FT.)
	<input type="checkbox"/> Prime Wetlands _____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands _____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF) _____	<input checked="" type="checkbox"/> Vernal Pools (>200SF) 3,784 S.F.
	<input type="checkbox"/> VPD _____	<input type="checkbox"/> VPD _____
	<input type="checkbox"/> PD _____	<input type="checkbox"/> PD _____
	<input type="checkbox"/> Inland Stream _____	<input type="checkbox"/> Inland Stream _____
Permanent Impact	Wetland:	Buffer:
	<input type="checkbox"/> Prime Wetlands _____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands _____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF) _____	<input checked="" type="checkbox"/> Vernal Pools (>200SF) <u>1,215 S.F.</u>
	<input type="checkbox"/> VPD _____	<input type="checkbox"/> VPD _____
	<input type="checkbox"/> PD _____	<input type="checkbox"/> PD _____
	<input type="checkbox"/> Inland Stream _____	<input type="checkbox"/> Inland Stream _____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

None

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):

See Conditional Use Cover Letter.

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP SEE ATTACHED ABUTTERS LIST
NAME _____
ADDRESS _____

TAXMAP _____
NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

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NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

9.1.6. B: Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;

OPEN-SPACE RESIDENTIAL SUBDIVISION

"CARLISLE SUBDIVISION"

TAX MAP 33 LOT 26

19 WATSON ROAD, EXETER, NH

SHEET INDEX

CS	COVER SHEET
Y1	OVERALL YIELD PLAN
Y1A-Y1B	YIELD PLANS
A1-A5	SUBDIVISION PLAN
C1	OVERALL EXISTING CONDITIONS PLAN
C1A - C1B	EXISTING CONDITIONS PLANS
C2	OVERALL SITE PLAN
C2A - C2B	SITE PLAN
C3	OVERALL GRADING AND DRAINAGE PLAN
C3A - C3B	GRADING AND DRAINAGE PLANS
P1-P2	PLAN AND PROFILE
D1-D3	DETAIL SHEETS
E1-E2	EROSION AND SEDIMENT CONTROL DETAILS

OWNER OF RECORD
 SCOTT W. CARLISLE, III
 14 CASS STREET
 EXETER, NH 03833
 (603) 772-2086

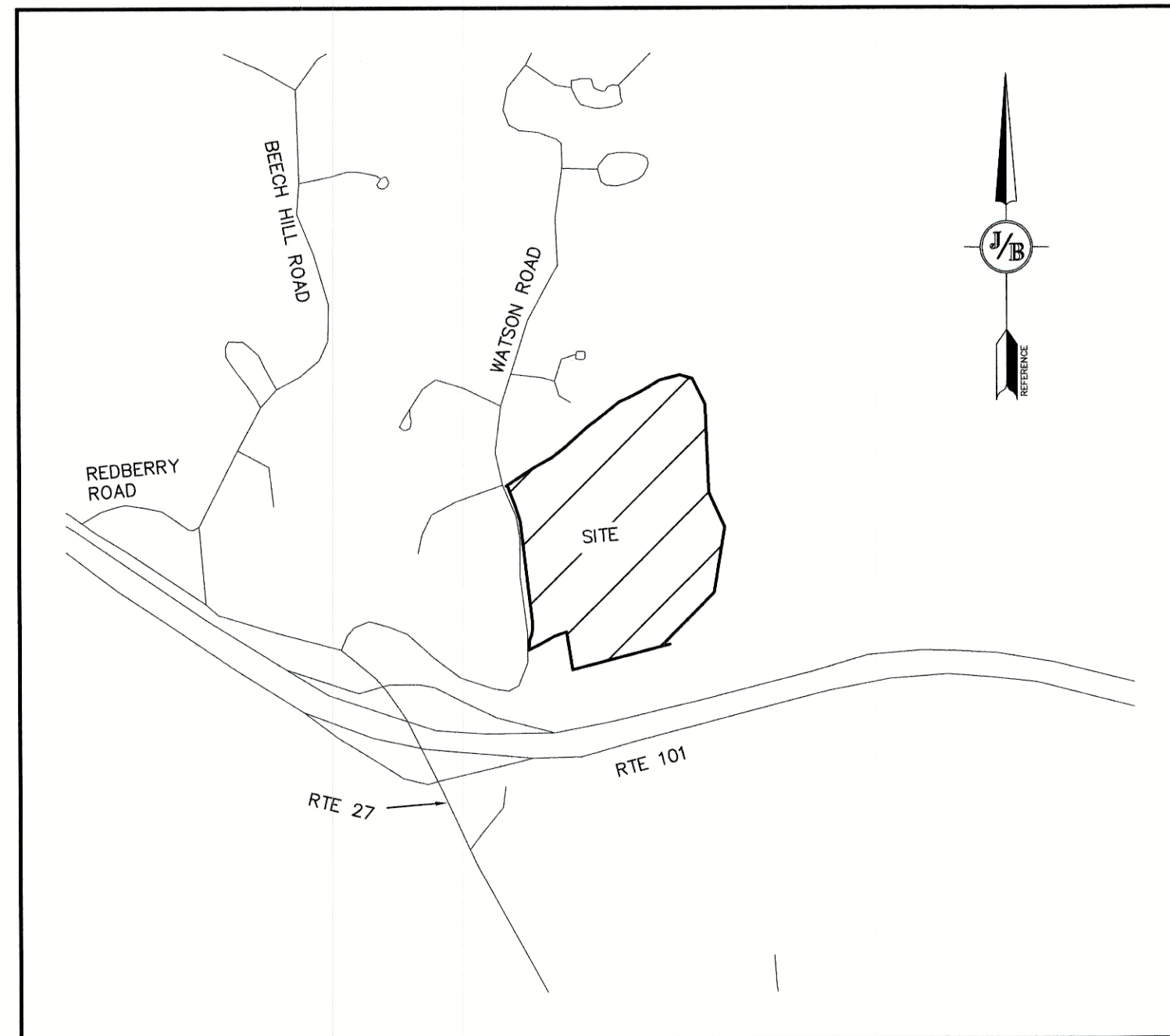
CIVIL ENGINEER / SURVEYOR
 JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746
 CONTACT: JOSEPH CORONATI
 EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
 GOVE ENVIRONMENTAL SERVICES, INC.
 8 CONTINENTAL DR UNIT H
 EXETER, NH 03833
 (603) 580-4120
 CONTACT: JAMES P. GOVE

ELECTRIC
 UNITIL NEW HAMPSHIRE
 6 LIBERTY LANE WEST
 HAMPTON, NH 03842
 (603) 772-0775

TELEPHONE
 CONSOLIDATED COMMUNICATIONS
 100 TRI CITY ROAD
 SOMERWORTH, NH 03878
 ATTN: DAVE KESTNER
 (603) 743-1114

CABLE TV
 COMCAST COMMUNICATION
 CORPORATION 334-B CALEF HIGHWAY
 EPPING, NH 03042-2325
 (603) 679-5695



LOCUS MAP
 SCALE 1" = 20,000'

PERMITS

TYPE OF PERMIT	STATUS
EXETER SUBDIVISION PLAN APPROVAL: TOWN OF EXETER PLANNING BOARD 10 FRONT STREET EXETER, NEW HAMPSHIRE 03833 (603) 773-6112 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO.: DATED: EXPIRATION:
NHDES ALTERATION OF TERRAIN PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO.: DATED: EXPIRATION:
NHDES SUBDIVISION PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO.: DATED: EXPIRATION:
EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:

GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	PRIME WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
D	DRAINAGE LINE
S	SEWER LINE
W	WATER LINE
WS	WATER SERVICE
OE	OVERHEAD ELECTRIC
UG	UNDERGROUND ELECTRIC
○	IRON PIPE/IRON ROD
×	DRILL HOLE
□	IRON ROD/DRILL HOLE
■	STONE/GRANITE BOUND
+	BENCHMARK (TBM)
+	DOUBLE POST SIGN
+	SINGLE POST SIGN
+	WELL
+	TEST PIT
+	MONITORING WELL
+	TREES AND BUSHES
+	UTILITY POLE
+	LIGHT POLES
+	DRAIN MANHOLE
+	SEWER MANHOLE
+	HYDRANT
+	WATER GATE
+	WATER SHUT OFF
+	SINGLE GRATE CATCH BASIN
+	CULVERT W/WINGWALLS
+	CULVERT W/FLARED END SECTION
+	CULVERT W/STRAIGHT HEADWALL
+	FRESHWATER WETLANDS
+	GRANITE BOUND TO BE SET
+	IRON PIN TO BE SET

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES

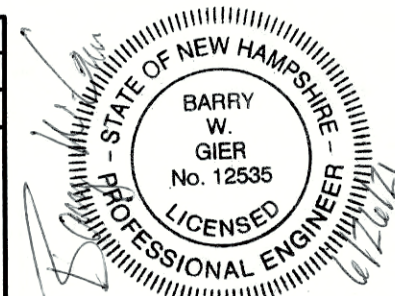
TOWN OF EXETER PLANNING BOARD

DATE: _____

CHAIRMAN _____

F:\CAD\MASTER STANDARD\dwg\B-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: BWG	Draft: DFP	Date: 08/26/2021
Checked: BWG	Scale: AS NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
2	08/26/21	REVISED PER PB COMMENTS	BWG
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

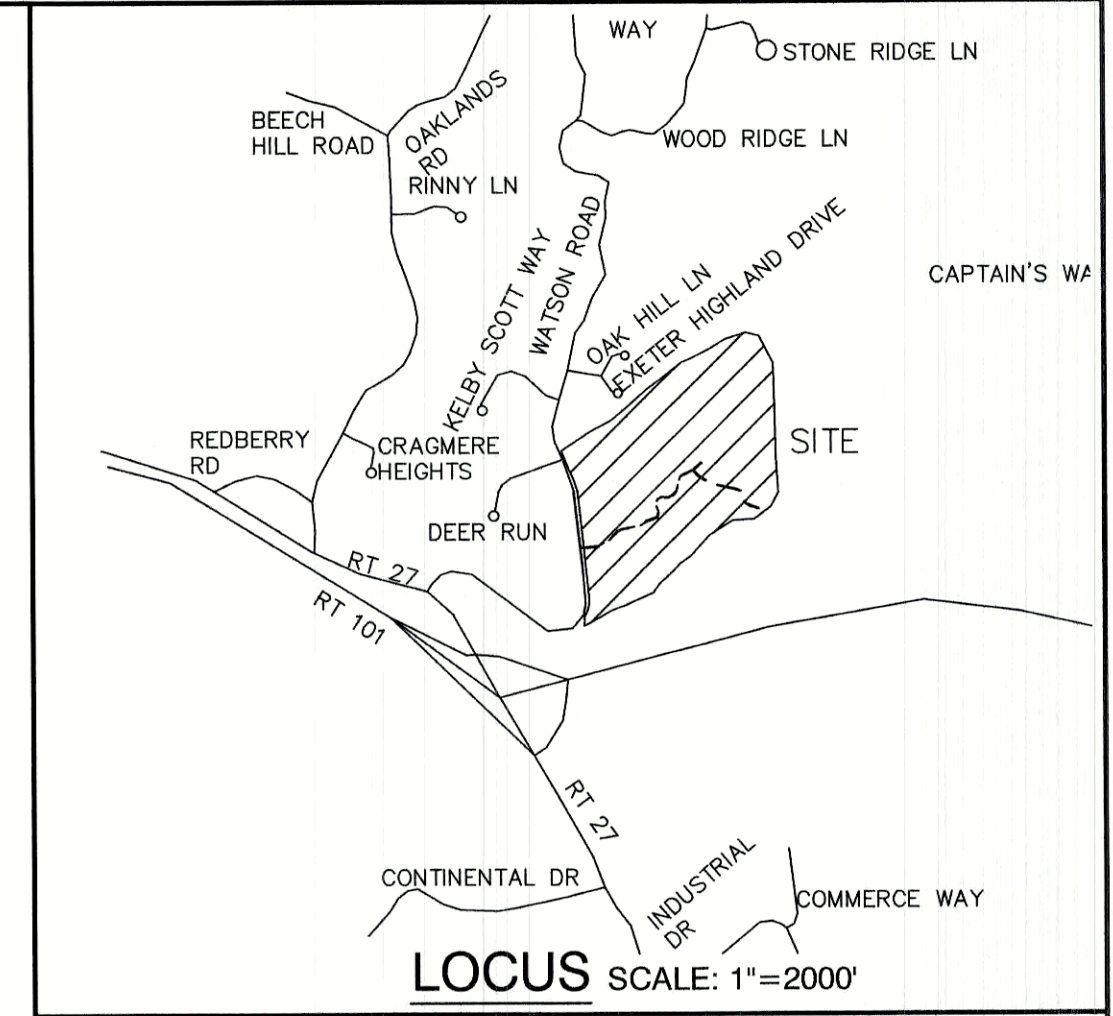
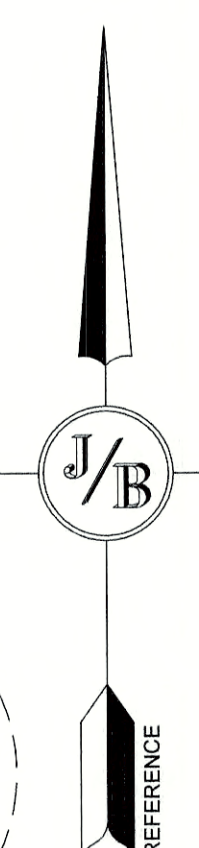
Plan Name:	COVER SHEET
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

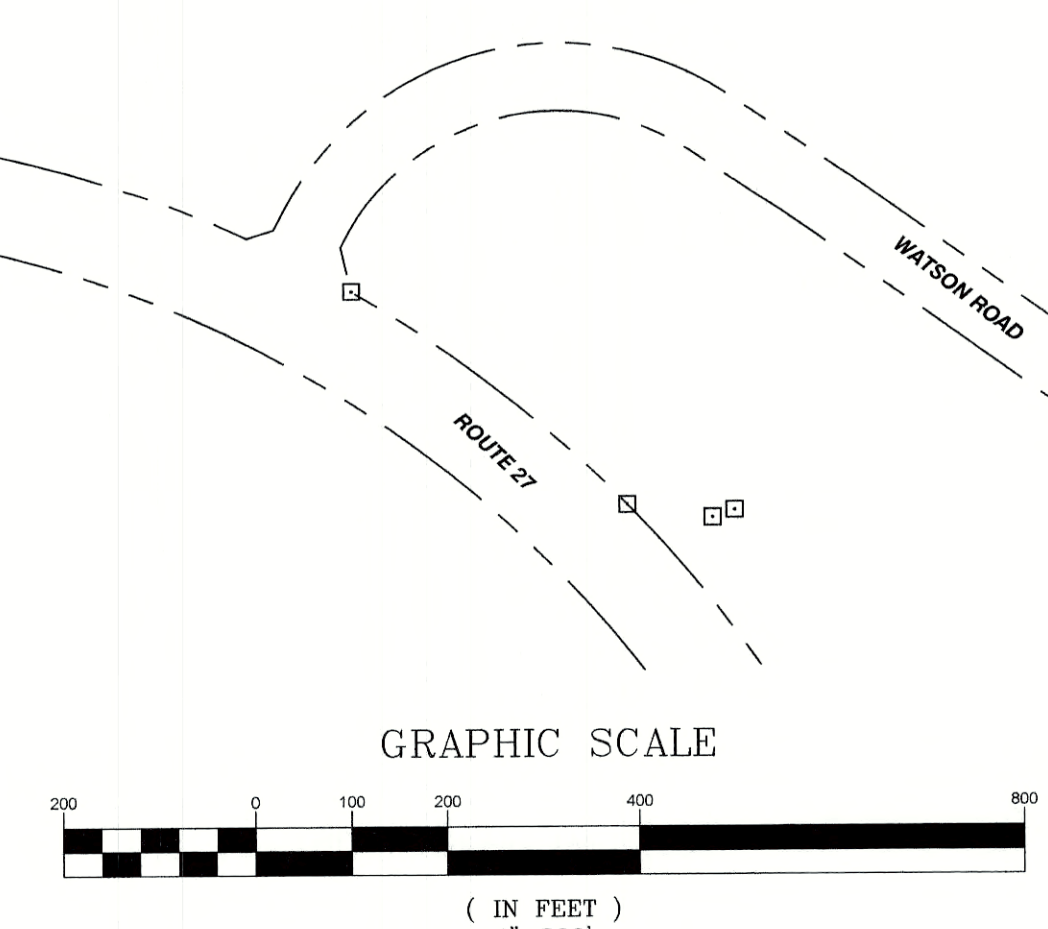
CS

SHEET 1 OF 29
JBE PROJECT NO. 19102

LOT TABLE					
LOT NUMBER	AREA (SF)	AREA (AC)	UPLAND (SF)	CONTIGUOUS BUILDABLE AREA (SF)	FRONTAGE (FT)
1	128,352	2.94	106,157	106,157	676.7
2	110,374	2.53	107,100	107,100	224.1
3	190,570	4.37	157,329	153,192	239.9
4	154,083	3.54	129,613	95,008	200.0
5	111,838	2.57	104,017	104,017	200.0
6	88,263	2.03	84,312	84,312	200.0
7	119,385	2.74	102,166	102,166	200.0
8	92,603	2.13	85,539	85,539	271.9
9	98,488	2.26	73,527	58,302	608.9
10	94,492	2.17	91,661	91,661	903.8
11	117,594	2.7	107,600	104,377	200.0
12	154,172	3.54	146,202	146,202	1283.5
REMAINING LAND		64.29 AC			264.2



- NOTES:**
- THE INTENT OF THIS PROJECT IS TO DEPICT THE CONCEPTUAL DEVELOPMENT OF TOWN OF EXETER TAX MAP 33/LOT 26 WITH A 12-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION. ALL LOTS TO BE SERVICED BY ON-SITE WELLS AND SEPTICS.
 - CURRENT OWNER OF RECORD:
SCOTT W. CARLISLE, III
14 CASS STREET
EXETER, NH 03833
 - ZONING DISTRICT: R-1
LOT AREA MINIMUM = 2 AC.
LOT FRONTAGE MINIMUM = 200' (W/O MUNICIPAL WATER+SEWER)
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 25'
WETLAND SETBACK = AS SHOWN
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE = 15%
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.



PROJECT PARCEL TOWN OF EXETER TAX MAP 33, LOT 26 TAX MAP 40, LOT 15
APPLICANT/OWNER W. SCOTT CARLISLE 14 CASS STREET EXETER, NH 03833
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99± ACRES

Design: BWG Draft: DFP Date: 08/26/21
 Checked: BWG Scale: AS SHOWN Project No.: 19102
 Drawing Name: 19102-YIELD1.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

REV.	DATE	REVISION	BY
1	05/21/21	REVISED PER TRC COMMENTS	BWG
0	08/27/19	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

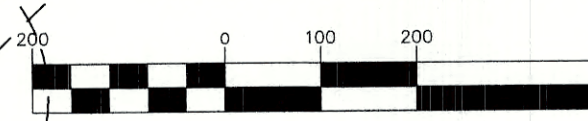
Plan Name:	YIELD PLAN 1
Project:	CARLISLE SUBDIVISION 35 WATSON ROAD, EXETER, NH
Owner of Record:	W. SCOTT CARLISLE 14 CASS STREET, EXETER, NH 03833

DRAWING No.
Y1
 SHEET 2 OF 29
 JBE PROJECT NO. 19102

GENERAL LEGEND

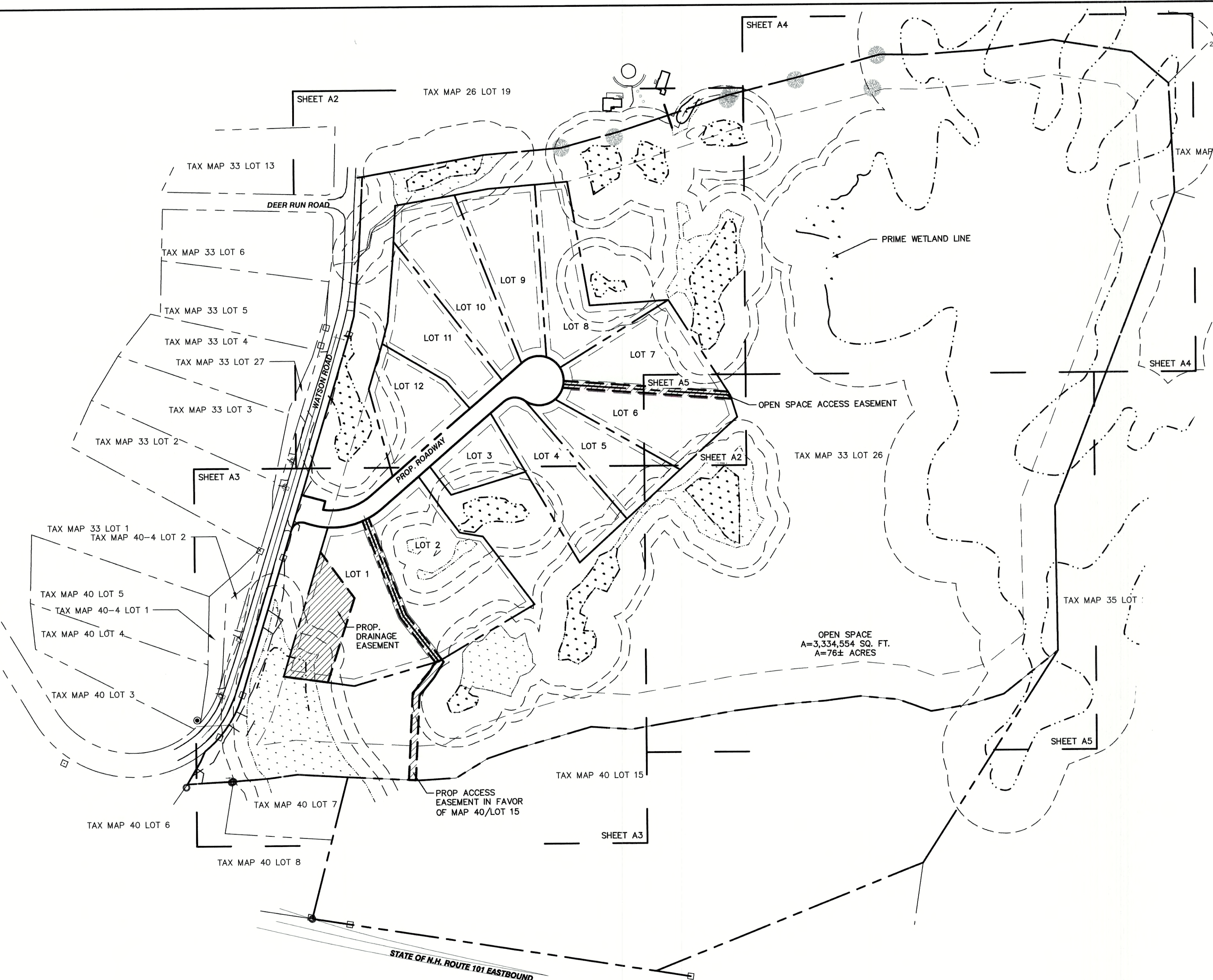
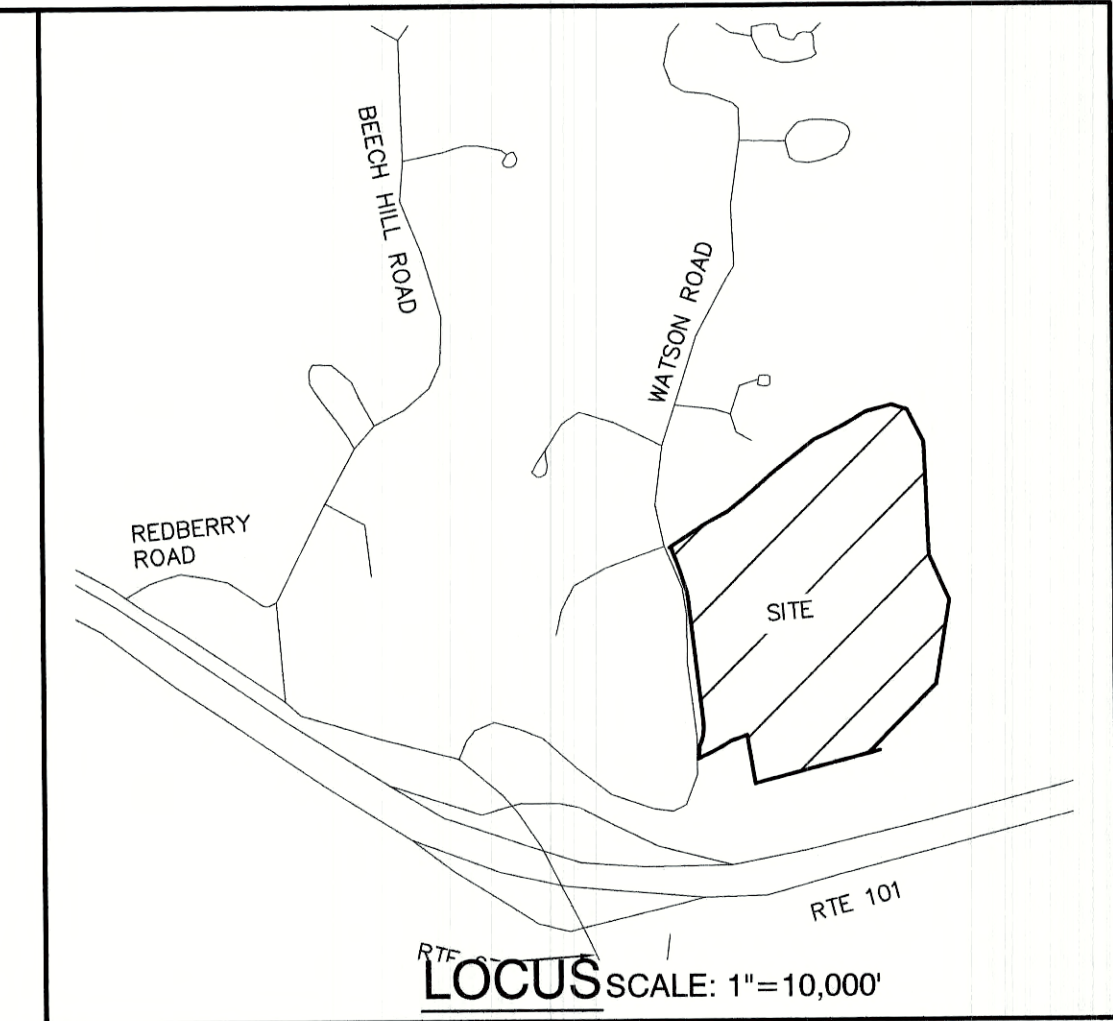
EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	IRON ROD/DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	TREES AND BUSHES
---	FRESHWATER WETLANDS
---	GRANITE BOUND TO BE SET
---	IRON PIN TO BE SET

GRAPHIC SCALE



(IN FEET)

1"=200'



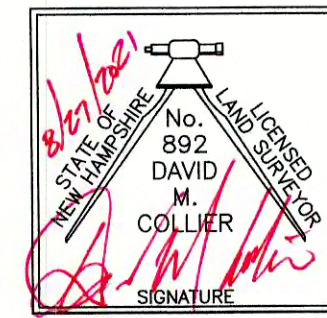
PLAN REFERENCES:

- "PLAT OF LAND EXETER, NH FOR SCOTT CARLISLE, III"; PREPARED BY DURGIN SCOFIELD ASSOCIATES; DATED FEBRUARY 23, 1989; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-19708.
- "PLAT OF LAND EXETER, NH FOR SCOTT CARLISLE, III"; PREPARED BY DURGIN SCOFIELD ASSOCIATES; DATED APRIL 26, 1988; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-17892.
- "PLAN OF LAND FOR COURMA LTD IN EXETER, NH"; PREPARED BY PARKER SURVEY ASSOCIATES; DATED DECEMBER 31, 1984; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS D-13187.
- "SUBDIVISION OF LAND FOR COURMA LTD IN EXETER, NH"; PREPARED BY PARKER SURVEY ASSOCIATES; DATED MARCH 22, 1984; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS D-12470.
- "PLANS OF PROPOSED FEDERAL AID RIGHT OF WAY PROJECT NHS-STP-F-1018-2(79) ROW NH PROJECT NO. 11533 NHS-018-2(113)(CONSTRUCTION) NH PROJECT NO. 11533-F"; PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND HOLDEN ENGINEERING & SURVEYING, INC.; DATED SEPTEMBER 4, 1994.
- "SUBDIVISION PLAN EXETER HIGHLANDS EXETER, NH"; PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC.; DATED NOVEMBER 15, 1989; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAT D-19913.

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

8/27/2021

SUBDIVISION NOTES:

- THE INTENT OF THIS PLAN IS TO SUBDIVIDE MAP 33 LOT 26 INTO TWELVE (12) SINGLE FAMILY OPEN-SPACE RESIDENTIAL LOTS WITH ONSITE WATER AND SEPTIC. COMPLETE 25 SHEET PLAN SET IS ON FILE AT THE PLANNING BOARD OFFICE.
- ZONING DISTRICT: OPEN SPACE
LOT AREA MINIMUM = 15,000 S.F.
LOT FRONTAGE MINIMUM = 50'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 20'
WETLAND SETBACK = AS SHOWN
MAX. BUILDING HEIGHT = 35'
- ZONING DISTRICT: R-1
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 25'
WETLAND SETBACK = AS SHOWN
MAX. BUILDING HEIGHT = 35'
- WITH APPROVAL OF THIS PLAN BY THE PLANNING BOARD, THE FOLLOWING WAIVERS ARE GRANTED FROM THE "SUBDIVISION REGULATIONS":
 - SITE AND SUBDIVISION REGULATIONS SECT. 7.4.12-REQUIRING SURVEYED METES AND BOUNDS FOR ENTIRE PARCEL.
 - NHDES APPROVAL FOR SUBDIVISION PERMIT NO. _____, DATED _____, NHDES ALTERATION OF TERRAIN PERMIT NO. _____, DATED _____.
 - THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A ZONE X SHADED DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0238E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 239 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SUBJECT PARCEL IS ALSO ON MAP NO. 33015C0238E AND IS IN ZONE X UNSHADED.
 - ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.), THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.

- ALL CONSTRUCTION WILL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- GRANITE BOUNDS TO BE SET AT ALL ROADWAY POINTS OF CURVATURE AND TANGENCY. IRON RODS WITH SURVEY CAPS TO BE SET AT ALL PROPERTY CORNERS AND ANGLE POINTS, UNLESS OTHERWISE INDICATED. ALL MONUMENTS SET ARE 5/8" IRON RODS WITH ALUMINUM CAPS MARKED "JONES & BEACH ENGINEERS BOUNDARY, DO NOT DISTURB, STRATHAM, N.H." AS SHOWN.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDAN QUIGLEY OF GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE, 2020 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- UPON APPROVAL BY THE TOWN, THE PROPOSED ROAD WILL BE CONVEYED TO THE TOWN.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSORS OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.

TOWN OF EXETER PLANNING BOARD	
DATE:	
CHAIRMAN	

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES

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Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**
MAP 33 LOT 26

Project: **TAX MAP 33 LOT 26**
19 WATSON ROAD, EXETER, NH

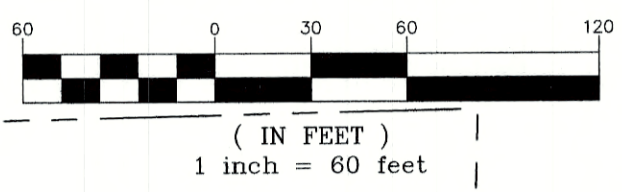
Owner of Record: **SCOTT W. CARLISLE III**
14 CASS STREET, EXETER, NH 03833

DRAWING No.

A1

SHEET 5 OF 29
JBE PROJECT NO. 19102

GRAPHIC SCALE



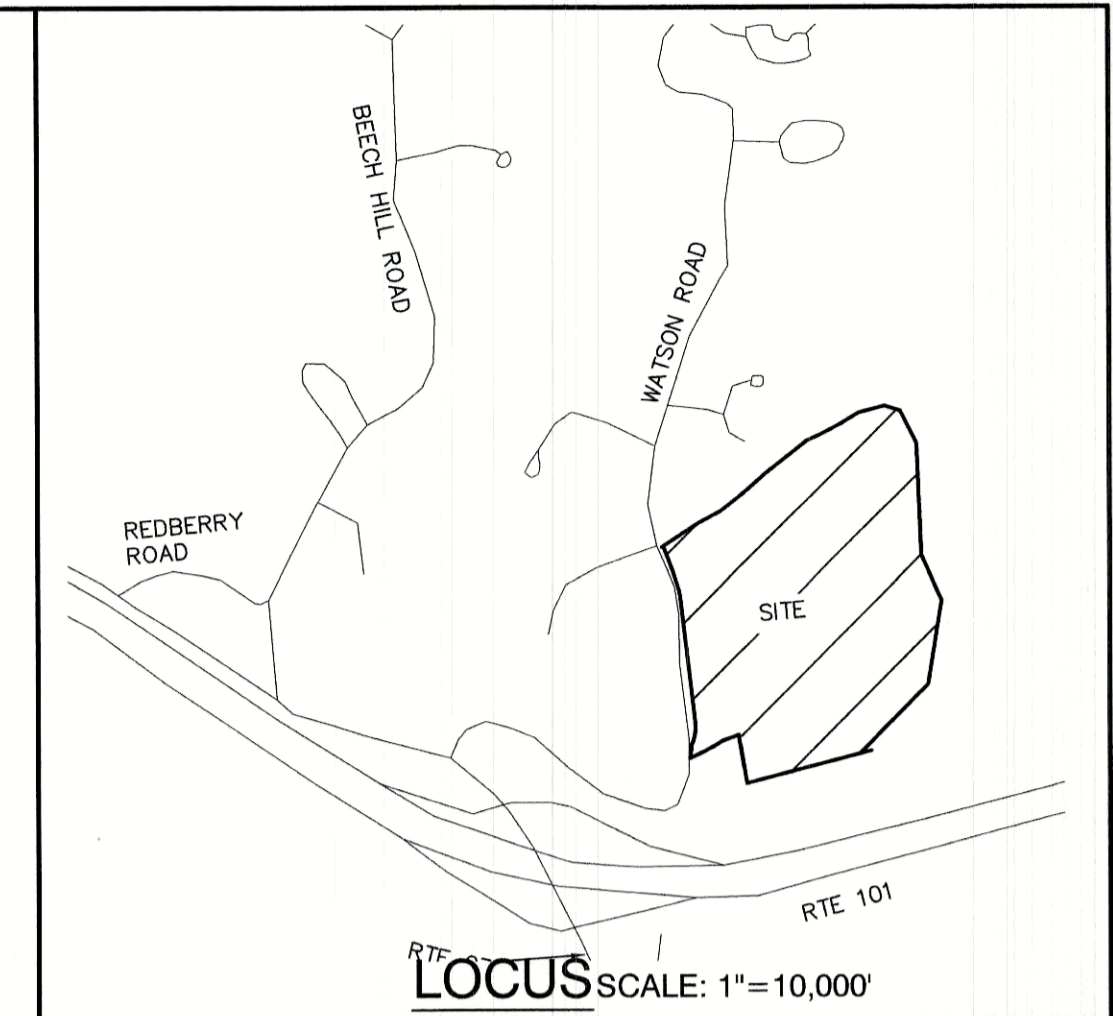
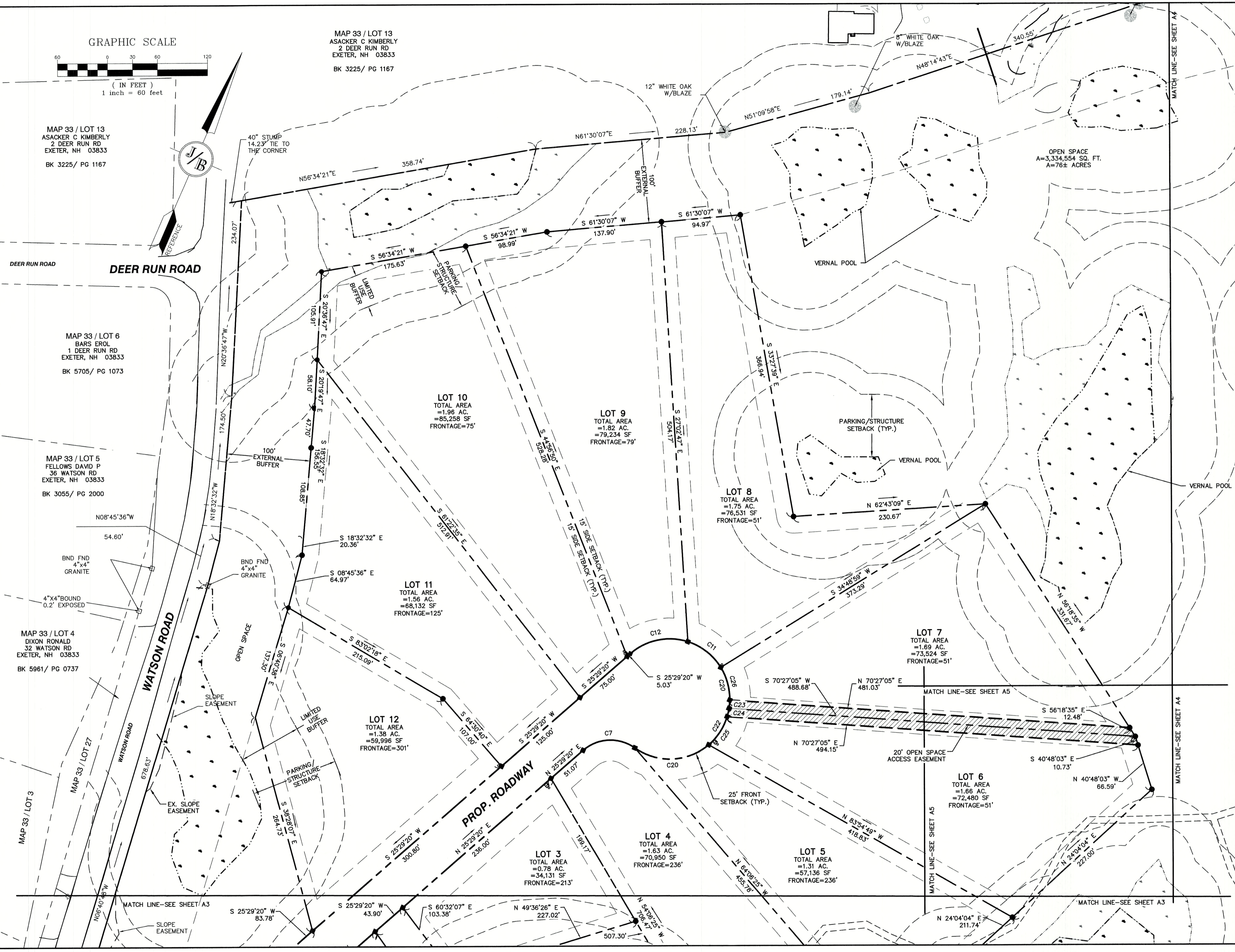
MAP 33 / LOT 13
ASACKER C KIMBERLY
2 DEER RUN RD
EXETER, NH 03833
BK 3225 / PG 1167

MAP 33 / LOT 6
BARS EROL
1 DEER RUN RD
EXETER, NH 03833
BK 5705 / PG 1073

MAP 33 / LOT 5
FELLOWS DAVID P
36 WATSON RD
EXETER, NH 03833
BK 3055 / PG 2000

MAP 33 / LOT 4
DIXON RONALD
32 WATSON RD
EXETER, NH 03833
BK 5961 / PG 0737

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CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	47.12'	42.43'	N 38°19'22" E	90°00'00"
C2	225.00'	53.79'	53.66'	S 76°28'29" W	13°41'47"
C3	225.00'	113.41'	112.21'	S 55°11'12" W	28°52'47"
C4	225.00'	10.02'	10.02'	S 42°01'20" W	2°33'03"
C5	225.00'	10.05'	10.05'	N 39°28'01" E	2°33'36"
C6	225.00'	59.74'	59.74'	N 33°07'04" E	15°15'28"
C7	50.00'	68.96'	62.07'	N 63°51'18" E	76°43'55"
C8	72.00'	95.67'	88.79'	N 64°09'13" E	76°08'04"
C9	72.00'	51.06'	50.00'	N 05°46'08" E	40°38'06"
C10	72.00'	51.06'	50.00'	S 34°51'58" E	40°38'06"
C11	72.00'	51.06'	50.00'	N 75°30'04" W	40°38'06"
C12	72.00'	73.76'	70.57'	N 54°50'07" E	58°41'33"
C13	175.00'	176.64'	169.24'	N 54°24'21" E	57°50'02"
C14	30.00'	47.12'	42.43'	S 51°40'38" E	90°00'00"
C20	72.00'	95.67'	88.79'	N 64°09'13" E	76°08'04"
C22	72.00'	51.06'	50.00'	N 34°51'58" W	40°38'06"
C23	59.22'	10.01'	10.00'	N 18°31'52" W	9°41'18"
C24	59.22'	10.01'	10.00'	N 10°30'59" W	9°41'18"
C25	72.00'	40.93'	40.38'	N 09°48'04" E	32°34'15"
C26	72.00'	41.05'	40.50'	N 38°50'55" W	32°40'11"
C28	225.00'	49.86'	49.76'	S 31°50'16" W	12°41'52"
C29	225.00'	10.05'	10.05'	S 39°28'01" W	2°33'36"
C30	225.00'	10.02'	10.02'	N 42°01'20" E	2°33'03"
C31	225.00'	103.39'	102.49'	N 56°27'44" E	26°19'44"

ADDITIONAL ABUTTERS:

MAP 33 / LOT 3
JEDREY RICHARD A
28 WATSON RD
EXETER, NH 03833
BK 4969 / PG 2235

MAP 33 / LOT 27
EXETER TOWN OF
10 FRONT STREET
EXETER, NH 03833
BK 5460 / PG 1787

CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

(Signature)
DAVID M. COLLIER
No. 892
DAVID
COLLIER
SIGNATURE

8/21/2021

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

TOWN OF EXETER PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26
DATE:	APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833
CHAIRMAN	TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES

Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

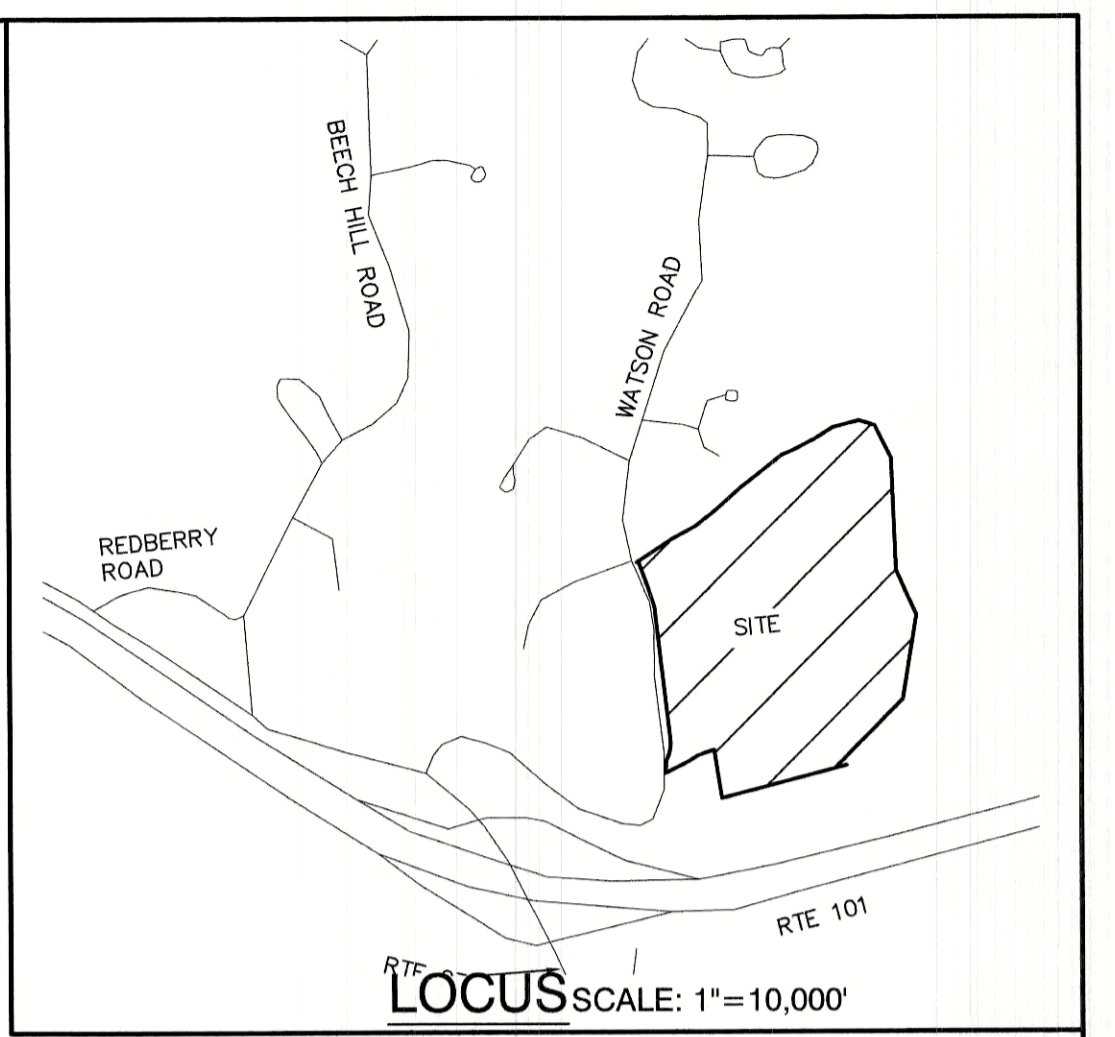
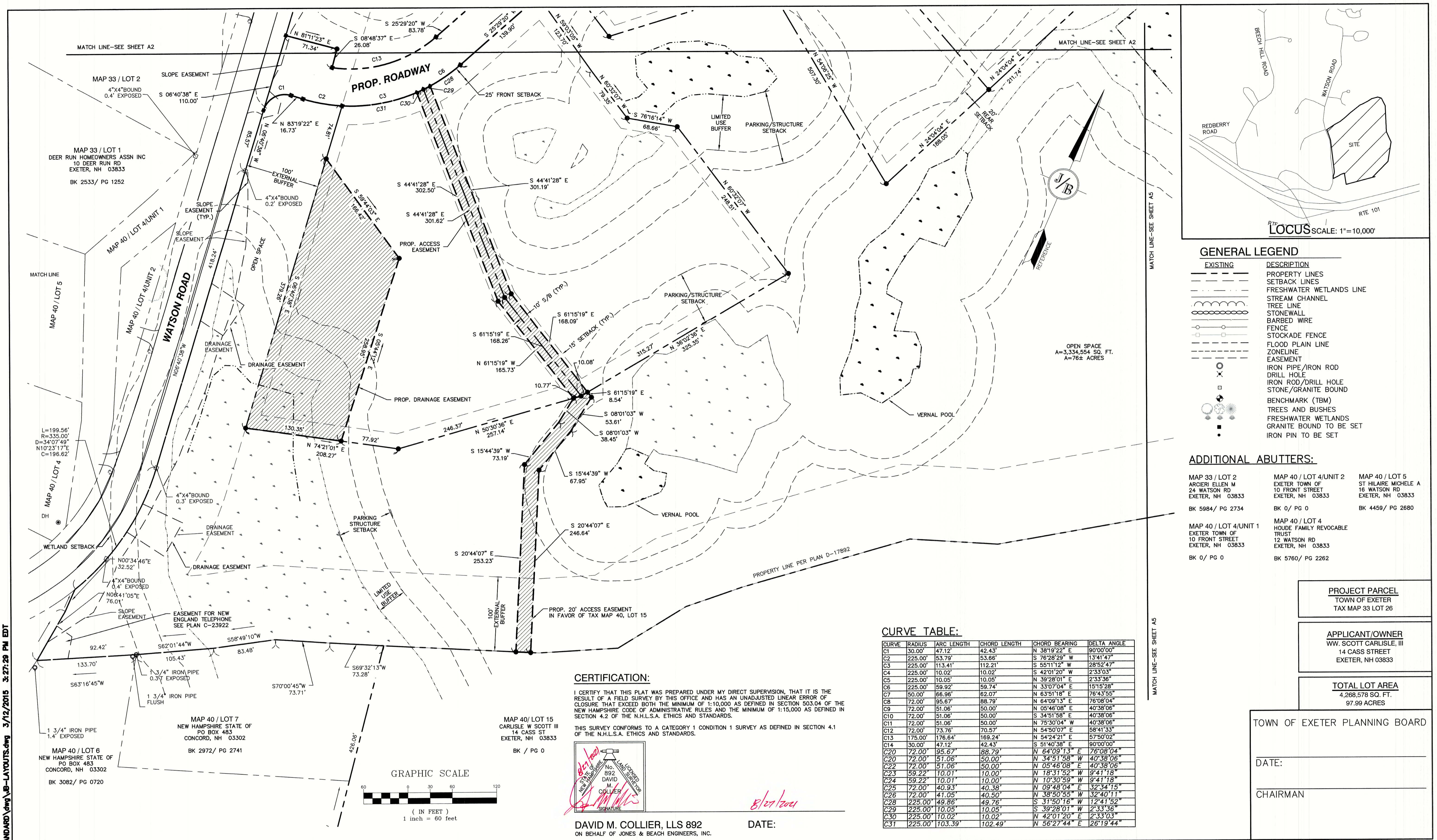
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SUBDIVISION PLAN MAP 33, LOT 26	DRAWING No.	A2
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH	SHEET 6 OF 29	JBE PROJECT NO. 19102
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833		



GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
○	IRON PIPE/IRON ROD
×	DRILL HOLE
□	IRON ROD/DRILL HOLE
□	STONE/GRANITE BOUND
+	BENCHMARK (TBM)
●	TREES AND BUSHES
●	FRESHWATER WETLANDS
●	GRANITE BOUND TO BE SET
●	IRON PIN TO BE SET

ADDITIONAL ABUTTERS:

MAP 33 / LOT 2 ARCIERI ELLEN M 24 WATSON RD EXETER, NH 03833 BK 5984 / PG 2734	MAP 40 / LOT 4/UNIT 2 EXETER TOWN OF 10 FRONT STREET EXETER, NH 03833 BK 0 / PG 0	MAP 40 / LOT 5 ST HILAIRE MICHELE A 16 WATSON RD EXETER, NH 03833 BK 4459 / PG 2680
MAP 40 / LOT 4/UNIT 1 EXETER TOWN OF 10 FRONT STREET EXETER, NH 03833 BK 0 / PG 0	MAP 40 / LOT 4 HOJDE FAMILY REVOCABLE TRUST 12 WATSON RD EXETER, NH 03833 BK 5760 / PG 2262	

PROJECT PARCEL
TOWN OF EXETER
TAX MAP 33 LOT 26

APPLICANT/OWNER
WW. SCOTT CARLISLE, III
14 CASS STREET
EXETER, NH 03833

TOTAL LOT AREA
4,268,578 SQ. FT.
97.99 ACRES

TOWN OF EXETER PLANNING BOARD

DATE: _____

CHAIRMAN _____

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	47.12'	42.43'	N 38°19'22" E	90°00'00"
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C21	72.00'	51.06'	50.00'	N 34°51'58" W	40°38'06"
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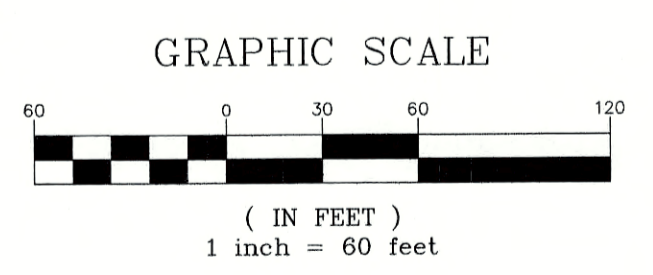
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DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 8/27/2015



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Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**
MAP 33, LOT 26

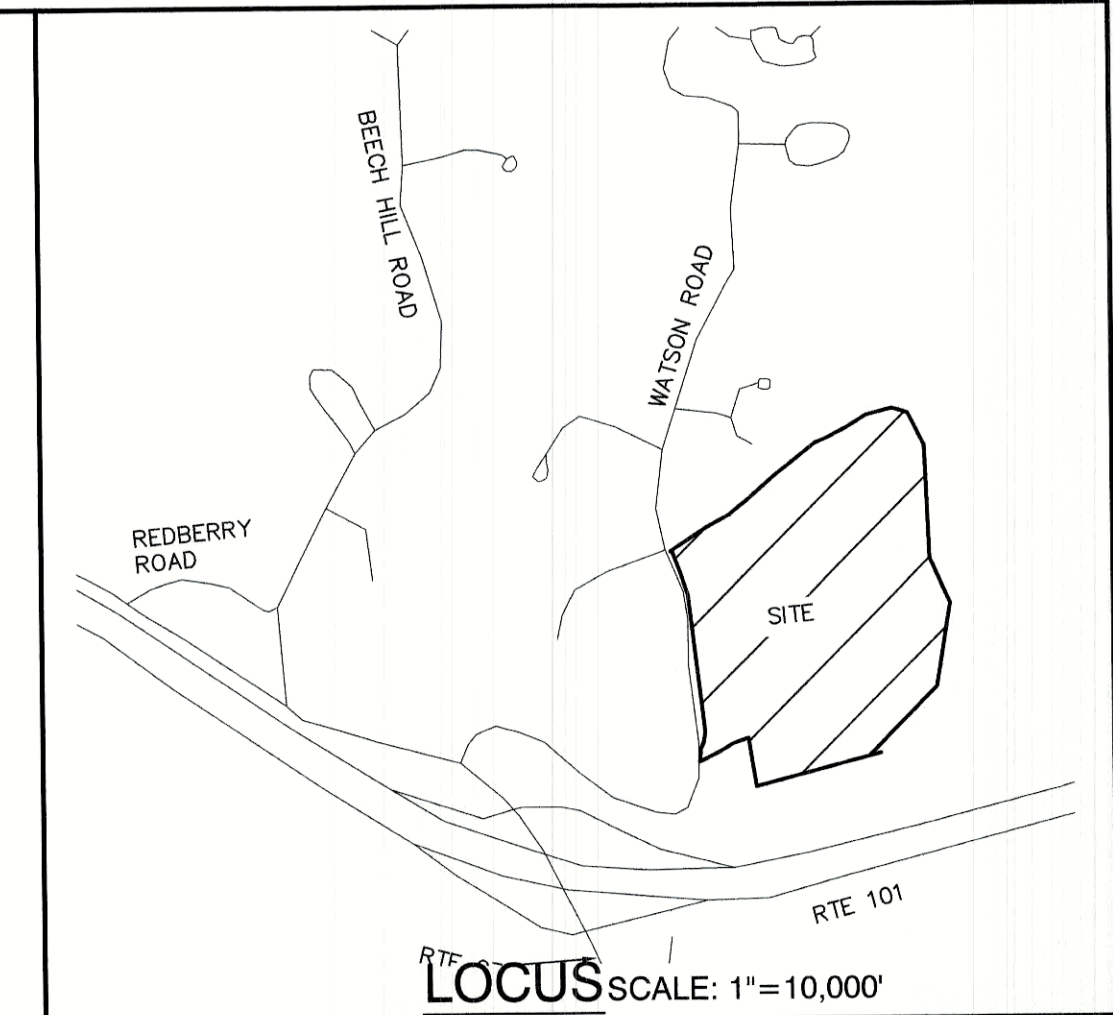
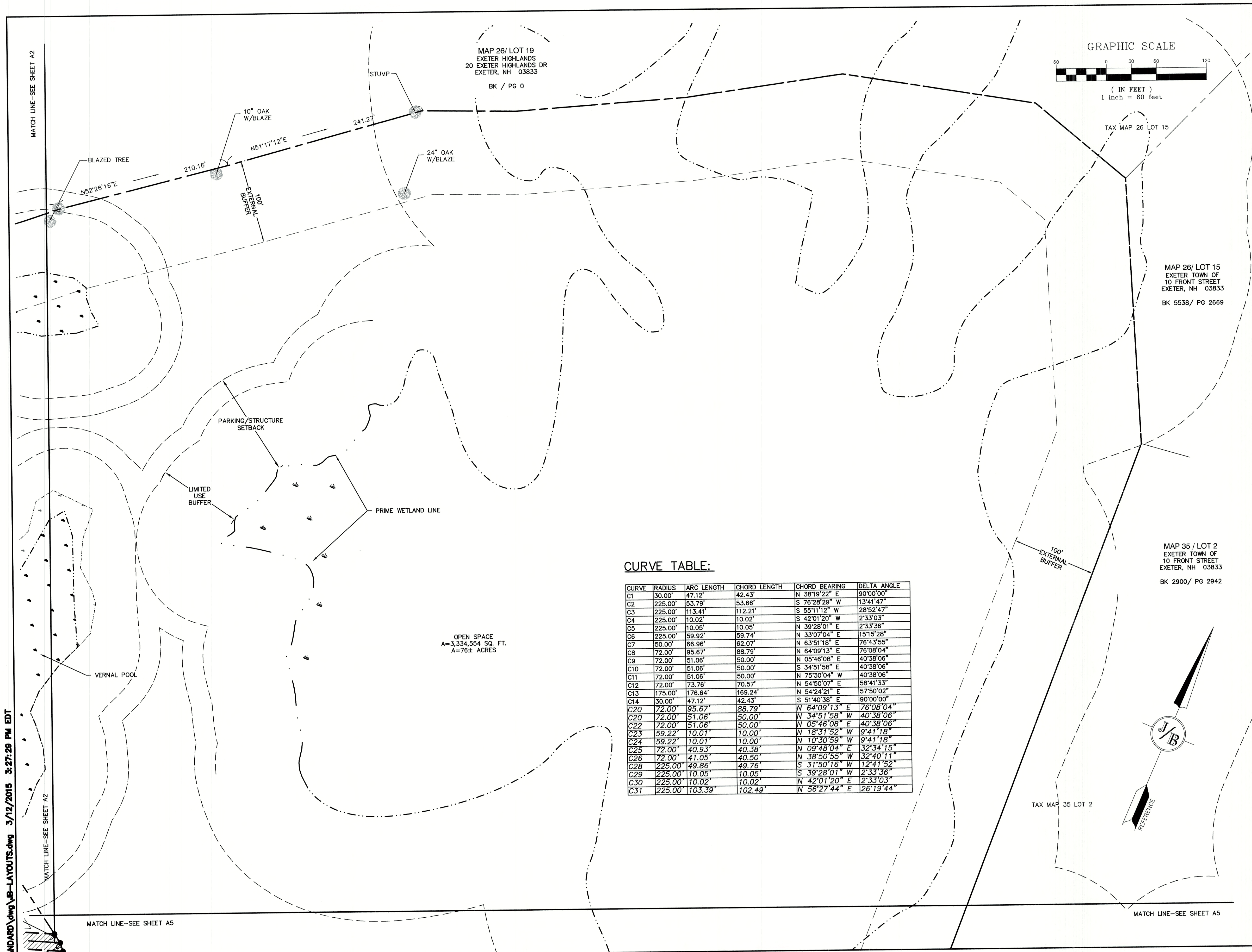
Project: **TAX MAP 33 LOT 26**
19 WATSON ROAD, EXETER, NH

Owner of Record: **SCOTT W. CARLISLE III**
14 CASS STREET, EXETER, NH 03833

DRAWING No.

A3

SHEET 7 OF 29
JBE PROJECT NO. 19102



GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
○	IRON PIPE/IRON ROD
×	DRILL HOLE
□	IRON ROD/DRILL HOLE
■	STONE/GRANITE BOUND
●	BENCHMARK (TBM)
○	TREES AND BUSHES
○	FRESHWATER WETLANDS
■	GRANITE BOUND TO BE SET
●	IRON PIN TO BE SET

CURVE TABLE:

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C13	175.00'	176.64'	169.24'	N 54°50'07" E	58°41'33"
C14	30.00'	47.12'	42.43'	S 51°40'38" E	90°00'00"
C20	72.00'	95.67'	88.79'	N 64°09'13" E	76°08'04"
C20	72.00'	51.06'	50.00'	N 34°51'58" W	40°38'06"
C22	72.00'	51.06'	50.00'	N 05°46'08" E	40°38'06"
C23	59.22'	10.01'	10.00'	N 18°31'52" W	9°41'18"
C24	59.22'	10.01'	10.00'	N 10°30'59" W	9°41'18"
C25	72.00'	40.93'	40.38'	N 09°48'04" E	32°34'15"
C26	72.00'	41.05'	40.50'	N 38°50'55" W	32°40'11"
C28	225.00'	49.86'	49.76'	S 31°50'16" W	12°41'52"
C29	225.00'	10.05'	10.05'	S 39°28'07" W	2°33'36"
C30	225.00'	10.02'	10.02'	N 42°01'20" E	2°33'03"
C31	225.00'	103.39'	102.49'	N 56°27'44" E	26°19'44"

F:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 8/27/2021

TOWN OF EXETER PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26
DATE:	APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833
CHAIRMAN	TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES

Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

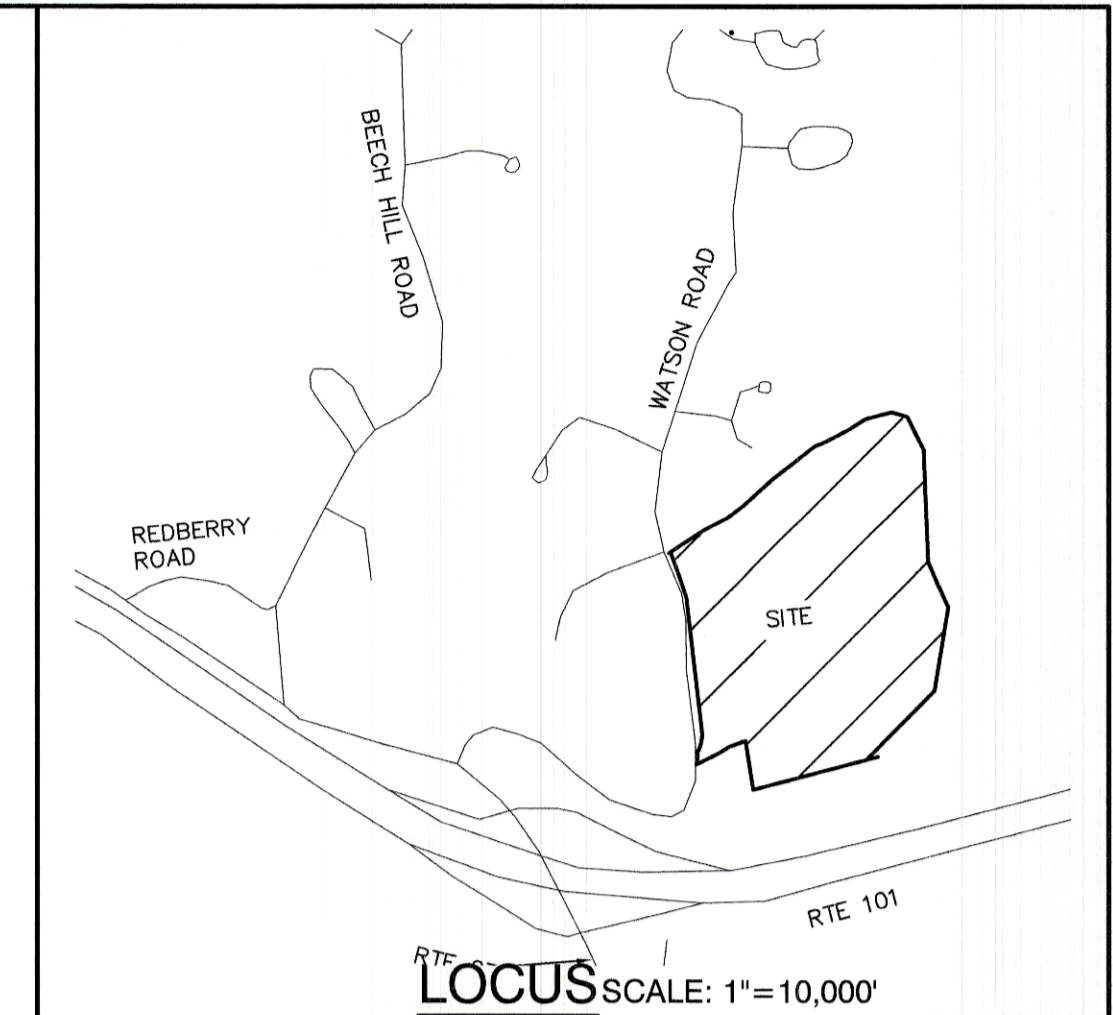
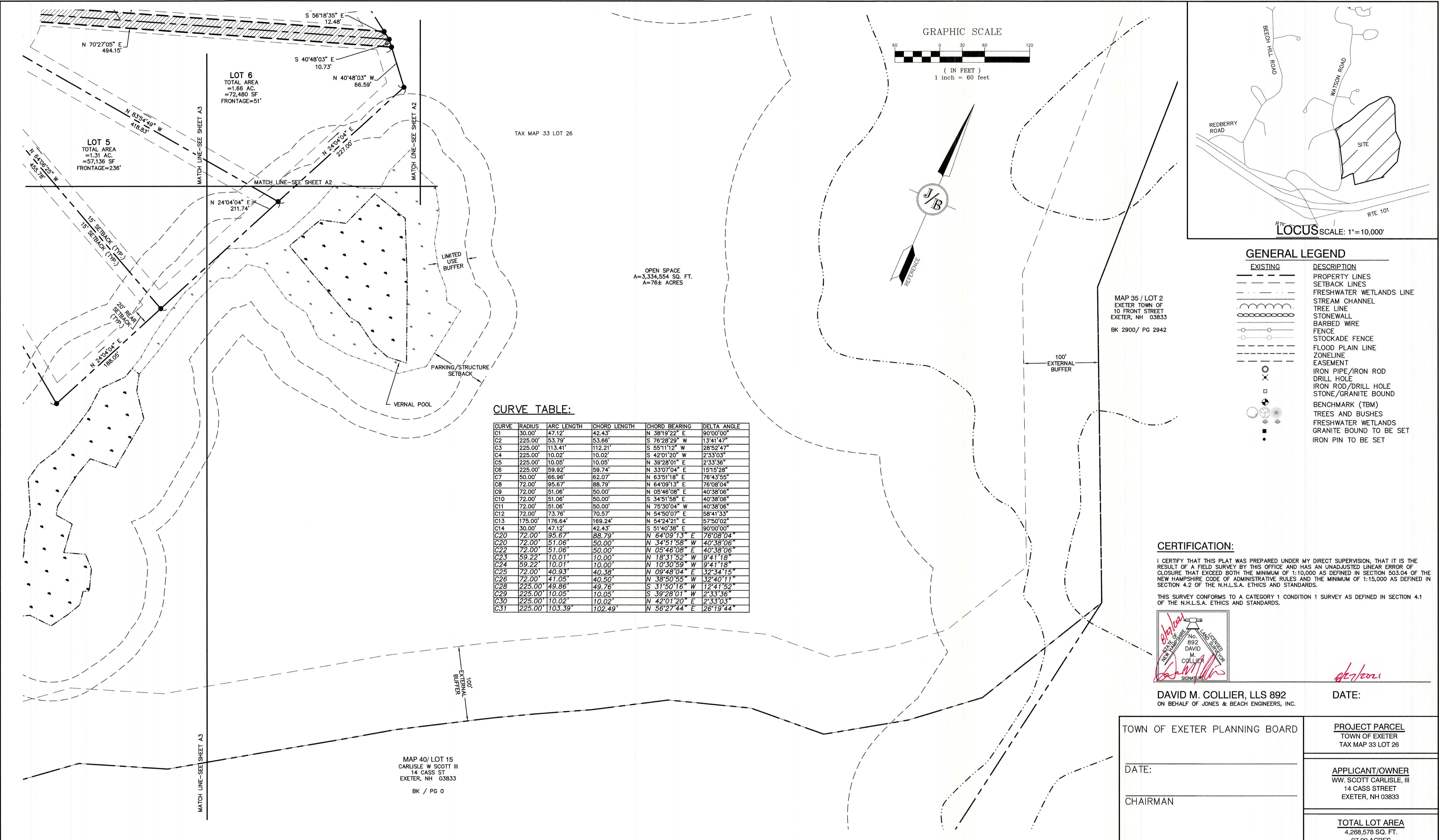
Plan Name:	SUBDIVISION PLAN MAP 33, LOT 26
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE, III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

A4

SHEET 8 OF 29
JBE PROJECT NO. 19102

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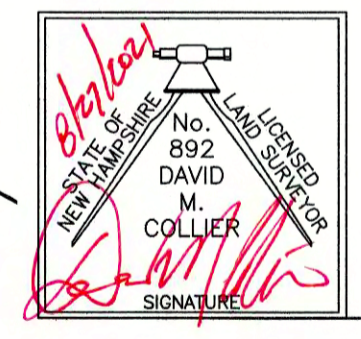
GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
○	IRON PIPE/IRON ROD
○	DRILL HOLE
○	IRON ROD/DRILL HOLE
○	STONE/GRANITE BOUND
○	BENCHMARK (TBM)
○	TREES AND BUSHES
○	FRESHWATER WETLANDS
○	GRANITE BOUND TO BE SET
○	IRON PIN TO BE SET

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	47.12'	42.43'	N 381°22' E	90°00'00"
C2	225.00'	53.79'	53.66'	S 76°28'29" W	13°41'47"
C3	225.00'	113.41'	112.21'	S 55°11'12" W	28°52'47"
C4	225.00'	10.02'	10.02'	S 42°01'20" W	2°33'03"
C5	225.00'	10.05'	10.05'	N 39°28'01" E	2°33'36"
C6	225.00'	59.92'	59.74'	N 33°07'04" E	15°15'28"
C7	50.00'	66.96'	62.07'	N 63°51'18" E	76°43'55"
C8	72.00'	95.67'	88.79'	N 64°09'13" E	76°08'04"
C9	72.00'	51.06'	50.00'	N 05°46'08" E	40°38'06"
C10	72.00'	51.06'	50.00'	S 34°51'58" E	40°38'06"
C11	72.00'	51.06'	50.00'	N 75°30'04" W	40°38'06"
C12	72.00'	73.76'	70.57'	N 54°50'07" E	58°41'33"
C13	175.00'	176.64'	169.24'	N 54°24'21" E	57°50'02"
C14	30.00'	47.12'	42.43'	S 51°40'38" E	90°00'00"
C20	72.00'	95.67'	88.79'	N 64°09'13" E	76°08'04"
C20	72.00'	51.06'	50.00'	N 34°51'58" W	40°38'06"
C22	72.00'	51.06'	50.00'	N 05°46'08" E	40°38'06"
C23	59.22'	10.01'	10.00'	N 18°31'52" W	9°41'18"
C24	59.22'	10.01'	10.00'	N 10°30'59" W	9°41'18"
C25	72.00'	40.93'	40.38'	N 09°48'04" E	32°34'15"
C26	72.00'	41.05'	40.50'	N 38°50'55" W	32°40'11"
C28	225.00'	49.86'	49.76'	S 31°50'16" W	12°41'52"
C29	225.00'	10.05'	10.05'	S 39°28'01" W	2°33'36"
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DAVID M. COLLIER, LLS 892
 ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: _____

TOWN OF EXETER PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26
DATE: _____	APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833
CHAIRMAN	TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES

Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
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REV.	DATE	REVISION	BY
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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SUBDIVISION PLAN MAP 33, LOT 26
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

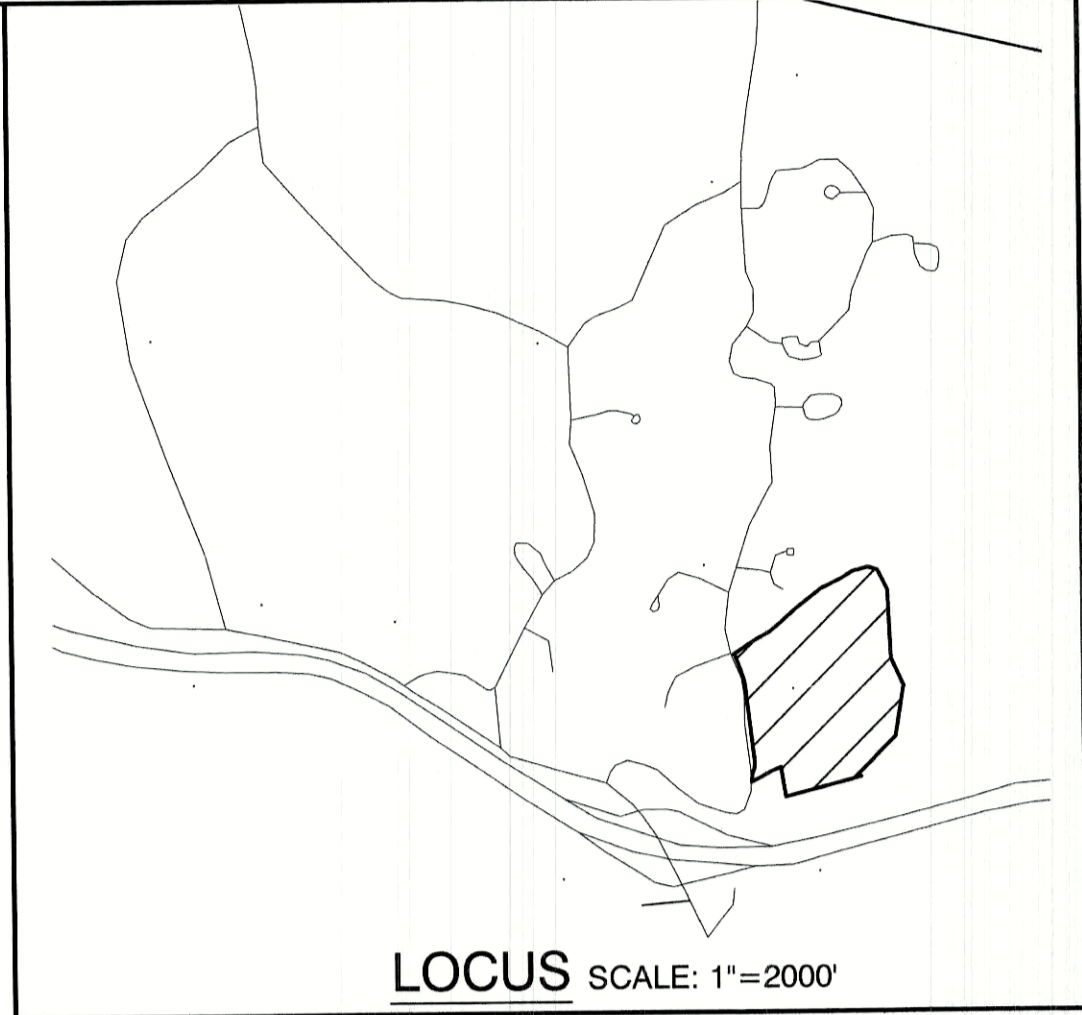
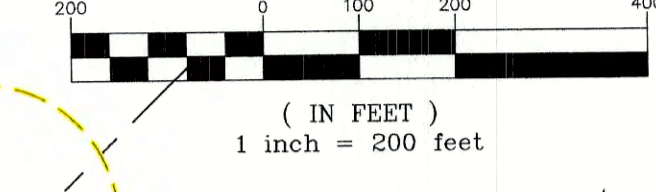
A5

SHEET 9 OF 29
 JBE PROJECT NO. 19102

PLAN REFERENCES:

- "PLAT OF LAND EXETER, NH FOR SCOTT CARLISLE, III"; PREPARED BY DURGIN SCOFIELD ASSOCIATES; DATED FEBRUARY 23, 1989; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-19708.
- "PLAT OF LAND EXETER, NH FOR SCOTT CARLISLE, III"; PREPARED BY DURGIN SCOFIELD ASSOCIATES; DATED APRIL 26, 1988; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-17892.
- "PLAT OF LAND FOR COURMA LTD IN EXETER, NH"; PREPARED BY PARKER SURVEY ASSOCIATES; DATED DECEMBER 31, 1984; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS D-13187.
- "SUBDIVISION OF LAND FOR COURMA LTD IN EXETER, NH"; PREPARED BY PARKER SURVEY ASSOCIATES; DATED MARCH 22, 1984; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS D-12470.
- "PLANS OF PROPOSED FEDERAL AID RIGHT OF WAY PROJECT NHS-STP-F-1-018-2(79) ROW NH PROJECT NO. 11533 NHS-018-2(113)(CONSTRUCTION) NH PROJECT NO. 11533-F"; PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND HOLDEN ENGINEERING & SURVEYING, INC.; DATED SEPTEMBER 4, 1994.
- "SUBDIVISION PLAN EXETER HIGHLANDS EXETER, NH"; PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC.; DATED NOVEMBER 15, 1989; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAT D-19913.

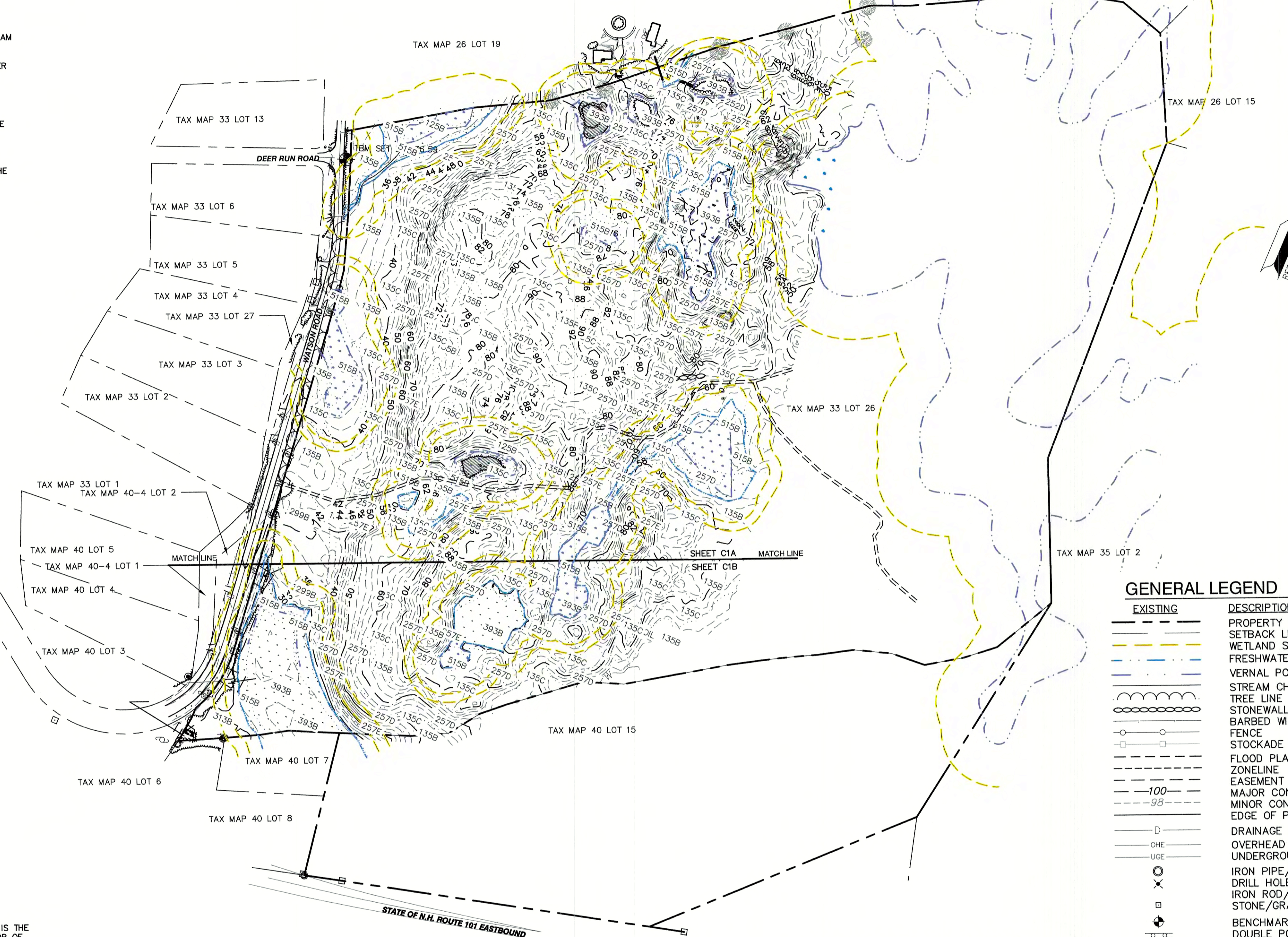
GRAPHIC SCALE



NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS DEPICTED HEREON TAX MAP 33 LOT 26.
- ZONING DISTRICT: OPEN SPACE
LOT AREA MINIMUM = 15,000 S.F.
LOT FRONTAGE MINIMUM = 50'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 20'
WETLAND SETBACK = AS SHOWN
MAX. BUILDING HEIGHT = 35'

ZONING DISTRICT: R-1
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 25'
WETLAND SETBACK = AS SHOWN
MAX. BUILDING HEIGHT = 35'
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE AND TOWN OF EXETER DPW AT (603)-773-6157.
- THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A ZONE X SHADED DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0239E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 239 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SUBJECT PARCEL IS ALSO ON MAP NO. 33015C0238E AND IS IN ZONE X UNSHADED.
- BASIS OF BEARING: HORIZONTAL - STATE PLANE COORDINATES. VERTICAL - NAVD 88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDAN QUIGLEY OF GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE, 2020 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 46,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.



GENERAL LEGEND

EXISTING	DESCRIPTION
—	PROPERTY LINES
---	SETBACK LINES
---	WETLAND SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	VERNAL POOL
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	DRAINAGE LINE
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	IRON ROD/DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	DOUBLE POST SIGN
---	SINGLE POST SIGN
---	WELL
---	TEST PIT
---	MONITORING WELL
---	TREES AND BUSHES
---	LIGHT POLES
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	HYDRANT
---	WATER GATE
---	WATER SHUT OFF
---	SINGLE GRATE CATCH BASIN
---	CULVERT W/WINGWALLS
---	CULVERT W/FLARED END SECTION
---	CULVERT W/STRAIGHT HEADWALL
---	FRESHWATER WETLANDS

SITE SPECIFIC SOILS TABLE:

SSSM SYM.	SSS MAP NAME	HISS SYM.	HYDROLOGIC SOIL GRP.
125	SCARBORO, MUCK	621	D
1335	CHATFIELD VARIANT-NEWFIE LDS COMPLEX	328	B
257	CHATFIELD-CANTON COMPLEX, EXTREMELY ROCKY	228	B
299	UDORTMENTS, SMOOTHED, CONSTRUCTION MATERIALS	763	C
313	DEERFIELD, LOAMY SAND	311	B
393	TIMAKWA, MUCK	681	D
515	LEICESTER, VERY STONY	521	C

SLOPE PHASE:

0-8%	B
8-15%	C
15-25%	D
25%+	E

SITE SPECIFIC NOTES:

- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
- THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 2 NOVEMBER, 2020, AND WAS PREPARED BY JAMES P. GOVE, CSS #004 GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED ON WATSON ROAD, EXETER, NH.
- SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE #10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.
- HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOILS SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 08/27/2021

Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
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0	12/22/20	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERALL EX-CONDITIONS**

Project: **TAX MAP 33 LOT 26**
19 WATSON ROAD, EXETER, NH

Owner of Record: **SCOTT W. CARLISLE III**
14 CASS STREET, EXETER, NH 03833

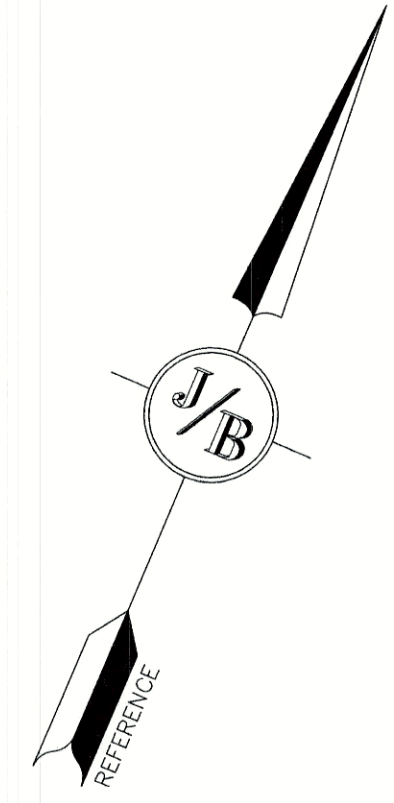
DRAWING No. **C1**

SHEET 10 OF 29
JBE PROJECT NO. 19102

GRAPHIC SCALE



(IN FEET)
1 inch = 100 feet



MAP 26/ LOT 19
EXETER HIGHLANDS
20 EXETER
HIGHLANDS DR
EXETER, NH 03833

MAP 33 / LOT 13
ASACKER C
KIMBERLY
2 DEER RUN RD
EXETER, NH 03833
BK 3225/ PG 1167

MAP 33 / LOT 6
BARS EROL
1 DEER RUN RD
EXETER, NH 03833
BK 5705/ PG 1073

MAP 33 / LOT 5
FELLOWS DAVID P
36 WATSON RD
EXETER, NH 03833
BK 3055/ PG 2000

MAP 33 / LOT 27
EXETER TOWN OF
10 FRONT STREET
EXETER, NH 03833
BK 5460/ PG 1787

MAP 33 / LOT 4
DIXON RONALD
32 WATSON RD
EXETER, NH 03833
BK 5961/ PG 0737

MAP 33 / LOT 3
JEDREY RICHARD A
28 WATSON RD
EXETER, NH 03833
BK 4969/ PG 2235

MAP 33 / LOT 2
ARCIERI ELLEN M
24 WATSON RD
EXETER, NH 03833
BK 5984/ PG 2734

MAP 40 / LOT 4/UNIT 2
EXETER TOWN OF
10 FRONT STREET
EXETER, NH 03833

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David M. Collier
DAVID M. COLLIER
REGISTERED PROFESSIONAL SURVEYOR
NO. 892
NEW HAMPSHIRE

8/17/2021

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	DATE:
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	CHAIRMAN

Design: BWG Draft: DFP Date: 08/17/2021
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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

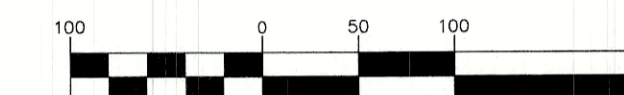
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

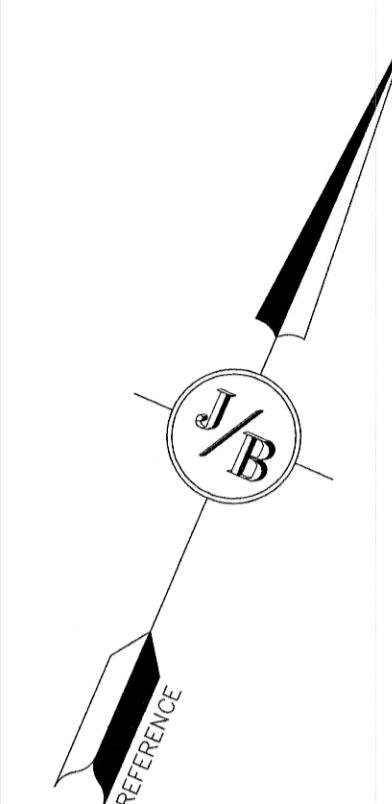
Plan Name:	EXISTING CONDITIONS PLAN
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.
C1A
SHEET 11 OF 29
JBE PROJECT NO. 19102

GRAPHIC SCALE

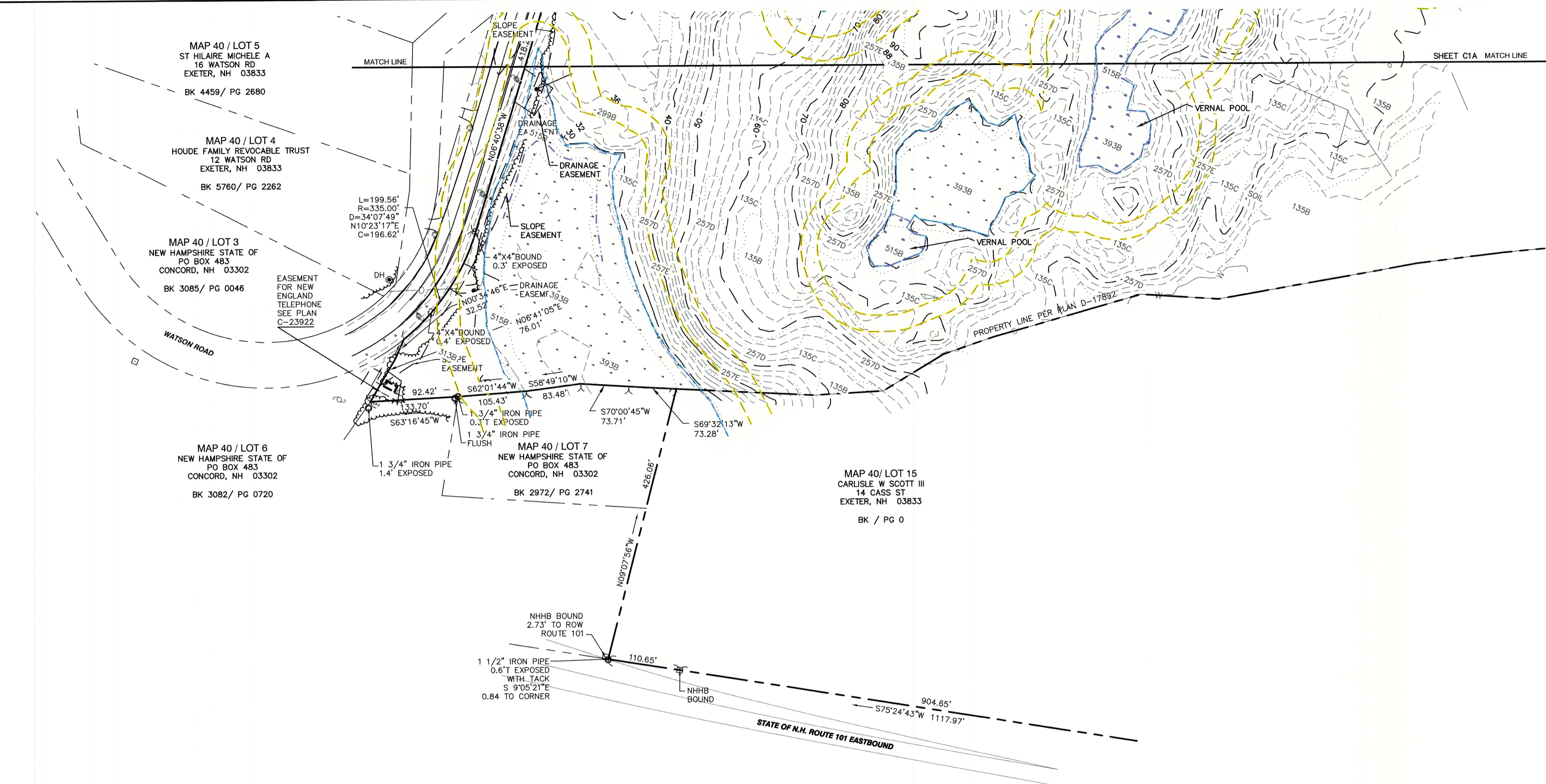


(IN FEET)
1 inch = 100 feet



GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	WETLAND SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	STREAM CHANNEL
---	TREE LINE
---	STONEWALL
---	BARBED WIRE
---	FENCE
---	STOCKADE FENCE
---	FLOOD PLAIN LINE
---	ZONELINE
---	EASEMENT
100	MAJOR CONTOUR
98	MINOR CONTOUR
---	EDGE OF PAVEMENT
D	DRAINAGE LINE
S	SEWER LINE
W	WATER LINE
WS	WATER SERVICE
OHE	OVERHEAD ELECTRIC
UGE	UNDERGROUND ELECTRIC
○	IRON PIPE/IRON ROD
×	DRILL HOLE
□	IRON ROD/DRILL HOLE
□	STONE/GRANITE BOUND
+	BENCHMARK (TBM)
+	DOUBLE POST SIGN
+	SINGLE POST SIGN
+	WELL
+	TEST PIT
+	MONITORING WELL
+	TREES AND BUSHES
+	UTILITY POLE
+	LIGHT POLES
+	DRAIN MANHOLE
+	SEWER MANHOLE
+	HYDRANT
+	WATER GATE
+	WATER SHUT OFF
+	SINGLE GRATE CATCH BASIN
+	CULVERT W/WINGWALLS
+	CULVERT W/FLARED END SECTION
+	CULVERT W/STRAIGHT HEADWALL
+	FRESHWATER WETLANDS



CERTIFICATION:
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

David M. Collier
DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 08/17/2021

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD
APPLICANT/OWNER W.W. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	DATE:
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	CHAIRMAN

Design: BWG	Draft: DFP	Date: 08/17/2021
Checked: BWG	Scale: AS-NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

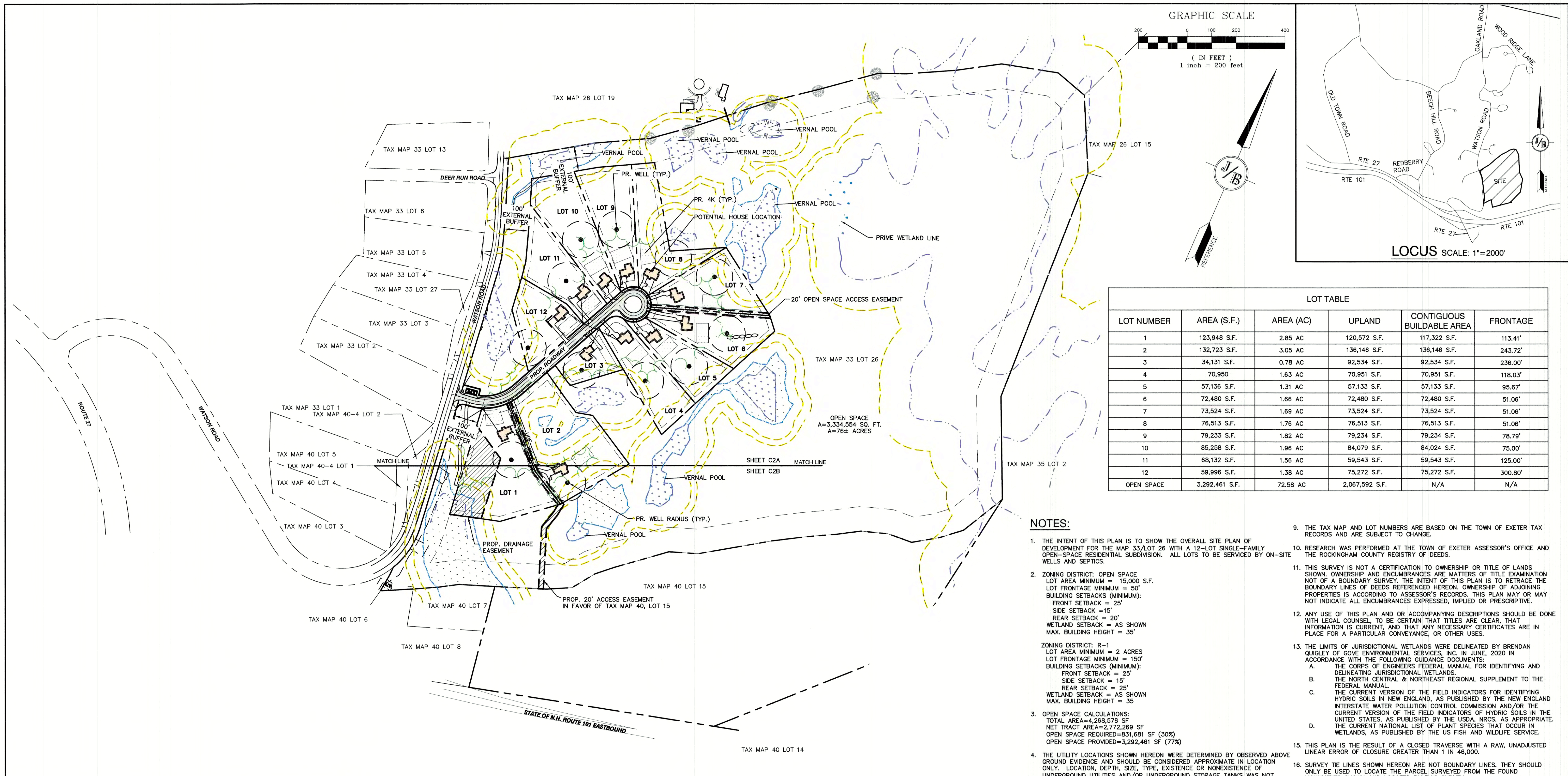
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

C1B

SHEET 12 OF 29
JBE PROJECT NO. 19102



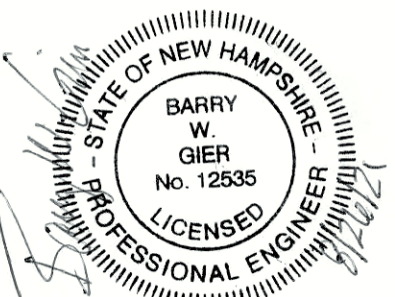
LOT TABLE

LOT NUMBER	AREA (S.F.)	AREA (AC)	UPLAND	CONTIGUOUS BUILDABLE AREA	FRONTAGE
1	123,948 S.F.	2.85 AC	120,572 S.F.	117,322 S.F.	113.41'
2	132,723 S.F.	3.05 AC	136,146 S.F.	136,146 S.F.	243.72'
3	34,131 S.F.	0.78 AC	92,534 S.F.	92,534 S.F.	236.00'
4	70,950	1.63 AC	70,951 S.F.	70,951 S.F.	118.03'
5	57,136 S.F.	1.31 AC	57,133 S.F.	57,133 S.F.	95.67'
6	72,480 S.F.	1.66 AC	72,480 S.F.	72,480 S.F.	51.06'
7	73,524 S.F.	1.69 AC	73,524 S.F.	73,524 S.F.	51.06'
8	76,513 S.F.	1.76 AC	76,513 S.F.	76,513 S.F.	51.06'
9	79,233 S.F.	1.82 AC	79,234 S.F.	79,234 S.F.	78.79'
10	85,258 S.F.	1.96 AC	84,079 S.F.	84,024 S.F.	75.00'
11	68,132 S.F.	1.56 AC	59,543 S.F.	59,543 S.F.	125.00'
12	59,996 S.F.	1.38 AC	75,272 S.F.	75,272 S.F.	300.80'
OPEN SPACE	3,292,461 S.F.	72.58 AC	2,067,592 S.F.	N/A	N/A

- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE OVERALL SITE PLAN OF DEVELOPMENT FOR THE MAP 33/LOT 26 WITH A 12-LOT SINGLE-FAMILY OPEN-SPACE RESIDENTIAL SUBDIVISION. ALL LOTS TO BE SERVICED BY ON-SITE WELLS AND SEPTICS.
 - ZONING DISTRICT: OPEN SPACE
 LOT AREA MINIMUM = 15,000 S.F.
 LOT FRONTAGE MINIMUM = 50'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 25'
 SIDE SETBACK = 15'
 REAR SETBACK = 20'
 WETLAND SETBACK = AS SHOWN
 MAX. BUILDING HEIGHT = 35'
 - ZONING DISTRICT: R-1
 LOT AREA MINIMUM = 2 ACRES
 LOT FRONTAGE MINIMUM = 150'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 25'
 SIDE SETBACK = 15'
 REAR SETBACK = 25'
 WETLAND SETBACK = AS SHOWN
 MAX. BUILDING HEIGHT = 35'
 - OPEN SPACE CALCULATIONS:
 TOTAL AREA=4,268,578 SF
 NET TRACT AREA=2,772,269 SF
 OPEN SPACE REQUIRED=831,681 SF (30%)
 OPEN SPACE PROVIDED=3,292,461 SF (77%)
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE AND TOWN OF EXETER DPW AT (603)-773-6157.
 - THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A ZONE X SHADED DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0239E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 239 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SUBJECT PARCEL IS ALSO ON MAP NO. 33015C0239E AND IS IN ZONE X UNSHADED.
 - BASIS OF BEARING: HORIZONTAL - STATE PLANE COORDINATES . VERTICAL - NAD 88 .
 - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
 - RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESUMPTIVE.
 - ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDAN QUIGLEY OF GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE, 2020 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 A. THE CORPUS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NROS, AS APPROPRIATE.
 D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 46,000.
 - SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
 - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - ALL WATER, SEWER, ROAD, (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
 - THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN BEFORE WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	DATE: _____
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	CHAIRMAN _____

Design: BWG Draft: DFP Date: 08/26/2021
 Checked: BWG Scale: AS-NOTED Project No.: 19102
 Drawing Name: 19102-PLAN.dwg
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1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

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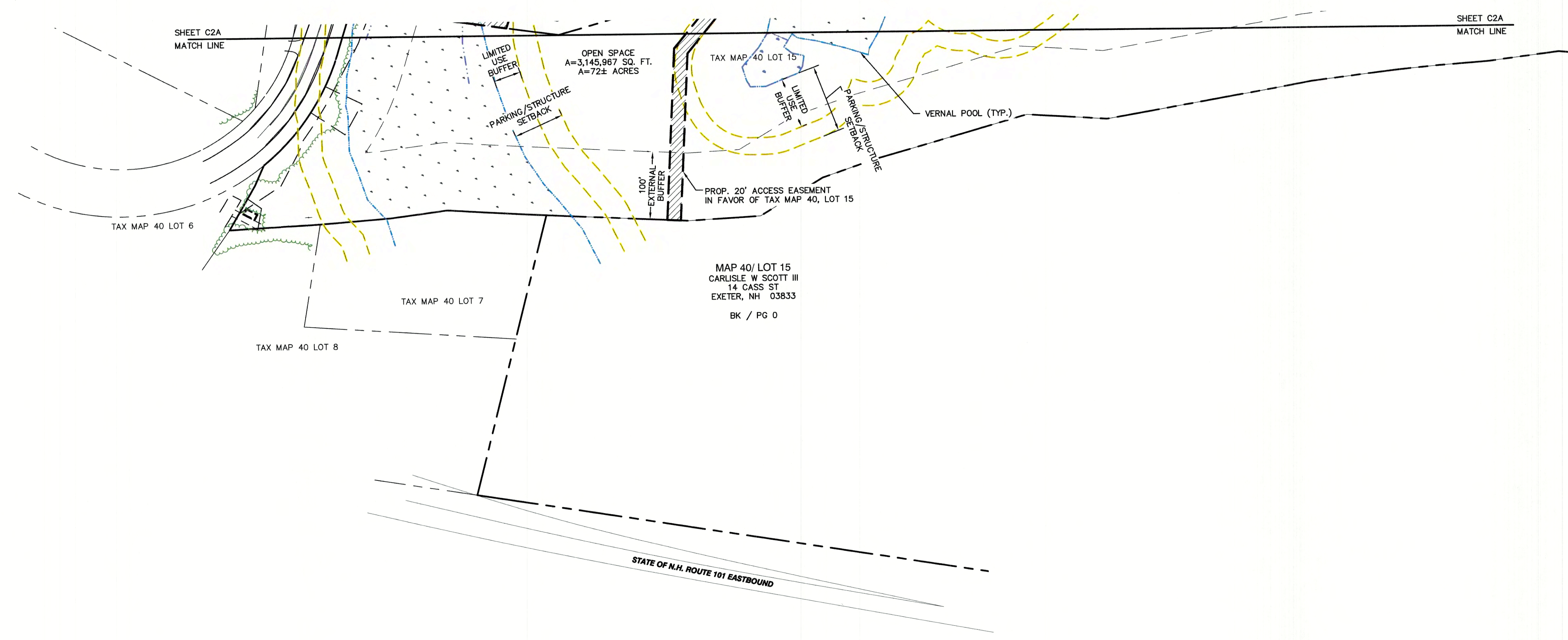
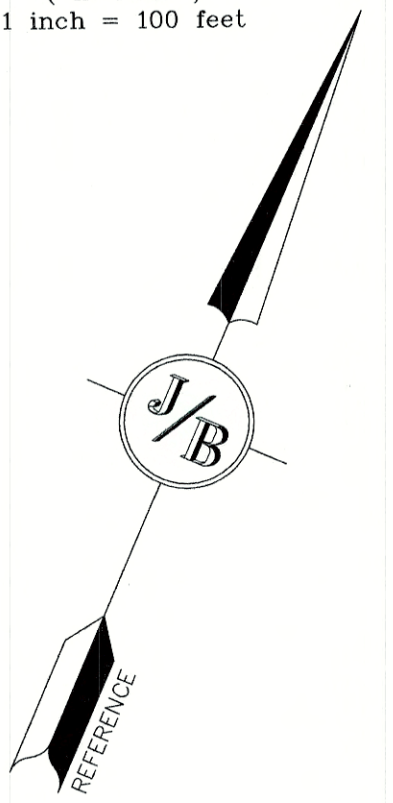
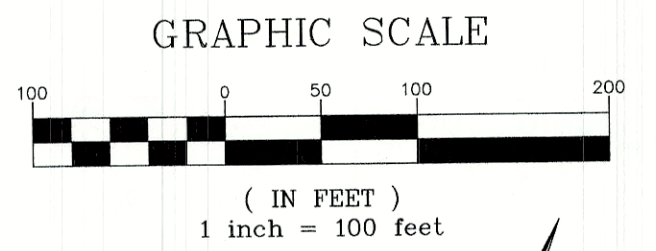
Plan Name: **OVERALL SITE PLAN**

Project: **TAX MAP 33 LOT 26
19 WATSON ROAD, EXETER, NH**

Owner of Record: **SCOTT W. CARLISLE III
14 CASS STREET, EXETER, NH 03833**

DRAWING No. **C2**

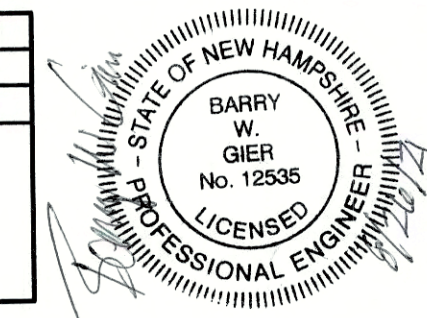
SHEET 13 OF 29
JBE PROJECT NO. 19102



PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	DATE: _____ CHAIRMAN
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	

Design: BWG | Draft: DFP | Date: 08/26/2021
 Checked: BWG | Scale: AS-NOTED | Project No.: 19102
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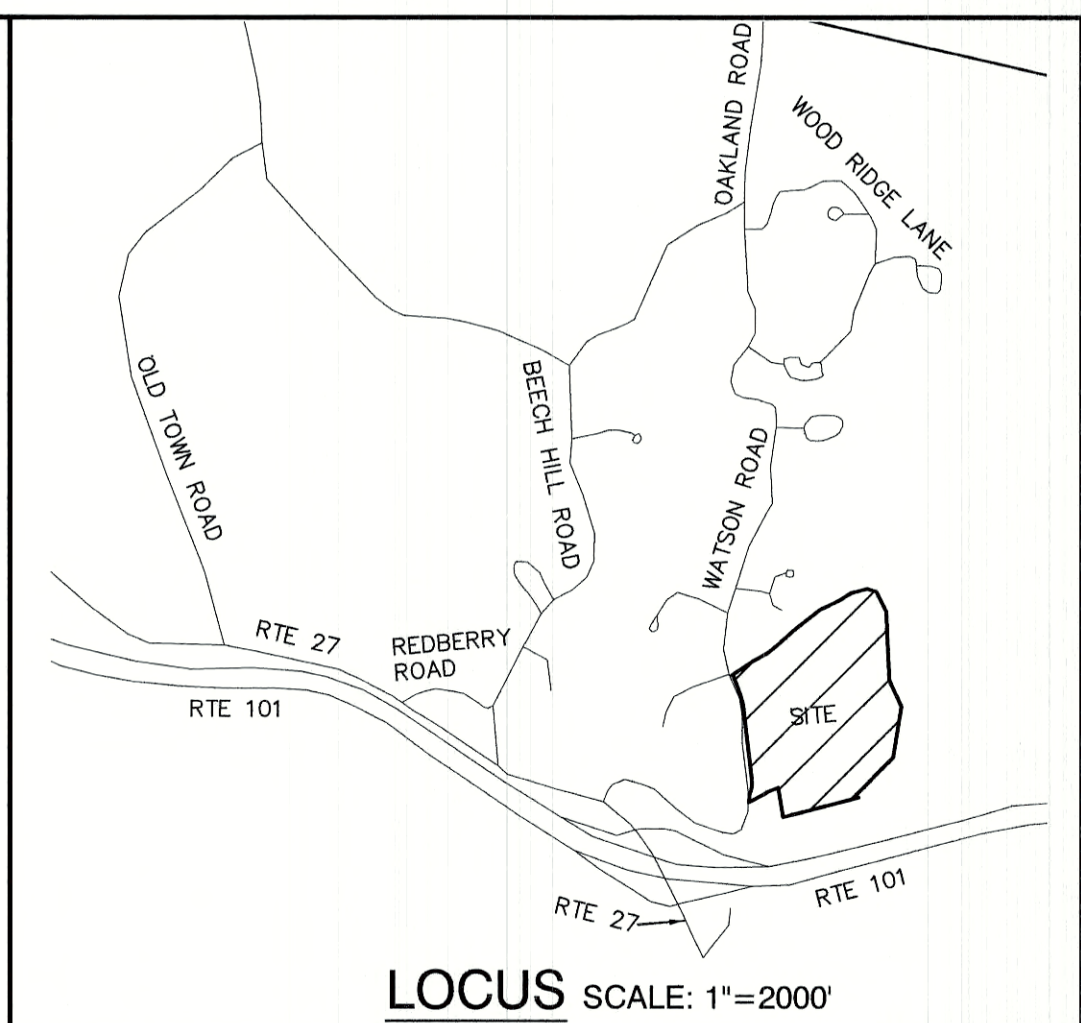
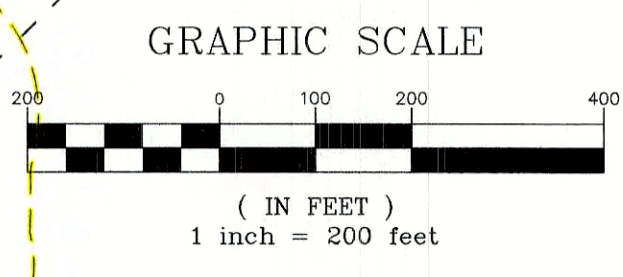
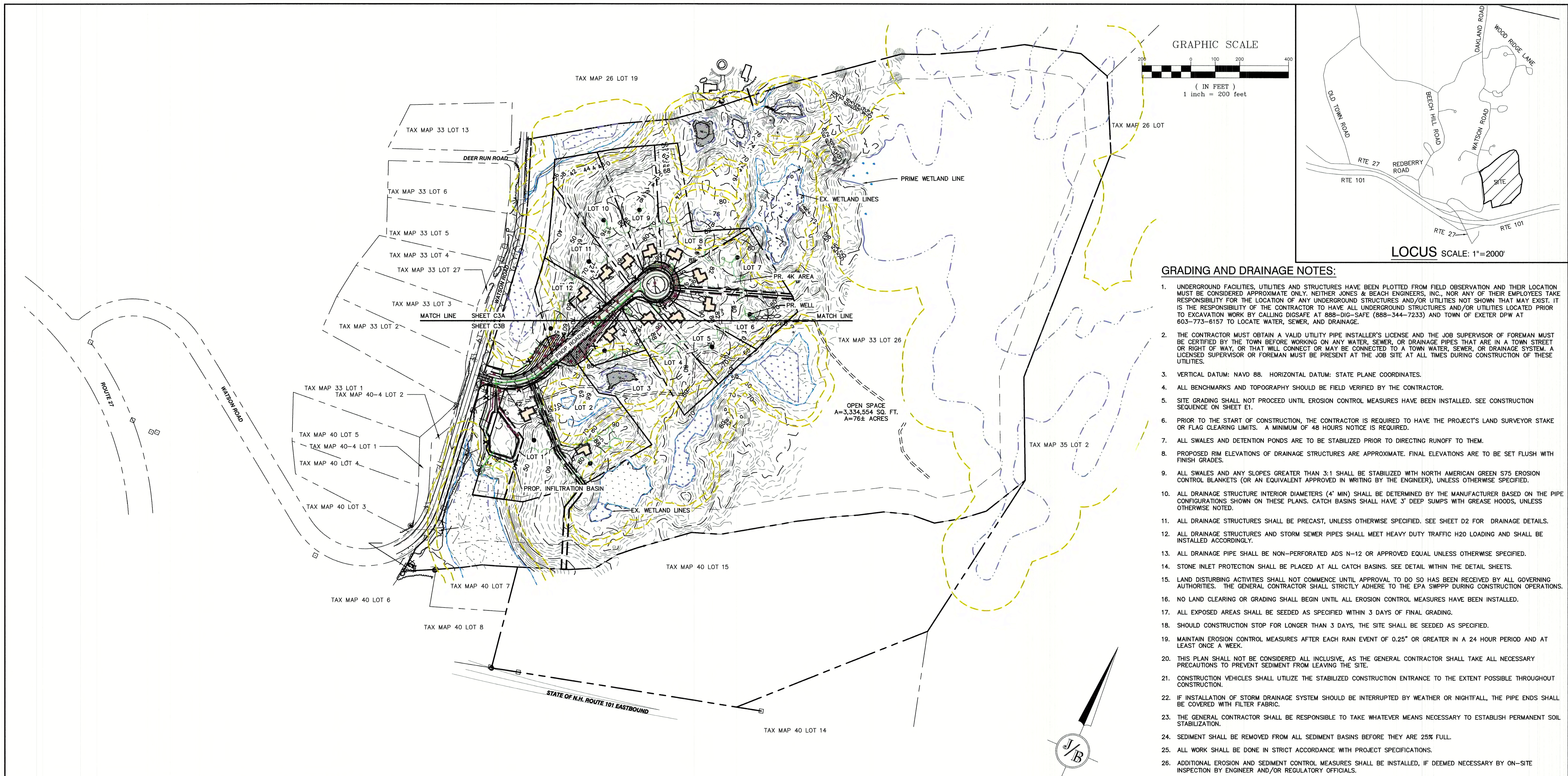
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J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. | Civil Engineering Services | 603-772-4746
 PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.
C2B
SHEET 15 OF 29
JBE PROJECT NO. 19102



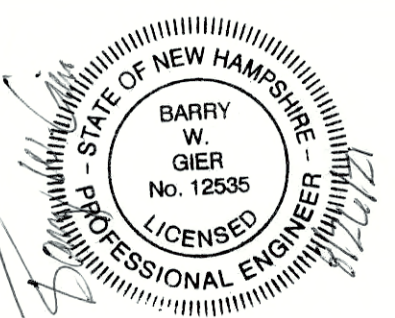
GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING DIGSAFE AT 888-DIG-SAFE (888-344-7233) AND TOWN OF EXETER DPW AT 603-773-6157 TO LOCATE WATER, SEWER, AND DRAINAGE.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OF FOREMAN MUST BE CERTIFIED BY THE TOWN BEFORE WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.
- VERTICAL DATUM: NAVD 88. HORIZONTAL DATUM: STATE PLANE COORDINATES.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D2 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- WETLAND BUFFER IMPACTS TO BE SEEDED WITH "NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX" AS PRODUCED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
- WETLAND IMPACTS:
 WETLAND IMPACTS = 0 SQ.FT.
 WETLAND PARKING/STRUCTURE BUFFER:
 TEMPORARY IMPACT #1 = 248 SQ.FT.
 TEMPORARY IMPACT #2 = 3,358 SQ.FT.
 PERMANENT IMPACT #3 = 542 SQ.FT.
 TOTAL = 4,148 SQ.FT.
 WETLAND LIMITED USE BUFFER:
 TEMPORARY IMPACT #1 = 178 SQ.FT.
 PERMANENT IMPACT #2 = 673 SQ.FT.
 TOTAL = 851 SQ.FT.

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	DATE: _____
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	CHAIRMAN _____

Design: BWG Draft: DFP Date: 08/26/2021
 Checked: BWG Scale: AS-NOTED Project No.: 19102
 Drawing Name: 19102-PLAN.dwg

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Designed and Produced in NH

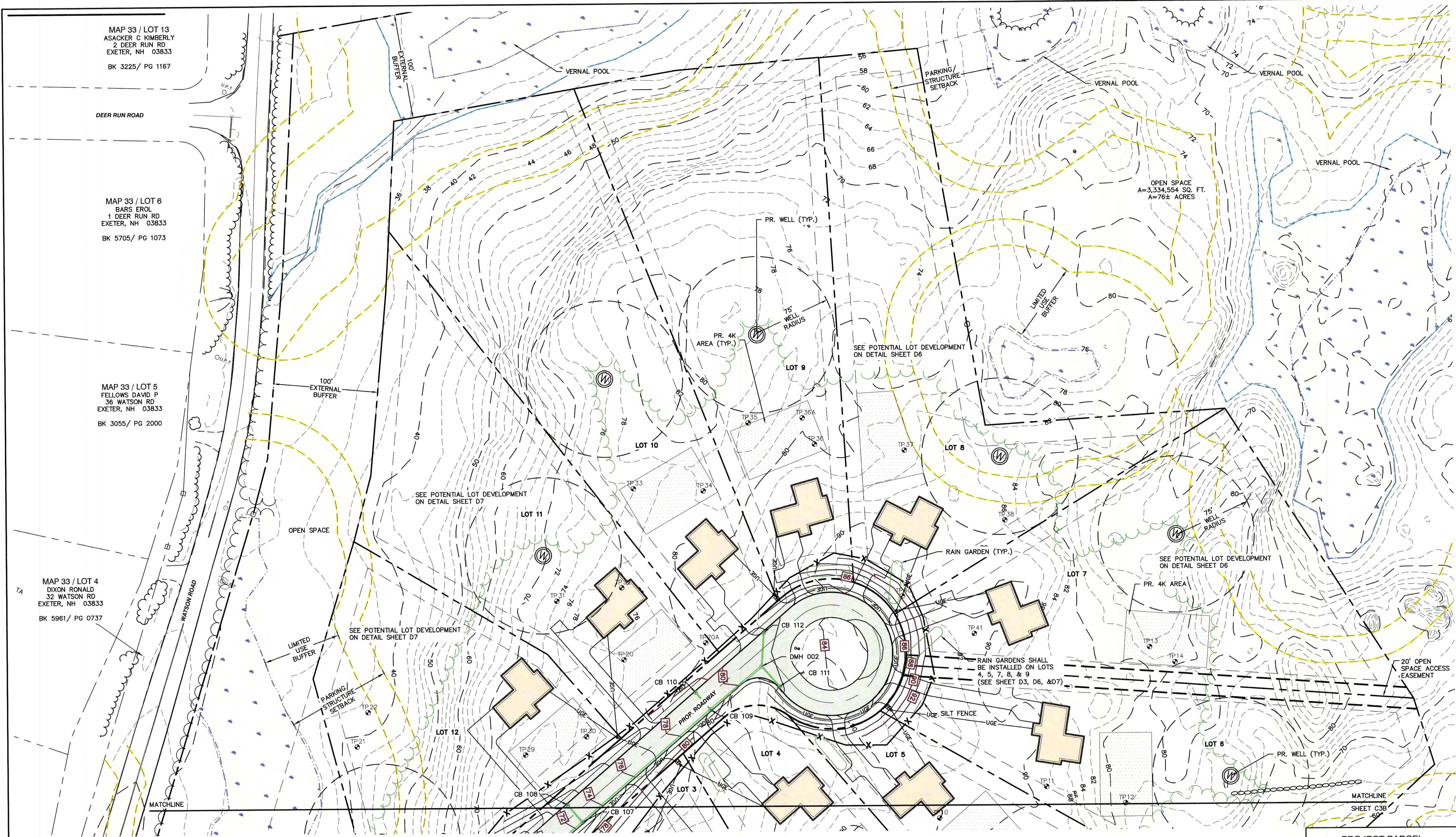
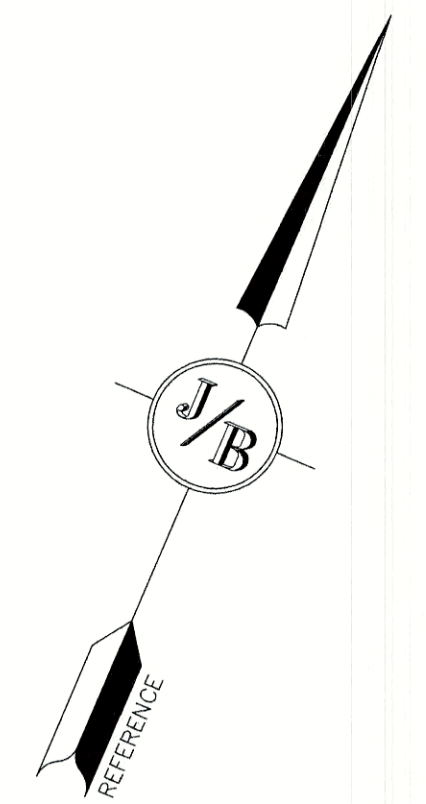
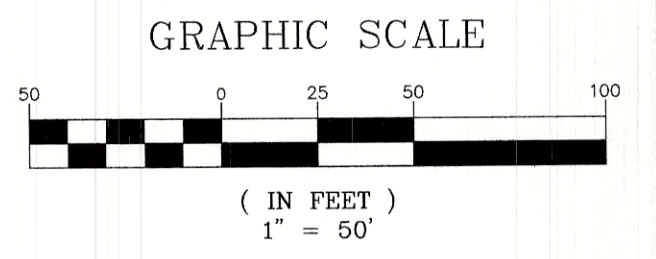
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 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERALL GRADING PLAN
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.
C3
 SHEET 16 OF 29
 JBE PROJECT NO. 19102



MAP 33 / LOT 13
ASACKER C KIMBERLY
2 DEER RUN RD
EXETER, NH 03833
BK 3225 / PG 1167

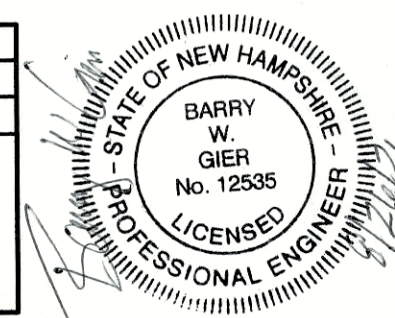
MAP 33 / LOT 6
BARS EROL
1 DEER RUN RD
EXETER, NH 03833
BK 5705 / PG 1073

MAP 33 / LOT 5
FELLOWS DAVID P
36 WATSON RD
EXETER, NH 03833
BK 3055 / PG 2000

MAP 33 / LOT 4
DIXON RONALD
32 WATSON RD
EXETER, NH 03833
BK 5961 / PG 0737

PROJECT PARCEL TOWN OF EXETER TAX MAP 33 LOT 26	TOWN OF EXETER PLANNING BOARD DATE: _____ CHAIRMAN _____
APPLICANT/OWNER WW. SCOTT CARLISLE, III 14 CASS STREET EXETER, NH 03833	
TOTAL LOT AREA 4,268,578 SQ. FT. 97.99 ACRES	

Design: BWG Draft: DFP Date: 08/26/2021
Checked: BWG Scale: AS-NOTED Project No.: 19102
Drawing Name: 19102-PLAN.dwg
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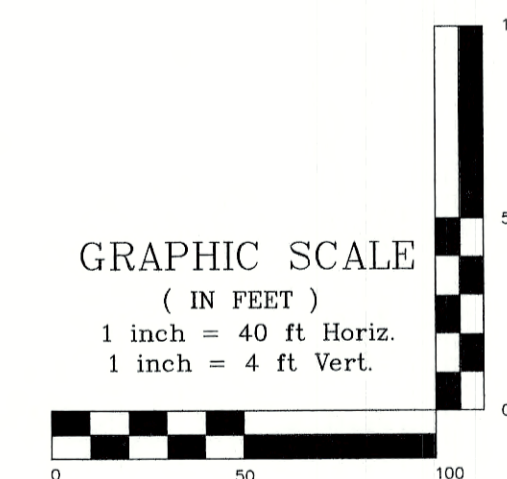
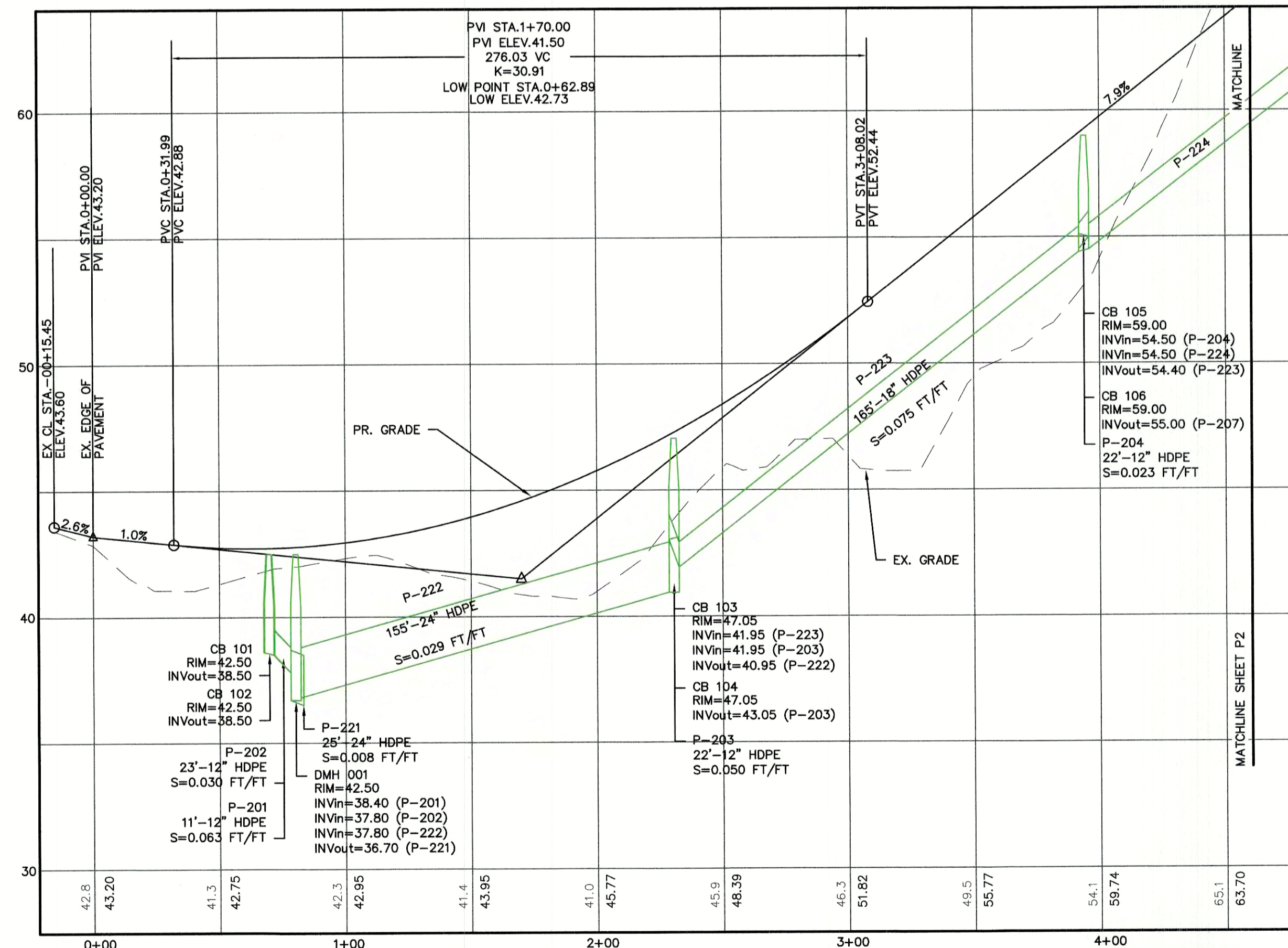
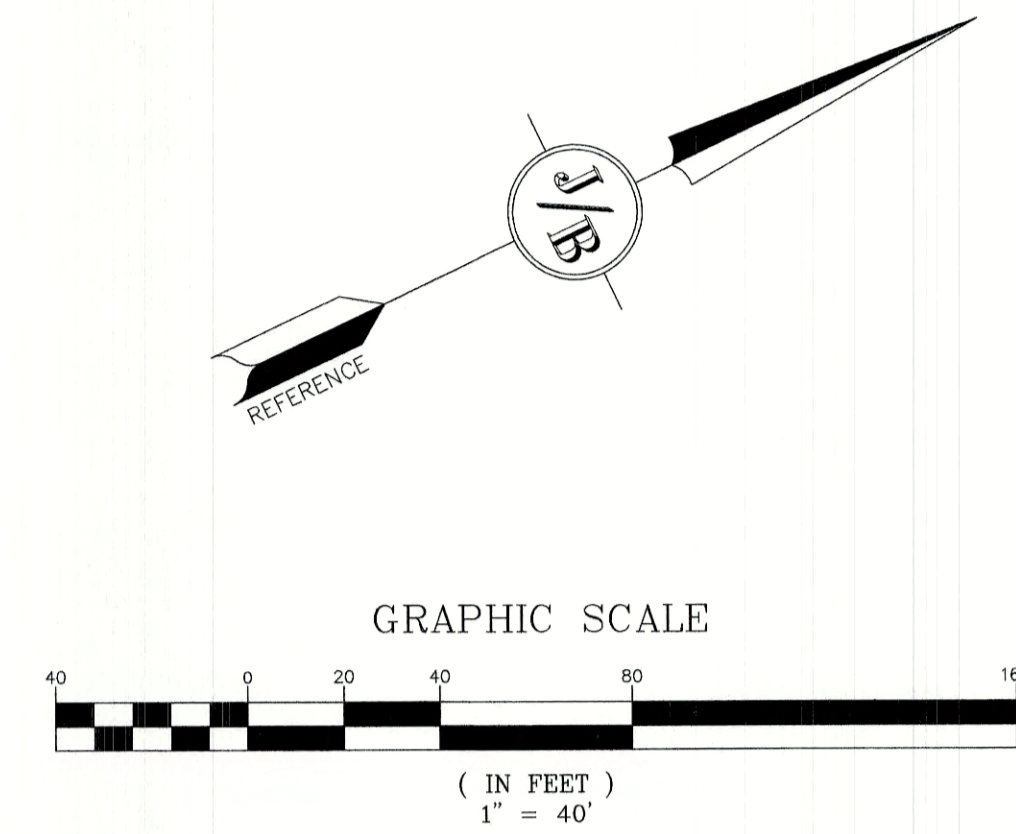
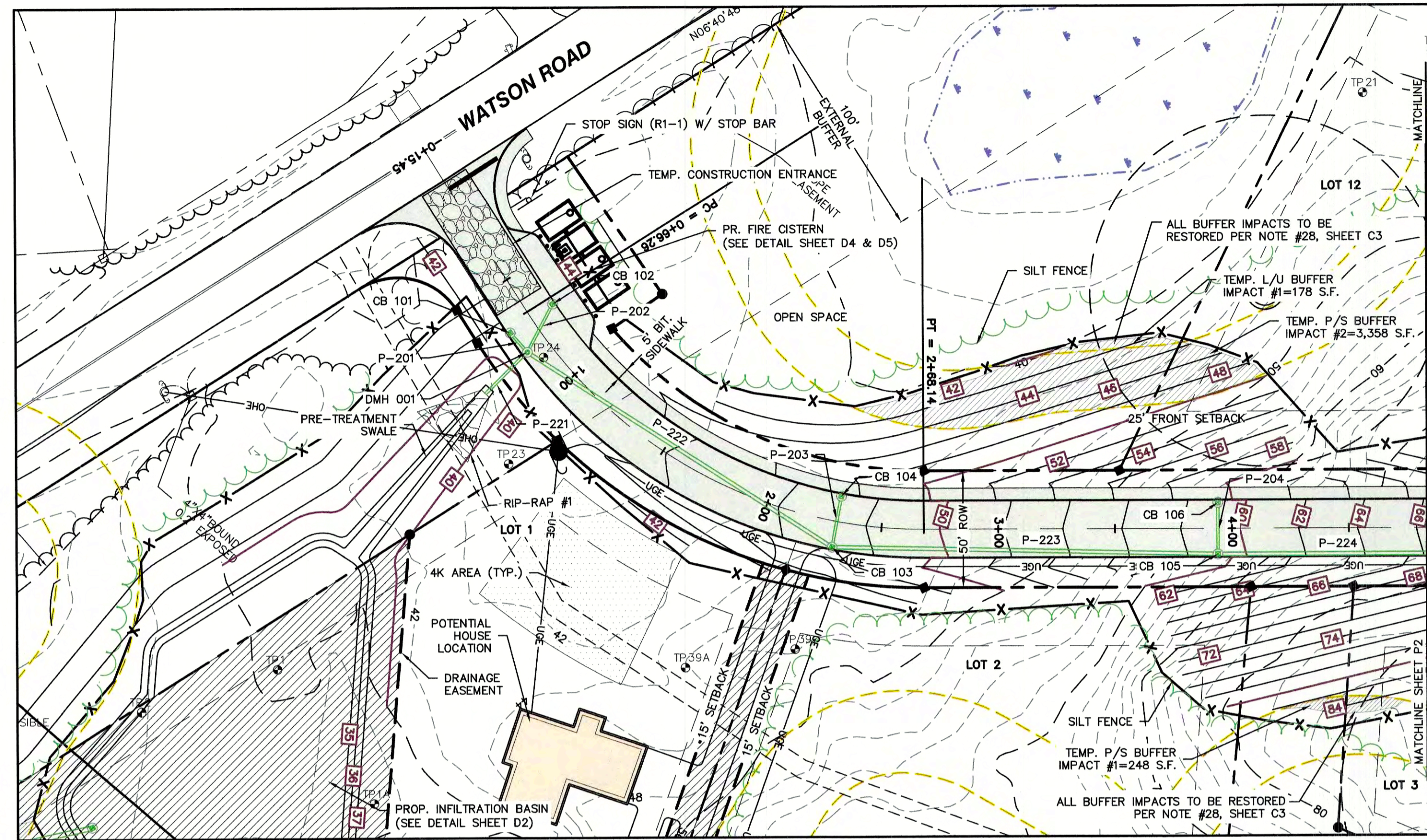
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING PLAN
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

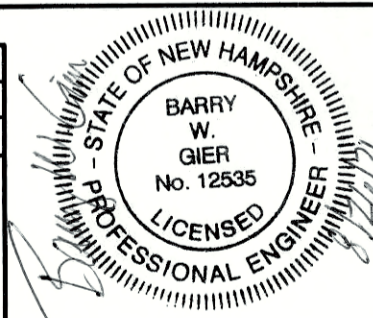
DRAWING No.
C3A
SHEET 17 OF 29
JBE PROJECT NO. 19102



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Drawing Name: 19102-PLAN.dwg

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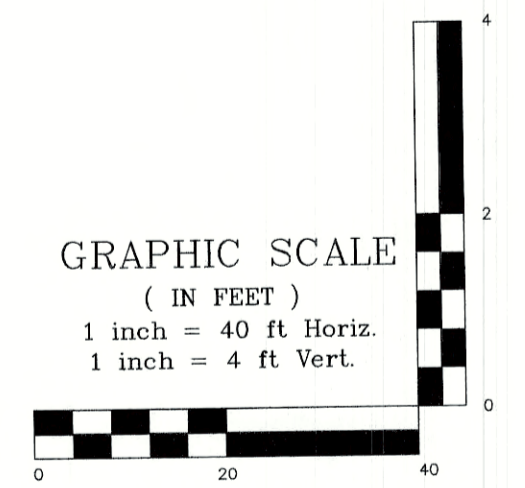
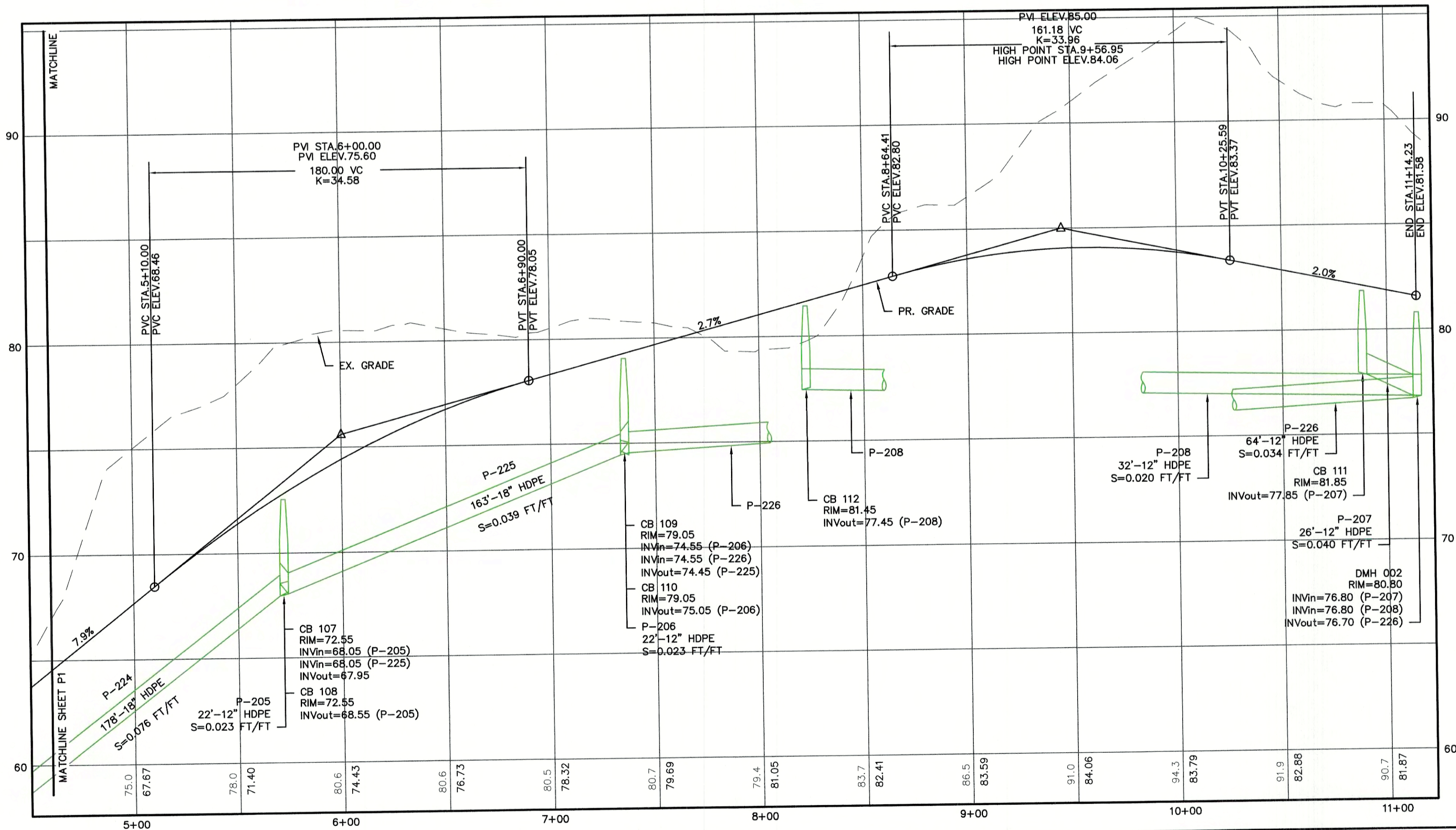
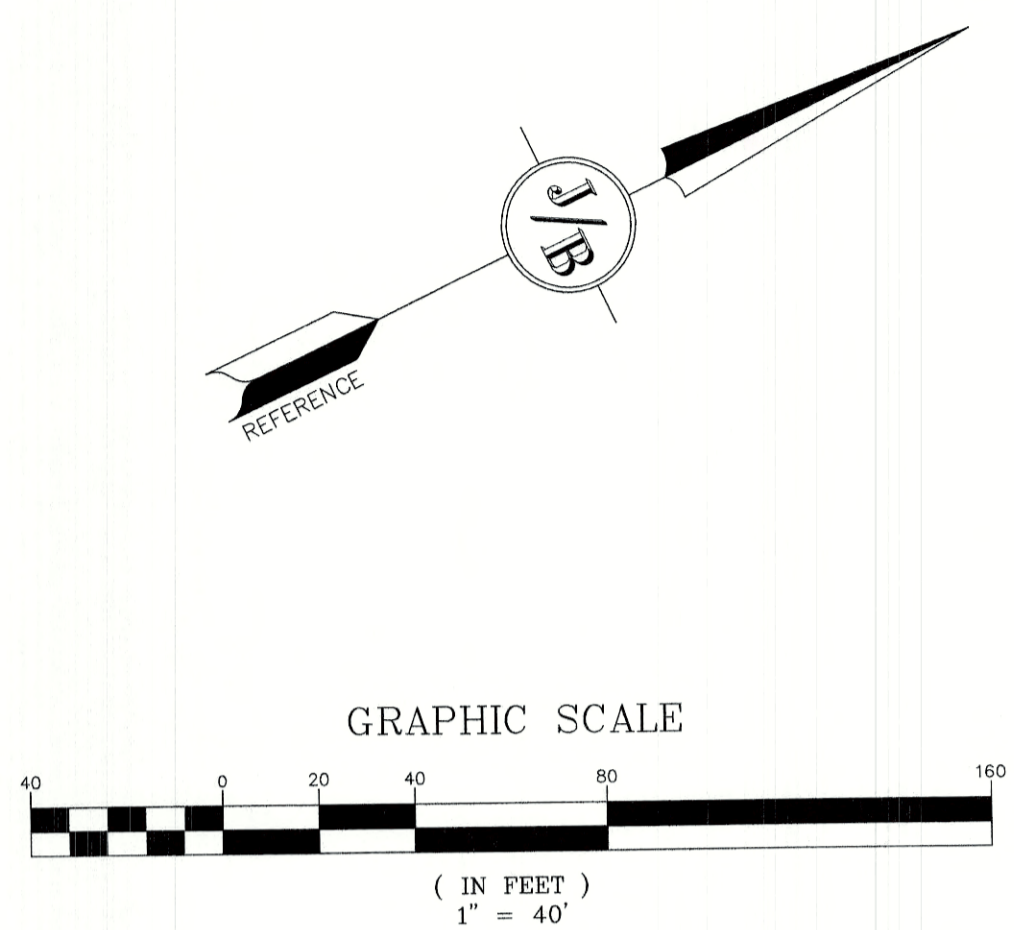
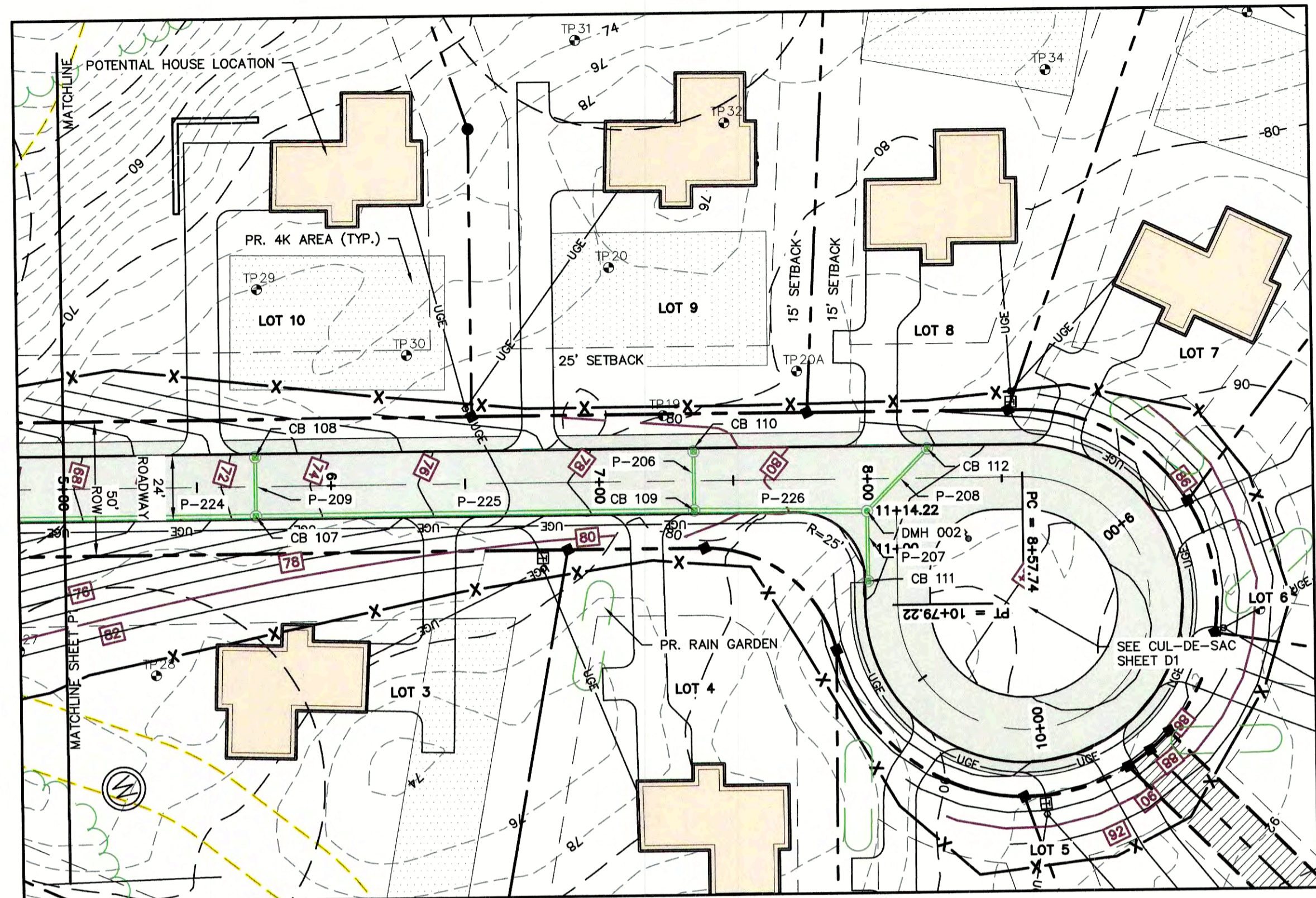
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	ROADWAY - PLAN AND PROFILE MAP 33, LOT 26
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

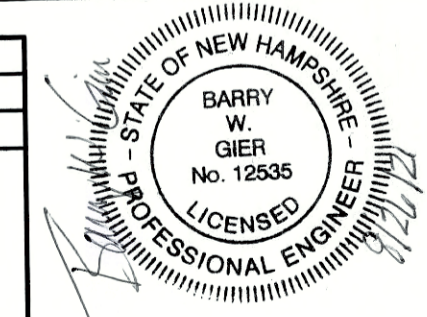
P1

SHEET 19 OF 29
JBE PROJECT NO. 19102



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 Drawing Name: 19102-PLAN.dwg
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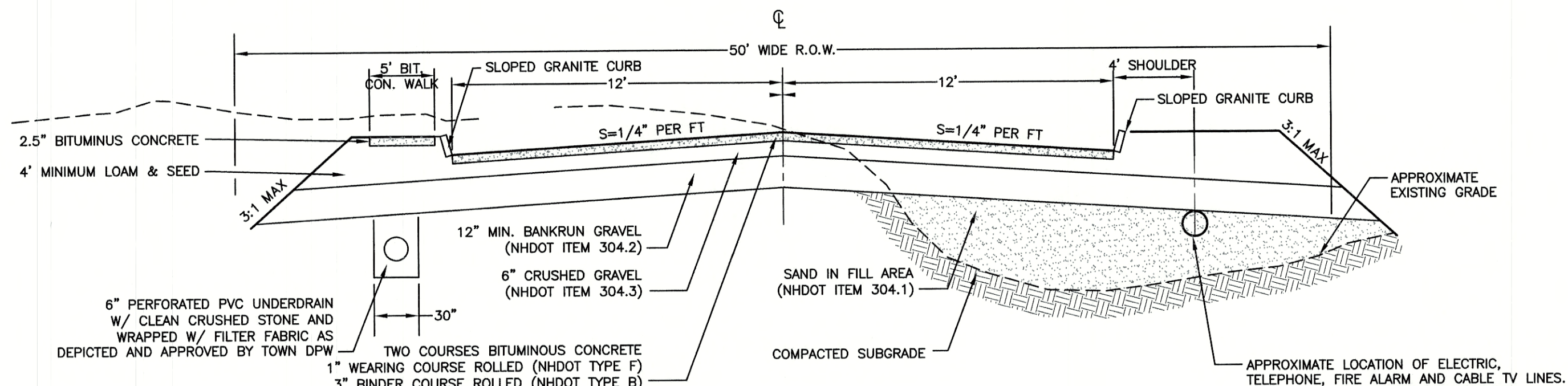
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

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 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **ROADWAY - PLAN AND PROFILE**
 MAP 33, LOT 26
 Project: **TAX MAP 33 LOT 26**
19 WATSON ROAD, EXETER, NH
 Owner of Record: **SCOTT W. CARLISLE III**
 14 CASS STREET, EXETER, NH 03833

DRAWING No. **P2**
 SHEET 20 OF 29
 JBE PROJECT NO. 19102

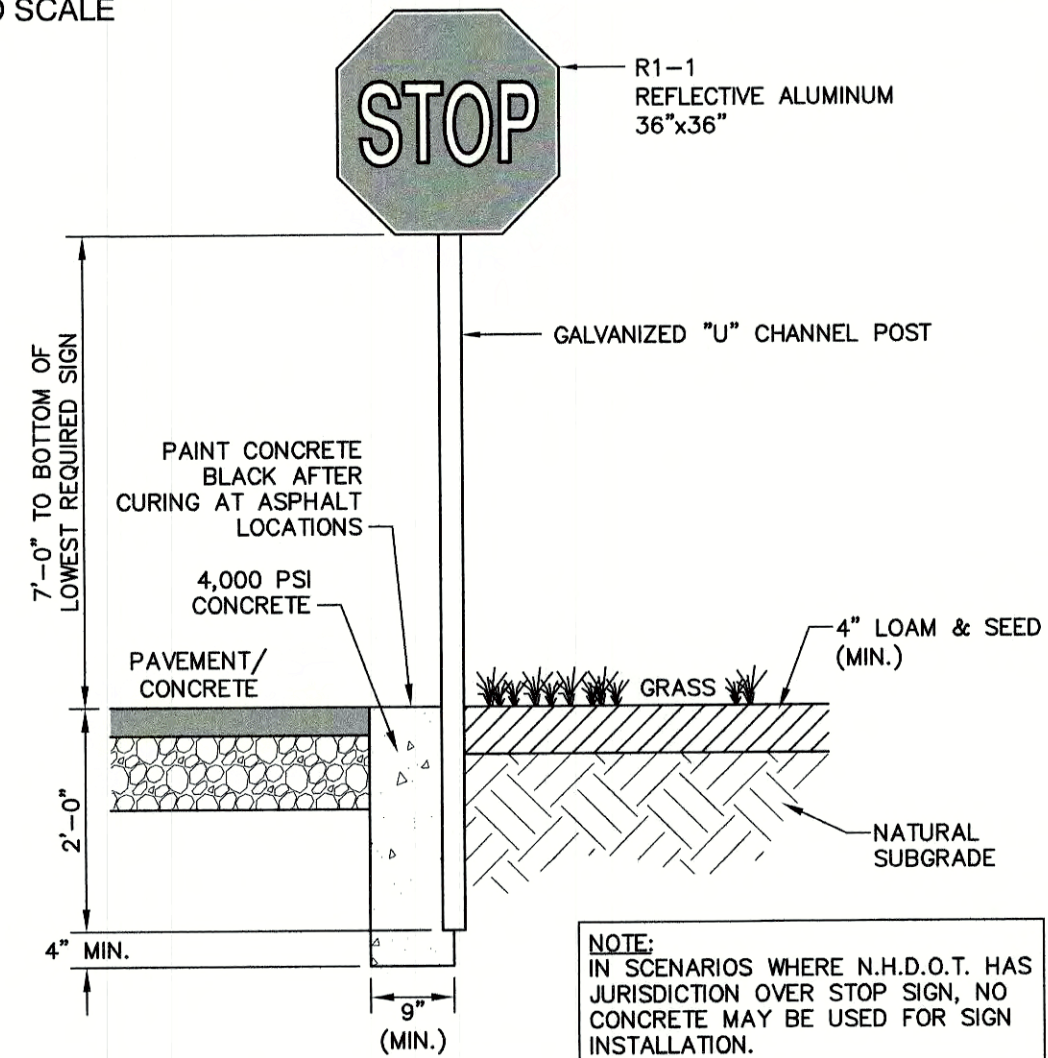


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.

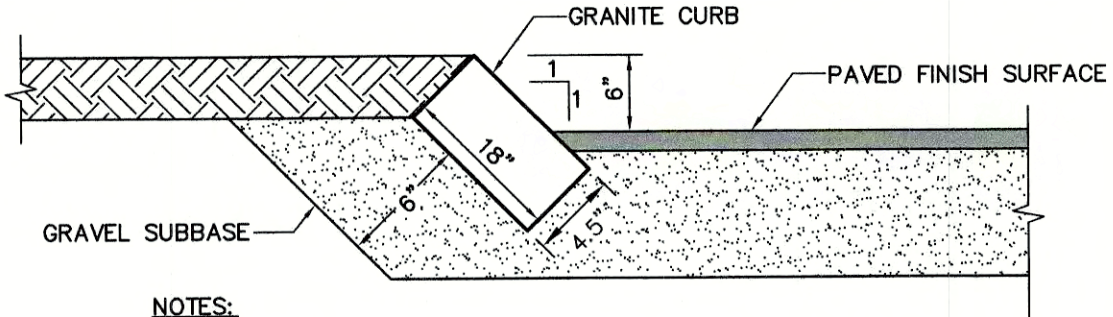
TYPICAL ROADWAY SECTION W/SIDEWALK

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

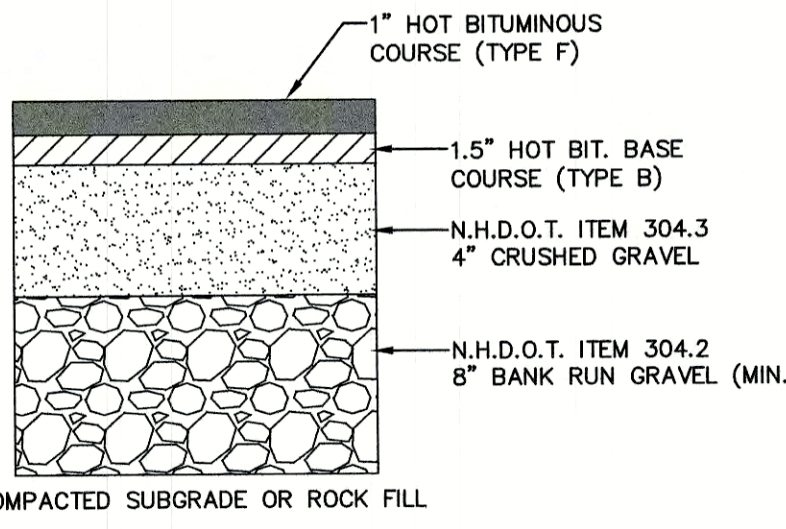


NOTES:

1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.
3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.
4. CURBING SHALL BE SET IN A 6" BED OF CLEAN GRAVEL.
5. COMPLETE COMPACTION SHALL OCCUR IN ALL AREAS AND UNDER THE ENTIRE LENGTH OF CURB.

SLOPED GRANITE CURB

NOT TO SCALE

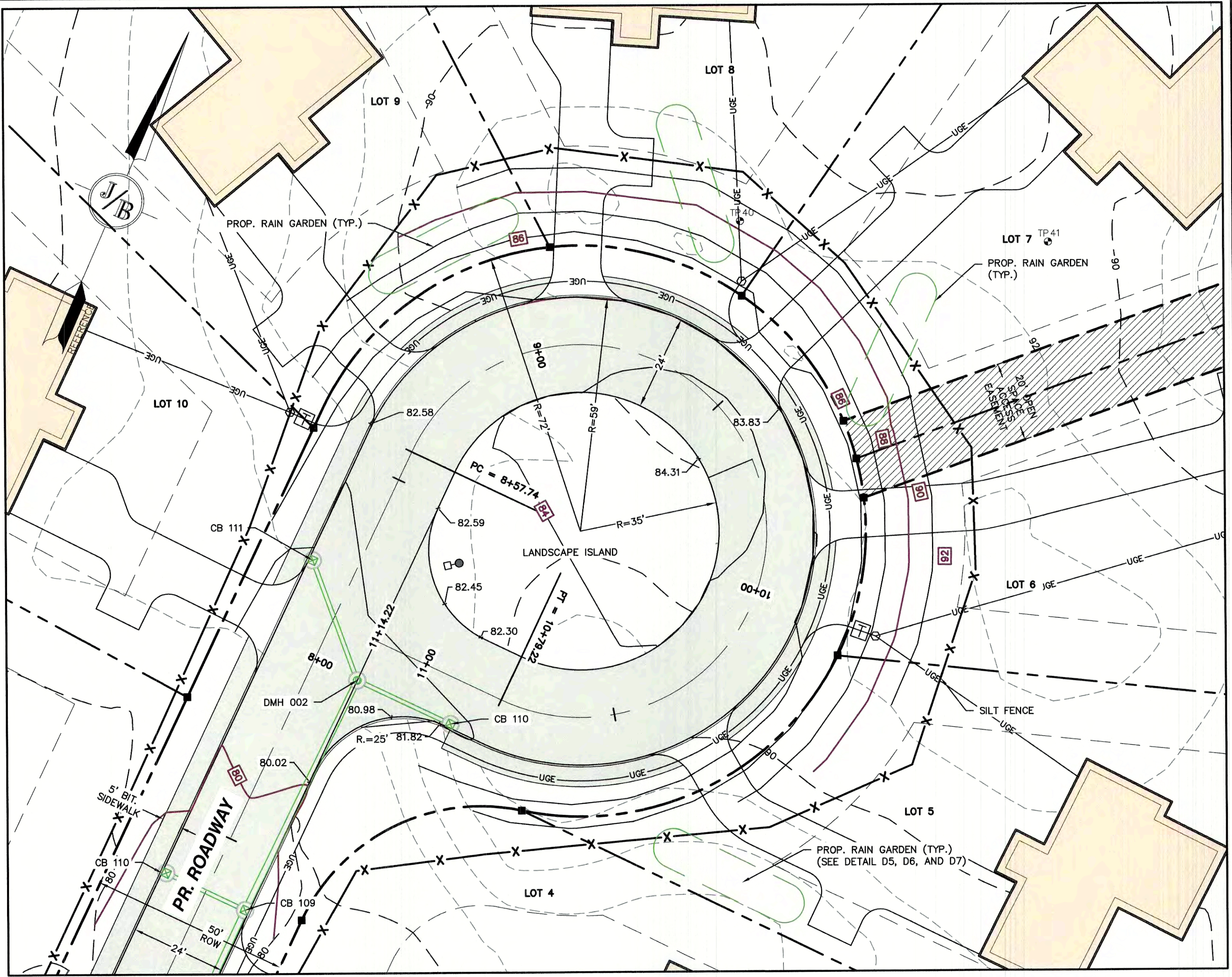


BITUMINOUS SIDEWALK DETAIL

NOT TO SCALE

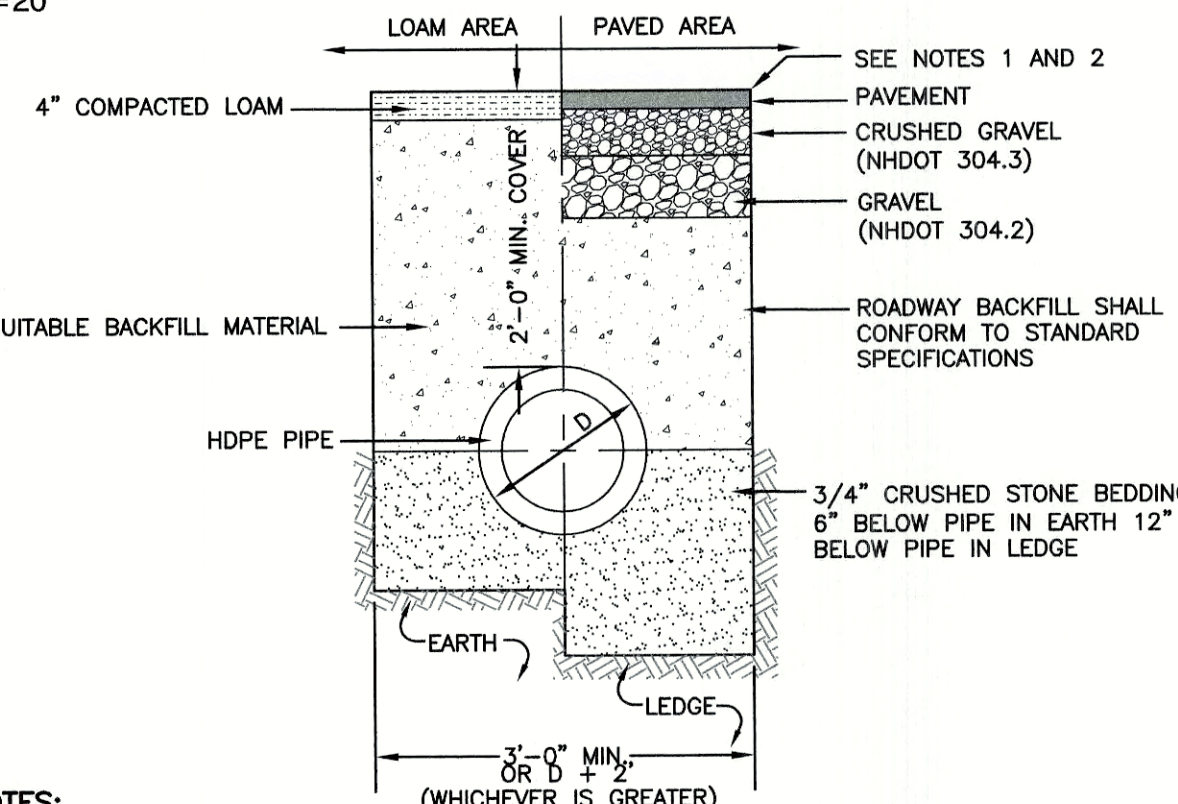
TRAFFIC CONTROL SCHEDULE

SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1		30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN



CUL-DE-SAC BULB

1"=20'

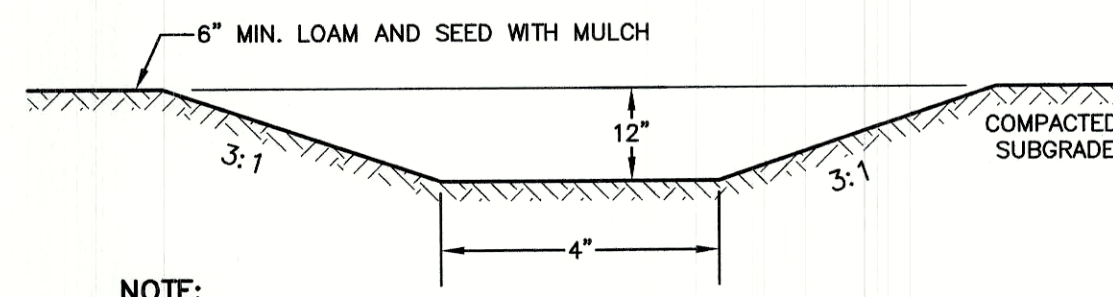


NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTION TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

NOT TO SCALE



NOTE:

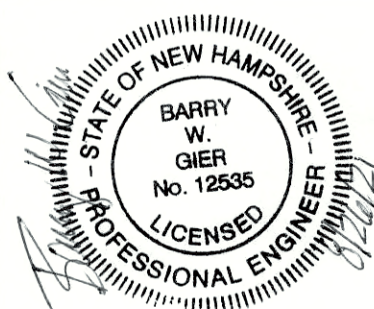
1. STABILIZED PRIOR TO DIRECTING RUN OFF TO SWALE
2. CONSTRUCT SWALE AT 0.010 FT/FT SLOPE (MIN.)

VEGETATED SWALE

NOT TO SCALE

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Design: BWG Draft: DFP Date: 08/26/2021
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 Drawing Name: 19102-PLAN.dwg
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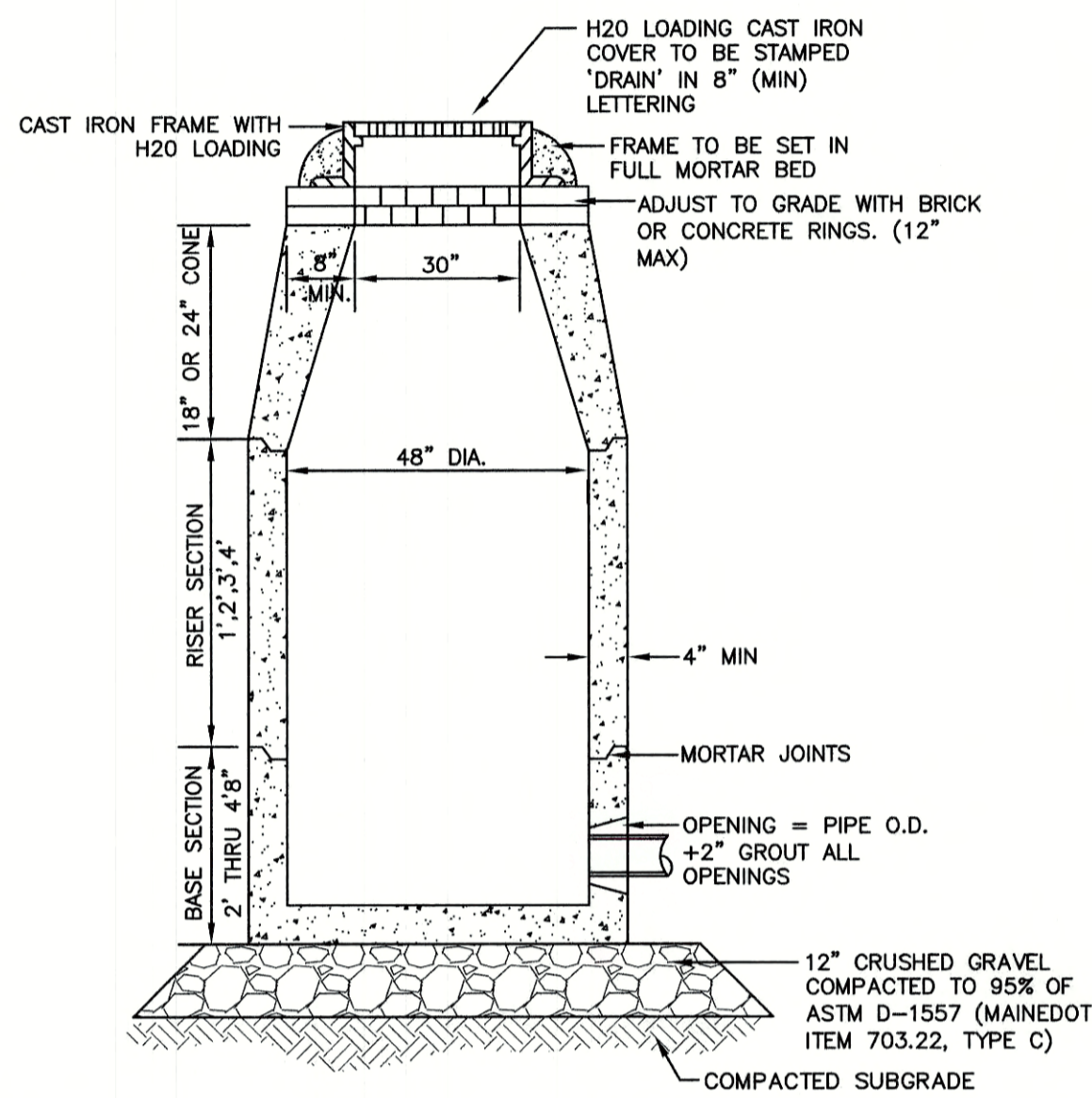


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 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
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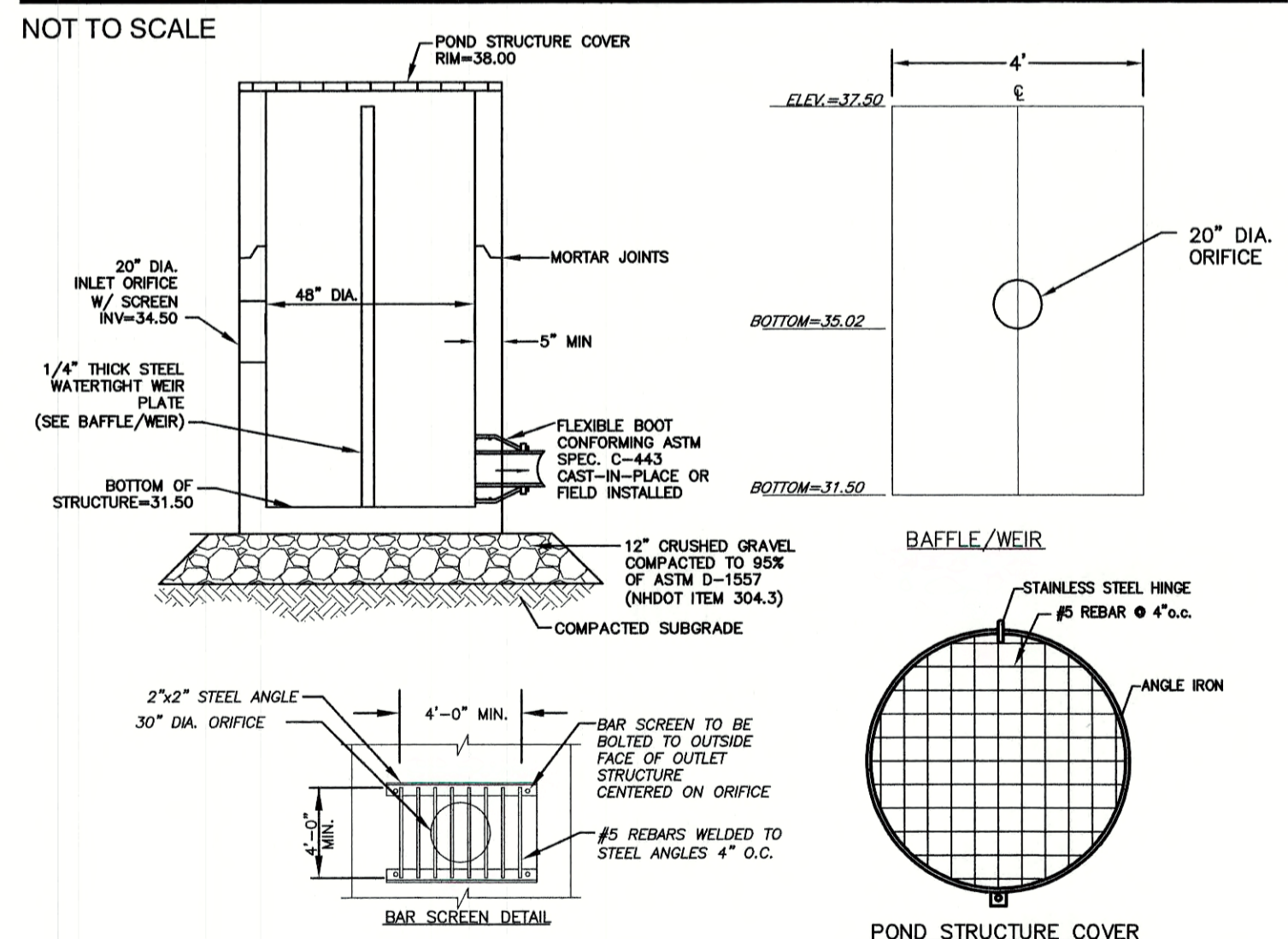
Plan Name: **DETAIL SHEET**
 Project: **TAX MAP 33 LOT 26
19 WATSON ROAD, EXETER, NH**
 Owner of Record: **SCOTT W. CARLISLE III
14 CASS STREET, EXETER, NH 03833**

DRAWING No. **D1**
 SHEET 21 OF 29
 JBE PROJECT NO. 19102



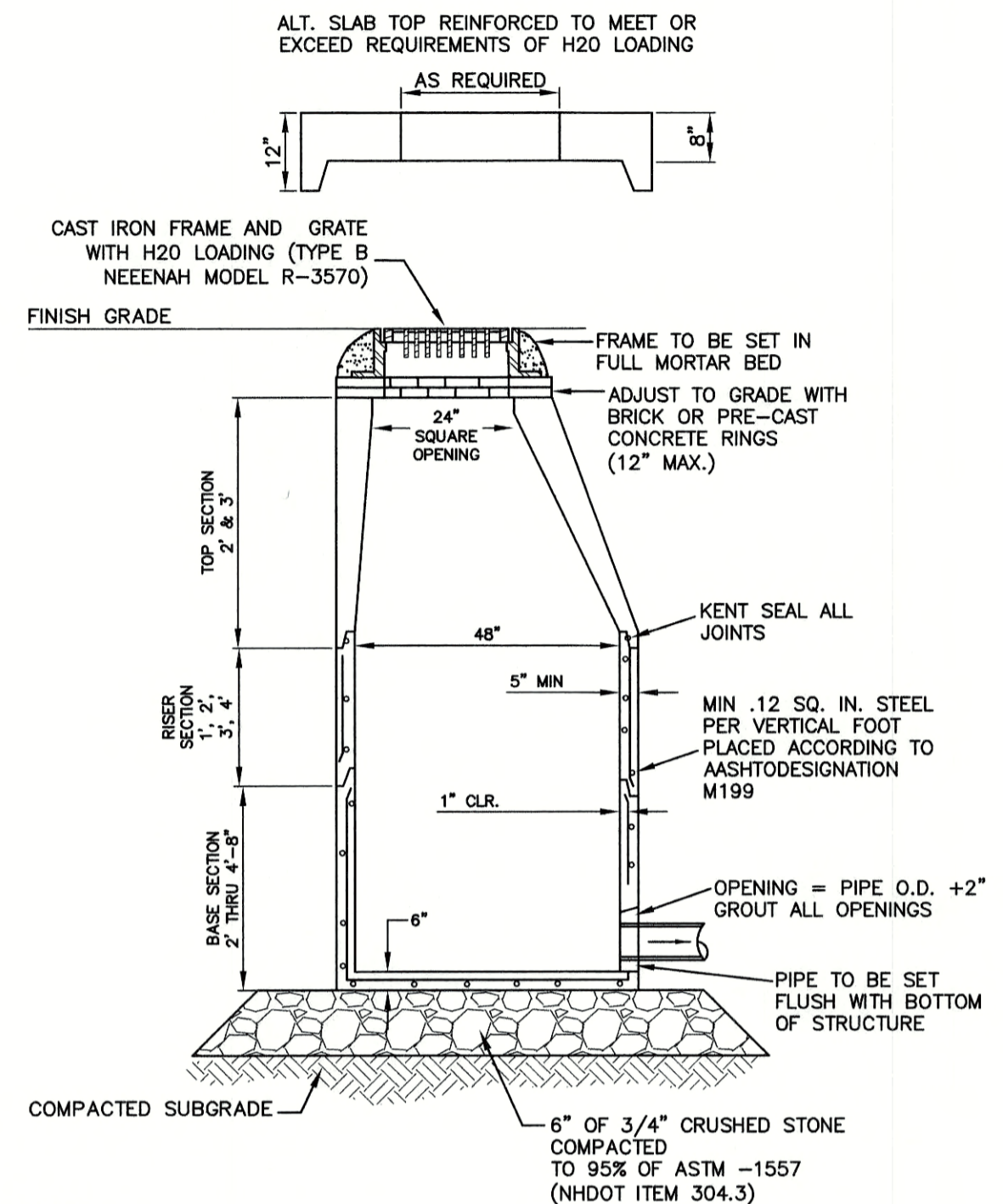
- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
 8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

DRAIN MANHOLE (4' DIAM.)



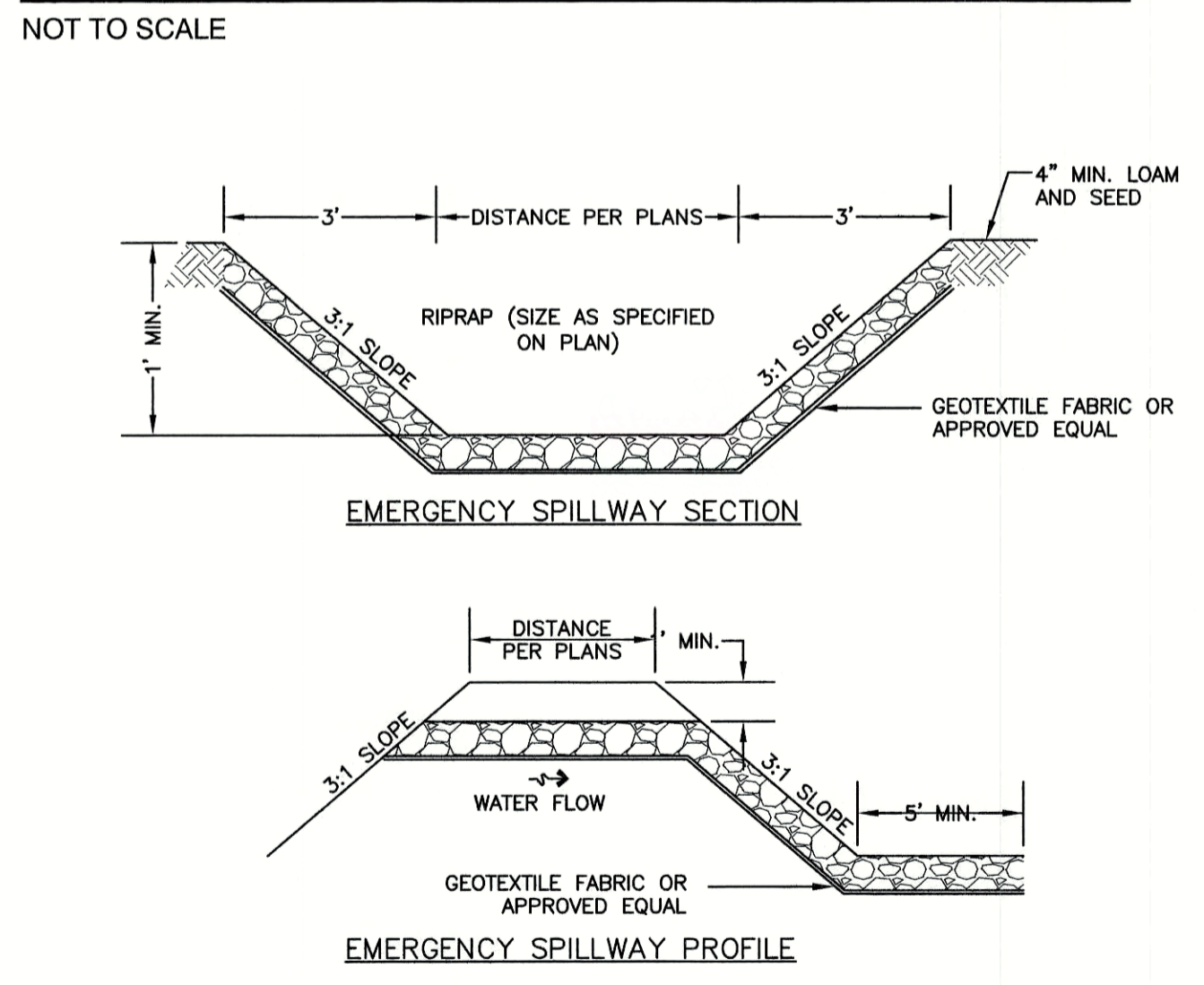
OUTLET STRUCTURE #1 (OS #1)

NOT TO SCALE



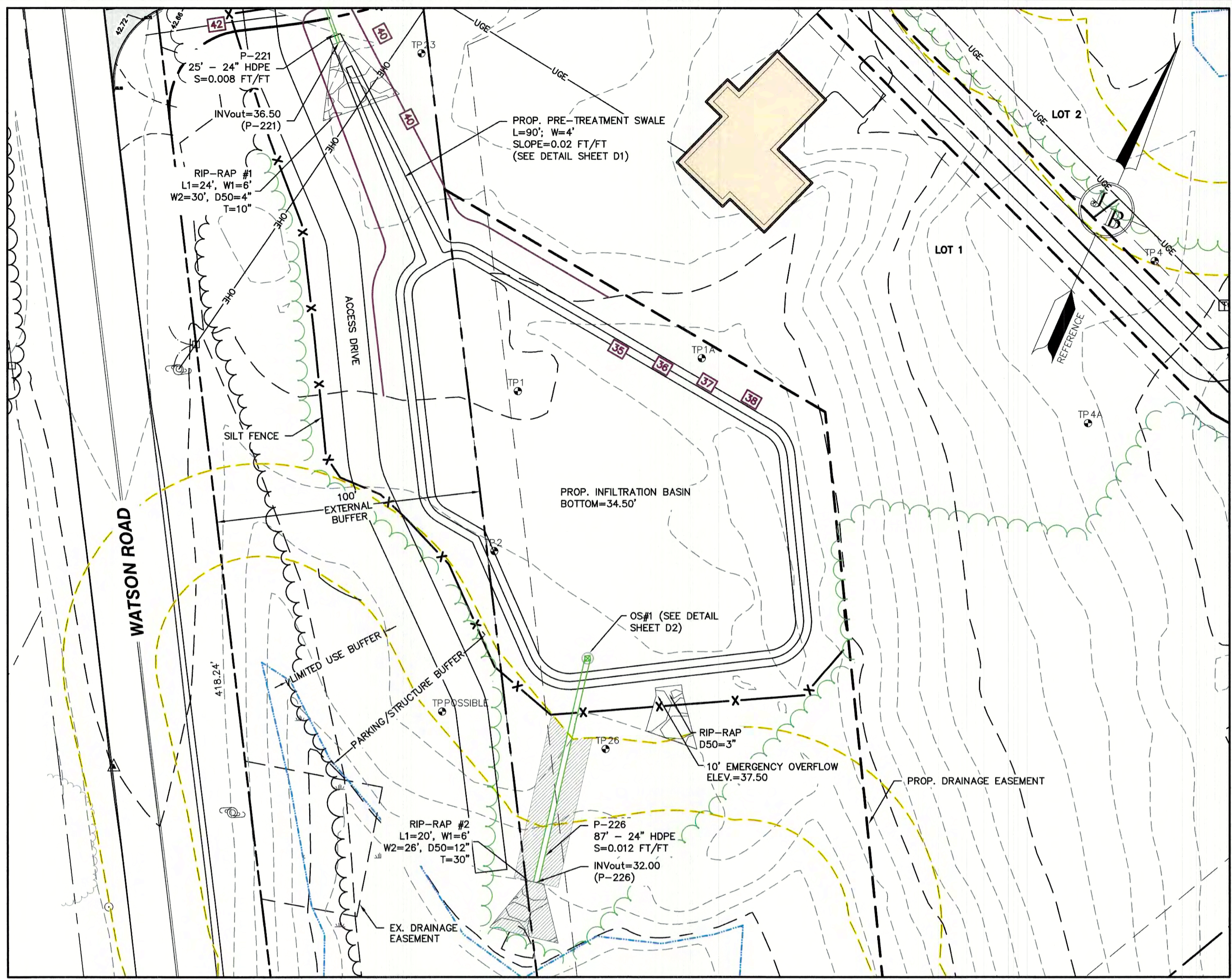
- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

CATCH BASIN (w/o SUMP)



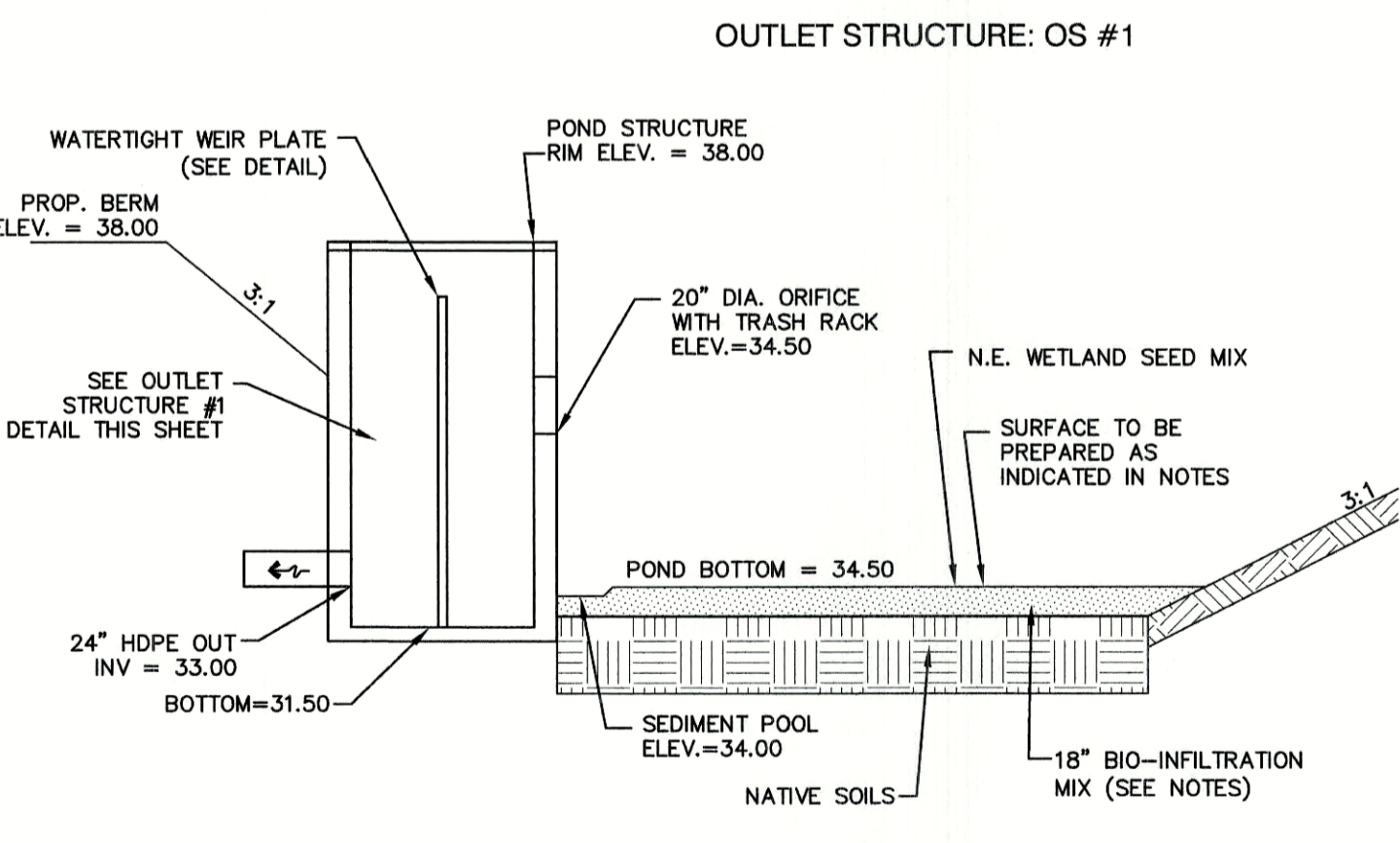
EMERGENCY SPILLWAY

NOT TO SCALE



INFILTRATION BASIN

1"=30'

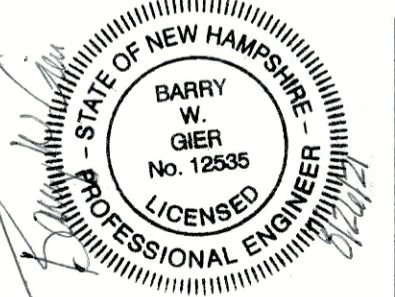


INFILTRATION BASIN

- NOTES:**
1. DO NOT DISCHARGE SEDIMENT LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION POND.
 2. DO NOT TRAFFIC EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 4. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
 5. DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN FULLY STABILIZED.
 6. ANY FILL MATERIAL USED UNDER INFILTRATION PONDS SHALL BE FREE-DRAINING.
 7. SUBGRADE MATERIAL SHALL BE FREE OF ORGANICS, SILTS, CLAY, ROOTS AND ANY UNSUITABLE MATERIAL.
 8. IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION SYSTEM.
- BIO-INFILTRATION MIX AND PROCEDURE:**
1. REMOVE EXISTING FOREST LITTER FROM INFILTRATION BASIN SITE.
 2. REMOVE SANDY LOAM AND STOCKPILE (SCREEN LARGE ROOTS).
 3. REMOVE SANDY LAYERS TO 18" BELOW BASIN FLOOR ELEVATION.
 4. BIO-INFILTRATION MIX: (BY VOLUME)
 - 4.1. 50%-55% ASTM C-33 CONCRETE SAND.
 - 4.2. 20%-30% LOAMY SAND TOPSOIL WITH 15%-25% FINES PASSING A #200 SIEVE.
 - 4.3. 20%-30% MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.
 5. INSTALL TO BIO-INFILTRATION MIX TO BASIN BOTTOM ELEVATION.
 6. SEED WITH "NEW ENGLAND WARM SEASON GRASS MIX" AS SOLD BY NEW ENGLAND WETLAND PLANTS, INC. OR EQUAL AS APPROVED BY ENGINEER. APPLICATION RATE = 1900 SQ.FT. / LB.
 - 6.1. LIGHTLY MULCH WITH WEED FREE STRAW.

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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.	D2
SHEET 22 OF 29	JBE PROJECT NO. 19102

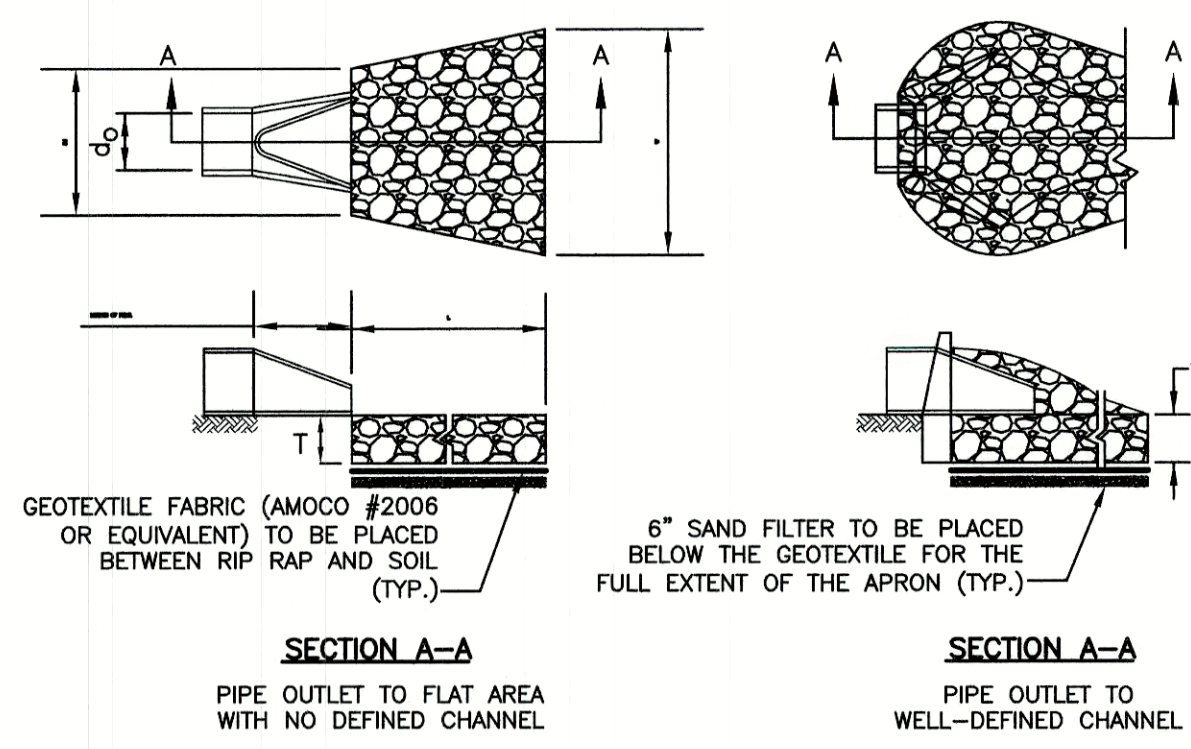


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

THICKNESS OF RIP RAP = 3.0 FEET

d50 SIZE=	0.50 FEET	12 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	18	24
85%	16	22
50%	12	18
15%	4	6

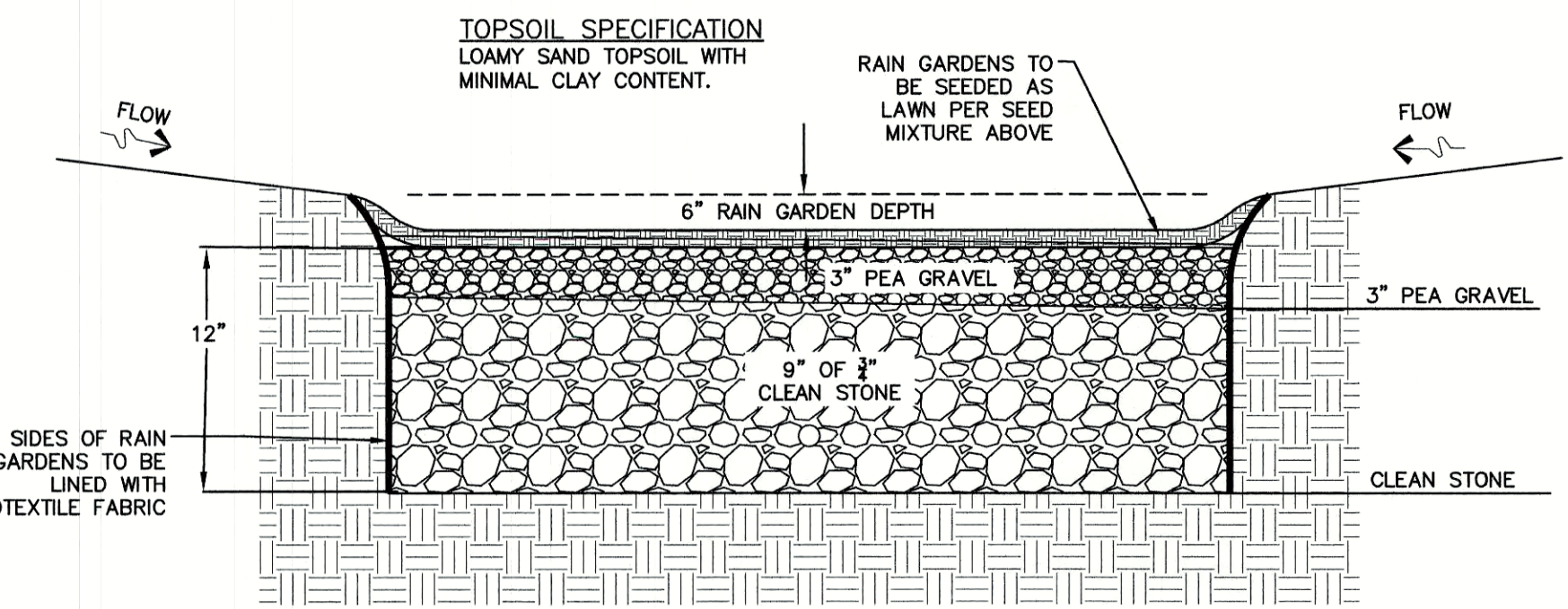
- NOTES:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 6. **MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE

SEED MIXTURE

20%	PENN RK4 TALL FESCUE
20%	REBEL XLR TALL FESCUE
20%	REBEL V TALL FESCUE
15%	SOPRANO PERENNIAL RYEGRASS
15%	BLUE BONNET KENTUCKY BLUEGRASS
10%	ORACLE RED FESCUE



DESIGN CONSIDERATIONS

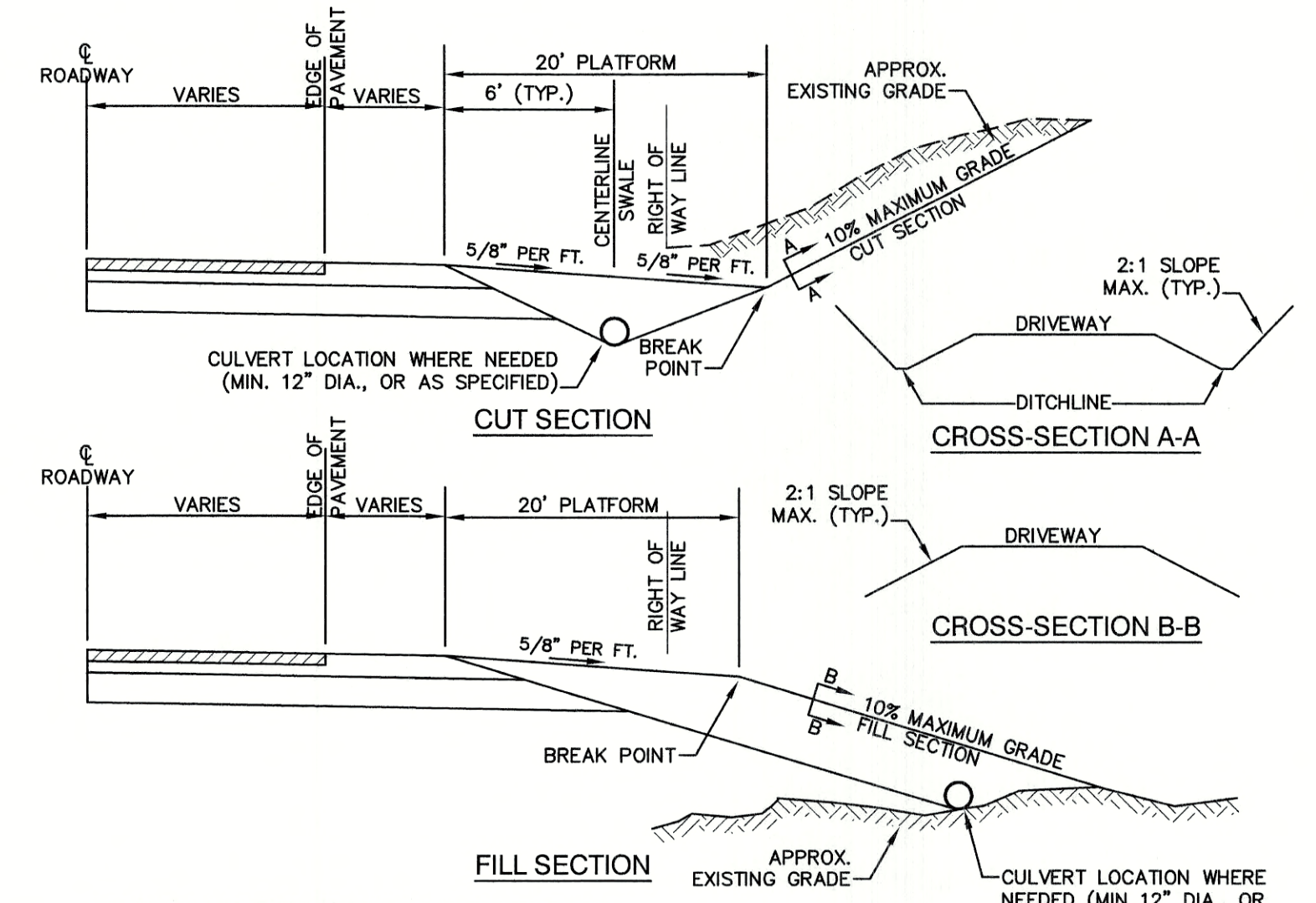
1. DO NOT PLACE RAIN GARDEN AREAS INTO SERVICE UNTIL IT HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN AREA DURING ANY STAGE OF CONSTRUCTION.
3. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE RAIN GARDEN COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS:

4. HOMEOWNERS SHOULD INSPECT THE RAIN GARDEN AFTER LARGE STORMS TO ENSURE THAT NO CHANNELS HAVE FORMED AND THAT ANY PLANTINGS ARE HEALTHY. TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
5. RAIN GARDEN AREAS TO REMAIN AS LAWN AREAS AND SHOULD MOWED REGULARLY.
6. NO BUSHES OR TREES SHOULD BE PLANTED IN THIS AREA, AREA TO REMAIN AS GRASS.

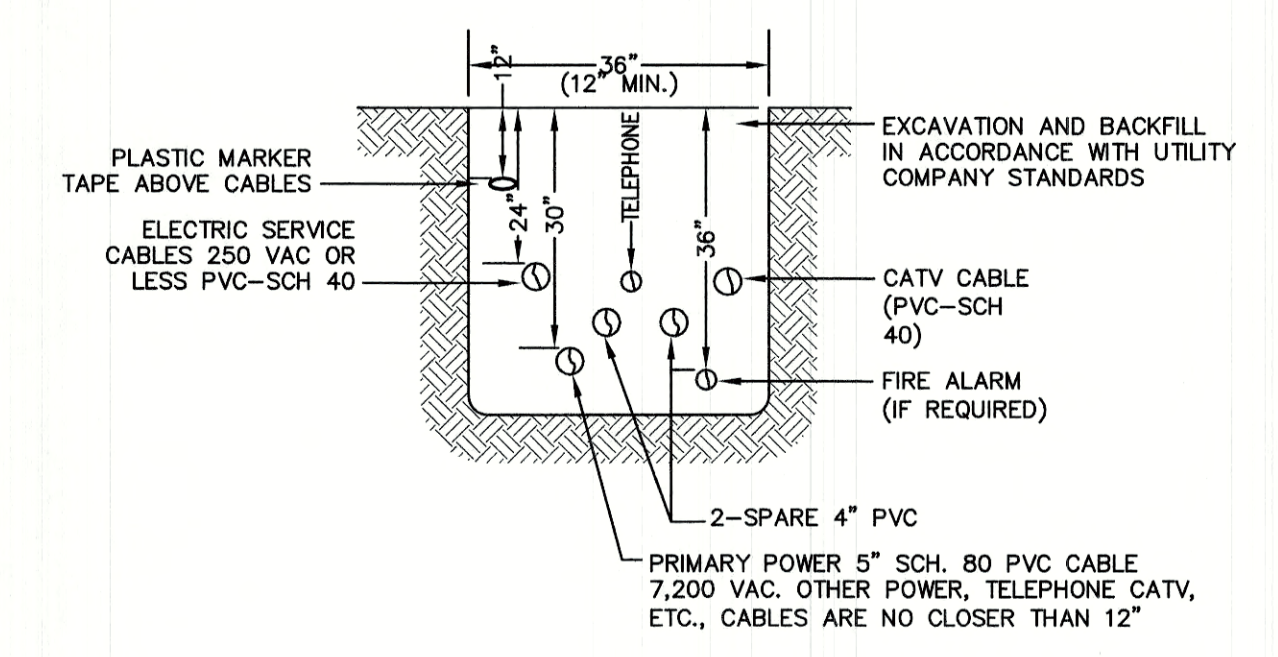
RESIDENTIAL RAIN GARDEN DETAIL

NOT TO SCALE



TYPICAL DRIVEWAY SECTIONS

NOT TO SCALE



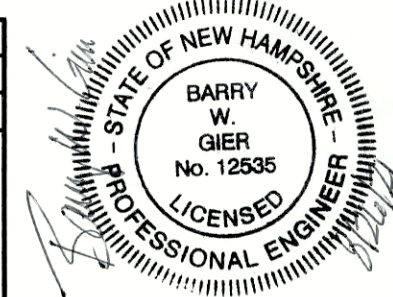
NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

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Civil Engineering Services

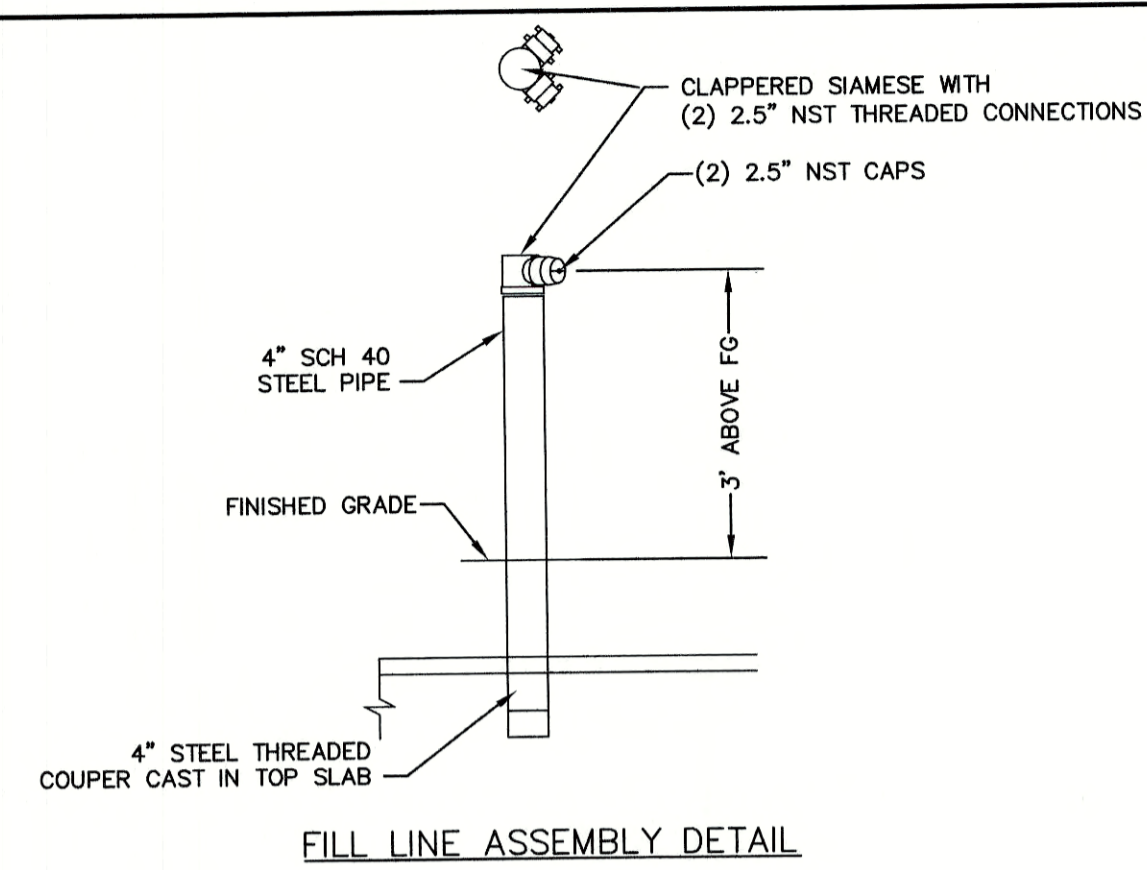
603-772-4746

FAX: 603-772-0227

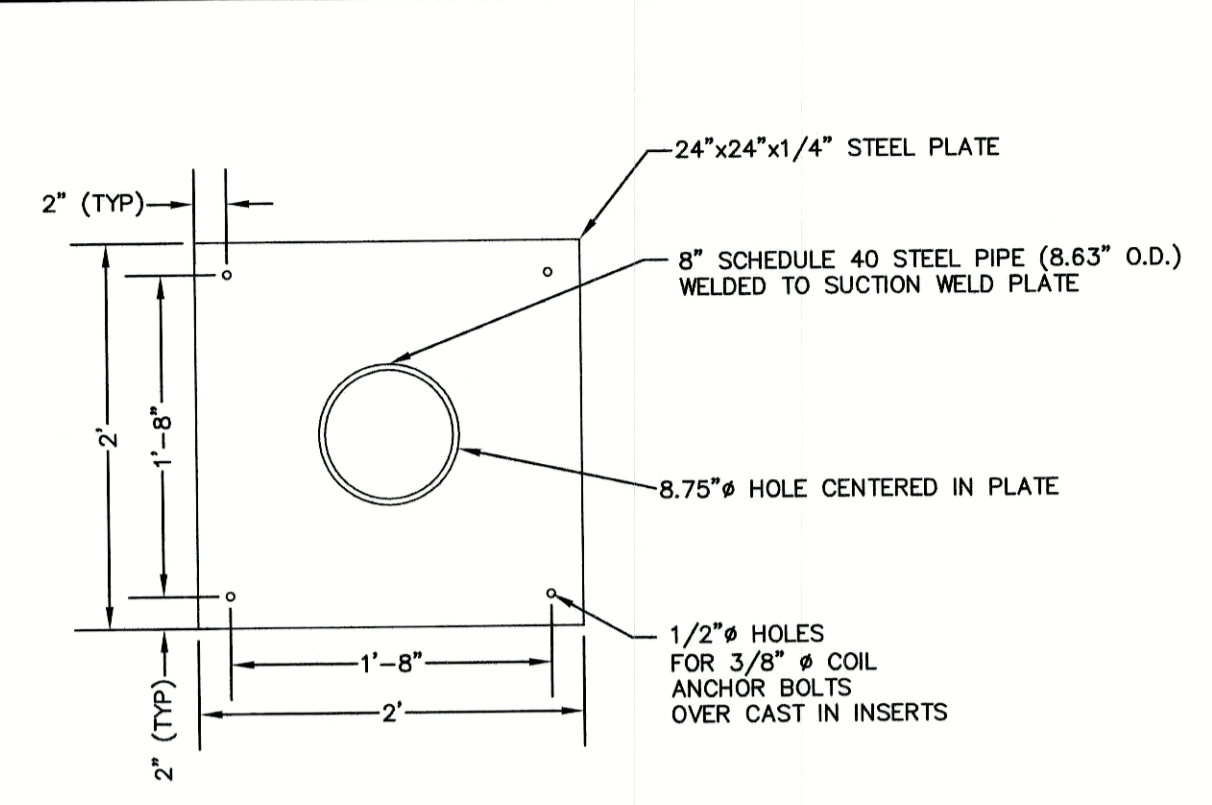
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

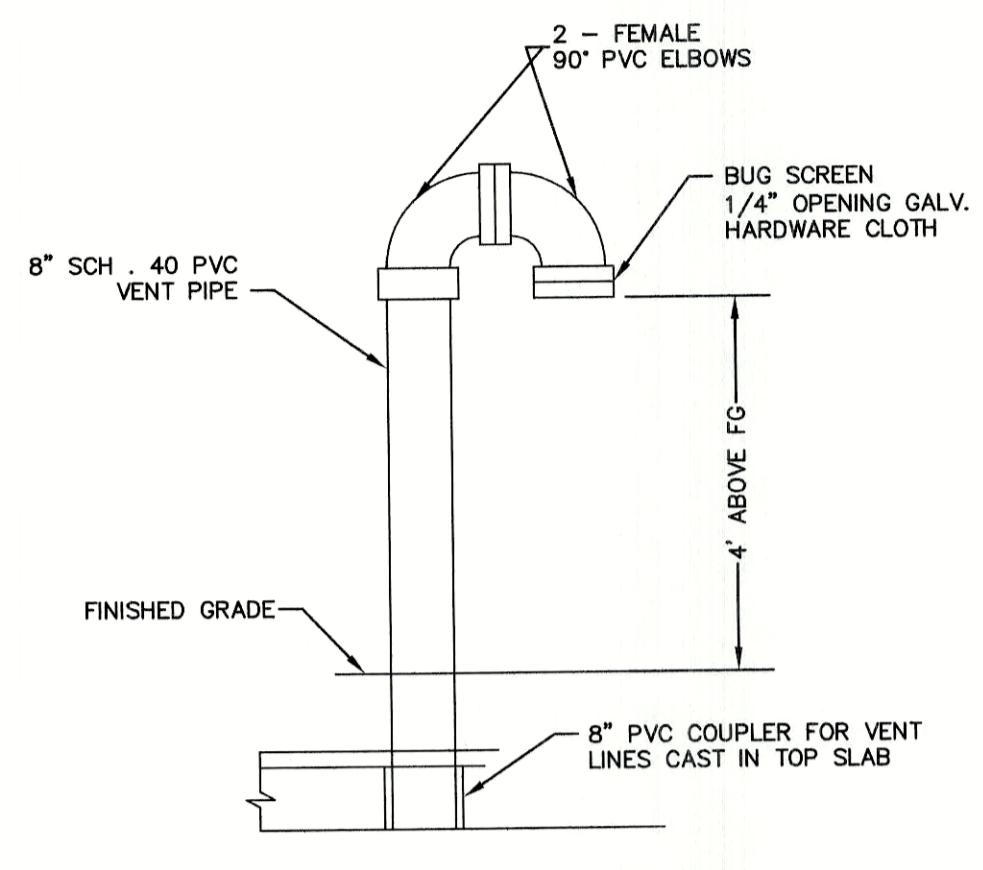
DRAWING No.	D3
SHEET 23 OF 29	JBE PROJECT NO. 19102



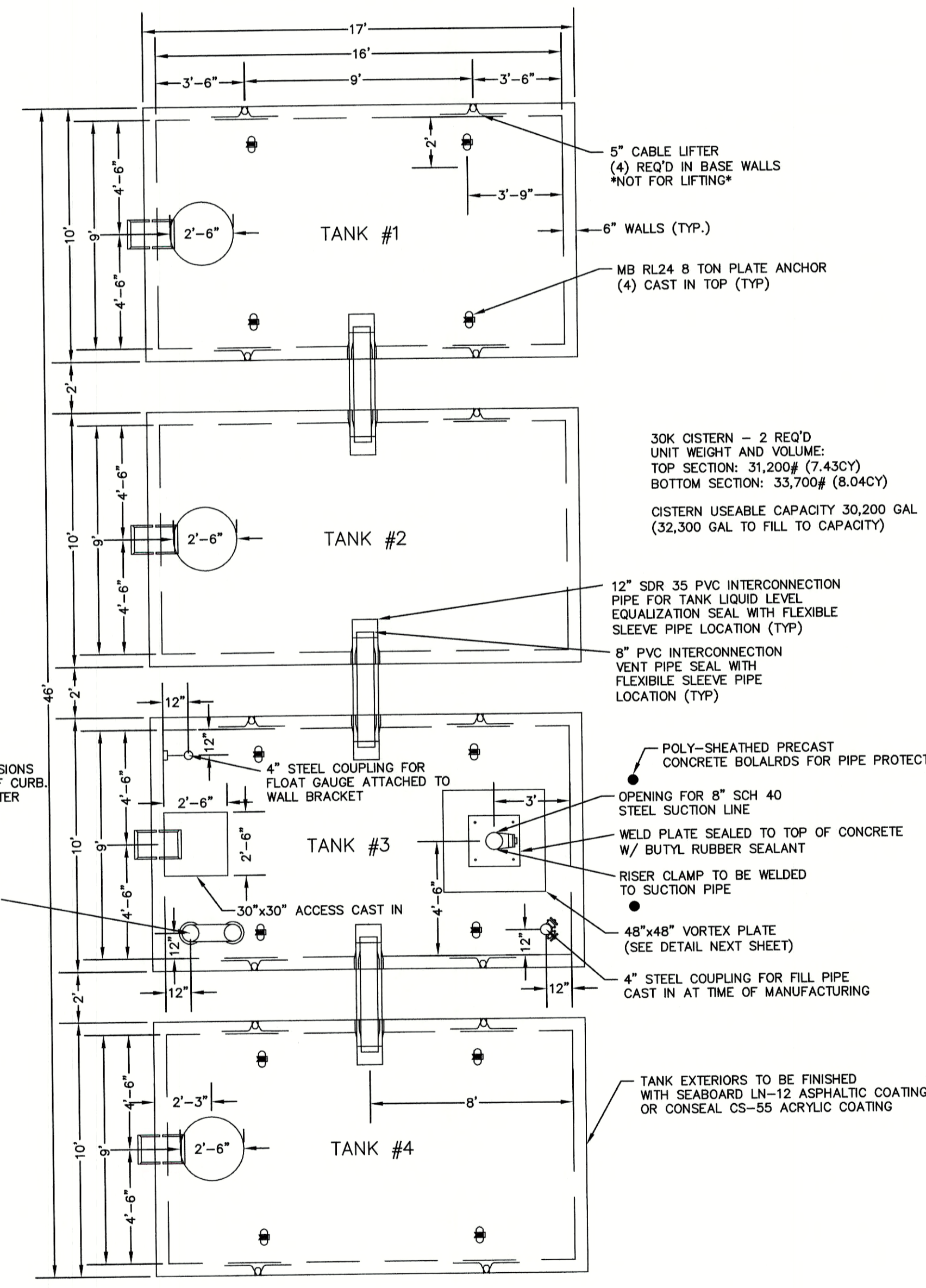
FILL LINE ASSEMBLY DETAIL



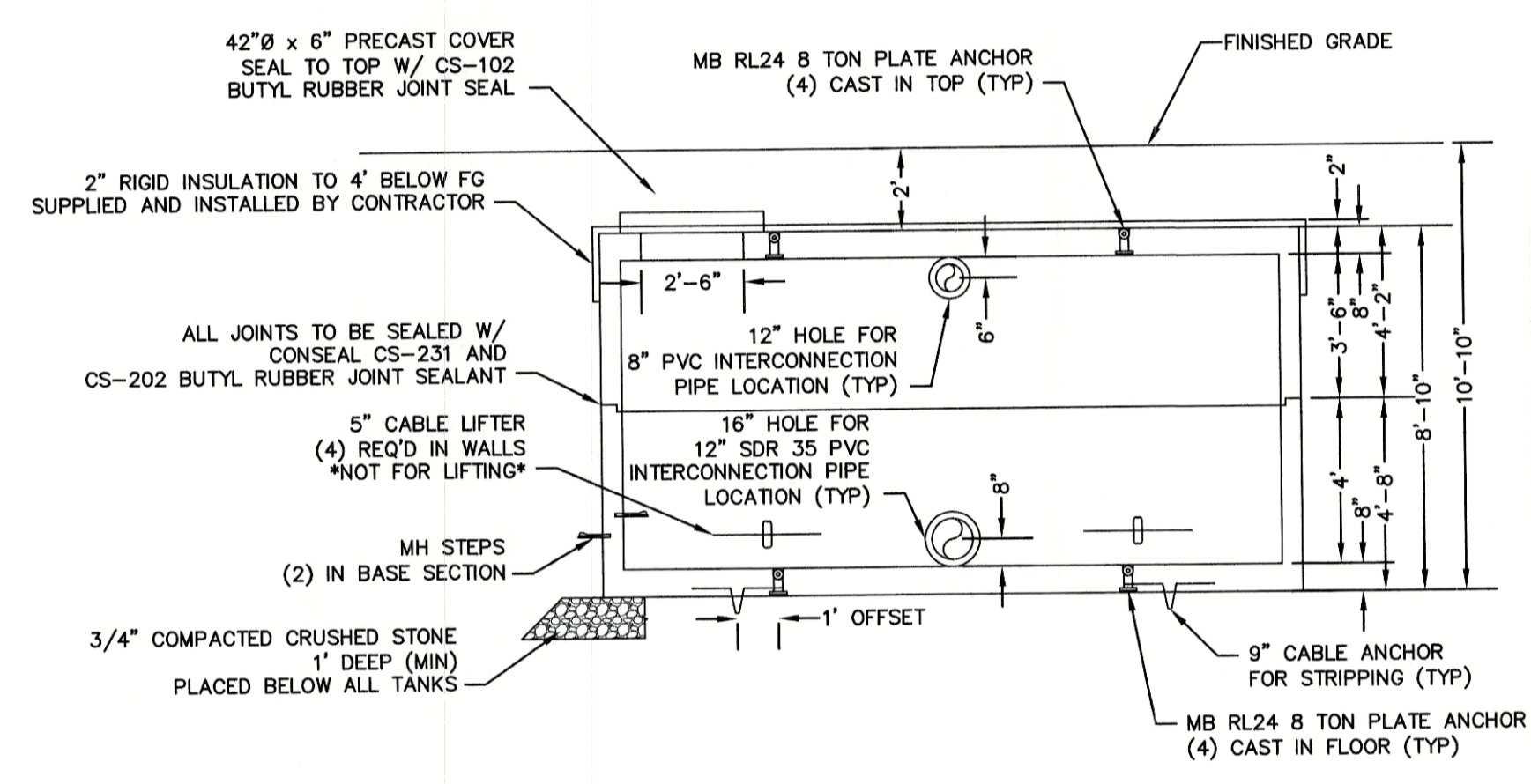
SUCTION WELD PLATE DETAIL PLAN VIEW



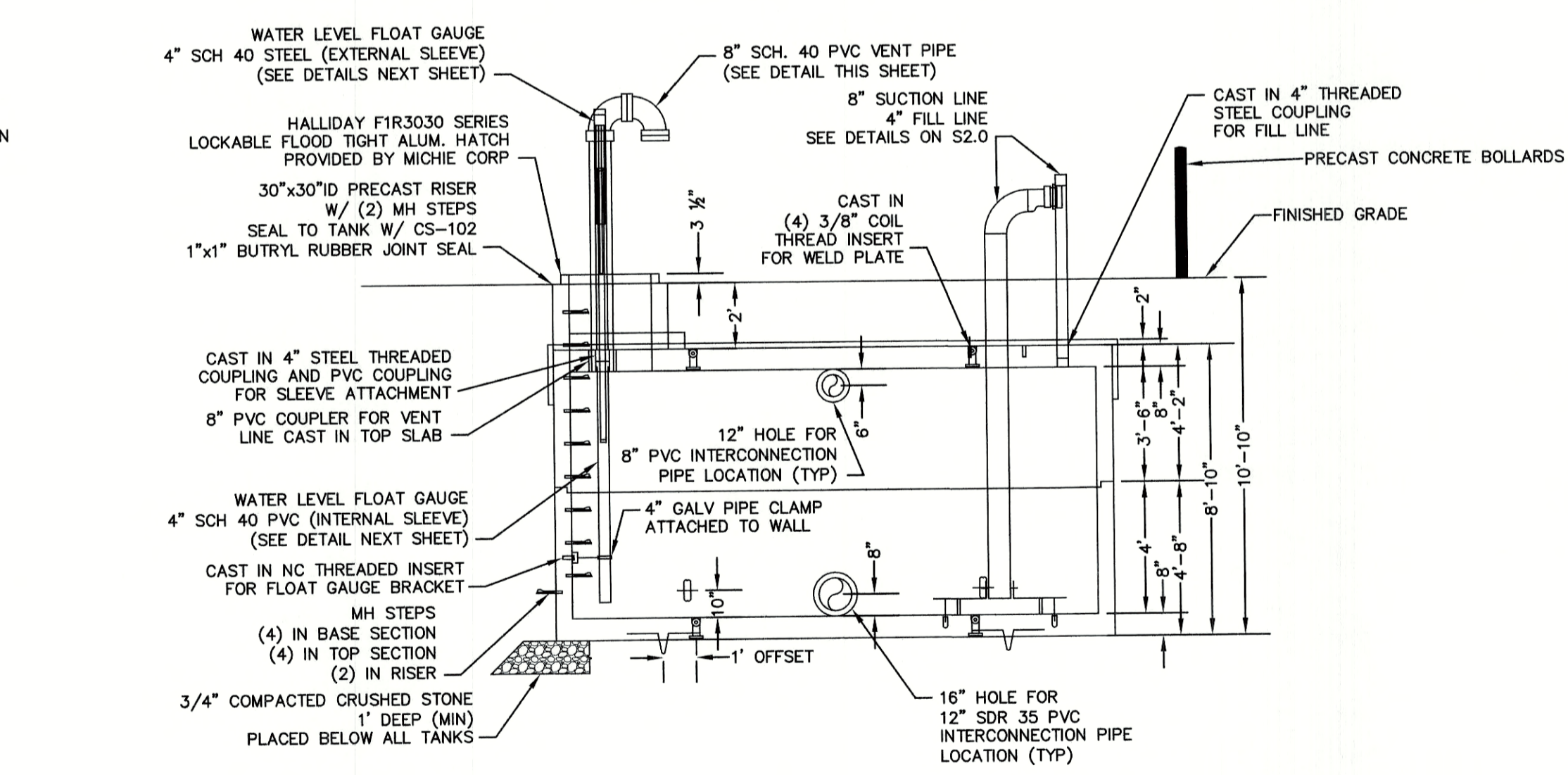
VENT PIPE ASSEMBLY DETAIL



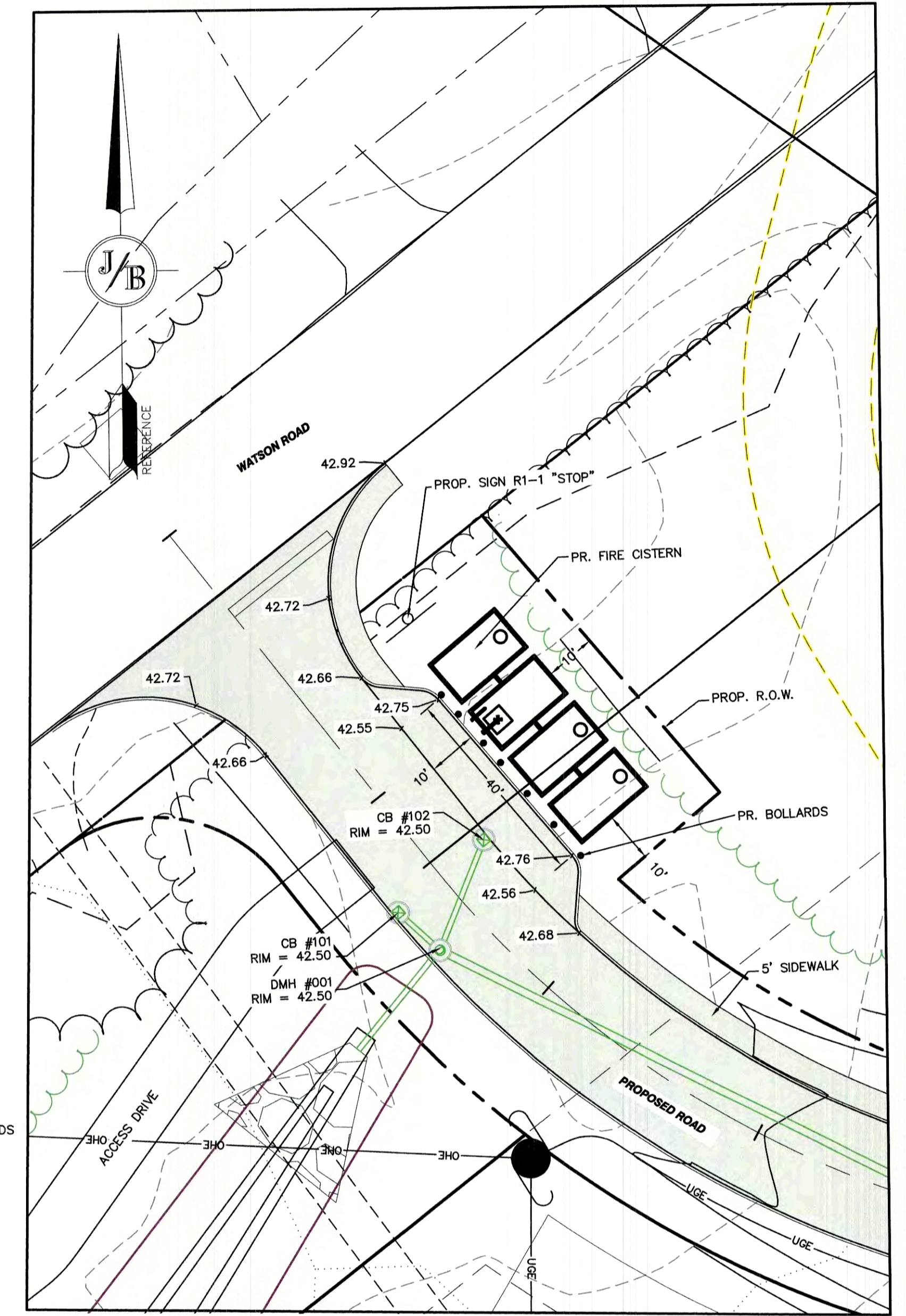
PLAN VIEW



TANKS 1, 2 & 4 ELEV. VIEW



TANK 3 ELEV. VIEW



CISTERN PLAN

SCALE: 1" = 20'

NOTE: FILL AND SUCTION LINE EXTENSIONS TO BE WITHIN 5 FT OF FACE OF CURB. ADJUST AND FIELD-VERIFY AFTER INSTALLATION.

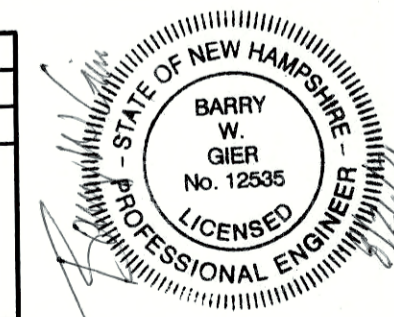
NOTE: BOTH TANK 1 AND 4 SHALL ONLY HAVE INTERCONNECTION PIPING ON ONE SIDE

MITCHIE CORPORATION 30,000 GAL CISTERN DETAIL

NOT TO SCALE - (SEE ADDITIONAL COMPONENT DETAILS THIS AND NEXT SHEET)

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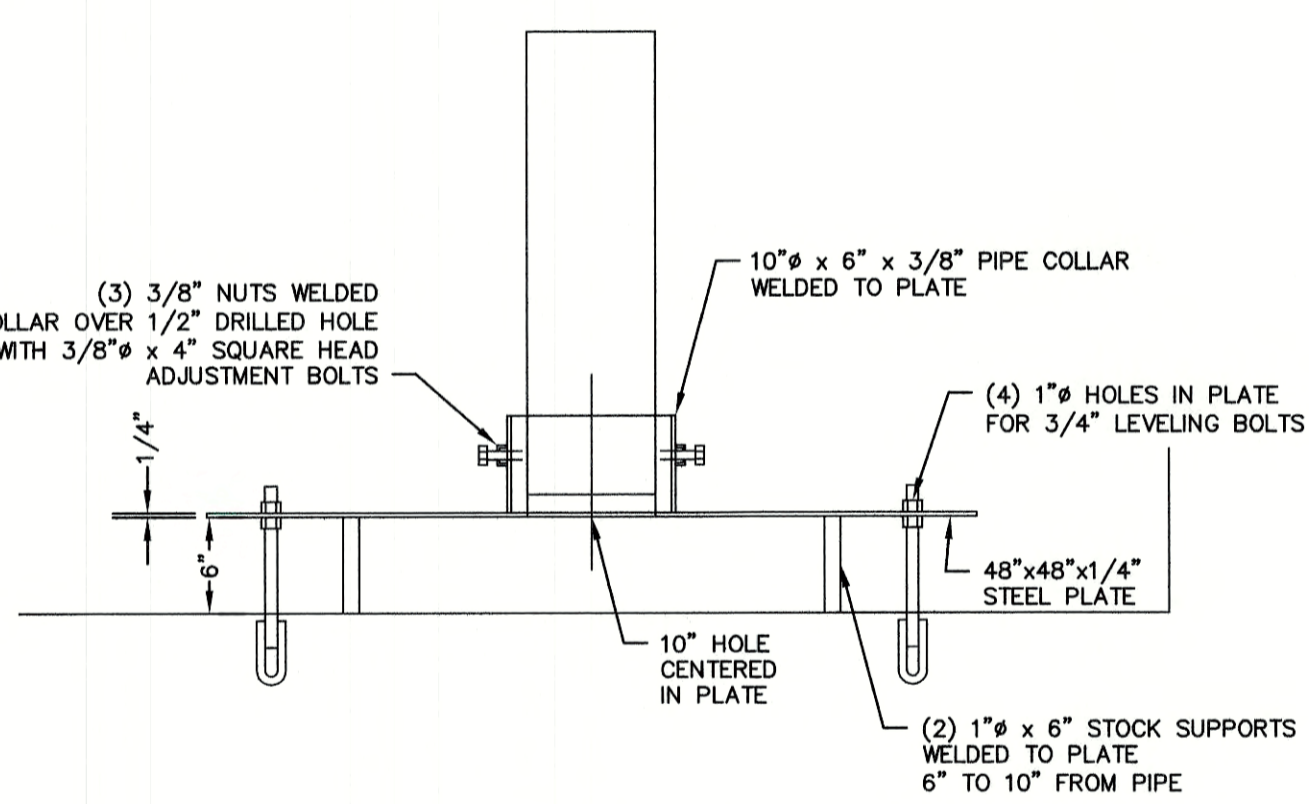
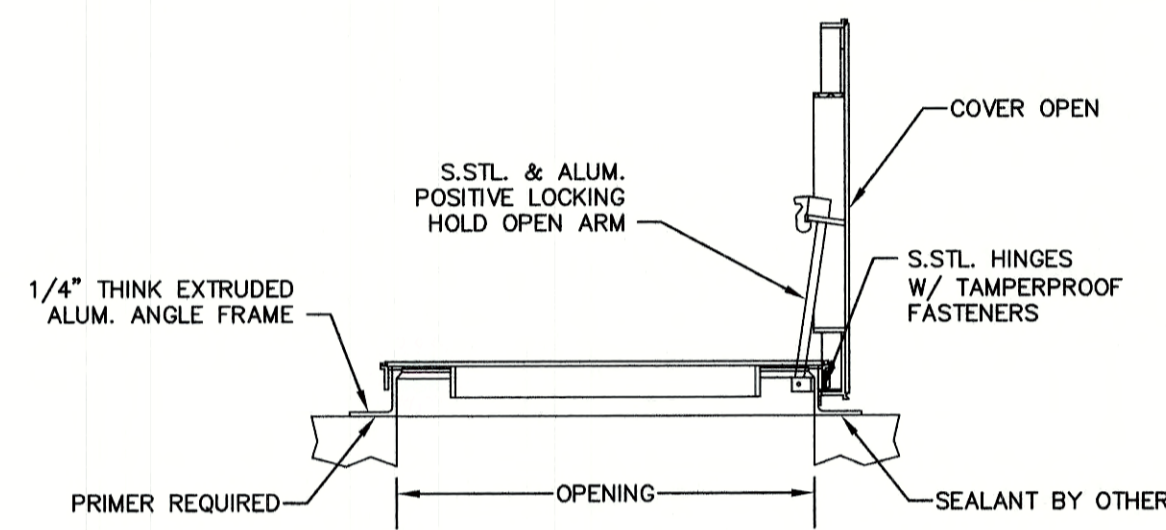
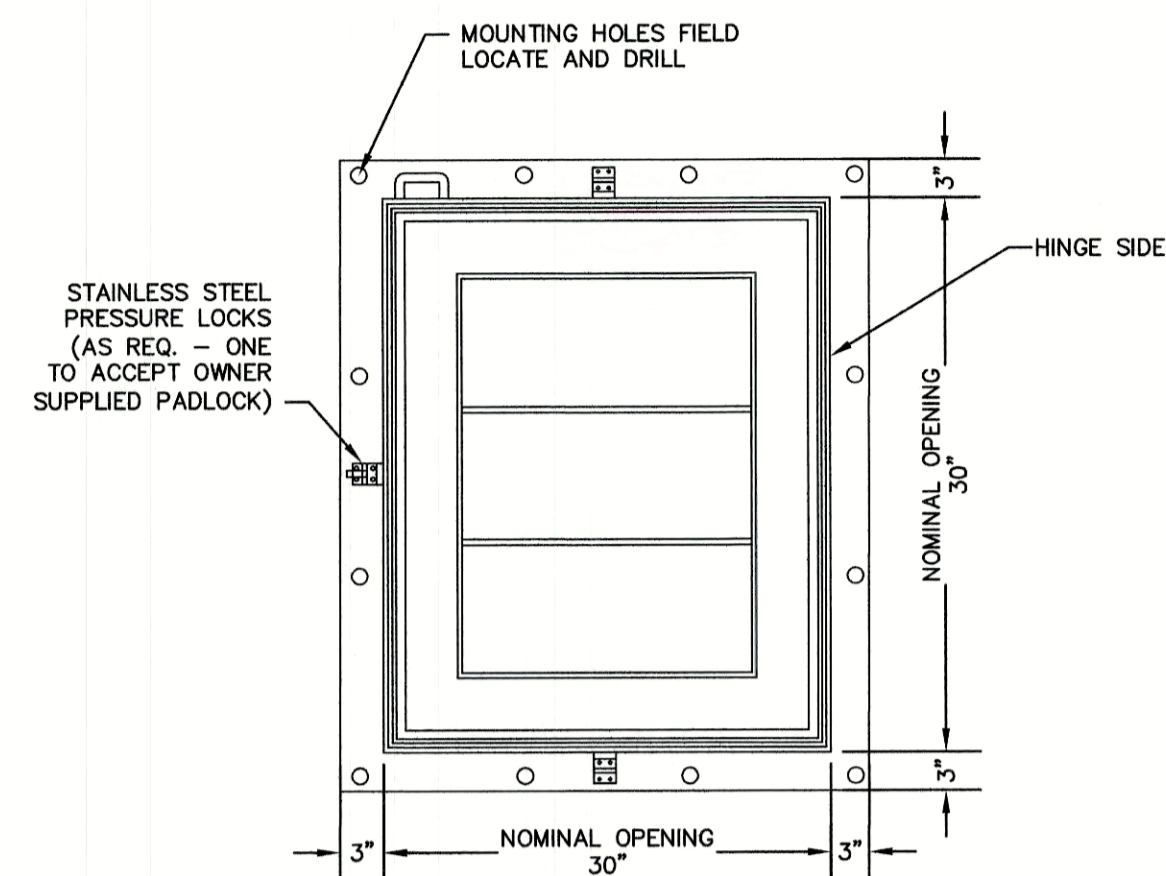
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

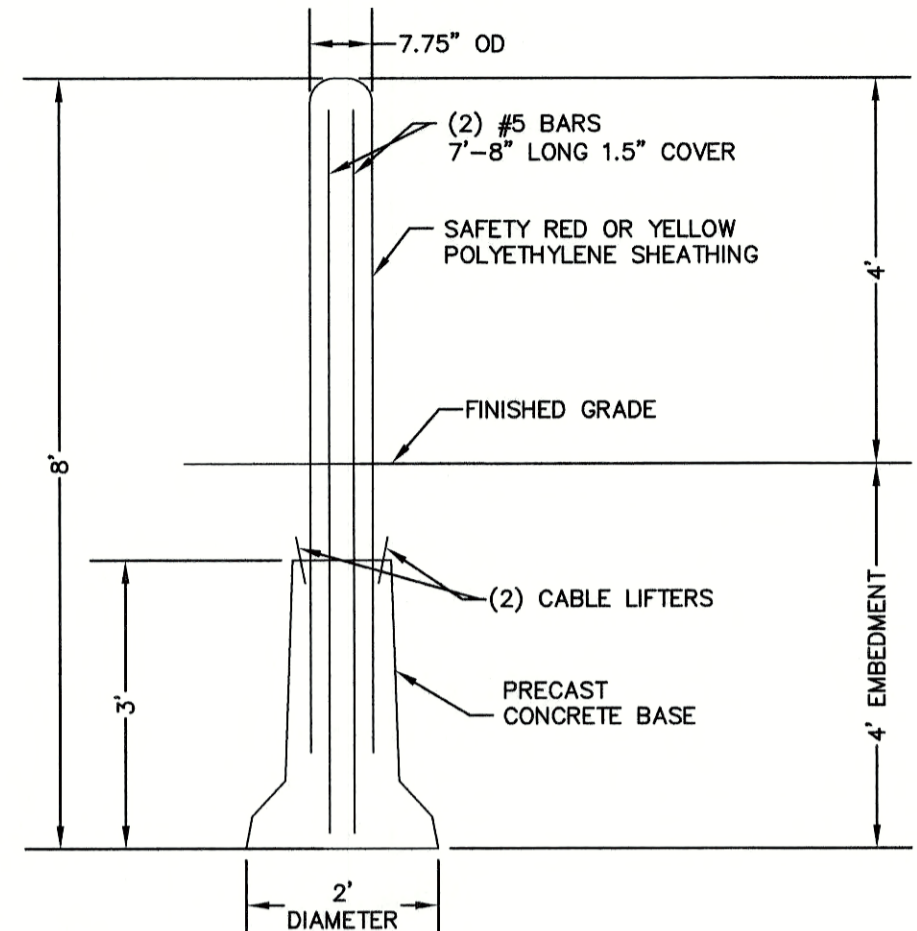
DRAWING No.

D4

SHEET 24 OF 29
JBE PROJECT NO. 19102

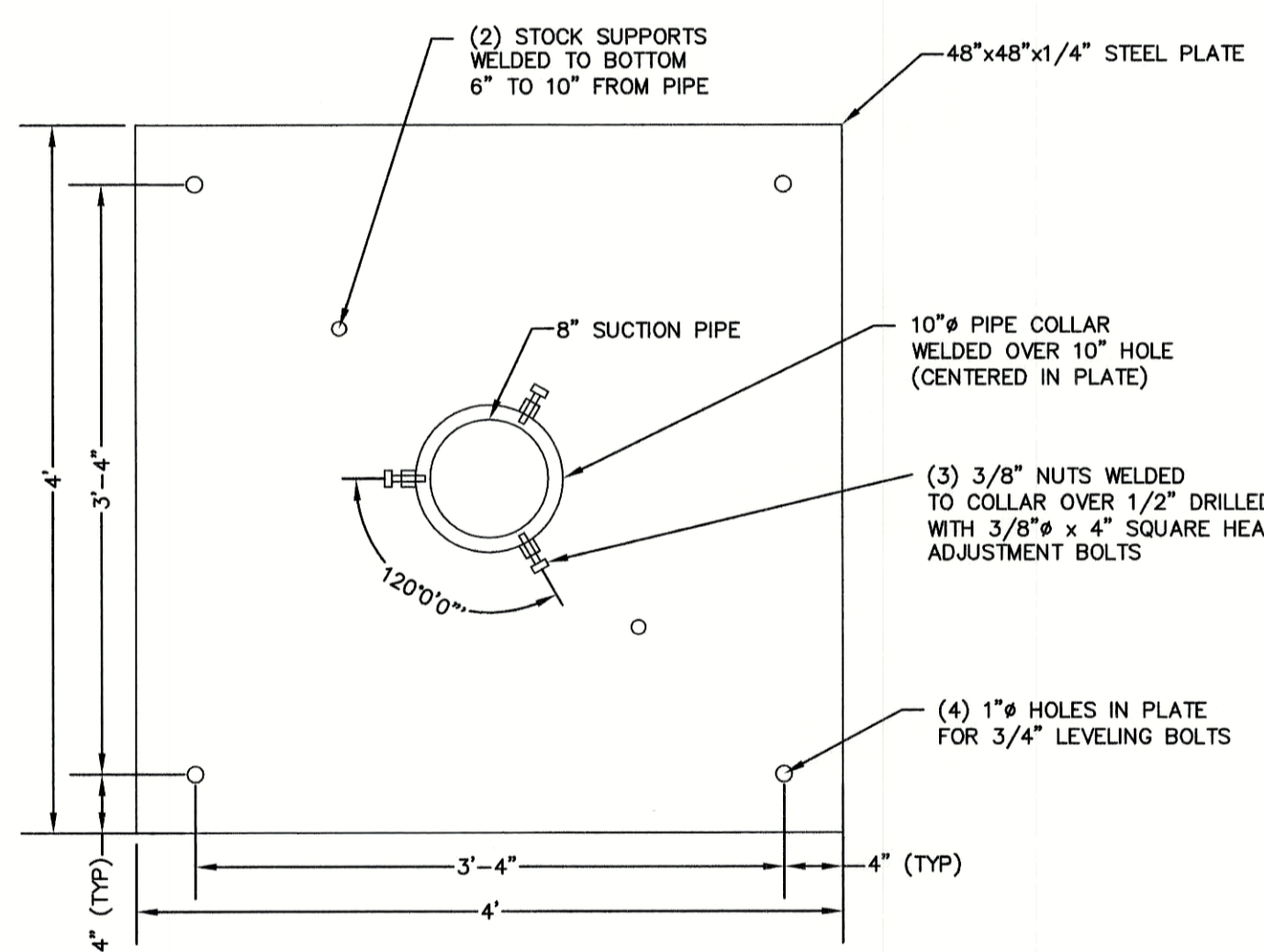


ANTI VORTEX PLATE DETAIL
ELEVATION VIEW

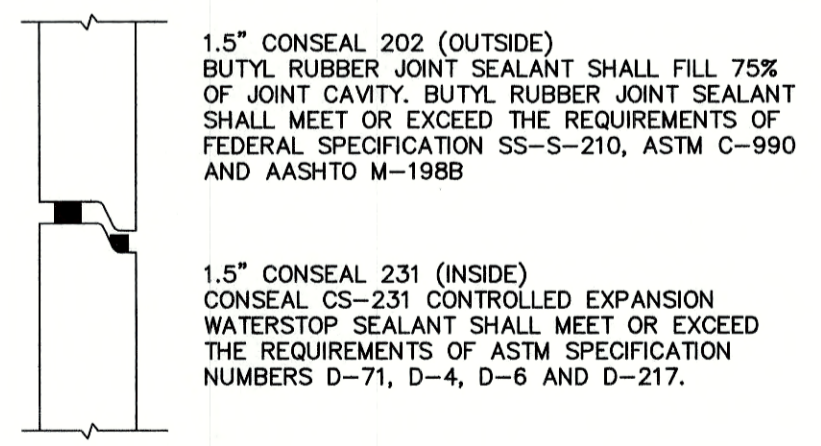


NOTES:
1. CONCRETE: 4,000 PSI @ 28 DAYS.
2. REINFORCING: 60,000 PSI GRADE 60 DEFORMED BLACK BARS.
3. EACH BOLLARD TO WEIGH 750# (0.18 CY).

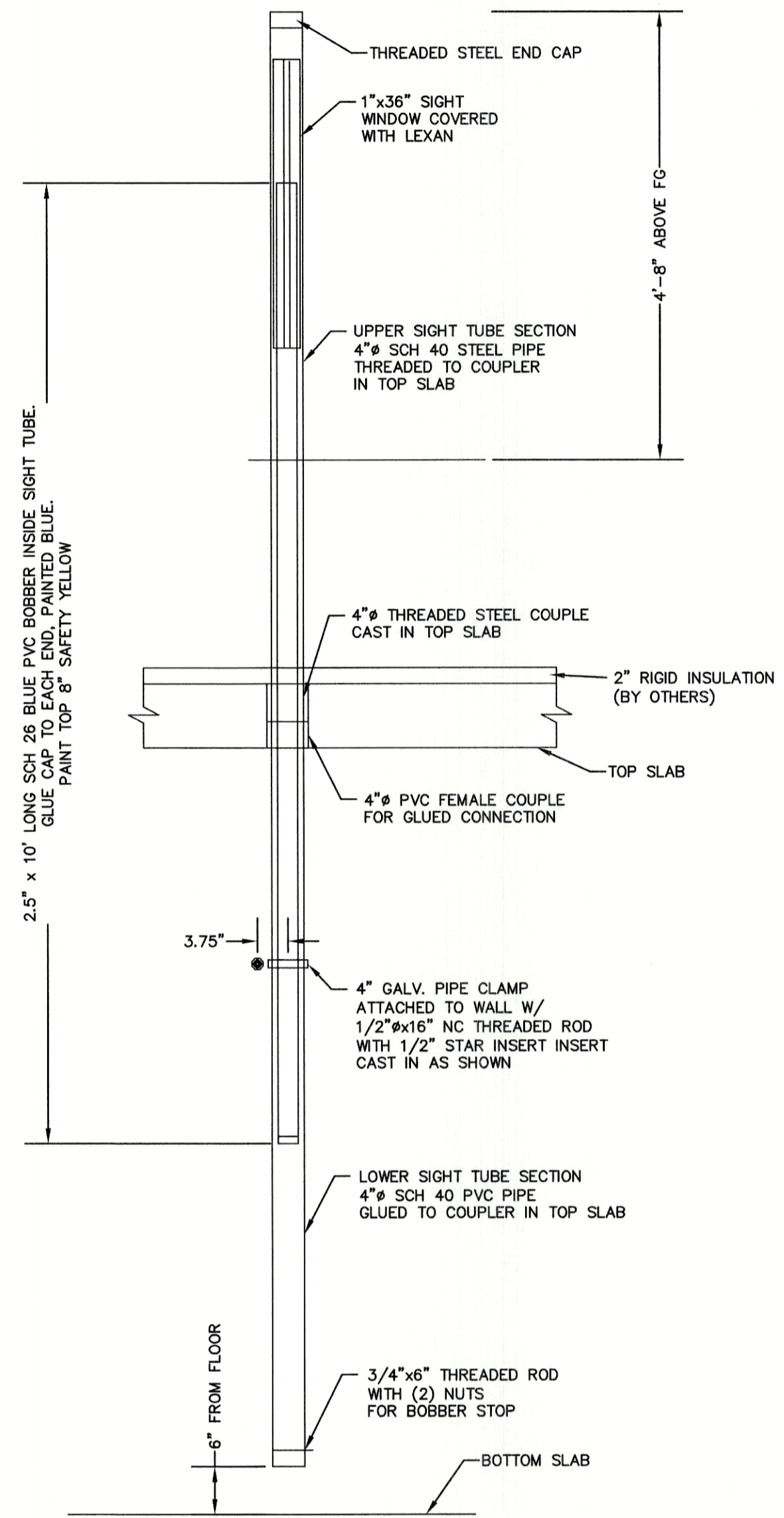
POLY SHEATHED PRECAST BOLLARD



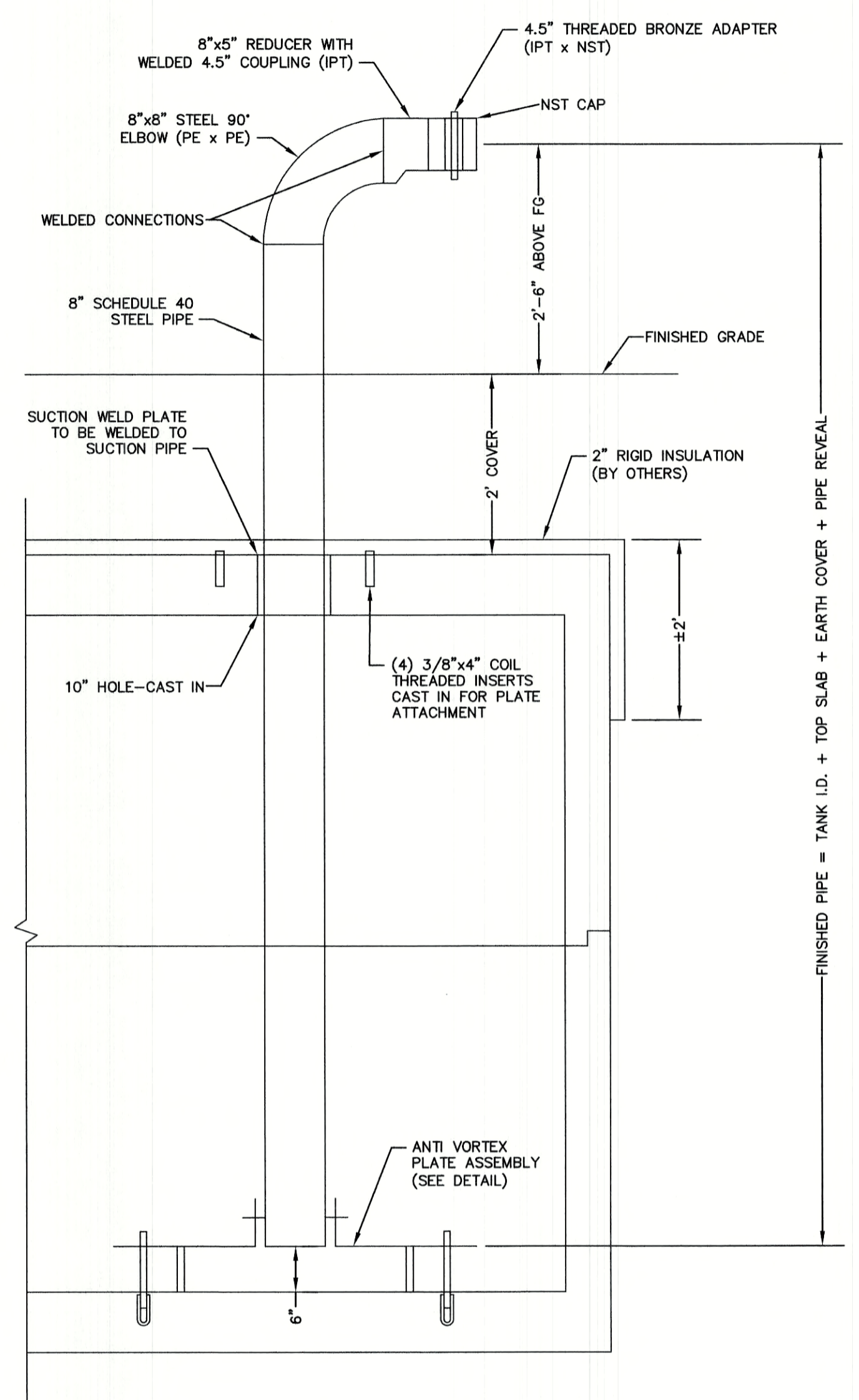
ANTI VORTEX PLATE DETAIL
PLAN VIEW



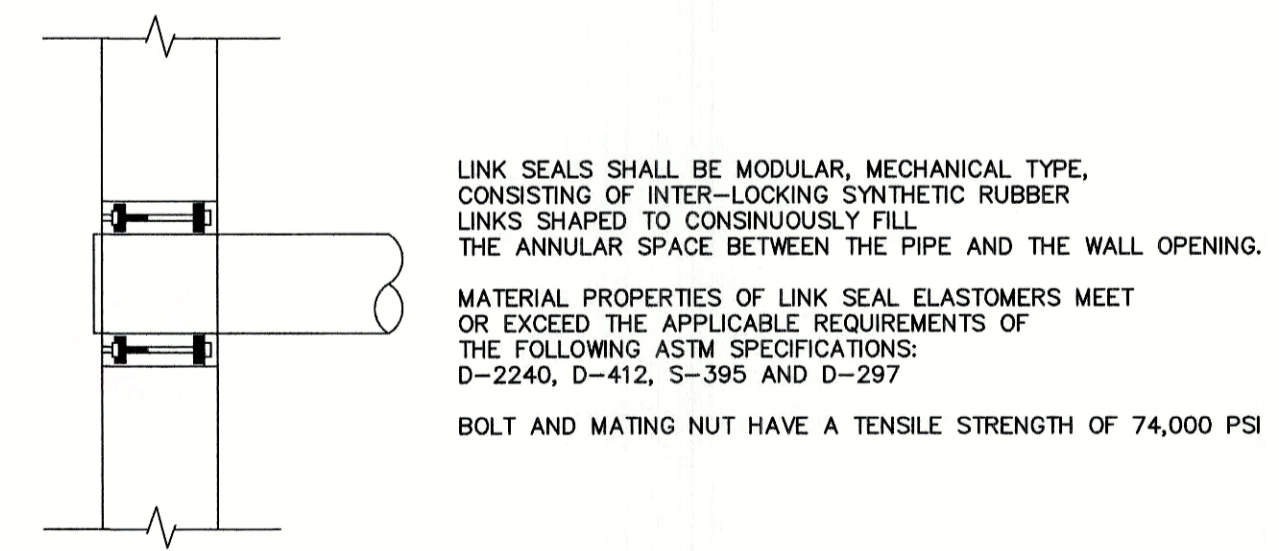
CONSEAL JOINT SEALANT DETAIL



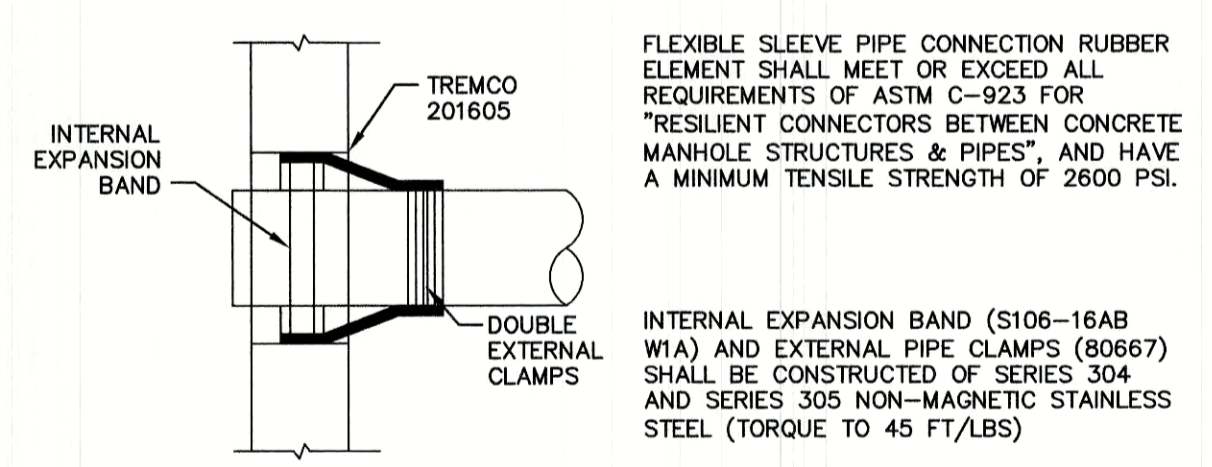
TYPICAL WATER FLOAT INDICATOR DETAIL



SUCTION ASSEMBLY DETAIL



TYPICAL LINK SEAL PIPE CONNECTION



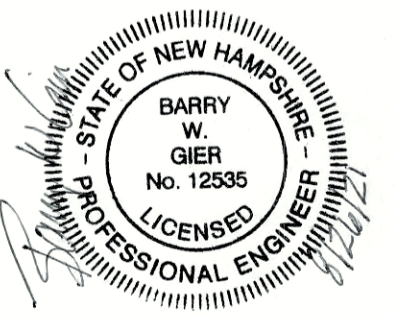
TYPICAL FLEXIBLE SLEEVE PIPE CONNECTION DETAIL

MITCHIE CORPORATION 30,000 GAL CISTERN COMPONENT DETAILS

NOT TO SCALE

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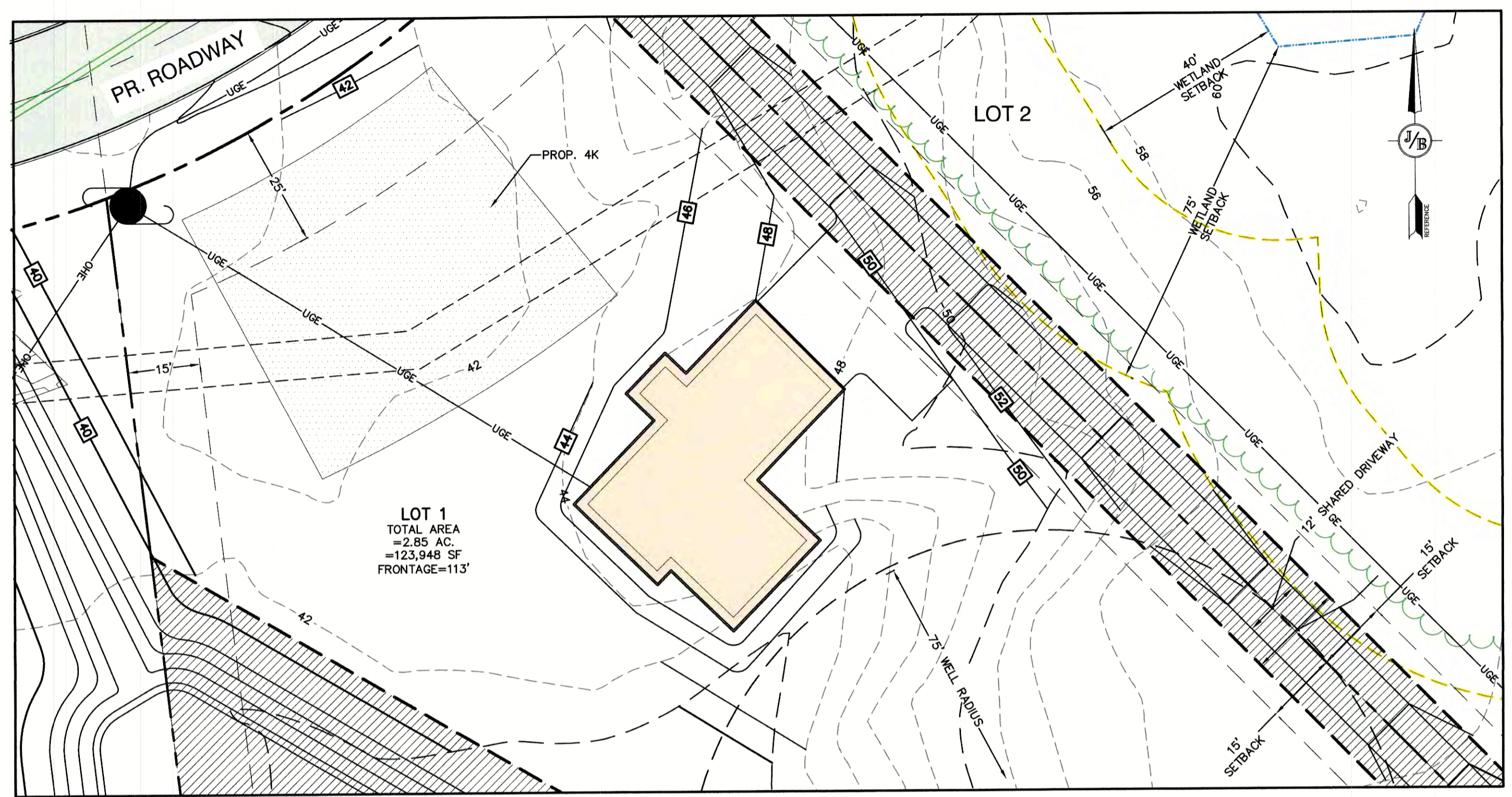
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
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Plan Name:	DETAIL SHEET
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Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

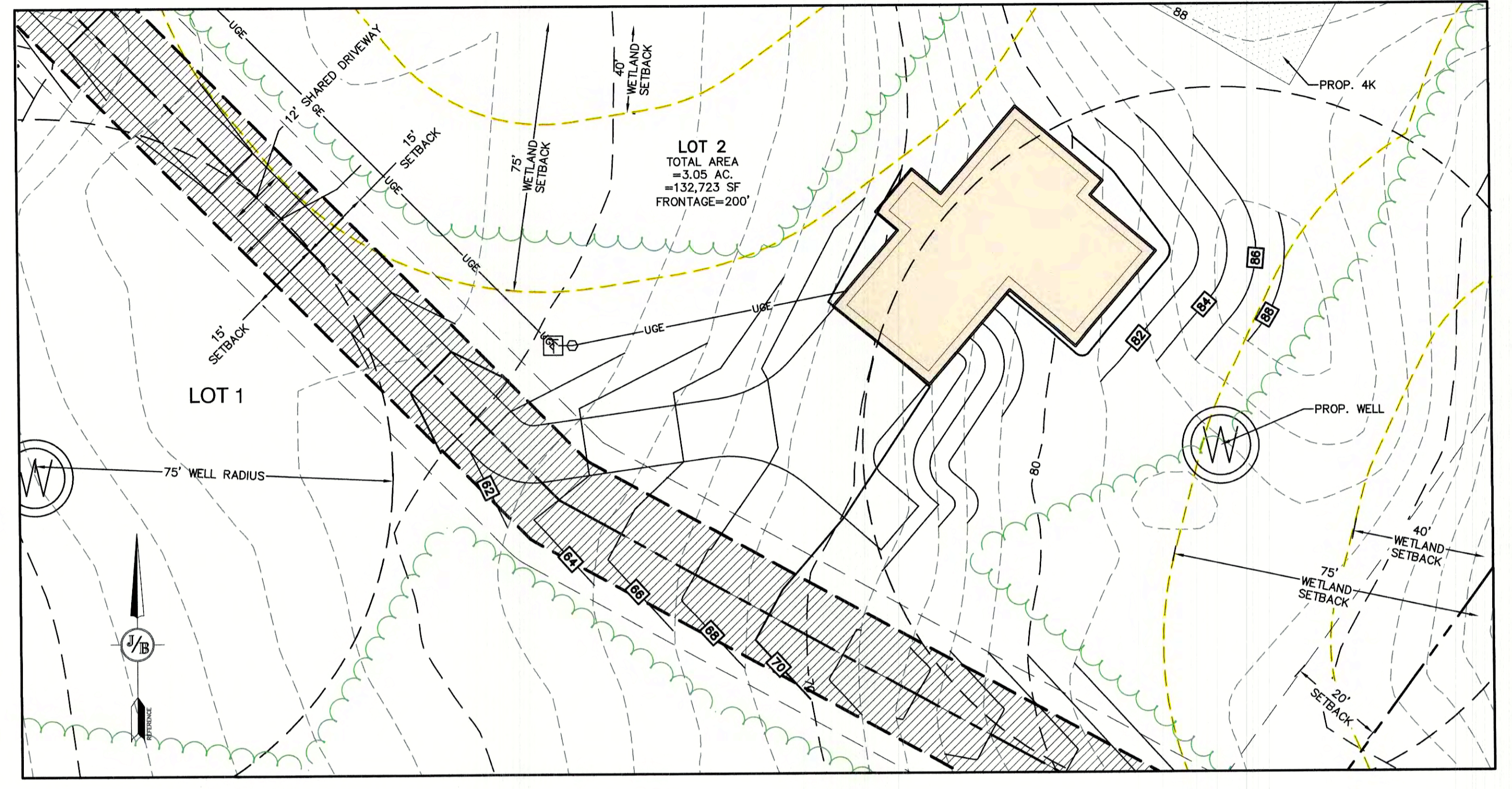
D5

SHEET 25 OF 29
JBE PROJECT NO. 19102



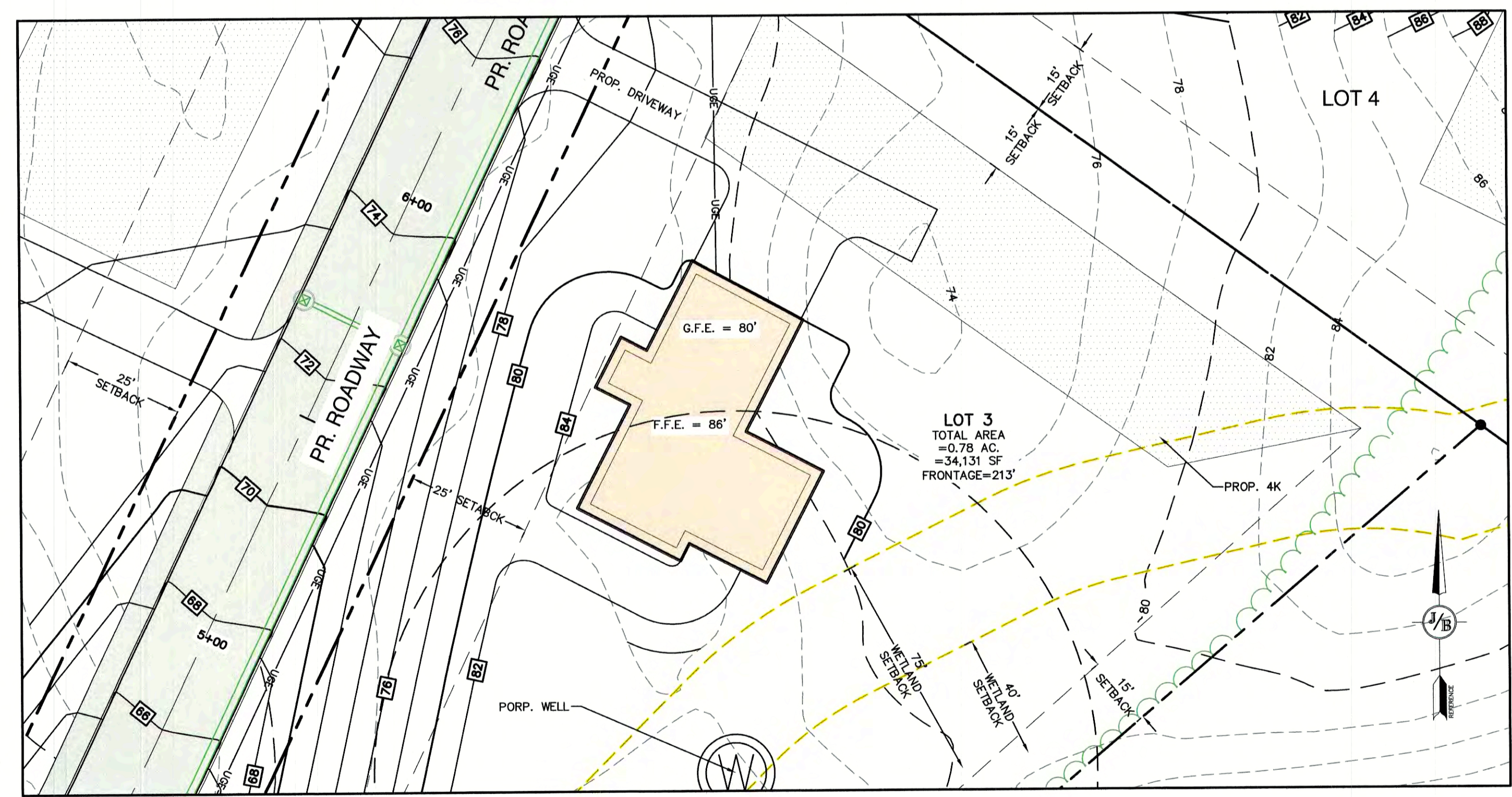
POTENTIAL LOT DEVELOPMENT- LOT 1

1"=20'



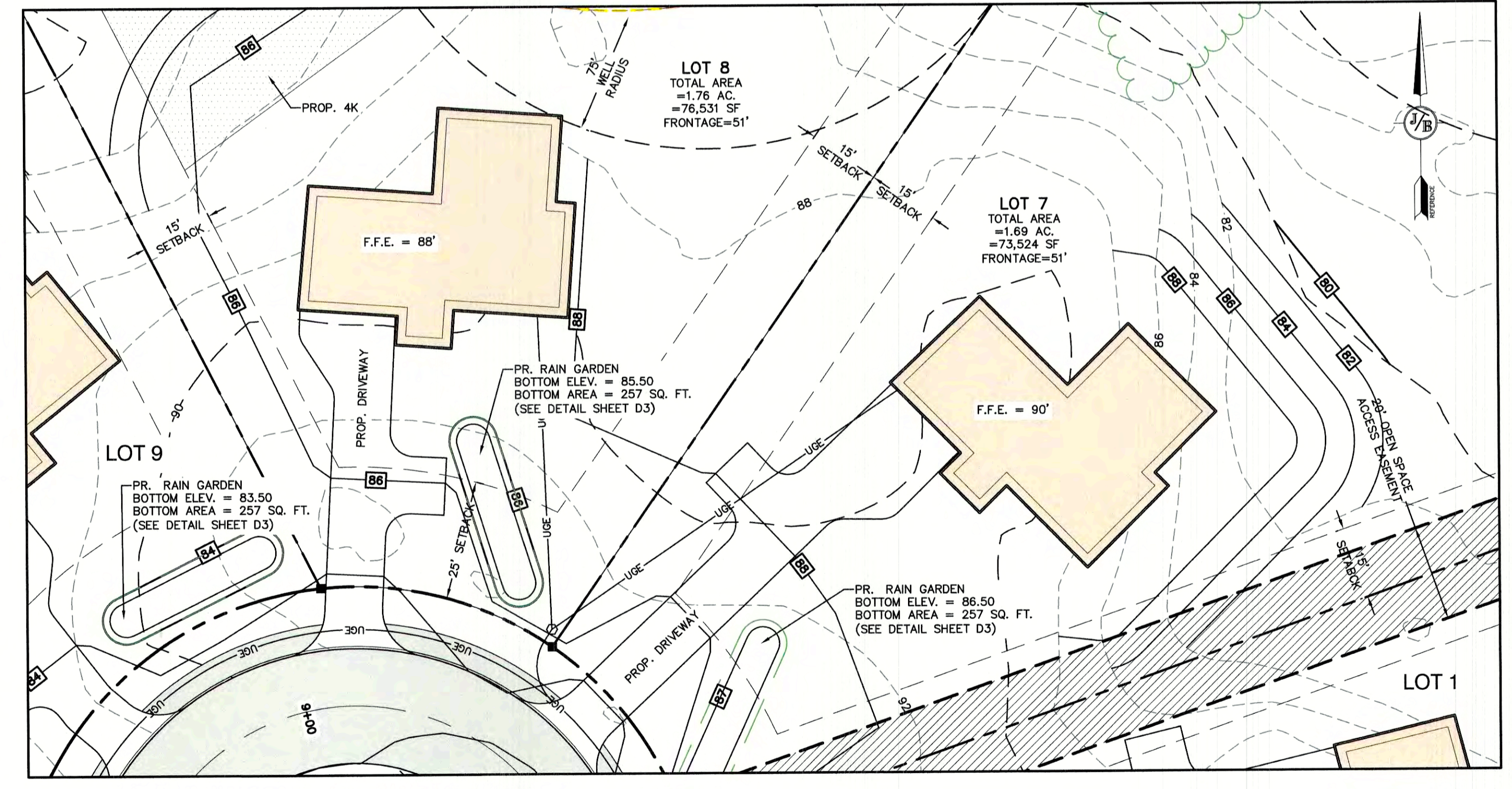
POTENTIAL LOT DEVELOPMENT- LOT 2

1"=20'



POTENTIAL LOT DEVELOPMENT- LOT 3

1"=20'

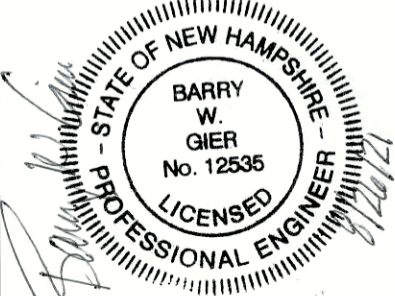


POTENTIAL LOT DEVELOPMENT- LOT 7 & LOT 8

1"=20'

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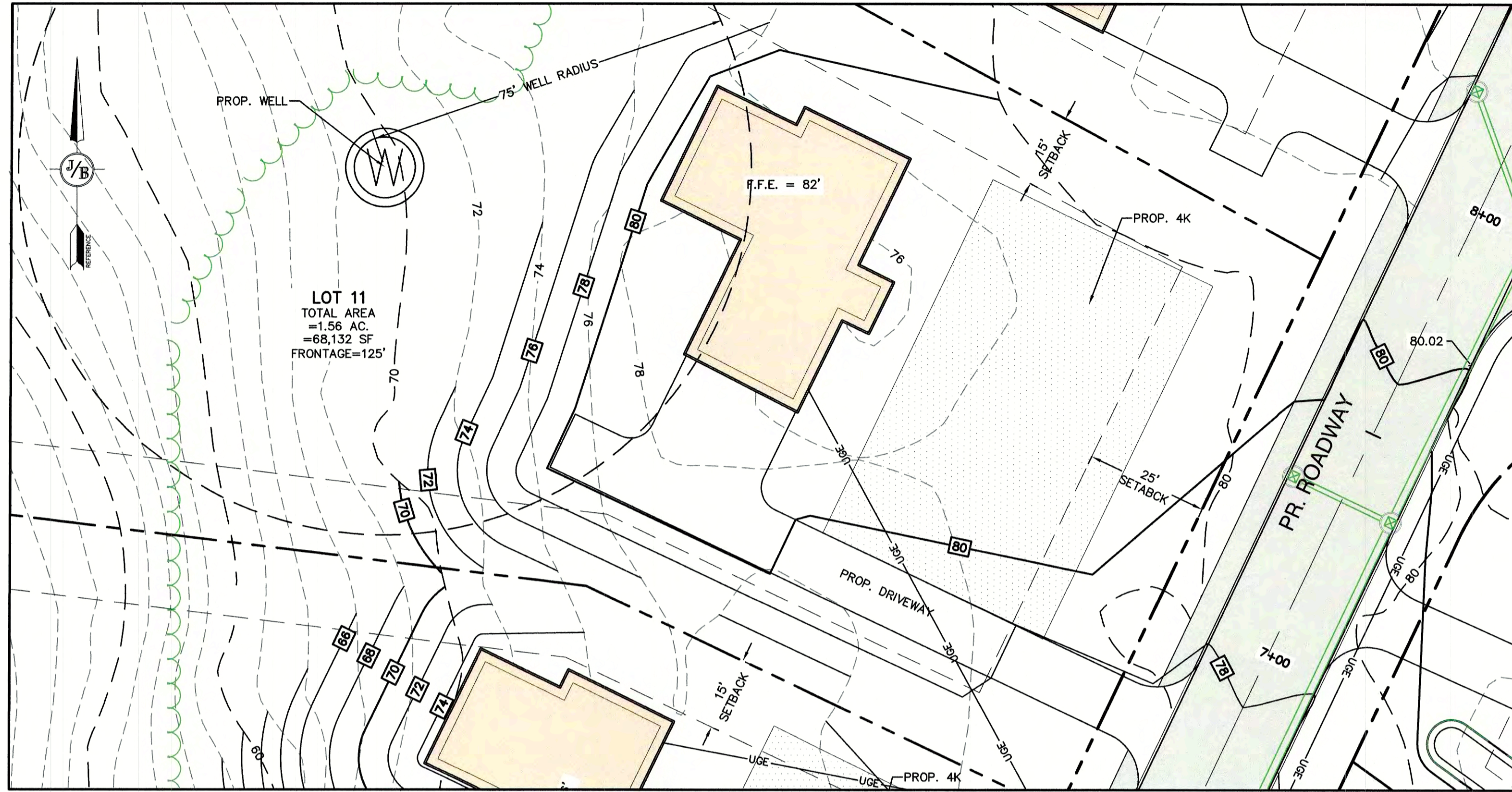
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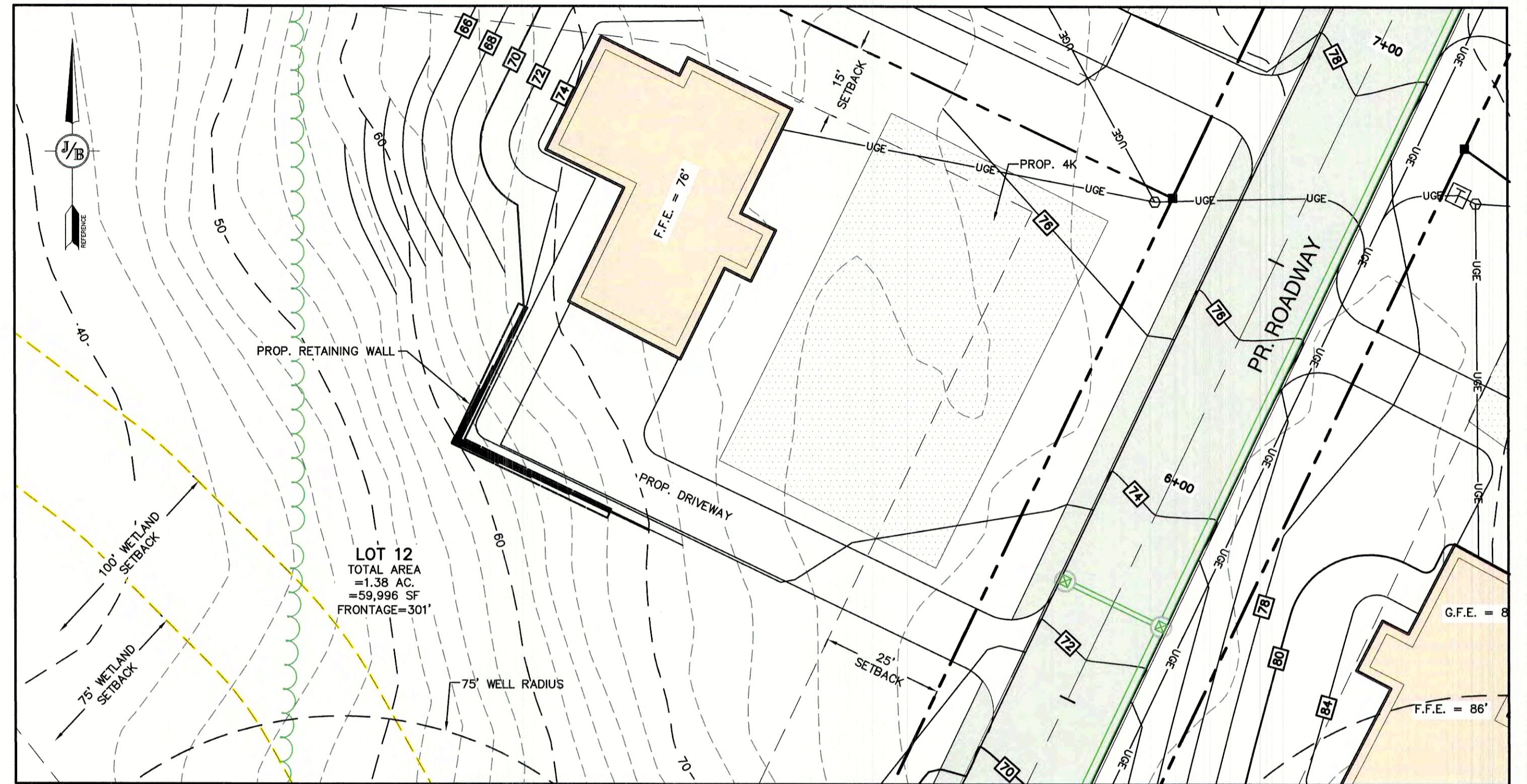
Plan Name: **DETAIL SHEET**
 Project: **TAX MAP 33 LOT 26**
19 WATSON ROAD, EXETER, NH
 Owner of Record: **SCOTT W. CARLISLE III**
14 CASS STREET, EXETER, NH 03833

DRAWING No. **D6**
 SHEET 26 OF 29
 JBE PROJECT NO. 19102



POTENTIAL LOT DEVELOPMENT- LOT 11

1"=20'



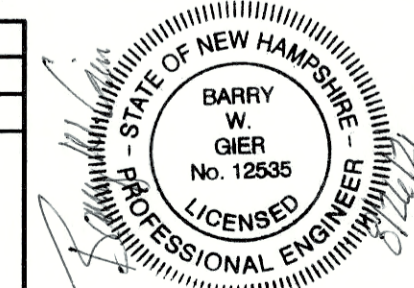
POTENTIAL LOT DEVELOPMENT- LOT 12

1"=20'

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Plan Name:	DETAIL SHEET
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Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

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SHEET 27 OF 29	JBE PROJECT NO. 19102

TEMPORARY EROSION CONTROL NOTES

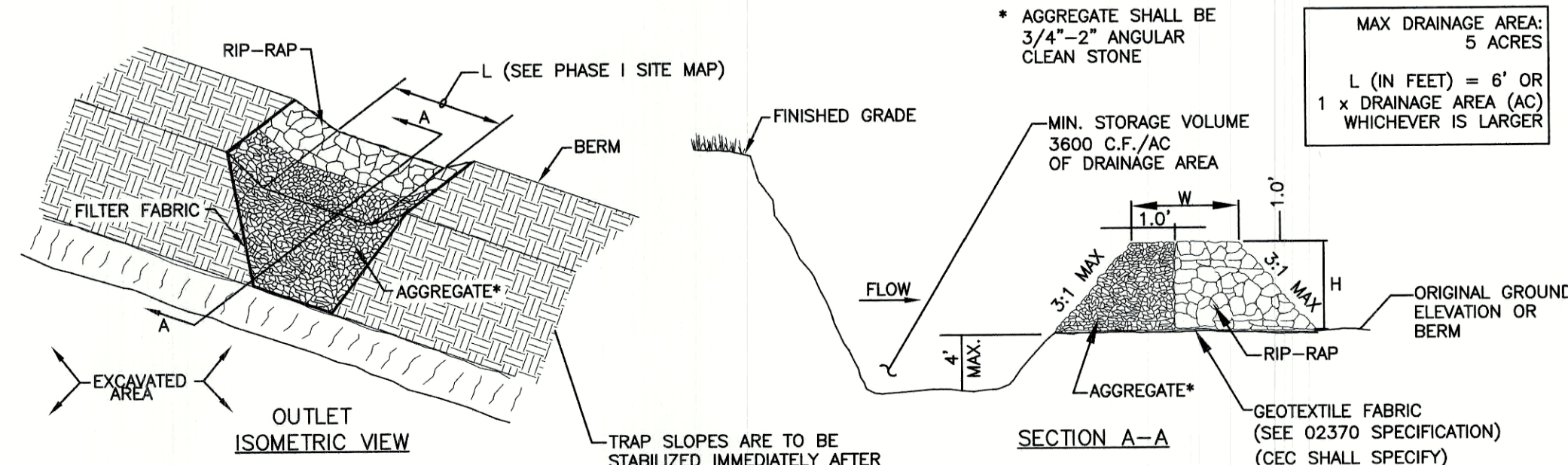
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/4 INCH OR GREATER RAIN EVENT (I.E. 1/4 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

MAINTENANCE NOTES:

- SEDIMENT TRAPS MUST BE INSPECTED AND MUST BE CLEANED WHEN THE ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR LESS, AS REQUIRED BY THE GOVERNING AGENCY.
- ALL MATERIAL EXCAVATED FROM BEHIND SEDIMENT BARRIERS OR FROM TRAPS SHALL BE INCORPORATED INTO ON-SITE SOILS OR SPREAD OUT ON AN UPLAND PORTION OF THE SITE AND STABILIZED.
- VERIFY THAT NO EROSION IS OCCURRING AT DISCHARGE POINTS TO AND FROM IMPOUNDMENTS AND VERIFY THAT TRAP SIDE SLOPES ARE STABILIZED AND SHOW NO SIGNS OF EROSION.
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
- TRAP TO BE CLEANED WHEN 50% OF ORIGINAL VOLUME IS FILLED.
- THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.



TEMPORARY SEDIMENT TRAP

NOT TO SCALE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

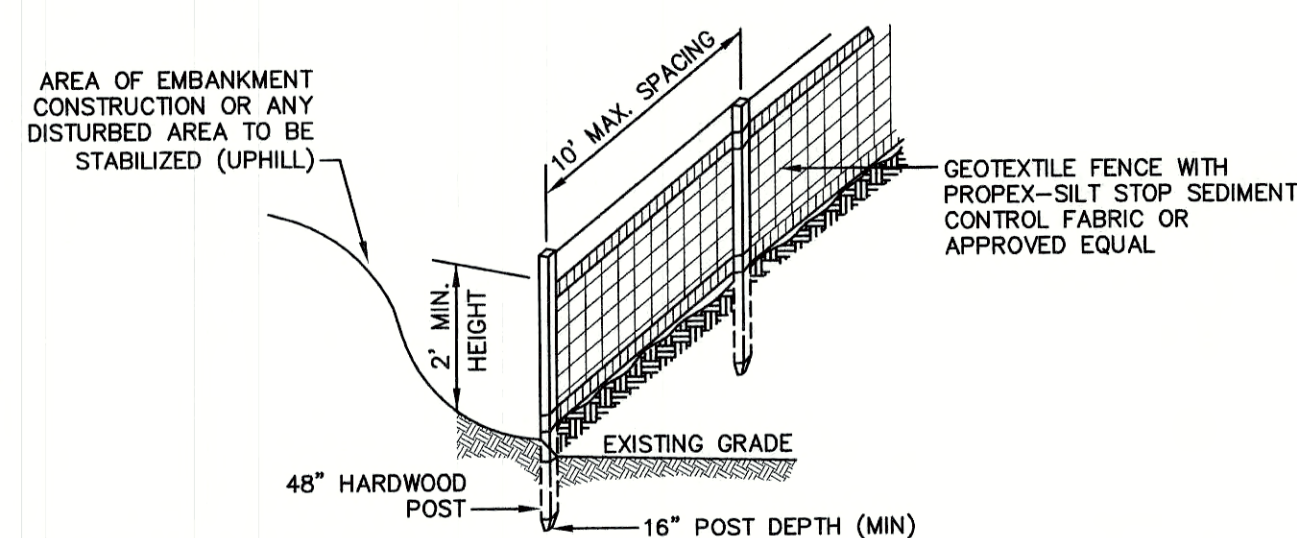
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

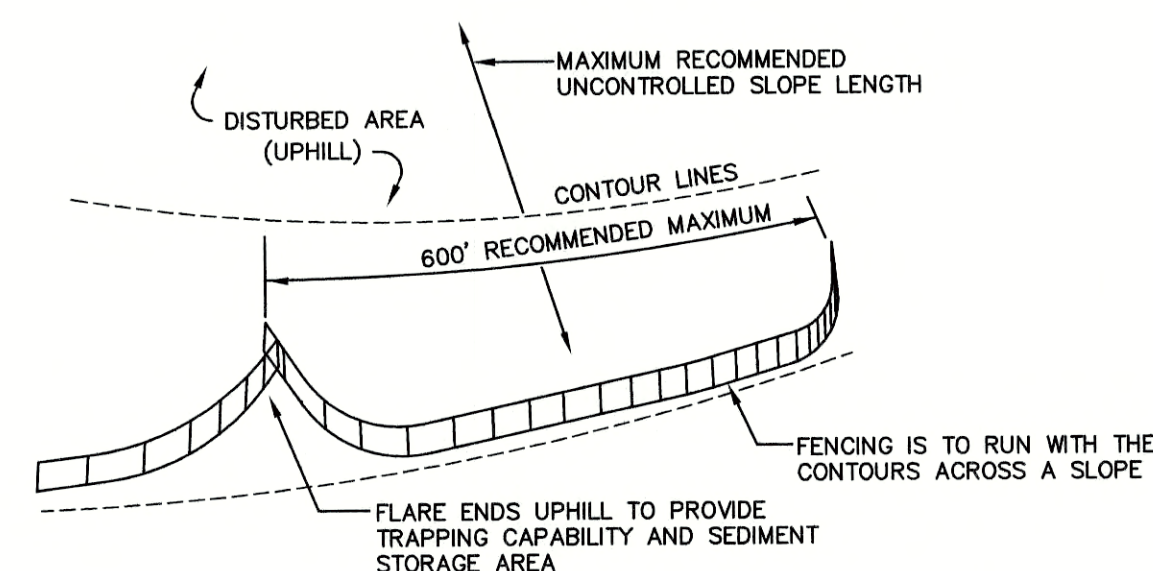


CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



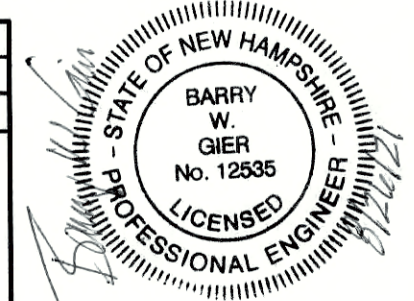
- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

Design: BWG	Draft: DFP	Date: 08/26/2021
Checked: BWG	Scale: AS NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		

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REV.	DATE	REVISION	BY
2	08/26/21	REVISED PER PB COMMENTS	BWG
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

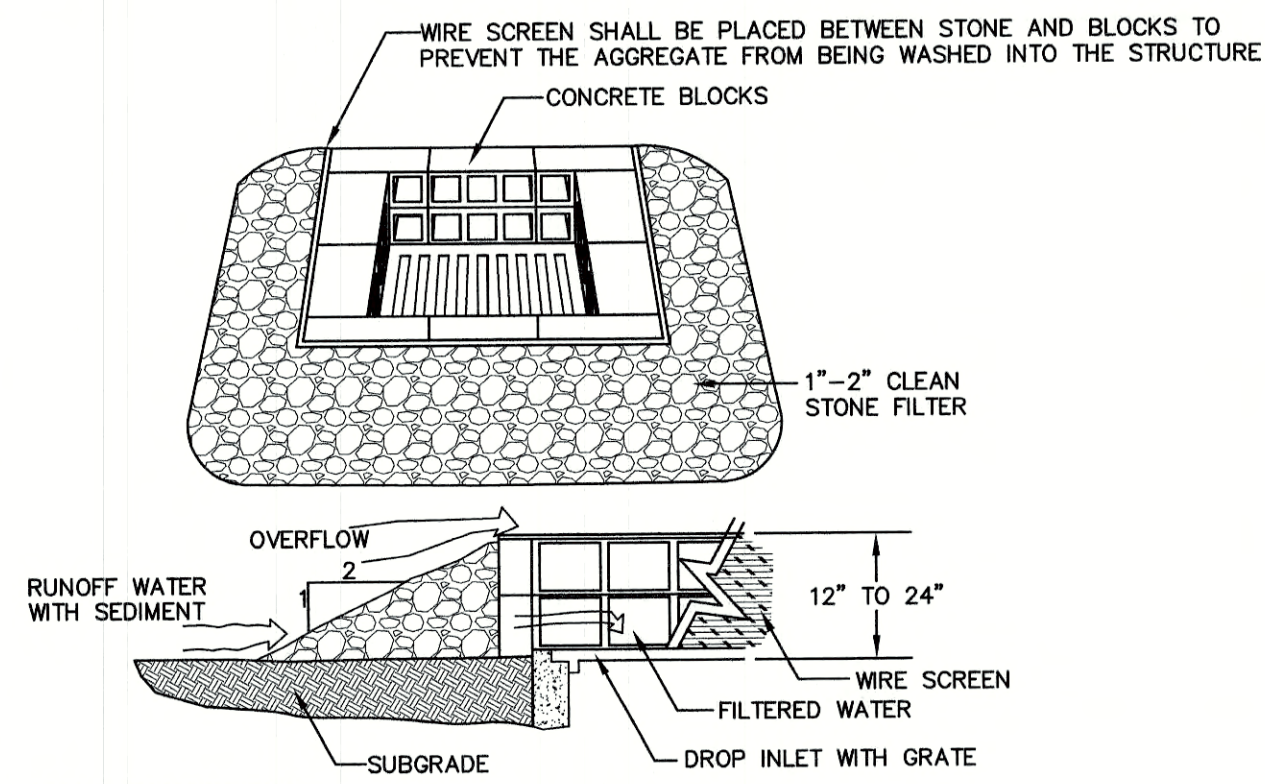
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

E1

SHEET 28 OF 29
JBE PROJECT NO. 19102

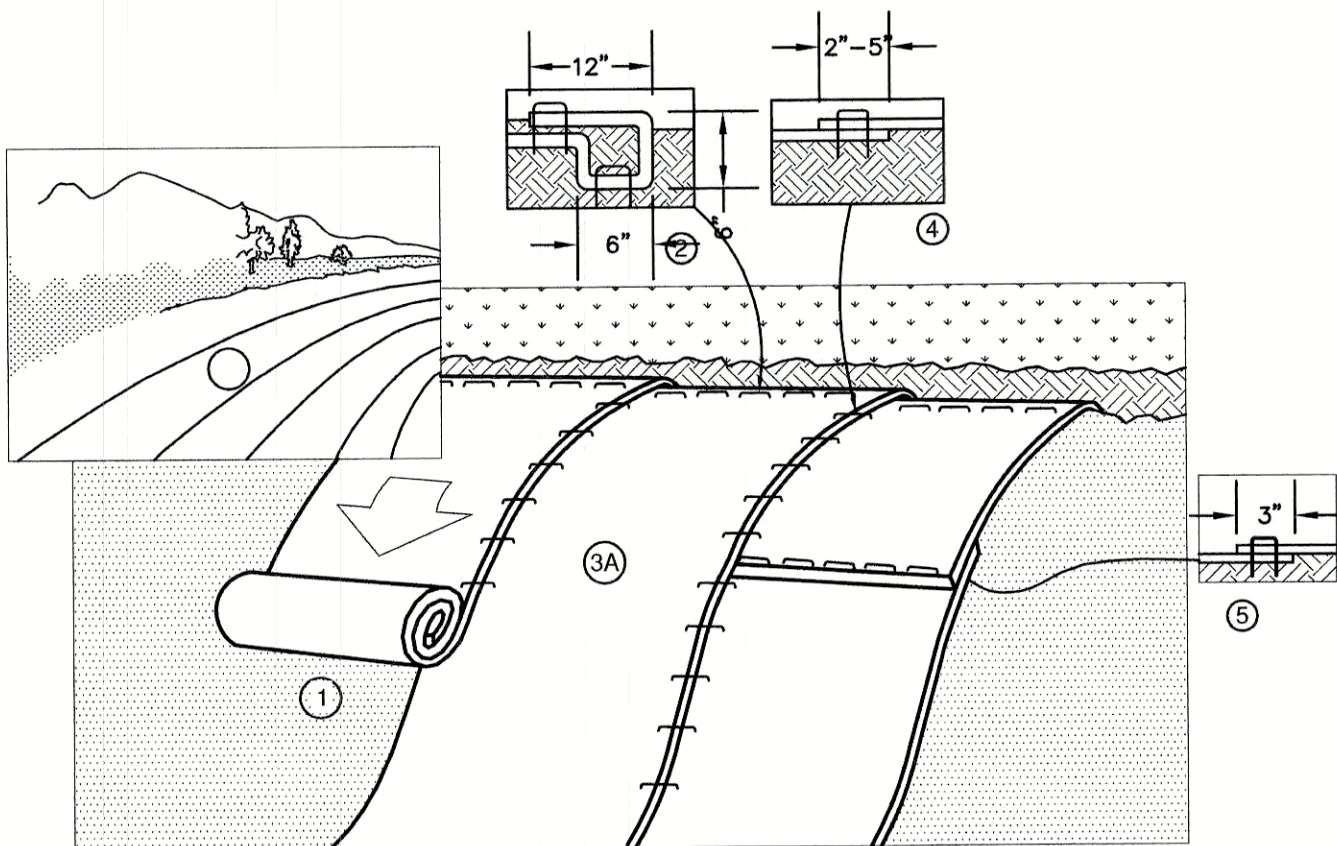


MAINTENANCE NOTE:

1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION
(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE



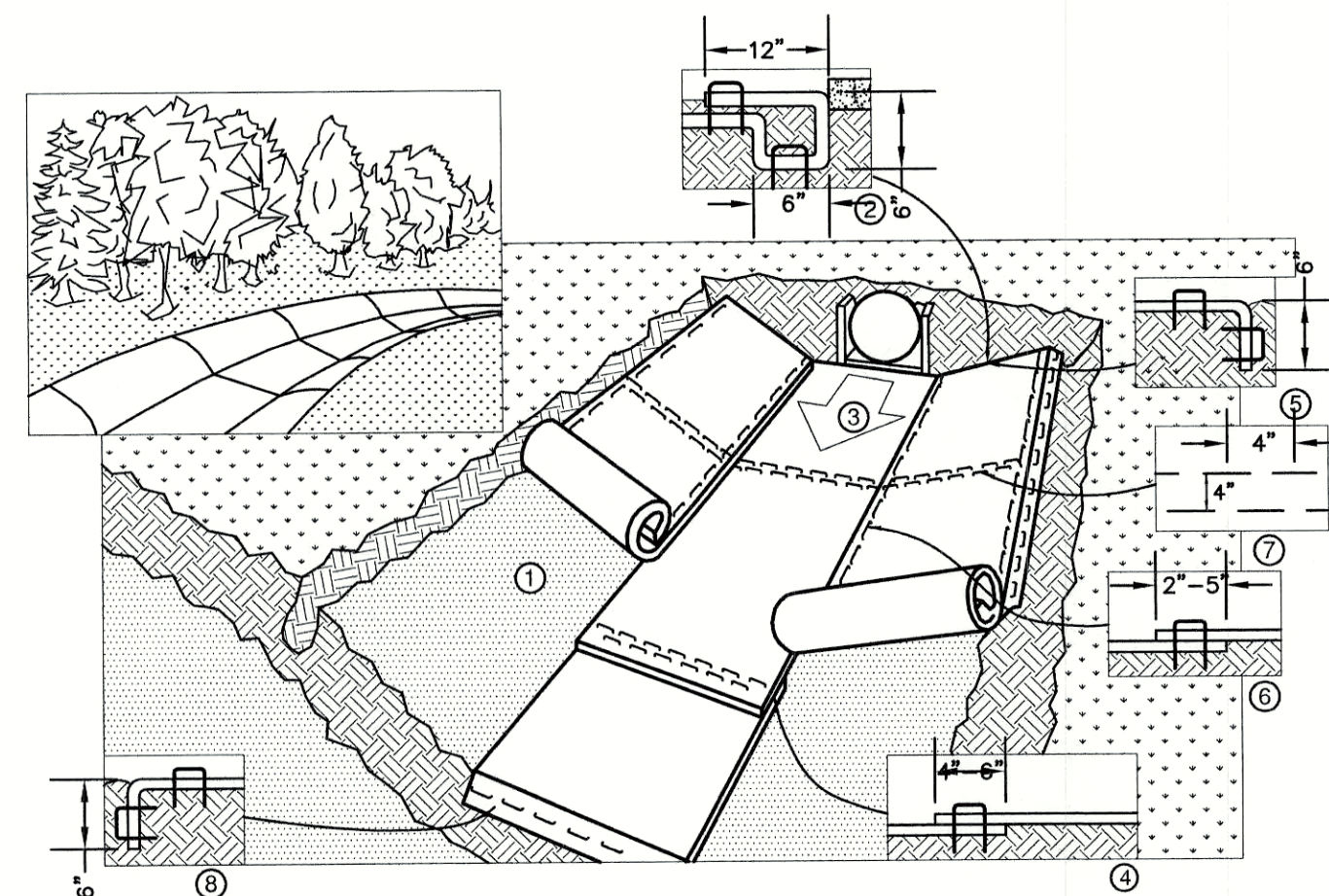
NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
(North American Green)

NOT TO SCALE



NOTES:

1. EROSION CONTROL BLANKET SHALL BE BIONET S75 AS PRODUCED BY NORTH AMERICAN GREEN (OR AN EQUIVALENT NATURAL MATERIAL MATTING THAT DOES NOT CONTAIN WOVEN OR BIODEGRADABLE PLASTICS. ALTERATION MUST BE APPROVED IN WRITING BY THE ENGINEER).
2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
3. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
4. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
5. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
6. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
7. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED. TO INSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
9. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

CRITICAL POINTS:

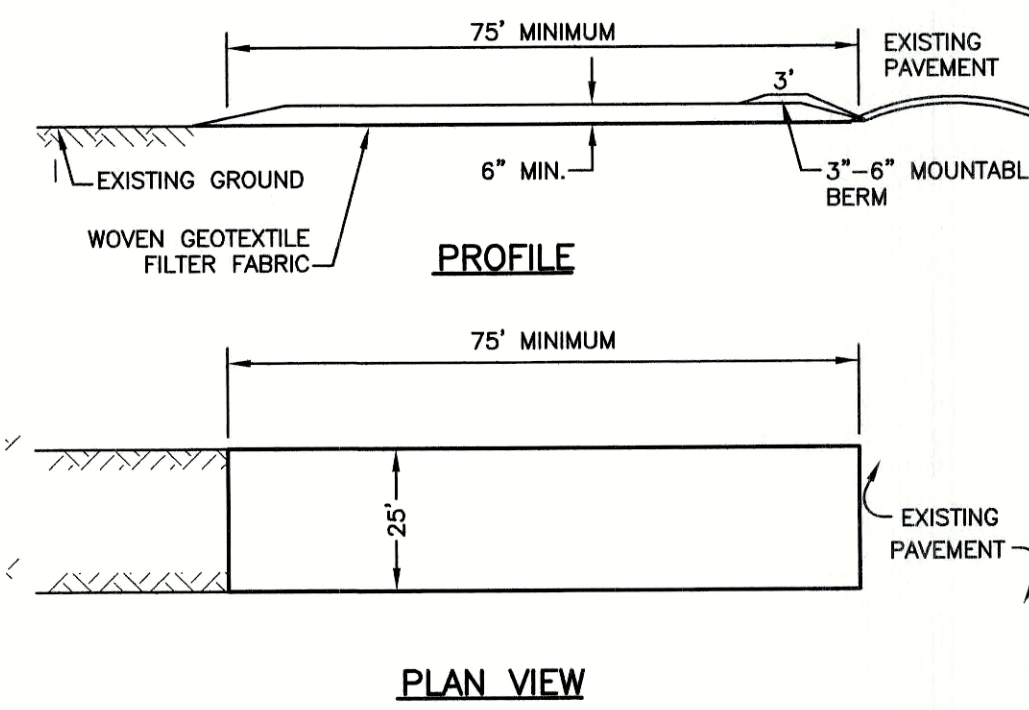
- A. OVERLAPS AND SEAMS
- B. PROJECTED WATER LINE
- C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTES:

- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL BLANKET SWALE INSTALLATION
(North American Green)

NOT TO SCALE

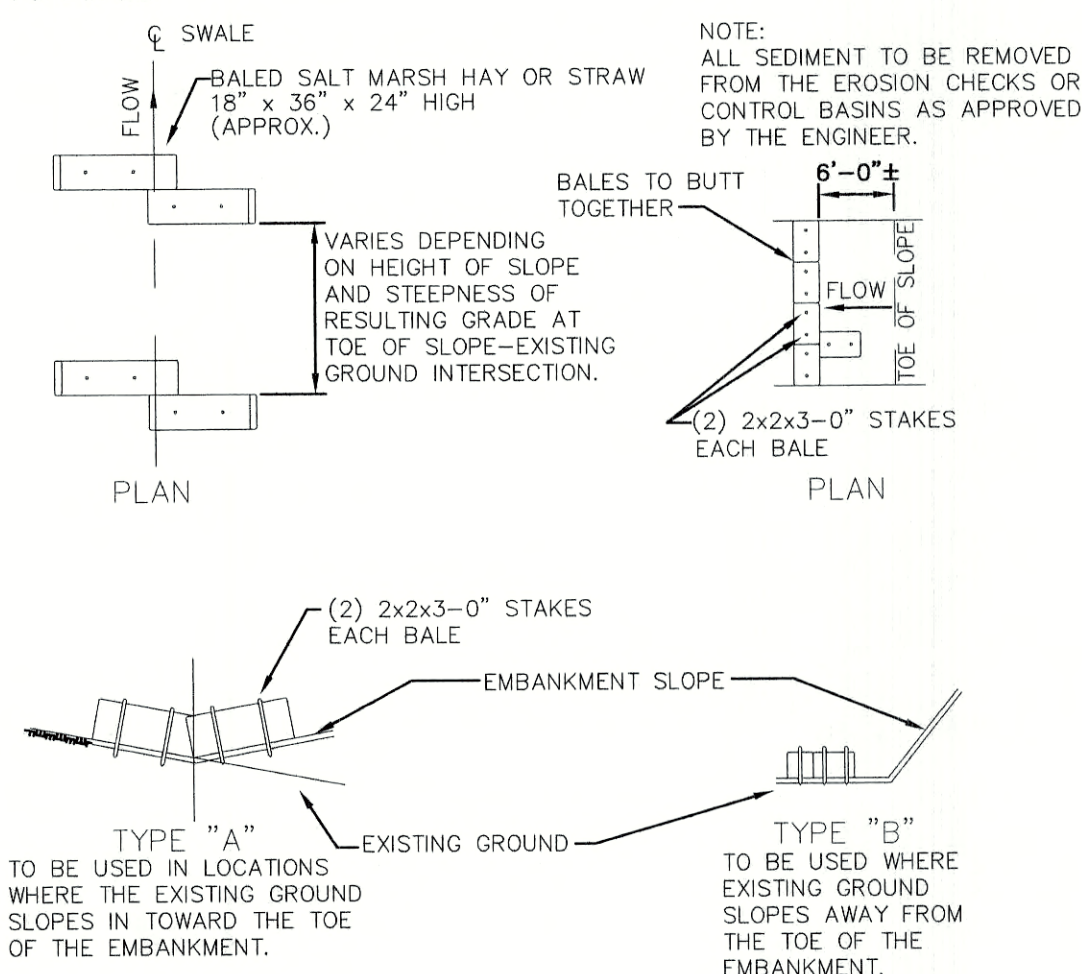


NOTES:

1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

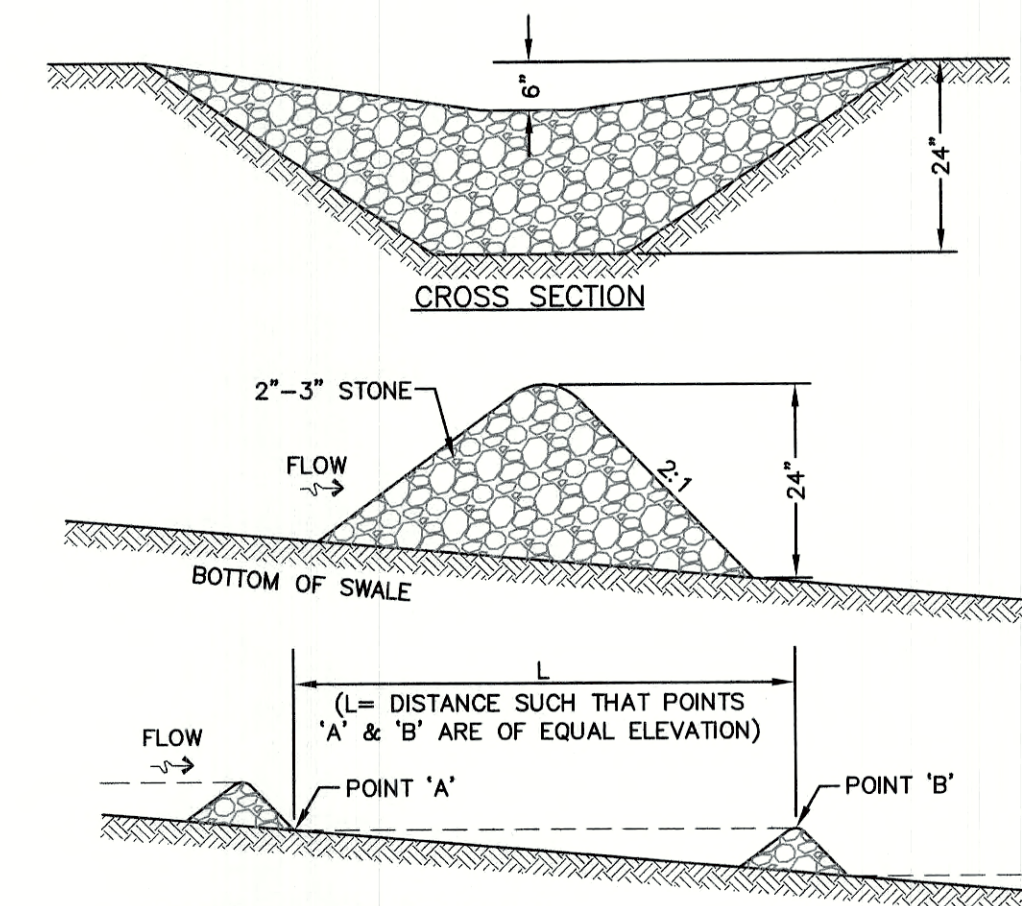
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



BALED HAY OR STRAW EROSION CHECK DETAIL

NOT TO SCALE

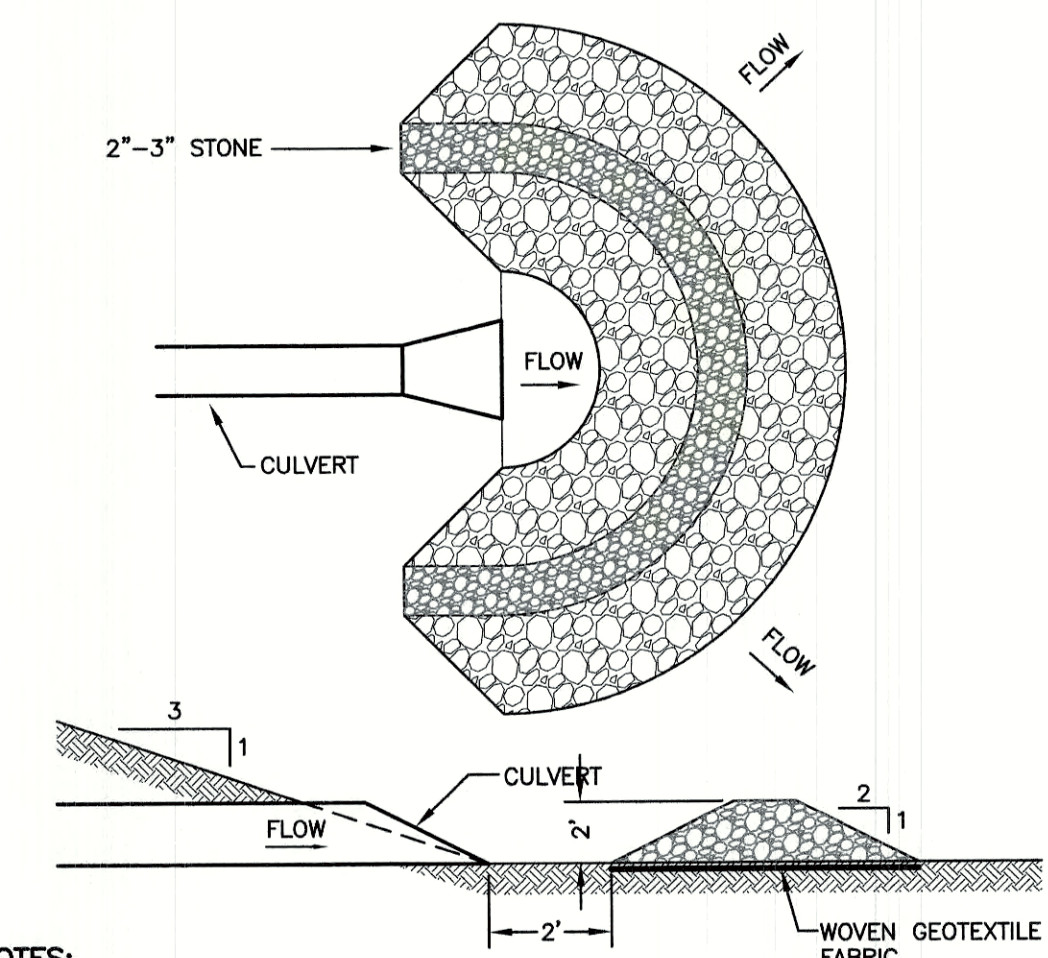


MAINTENANCE NOTE:

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

STONE CHECK DAM

NOT TO SCALE



NOTES:

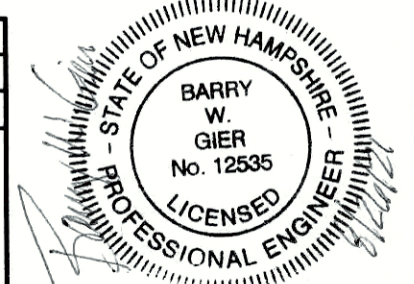
1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2'-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
3. STRUCTURE SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH THE PROPOSED RIP RAP FIELD. AREAS OUTSIDE THE RIP RAP FIELD ARE TO BE VEGETATED AND SMOOTHED.

TEMPORARY CULVERT OUTLET PROTECTION CHECK DAM

NOT TO SCALE

F:\CADD\MASTER STANDARD\dwg\LB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: BWG	Draft: DFP	Date: 08/26/2021
Checked: BWG	Scale: AS NOTED	Project No.: 19102
Drawing Name: 19102-PLAN.dwg		
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REV.	DATE	REVISION	BY
2	08/26/21	REVISED PER PB COMMENTS	BWG
1	03/30/21	REVISED PER TRC COMMENTS	BWG
0	12/22/20	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

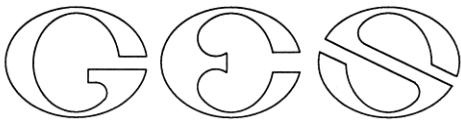
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	TAX MAP 33 LOT 26 19 WATSON ROAD, EXETER, NH
Owner of Record:	SCOTT W. CARLISLE III 14 CASS STREET, EXETER, NH 03833

DRAWING No.

E2

SHEET 29 OF 29
JBE PROJECT NO. 19102



GOVE ENVIRONMENTAL SERVICES, INC.

Memorandum

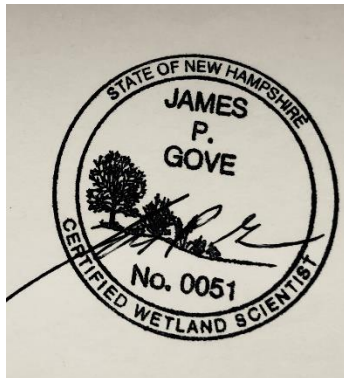
Date: Tuesday, January 12, 2021
To: Barry Gier, P.E.
Company: Jones & Beach Engineers, Inc.
From: Jim Gove
Re: 19 Watson Road, Exeter, NH
Subject: Conditional Use Requirements

Attached are evaluations of the 5 wetland buffer impacts. The evaluations cover the functions and values wetlands that are adjacent to the buffer impacts and assesses the potential project-related impacts.

It is the finding of the evaluations that the proposed buffer impacts are not detrimental to the value and functions of the wetlands or the greater hydrologic system.

The design of the proposed use, to the extent feasible, minimizes the detrimental impact on the wetland and on the wetland buffer.

Where appropriate, I have suggested mitigating measures, such as buffer plantings to restore the forested buffer that is being impacted.



1-11-2021

GES 2019104

8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz



WETLAND FUNCTIONAL ANALYSIS

GES PROJECT NO.: 2019104 DATE: 1-11-2021 STAFF: James Gove

WETLAND ID: Near buffer impact 1

SIZE: small PHOTOS: Yes

DOMINANT CLASSIFICATION: PFO1E

NUMBER OF VEGETATIVE CLASSES: 1

WETLAND TYPE

- | | |
|--|--|
| <input type="checkbox"/> Bog | <input type="checkbox"/> Sand Dune |
| <input checked="" type="checkbox"/> Deciduous Wooded Swamp | <input type="checkbox"/> Scrub-Shrub Swamp |
| <input type="checkbox"/> Drainage Swale | <input type="checkbox"/> Seasonal Stream |
| <input type="checkbox"/> Evergreen Wooded Swamp | <input type="checkbox"/> Tidal Marsh |
| <input type="checkbox"/> Freshwater Deep Marsh | <input type="checkbox"/> Wet Meadow |
| <input type="checkbox"/> Freshwater Shallow Marsh | |
| <input type="checkbox"/> Mixed Wooded Swamp | <hr/> |
| <input type="checkbox"/> Perennial Stream | <input type="checkbox"/> Excavated Ditch |
| <input type="checkbox"/> Pond/Lake | <input type="checkbox"/> Excavated Wetland |
| <input checked="" type="checkbox"/> Potential Vernal Pool | <input type="checkbox"/> Graded Wetland |
| <input type="checkbox"/> River | <input type="checkbox"/> Wetland Detention Basin |
| <input type="checkbox"/> Salt Marsh | <input type="checkbox"/> Wetland w/ Spoil Piles |



View looking north into wetland.



View looking east into wetland.

PLANT SPECIES

Trees

Red Maples

Saplings

Red Maples

Shrubs

Highbush Blueberry

Winterberry

Herbaceous

Cinnamon Fern

•

GROUNDWATER RECHARGE/DISCHARGE

- Restrictive layer
- Gravel or sands
- Till
- Marine/Lacustrine

Function Present: Yes No

- Groundwater discharge: Seep/Spring
- Variable water levels
- Constant water levels

FLOODFLOW ALTERATION

- H M L Watershed position
- Topo of wetland
- L M S Size relative to watershed
- Other storage in watershed present

Function Present: Yes No

- Slopes in watershed:
- Constricted outlet
- Associated with water course

SEDIMENT/TOXICANT/PATHOGEN RETENTION

- Sediment/toxicants sources present upslope
- Flat wetland topo
- Organic fine soils
- Flood storage occurs
- Broad transition
- Ditching

Function Present: Yes No

- Associated w/ surface water
- Erosion or sedimentation
- Diffuse flows
- Vegetation interspersed
- Dense herbaceous

NUTRIENT REMOVAL/RETENTION/TRANSFORMATION

- Hydrologic regime
- Open water
- Sediment trapping
- Nutrients upslope

Function Present: Yes No

- Aquatic diversity abundance
- Slow moving water
- Organic soils

PRODUCTION EXPORT

- Wildlife food sources
- Detritus
- Wildlife use
- H M L Vegetation Density
- H M L Interspersion

Function Present: Yes No

- H M L Diversity
- Aquatic plants
- Permanent outlet
- Signs of Export

SEDIMENT/SHORELINE STABILIZATION

- Association w/ surface water: Yes No
- Topo gradient
- Bank or shoreline
- Vegetated bank

Function Present: Yes No

- High flows
- Channelized flow
- Open water fetch

WILDLIFE HABITAT

- Degradation Type: Adjacent to Watson Road, and runoff from road.
- Upland buffer Width: Directly adjacent Watson Road, so buffer is zero.
Type of buffer: Other than Watson Road, has a forested buffer.
- Wetland connections
- Corridor
- Islands
- Loafing logs
- Vernal pool species identified.

Function Present: Yes No

- Aquatic habitat
- Cavity trees
- Rock crevices
- Fish habitat



View of upland between the wetland and the buffer impact 1.

The grading impact for a fill slope is 78 feet away. The grading impact will not detrimentally affect the ground water recharge/discharge function, as it will not significantly impact the uplands directly adjacent the wetland. Similarly sediment and nutrient retention will not be impacted, again because the slopes adjacent the wetland are not being graded or filled, and there is no additional water being directed into the wetland. Wildlife habitat potentially could be impacted, though not significantly, as the grading impact is at a significant distant away and limited to just the east of the wetland, with the remaining areas around the wetland not being proposed for grading or filling.

Mitigating measures to further reduce the impact to wildlife would be additional plantings between the buffer impact and the wetland, and tree/shrub plantings of the fill slope in the buffer. As can be seen in the photo above, a woods road and cleared area exists in the existing condition of the buffer area. Tree and shrub plantings in the area would enhance the buffer, and help protect the wildlife use of the wetland.

In conclusion, I believe buffer impact #1 is not detrimental to the value and function of the wetland and proposed use will, to the extent feasible, minimize the impact on the wetland buffer.



WETLAND FUNCTIONAL ANALYSIS

GES PROJECT NO.: 2019104 DATE: 1-11-2021 STAFF: James Gove

WETLAND ID: Near buffer impact 2

SIZE: small PHOTOS: Yes

DOMINANT CLASSIFICATION: PSS1E

NUMBER OF VEGETATIVE CLASSES: 1

WETLAND TYPE

- | | |
|---|---|
| <input type="checkbox"/> Bog | <input type="checkbox"/> Sand Dune |
| <input type="checkbox"/> Deciduous Wooded Swamp | <input checked="" type="checkbox"/> Scrub-Shrub Swamp |
| <input type="checkbox"/> Drainage Swale | <input type="checkbox"/> Seasonal Stream |
| <input type="checkbox"/> Evergreen Wooded Swamp | <input type="checkbox"/> Tidal Marsh |
| <input type="checkbox"/> Freshwater Deep Marsh | <input type="checkbox"/> Wet Meadow |
| <input type="checkbox"/> Freshwater Shallow Marsh | |
| <input type="checkbox"/> Mixed Wooded Swamp | <hr/> |
| <input type="checkbox"/> Perennial Stream | <input type="checkbox"/> Excavated Ditch |
| <input type="checkbox"/> Pond/Lake | <input type="checkbox"/> Excavated Wetland |
| <input checked="" type="checkbox"/> Potential Vernal Pool | <input type="checkbox"/> Graded Wetland |
| <input type="checkbox"/> River | <input type="checkbox"/> Wetland Detention Basin |
| <input type="checkbox"/> Salt Marsh | <input type="checkbox"/> Wetland w/ Spoil Piles |



View looking north into wetland.



View looking east into wetland.

PLANT SPECIES

Trees

Red Maples
(at the edges)

Saplings

Red Maples

Shrubs

Highbush Blueberry
Winterberry

Herbaceous

Cinnamon Fern
Poison Ivy

•

GROUNDWATER RECHARGE/DISCHARGE

- Restrictive layer
- Gravel or sands
- Till
- Marine/Lacustrine

- Function Present:* Yes No
- Groundwater discharge: Seep/Spring
 - Variable water levels
 - Constant water levels

FLOODFLOW ALTERATION

- H M L Watershed position
- Topo of wetland
- L M S Size relative to watershed
- Other storage in watershed present

- Function Present:* Yes No
- Slopes in watershed:
- Constricted outlet
 - Associated with water course

SEDIMENT/TOXICANT/PATHOGEN RETENTION

- Sediment/toxicants sources present upslope
- Flat wetland topo
- Organic fine soils
- Flood storage occurs
- Broad transition
- Ditching

- Function Present:* Yes No
- Associated w/ surface water
 - Erosion or sedimentation
 - Diffuse flows
 - Vegetation interspersed
 - Dense herbaceous

NUTRIENT REMOVAL/RETENTION/TRANSFORMATION

- Hydrologic regime
- Open water
 - Sediment trapping
 - Nutrients upslope

- Function Present:* Yes No
- Aquatic diversity abundance
 - Slow moving water
 - Organic soils

PRODUCTION EXPORT

- Wildlife food sources
- Detritus
- Wildlife use
- H M L Vegetation Density
- H M L Interspersion

- Function Present:* Yes No
- H M L Diversity
 - Aquatic plants
 - Permanent outlet
 - Signs of Export

SEDIMENT/SHORELINE STABILIZATION

- Association w/ surface water: Yes No
- Topo gradient
 - Bank or shoreline
 - Vegetated bank

- Function Present:* Yes No
- High flows
 - Channelized flow
 - Open water fetch

WILDLIFE HABITAT

- Degradation Type:
- Upland buffer Width: All Exeter buffer present.
- Type of buffer: A forested buffer.
- Wetland connections
- Corridor
- Islands
- Loafing logs
- Vernal pool species identified.

- Function Present:* Yes No
- Aquatic habitat
 - Cavity trees
 - Rock crevices
 - Fish habitat

The soil disturbance buffer impact for a cut slope is 81 feet away. This is a small wetland with vernal pool activity. Its primary functions are wildlife habitat (for vernal pool species) and production export (the vernal pool species are a food source for other species that will visit the pool in the spring time). Otherwise, this wetland is too small to have flood storage or sediment and nutrient trapping.

Mitigating measures to further reduce the impact to wildlife would be just maintaining the forested buffer. The cut face begins on the opposite side of the fill from the wetland, so additional plantings would not be needed in the remaining buffer.

In conclusion, I believe buffer impact #2 is not detrimental to the value and function of the wetland and proposed use will, to the extent feasible, minimize the impact on the wetland buffer.



WETLAND FUNCTIONAL ANALYSIS

GES PROJECT NO.: 2019104 DATE: 1-11-2021 STAFF: James Gove
WETLAND ID: Near buffer impacts 3&5 SIZE: large PHOTOS: Yes
DOMINANT CLASSIFICATION: PFO/SS/EM NUMBER OF VEGETATIVE CLASSES: 1

WETLAND TYPE

- | | |
|--|---|
| <input type="checkbox"/> Bog | <input type="checkbox"/> Sand Dune |
| <input checked="" type="checkbox"/> Deciduous Wooded Swamp | <input checked="" type="checkbox"/> Scrub-Shrub Swamp |
| <input checked="" type="checkbox"/> Drainage Swale | <input type="checkbox"/> Seasonal Stream |
| <input type="checkbox"/> Evergreen Wooded Swamp | <input type="checkbox"/> Tidal Marsh |
| <input type="checkbox"/> Freshwater Deep Marsh | <input type="checkbox"/> Wet Meadow |
| <input checked="" type="checkbox"/> Freshwater Shallow Marsh | |
| <input type="checkbox"/> Mixed Wooded Swamp | <input type="checkbox"/> Excavated Ditch |
| <input type="checkbox"/> Perennial Stream | <input type="checkbox"/> Excavated Wetland |
| <input type="checkbox"/> Pond/Lake | <input type="checkbox"/> Graded Wetland |
| <input type="checkbox"/> Potential Vernal Pool | <input type="checkbox"/> Wetland Detention Basin |
| <input type="checkbox"/> River | <input type="checkbox"/> Wetland w/ Spoil Piles |
| <input type="checkbox"/> Salt Marsh | |



View looking west into wetland with Watson Road in the background.



View looking west into wetland with Watson Road beyond the wetland.



Looking south into larger portion of the wetland with Watson Road in background.

PLANT SPECIES

Trees

Red Maples

Gray Birch

Saplings

Red Maples

Gray Birch

Shrubs

Highbush Blueberry

Winterberry

Bittersweet (vine)

Herbaceous

Cinnamon Fern

Cattails

•

GROUNDWATER RECHARGE/DISCHARGE

- Restrictive layer
- Gravel or sands
- Till
- Marine/Lacustrine

- Function Present: Yes No
- Groundwater discharge: Seep/Spring
 - Variable water levels
 - Constant water levels

FLOODFLOW ALTERATION

- H M L Watershed position
- Topo of wetland
- L M S Size relative to watershed
- Other storage in watershed present

- Function Present: Yes No
- Flat slopes.
- Constricted outlet
 - Associated with water course

SEDIMENT/TOXICANT/PATHOGEN RETENTION

- Sediment/toxicants sources present upslope
- Flat wetland topo
- Organic fine soils
- Flood storage occurs
- Broad transition
- Ditching

- Function Present: Yes No
- Associated w/ surface water
 - Erosion or sedimentation
 - Diffuse flows
 - Vegetation interspersed
 - Dense herbaceous

NUTRIENT REMOVAL/RETENTION/TRANSFORMATION

- Hydrologic regime
- Open water
- Sediment trapping
- Nutrients upslope

- Function Present: Yes No
- Aquatic diversity abundance
 - Slow moving water
 - Organic soils

PRODUCTION EXPORT

- Wildlife food sources
- Detritus
- Wildlife use
- H M L Vegetation Density
- H M L Interspersion

- Function Present: Yes No
- H M L Diversity
 - Aquatic plants
 - Permanent outlet
 - Signs of Export

SEDIMENT/SHORELINE STABILIZATION

- Association w/ surface water: Yes No
- Topo gradient
- Bank or shoreline
- Vegetated bank

- Function Present: Yes No
- High flows
 - Channelized flow
 - Open water fetch

WILDLIFE HABITAT

- Degradation Type: Adjacent to Watson Road, and runoff from road.
- Upland buffer Width: Directly adjacent Watson Road, so buffer is zero. Also directly adjacent Rte 101.

- Function Present: Yes No
- Type of buffer: Other than Watson Road and Rte 101, has a forested buffer.
- Wetland connections
 - Corridor
 - Islands
 - Loafing logs
 - Aquatic habitat
 - Cavity trees
 - Rock crevices
 - Fish habitat

Vernal pool species identified.



View of Watson Road proximity to the wetland.

The grading impact for a fill slope is 40 feet away. This is a large wetland that exhibits all of the wetland functions. However, the buffer impact is located adjacent a wetland finger of this larger wetland, that has already been impacted by runoff from Watson Road. The grading impact will not detrimentally affect the ground water recharge/discharge function, as this is a large wetland and the grading is minimally to the edges of the overall complex. Similarly sediment and nutrient retention will not be impacted, again because this is a large wetland, and the buffer impacts are to a wetland finger that already receives sediment and nutrients from Watson Road, and there is no additional water being directed into the wetland. Wildlife habitat potentially could be impacted, though not significantly, as the buffer impact is at a significant distant away from the main wetland area, and limited to just the wetland finger, with the remaining areas around the wetland not being proposed for grading or filling.

There are no mitigating measures here with the exception of maintaining the forested buffer to the larger wetland area. As can be seen in the photo above, Watson Road runs along a large portion of this wetland and does contribute sediment and nutrients to the wetland.

In conclusion, I believe buffer impacts # 3/5 are not detrimental to the value and function of the wetland and proposed use will, to the extent feasible, minimize the impact on the wetland buffer.



WETLAND FUNCTIONAL ANALYSIS

GES PROJECT NO.: 2019104 DATE: 1-11-2021 STAFF: James Gove

WETLAND ID: Near buffer impact 4

SIZE: small PHOTOS: Yes

DOMINANT CLASSIFICATION: PEMx

NUMBER OF VEGETATIVE CLASSES: 1

WETLAND TYPE

- | | |
|---|--|
| <input type="checkbox"/> Bog | <input type="checkbox"/> Sand Dune |
| <input type="checkbox"/> Deciduous Wooded Swamp | <input type="checkbox"/> Scrub-Shrub Swamp |
| <input type="checkbox"/> Drainage Swale | <input type="checkbox"/> Seasonal Stream |
| <input type="checkbox"/> Evergreen Wooded Swamp | <input type="checkbox"/> Tidal Marsh |
| <input type="checkbox"/> Freshwater Deep Marsh | <input type="checkbox"/> Wet Meadow |
| <input type="checkbox"/> Freshwater Shallow Marsh | |
| <input type="checkbox"/> Mixed Wooded Swamp | <hr/> |
| <input type="checkbox"/> Perennial Stream | <input type="checkbox"/> Excavated Ditch |
| <input type="checkbox"/> Pond/Lake | <input checked="" type="checkbox"/> Excavated Wetland |
| <input type="checkbox"/> Potential Vernal Pool | <input type="checkbox"/> Graded Wetland |
| <input type="checkbox"/> River | <input type="checkbox"/> Wetland Detention Basin |
| <input type="checkbox"/> Salt Marsh | <input checked="" type="checkbox"/> Wetland w/ Spoil Piles |



View looking south into wetland.



View looking west into wetland.

PLANT SPECIES

Trees

Saplings

Shrubs

Highbush Blueberry

Winterberry

(on the edges)

Herbaceous

Cinnamon Fern

Poison Ivy

Raspberry

.

GROUNDWATER RECHARGE/DISCHARGE

- Restrictive layer
- Gravel or sands
- Till
- Marine/Lacustrine

- Function Present:* Yes No
- Groundwater discharge: Seep/Spring
 - Variable water levels
 - Constant water levels

FLOODFLOW ALTERATION

- H M L Watershed position
- Topo of wetland
- L M S Size relative to watershed
- Other storage in watershed present

- Function Present:* Yes No
- Slopes in watershed:
- Constricted outlet
 - Associated with water course

SEDIMENT/TOXICANT/PATHOGEN RETENTION

- Sediment/toxicants sources present upslope
- Flat wetland topo
- Organic fine soils
- Flood storage occurs
- Broad transition
- Ditching

- Function Present:* Yes No
- Associated w/ surface water
 - Erosion or sedimentation
 - Diffuse flows
 - Vegetation interspersion
 - Dense herbaceous

NUTRIENT REMOVAL/RETENTION/TRANSFORMATION

Hydrologic regime

- Open water
- Sediment trapping
- Nutrients upslope

- Function Present:* Yes No
- Aquatic diversity abundance
 - Slow moving water
 - Organic soils

PRODUCTION EXPORT

- Wildlife food sources
- Detritus
- Wildlife use
- H M L Vegetation Density
- H M L Interspersion

- Function Present:* Yes No
- H M L Diversity
 - Aquatic plants
 - Permanent outlet
 - Signs of Export

SEDIMENT/SHORELINE STABILIZATION

- Association w/ surface water: Yes No
- Topo gradient
 - Bank or shoreline
 - Vegetated bank

- Function Present:* Yes No
- High flows
 - Channelized flow
 - Open water fetch

WILDLIFE HABITAT

- Degradation Type: Excavated wetland, with wood debris dumped.
- Upland buffer Width: Exeter buffer intact.
Type of buffer: A forested buffer.
- Wetland connections
- Corridor
- Islands
- Loafing logs

- Function Present:* Yes No
- Aquatic habitat
 - Cavity trees
 - Rock crevices
 - Fish habitat

Buffer impact # 4 is 46 feet away from an excavated wetland area that has received woody spoils from logging activities. This wetland has virtually no functions or values. Therefore, any impact to the buffer of this wetland will have no impact to its functional value.

In conclusion, I believe buffer impact #4 is not detrimental to the value and function of the wetland and proposed use will, to the extent feasible, minimize the impact on the wetland buffer.

**TOWN OF EXETER
CONSERVATION COMMISSION MEMORANDUM**

Date: June 9, 2021
To: Planning Board
From: Andrew Koff, Chair, Exeter Conservation Commission
Subject: Wetland CUP Review for Open Space Development (Carlisle)

Project Information:

Project Location: 19 Watson Road
Map/Lot: Tax Map 33-26
CC Review Date: 6/8/21 Site Walk and Conditional Use Permit Review
PB CASE: #33-26

At their June 8th meeting the Conservation Commission reviewed the wetland conditional use permit for the above project, dated December 21, 2020 and submitted by Jones & Beach Engineers, Inc (JBE). Barry Gier, from JBE presented on the project, but Jim Gove of Gove Environmental Services was not present to discuss the wetland delineation and wetland functions/values assessment. The Commission commended the applicant's effort in designing a plan that avoids wetland impacts and minimizes the scope of the development given the large size of the parcel. At the same time, the Commission felt the application before them did not meet conditional use permit condition 2 (avoidance), 4 (minimization) and required additional information related to criteria 3 (impact evaluation). The following questions or concerns were discussed by the commission:

- We had concerns about the cumulative impacts to the wetland buffers from the development as whole, not just the road construction. Particularly, based on the proposed layout of the subdivided parcels, there is potential for wetland buffer impacts in lots 2, 3, and 8.
- We expressed concerns related to redirecting runoff into the drainage system has potential to cause an impact to the seasonal recharge of the vernal pools.
- We expressed difficulty tracking between the site plans and the impact areas identified in Gove Environmental's wetland assessment memo. We also questioned if the review considered impact on species of concern such as Blanding's turtles given the adjacent prime wetland and presence of sandy soils.
- There was a question about the location of the rock outcrop visible during the site walk, where that was located in relation to the development, and whether blasting would be required.
- As mentioned at the site walk, we would prefer to see an alternate proposal that excludes the vernal pool from lots 2 and 3 and including it in the common/conserved land.

Based on the discussion, the Commission did not approve the wetland CUP as presented and requested that the applicant return with a revised site plan addressing those concerns noted above, a natural resource plan in accordance with Site Plan Review and Subdivision Regulations 7.12 and 9.8.1 to evaluate the potential impacts to wildlife discussed above. We also recommended that the wetland scientist be present for questions during the next meeting.



Andrew Koff
Chair, Exeter Conservation Commission

cc: Barry Gier, Jones & Beach
Jim Gove, GES Inc.



CELEBRATING OVER 85 YEARS OF SERVICE TO OUR CLIENTS

LIZABETH M. MACDONALD
JOHN J. RATIGAN
DENISE A. POULOS
ROBERT M. DEROSIER
CHRISTOPHER L. BOLDT
SHARON CUDDY SOMERS
DOUGLAS M. MANSFIELD
KATHERINE B. MILLER
CHRISTOPHER T. HILSON
HEIDI J. BARRETT-KITCHEN
JUSTIN L. PASAY
ERIC A. MAHER
CHRISTOPHER D. HAWKINS
BRENDAN A. O'DONNELL
ELAINA L. HOEPPNER
WILLIAM K. WARREN

3 September 2021

Andrew Koff, Chair
Exeter Conservation Commission
10 Front Street
Exeter, NH 03833

RETIRED
MICHAEL J. DONAHUE
CHARLES F. TUCKER
ROBERT D. CIANDELLA
NICHOLAS R. AESCHLIMAN

Re: Conservation Deed, Town Tax Map 81, Lot 53

Dear Chair Koff and Commission Members:

As you know, this office represents Adela Griset and Brian Griset, and the Mendez Revocable Real Estate Trust (the "Applicants") relative to their approved Single Family Open Space Condominium Development on property located off Tamarind Lane, which is further identified as Town Tax Map 96, Lot 15.

The Conservation Commission conducted three separate public hearings during the local permitting process which included the Applicants' request for Wetlands and Shoreland Conditional Use Permits. Ultimately, the Conservation Commission unanimously recommended approval of these Conditional Use Permit Applications to the Planning Board. More recently, the Applicants appeared before the Commission with regard to their State Dredge & Fill Permit Application.

On 29 July 2021, the Applicants received conditional approval of all of their applications (Planning Board Case #20-2) to include a Lot Consolidation, Subdivision, Lot Line Adjustment, Site Plan Review and the aforementioned Conditional Use Permits (the "Approval"). Condition 13 of the Approval requires the Applicants to deed the proposed open space, identified as Town Tax Map 81, Lot 53 (the "Conservation Property"), to the Town and requires further that the language in the deed to same be approved by the Town. A copy of the

DONAHUE, TUCKER & CIANDELLA, PLLC
16 Acadia Lane, P.O. Box 630, Exeter, NH 03833
111 Maplewood Avenue, Suite D, Portsmouth, NH 03801
Towle House, Unit 2, 164 NH Route 25, Meredith, NH 03253
83 Clinton Street, Concord, NH 03301

Andrew Koff, Chair
Exeter Conservation Commission
3 September 2021
Page 2

approved Site Plan is enclosed herewith for the Conservation Commission's convenience. See Enclosure 1.

The Applicants also enclose for your review a draft Warranty Deed for the Conservation Property (the "Deed"). See Enclosure 2. The Deed is reflective of comments obtained from this Commission during the Applicants' several appearances, comments from the Planning Board at the 29 July 2021 public hearing and is also reflective of comments received by the Applicant from Kristen Murphy, the Town's Natural Resource Planner.

Applicants respectfully request to be placed on the Commission's agenda for its 14 September 2021 meeting to discuss the draft Deed in furtherance of their requirements pursuant to Condition 13 of the Approval. In the meantime, if you have any questions or need further information do not hesitate to contact me.

Very truly yours,
DONAHUE, TUCKER & CIANDELLA, PLLC



Justin L. Pasay
JLP/sac/jh
Enclosures

cc: Adela Grisct and Brian Grisct
Beals Associates

Enclosure
No. 1

- Legend:**
- C1 See Length Table
 - FHZ AE Flood Hazard Zone AE
 - L1 See Length Table
 - RCRD Rockingham County Registry of Deeds
 - Iron Pipe Found
 - Iron Rod Found
 - Iron Rod to be Set
 - Utility Pole
 - Building Setback
 - Wetlands Buffer
 - Prime Wetland Boundary
 - Wetland Boundary
 - Approx. Drain Pipes
 - Approx. Sewer Main
 - Approx. Water Main
 - Flood Hazard Boundary
 - Shoreland Protection Zone

Length Table:

LINE	BEARING	DISTANCE
L1	S24°08'07"E	22.57'
L2	N57°12'17"E	34.54'
L3	S66°19'10"W	57.85'
L4	N35°33'47"E	6.54'
L5	S32°09'45"W	14.27'
L6	N04°20'00"E	53.67'
L7	N84°09'18"E	10.00'
L8	N71°39'39"E	50.00'
L9	N57°12'17"E	34.54'
L10	S40°31'20"E	35.48'

Length Table:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	150.00'	75.00'	114°35'33"	N85°40'33"W	126.22'
C2	19.87'	75.00'	15°10'48"	S38°26'17"W	18.81'
C3	26.18'	25.00'	60°00'00"	S50°50'33"W	25.00'
C4	109.84'	723.23'	8°42'07"	N14°21'03"W	109.24'
C5	198.94'	1355.40'	3°23'49"	N17°05'03"W	198.81'

MIN. LOT WIDTH TABLE
 LOT 96-15-17 CULLEN WAY LOT WIDTH = 154.63'
 LOT 96-15 TAMARIND LANE LOT WIDTH = 150.18'

MIN. DIMENSIONAL REQUIREMENTS
 MIN. LOT AREA 40,000 SF.
 MIN. LOT FRONTAGE 150 FT.
 MIN. LOT WIDTH 150 FT.

BUILDING SETBACKS:
 FRONT YARD 25 FT.
 SIDE YARD 15 FT.
 REAR YARD 25 FT.
 MIN. BUILDING SEPARATION 25 FT.

WETLAND SETBACKS/BUFFER:
 STRUCTURES 75 FT.
 SEPTICS & PARKING 75 FT.
 BUFFER/STAND-OFF DISTANCE 40 FT.
 PRIME WETLANDS 100 FT.
 SHORELAND PROTECTION 150 FT.

- WETLAND SCIENTIST CERTIFICATION**
- US Army Corps of Engineers Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northeast and Northcentral Region, Technical Report ERDC/EL TR-09-19 (Oct 2009).
 - Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 2.0, United States Department of Agriculture (2010).
 - North American Digital Flora: National Wetland Plant List, Version 2.2.1 (2009).
 - Classification of Wetlands and Deepwater Habitats of the United States, USFWS Manual FWS/OBS-75/01 (1975).

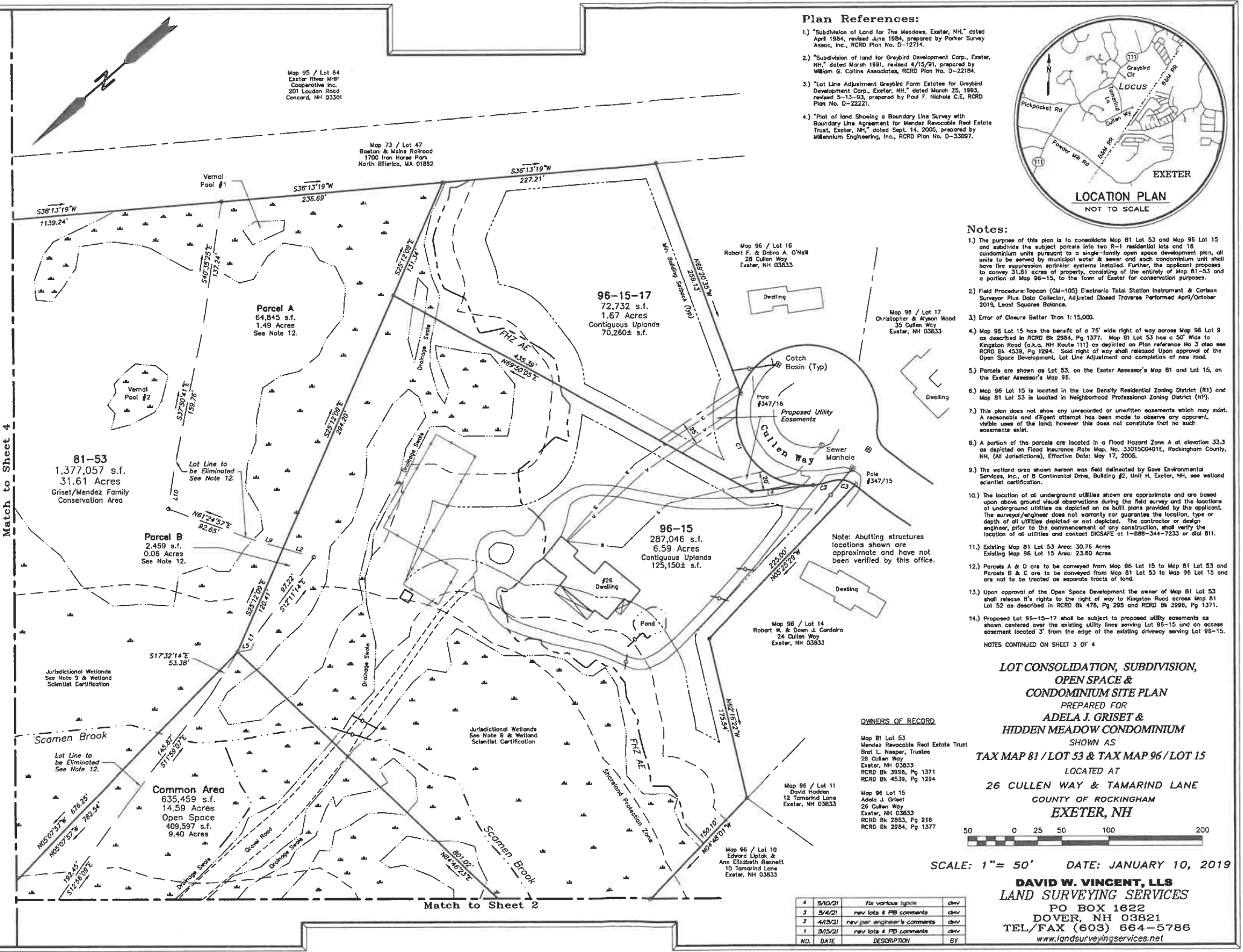
APPROVED
 APPROVED BY THE TOWN OF EXETER PLANNING BOARD

DATE _____

CHAIRMAN: _____

The subdivision regulations of the Town of Exeter, New Hampshire, are part of this plan and approval of this plan is contingent upon compliance with said regulations of said subdivision regulations, excepting only any waivers/variances or modifications made in writing by the Board and attached hereto.

DWG NAME: 007sub FB: 56/11-18



- Plan References:**
- "Subdivision of Land for The Meadows, Exeter, NH," dated April 1984, revised June 1984, prepared by Parker Survey Assoc. Inc., RCRD Plan No. D-12714.
 - "Subdivision of land for Greybird Development Corp., Exeter, NH," dated March 1991, revised 4/15/91, prepared by William G. Collins Associates, RCRD Plan No. D-22184.
 - "Lot Line Adjustment Greybird Farm Estates for Greybird Development Corp., Exeter, NH," dated March 25, 1993, revised 5-13-93, prepared by Paul F. Nichols C.E., RCRD Plan No. D-22221.
 - "Plot of land Showing a Boundary Line Survey with Boundary Line Agreement for Manvez Revocable Real Estate Trust, Exeter, NH," dated Sept. 14, 2005, prepared by Millenium Engineering, Inc., RCRD Plan No. D-33097.



- Notes:**
- The purpose of this plan is to consolidate Map 81 Lot 53 and Map 96 Lot 15 and subdivide the subject parcels into two R-1 residential lots and 18 condominium units pursuant to a single-family open space development plan, all units to be served by municipal water & sewer and each condominium unit shall have fire suppression sprinkler systems installed. Further, the applicant proposes to survey 31.61 acres of property, consisting of the entirety of Map 81 and a portion of Map 96-15, to the Town of Exeter for conservation purposes.
 - Field Procedure: Topcon (GM-105) Electronic Total Station Instrument & Carlson Surveyor Plus Data Collector, Adjusted Closed Traverse Performed April/October 2019, Least Squares Balance.
 - Error of Closure Better Than 1:15,000.
 - Map 96 Lot 15 has the benefit of a 75' wide right of way across Map 96 Lot 9 as described in RCRD Bk 2984, Pg 1377. Map 81 Lot 53 has a 50' wide to Kingston Road (i.e., NH Route 111) as depicted on Plan reference No. 3 also see RCRD Bk 4539, Pg 1204. Said right of way shall be released upon approval of the Open Space Development, Lot Line Adjustment and completion of new road.
 - Parcels are shown as Lot 53, on the Exeter Assessor's Map 81 and Lot 15, on the Exeter Assessor's Map 96.
 - Map 96 Lot 15 is located in the Low Density Residential Zoning District (R1) and Map 81 Lot 53 is located in Neighborhood Professional Zoning District (NP).
 - This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land, however this does not constitute that no such easements exist.
 - A portion of the parcels are located in a Flood Hazard Zone A at elevation 33.3 as depicted on Flood Insurance Rate Map, No. 330100401E, Rockingham County, NH, (All Jurisdictions), Effective Date: May 17, 2005.
 - The wetland area shown herein was field delineated by Gove Environmental Services, Inc., of 8 Continental Drive, Building #2, Unit H, Exeter, NH, see wetland scientist certification.
 - The location of all underground utilities shown are approximate and are based upon above ground visual observations during the field survey and the location of underground utilities as depicted on as built plans provided by the applicant. The surveyor/engineer does not warrant or guarantee the location, type or depth of all utilities depicted or not depicted. The contractor or design engineer, prior to the commencement of any construction, shall verify the location of all utilities and contact DCSAFE at 1-888-344-7233 or dial 811.
 - Existing Map 81 Lot 53 Area: 30.75 Acres
Existing Map 96 Lot 15 Area: 23.60 Acres
 - Parcels A & D are to be conveyed from Map 96 Lot 15 to Map 81 Lot 53 and Parcels B & C are to be conveyed from Map 81 Lot 53 to Map 96 Lot 15 and are not to be treated as separate tracts of land.
 - Upon approval of the Open Space Development the owner of Map 81 Lot 53 shall release 1/3 rights to the right of way to Kingston Road across Map 81 Lot 52 as described in RCRD Bk 478, Pg 295 and RCRD Bk 3996, Pg 1371.
 - Proposed Lot 96-15-17 shall be subject to proposed utility easements as shown centered over the existing utility lines serving Lot 96-15 and an access easement located 3' from the edge of the existing driveway serving Lot 96-15.
- NOTES CONTINUED ON SHEET 3 OF 4

**LOT CONSOLIDATION, SUBDIVISION,
 OPEN SPACE &
 CONDOMINIUM SITE PLAN**
 PREPARED FOR
**ADELA J. GRISET &
 HIDDEN MEADOW CONDOMINIUM**
 SHOWN AS
TAX MAP 81 / LOT 53 & TAX MAP 96 / LOT 15
 LOCATED AT
26 CULLEN WAY & TAMARIND LANE
 COUNTY OF ROCKINGHAM
EXETER, NH

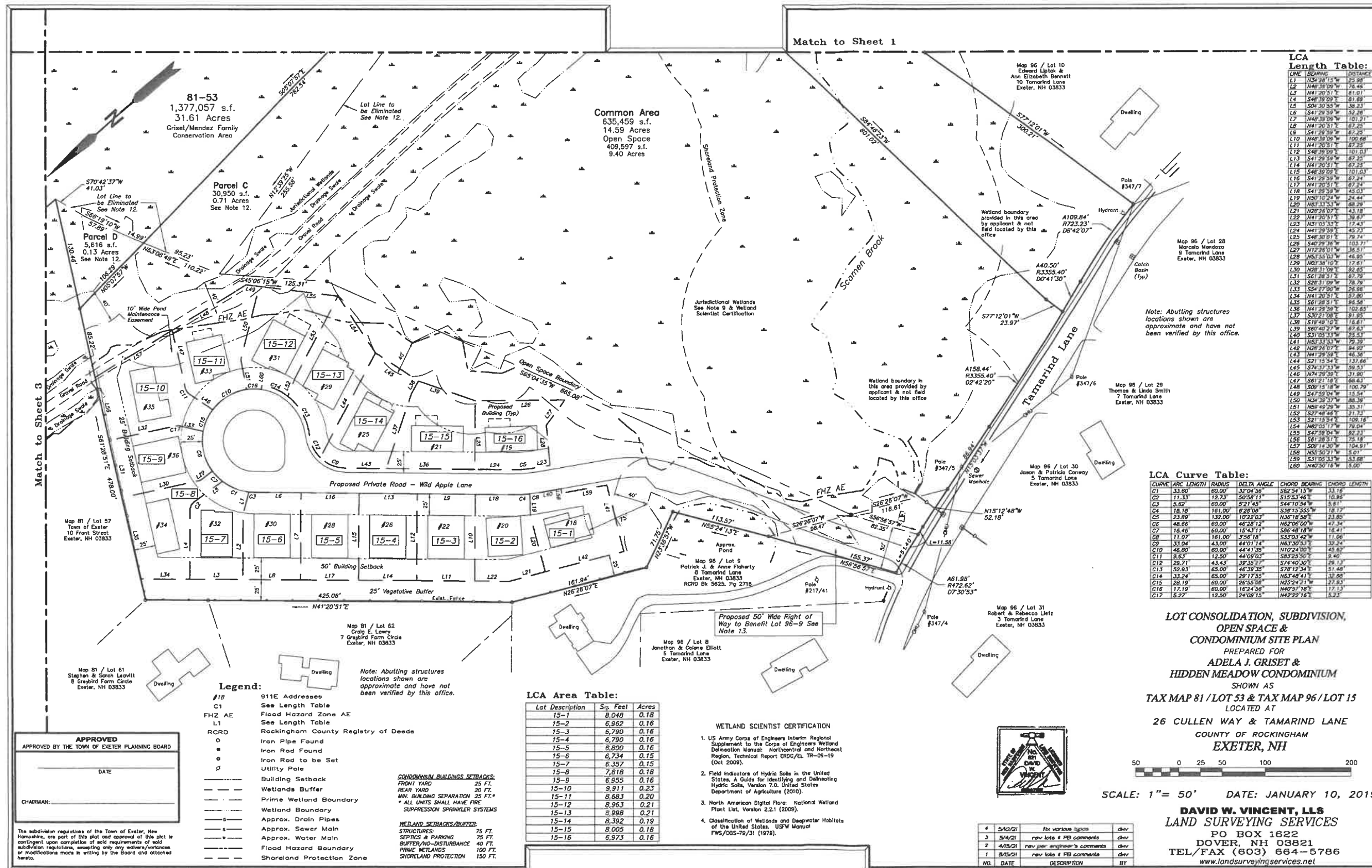


SCALE: 1" = 50' DATE: JANUARY 10, 2019

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
 PO BOX 1622
 DOVER, NH 03821
 TEL/FAX (603) 664-5786
 www.landsurveyingservices.net

OWNERS OF RECORD

NO.	DATE	DESCRIPTION	BY
4	5/20/01	for various signs	dvw
3	3/4/01	rev lots & FB comments	dvw
2	4/18/01	rev plan engineer's comments	dvw
1	3/25/01	rev lots & FB comments	dvw



LCA Length Table:

LINE	BEARING	DISTANCE
L1	N25°28'13"W	25.80'
L2	N45°30'09"W	28.46'
L3	N41°20'51"E	81.01'
L4	S46°38'09"E	81.89'
L5	S24°30'55"W	38.23'
L6	S41°29'58"W	52.20'
L7	N46°18'09"W	101.21'
L8	N41°20'51"E	87.25'
L9	S41°29'58"W	87.25'
L10	N46°18'09"W	100.68'
L11	N41°20'51"E	87.25'
L12	S46°38'09"E	101.03'
L13	S41°29'58"W	87.25'
L14	N41°20'51"E	87.25'
L15	S46°38'09"E	101.03'
L16	S41°29'58"W	87.25'
L17	N41°20'51"E	87.25'
L18	N41°20'51"E	45.03'
L19	N50°12'24"W	24.44'
L20	N41°20'51"E	88.29'
L21	N20°26'07"E	43.18'
L22	N41°20'51"E	38.83'
L23	N51°03'13"E	17.43'
L24	N41°29'58"E	45.73'
L25	S46°38'09"E	79.74'
L26	S42°30'55"W	103.71'
L27	N12°28'01"W	36.51'
L28	N51°03'13"E	46.95'
L29	N41°20'51"E	101.65'
L30	N41°20'51"E	87.25'
L31	S61°28'51"E	87.25'
L32	S28°31'09"W	78.29'
L33	S54°22'59"W	28.38'
L34	N41°20'51"E	57.80'
L35	S61°28'51"E	88.58'
L36	N41°20'51"E	101.65'
L37	S30°21'08"E	81.95'
L38	S18°49'10"E	16.67'
L39	S65°40'27"W	85.83'
L40	S31°03'13"E	33.53'
L41	N63°31'53"W	79.39'
L42	N26°26'07"E	84.99'
L43	N41°20'51"E	48.56'
L44	S21°15'54"E	137.86'
L45	S74°37'33"W	59.53'
L46	N41°20'51"E	37.80'
L47	S61°21'18"E	68.43'
L48	S00°18'18"W	100.79'
L49	S47°59'04"W	115.54'
L50	N46°29'58"W	88.39'
L51	N58°48'29"W	35.31'
L52	S27°48'48"E	27.73'
L53	S11°12'54"E	108.18'
L54	N62°05'17"W	79.04'
L55	S47°59'04"W	92.23'
L56	S61°28'51"E	75.18'
L57	S00°18'18"W	104.91'
L58	N55°50'21"W	5.01'
L59	S31°03'13"E	53.68'
L60	N42°59'14"W	5.00'

LCA Curve Table:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	33.60	60.00	32°04'56"	S62°34'15"W	33.18
C2	11.33	12.73	50°58'11"	S15°53'46"E	10.96
C3	5.87	60.00	5°21'45"	S44°54'54"W	5.81
C4	18.18	161.00	6°27'08"	S38°15'55"W	18.17
C5	23.89	132.00	10°22'03"	N36°16'58"E	23.85
C6	46.66	60.00	48°28'12"	N62°06'00"W	47.34
C7	16.46	60.00	15°41'17"	S64°48'14"W	16.41
C8	11.07	161.00	3°56'18"	S33°03'42"W	11.06
C9	33.04	43.00	44°01'14"	N63°30'51"E	32.24
C10	46.80	60.00	44°11'58"	N102°04'00"E	43.63
C11	9.63	12.50	44°09'03"	S83°25'50"E	9.40
C12	29.71	43.43	39°35'37"	S74°40'30"E	26.13
C13	50.83	65.00	46°59'38"	S72°12'18"E	51.46
C14	33.24	65.00	29°17'55"	N45°48'41"E	33.68
C15	28.19	60.00	26°55'08"	N25°24'21"W	27.93
C16	17.19	60.00	16°24'56"	N49°37'16"E	17.13
C17	5.27	12.50	24°09'15"	N62°22'16"E	5.27

LCA Area Table:

Lot Description	Sq. Feet	Acres
15-1	8,048	0.18
15-2	6,962	0.16
15-3	6,790	0.16
15-4	6,790	0.16
15-5	6,800	0.16
15-6	6,734	0.15
15-7	6,357	0.15
15-8	7,618	0.18
15-9	6,955	0.16
15-10	9,911	0.23
15-11	6,683	0.20
15-12	8,963	0.21
15-13	8,988	0.21
15-14	8,392	0.19
15-15	8,005	0.18
15-16	6,973	0.16

WETLAND SCIENTIST CERTIFICATION

- US Army Corps of Engineers Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northeast and Northcentral Region, Technical Report ERDC/EL TR-09-19 (Oct. 2008).
- Field indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 7.0, United States Department of Agriculture (2010).
- North American Digital Flora: National Wetland Plant List, Version 2.2.1 (2009).
- Classification of Wetlands and Deepwater Habitats of the United States, USFWS Manual FWS/OBS-79/31 (1979).



**LOT CONSOLIDATION, SUBDIVISION,
OPEN SPACE &
CONDOMINIUM SITE PLAN**
PREPARED FOR
**ADELA J. GRISET &
HIDDEN MEADOW CONDOMINIUM**
SHOWN AS
TAX MAP 81 / LOT 53 & TAX MAP 96 / LOT 15
LOCATED AT
26 CULLEN WAY & TAMARIND LANE
COUNTY OF ROCKINGHAM
EXETER, NH

SCALE: 1" = 50' DATE: JANUARY 10, 2019

DAVID W. VINCENT, L.L.S.
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
TEL/FAX (603) 664-5786
www.landsurveyingservices.net

NO.	DATE	DESCRIPTION	BY
4	5/02/21	file various permits	dvw
3	5/04/21	rev. lots & P&B comments	dvw
2	4/28/21	rev. plan engineer's comments	dvw
1	3/25/21	rev. lots & P&B comments	dvw

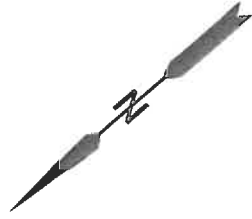
APPROVED
APPROVED BY THE TOWN OF EXETER PLANNING BOARD

DATE: _____

CHAIRMAN: _____

- Legend:**
- #18 911E Addresses
 - C1 See Length Table
 - FHZ AE Flood Hazard Zone AE
 - L1 See Length Table
 - RCRD Rockingham County Registry of Deeds
 - o Iron Pipe Found
 - o Iron Rod Found
 - o Iron Rod to be Set
 - o Utility Pole
 - Building Setback
 - Wetlands Buffer
 - Prime Wetland Boundary
 - Wetland Boundary
 - Approx. Drain Pipes
 - Approx. Sewer Main
 - Approx. Water Main
 - Flood Hazard Boundary
 - Shoreland Protection Zone
- CONDOMINIUM BUILDINGS SETBACKS:**
FRONT YARD 25 FT.
REAR YARD 30 FT.
MIN. BUILDING SEPARATION 25 FT.*
* ALL UNITS SHALL HAVE FIRE SUPPRESSION SPRINKLER SYSTEMS
- WETLAND SETBACKS/BUFFER:**
STRUCTURES: 75 FT.
SEPTICS & PARKING: 75 FT.
BUFFER/NO-DISTURBANCE: 40 FT.
PRIME WETLANDS: 100 FT.
SHORELAND PROTECTION: 150 FT.

- Legend:**
- C1 See Length Table
 - FHZ AE Flood Hazard Zone AE
 - L1 See Length Table
 - RCRD Rockingham County Registry of Deeds
 - Iron Pipe Found
 - Iron Rod Found
 - ⊕ Utility Pole
 - Building Setback
 - - - Wetlands Buffer
 - - - Prime Wetland Boundary
 - - - Wetland Boundary
 - - - Approx. Drain Pipes
 - - - Approx. Sewer Main
 - - - Approx. Water Main
 - - - Flood Hazard Boundary
 - - - Shoreland Protection Zone



Notes Continued:

- 15.) Lots 98-15 & 98-15-17 cannot be subdivided further.
- 16.) Prime Wetland Overlay shown hereon are per Town of Exeter GIS - Volar Approved 2007 Per Nov. 2005 Wetlands Report on record 4 May 2021.
- 17.) On January 21, 2020 the Town of Exeter Zoning Board of Adjustment granted a Special Exception per Article 4, Section 4.2 Schedule I: Permitted Uses and Article 5, Section 5.2 to permit residential use of a 30.76 acre parcel located within the NP-Neighborhood Professional zoning district for the sole purpose of calculating density for a proposed open space development, see Case #19-18. And a variance from Article 4, Section 4.3 Schedule II: Density and Dimensional Regulations-Residential and Article 7: Open Space Development to permit a single-family open space development in the R-1, Low Density Residential zoning district which draws density from contiguous unimproved property in the NP-Neighborhood Professional zoning district, see Case #19-19.
- 18.) Each unit has a minimum of two indoor and 2 outdoor parking spaces.
- 19.) There are 27 available on-street parking spaces.

- WETLAND SETBACKS/BUFFER:**
- STRUCTURES: 75 FT.
 - SEPTICS & PARKING: 75 FT.
 - BUFFER/NO-DISTURBANCE: 40 FT.
 - PRIME WETLANDS: 100 FT.
 - SHORELAND PROTECTION: 150 FT.

WETLAND SCIENTIST CERTIFICATION

1. US Army Corps of Engineers Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northeast and Northwest Region, Technical Report ERDC/EL TR-06-19 (Oct 2009).
2. Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 2.0, United States Department of Agriculture (2010).
3. North American Digital Florac: National Wetland Plant List, Version 2.2.1 (2009).
4. Classification of Wetlands and Deepwater Habitats of the United States, USFWS Manual FWS/OBS-79/31 (1979).

APPROVED

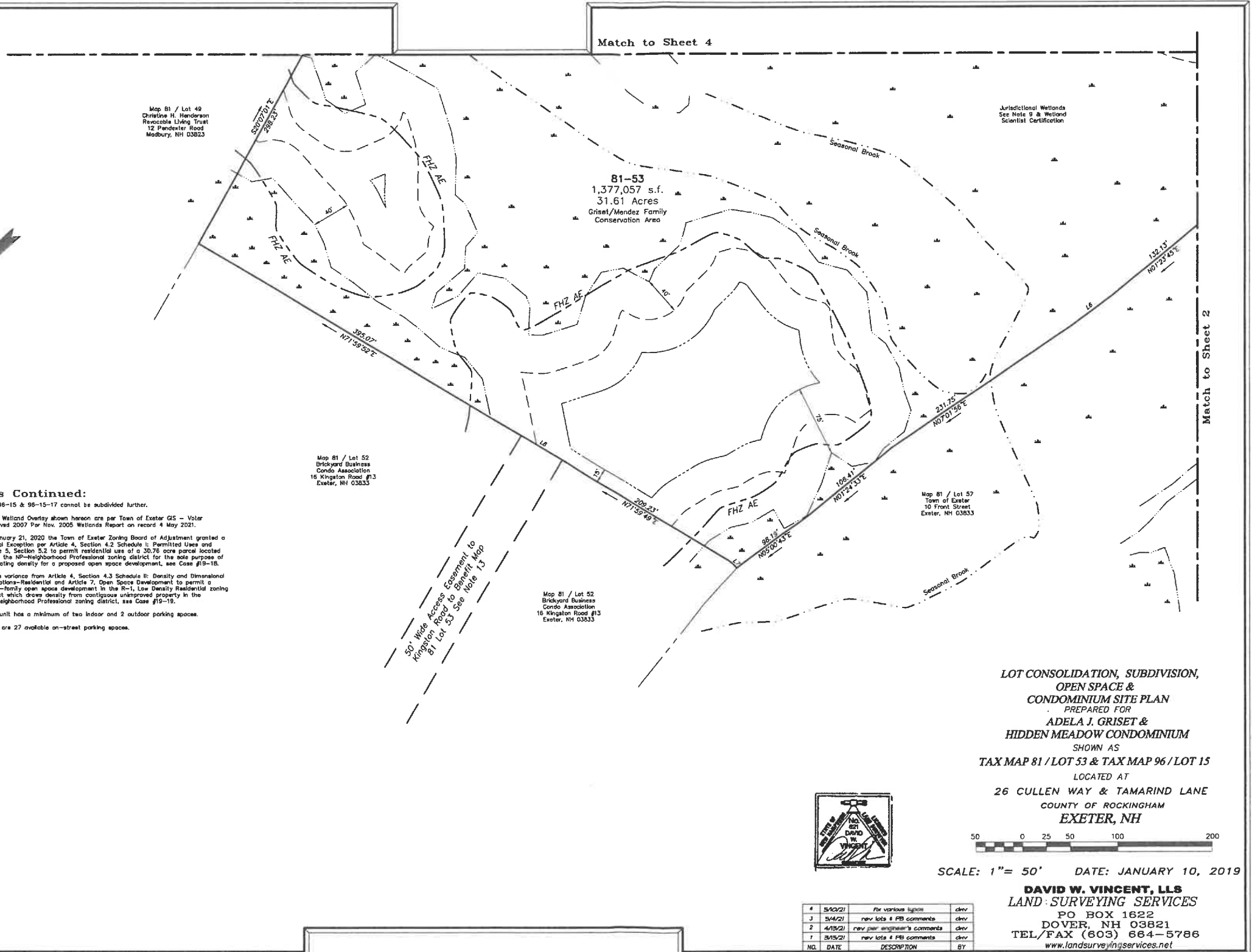
APPROVED BY THE TOWN OF EXETER PLANNING BOARD

DATE _____

CHAIRMAN: _____

The subdivision regulations of the Town of Exeter, New Hampshire, are part of this plot and approval of this plot is contingent upon completion of said requirements of said subdivision regulations, excepting any any waivers/variances or modifications made in writing by the Board and attached hereto.

DWG NAME: 007sub3 FB: 56/11-18



**LOT CONSOLIDATION, SUBDIVISION,
OPEN SPACE &
CONDOMINIUM SITE PLAN**
PREPARED FOR
**ADELA J. GRISET &
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SHOWN AS
TAX MAP 81 / LOT 53 & TAX MAP 96 / LOT 15
LOCATED AT
26 CULLEN WAY & TAMARIND LANE
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EXETER, NH



SCALE: 1" = 50' DATE: JANUARY 10, 2019

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NO.	DATE	DESCRIPTION	BY
4	5/30/21	for various signs	dev
3	5/4/21	rev lots 4 PB comments	dev
2	4/15/21	rev plan engineer's comments	dev
1	3/15/21	rev lots 4 PB comments	dev

**LOT CONSOLIDATION, SUBDIVISION,
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TAX MAP 81 / LOT 53 & TAX MAP 96 / LOT 15
LOCATED AT
26 CULLEN WAY & TAMARIND LANE
COUNTY OF ROCKINGHAM
EXETER, NH

NO.	DATE	DESCRIPTION	BY
4	5/10/21	fix various typos	dhv
3	5/4/21	rev lots & PB comments	dhv
2	4/13/21	rev per engineer's comments	dhv
1	9/15/21	rev lots & PB comments	dhv



SCALE: 1" = 50' DATE: JANUARY 10, 2019

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WETLAND SETBACKS/BUFFER:

STRUCTURES	75 FT.
SEPTICS & PARKING	75 FT.
BUFFER/NO-DISTURBANCE	75 FT.
PRIME WETLANDS	100 FT.
SHORELAND PROTECTION	150 FT.

Legend:

- C1 See Length Table
- FHZ AE Flood Hazard Zone AE
- L1 See Length Table
- RCRD Rockingham County Registry of Deeds
- Iron Pipe Found
- Iron Rod Found
- ⊕ Utility Pole
- Building Setback
- Wetlands Buffer
- Prime Wetland Boundary
- Wetland Boundary
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- US Army Corps of Engineers Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-09-19 (Oct 2009).
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- Classification of Wetlands and Deepwater Habitats of the United States, USFWS Manual FWS/OBS-79/31 (1979).

APPROVED

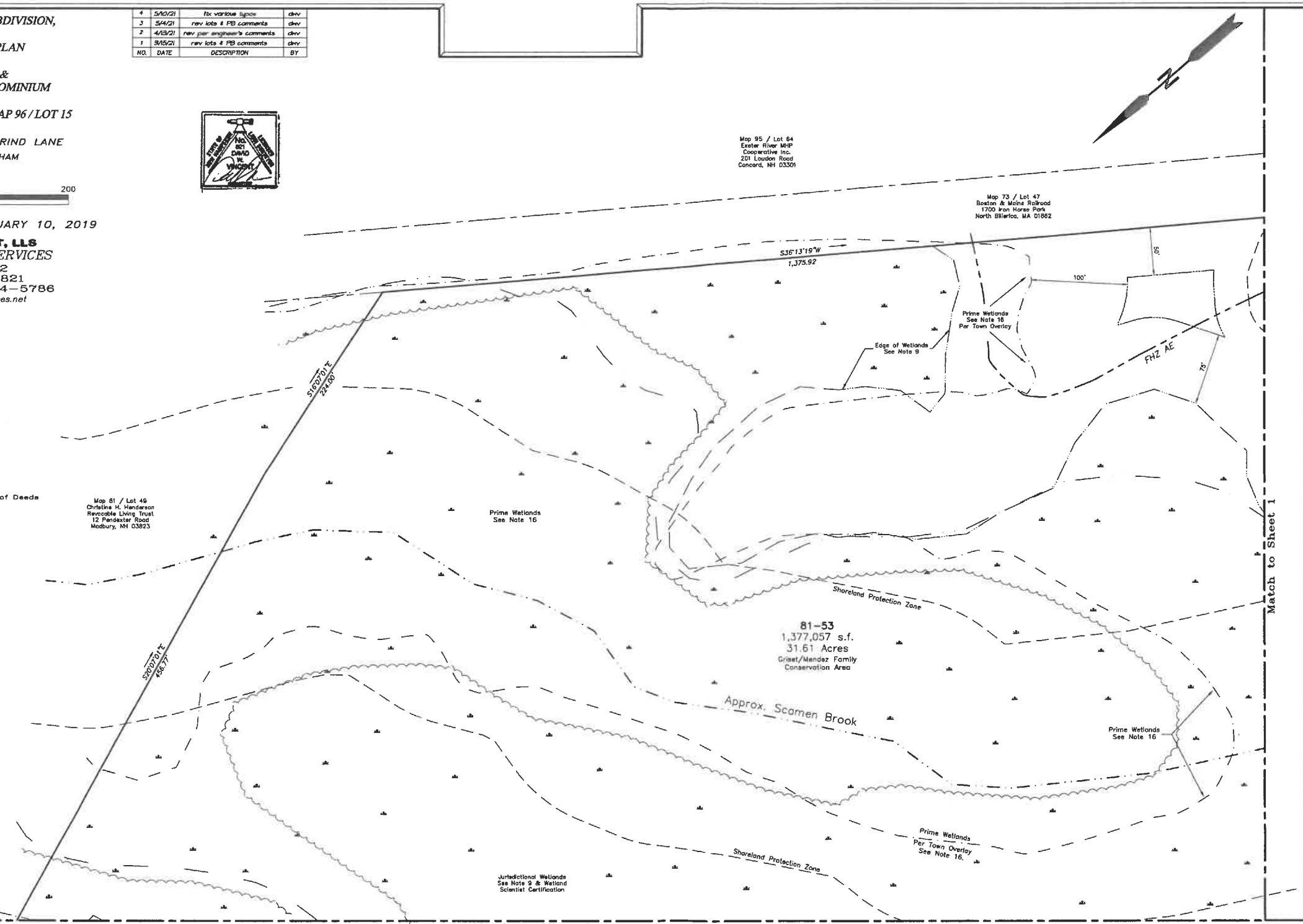
APPROVED BY THE TOWN OF EXETER PLANNING BOARD

DATE

CHAIRMAN:

The subdivision regulations of the Town of Exeter, New Hampshire, are part of this plot and approval of this plot is contingent upon completion of said requirements of said subdivision regulations, excepting only any waivers/variances or modifications made in writing by the Board and attached hereto.

DWG NAME: 007sub4 FBI: 58/11-18



Match to Sheet 3

Match to Sheet 1

Enclosure
No. 2

THIS IS A TRANSFER TO THE TOWN OF EXETER, NH AND IS THEREFORE EXEMPT FROM THE NEW HAMPSHIRE REAL ESTATE TRANSFER TAX PURSUANT TO RSA 78-B:2, I AND FROM THE L-CHIP FEE PURSUANT TO RSA 478:17-g, II (a)

WARRANTY DEED

BRETT L. NEEPER, TRUSTEE OF THE MENDEZ REVOCABLE REAL ESTATE TRUST u/d/t dated March 26, 2003, with an address of 26 Cullen Way, Exeter, County of Rockingham, State of New Hampshire 03833 (hereinafter referred to, collectively, as the "Grantor", which word where the context requires includes the plural and shall, unless the context clearly indicates otherwise, include the Grantor's executors, administrators, legal representatives, devisees, heirs, successors and assigns),

FOR CONSIDERATION PAID, with WARRANTY covenants, grants in perpetuity to the **TOWN OF EXETER**, a municipal corporation duly organized and existing in the County of Rockingham, State of New Hampshire, with a place of business at 10 Front Street, Exeter New Hampshire 03833, with administration by and through the **Exeter Conservation Commission** pursuant to NH RSA 36:A (hereinafter referred to as the "Grantee" which shall, unless the context clearly indicates otherwise, include the Grantee's successors and assigns),

the "Property" being unimproved land shown on a plan of land entitled "Lot Consolidation, Subdivision, Open Space & Condominium Site Plan Prepared for Adela J. Griset & Hidden Meadow Condominium Shown as Tax Map 81 / Lot 53 & Tax Map 96 / Lot 15 Located at 26 Cullen Way & Tamarind Lane, County of Rockingham, Exeter, NH," prepared by David W. Vincent, LLS, Land Surveying Services, dated January 10, 2019, revised through May 10, 2021, , which plan is recorded in the Rockingham County Registry of Deeds as Plan No. D-_____, more particularly bounded and described in **Exhibit "A"** attached hereto and made a part hereof.

1. **PURPOSES**

The Property hereby granted is exclusively for the following conservation purposes:

- A. To assure that the Property will be retained forever in its undeveloped, scenic, and open space condition and to prevent any use of the Property that will significantly impair or interfere with the conservation values of the Property;
- B. To preserve the Property for the passive recreational use of the Grantor, its successors or assigns, and the public; and
- C. To preserve open spaces, particularly the wetland and upland, of which the Property conveyed hereby consists, for the scenic enjoyment of the general public and consistent with New Hampshire RSA Chapter 79-A which states: "It is hereby declared to be in the public interest to encourage the preservation of open space in the state by providing a healthful and attractive outdoor environment for work and recreation of the state's citizens, by maintaining the character of the state's landscape, and by conserving the land, water, forest, and wildlife resources;

all consistent with the Exeter Master Plan which calls for preservation of the character of the Town by preservation of forest land open spaces and protection of water supply sources, the Property being unimproved land situated in the Town of Exeter, County of Rockingham, the State of New Hampshire, more particularly bounded and described as set forth in **Exhibit "A"** attached hereto and made a part hereof.

DESCRIPTION OF ENVIRONMENTAL VALUE

The Property contains a prime wetland with two (2) vernal pools. There are numerous signs of wildlife and signs that the area is used for travel purposes by various mammals, including deer. Rockingham County is the fastest growing county in the State and large tracts of land are being lost to development. The preservation of prime wetlands is of particular importance.

The Property is hereby conveyed with the following restrictions:

2. USE LIMITATIONS

- A. The Property shall be maintained in perpetuity as open space without there being conducted thereon any industrial or commercial activities, except as listed below in Paragraph 2.D. and in Paragraph 3.
- B. No use shall be made of the Property, and no activity shall be permitted thereon which is inconsistent with the intent of this grant, that being the perpetual protection and preservation of the Property
- C. No structure or improvement shall be constructed upon the Property except as listed below in Section K.

- D. No removal, filing, or other disturbances of soil surface, nor any changes in topography surface, or subsurface water systems, wetlands, or natural habitats shall be allowed unless such activities:
- i. Are commonly necessary for the accomplishment of the conservation, habitat management, or non-commercial outdoor recreational uses of the Property specifically reserved in Section 3 hereof.
 - ii. Do not harm state or federally recognized rare, threatened, or endangered species, such determination of harm to be based upon information from the New Hampshire Heritage inventory or the agency then recognized by the State of New Hampshire as having responsibility for the identification and/or conservation of such species.
 - iii. Do not impact wetland vegetation, soils, hydrology or habitat.
 - iv. Are not detrimental to the purposes of this grant.

Prior to commencement of any such activities, all necessary federal, state and local permits and approvals shall be secured.

- E. No outdoor signs shall be displayed on the property except as desirable or necessary in the accomplishment of the conservation and non-commercial outdoor recreational uses of the Property and provided such signs are not detrimental to the purpose of this grant.
- F. There shall be no mining, quarrying, excavation, or removal of rocks, minerals, gravel, sand, topsoil, or other similar materials on the Property except in connections with improvements made pursuant to the provisions of Section K.
- G. There shall be no dumping, injection, burning, or burial of refuse, trash, rubbish, debris, junk, waste, man-made materials, or materials then known to be environmentally hazardous, including vehicle bodies or parts and other similar substances.
- H. There shall be no defacement, movement, removal, or alteration of any stone walls or other monuments or markers that serve as legal boundaries, as per New Hampshire RSA 472:6, or as the legal boundary of the Property as described in Appendix A.
- I. The Property may be used to satisfy the density requirements of the Town of Exeter Zoning Ordinance and Site Review Regulations so as to obtain a ten (10%) density bonus which will provide for one dwelling unit above that which is otherwise allowed.
- J. Pedestrian trails may be created and maintained by Grantee provided that such trails are located at least one hundred (100) feet from the boundary of other property of the Grantor and Map 96, Lot 17. Trails are to be used only for

pedestrian use; no bicycles, motorized vehicles or horses are allowed. The Property shall not be used after sunset or before sunrise.

K. Grantee may construct and maintain two (2) observation points overlooking the area designated by the Town as prime wetlands.

L. No hunting shall occur on the Property.

3. RESERVED RIGHTS AND EASEMENTS

A. Notwithstanding the language contained in Section 2. E., the Grantor expressly reserves the right to have a sign identifying the land as the Griset/Mendez Family Conservation Area on the Property. The sign shall list appropriate uses and building limitations on the property conveyed and it shall be substantially similar in appearance to the existing signage identifying the Morrisette Conservation Area located in Exeter, New Hampshire. Grantor reserves the right to locate the sign appropriately and with input from the Exeter Recreation Department at the entrance of the Brickyard Park. Grantor will pay for the signage and Grantee shall maintain the sign once erected.

4. AFFIRMATIVE OBLIGATIONS

A. To keep the Property open to the public for passive recreational use for the scenic enjoyment of the public. The obligation shall exist in perpetuity.

5. BENEFITS AND BURDENS

The restrictions imposed hereby shall run with the Property and shall be enforceable by all future unit owners of the Hidden Meadow Condominium.

Subject further to the following: The perpetual right of the public to use any trails constructed in accordance with Section J. above.

PURSUANT TO RSA 564-A:7, II, the undersigned trustee as Trustee under the **Mendez Revocable Real Estate Trust**, created under trust agreement dated March 26, 2003, and thereto has full and absolute power in said trust agreement to convey any interest in real estate and improvements thereon held in said trust and no purchaser or third party shall be bound to inquire whether the trustee has said power or is properly exercising said power or to see to the application of any trust asset paid to the Trustee for a conveyance thereof.

The undersigned Trustee, upon oath, deposes and says that the said Trust has not been revoked, modified or amended in any manner that would cause the representations contained in this document to be incorrect.

The Grantee joins in this deed to evidence its acknowledgement and agreement to the foregoing and Grantee assumes and agrees to perform and comply with all of the conditions, covenants, restrictions and reservations and obligations set forth in this instrument.

IN WITNESS WHEREOF, Grantor has hereunto set its hand this _____ day of _____, 2021.

MENDEZ REVOCABLE REAL ESTATE TRUST

By: Brett L. Neeper, Trustee

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM, ss.

This instrument was acknowledged before me on this _____ day of _____, 2021 by Brett L. Neeper, Trustee of the Mendez Revocable Real Estate Trust.

Notary Public

ACCEPTED this _____ day of _____, 2021:

TOWN OF EXETER
BY ITS SELECT BOARD

Niko Papakonstantis, Chair

Molly Cowan, Vice-Chair

Julie D. Gilman, Clerk

Daryl Browne

Lovey Roundtree Oliff

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

This instrument was acknowledged before me on this _____ day of _____, 2021 by Niko Papakonstantis, Chair of the Select Board of the Town of Exeter, a New Hampshire municipality, on behalf said Town.

Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

This instrument was acknowledged before me on this _____ day of _____, 2021 by Molly Cowan, Vice Chair of the Select Board of the Town of Exeter, a New Hampshire municipality, on behalf said Town.

Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

This instrument was acknowledged before me on this _____ day of _____, 2021 by Julie D. Gilman, Clerk of the Select Board of the Town of Exeter, a New Hampshire municipality, on behalf said Town.

Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

This instrument was acknowledged before me on this _____ day of _____, 2021 by Daryl Brown, Select Person of the Select Board of the Town of Exeter, a New Hampshire municipality, on behalf said Town.

Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

This instrument was acknowledged before me on this _____ day of _____, 2021 by Lovey Roundtree Oliff, Select Person of the Select Board of the Town of Exeter, a New Hampshire municipality, on behalf said Town.

Notary Public

EXHIBIT A

LEGAL DESCRIPTION

A certain parcel of unimproved land situated in the Town of Exeter, County of Rockingham and State of New Hampshire, depicted as Map/Lot 81-53 shown on a plan of land entitled, "Lot Consolidation, Subdivision, Open Space & Condominium Site Plan Prepared for Adela J. Griset & Hidden Meadow Condominium Shown as Tax Map 81 / Lot 53 & Tax Map 96 / Lot 15 Located at 26 Cullen Way & Tamarind Lane, County of Rockingham, Exeter, NH," prepared by David W. Vincent, LLS, Land Surveying Services, dated January 10, 2019, revised through May 10, 2021, and recorded in the Rockingham County Registry of Deeds as Plan No. D-_____ (the "Plan"), being more particularly bounded and described as follows:

Beginning at a point at Map 81/Lot 49 and the easterly corner of Map/Lot 81-53, as shown on said Plan; thence running along Map 73/Lot 47 (Boston & Maine Railroad) S 36°13'19" W a distance of 1375.92 feet to an iron rod at Map/Lot 96-15-17; thence turning and running N 25°12'09" W a distance of 545.95 feet along Map/Lot 96-15-17 and Map/Lot 96-15 to an iron rod to be set; thence turning and running N 05°07'57" W a distance of 676.25 feet along the "Common Area" to a point at the lot line to be eliminated; thence turning and running N 05°07'57" W a distance of 106.29 feet to an iron rod to be set; thence turning and running the following six (6) courses and distances along Map 81/Lot 57 (Town of Exeter): S 61°28'51" E a distance of 130.46 feet; thence N 01°23'45" E a distance of 132.13 feet; thence N 04°20'00" E a distance of 53.67 feet; thence N 07°01'56" E a distance of 231.75 feet; thence N 01°24'33" E a distance of 106.41 feet; and thence N 05°00'43" E a distance of 98.19 feet to a point at Map 81/Lot 52 (Brickyard Business Condo Association); thence turning and running the following four (4) courses and distances along Map 81/Lot 52: N 84°09'16" E a distance of 10.00 feet; thence N 71°59'49" E a distance of 209.23 feet; thence N 71°59'32" E a distance of 50.00 feet; and thence N 71°59'52" E a distance of 395.07 feet to a point at Map 81/Lot 49 (Christine H. Henderson Revocable Living Trust); thence turning and running S 20°07'01" E a distance of 298.23 feet along Map 81/Lot 49; thence continuing S 20°07'01" E a distance of 456.77 feet along Map 81/Lot 49; thence turning and running S 16°07'01" E a distance of 224.00 feet still along Map 81/Lot 49 to the point and place of beginning. Said Map/Lot 81-53 containing 1,377,057 square feet, 31.61 acres according to said Plan.

Meaning and intending to describe and convey a portion of the premises conveyed to Brett L. Neeper, Trustee of the Mendez Revocable Real Estate Trust by deed of Thomas C. Bashaw dated April 2, 2003 and recorded in the Rockingham County Registry of Deeds at Book 3996, Page 1371; together with Parcel A and Parcel D as show on said Plan as conveyed to Brett L. Neeper, Trustee of the Mendez Revocable Real Estate Trust by deed of Adela J. Griset dated _____ and recorded in said Registry at Book _____, Page _____. For further reference, see deed conveying Parcel B and Parcel C on said Plan to Adela J. Griset dated _____ and recorded in said Registry at Book _____, Page _____.

S:\GM-GR\Griset, Adela\Conservation Property\2021 09 03 Warranty Deed.docx



Raynes Barn Archaeological Phase 1A, Initial Findings and Recommendations

1 message

Peter Morrison <pmorrison@iac-llc.net>

Wed, Sep 8, 2021 at 3:22 PM

To: Kristen Murphy <kmurphy@exeternh.gov>

Cc: Jessica Cofelice <jcofelice@iac-llc.net>, "jtumelaire@iac-llc.net" <jtumelaire@iac-llc.net>

Dear Kristen,

Thank you for meeting us on site today. The Raynes Barn is an exciting structure with a wonderful property. From the annotated aerial photograph that accompanies the Access and Accessibility Improvement Plan, and from what you told us, upcoming work will entail installing a driveway with two accessible parking spaces on the south side of the barn. This will be connected to the rear barn ramp by an accessible pathway wrapping counterclockwise around the rear of the barn. The general plan does not say, but I expect that creation of these parking spaces and path will require a degree of excavation to remove the topsoil down to a firm substrate, before the compacted surface can be laid.

Based on our review, the exterior space surrounding the barn has the potential to provide important information concerning the historical use of the barn and barnyard, which could contribute to the significance of the historical property. We are recommending Phase 1B testing in the areas to be affected by the proposed ADA Event Parking and its connecting path.

Additionally, grading will be done adjacent to the building walls in order to create positive drainage away from the foundation. On the north side of the building, past installation of a perimeter drain has already disturbed the ground in that area. The ground on the south side of the barn is variously taken up by the concrete pad-foundation from the former milk house, a high and relatively steep-faced barn ramp, and the route of the buried drain system. Based on these existing conditions, we are not recommending testing related to grading adjacent to the barn's north and south walls.

Further afield, the roadway from the existing parking lot to the barn (including the proposed additional angled-parking area midway along it) are not sensitive for archaeological resources, and we are not recommending any archaeological testing there or along the proposed ADA Vista trail on the rise southeast of the barn.

The plan also shows proposed improvements to the trail that connects the Main Parking Lot to the lower field beyond the old railroad bed. This 250 meter (820 f) segment of trail parallels an unnamed stream which meets the Squamscott River at the property's east boundary. This setting is highly sensitive for the presence of Pre-contact period Native-American resources. We therefore recommend that Phase 1B testing be carried out along that section of trail prior to any grading or excavation that may be necessary for the trail improvement.

Specifically, we recommend that ten shovel test pits will be necessary to determine presence or absence of archaeological deposits that can contribute to our understanding of the barn and the farm operation. That could be accomplished in a single day of fieldwork.

Testing along the Backfield Trail would be more extensive, requiring as 40 test pits to determine presence or absence of Pre-Contact archaeological sites. Depending on the Town's development schedule, those two parts of the project could be separated into two parts.

The next step in the Phase 1A project is to prepare a formal report on the findings of our background review and site inspection. Alternatively, we would could eschew the report at this stage and prepare a formal cost proposal for the Phase 1B testing. This would allow us to expedite the testing phase ahead of the construction. It would also mean we could prepare a single report for the combined Phase 1A and 1B, resulting in reduction in the total cost of the projects.

If you would like a formal cost proposal at this time, we can have it to you as soon as this week. We can field an archaeological crew as soon as next week, if desired.

Let me know how you would like us to proceed (formal Phase 1A report now, vs Phase 1B cost proposal). If you have any questions, you can contact me or Jesse Cofelice.

Peter

Peter Morrison

Exeter Conservation Commission
August 10, 2021
Nowack Room
Draft Minutes

Call to Order

1. Introduction of Members Present (by Roll Call)

Present at tonight's meeting were by roll call, Chair Andrew Koff, Trevor Mattera, Nick Campion, Julie Gilman Select Board Liaison, Conor Madison, Bill Campbell, Alternate, Thomas Patterson, Alternate and Kristen Murphy, Natural Resource Planner.

Absent: Kristen Osterwood, Dave Short, Alyson Eberhardt, and Donald Clement, Alternate

Mr. Koff called the meeting to order at 7:00 PM and indicated that Alternates Bill Campbell and Conor Madison would be active.

2. Public Comment (7:00 PM)

Mr. Koff asked if there were any members of the public who wanted to speak to an item not on the agenda and being none closed public comment.

Action Items

1. NHDES Wetland Dredge and Fill application for 26,665 SF of temporary wetland impacts and 1,250 SF of permanent wetland impacts within the tidal buffer zone of the Squamscott River for horizontal directional drilling beneath the river to replace failing sewer siphons in the Jady Hill and Swasey Parkway areas as part of the Sewer Siphon Repair/Upgrade effort. Tax Map/Lots 64/36, 64/45 and 64/86. (Britt Eckstrom, Wright-Pierce and Paul Vlasich, DPW)

Mr. Koff read the Public Hearing Notice.

Kevin Garvey from Wright Pierce provided handouts of the proposed plan to install sewer syphons to replace corroded ones. Brit Eckstrom of Wright Pierce and Paul Vlasich the Town Engineer were also present. Mr. Garvey indicated the plan is to drill 20' below the level of the river which is the least impactful. Equipment will be stored on the grass. There will be two project sites on either side of the river. Work will be done at the main pump, Swasey Parkway, the river and grass areas. There will be excavation to expose the existing pipe. A couple of catch basins within Swasey may need relocating. There will be a pit on both sides of the river. There are temporary impacts on the west side of the river which will be restored. There is no wetland impact. There will be a small gravel access drive. The dots shown on the plan represent manhole covers which will be of permanent impact. There will be erosion control to prevent sediment in the river. There will be an access easement with private property owners. A frac tank will be utilized and material will be trucked off site.

Mr. Campbell asked the size of the replacement pipes and Mr. Garvey noted they would be 10" and 12." Mr. Campbell noted that will generate quite a bit more volume. Mr. Campbell asked about the new pump station upstream, if the pond will handle the runoff and about invasives along the shoreline. Mr. Garvey explained the pump station upstream will be upgraded and that he hopes runoff will not end up at the pond as that only takes place in an emergency.

Mr. Koff asked about trees and anticipated SLR and Mr. Garvey noted one tree will be removed and replaced with 2-3 on the Mill property. Mr. Koff warned that compressing the soil can cause damage and asked if they planned to speak with the Trustees of Swasey Parkway. Mr. Garvey noted the plans will be presented to them as part of the process. The Select Board is talking about closing the Parkway and making it one-way out of Town. Mr. Garvey indicated the Parkway would be closed while the work is being done. Flows are anticipated to be the same in the short-term.

Mr. Koff recommended with \$5,000 going into the ARM fund for mitigation that the Commission have some local projects in mind so that it can come back to benefit the community and be potentially added to grants that the Town can apply for.

MOTION: Mr. Koff motioned that the Commission having reviewed this application has **no objection** to the application as proposed. Mr. Campbell seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Ms. Murphy indicated that she will send the memo to DES and copy the Town and Wright Pierce.

2. NHDES Minimum Impact Expedited Dredge and Fill application for wetland impacts resulting from roadway access for a 16-unit condo development proposed along both Tamarind Way and a portion of the cul-de-sac on Cullen Way. The project will include a total of 2,960 SF of wetland impact, including 1,680 SF of forested wetlands and 1,280 SF of impact to existing farm pond. Tax Map 96-15-1 (Brian Griset, applicant and Jim Gove, GES Inc).

Mr. Koff read the Public Hearing Notice.

Brian Griset presented the proposal for the 16-unit open space condominium development which requires a NH DES minimum expedited permit. There will be 3,000 SF of wetland impact. The property is forested wetlands and has a farm pond. The existing farm road will be utilized. A block wall will be added. An arborist has looked at preserving the existing Swamp White Oaks near the road access. A small portion of the farm pond will be filled but will not affect functions and values.

Mr. Griset noted he would be returning to work with the Commission on the Easement conditions at a later meeting.

Mr. Koff noted he attended the Site Walk meeting at the parcels. Mr. Griset received recommendation from the Commission and the Planning Board for the NH DES wetlands and shorelands CUP. The Planning Board approved the request for a waiver for the road width to 20' from 24.' Page 170 of the packet shows the impacts mostly next to Tamarind Lane (off Kingston).

MOTION: Mr. Campbell motioned that the Commission after having reviewed this application has **no objection** to the application as proposed and authorizes the Chair to sign the NH DES State Expedited

Wetlands Application. Mr. Koff seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

3. Recommendation to Select Board on Bower Land Donation (Tax Map/Lot 28/16, Beech Hill Road)

Mr. Koff read the Public Hearing Notice.

Ms. Murphy indicated the Commission would provide recommendation to the Select Board concerning acceptance of the donation. The Commission was contacted by an attorney for the owner's estate after Mrs. Bower passed away. The parcel is five acres and contiguous to other Conservation parcels and there are some trails and a lot of wetlands. The easement would be fee owned for conservation purposes. There are no other conditions or expenses.

MOTION: Mr. Campbell motioned that the Commission based on the information provided, **RECOMMENDS** the Select Board accept the donation of the 5.0-acre Bower property (Map 28, Lot 16) for conservation purposes. Mr. Mattera seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Ms. Murphy will send a memo to the Select Board.

4. Committee Reports

a. Appointment of Tree Committee & River Study Committee representatives

Ms. Murphy noted representatives are needed for the Tree Committee and River Study Committee. The Tree Committee is a subcommittee of Conservation and meets at 8:30 AM and is working on a tree ordinance. They were instrumental in having Exeter be a Tree City. The River Study Committee is not a subcommittee of Conservation and advises the Select Board. They meet the third Tuesday of each month at 3:00 PM. They are working on the letter of deficiency on Pick Pocket Dam.

Ms. Gilman noted the meetings may change to quarterly as needed and one or two members can participate electronically.

Dave Short indicated earlier that he is willing to participate in the Tree Committee and Mr. Koff noted it would be a good fit since he is in the tree business. Don Clement already attends the River Study Committee meetings. Ms. Murphy will reach out to them. Mr. Koff and Mr. Mattera expressed an interest in the River Study Committee.

b. Property Management

i. Conservation Land Mowing Proposal

Ms. Murphy reviewed the mowing proposal. Mr. Koff noted the contractor offered the same rate and could start in September or October.

Ms. Murphy explained the reasons for mowing half of the Morrisette property last year and that one-third would be mowed this year to promote the milkweed and other plantings. Mr.

Campbell asked if the other seedlings were successful, and Ms. Murphy noted she pinned the locations and did not see success with those but the milkweed was successful and brought positive changes to the parcel.

MOTION: Mr. Campbell motioned to approve up to \$1,575 for the mowing contract. Mr. Koff seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

ii. LCHIP Grant Update

Ms. Murphy provided an update to the LCHIP grant application for repairs at Raynes Farm. She has received notification that the completed application was received. There will be a Site Walk on September 2nd. The contractor who prepared the historic assessment will be there.

c. Easements and Trails

Ms. Murphy reported the Riverwoods easement is getting executed and baselines signed by both parties.

Ms. Murphy reported on the Oaklands trail which seasonally has been underwater a few inches and now is substantially under water and impassable. Signs were made up and it was posted closed on the website and Facebook page. The trail is temporarily rerouted, but this adds a mile and a quarter and an alternative needs to be found. There is a large Blanding's Turtle population.

MOTION: Mr. Koff motioned to approve up to \$300.00 for additional signage. Mr. Mattera seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Mr. Koff noted muddy patches at Jolly Rand which causes hikers to go around which widens the path.

Ms. Murphy asked about parking at Watson where the wetland constricts the ability to expand parking. Users are parking along the road and there is a sharp curve. A wetlands delineation would be needed and assistance from Public Works. Mr. Koff recommended no parking signs to give enforcement ability.

Ms. Murphy noted residents of Drinkwater have concerns about parking and the use of the Smith Page parcel property for hunting u-turns, attracting users and having no existing parking lot. There are vernal pools. The LWCF sign is not in place. There is a prescribed LWCF sign which has a different look.

Ms. Murphy noted the PEA trails were removed from the Town website. Mr. Koff noted people are not parking there to access Smith Page so there is not a lot the Commission can do.

Ms. Murphy will put signs and trails on the agenda for further discussion at next month's meeting.

d. Outreach Events

Ms. Murphy reported that the Star Gazing event is still planned in October at Raynes Farm.

Ms. Murphy recommended continuing with the snow shoe event and work on planning later.

Ms. Murphy noted there are bat box kits left over and a workshop could be hosted.

5. 2022 Budget

Ms. Murphy provided copies of the operating budget and noted items that have a history of not being spent down which could result in cuts. Mr. Koff noted that interns will work this year where they were inactive during COVID. Ms. Gilman noted the same was true of training and education. Mr. Koff recommended reviewing the Master Plan and putting emphasis in 2022 on trails which have all seen a substantial increase in use during COVID. The trail at Raynes Farm should be kept open to the barn.

Mr. Campbell recommended working on invasives and creating parking areas.

Ms. Murphy will look into quotes via Request for Qualifications or RFQ and check on NACC dues,

6. Approval of Minutes: July 13th 2021 Meeting

Mr. Campbell recommended edits. Ms. Murphy will send a copy of the NH DES recommendations memo for the dock presentation by Sergio Bonilla to the minute taker so they can be incorporated in the July 13, 2021 minutes.

MOTION: Mr. Koff motioned to approve the July 13, 2021 Meeting Minutes as amended. Mr. Campbell seconded the motion. Mr. Mattera and Mr. Patterson abstained. The motion passed 5-0-2.

7. Other Business

8. Next Meeting: Date Scheduled (9/14/21), Submission Deadline (9/3/21)

Adjournment

MOTION: Mr. Campbell moved to adjourn at 8:48 PM seconded by Mr. Koff. A vote was taken, all were in favor, the motion passed unanimously.

Respectfully submitted,

Daniel Hoijer, Recording Secretary
Via Exeter TV

This meeting was also available for electronic access through Webinar ID: 837 3734 8082