



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE EXETER CONSERVATION COMMISSION Monthly Meeting

The Exeter Conservation Commission will meet in the Nowak Room, Exeter Town Offices at 10 Front Street, Exeter on **Tuesday, March 11th, 2025 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items:

1. Morrissette Property Pollinator Garden (*Ally Whitesell*)
2. Standard Dredge and Fill application from the Town of Exeter for water, drainage and roadway improvements in the Westside Drive neighborhood (Tax Map 74 and 81, Lots various-see application) (*Dan Rochette, Underwood*)
3. Treasurers Report (*Drew Koff*)
4. 2025 Annual Work Plan & Budget Planning
5. 2025 Trail Committee Meeting
6. Committee Reports
 - a. Property Management
No Dogs Sign - McDonnell
 - b. Outreach Events
 - i. Feb Full Moon Hike Update & Port-o-potty expense
 - ii. 34th Annual Spring Tree Program
 - iii. March 14 Full Moon Hike (& port-o-potty?)
 - iv. Hike Exeter! Member Announcement
 - v. Alewife Festival
 - c. Other Committee Reports (River Study, Sustainability, Energy, Tree, CC Roundtable)
*Reminder of April vote for officer roles (term begins May)
7. Approval of Minutes: 2/11/25 Meeting
8. Correspondence

Other Business

9. Next Meeting: 4/8/25, Submission Deadline 3/28/25

Dave Short

Exeter Conservation Commission

Posted March 7th, 2025 Exeter Town Website www.exeternh.gov and Town Office kiosk.

ZOOM Public Access Information:

Virtual Meetings can be watched on Ch 22 or Ch 6 and YouTube.

To access the meeting, click this link: <https://us02web.zoom.us/j/86319455010>

To access the meeting via telephone, call: +1 646 558 8656 and enter the Webinar ID: 863 1945 5010

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press *9.

More instructions for how to access the meeting can be found here:

<https://www.exeternh.gov/townmanager/virtual-town-meetings>

Contact us at extvg@exeternh.gov or 603-418-6425 with any technical issues.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: March 7th, 2025
To: Conservation Commission Board Members
From: Kristen Murphy, Conservation & Sustainability Planner
Subject: March 11th Meeting

1. Morrissette Pollinator Garden

Ally Whitesell has a presentation for you on the pollinator garden design we discussed at the last meeting. Her proposal includes a funding request for plants and materials of up to \$270. I have included a suggested motion in the event you are supportive of this action

Suggested Motion:

_____ *To authorize the expenditure of up to \$270 from the Conservation Land Administration budget line item for the purchase of plants and supplies for the pollinator garden at the Morrissette property*

2. Westside Drive Project

The Town has proposed work to improve ponding and stormwater treatment, and reduce impervious cover in the Westside Drive neighborhood. Because this is a Town project, it is not subject to a conditional use permit. The Town's representative has submitted a wetland dredge and fill to the State in support of the project and is seeking your supportive vote.

Suggested Motion:

_____ *Send a memo to the State DES indicating:*

_____ *We have reviewed this application and have no objection to the application as proposed.*

_____ *We have reviewed this application and recommend that the application be (approved)(denied) as noted below:*

3. Treasurers Report

It has been a bit since we went over the CC budget so your packet includes a treasurer's report

Suggested Motion:

_____ *To approve the Treasurer's report as (presented)(amended)*

4. 2025 Annual Work Plan (see blank spreadsheet as template)

- a. Dave has carved out some time to discuss upcoming goals and plans for the year. Your packet includes a spreadsheet to help you with brainstorming if you find it helpful
- b. I attempted to capture a list of potential expenses discussed to date.
 - \$4500 stairs at Raynes
 - Port-o-potty at Raynes year-round \$2000 (see outreach i, iii)
 - Mowing- We budgeted \$1,825 based on David O'Hearn's estimates. He announced retirement after budget submission. Will post RFP for mowing but quote from Kevin Breen was \$2,200 (\$375 short of budgeted amount)
 - No dog signs at McDonnell
 - Pollinator garden @ Morrissette \$270 (agenda item 1)
 - Raynes Sign (a frame) unsure cost or if donation

- Raynes Sign on back of parking lot Kiosk could help with public awareness of town property Approximately ~\$170
- Brush Management - Irvine - \$1,750. Optional and could be deferred (or eliminated) to 2026 but Kevin Breen recommended it as a way to quickly address the bittersweet out there we have been battling for 15+ yrs
- Alewife festival (\$200max)
- \$458 Spring Tree Program (outreach item iii.)

5. 2025 Trail Committee Meeting Planning

6. Committee Reports

a. Property Management

- i. No Dog Sign @ McDonnell

b. Outreach Events (total potential funding request: \$808)

- i. Feb Full Moon Hike Update & \$175 Port-o-potty Expense

Suggested Motion:

_____ To authorize the expenditure of up to \$175 from the Conservation Land Administration budget line item for the Feb Full Moon Hike Toilet Rental

- ii. Spring Tree Program – This is the 34th consecutive year of this event! Tree costs have increased for the first time in 3 years to \$458

Suggested Motion:

_____ To authorize the expenditure of up to \$458 from the Conservation Land Administration budget line item for the LSS Spring Tree program

- iii. March 14 Full Moon Hike Planning – Port-o-potty?

It is unclear if a portable toilet is planned for this event too. Assuming cost based on Feb expense:

Suggested Motion:

_____ To authorize the expenditure of up to \$175 from the Conservation Land Administration budget line item for the March Full moon Hike

- iv. Hike Exeter! Member Announcement – Christine Spencer, Garvin Loui & Buster (pup)
- v. Alewife Festival – opportunity to discuss CC’s involvement

7. Other Committee Reports (River Study, Sustainability, Energy, Tree, CC Roundtable)

*Reminder of April vote for Officer Roles (terms begin May)

8. Approval of Minutes: 2/11/25 Meeting

Suggested Motion:

_____ To approve the minutes report as (presented)(amended)

9. Correspondence



STANDARD DREDGE AND FILL WETLANDS PERMIT APPLICATION

Water Division / Land Resources Management
[Check the Status of your Application](#)



RSA/Rule: RSA 482-A/Env-Wt 100-900

APPLICANT'S NAME:

TOWN NAME:

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

A person may request a waiver of the requirements in Rules Env-Wt 100-900 to accommodate situations where strict adherence to the requirements would not be in the best interest of the public or the environment but is still in compliance with RSA 482-A. A person may also request a waiver of the standards for existing dwellings over water pursuant to RSA 482-A:26, III(b). For more information, please consult the [Waiver Request Form](#).

SECTION 1 - REQUIRED PLANNING FOR ALL PROJECTS (Env-Wt 306.05; RSA 482-A:3, I(d)(2))
Please use the [Wetland Permit Planning Tool \(WPPT\)](#), the Natural Heritage Bureau (NHB) [DataCheck Tool](#), the [Aquatic Restoration Mapper](#), or other sources to assist in identifying key features such as: [Priority Resource Areas \(PRAs\)](#), [protected species or habitats](#), coastal areas, designated rivers, or designated prime wetlands.

Has the required planning been completed?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the property contain a PRA? If yes, provide the following information: <ul style="list-style-type: none"> • Does the project qualify for an Impact Classification Adjustment (e.g. NH Fish and Game Department (NHFG) and NHB agreement for a classification downgrade) or a Project-Type Exception (e.g. Maintenance or Statutory Permit-by-Notification (SPN) project)? See Env-Wt 407.02 and Env-Wt 407.04. • Protected species or habitat? <ul style="list-style-type: none"> ○ If yes, species or habitat name(s): ○ NHB Project ID #: • Bog? • Floodplain wetland contiguous to a tier 3 or higher watercourse? • Designated prime wetland or duly-established 100-foot buffer? • Sand dune, tidal wetland, tidal water, or undeveloped tidal buffer zone? 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
Is the property within a Designated River corridor? If yes, provide the following information: <ul style="list-style-type: none"> • Name of Local River Management Advisory Committee (LAC): • A copy of the application was sent to the LAC on Month: Day: Year: 	<input type="checkbox"/> Yes <input type="checkbox"/> No

For dredging projects, is the subject property contaminated? • If yes, list contaminant:	<input type="checkbox"/> Yes <input type="checkbox"/> No
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Is there potential to impact impaired waters, class A waters, or outstanding resource waters?	<input type="checkbox"/> Yes <input type="checkbox"/> No
---	--

For stream crossing projects, provide watershed size (see [WPPT](#) or Stream Stats):

SECTION 2 - PROJECT DESCRIPTION (Env-Wt 311.04(i))
 Provide a description of the project and the purpose of the project, the need for the proposed impacts to jurisdictional areas, an outline-of the scope of work to be performed, and whether impacts are temporary or permanent.

SECTION 3 - PROJECT LOCATION
 Separate wetland permit applications must be submitted for each municipality within which wetland impacts occur.

ADDRESS:

TOWN/CITY:

TAX MAP/BLOCK/LOT/UNIT:

US GEOLOGICAL SURVEY (USGS) TOPO MAP WATERBODY NAME:
 N/A

(Optional) LATITUDE/LONGITUDE in decimal degrees (to five decimal places):

SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER) INFORMATION (Env-Wt 311.04(a))		
If the applicant is a trust or a company, then complete with the trust or company information.		
NAME:		
MAILING ADDRESS:		
TOWN/CITY:	STATE:	ZIP CODE:
EMAIL ADDRESS:		
FAX:	PHONE:	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.		
SECTION 5 - AUTHORIZED AGENT INFORMATION (Env-Wt 311.04(c))		
<input type="checkbox"/> N/A		
LAST NAME, FIRST NAME, M.I.:		
COMPANY NAME:		
MAILING ADDRESS:		
TOWN/CITY:	STATE:	ZIP CODE:
EMAIL ADDRESS:		
FAX:	PHONE:	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.		
SECTION 6 - PROPERTY OWNER INFORMATION (IF DIFFERENT THAN APPLICANT) (Env-Wt 311.04(b))		
If the owner is a trust or a company, then complete with the trust or company information.		
<input type="checkbox"/> Same as applicant		
NAME:		
MAILING ADDRESS:		
TOWN/CITY:	STATE:	ZIP CODE:
EMAIL ADDRESS:		
FAX:	PHONE:	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.		

irm@des.nh.gov or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

des.nh.gov

SECTION 7 - RESOURCE-SPECIFIC CRITERIA ESTABLISHED IN Env-Wt 400, Env-Wt 500, Env-Wt 600, Env-Wt 700, OR Env-Wt 900 HAVE BEEN MET (Env-Wt 313.01(a)(3))

Describe how the resource-specific criteria have been met for each chapter listed above (please attach information about stream crossings, coastal resources, prime wetlands, or non-tidal wetlands and surface waters):

SECTION 8 - AVOIDANCE AND MINIMIZATION

Impacts within wetland jurisdiction must be avoided to the maximum extent practicable (Env-Wt 313.03(a)).* Any project with unavoidable jurisdictional impacts must then be minimized as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization](#) and the [Wetlands Permitting: Avoidance, Minimization and Mitigation fact sheet](#). For minor or major projects, a functional assessment of all wetlands on the project site is required (Env-Wt 311.03(b)(10)).*

Please refer to the application checklist to ensure you have attached all documents related to avoidance and minimization, as well as functional assessment (where applicable). Use the [Avoidance and Minimization Checklist](#), the [Avoidance and Minimization Narrative](#), or your own avoidance and minimization narrative.

**See Env-Wt 311.03(b)(6) and Env-Wt 311.03(b)(10) for shoreline structure exemptions.*

SECTION 9 - MITIGATION REQUIREMENT (Env-Wt 311.02)

If unavoidable jurisdictional impacts require mitigation, a mitigation [pre-application meeting](#) must occur at least 30 days but not more than 90 days prior to submitting this Standard Dredge and Fill Permit Application.

Mitigation Pre-Application Meeting Date: Month: Day: Year:

(N/A - Mitigation is not required)

SECTION 10 - THE PROJECT MEETS COMPENSATORY MITIGATION REQUIREMENTS (Env-Wt 313.01(a)(1)c)

Confirm that you have submitted a compensatory mitigation proposal that meets the requirements of Env-Wt 800 for all permanent unavoidable impacts that will remain after avoidance and minimization techniques have been exercised to the maximum extent practicable: I confirm submittal.

(N/A – Compensatory mitigation is not required)

SECTION 11 - IMPACT AREA (Env-Wt 311.04(g))

For each jurisdictional area that will be/has been impacted, provide square feet (SF) and, if applicable, linear feet (LF) of impact, and note whether the impact is after-the-fact (ATF; i.e., work was started or completed without a permit).

For intermittent and ephemeral streams, the linear footage of impact is measured along the thread of the channel. *Please note, installation of a stream crossing in an ephemeral stream may be undertaken without a permit per Rule Env-Wt 309.02(d), however other dredge or fill impacts should be included below.*

For perennial streams/ivers, the linear footage of impact is calculated by summing the lengths of disturbances to the channel and banks.

Permanent (PERM.) impacts are impacts that will remain after the project is complete (e.g., changes in grade or surface materials).

Temporary (TEMP.) impacts are impacts not intended to remain (and will be restored to pre-construction conditions) after the project is completed.

JURISDICTIONAL AREA		PERM. SF	PERM. LF	PERM. ATF	TEMP. SF	TEMP. LF	TEMP. ATF
Wetlands	Forested Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Scrub-shrub Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Emergent Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Wet Meadow			<input type="checkbox"/>			<input type="checkbox"/>
	Vernal Pool			<input type="checkbox"/>			<input type="checkbox"/>
	Designated Prime Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Duly-established 100-foot Prime Wetland Buffer			<input type="checkbox"/>			<input type="checkbox"/>
Surface	Intermittent / Ephemeral Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Perennial Stream or River			<input type="checkbox"/>			<input type="checkbox"/>
	Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - River			<input type="checkbox"/>			<input type="checkbox"/>
Banks	Bank - Intermittent Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Bank - Perennial Stream / River			<input type="checkbox"/>			<input type="checkbox"/>
	Bank / Shoreline - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
Tidal	Tidal Waters			<input type="checkbox"/>			<input type="checkbox"/>
	Tidal Marsh			<input type="checkbox"/>			<input type="checkbox"/>
	Sand Dune			<input type="checkbox"/>			<input type="checkbox"/>
	Undeveloped Tidal Buffer Zone (TBZ)			<input type="checkbox"/>			<input type="checkbox"/>
	Previously-developed TBZ			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Tidal Water			<input type="checkbox"/>			<input type="checkbox"/>
TOTAL							

SECTION 12 - APPLICATION FEE (RSA 482-A:3, I)

- MINIMUM IMPACT FEE:** Flat fee of \$400.
- NON-ENFORCEMENT RELATED, PUBLICLY-FUNDED AND SUPERVISED RESTORATION PROJECTS, REGARDLESS OF IMPACT CLASSIFICATION:** Flat fee of \$400 (refer to RSA 482-A:3, 1(c) for restrictions).
- MINOR OR MAJOR IMPACT FEE:** Calculate using the table below:

Permanent and temporary (non-docking):	SF	× \$0.40 =	\$
Seasonal docking structure:	SF	× \$2.00 =	\$
Permanent docking structure:	SF	× \$4.00 =	\$
Projects proposing shoreline structures (including docks) add \$400 =			\$
Total =			\$

The application fee for minor or major impact is the above calculated total or \$400, whichever is greater = \$

SECTION 13 - PROJECT CLASSIFICATION (Env-Wt 306.05)

Indicate the project classification.

<input checked="" type="checkbox"/> Minimum Impact Project	<input type="checkbox"/> Minor Project	<input type="checkbox"/> Major Project
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SECTION 14 - REQUIRED CERTIFICATIONS (Env-Wt 311.11)

Initial each box below to certify:

Initials: <i>DJR</i>	To the best of the signer's knowledge and belief, all required notifications have been provided.
-------------------------	--

Initials: <i>DJR</i>	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.
-------------------------	--

Initials: <i>DJR</i>	<p>The signer understands that:</p> <ul style="list-style-type: none"> The submission of false, incomplete, or misleading information constitutes grounds for NHDES to: <ol style="list-style-type: none"> Deny the application. Revoke any approval that is granted based on the information. If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the joint board of licensure and certification established by RSA 310-A:1.
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Initials: <i>DJR</i>	If the applicant is not the owner of the property, each property owner signature shall constitute certification by the signer that he or she is aware of the application being filed and does not object to the filing. Easements in Progress
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SECTION 15 - REQUIRED SIGNATURES (Env-Wt 311.04(d); Env-Wt 311.11)

SIGNATURE (OWNER): See attached correspondence and draft easements	PRINT NAME LEGIBLY:	DATE:
SIGNATURE (APPLICANT, IF DIFFERENT FROM OWNER): <i>Paul Vlasic</i>	PRINT NAME LEGIBLY: <i>PAUL VLASIC</i>	DATE: <i>2/12/25</i>
SIGNATURE (AGENT, IF APPLICABLE): <i>Daniel Rochette</i>	PRINT NAME LEGIBLY: Daniel Rochette	DATE: <i>1/28/25</i>

SECTION 16 - TOWN / CITY CLERK SIGNATURE (Env-Wt 311.04(f))

As required by RSA 482-A:3, I(a)(1), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

TOWN/CITY CLERK SIGNATURE: <i>Andrea J. Kohler</i>	PRINT NAME LEGIBLY: <i>Andrea J. Kohler</i>
TOWN/CITY: Town of Exeter	DATE: <i>2.13.25</i>

DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3, I(a)(1)

1. IMMEDIATELY sign the original application form and four copies in the signature space provided above.
2. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
3. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board.
4. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

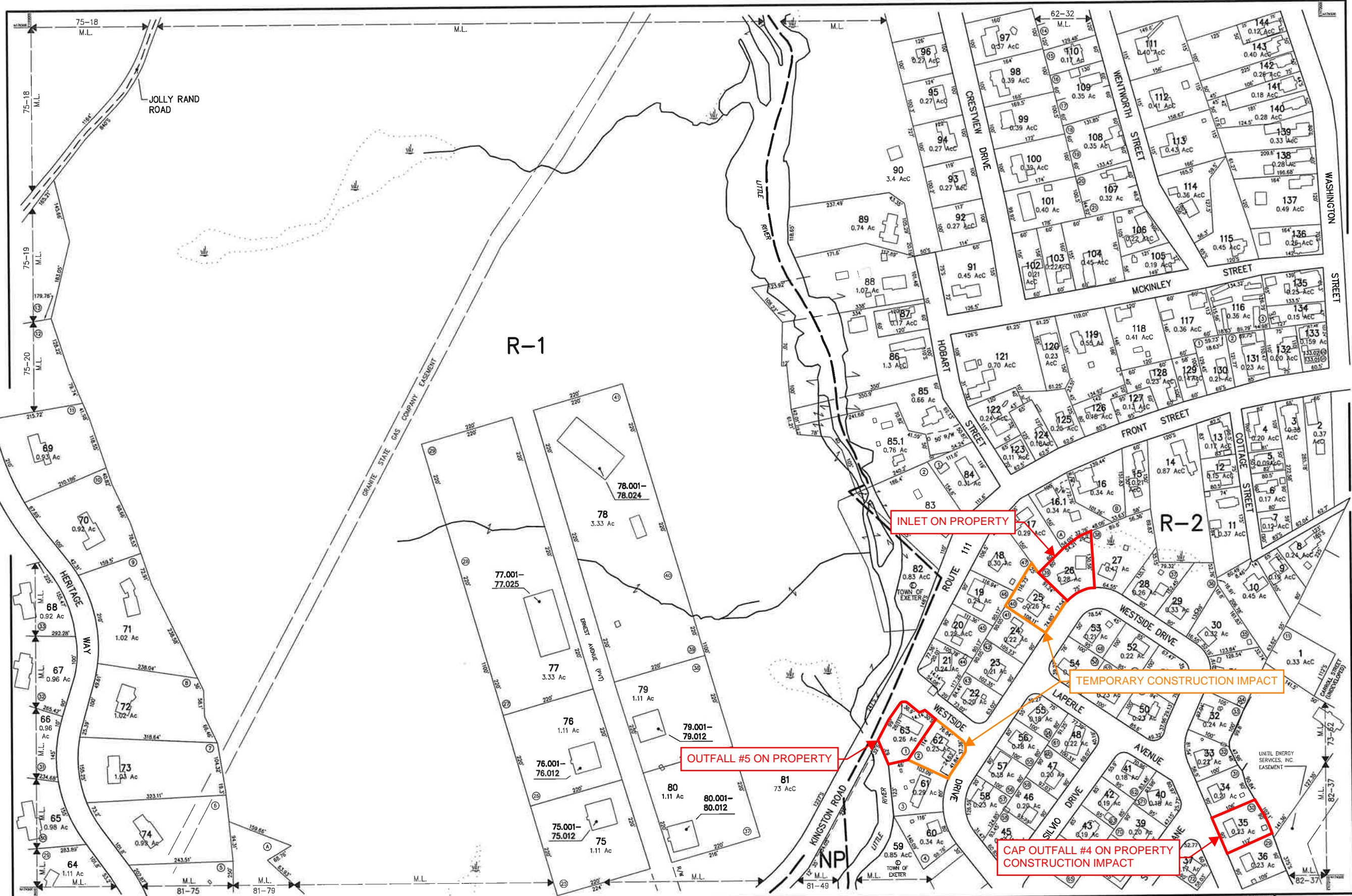
DIRECTIONS FOR APPLICANT:

Submit the original permit application form bearing the signature of the Town/City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery at the address at the bottom of this page. Make check or money order payable to "Treasurer – State of NH".

ABUTTER LIST

Project: Westside Drive Drainage, Water & Roadway Improvements
 Date: December 19, 2024

Name	Mailing Address	Tax Map, Lot Number
WESTSIDE DRIVE RESIDENTS & ABUTTERS		
Darlene T. Tousignant	#1 Westside Drive Exeter, NH 03833	Tax Map 74, Lot 63
Brian T. Gray	#3 Westside Drive Exeter, NH 03833	Tax Map 74, Lot 62
Megan E. Stagnone Philip L. Stagnone	#15 Westside Drive Exeter, NH 03833	Tax Map 81, Lot 44
Brian Hanna Lianna Nawn	#29 Westside Drive Exeter, NH 03833	Tax Map 81, Lot 36
Dale E. Pennington	#31 Westside Drive Exeter, NH 03833	Tax Map 81, Lot 35
Anderson Family Revocable Trust	#49 Westside Drive Exeter, NH 03833	Tax Map 81, Lot 29
Christopher Lupoli Melinda J. Lupoli	#59 Westside Drive Exeter, NH 03833	Tax Map 74, Lot 35
Kim M. Comeau Anthony Comeau	#77 Westside Drive Exeter, NH 03833	Tax Map 74, Lot 26
William W. Bartell Joanna E. Bartell	#79 Westside Drive Exeter, NH 03833	Tax Map 74, Lot 25



THIS MAP IS FOR ASSESSMENT PURPOSES. IT IS NOT VALID FOR LEGAL DESCRIPTION OR CONVEYANCE.

THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM.

PHOTOGRAPHY DATE: APRIL 25, 1995

COMPLETION DATE: MARCH 29, 1996

PRODUCED IN 1996 BY

CAI Technologies
Precision Mapping Geospatial Solutions

11 PLEASANT STREET, LITTLETON, NH 03551
603-222-6540 - WWW.CAITECH.COM

LEGEND

AREA SURVEYED	Ac
AREA CALCULATED	Ac
RECORD DIMENSION	100'
SCALED DIMENSION	100'S
MATCH LINE	
WATER	

EXEMPT PROPERTY	
SUBDIVISION LOT NO.	
ZONE LIMIT	
RIGHT OF WAY	
COMMON OWNERSHIP	
BUILDING	
WETLANDS	

SCALE 1" = 100'

FEET 0 100 200 300

METERS 0 25 50 75

REVISED TO: APRIL 1, 2024

PROPERTY MAPS

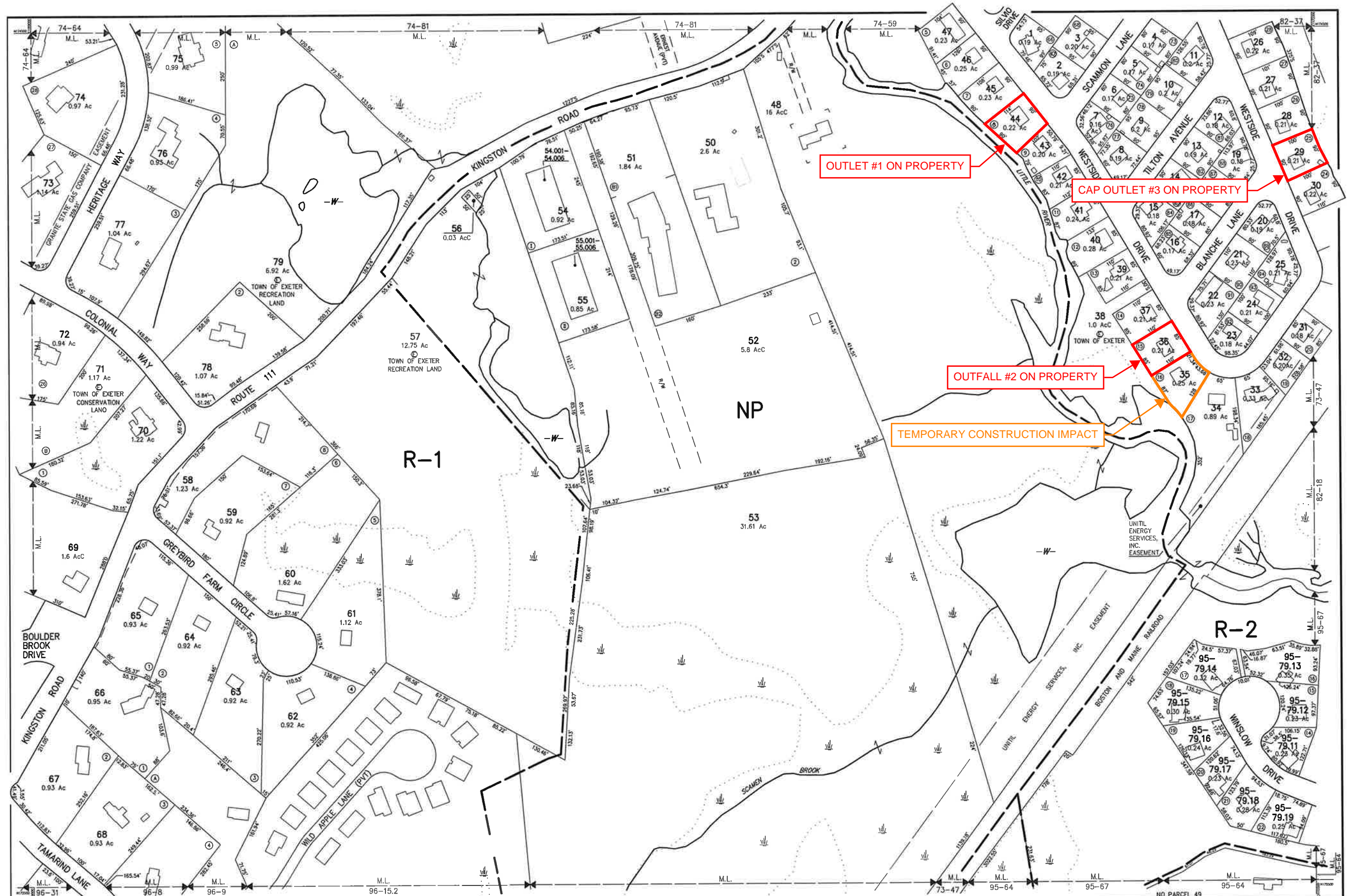
EXETER

NEW HAMPSHIRE

INDEX DIAGRAM

61	62	63
75	73	
80	81	82

MAP NO. **74**



THIS MAP IS FOR ASSESSMENT PURPOSES. IT IS NOT VALID FOR LEGAL DESCRIPTION OR CONVEYANCE.
 THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM.
 PHOTOGRAPHY DATE: APRIL 25, 1995
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PRODUCED IN 1996 BY

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 Precision Mapping. Conceptual Solutions.

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 800.322.4543 - WWW.CAITECH.COM

AREA SURVEYED	Ac
AREA CALCULATED	Ac
RECORD DIMENSION	100'
SCALED DIMENSION	100'
MATCH LINE	← M.L. →	
WATER	~~~~~	

LEGEND

EXEMPT PROPERTY: (circle with X)
 SUBDIVISION LOT NO.: (circle with number)
 ZONE LIMIT: (dashed line)
 RIGHT OF WAY: (solid line)
 COMMON OWNERSHIP: (dotted line)
 BUILDING: (solid outline)
 WETLANDS: (wavy line)

SCALE 1" = 100'

FEET: 0 50 100 200 300
 METERS: 0 25 50 75

REVISED TO: APRIL 1, 2024

PROPERTY MAPS
EXETER
 NEW HAMPSHIRE

INDEX DIAGRAM

75	74	73
80	82	
97	96	95

MAP NO. **81**

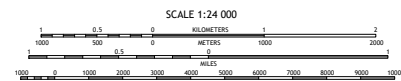
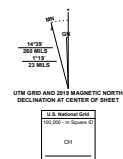
USGS TOPOGRAPHICAL MAP



42.8750° 71.0000° 37 38 39 40 41 42 43 44 45 46 47 48.000°

Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84) Projection and
1:50,000-meter grid (National Transverse Mercator, Zone 18T)
This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery: U.S. Census Bureau, 2017 - 2018
Name: National Hydrography Dataset, CHS, 1974 - 2020
Contour: National Elevation Dataset, 2012 - 2019
Boundary: Multiple sources, see metadata file 2018 - 2019
Wetlands: FWS National Wetlands Inventory 1985 - 2012



CONTOUR INTERVAL 20 FEET
NORTH AMERICAN VERTICAL DATUM OF 1988
This map was produced to conform with the
National Geospatial Program US Topo Product Standard.



QUADRANGLE LOCATION

1	2	3
4	5	6
7	8	9

ADJOINING QUADRANGLES

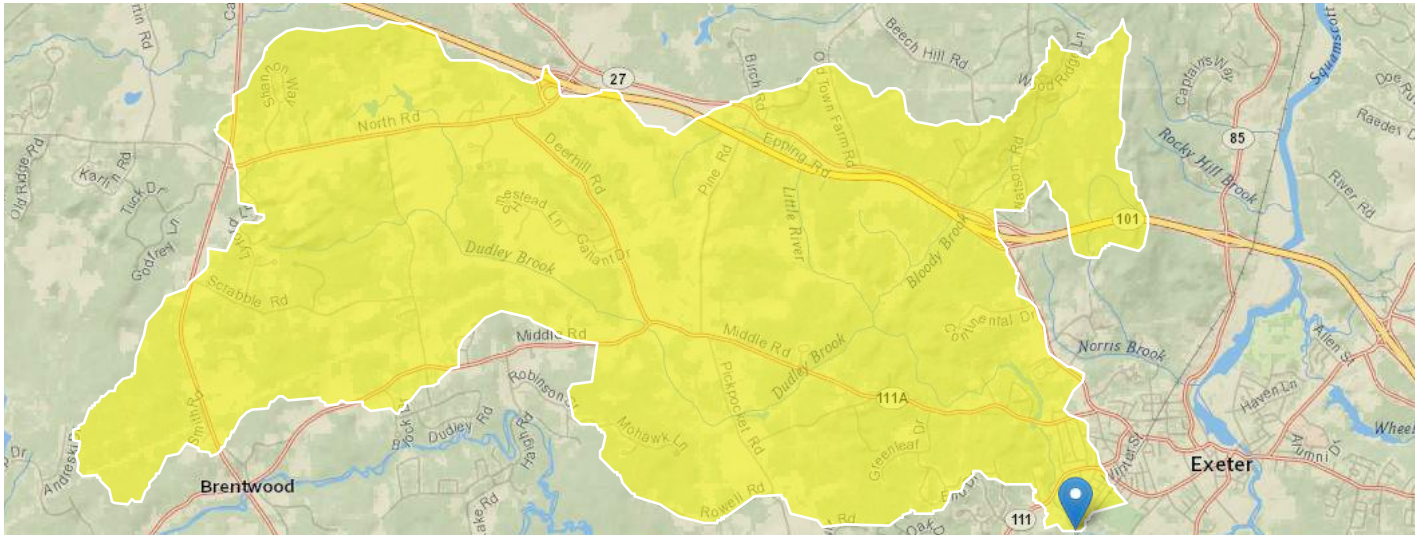
- 1 Egging
- 2 Newmarket
- 3 Portsmouth
- 4 Kingston
- 5 Hampton
- 6 Newfields
- 7 Newburgport West
- 8 Newburgport East



76430168200
NEW HAMPSHIRE
NAD 83
USGS 32.4K14.7.9
NAD REF. NO.

StreamStats Report

Region ID: NH
Workspace ID: NH20241218193034602000
Clicked Point (Latitude, Longitude): 42.97390, -70.96649
Time: 2024-12-18 14:30:56 -0500



[Collapse All](#)

Basin Characteristics

Parameter Code	Parameter Description	Value	Unit
APRAVPRE	Mean April Precipitation	4.213	inches
CSL10_85	Change in elevation divided by length between points 10 and 85 percent of distance along main channel to basin divide - main channel method not known	9.64	feet per mi
DRNAREA	Area that drains to a point on a stream	14.39	square miles
PREG_06_10	Mean precipitation at gaging station location for June to October summer period	17.4	inches
TEMP	Mean Annual Temperature	46.975	degrees F
WETLAND	Percentage of Wetlands	11.186	percent

Peak-Flow Statistics

Peak-Flow Statistics Parameters [Maine Regional Skew SIR 2020 5092]

Parameter Code	Parameter Name	Value	Units	Min Limit	Max Limit
DRNAREA	Drainage Area	14.39	square miles	1.13	5680

Peak-Flow Statistics Parameters [Peak Flow Statewide SIR2008 5206]

Parameter Code	Parameter Name	Value	Units	Min Limit	Max Limit
APRAVPRE	Mean April Precipitation	4.213	inches	2.79	6.23
CSL10_85	Stream Slope 10 and 85 Method	9.64	feet per mi	5.43	543
DRNAREA	Drainage Area	14.39	square miles	0.7	1290
WETLAND	Percent Wetlands	11.186	percent	0	21.8

NHDES Wetlands Permit Planning Tool



Legend

- NH Parcels
- Additional Lines
- City/Town
- Prime Wetlands
- Prime Wetlands with 100
- Flood plain wetlands

Map Scale

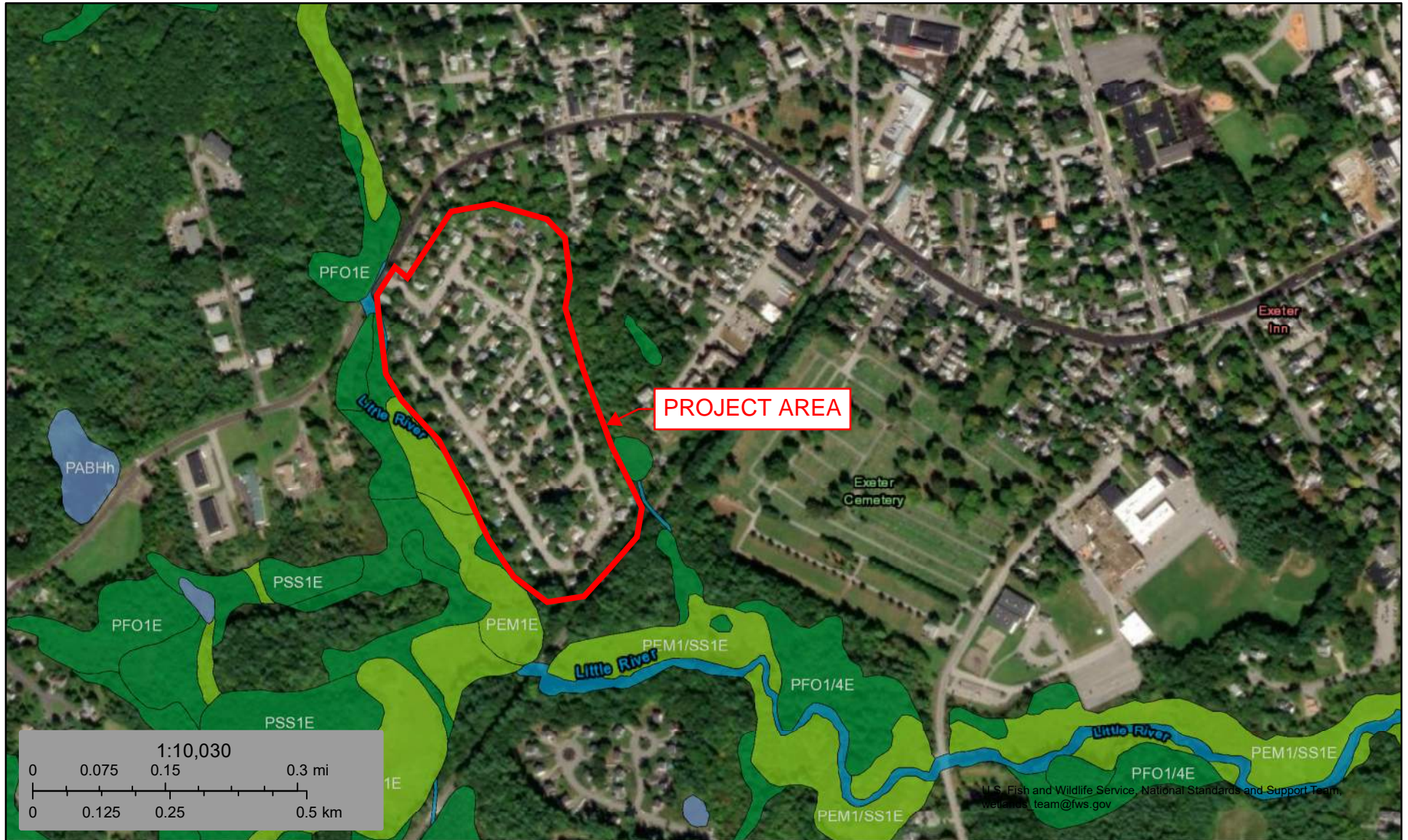
1: 3,247

© NH GRANIT, www.granit.unh.edu

Map Generated: 1/28/2025



Notes



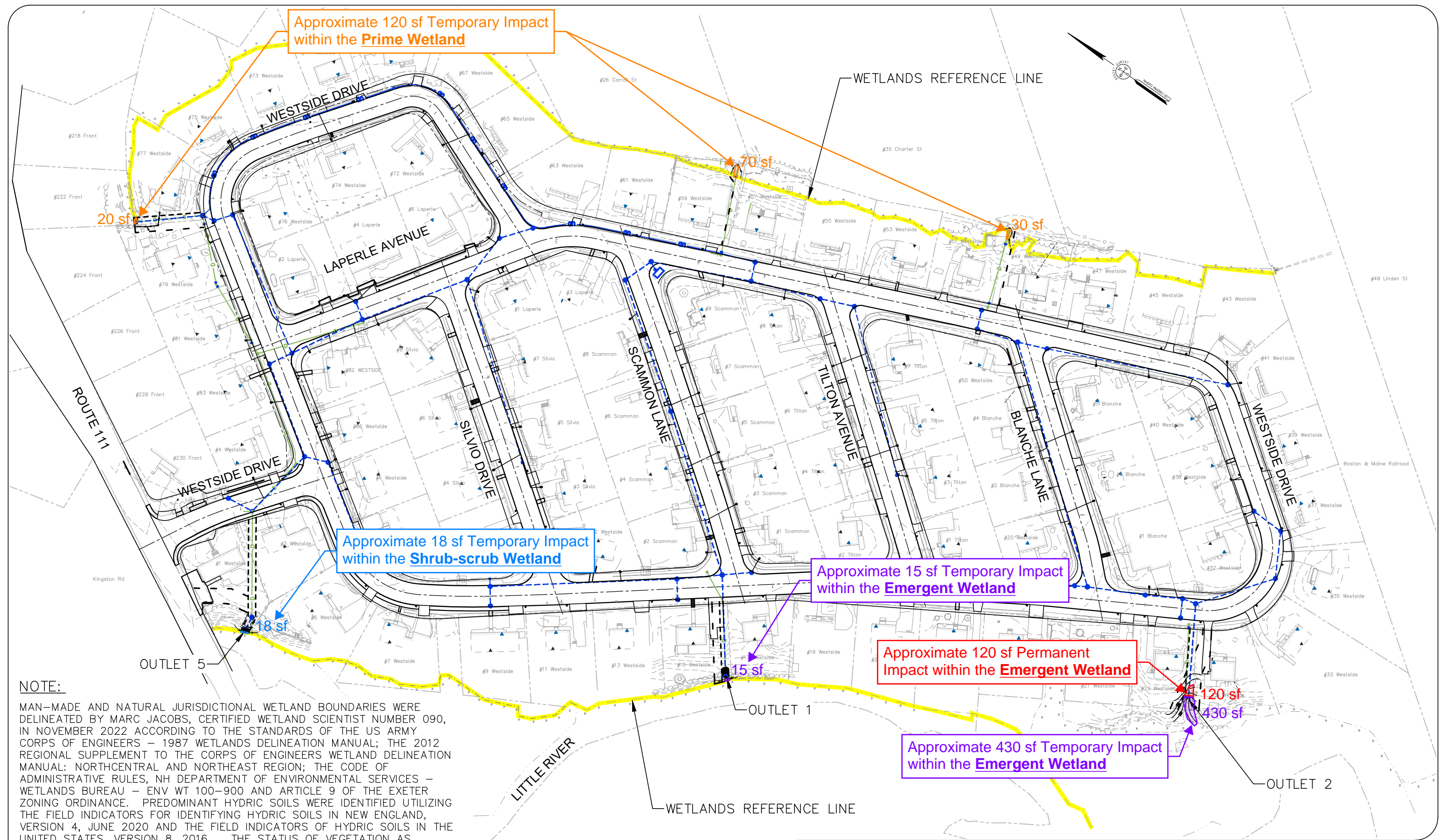
November 29, 2023

Wetlands

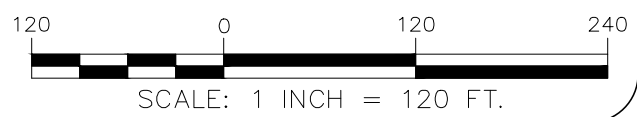
- | | | |
|--|---|--|
|  Estuarine and Marine Deepwater |  Freshwater Emergent Wetland |  Lake |
|  Estuarine and Marine Wetland |  Freshwater Forested/Shrub Wetland |  Other |
| |  Freshwater Pond |  Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Works\2873 - Wetland Buffer Impacts.dwg, WP, 1/17/2025 11:20:52 AM, rmg



NOTE:
 MAN-MADE AND NATURAL JURISDICTIONAL WETLAND BOUNDARIES WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTIST NUMBER 090, IN NOVEMBER 2022 ACCORDING TO THE STANDARDS OF THE US ARMY CORPS OF ENGINEERS – 1987 WETLANDS DELINEATION MANUAL; THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION; THE CODE OF ADMINISTRATIVE RULES, NH DEPARTMENT OF ENVIRONMENTAL SERVICES – WETLANDS BUREAU – ENV WT 100-900 AND ARTICLE 9 OF THE EXETER ZONING ORDINANCE. PREDOMINANT HYDRIC SOILS WERE IDENTIFIED UTILIZING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, JUNE 2020 AND THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8, 2016. THE STATUS OF VEGETATION AS HYDROPHYTIC WAS DETERMINED ACCORDING TO THE U.S. ARMY CORPS OF ENGINEERS – NORTHCENTRAL AND NORTHEAST 2020 REGIONAL WETLAND PLANT LIST. COPIES OF SITE PLANS DEPICTING THE WETLAND DELINEATION WHICH HAVE BEEN REVIEWED BY THE WETLAND SCIENTIST ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS PROJECT. ORDINARY HIGH WATER OF THE LITTLE RIVER WAS IDENTIFIED AND DELINEATED AS PER ENV-WT 103.50 AND RSA 483-B:4, XI-E.



DATE
1/17/2025

PROJECT
2873

**Underwood
Engineers**
 25 Vaughan Mall, Portsmouth, N.H. 03801
 Tel. 603-436-6192 Fax. 603-431-4733

WETLANDS BUFFER IMPACTS
 WESTSIDE DRIVE PLANNING
 BASIS OF DESIGN
 EXETER, New Hampshire

FIG.
1

(Suggested Letter – Town Letterhead)

DRAFT

MEMORANDUM OF UNDERSTANDING

To: Joanne S. Marshall
Dale E. Pennington
31 Westside Drive
Exeter, NH 03833
Map 81, Lot 35

Reference: Westside Drive Area
Utility Improvements

From: Town of Exeter
Public Works Department

Date: December 10, 2024

This memorandum confirms the Town's understanding that you as the owner of record of Map 81 Lot 35 agree to grant the Town authorization to work within your property limits while constructing a new drainage pipe adjacent to your home located at 31 Westside Drive, to convey drainage to the proposed drainage system on Westside Drive. Work for which your authorization is requested includes excavation to install new drainage pipe, backfill grading and property restoration, to a pre-existing condition. Such work will be completed by a licensed Contactor at the Town's expense, and the Town will make reasonable efforts to minimize inconvenience to property owners. It is understood that this agreement does not change the ownership or future maintenance responsibilities of the Property Owner.

A plan of work for this property is attached. The plan shows the approximate location of the new pipe extending to the street.

The work is anticipated to take place in the Spring/Summer of 2025. You will be contacted in advance of the work. This Memorandum of Understanding will expire upon completion of the work. It is also understood by both parties that this does not change the ownership and maintenance responsibilities of the Town, and the Owner as described by the Town Ordinance (chapter 17).

Please undersign this memorandum to signify your general agreement with the foregoing information and willingness to provide right of entry for the proposed work. We also ask that you provide a contact telephone number and indicate a time period that may be convenient for our Contractors to contact you concerning implementation of the work.

(Suggested Letter – Town Letterhead)

DRAFT

Thank you for your cooperation. If you have any questions or would like to schedule an appointment to review the work, please contact Paul Vlasich, P.E., at (603)773-6157.

Owners of Map 81, Lot 35

Stephen Cronin
Public Works Director

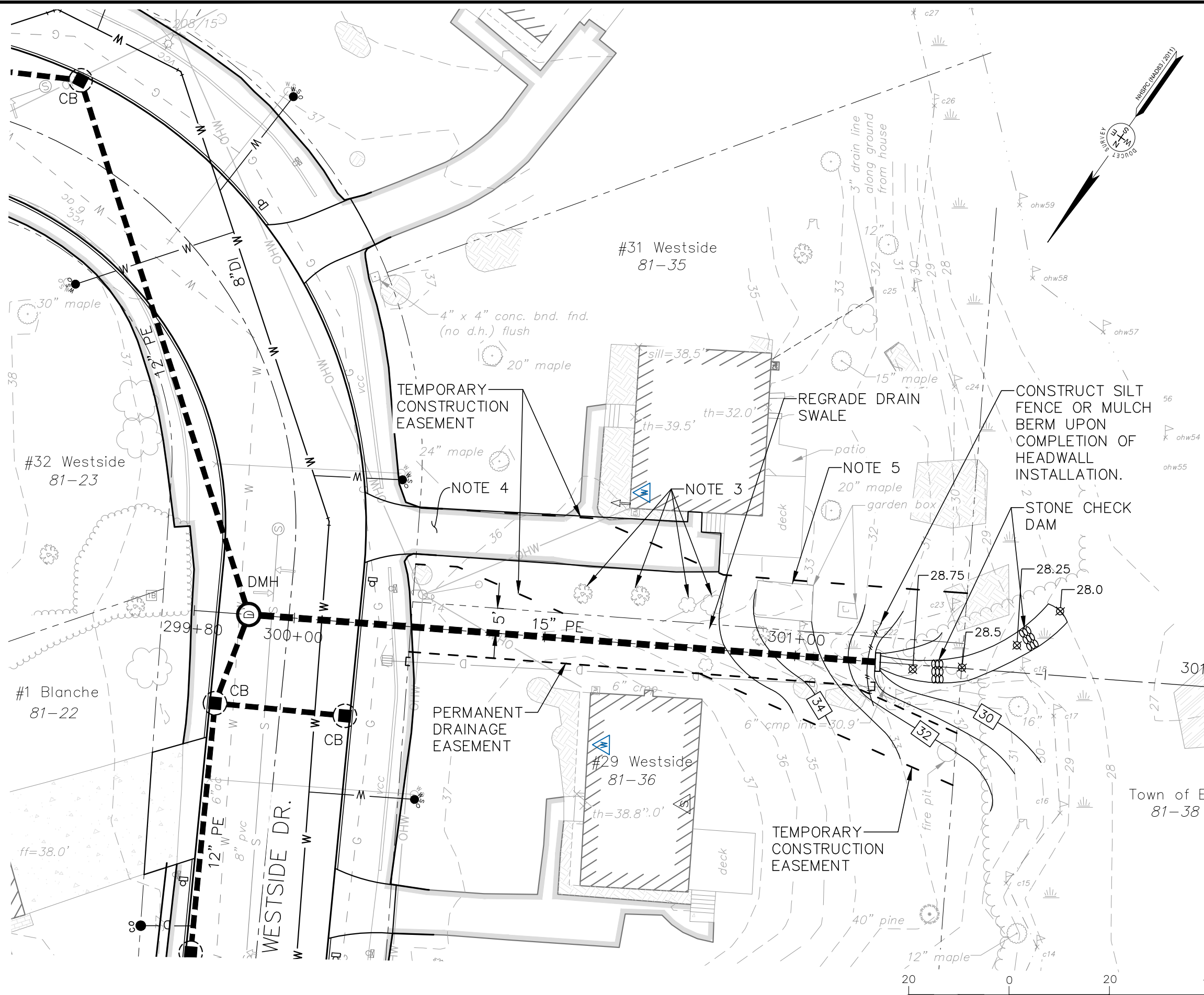
Joanne S. Marshall

Dale E. Pennington

[Date]

Telephone

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873 Easement_Figs.dwg, 81-35 (M-31), 12/9/2024 2:12:30 PM, rmg



NOTES:

1. OWNER OF RECORD IS JOANNE S. MARSHALL, #31 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 4508, PAGE 55.
2. INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
3. REMOVE TREES. REPLACE WITH SPECIES OF HOMEOWNERS CHOICE. UP TO 6 TREES, 3" CALIPER (MAX.).
4. RECONSTRUCT DRIVEWAY FOLLOWING COMPLETION OF DRAIN PIPE INSTALLATION, 8" CRUSHED GRAVEL (SURPLUS RAP MAY BE SUBSTITUTED), ITEM 304.3 AND BITUMINOUS PAVEMENT, 3" NOMINAL THICKNESS.
5. REMOVE AND RECONSTRUCT GARDEN BOXES. PROVIDE HIGH GRADE TOP SOIL/COMPOST MIX TO REPLACE EXISTING. COORDINATE NEW LOCATION WITH HOME OWNER.
6. WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED AREAS ARE STABILIZED, RESTORE LAWN AREA WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF THE EASEMENT AREA.
7. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE WORK IS COMPLETE AND ALL IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.

DRAFT

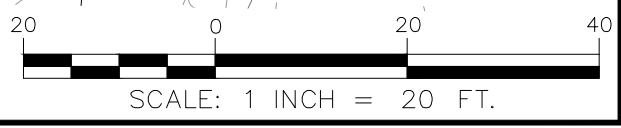
REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

MEMORANDUM OF UNDERSTANDING

TAX MAP 81 LOT 35
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 JOANNE S. MARSHALL



DATE: 12/9/24
 JOB NO. 2873
 SCALE: 1"=20'
 DWG NAME: 2873_EASEMENT...
 PLAN NO.:



(Suggested Letter – Town Letterhead)

DRAFT

MEMORANDUM OF UNDERSTANDING

To: Anderson Family Revocable Trust
49 Westside Drive
Exeter, NH 03833
Map 81, Lot 29

Reference: Westside Drive Area
Utility Improvements

From: Town of Exeter
Public Works Department

Date: December 10, 2024

This memorandum confirms the Town's understanding that you as the owner of record of Map 81 Lot 29 agree to grant the Town authorization to work within your property limits while capping and removing existing drainage piping located within your property limits at 49 Westside Drive. Work for which your authorization is requested includes excavation to remove existing drainage pipe, backfill grading and property restoration, to a pre-existing condition. Such work will be completed by a licensed Contactor at the Town's expense, and the Town will make reasonable efforts to minimize inconvenience to property owners. It is understood that this agreement does not change the ownership or future maintenance responsibilities of the Property Owner.

A plan of work for this property is attached. The plan shows the approximate location of the new pipe extending to the street.

The work is anticipated to take place in the Spring/Summer of 2025. You will be contacted in advance of the work. This Memorandum of Understanding will expire upon completion of the work. It is also understood by both parties that this does not change the ownership and maintenance responsibilities of the Town, and the Owner as described by the Town Ordinance (chapter 17).

Please undersign this memorandum to signify your general agreement with the foregoing information and willingness to provide right of entry for the proposed work. We also ask that you provide a contact telephone number and indicate a time period that may be convenient for our Contractors to contact you concerning implementation of the work.

(Suggested Letter – Town Letterhead)

DRAFT

Thank you for your cooperation. If you have any questions or would like to schedule an appointment to review the work, please contact Paul Vlasich, P.E., at (603)773-6157.

Owners of Map 81, Lot 29

Stephen Cronin
Public Works Director

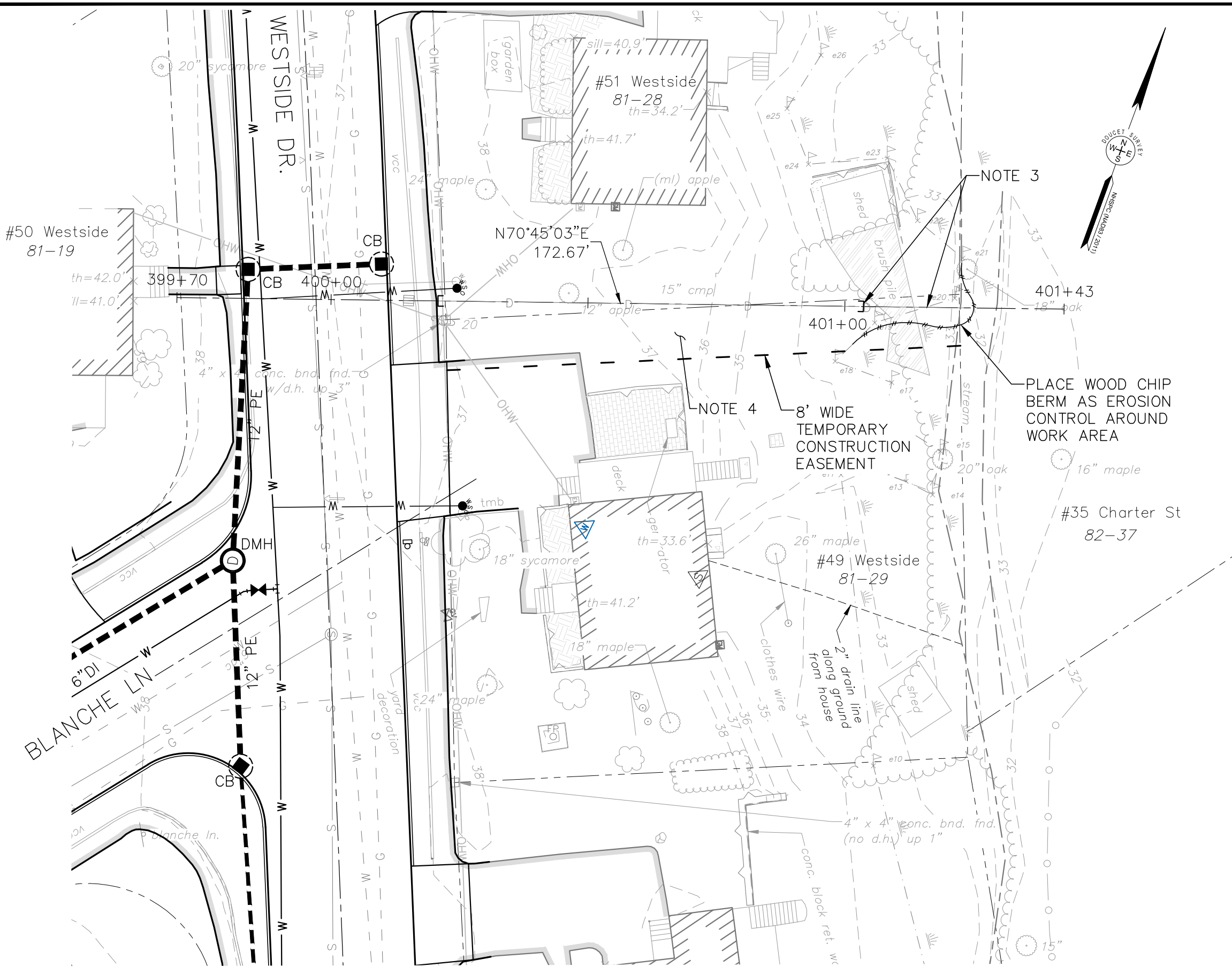
Carl Anderson (Trustee)

Sharon Anderson (Trustee)

[Date]

Telephone

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873 Easement_Figs.dwg, 81-29 (M-49), 12/9/2024 2:12:40 PM, rmg



NOTES:

1. OWNER OF RECORD IS ANDERSON FAMILY REV TR., #49 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 4368, PAGE 2507.
2. INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
3. CUT AND CAP EXISTING DRAIN PIPE OUTSIDE OF WETLAND BOUNDARY. REMOVE REMAINING PIPE WITHIN WETLAND BOUNDARY. REGRADE DISTURBED AREAS IMMEDIATELY FOLLOWING REMOVAL OF PIPE AND STABILIZE WITH TURF ESTABLISHMENT.
4. WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED SLOPE AREA ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA.

PLACE WOOD CHIP BERM AS EROSION CONTROL AROUND WORK AREA

8' WIDE TEMPORARY CONSTRUCTION EASEMENT

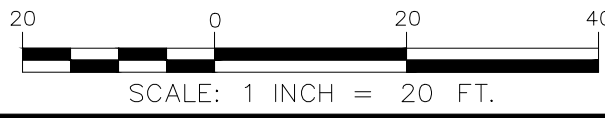
DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:
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MEMORANDUM OF UNDERSTANDING
 TAX MAP 81 LOT 29
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 ANDERSON FAMILY REV TR.



DATE: 12/9/24
JOB NO. 2873
SCALE: 1"=20'
DWG NAME: 2873_EASEMENT...
PLAN NO.:



(Suggested Letter – Town Letterhead)

DRAFT

MEMORANDUM OF UNDERSTANDING

To: Christopher Lupoli
Melinda J. Lupoli
59 Westside Drive
Exeter, NH 03833
Map 74, Lot 35

Reference: Westside Drive Area
Utility Improvements

From: Town of Exeter
Public Works Department

Date: December 10, 2024

This memorandum confirms the Town's understanding that you as the owner of record of Map 74 Lot 35 agree to grant the Town authorization to work within your property limits while capping and removing existing drainage piping located within your property limits at 59 Westside Drive. Work for which your authorization is requested includes excavation to remove existing drainage pipe, backfill grading and property restoration, to a pre-existing condition. Such work will be completed by a licensed Contactor at the Town's expense, and the Town will make reasonable efforts to minimize inconvenience to property owners. It is understood that this agreement does not change the ownership or future maintenance responsibilities of the Property Owner.

A plan of work for this property is attached. The plan shows the approximate location of the new pipe extending to the street.

The work is anticipated to take place in the Spring/Summer of 2025. You will be contacted in advance of the work. This Memorandum of Understanding will expire upon completion of the work. It is also understood by both parties that this does not change the ownership and maintenance responsibilities of the Town, and the Owner as described by the Town Ordinance (chapter 17).

Please undersign this memorandum to signify your general agreement with the foregoing information and willingness to provide right of entry for the proposed work. We also ask that you provide a contact telephone number and indicate a time period that may be convenient for our Contractors to contact you concerning implementation of the work.

(Suggested Letter – Town Letterhead)

DRAFT

Thank you for your cooperation. If you have any questions or would like to schedule an appointment to review the work, please contact Paul Vlasich, P.E., at (603)773-6157.

Owners of Map 74, Lot 35

Stephen Cronin
Public Works Director

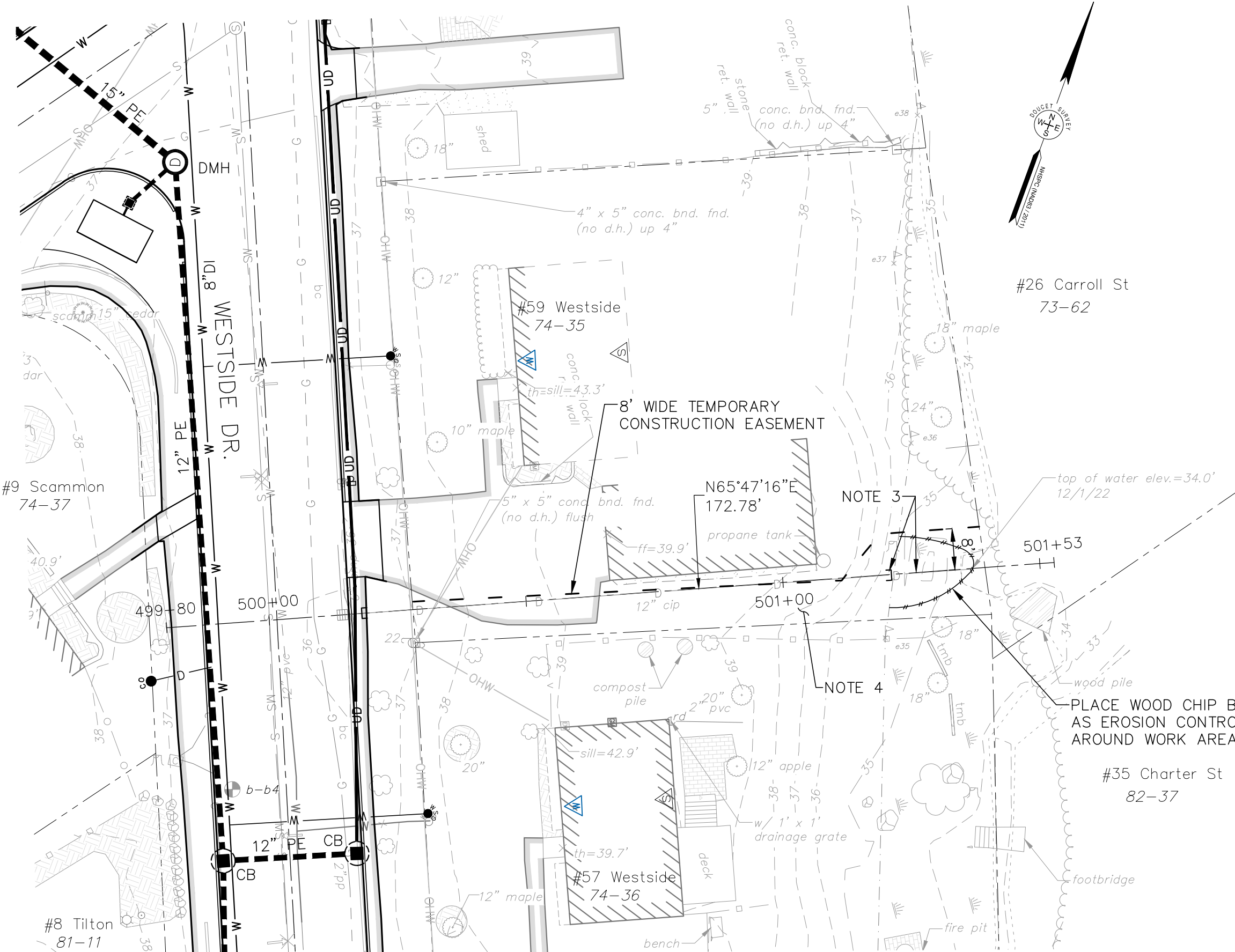
Christopher Lupoli

Melinda J. Lupoli

[Date]

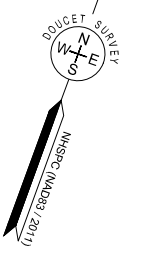
Telephone

H:\Real\Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873_Easement_Elms.dwg 74-35 (M:59)_12/9/2024 2:12:50 PM .rvt



NOTES:

1. OWNER OF RECORD IS CHRISTOPHER LUPOLI, #59 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 5196, PAGE 1133.
2. INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
3. CUT AND CAP EXISTING DRAIN PIPE OUTSIDE OF WETLAND BOUNDARY. REMOVE REMAINING PIPE WITHIN WETLAND BOUNDARY. REGRADE DISTURBED AREAS IMMEDIATELY FOLLOWING REMOVAL OF PIPE AND STABILIZE WITH TURF ESTABLISHMENT.
4. WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED SLOPE AREA ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA.



DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

MEMORANDUM OF UNDERSTANDING

TAX MAP 74 LOT 35
Grantee: TOWN OF EXETER, NH
PROPERTY N/F OF
CHRISTOPHER LUPOLI



DATE: 12/9/24
JOB NO. 2873
SCALE: 1"=20'
DWG NAME: 2873_EASEMENT...
PLAN NO.:

(Suggested Letter – Town Letterhead)

DRAFT

MEMORANDUM OF UNDERSTANDING

To: William W. Bartell
Joanna E. Bartell
79 Westside Drive
Exeter, NH 03833
Map 74, Lot 25

Reference: Westside Drive Area
Utility Improvements

From: Town of Exeter
Public Works Department

Date: March 4, 2024

This memorandum confirms the Town's understanding that you as the owner of record of Map 74 Lot 25 agree to grant the Town authorization to work within your property limits while constructing a new drainage pipe adjacent to your home located at 79 Westside Drive, to convey drainage to the proposed drainage system on Westside Drive. Work for which your authorization is requested includes excavation to install new drainage pipe, backfill grading and property restoration, to a pre-existing condition. Such work will be completed by a licensed Contactor at the Town's expense, and the Town will make reasonable efforts to minimize inconvenience to property owners. It is understood that this agreement does not change the ownership or future maintenance responsibilities of the Property Owner.

A plan of work for this property is attached. The plan shows the approximate location of the new pipe extending to the street.

The work is anticipated to take place in the Spring/Summer of 2025. You will be contacted in advance of the work. This Memorandum of Understanding will expire upon completion of the work. It is also understood by both parties that this does not change the ownership and maintenance responsibilities of the Town, and the Owner as described by the Town Ordinance (chapter 17).

Please undersign this memorandum to signify your general agreement with the foregoing information and willingness to provide right of entry for the proposed work. We also ask that you provide a contact telephone number and indicate a time period that may be convenient for our Contractors to contact you concerning implementation of the work.

(Suggested Letter – Town Letterhead)

DRAFT

Thank you for your cooperation. If you have any questions or would like to schedule an appointment to review the work, please contact Paul Vlasich, P.E., at (603)773-6157.

Owners of Map 74, Lot 25

Stephen Cronin
Public Works Director

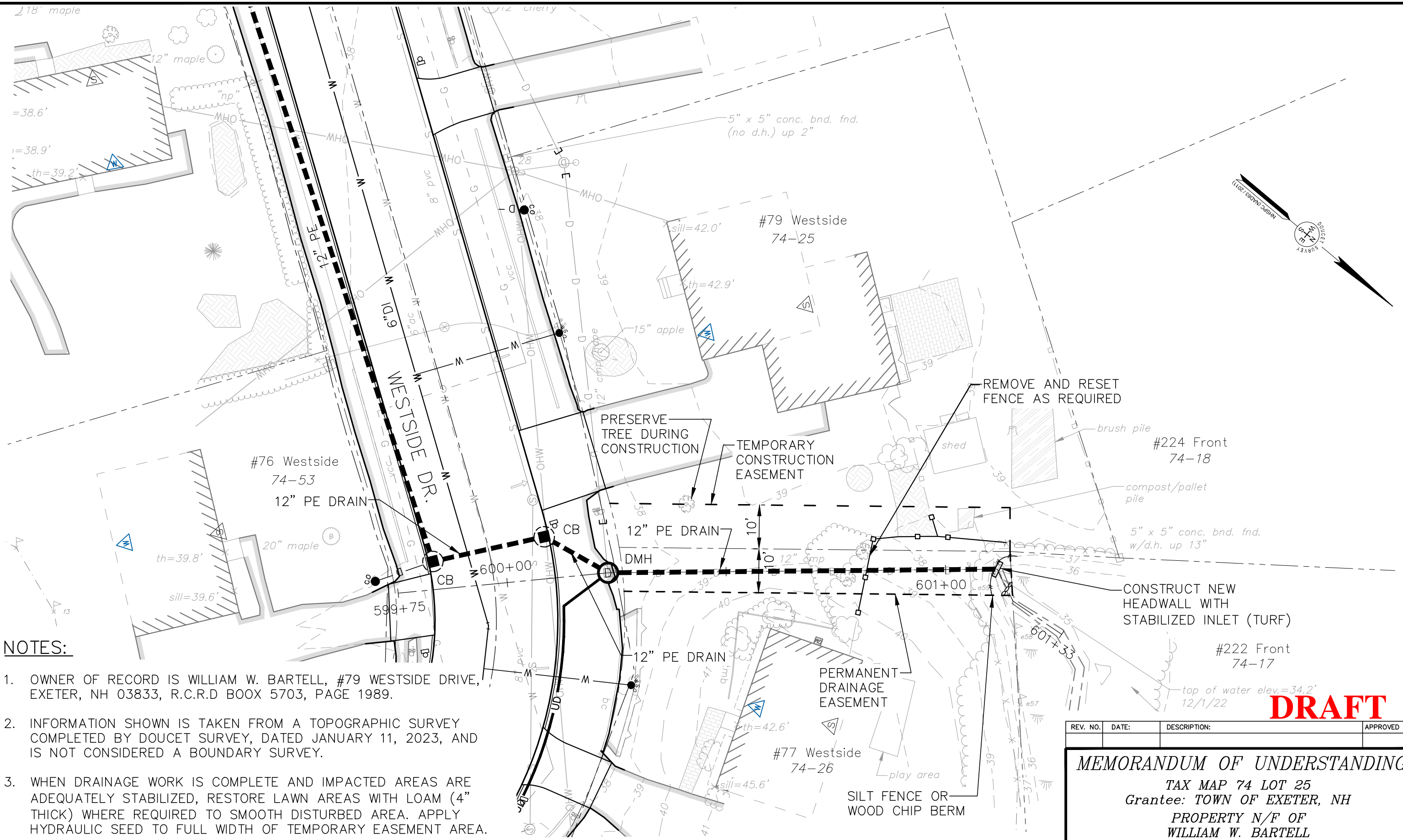
William W. Bartell

Joanna E. Bartell

[Date]

Telephone

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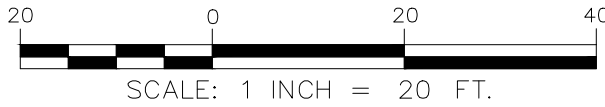
NOTES:

1. OWNER OF RECORD IS WILLIAM W. BARTELL, #79 WESTSIDE DRIVE, EXETER, NH 03833, R.C.R.D BOOX 5703, PAGE 1989.
2. INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
3. WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED AREAS ARE ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA.
4. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE ALL WORK IS COMPLETE AND IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.

DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

MEMORANDUM OF UNDERSTANDING
 TAX MAP 74 LOT 25
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 WILLIAM W. BARTELL



DATE: 12/9/24
JOB NO. 2873
SCALE: 1"=20'
DWG NAME: 2873_EASEMENT...
PLAN NO.:

DRAFT

UTILITY EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS, that Darlene T. Tousignant with a mailing address of #1 Westside Drive, Exeter, New Hampshire 03833, County of Rockingham, State of New Hampshire, (herein "Grantor")

FOR CONSIDERATION PAID in the amount of One Dollar (\$1.00), receipt of which is hereby acknowledged, grant to the **TOWN OF EXETER**, its employees, agents, or assigns acting on behalf of the Town of Exeter, New Hampshire, a municipal body politic, having a mailing address of 10 Front Street, Exeter, New Hampshire, 03833, County of Rockingham, State of New Hampshire (herein referred to as the "Grantee").

WITH QUITCLAIM COVENANTS, the following easement rights with respect to the Grantor's property situated at #1 Westside Drive, Exeter, Rockingham County, New Hampshire (the "Premises"), Assessor's Map 74, Lot 63. Said easements are further bounded and described as follows:

1. Temporary Easement: Conveying to the Grantee the temporary right and privilege to enter onto the land of the Grantor, for the initial purpose of construction of the drainage pipelines in the area shown on the utility easement plan. The Temporary Easement will expire one year following acceptance of the drainage construction by the Town of Exeter.
2. Permanent Easement: The Permanent Easement shall be to the limits shown on the "Easement Plan" based on the actual constructed centerlines of utilities.
3. Purpose and Rights: It is further agreed that within the described Easements, the Grantor convey to the Grantee the perpetual, permanent, uninterrupted, and unobstructed exclusive easement and right of way in, under, across and over the Easement area for the purpose of installing, operating, maintaining, inspecting, removing, repairing, and replacing: the drain line with its associated pipes, catch basins, manholes, and appurtenances; along the length of the drain line. The Grantee shall have the right to remove pavement, trees, bushes, undergrowth, and other obstructions interfering with the activities authorized herein and to take such other actions as may be reasonably necessary, useful or convenient for the enjoyment of the easement rights herein granted.
4. Grantee's Responsibility to Restore: Disturbed areas within the Temporary and Permanent Easement areas shall be backfilled and restored along the length of the drain. Pavement will be replaced in kind and other areas disturbed will be loamed and seeded or restored to existing condition. Any fences removed will be reset.
5. Grantor's Retained Rights: Grantor retains the right to freely use and enjoy its interest in the Permanent Easement Area insofar as the exercise thereof does not endanger or interfere with the purpose of this instrument. Grantor shall not, however, erect any structure within the Permanent Easement area or substantially change the grade or slope, or otherwise restrict access to the drain operated by the Grantee, without prior written consent of the Grantee.
6. Easement to Run with Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land.

DRAFT

7. Recording of Easement: It is the intention of the grantor and grantee that the easement will be permanently defined with metes and bounds including monumentation following construction of the drainage. The Permanent Easement plan will then be recorded at the Rockingham County Registry of Deeds, at the Grantee's expense.

MEANING AND INTENDING to convey an easement over a portion of the premises conveyed to the within Grantor by deed of Darlene T. Tousignant dated September 15, 2005, and recorded in Book 4549 Page 2562 of the Rockingham County Registry of Deeds.

DATED this _____ day of _____, 2024.

By: _____
Grantor: Darlene T. Tousignant

By: _____
Grantee: Town of Exeter Representative

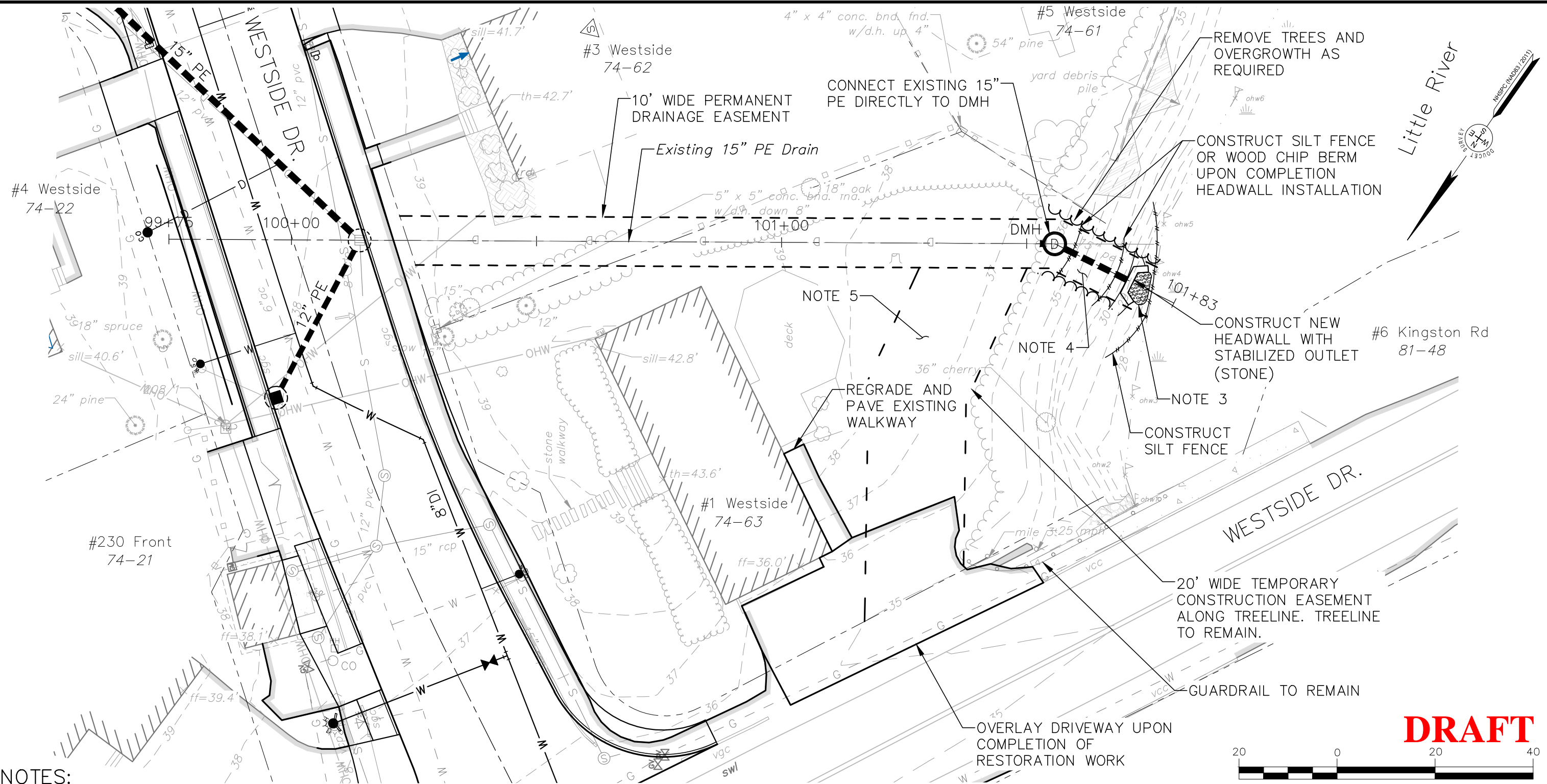
STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this _____ day of _____, 2024
by _____ (Grantor)

Justice of the Peace/Notary Public
Printed Name:

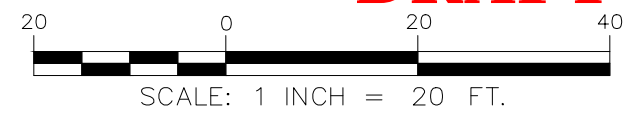
My Commission Expires:

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873_Easement_Figs.dwg, 74-63 (E-1), 12/10/2024 12:29:58 PM, rmg



NOTES:

- OWNER OF RECORD IS DARLENE TOUSIGNANT, #1 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 4549, PAGE 2562.
- INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
- CONSTRUCT STABILIZED OUTLET USING CLASS-C STONE FILL, 12" MINIMUM DEPTH, PLACED ON GEOTEXTILE FABRIC, MEETING REQUIREMENTS OF NHDOT ITEM 593.221.
- REGRADO SLOPE AND STABILIZE IMPACTED AREAS IMMEDIATELY WITH TURF ESTABLISHMENT AND ROLLED EROSION CONTROL PRODUCT.
- WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED SLOPE AREA ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE WORK IS COMPLETE AND ALL IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.



DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

EASEMENT PLAN
TAX MAP 74 LOT 63
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 DARLENE TOUSIGNANT

UNDERWOOD
engineers

DATE: 12/9/24
 JOB NO. 2873
 SCALE: 1"=20'
 DWG NAME: 2873_EASEMENT...
 PLAN NO.:

DRAFT

UTILITY EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS, that Brian T. and Cassandra A. Gray with a mailing address of #3 Westside Drive, Exeter, New Hampshire 03833, County of Rockingham, State of New Hampshire, (herein "Grantor")

FOR CONSIDERATION PAID in the amount of One Dollar (\$1.00), receipt of which is hereby acknowledged, grant to the **TOWN OF EXETER**, its employees, agents, or assigns acting on behalf of the Town of Exeter, New Hampshire, a municipal body politic, having a mailing address of 10 Front Street, Exeter, New Hampshire, 03833, County of Rockingham, State of New Hampshire (herein referred to as the "Grantee").

WITH QUITCLAIM COVENANTS, the following easement rights with respect to the Grantor's property situated at #3 Westside Drive, Exeter, Rockingham County, New Hampshire (the "Premises"), Assessor's Map 74, Lot 62. Said easements are further bounded and described as follows:

1. Permanent Easement: The Permanent Easement shall be to the limits shown on the "Easement Plan" based on the actual location of the existing drain line.
2. Purpose and Rights: It is further agreed that within the described Easements, the Grantor convey to the Grantee the perpetual, permanent, uninterrupted, and unobstructed exclusive easement and right of way in, under, across and over the Easement area for the purpose of installing, operating, maintaining, inspecting, removing, repairing, and replacing: the drain line with its associated pipes, catch basins, manholes, and appurtenances; along the length of the drain line. The Grantee shall have the right to remove pavement, trees, bushes, undergrowth, and other obstructions interfering with the activities authorized herein and to take such other actions as may be reasonably necessary, useful or convenient for the enjoyment of the easement rights herein granted.
3. Grantee's Responsibility to Restore: Disturbed areas within the Temporary and Permanent Easement areas shall be backfilled and restored along the length of the drain. Pavement will be replaced in kind and other areas disturbed will be loamed and seeded or restored to existing condition. Any fences removed will be reset.
4. Grantor's Retained Rights: Grantor retains the right to freely use and enjoy its interest in the Permanent Easement Area insofar as the exercise thereof does not endanger or interfere with the purpose of this instrument. Grantor shall not, however, erect any structure within the Permanent Easement area or substantially change the grade or slope, or otherwise restrict access to the drain operated by the Grantee, without prior written consent of the Grantee.
5. Easement to Run with Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land.
6. Recording of Easement: It is the intention of the grantor and grantee that the easement will be permanently defined with metes and bounds including monumentation following construction of the drainage. The Permanent Easement plan will then be recorded at the Rockingham County Registry of Deeds, at the Grantee's expense.

DRAFT

MEANING AND INTENDING to convey an easement over a portion of the premises conveyed to the within Grantor by deed of Brian T. and Cassandra A. Gray dated August 9, 2011, and recorded in Book 5236 Page 723 of the Rockingham County Registry of Deeds.

DATED this _____ day of _____, 2024.

By: _____

Grantor: Brian T. Gray

By: _____

Grantor: Cassandra A. Gray

By: _____

Grantee: Town of Exeter Representative

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

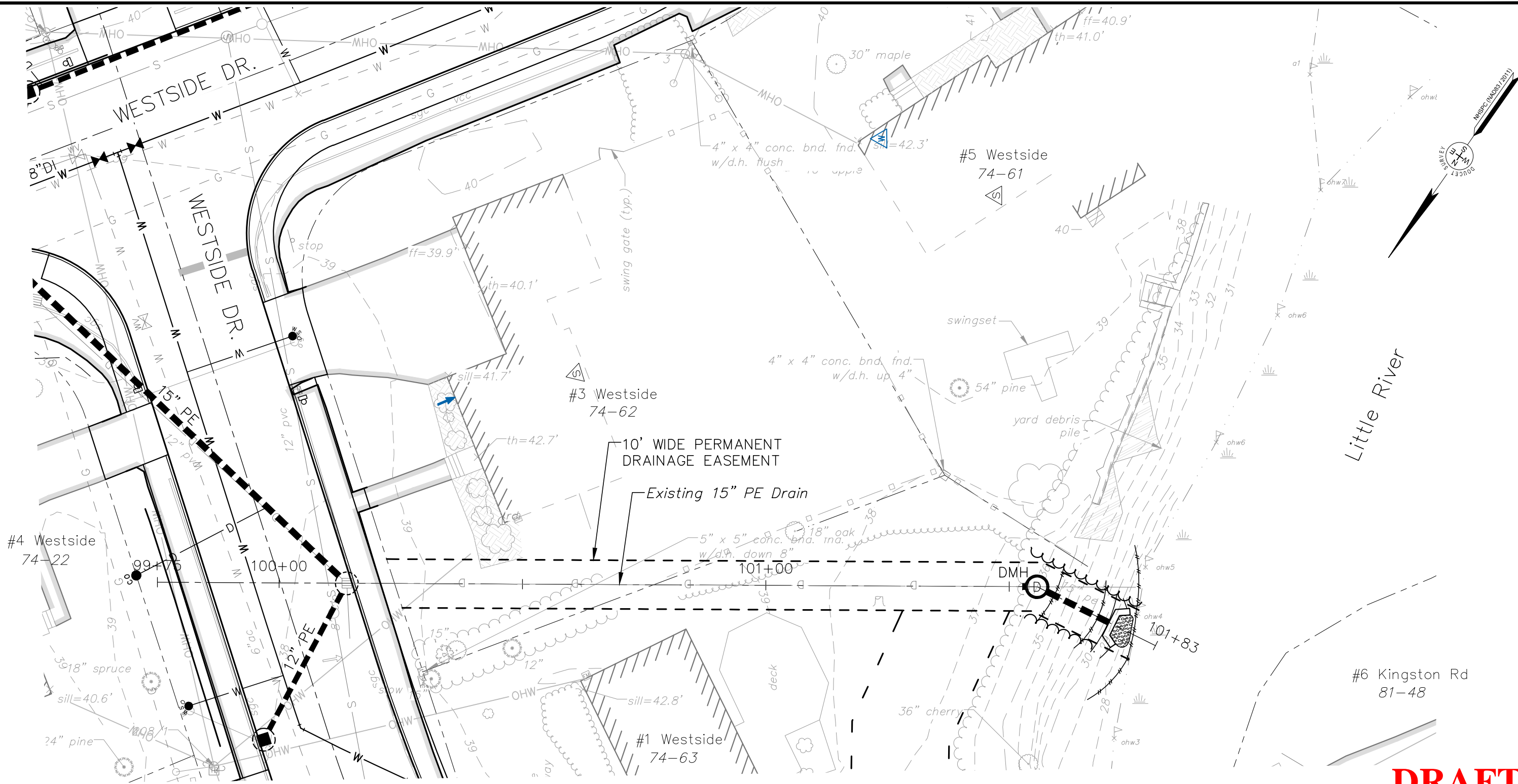
The foregoing instrument was acknowledged before me this _____ day of _____, 2024
by _____ (Grantor)

Justice of the Peace/Notary Public

Printed Name:

My Commission Expires:

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873 Easement - Figs.dwg, 74-62 (E-3), 12/9/2024 1:56:05 PM, .img



DRAFT

NOTES:

- OWNER OF RECORD IS BRIAN T. GRAY, #3 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 5236, PAGE 723.
- INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.



REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:
EASEMENT PLAN TAX MAP 74 LOT 62 Grantee: TOWN OF EXETER, NH PROPERTY N/F OF BRIAN T. GRAY			
			DATE: 12/9/24 JOB NO. 2873 SCALE: 1"=20' DWG NAME: 2873_EASEMENT... PLAN NO.:

DRAFT

UTILITY EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS, that Megan E. and Philip L. Stagnone with a mailing address of #15 Westside Drive, Exeter, New Hampshire 03833, County of Rockingham, State of New Hampshire, (herein "Grantor")

FOR CONSIDERATION PAID in the amount of One Dollar (\$1.00), receipt of which is hereby acknowledged, grant to the **TOWN OF EXETER**, its employees, agents, or assigns acting on behalf of the Town of Exeter, New Hampshire, a municipal body politic, having a mailing address of 10 Front Street, Exeter, New Hampshire, 03833, County of Rockingham, State of New Hampshire (herein referred to as the "Grantee").

WITH QUITCLAIM COVENANTS, the following easement rights with respect to the Grantor's property situated at #15 Westside Drive, Exeter, Rockingham County, New Hampshire (the "Premises"), Assessor's Map 81, Lot 44. Said easements are further bounded and described as follows:

1. Temporary Easement: Conveying to the Grantee the temporary right and privilege to enter onto the land of the Grantor, for the initial purpose of construction of the drainage pipelines in the area shown on the utility easement plan. The Temporary Easement will expire one year following acceptance of the drainage construction by the Town of Exeter.
2. Permanent Easement: The Permanent Easement shall be to the limits shown on the "Easement Plan" based on the actual constructed centerlines of utilities.
3. Purpose and Rights: It is further agreed that within the described Easements, the Grantor convey to the Grantee the perpetual, permanent, uninterrupted, and unobstructed exclusive easement and right of way in, under, across and over the Easement area for the purpose of installing, operating, maintaining, inspecting, removing, repairing, and replacing: the drain line with its associated pipes, catch basins, manholes, and appurtenances; along the length of the drain line. The Grantee shall have the right to remove pavement, trees, bushes, undergrowth, and other obstructions interfering with the activities authorized herein and to take such other actions as may be reasonably necessary, useful or convenient for the enjoyment of the easement rights herein granted.
4. Grantee's Responsibility to Restore: Disturbed areas within the Temporary and Permanent Easement areas shall be backfilled and restored along the length of the drain. Pavement will be replaced in kind and other areas disturbed will be loamed and seeded or restored to existing condition. Any fences removed will be reset.
5. Grantor's Retained Rights: Grantor retains the right to freely use and enjoy its interest in the Permanent Easement Area insofar as the exercise thereof does not endanger or interfere with the purpose of this instrument. Grantor shall not, however, erect any structure within the Permanent Easement area or substantially change the grade or slope, or otherwise restrict access to the drain operated by the Grantee, without prior written consent of the Grantee.
6. Easement to Run with Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land.

DRAFT

7. Recording of Easement: It is the intention of the grantor and grantee that the easement will be permanently defined with metes and bounds including monumentation following construction of the drainage. The Permanent Easement plan will then be recorded at the Rockingham County Registry of Deeds, at the Grantee's expense.

MEANING AND INTENDING to convey an easement over a portion of the premises conveyed to the within Grantor by deed of Megan E. and Philip L. Stagnone dated December 21, 2018, and recorded in Book 5970 Page 2003 of the Rockingham County Registry of Deeds.

DATED this _____ day of _____, 2024.

By: _____
Grantor: Megan E. Stagnone

By: _____
Grantor: Philip L. Stagnone

By: _____
Grantee: Town of Exeter Representative

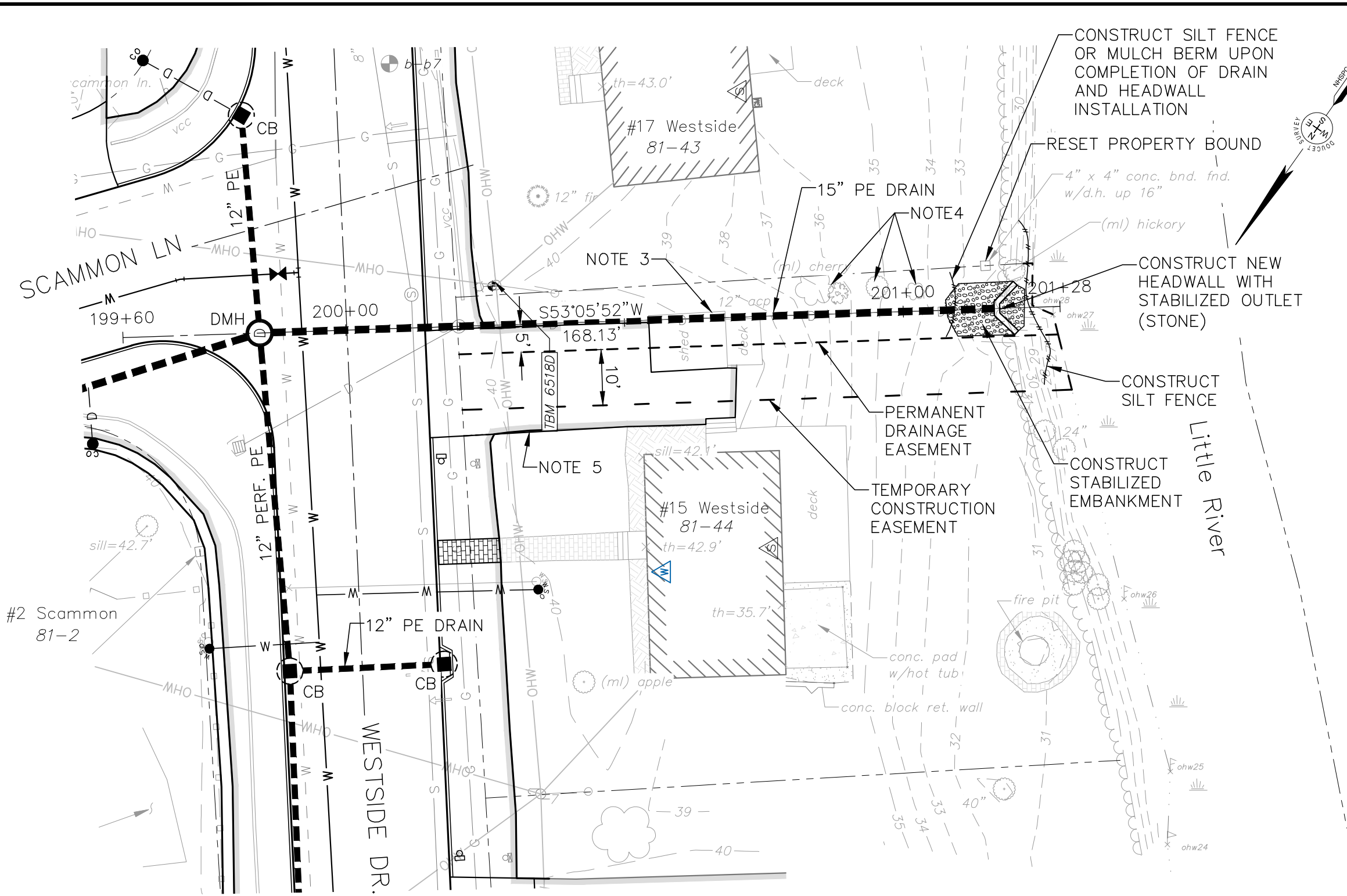
STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this _____ day of _____, 2024
by _____ (Grantor)

Justice of the Peace/Notary Public
Printed Name:

My Commission Expires:

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873 Easement - Figs.dwg, 81-44 (E-15), 12/10/2024 12:38:49 PM.rmg



NOTES:

- OWNER OF RECORD IS MEGAN E. STAGNONE, #15 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 5970, PAGE 2003.
- INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
- RELOCATE SHED (INCLUDE UNDERGROUND ELECTRICAL SERVICE) DURING DRAINAGE INSTALLATION AND RESET IN A LOCATION APPROVED BY THE HOME OWNER.
- REMOVE TREES. REPLACE WITH SPECIES OF HOMEOWNERS CHOICE. UP TO 6 TREES, 3" CALIPER (MAX.).
- RECONSTRUCT DRIVEWAY FOLLOWING COMPLETION OF DRAIN PIPE INSTALLATION, 8" CRUSHED GRAVEL (SURPLUS RAP MAY BE SUBSTITUTED), ITEM 304.3 AND BITUMINOUS PAVEMENT, 3" NOMINAL THICKNESS.
- WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED AREAS ARE STABILIZED, RESTORE LAWN AREA WITH LOAM (4" THICK) TO SMOOTH DISTURBED AREAS. APPLY HYDRAULIC SEED TO FULL WIDTH OF THE EASEMENT AREA.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE WORK IS COMPLETE AND ALL IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.

DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

EASEMENT PLAN
 TAX MAP 81 LOT 44
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 MEGAN E. STAGNONE



DATE: 12/9/24
JOB NO. 2873
SCALE: 1"=20'
DWG NAME: 2873_EASEMENT...
PLAN NO.:

DRAFT

UTILITY EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS, that Brian Hanna and Lianna Nawn with a mailing address of #29 Westside Drive, Exeter, New Hampshire 03833, County of Rockingham, State of New Hampshire, (herein “Grantor”)

FOR CONSIDERATION PAID in the amount of One Dollar (\$1.00), receipt of which is hereby acknowledged, grant to the **TOWN OF EXETER**, its employees, agents, or assigns acting on behalf of the Town of Exeter, New Hampshire, a municipal body politic, having a mailing address of 10 Front Street, Exeter, New Hampshire, 03833, County of Rockingham, State of New Hampshire (herein referred to as the "Grantee").

WITH QUITCLAIM COVENANTS, the following easement rights with respect to the Grantor’s property situated at #29 Westside Drive, Exeter, Rockingham County, New Hampshire (the "Premises"), Assessor’s Map 81, Lot 36. Said easements are further bounded and described as follows:

1. Temporary Easement: Conveying to the Grantee the temporary right and privilege to enter onto the land of the Grantor, for the initial purpose of construction of the drainage pipelines in the area shown on the utility easement plan. The Temporary Easement will expire one year following acceptance of the drainage construction by the Town of Exeter.
2. Permanent Easement: The Permanent Easement shall be to the limits shown on the “Easement Plan” based on the actual constructed centerlines of utilities.
3. Purpose and Rights: It is further agreed that within the described Easements, the Grantor convey to the Grantee the perpetual, permanent, uninterrupted, and unobstructed exclusive easement and right of way in, under, across and over the Easement area for the purpose of installing, operating, maintaining, inspecting, removing, repairing, and replacing: the drain line with its associated pipes, catch basins, manholes, and appurtenances; along the length of the drain line. The Grantee shall have the right to remove pavement, trees, bushes, undergrowth, and other obstructions interfering with the activities authorized herein and to take such other actions as may be reasonably necessary, useful or convenient for the enjoyment of the easement rights herein granted.
4. Grantee's Responsibility to Restore: Disturbed areas within the Temporary and Permanent Easement areas shall be backfilled and restored along the length of the drain. Pavement will be replaced in kind and other areas disturbed will be loamed and seeded or restored to existing condition. Any fences removed will be reset.
5. Grantor’s Retained Rights: Grantor retains the right to freely use and enjoy its interest in the Permanent Easement Area insofar as the exercise thereof does not endanger or interfere with the purpose of this instrument. Grantor shall not, however, erect any structure within the Permanent Easement area or substantially change the grade or slope, or otherwise restrict access to the drain operated by the Grantee, without prior written consent of the Grantee.
6. Easement to Run with Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land.

DRAFT

7. Recording of Easement: It is the intention of the grantor and grantee that the easement will be permanently defined with metes and bounds including monumentation following construction of the drainage. The Permanent Easement plan will then be recorded at the Rockingham County Registry of Deeds, at the Grantee's expense.

MEANING AND INTENDING to convey an easement over a portion of the premises conveyed to the within Grantor by deed of Brian Hanna and Lianna Nawn dated May 28, 2020, and recorded in Book 6121 Page 113 of the Rockingham County Registry of Deeds.

DATED this _____ day of _____, 2024.

By: _____

Grantor: Brian Hanna

By: _____

Grantor: Lianna Nawn

By: _____

Grantee: Town of Exeter Representative

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

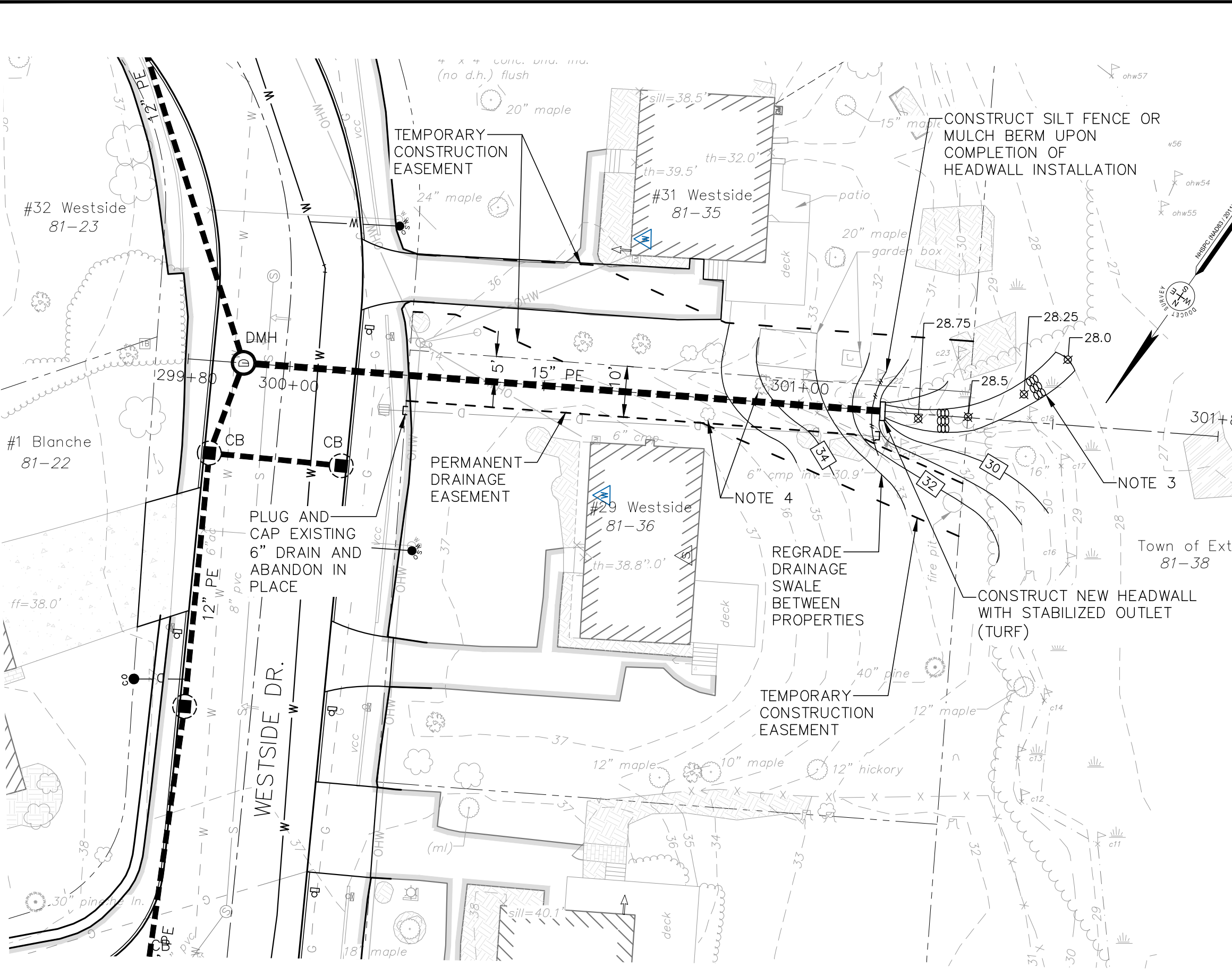
The foregoing instrument was acknowledged before me this _____ day of _____, 2024
by _____ (Grantor)

Justice of the Peace/Notary Public

Printed Name:

My Commission Expires:

H:\Real Numbers\Exeter\2873 - Westside Drive Final Design\CADD\Drawings\Design\2873 Easement - Flus.dwg, 81-36 (E-29), 12/9/2024 1:56:25 PM.mwg



- NOTES:**
- OWNER OF RECORD IS BRIAN HANNA, #29 WESTSIDE DR., EXETER, NH 03833, R.C.R.D BOOK 6121, PAGE 113.
 - INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
 - CONSTRUCT GRASS LINED SWALE. COMPLETE TURF ESTABLISHMENT WITHIN JURISDICTIONAL WETLAND AREAS IMMEDIATELY FOLLOWING GRADING OF AREA AND STABILIZE WITH ROLLED EROSION CONTROL PRODUCT.
 - REMOVE TREES AND/OR SHRUBS. REPLACE WITH SPECIES OF HOMEOWNERS CHOICE, UP TO 3 TREES, 3" CALIPER (MAX.)
 - WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED AREAS ARE STABILIZED, RESTORE LAWN AREA WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF THE EASEMENT AREA.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE WORK IS COMPLETE AND ALL IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.

DRAFT

REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:
<p>EASEMENT PLAN TAX MAP 81 LOT 36 Grantee: TOWN OF EXETER, NH PROPERTY N/F OF BRIAN HANNA</p>			
DATE: 12/9/24		JOB NO. 2873	
SCALE: 1"=20'		DWG NAME: 2873_EASEMENT...	
SCALE: 1 INCH = 20 FT.		PLAN NO.:	



DRAFT

UTILITY EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS, that Kim M. and Anthony Comeau with a mailing address of #77 Westside Drive, Exeter, New Hampshire 03833, County of Rockingham, State of New Hampshire, (herein “Grantor”)

FOR CONSIDERATION PAID in the amount of One Dollar (\$1.00), receipt of which is hereby acknowledged, grant to the **TOWN OF EXETER**, its employees, agents, or assigns acting on behalf of the Town of Exeter, New Hampshire, a municipal body politic, having a mailing address of 10 Front Street, Exeter, New Hampshire, 03833, County of Rockingham, State of New Hampshire (herein referred to as the "Grantee").

WITH QUITCLAIM COVENANTS, the following easement rights with respect to the Grantor’s property situated at #77 Westside Drive, Exeter, Rockingham County, New Hampshire (the "Premises"), Assessor’s Map 74, Lot 26. Said easements are further bounded and described as follows:

1. Temporary Easement: Conveying to the Grantee the temporary right and privilege to enter onto the land of the Grantor, for the initial purpose of construction of the drainage pipelines in the area shown on the utility easement plan. The Temporary Easement will expire one year following acceptance of the drainage construction by the Town of Exeter.
2. Permanent Easement: The Permanent Easement shall be to the limits shown on the “Easement Plan” based on the actual constructed centerlines of utilities.
3. Purpose and Rights: It is further agreed that within the described Easements, the Grantor convey to the Grantee the perpetual, permanent, uninterrupted, and unobstructed exclusive easement and right of way in, under, across and over the Easement area for the purpose of installing, operating, maintaining, inspecting, removing, repairing, and replacing: the drain line with its associated pipes, catch basins, manholes, and appurtenances; along the length of the drain line. The Grantee shall have the right to remove pavement, trees, bushes, undergrowth, and other obstructions interfering with the activities authorized herein and to take such other actions as may be reasonably necessary, useful or convenient for the enjoyment of the easement rights herein granted.
4. Grantee's Responsibility to Restore: Disturbed areas within the Temporary and Permanent Easement areas shall be backfilled and restored along the length of the drain. Pavement will be replaced in kind and other areas disturbed will be loamed and seeded or restored to existing condition. Any fences removed will be reset.
5. Grantor’s Retained Rights: Grantor retains the right to freely use and enjoy its interest in the Permanent Easement Area insofar as the exercise thereof does not endanger or interfere with the purpose of this instrument. Grantor shall not, however, erect any structure within the Permanent Easement area or substantially change the grade or slope, or otherwise restrict access to the drain operated by the Grantee, without prior written consent of the Grantee.
6. Easement to Run with Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land.

DRAFT

7. Recording of Easement: It is the intention of the grantor and grantee that the easement will be permanently defined with metes and bounds including monumentation following construction of the drainage. The Permanent Easement plan will then be recorded at the Rockingham County Registry of Deeds, at the Grantee's expense.

MEANING AND INTENDING to convey an easement over a portion of the premises conveyed to the within Grantor by deed of Kim M. and Anthony Comeau dated October 7, 2015, and recorded in Book 5663 Page 2414 of the Rockingham County Registry of Deeds.

DATED this _____ day of _____, 2024.

By: _____
Grantor: Kim M. Comeau

By: _____
Grantor: Anthony Comeau

By: _____
Grantee: Town of Exeter Representative

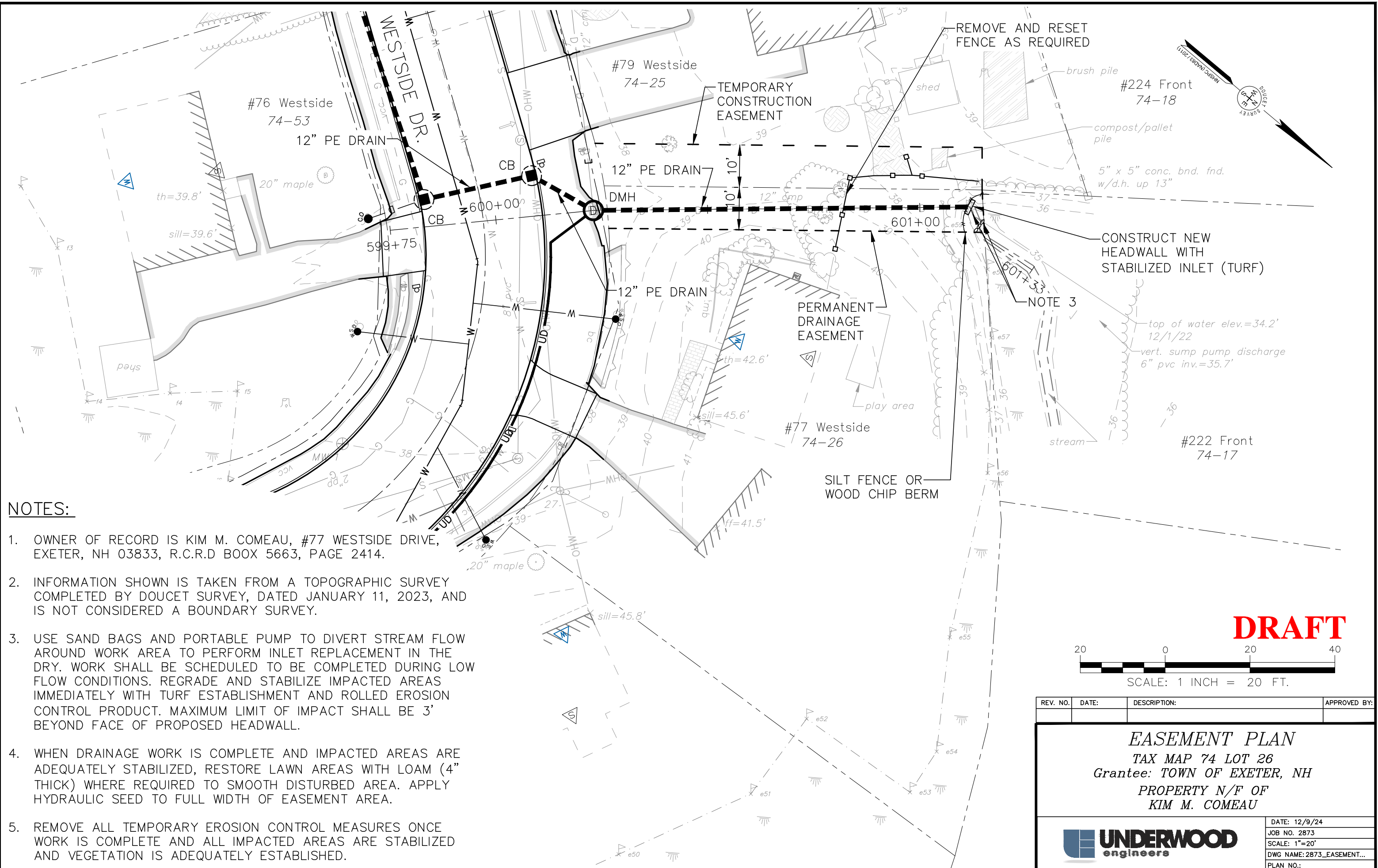
STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this _____ day of _____, 2024
by _____ (Grantor)

Justice of the Peace/Notary Public
Printed Name:

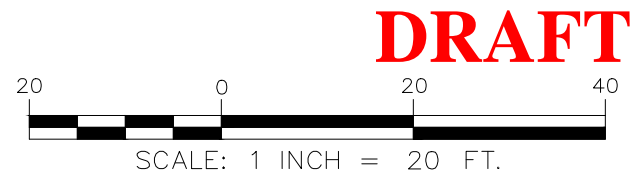
My Commission Expires:

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NOTES:

- OWNER OF RECORD IS KIM M. COMEAU, #77 WESTSIDE DRIVE, EXETER, NH 03833, R.C.R.D BOOX 5663, PAGE 2414.
- INFORMATION SHOWN IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED BY DOUCET SURVEY, DATED JANUARY 11, 2023, AND IS NOT CONSIDERED A BOUNDARY SURVEY.
- USE SAND BAGS AND PORTABLE PUMP TO DIVERT STREAM FLOW AROUND WORK AREA TO PERFORM INLET REPLACEMENT IN THE DRY. WORK SHALL BE SCHEDULED TO BE COMPLETED DURING LOW FLOW CONDITIONS. REGRADE AND STABILIZE IMPACTED AREAS IMMEDIATELY WITH TURF ESTABLISHMENT AND ROLLED EROSION CONTROL PRODUCT. MAXIMUM LIMIT OF IMPACT SHALL BE 3' BEYOND FACE OF PROPOSED HEADWALL.
- WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED AREAS ARE ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF EASEMENT AREA.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE WORK IS COMPLETE AND ALL IMPACTED AREAS ARE STABILIZED AND VEGETATION IS ADEQUATELY ESTABLISHED.



REV. NO.	DATE:	DESCRIPTION:	APPROVED BY:

EASEMENT PLAN
 TAX MAP 74 LOT 26
 Grantee: TOWN OF EXETER, NH
 PROPERTY N/F OF
 KIM M. COMEAU

	DATE: 12/9/24
	JOB NO. 2873
	SCALE: 1"=20'
	DWG NAME: 2873_EASEMENT...
	PLAN NO.:



**US Army Corps
of Engineers**®
New England District

Appendix B

New Hampshire General Permits (GPs) Required Information and Corps Secondary Impacts Checklist

In order for the Corps of Engineers to properly evaluate your application, applicants must submit the following information along with the New Hampshire DES Wetlands Bureau application or permit notification forms. Some projects may require more information. For a more comprehensive checklist, go to <https://www.nae.usace.army.mil/Missions/Regulatory/> “Useful Documents, Forms and Publications” and then “Corps Application Form and Guidance.” Check with the Corps at (978) 318-8832 for project-specific requirements. For your convenience, this Appendix B is also attached to the State of New Hampshire DES Wetlands Bureau application and Permit by Notification forms.

All Projects:

- New Hampshire Department of Environmental Services (DES) Wetlands Permit Application.
- Request for Project Review Form by the New Hampshire Division of Historical Resources (DHR).
<https://www.nh.gov/nhdhr/review/rpr.htm>.
- Photographs of wetland/waterway to be impacted.
- Purpose of the project.
- Legible, reproducible plans no larger than 11”x17” with bar scale. Provide locus map and plan views of the entire property.
- Typical cross-section views of all wetland and waterway fill areas and wetland replication areas.
- In navigable waters, show mean low water (MLW) and mean high water (MHW) elevations. Show the high tide line (HTL) elevations when fill is involved. In other waters, show ordinary high water (OHW) elevation.
- On each plan, show the following for the project:
 - Vertical datum and the NAVD 1988 equivalent with the vertical units as U.S. feet. In coastal waters this may be mean higher high water (MHHW), mean high water (MHW), mean low water (MLW), mean lower low water (MLLW) or other tidal datum with the vertical units as U.S. feet. MLLW and MHHW are preferred. Provide the correction factor detailing how the vertical datum (e.g., MLLW) was derived using the latest National Tidal Datum Epoch for that area, typically 1983-2001.
 - Horizontal state plane coordinates in U.S. survey feet based on the Traverse Mercator Grid system for the State of New Hampshire (Zone 2800) NAD 83.
 - Project limits with existing and proposed conditions.
 - Limits of any Federal Navigation Project in the vicinity of the project area and horizontal State Plane Coordinates in U.S. survey feet for the limits of the proposed work closest to the Federal Navigation Project;
 - Volume, type, and source of fill material to be discharged into waters and wetlands, including the area(s) (in square feet or acres) of fill in wetlands, below the OHW in inland waters and below the HTL in coastal waters.
 - Delineation of all waterways and wetlands on the project site,;
- Use Federal delineation methods and include Corps wetland delineation data sheets (GC 2).
- For activities involving discharges of dredged or fill material into waters of the U.S., include a statement describing how impacts to waters of the U.S. are to be avoided and minimized, and either a statement describing how impacts to waters of the U.S. are to be compensated for (or a conceptual or detailed mitigation plan) or a statement explaining why compensatory mitigation should not be required for the proposed impacts. Please contact the Corps for guidance.



**US Army Corps
of Engineers**®
New England District

**New Hampshire General Permits (GPs)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*		X
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to SAS, special wetlands. Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at https://www2.des.state.nh.us/nhb_datacheck/ . The book Natural Community Systems of New Hampshire also contains specific information about the natural communities found in NH.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?	N/A	
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	0 SF	
2.7 What is the area of the proposed fill in wetlands?	0 SF	
2.8 What is the % of previously and proposed fill in wetlands to the overall project site?	N/A	
3. Wildlife	Yes	No
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: https://www2.des.state.nh.us/nhb_datacheck/ USFWS IPAC website: https://ecos.fws.gov/ipac/location/index		X

3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> • PDF: https://wildlife.state.nh.us/wildlife/wap-high-rank.html. • Data Mapper: www.granit.unh.edu. • GIS: www.granit.unh.edu/data/downloadfreedata/category/databycategory.html. 		×
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		×
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?		×
3.5 Are stream crossings designed in accordance with the GC 21?	N/A	
4. Flooding/Floodplain Values	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?		×
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?	N/A	
5. Historic/Archaeological Resources		
For a minimum, minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 11 GC 8(d) of the GP document** R&C#: 16202	×	

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

** If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.

Westside Drive Drainage, Water & Roadway Improvements
Exeter, New Hampshire

Project Purpose

January 24, 2025

Purpose of the Project:

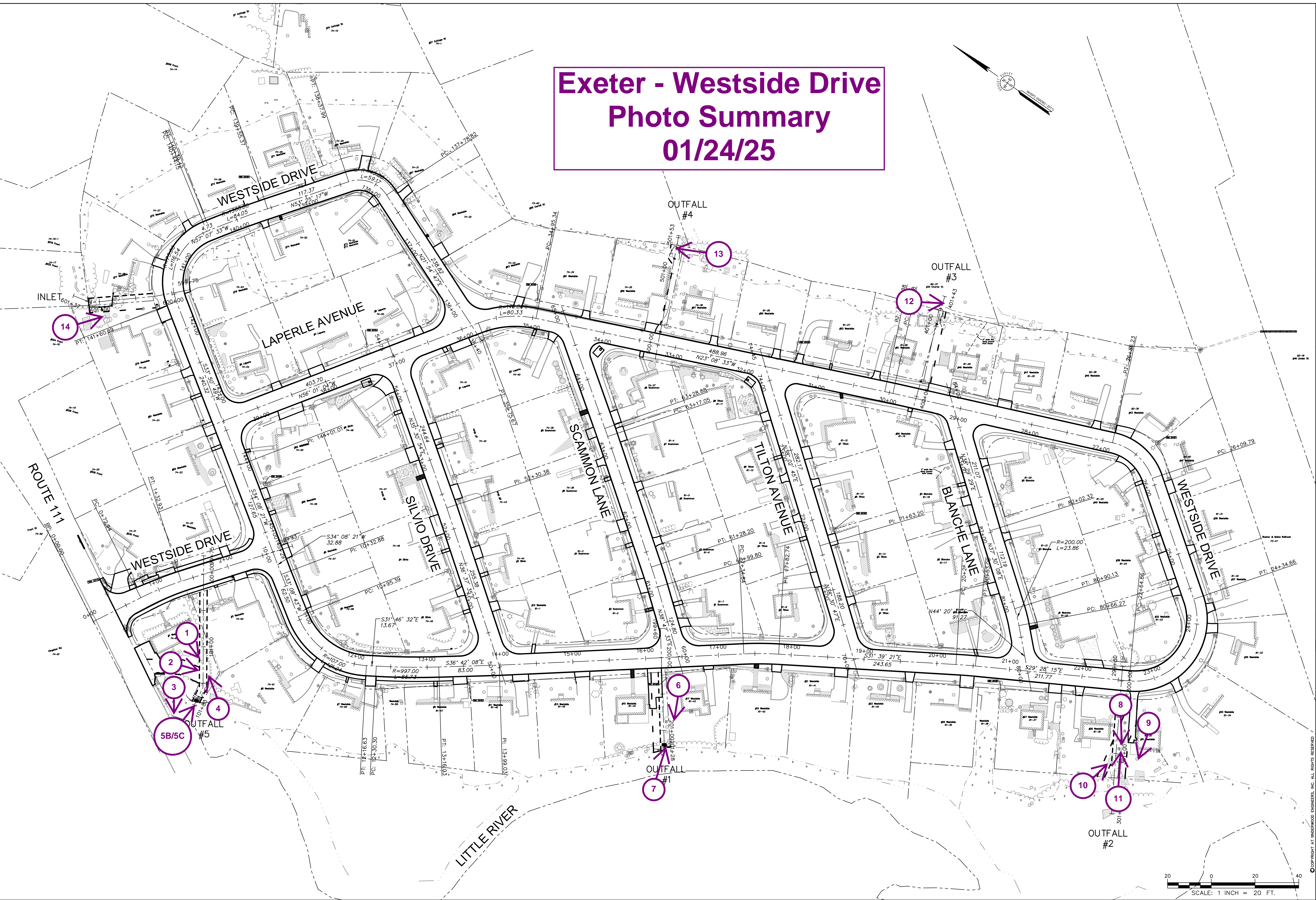
The Westside Drive residential neighborhood was developed in the mid to late 1960's. The existing infrastructure is assumed to be original to the neighborhood, and includes municipal sewer (8" PVC), water (8" AC), a closed drainage system (6", 12", and 15" CMP) in select areas, and private gas, electric and cable utilities. Given the existing drainage and water systems are mostly corrugated metal and asbestos cement pipe and have gone beyond their design life, replacement is desired.

Residents have reported ponding in yards and driveway areas, leading to basement flooding. The proposed drainage improvements will extend the limited existing system into the entire neighborhood to help convey stormwater run-off from areas susceptible to ponding. Underdrains are proposed in select areas to help control high groundwater conditions. Roadway reconstruction and profile modifications will convey run-off to the new catch basins and help keep runoff within the limits of the paved roadway.

As noted in the project description, the neighborhood has multiple existing piped discharge points. Some of these locations are largely non-functional due to outlet elevations and others are in disrepair. The proposed work will abandon the discharge points which are non-functional and improve existing locations to remain.

As part of the stormwater SRF Funding, a stormwater treatment unit is proposed to reduce stormwater pollutant loadings to the Little River. Additionally, a 40% reduction in impervious pavement will help to enhance water quality and decrease overall runoff in the neighborhood.

Exeter - Westside Drive Photo Summary 01/24/25



<p>Drawn/Chk. — RMG</p> <p>Designed —</p> <p>Checked —</p> <p>Approved —</p> <p>Date: 10/16/2023</p> <p>Book No. —</p> <p>Project No. 2873</p> <p>Dwg. ID 2873_Ginexel</p> <p>Scale AS SHOWN</p>	<p>ISSUE FOR APPROVAL</p> <p>By</p> <p>CONSTRUCTION</p> <p>By</p> <p>RECORD DRAWING</p> <p>By</p>						
<p>PRELIMINARY OCTOBER, 2023 NOT FOR CONSTRUCTION</p>							
<p>UNDERWOOD engineers</p> <p>25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733</p>							
<p>BASELINE LAYOUT WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH</p>							
<p>DWG NO CB</p>	<p>SHEET 9 OF 64</p>						
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>APP'D</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	REVISIONS	APP'D			
NO.	REVISIONS	APP'D					

H:\1000\Drawings\2873 - Westside Drive Final Design\CADD\Drawings\2873_Ginexel.dwg, 10/16/2023 12:45:58 PM

©COPYRIGHT BY UNDERWOOD ENGINEERS, INC. ALL RIGHTS RESERVED.

SCALE: 1 INCH = 20 FT.



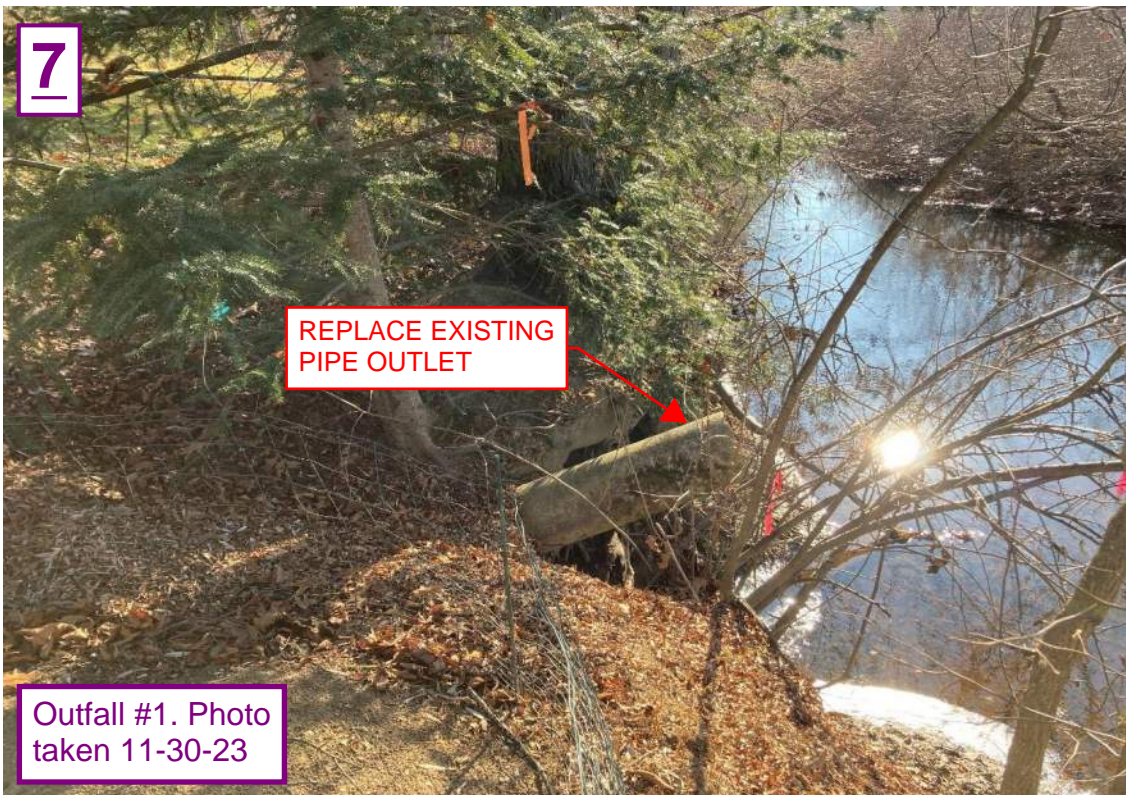


Outfall #5 facing SW.
Photo taken 11-30-23



Outfall #5 facing NE.
Photo taken 11-30-23







8

Outfall #2 facing SW.
Photo taken 11-30-23



9

Outfall #2 facing SW.
Photo taken 11-30-23





14



Inlet facing SE. Photo taken 10-21-20



AVOIDANCE AND MINIMIZATION
WRITTEN NARRATIVE
Water Division/Land Resources Management
Wetlands Bureau
[Check the Status of your Application](#)



RSA/ Rule: RSA 482-A/ Env-Wt 311.04(j); Env-Wt 311.07; Env-Wt 313.01(a)(1)b; Env-Wt 313.01(c)

APPLICANT'S NAME: **Town of Exeter**

TOWN NAME: **Exeter, NH**

An applicant for a standard permit shall submit with the permit application a written narrative that explains how all impacts to functions and values of all jurisdictional areas have been avoided and minimized to the maximum extent practicable. This attachment can be used to guide the narrative (attach additional pages if needed). Alternatively, the applicant may attach a completed [Avoidance and Minimization Checklist \(NHDES-W-06-050\)](#) to the permit application.

SECTION 1 - WATER ACCESS STRUCTURES (Env-Wt 311.07(b)(1))

Is the primary purpose of the proposed project to construct a water access structure?

No

SECTION 2 - BUILDABLE LOT (Env-Wt 311.07(b)(1))

Does the proposed project require access through wetlands to reach a buildable lot or portion thereof?

No

SECTION 3 - AVAILABLE PROPERTY (Env-Wt 311.07(b)(2))*

For any project that proposes permanent impacts of more than one acre, or that proposes permanent impacts to a PRA, or both, are any other properties reasonably available to the applicant, whether already owned or controlled by the applicant or not, that could be used to achieve the project's purpose without altering the functions and values of any jurisdictional area, in particular wetlands, streams, and PRAs?

**Except as provided in any project-specific criteria and except for NH Department of Transportation projects that qualify for a categorical exclusion under the National Environmental Policy Act.*

The project does not propose permanent impacts to more than one acre of a PRA.

SECTION 4 - ALTERNATIVES (Env-Wt 311.07(b)(3))

Could alternative designs or techniques, such as different layouts, different construction sequencing, or alternative technologies be used to avoid impacts to jurisdictional areas or their functions and values as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization?](#)

No alternative design or technique will avoid impacting jurisdictional wetland areas. Alternate locations considered would impact the jurisdictional wetland areas or wooded areas more than the current design by creating new discharge locations. The selected drainage outlet locations align with existing outlets and do not create additional or new discharge locations. The proposed placement of the outlet is considered the best design because they align with existing discharge locations and impacts to the jurisdictional wetlands will be minimized since no or limited dredging is required to convey discharge flows. The intent is for the inverts to generally match the bottom of the bank at the outlets to the Little River. Other locations would require additional grading to construct a new outlet.

Additionally, as shown on Sheets U14 and U15 of the provided Drawings, proposed structures and outlet locations for outlets #1 and #5 are located outside jurisdictional wetlands. These areas are included as part of this permit application and are intended to provide a buffer for temporary impacts for up to 5' beyond limit of proposed work.

SECTION 5 - CONFORMANCE WITH Env-Wt 311.10(c) (Env-Wt 311.07(b)(4))**

How does the project conform to Env-Wt 311.10(c)?

***Except for projects solely limited to construction or modification of non-tidal shoreline structures only need to complete relevant sections of Attachment A.*

The project will limit the impact to wetland areas as much as possible by using existing outlet locations, some of which are outside jurisdictional wetland areas.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

To: Allison Rees, Underwood Engineers
99 North State Street
Concord, NH 03301
arees@underwoodengineers.com

From: NHB Review
NH Natural Heritage Bureau
Main Contact: Ashley Litwinenko - nhbreview@dncr.nh.gov

cc: NHFG Review

Date: 06/11/2024 (valid until 06/11/2025)

Re: DataCheck Review by NH Natural Heritage Bureau and NH Fish & Game

Permits: NHDES - Shoreland Standard Permit, NHDES - Utility activities in rights-of-way Permit by Notification (PBN), NHDES - Utility Statutory Permit by Notification (SPN), USACE - General Permit

NHB ID: NHB24-1663

Town: Exeter

Location: Westside Drive area

Project Description: Drainage system and water main replacement, roadway reconstruction. Drainage improvements will provide stormwater controls and treatment, with reduction of pollutant sources including nitrogen, phosphorus, and sediment. All disturbance will be within an existing footprint. Drainage outfall pipes will be replaced in kind.

Next Steps for Applicant:

NHB's database has been searched for records of rare species and exemplary natural communities. Please carefully read the comments and consultation requirements below.

NHB Comments: No comments at this time.

NHFG Comments: Please refer to NHFG consultation requirements below.

NHB Consultation

If this NHB DataCheck letter includes records of rare plants and/or natural communities/systems, please contact NHB and provide any requested supplementary materials by emailing nhbreview@dncr.nh.gov.

If this NHB DataCheck letter DOES NOT include any records of rare plants and/or natural communities/systems, no further consultation with NHB is required.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NH Fish and Game Department Consultation

If this NHB DataCheck letter DOES NOT include ANY wildlife species records, then, based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

If this NHB DataCheck letter includes a record for a threatened (T) or endangered (E) wildlife species, consultation with the New Hampshire Fish and Game Department under Fis 1004 may be required. To review the Fis 1000 rules (effective February 3, 2022), please go to <https://www.wildlife.nh.gov/wildlife-and-habitat/nongame-and-endangered-species/environmental-review>. All requests for consultation and submittals should be sent via email to NHFGreview@wildlife.nh.gov or can be sent by mail, and **must include the NHB DataCheck results letter number and "Fis 1004 consultation request" in the subject line.**

If the NHB DataCheck response letter does not include a threatened or endangered wildlife species but includes other wildlife species (e.g., Species of Special Concern), consultation under Fis 1004 is not required; however, some species are protected under other state laws or rules, so coordination with NH Fish & Game is highly recommended or may be required for certain permits. While some permitting processes are exempt from required consultation under Fis 1004 (e.g., *statutory permit by notification, permit by rule, permit by notification, routine roadway registration, docking structure registration, or conditional authorization by rule*), coordination with NH Fish & Game may still be required under the rules governing those specific permitting processes, and it is recommended you contact the applicable permitting agency. For projects not requiring consultation under Fis 1004, but where additional coordination with NH Fish and Game is requested, please email NHFGreview@wildlife.nh.gov, and include the NHB DataCheck results letter number and "review request" in the email subject line.

Contact NH Fish & Game at (603) 271-0467 with questions.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB Database Records:

The following record(s) have been documented in the vicinity of the proposed project.
Please see the map and detailed information about the record(s) on the following pages.

Vertebrate species	State ¹	Federal	Notes
American Eel (<i>Anguilla rostrata</i>)*	SC	--	Contact the NH Fish & Game Dept (see above).
Wood Turtle (<i>Glyptemys insculpta</i>)	SC	--	Contact the NH Fish & Game Dept (see below).

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

An asterisk (*) indicates that the most recent report for that occurrence was 20 or more years ago.

For all animal reviews, refer to 'IMPORTANT: NHFG Consultation' section above.

Disclaimer: NHB's database can only tell you of known occurrences that have been reported to NHFG/NHB. Known occurrences are based on information gathered by qualified biologists or members of the public, reported to our offices, and verified by NHB/NHFG.

However, many areas have never been surveyed, or have only been surveyed for certain species.

NHB recommends surveys to determine what species/natural communities are present onsite.

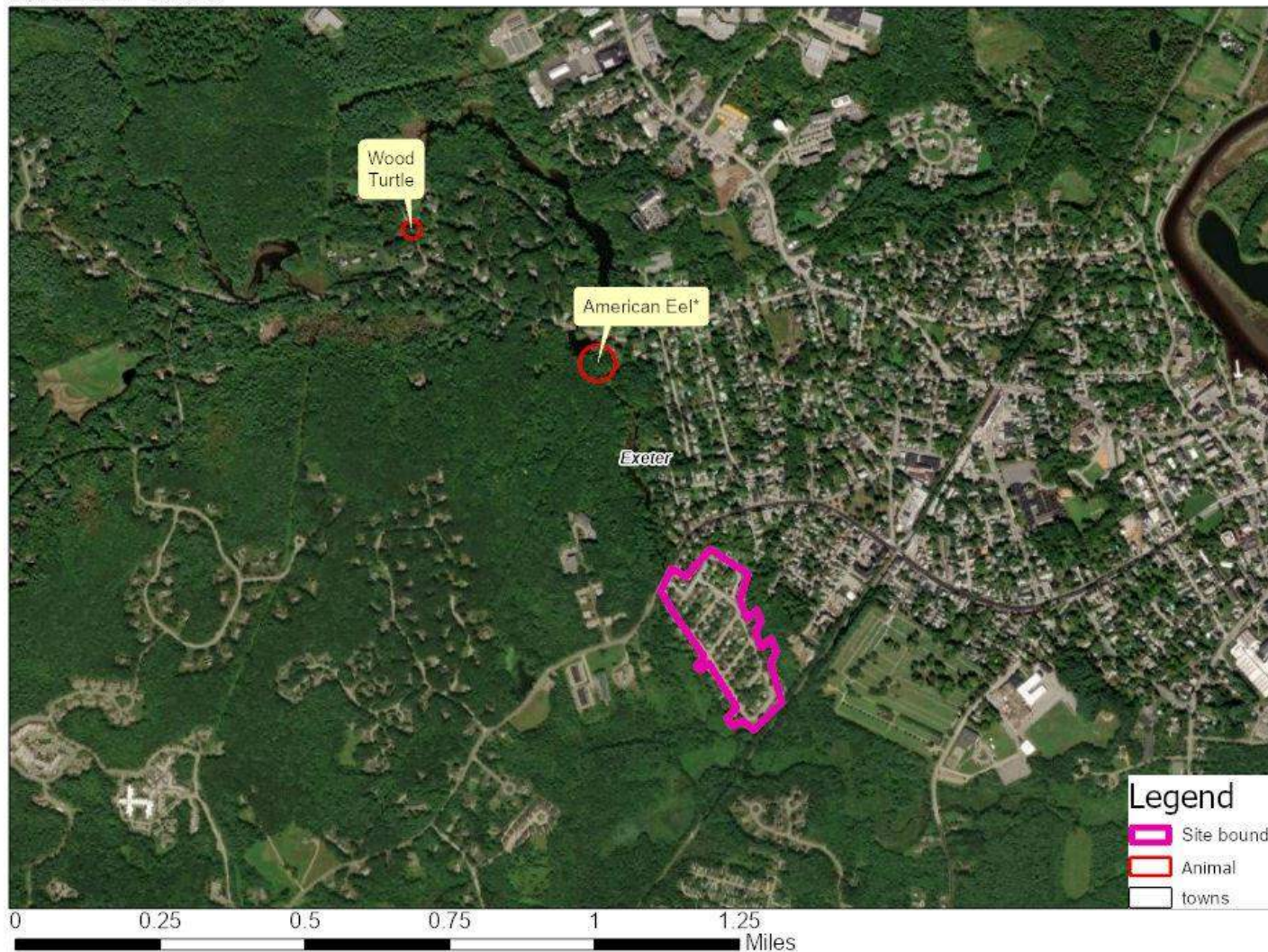


NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB24-1663



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB24-1663

EOCODE:

AFCEA01010*025*NH

New Hampshire Natural Heritage Bureau - Animal Record

American Eel (*Anguilla rostrata*)

Legal Status

Federal: Not listed
State: Special Concern

Conservation Status

Global: Apparently secure but with cause for concern
State: Rare or uncommon

Description at this Location

Conservation Rank: Not ranked
Comments on Rank: --

Detailed Description: 1984: Area 13238: 11 observed.

General Area: --

General Comments: --

Management: --

Comments:

Location

Survey Site Name: Little River - Exeter River

Managed By:

County: Rockingham

Town(s): Exeter

Size: 1.9 acres

Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1984: Little River

Dates documented

First reported: 1984-10-23

Last reported: 1984-10-23

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.

NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB24-1663

EPCODE:

ARAAD02020*285*NH

New Hampshire Natural Heritage Bureau - Animal Record

Wood Turtle (*Glyptemys insculpta*)

Legal Status

Federal: Not listed
State: Special Concern

Conservation Status

Global: Imperiled due to rarity or vulnerability
State: Rare or uncommon

Description at this Location

Conservation Rank: Not ranked
Comments on Rank: --

Detailed Description: 2016: Area 14224: 1 adult observed, sex unknown.

General Area: 2016: Area 14224: Crossing road from residential area to wooded/shrubby area.

General Comments: --

Management: --

Comments:

Location

Survey Site Name: Colcord Pond, west of
Managed By:

County: Rockingham

Town(s): Exeter

Size: .4 acres

Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2016: Area 14224: Garrison Lane, Exeter.

Dates documented

First reported: 2016-06-28

Last reported: 2016-06-28

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.

Tyler Stanley

From: Fitzgibbons, Patrick <Patrick.H.Fitzgibbon@wildlife.nh.gov>
Sent: Friday, July 5, 2024 3:48 PM
To: Allison Rees
Cc: FGC: NHFG review; Lewis, Eben
Subject: NHB24-1663 Westside Drive Area Exeter
Attachments: American Eel.pdf; Wood Turtle Flyer_2024 revision.pdf

Good afternoon Allison,

New Hampshire Fish and Game has completed review of materials submitted for consultation for NHB24-1663 on 7/5/2024 (site plans dated January 2024) prepared by Allison Rees and Underwood Engineers. The project involves drainage system and water main replacement and roadway reconstruction. All disturbance will be within an existing footprint. The site is located around Westside Drive in Exeter, NH.

Permit applications associated with this project:

(note if you apply for other permits not listed below, you must notify NHFG and request a response to see if recommendations provided below can be applied to other permit applications. All anticipated permits that may be required or will be applied for MUST be identified on the NHB datacheck results letter or the NHB letter is not considered valid and cannot be applied to a consultation/permit application review).

NHDES- Shoreland Standard Permit

NHDES- Utility activities in rights-of-way (PBN)

NHDES- Utility Statutory Permit by Notification (SPN)

For Species of Special Concern only, use:

Incorporation of NHFG recommendations is not required for Species of Special Concern; however, Wood Turtle are protected under other state laws or rules, and incorporation of recommendations is highly recommended or may be required for certain permits. Applicants would still be responsible for any actions that may result in the take of this species. **The recommendations below should be incorporated into site plans below the Permit Conditions aforementioned in order to help minimize potential take to rare wildlife species.** If not incorporated and impacts to this species were to occur, applicants may be legally liable for take.

Recommended Additional Wildlife Protection for Species of Special Concern:

1. **Wood Turtle (Special Concern) and American Eel (Special Concern) occur within the vicinity of the project area. All operators and personnel working on or entering the site should be made aware of the potential presence of this species and should be provided flyers that help to identify this species, along with NHFG contact information. *Include attached flyer to plan sheet set.***
2. **All manufactured erosion and sediment control products, with the exception of turf reinforcement mats, utilized for, but not limited to, slope protection, runoff diversion, slope interruption, perimeter control, inlet protection, check dams, and sediment traps shall not contain plastic, or multifilament or monofilament polypropylene netting or mesh with an opening size of greater than 1/8 inches. See Plan Sheet xxxxxx**
3. **Turtles may be attracted to disturbed ground during nesting season. Turtle nesting season occurs approximately May 15th – June 30th. All turtle species nests and northern black racer nests are protected by NH laws. If a nest**

is observed or suspected, operators shall contact NHFG immediately for further consultation. The nest or suspected nest shall be marked (surrounding roped off or cone buffer deployed) and avoided; this shall be communicated to all personnel onsite. Site activities shall not occur in the area surrounding the nest or suspected nest until further guidance is provided by NHFG.

4. All observations of threatened or endangered species on the project site shall be reported immediately to the NHFG nongame and endangered wildlife environmental review program by phone at 603-271-2461 and by email at NHFGreview@wildlife.nh.gov, with the email subject line containing the NHB DataCheck tool results letter assigned number, the project name, and the term Wildlife Species Observation.
5. Photographs of the observed species and nearby elements of habitat or areas of land disturbance shall be provided to NHFG in digital format at the above email address for verification, as feasible.
6. In the event a threatened or endangered species is observed on the project site during the term of the permit, the species shall not be disturbed, handled, or harmed in any way prior to consultation with NHFG and implementation of corrective actions recommended by NHFG.
7. Site operators shall be allowed to relocate wildlife encountered if discovered within the active work zone if in direct harm from project activities. Wildlife shall be relocated in close proximity to the capture location but outside of the work zone and in the direction the individual was heading. NHFG shall be contacted immediately if this action occurs.
8. The NHFG, including its employees and authorized agents, shall have access to the property during the term of the permit. , along with NHFG contact information. Include attached flyer to plan sheet set.

NHFG has completed our review of materials submitted for consultation under FIS 1004. No further coordination with NHFG is requested at this time. Please note that additional or a new consultation

Patrick Fitzgibbons
Wildlife Biologist
NH Fish and Game Department
Wildlife Division
Concord, NH 03301
603-271-3017

New Hampshire Fish and Game requirements for environmental review consultation can be found at: https://gencourt.state.nh.us/rules/state_agencies/fis1000.html. ALL requests for consultation and submittals should be sent via email to NHFGreview@wildlife.nh.gov or can be sent hardcopy by mail. **The NHB datacheck results letter number needs to be included in the email subject line to read as "NHBxx-xxxx_Project Name_FIS 1004 Consultation Submittal"**.

The requirements for consultation (Fis 1004) shall not apply to the following: statutory permit by notification, permit by rule, permit by notification, routine roadway registration, docking structure registration, or conditional authorization by rule. Review requests for these projects or other project types should be submitted to NHFGreview@wildlife.nh.gov or can be sent hardcopy by mail – email or mail subject line for these review requests should read **"NHBxx-xxxx_Project Name_ Env. Review Request"**.

Please provide shapefiles/KMZ/KMLs of the project site (and relevant features if applicable) with your submittal.
Review statements provided in the NHB Datacheck Results letter for additional guidance.

From: Allison Rees <arees@underwoodengineers.com>

Sent: Friday, June 14, 2024 1:33 PM

To: FGC: NHFG review <NHFGreview@wildlife.nh.gov>

Subject: Informal Review Request - Exeter Westside Drive Area Reconstruction

EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.

Good afternoon,

We have received results of an NHB datacheck (NHB24-1663 attached) that include 2 species of special concern – the american eel and the wood turtle. Neither species is noted within the project area of the Westside Drive residential neighborhood in Exeter, but they have been noted to the north of the project.

The project involves utility replacement (drainage system and water mains) within the residential development and roadway reconstruction. The drainage system improvements includes adding some pollutant removal measures to reduce phosphorous, TSS, and nitrogen where possible, and replacement of the existing outfalls to the Little River. I have attached plans which detail the work. The plan sheets that address the outfall replacements are attached. I've also attached photos.

A Shoreland PBN and a wetlands SPN is required for this project. There will be approximately 1,200 SF of wetlands disturbance for outfall pipe replacement.

Please let me know if you have any questions or need more information when completing your review.

Thank you,
Allison



Allison M. Rees, P.E. (NH)

Project Manager

Underwood Engineers, Inc.

Office 603-230-9898

www.underwoodengineers.com

Welcome to our new look!

UE has created a new look as a renewed commitment to our quality service.

We are still the same people that we've always been and the same Underwood Engineers. This new logo and organizational improvements support our ongoing growth to serve you better, while staying true to who we are.

We look forward to continuing to serve you.

Wood Turtle

New Hampshire State Species of Special Concern

Contact NHFG Wildlife Biologists (grout text preferred) if observed within your project site:
Melissa Winters 603-479-1129 and Josh Megyesy 978-578-0802

- Turtles may be attracted to disturbed ground during nesting season (May 15th – June 30th)
- Turtles are most active from April 15th - October 15th



Identifying traits

- Neck and forelimbs are orange.
- Characterized by its highly sculpted shell with each large scute taking on an irregular pyramidal shape.
- Adults can be 5-8 inches long.

Habitat Use

- wooded areas near streams
- uplands surrounding streams



NOTE: It is illegal to remove a wood turtle from the wild.

Immediately report nesting turtles, suspected nesting turtles or suspected nest sites to NHFG Wildlife Biologists.

All other observations of this species shall be reported to NH Fish & Game via email at NHFGReview@wildlife.nh.gov. Include in the email subject line: NHBxx-xxxx, Project name, Wildlife Observation". *Photo documentation, location and date/time of observation is helpful.*



State laws pertaining to this species RSA 207:1, FIS 804.02, Fis 1401.03 (a)

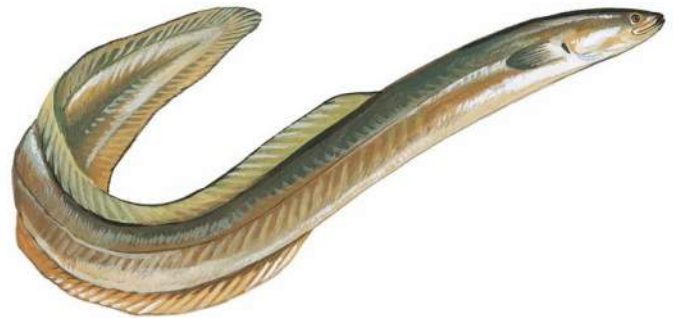
American Eel

(Anguilla rostrata)

New Hampshire Species of Concern



- Long, slender snake-like fish with thick, slimy skin
- Small mouth and tiny scales
- Has one continuous fin that runs the length of the eel's body and wraps around the tail
- Found in almost any freshwater habitat that can be accessed from the ocean



Immediately report sightings to NH Fish and Game

Melissa Winters (603-479-1129) or

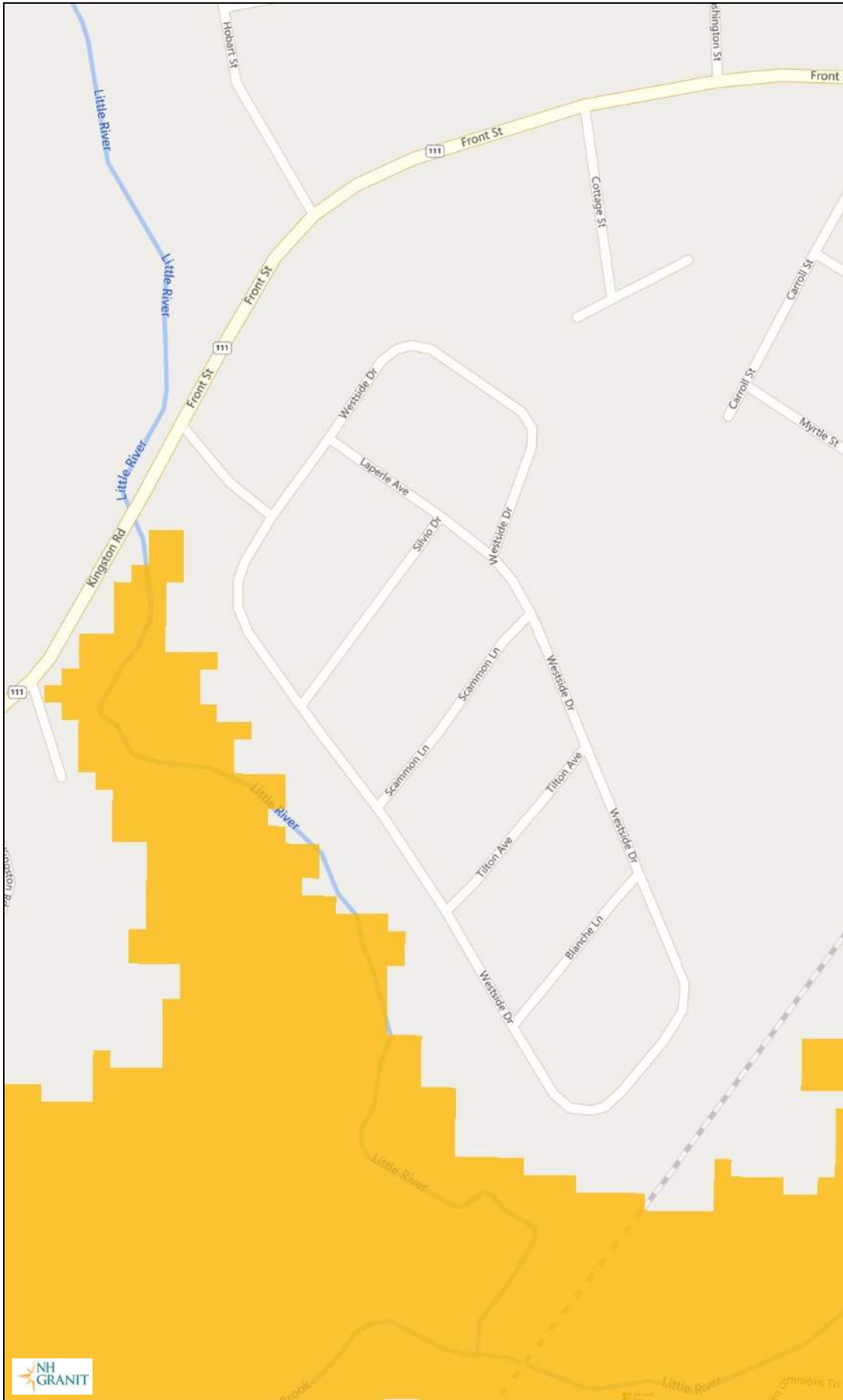
Josh Megyesy (978-578-0802)

Please report promptly, noting specific location and date

Photographs strongly encouraged



NH GRANIT - Highest Ranked Habitat



Legend

- State
- County
- City/Town
- WAP 2020: Highest Ranked Wildlife Habitat
 - 1 Highest Ranked Habitat in NH
 - 2 Highest Ranked Habitat in Region
 - 3 Supporting Landscape

Map Scale

1: 3,247

© NH GRANIT, www.granit.unh.edu

Map Generated: 1/2/2025



Notes



NH GRANIT - Little River Floodplain



Legend

- State
- County
- City/Town
- Flood Hazard Zones**
 - 1% Annual Chance Flood Hazard
 - Regulatory Floodway
 - Special Floodway
 - Area of Undetermined Flood Hazard
 - 0.2% Annual Chance Flood Hazard
 - Future Conditions 1% Annual Chance Flood Hazard
 - Area with Reduced Risk Due to Levee
 - Area with Risk Due to Levee

Map Scale

1: 3,247

© NH GRANIT, www.granit.unh.edu

Map Generated: 1/2/2025



Notes



Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
172 Pembroke Road, Concord, NH 03301

RECEIVED JUN 14 2024

DHR Use Only	
R&C #	16202
Log In Date	6/14/24
Response Date	6/24/24
Sent Date	6/25/24

Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal
 This is additional information relating to DHR Review & Compliance (R&C) #:

GENERAL PROJECT INFORMATION
Project Title Westside Drive Area Drainage, Water, and Roadway Improvements
Project Location Multiple Streets including Westside Drive
City/Town Exeter Tax Map N/A Lot # N/A
NH State Plane - Feet Geographic Coordinates: Easting 1171614.4 Northing 174369.5 (See RPR Instructions and R&C FAQs for guidance.)
Lead Federal Agency and Contact (if applicable) (Agency providing funds, licenses, or permits) Permit Type and Permit or Job Reference #
State Agency and Contact (if applicable) NHDES Wastewater Bureau, Beth Malcolm Permit Type and Permit or Job Reference # Environmental Review
APPLICANT INFORMATION
Applicant Name Town of Exeter
Mailing Address 10 Front Street Phone Number
City Exeter State NH Zip 03833 Email pvlasich@exeternh.gov
CONTACT PERSON TO RECEIVE RESPONSE
Name/Company Underwood Engineers, Allison Recs
Mailing Address 99 North State Street Phone Number 603-230-9898
City Concord State NH Zip 03301 Email arees@udnerwoodengineers.com

This form is updated periodically. Please download the current form at <https://www.nhdhr.dncr.nh.gov/project-review/project-review-compliance/requests-project-review>. Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. Please include a self-addressed stamped envelope. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: <https://www.nhdhr.dncr.nh.gov/project-review/project-review-compliance/requests-project-review> or contact the R&C Specialist at Elizabeth.A.Schneible@dncr.nh.gov or 603-271-2813.

PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- Attach the Project Mapping *using EMMIT or relevant portion of a 7.5' USGS Map. (See RPR Instructions and R&C FAQs for guidance.)*
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) *(Informative photo captions are requested.)*
- A DHR records search must be conducted to identify properties within or adjacent to the project area. Provide records search results via EMMIT or in Table 1. *(Blank table forms are available on the DHR website.) Please note, using EMMIT Guest View for an RPR records search does not provide the necessary information needed for DHR review.*
EMMIT or in-house records search conducted on 05/29/2024

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area? Yes No
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s):

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity? Yes No
If yes, submit all of the following information:

- Description of current and previous land use and disturbances.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

- Insufficient information to initiate review. Additional information is needed in order to complete review.
- No Potential to cause Effects No Historic Properties Affected No Adverse Effect Adverse Effect

Comments: Please contact the DHR if public concerns
are raised regarding impacts to historic
properties.

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: Jacobi Miller, DSHR Date: 6/24/24

TOWN OF EXETER, NH

90% DESIGN DRAWINGS



WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS

PREPARED BY
UNDERWOOD ENGINEERS
PORTSMOUTH, NEW HAMPSHIRE
NOVEMBER, 2024

PRELIMINARY
11/6/2024
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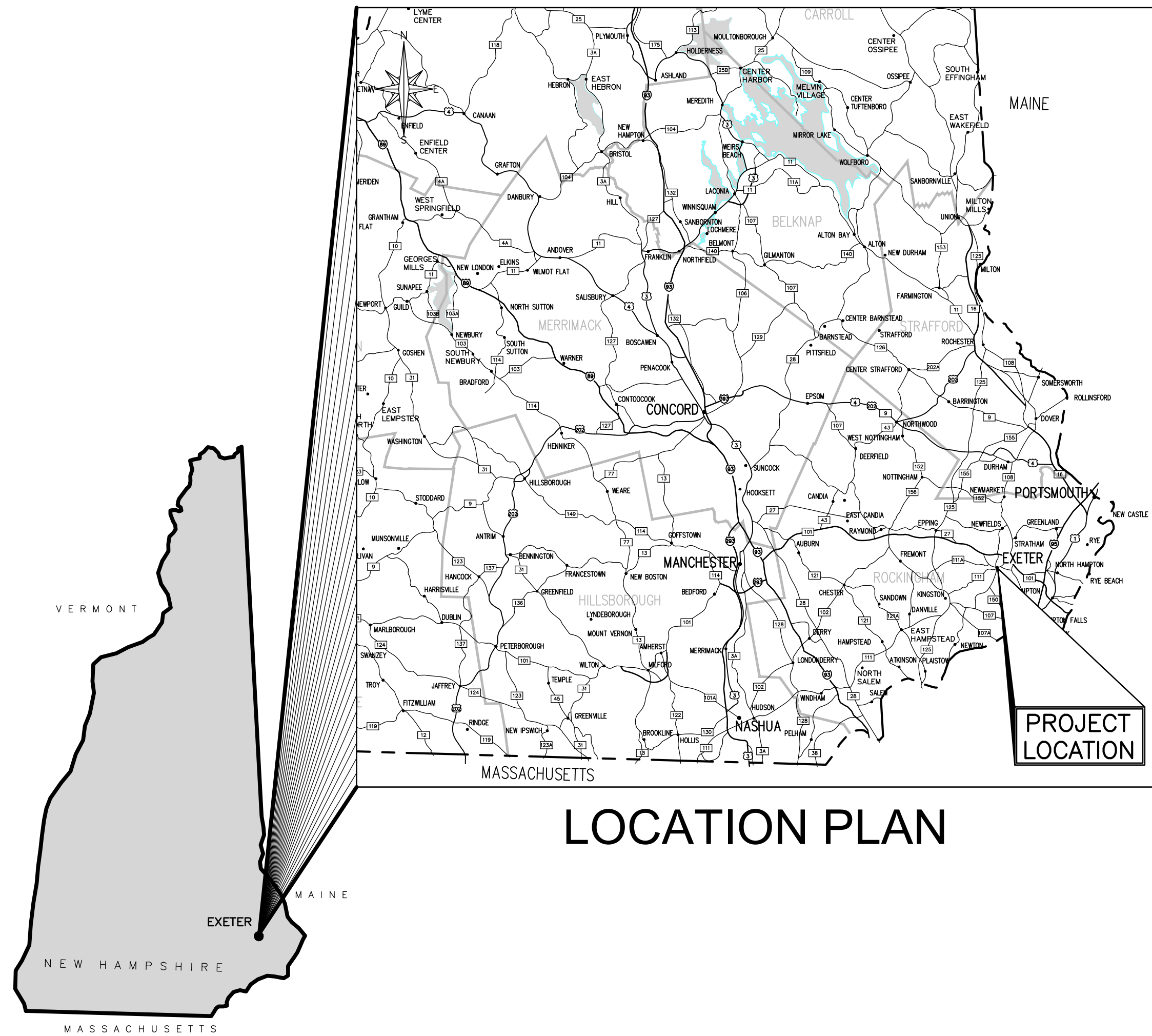
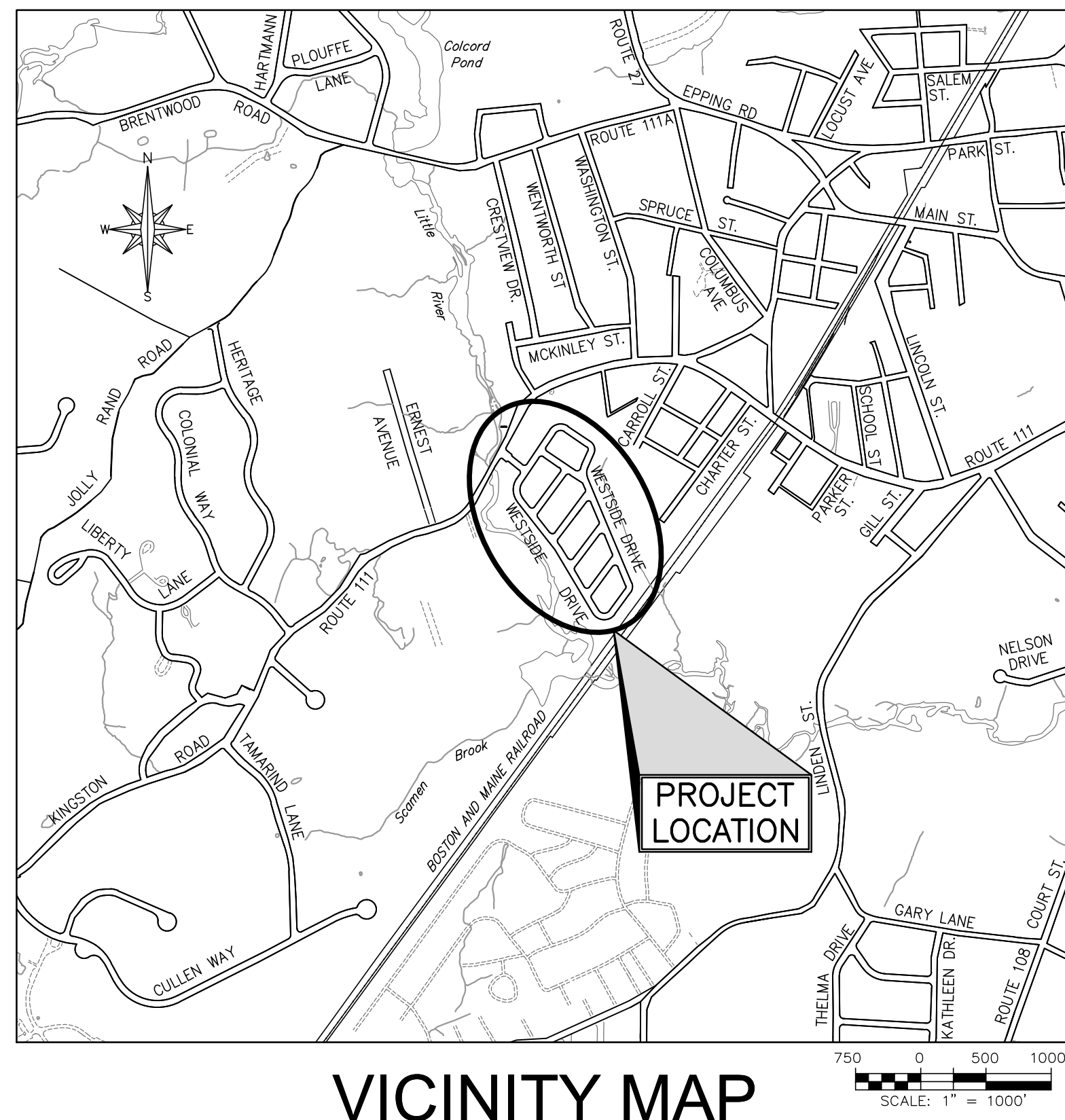


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				SHEET INDEX WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH	REVISIONS NO.


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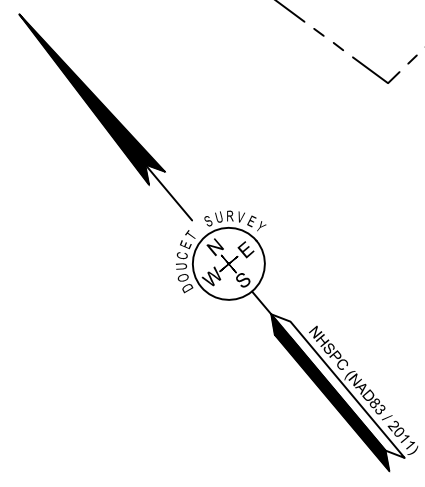

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BASELINE LAYOUT
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TOWN OF EXETER
EXETER, NH

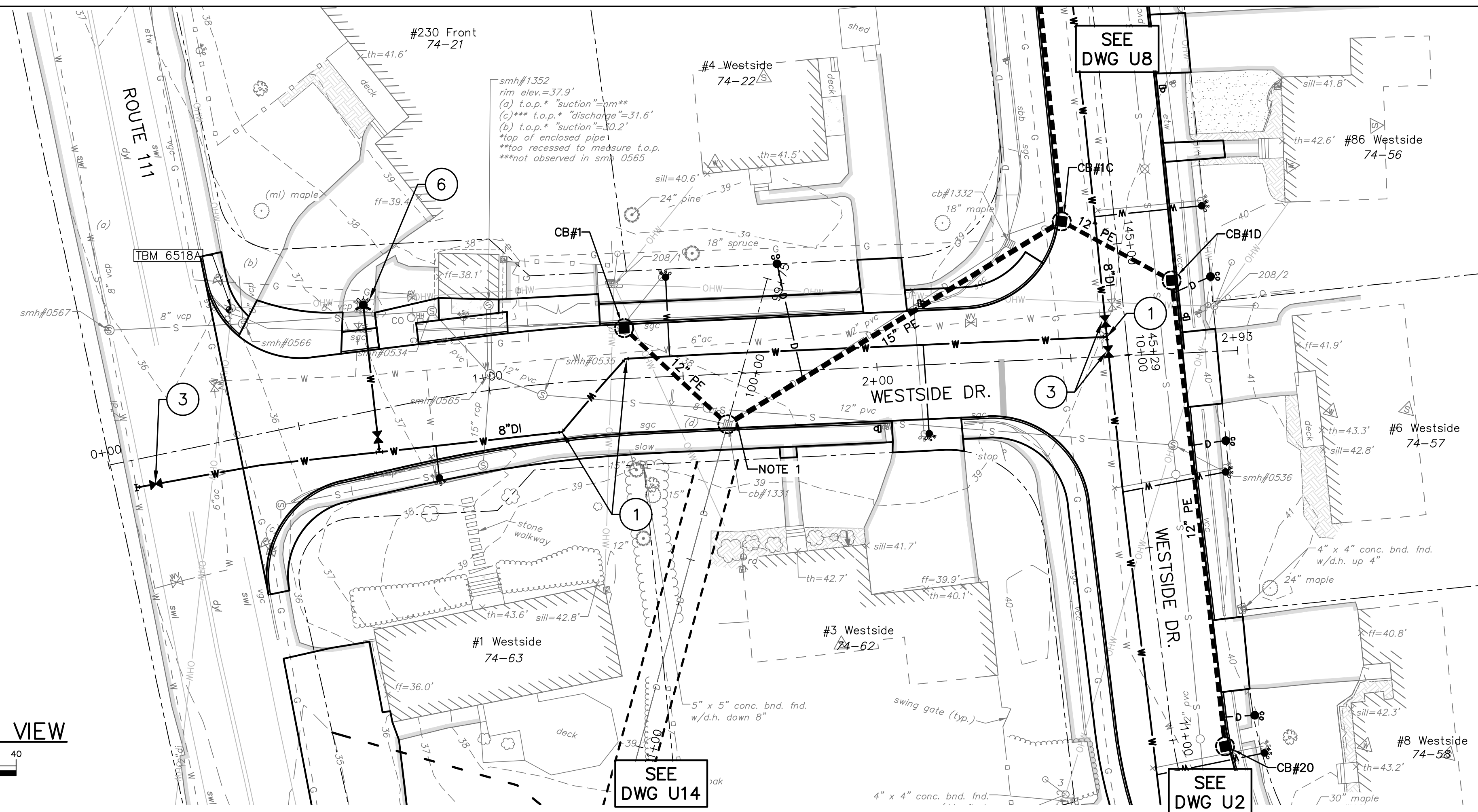
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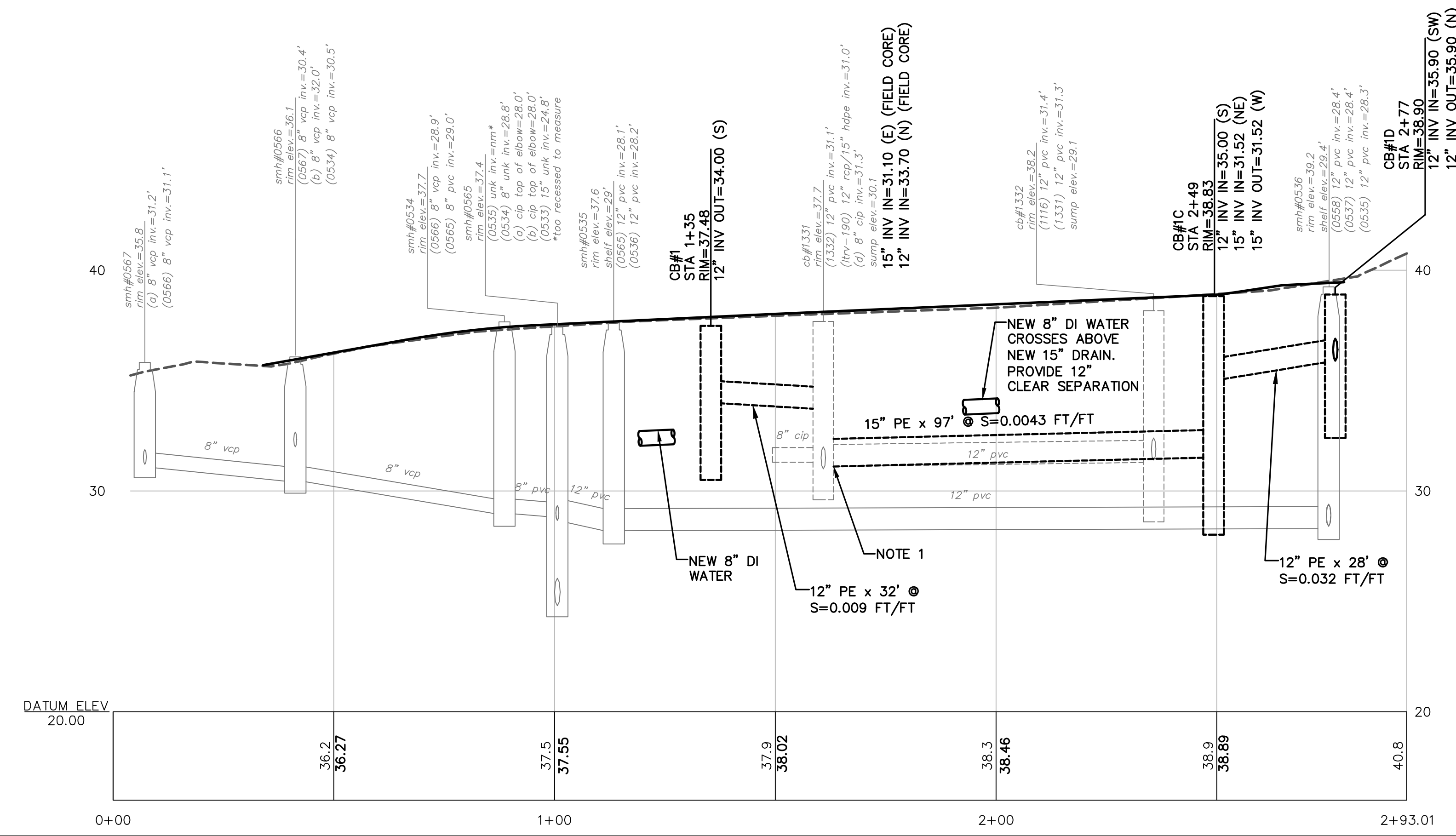
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WESTSIDE DRIVE PLAN VIEW



WESTSIDE DRIVE PROFILE VIEW



NOTES:

- REMOVE EXISTING 12" PVC DRAIN AND COMPLETE FIELD CORE FOR NEW 15" PE DRAIN. 15" INV.=31.10.

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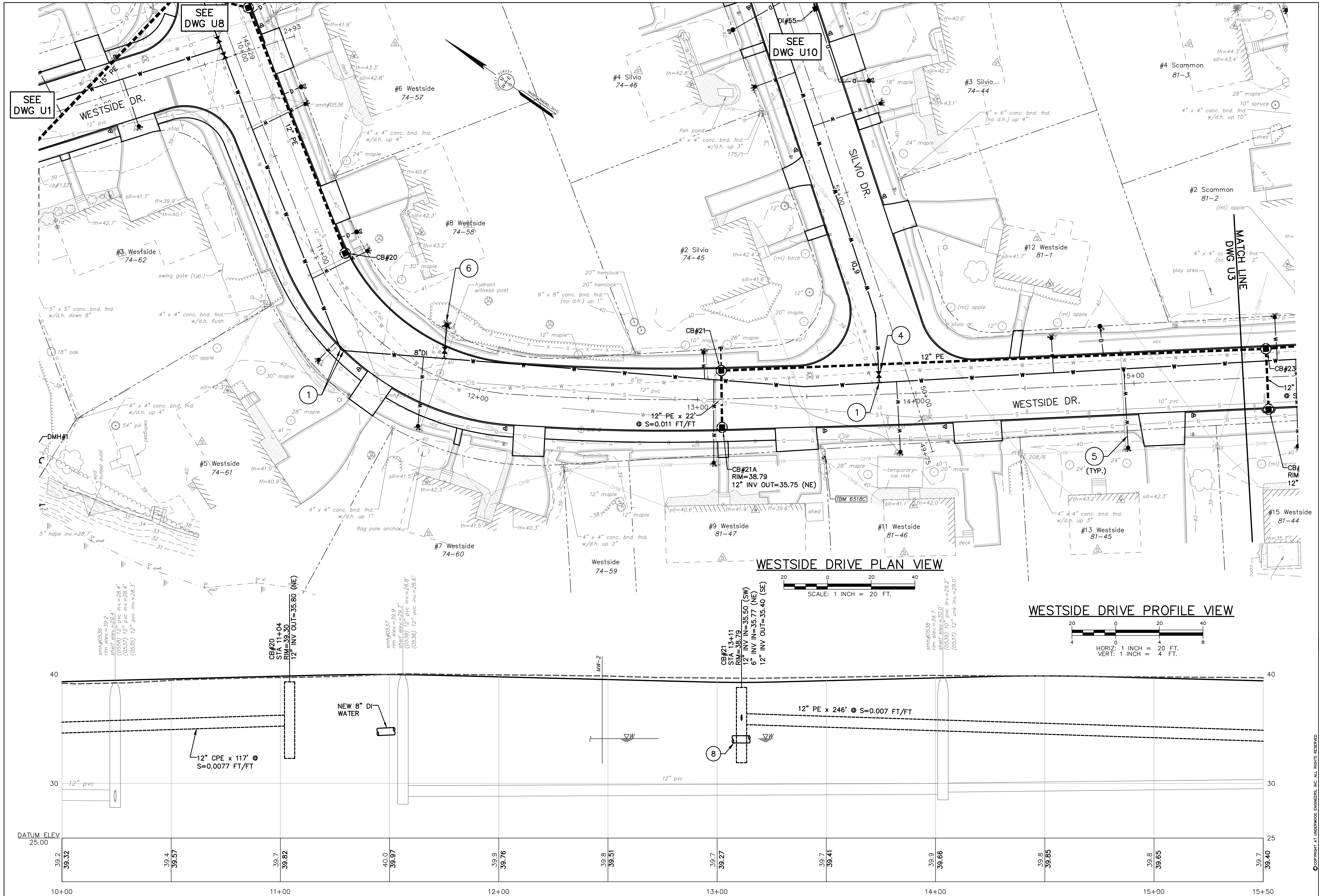
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WESTSIDE DRIVE ENTRANCE
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

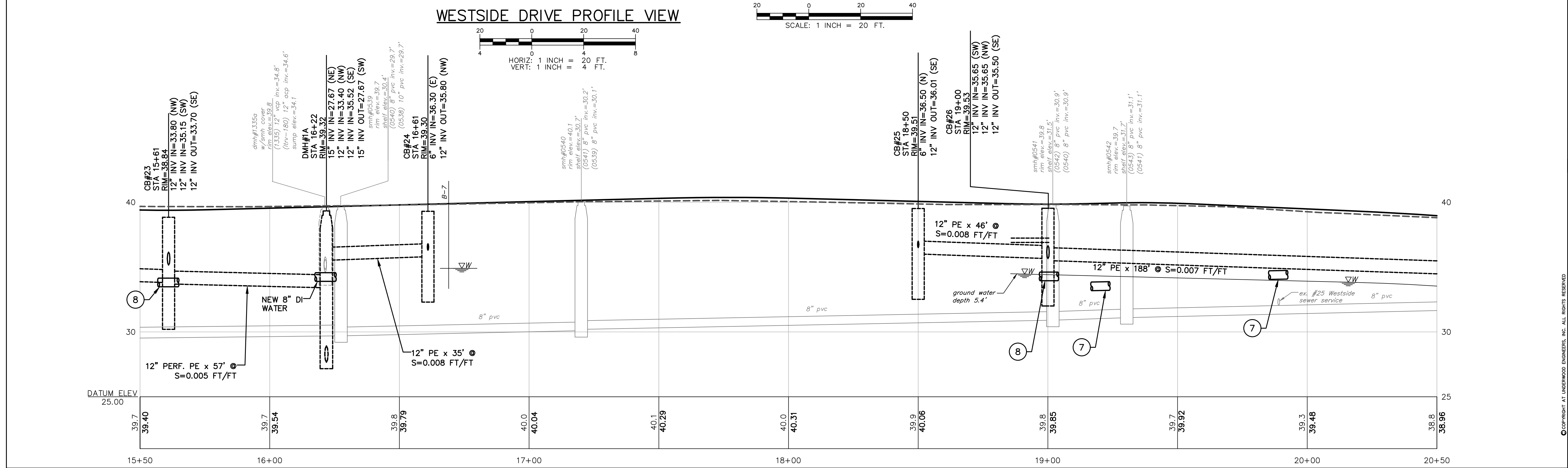
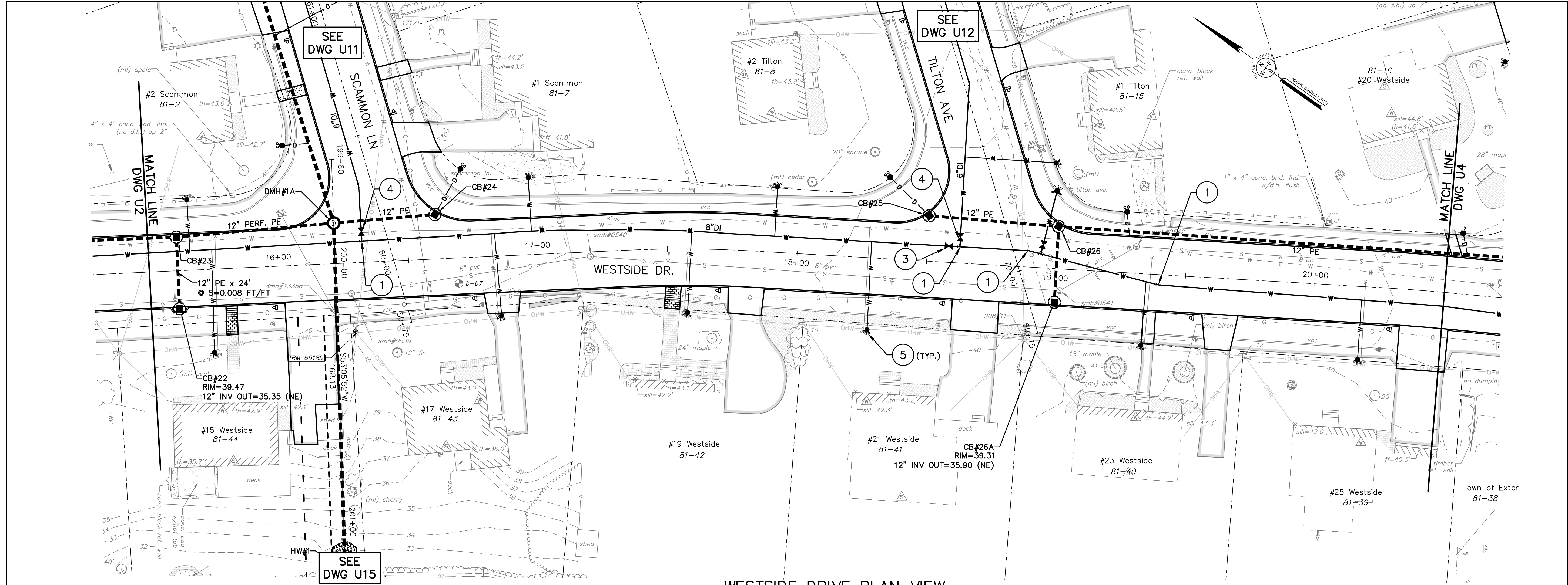
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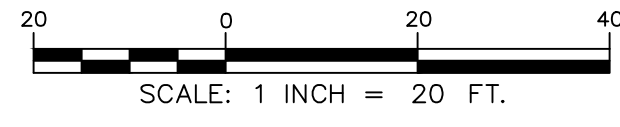
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WESTSIDE DRIVE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH			
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WESTSIDE DRIVE PLAN VIEW

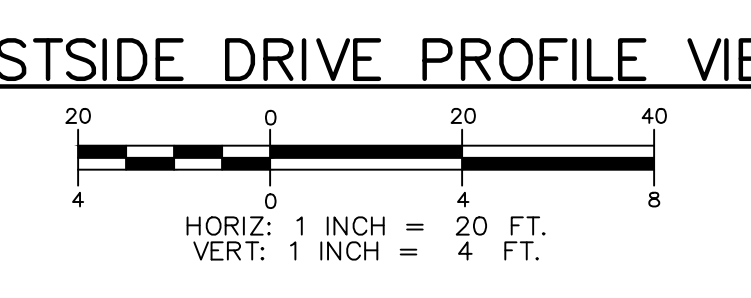
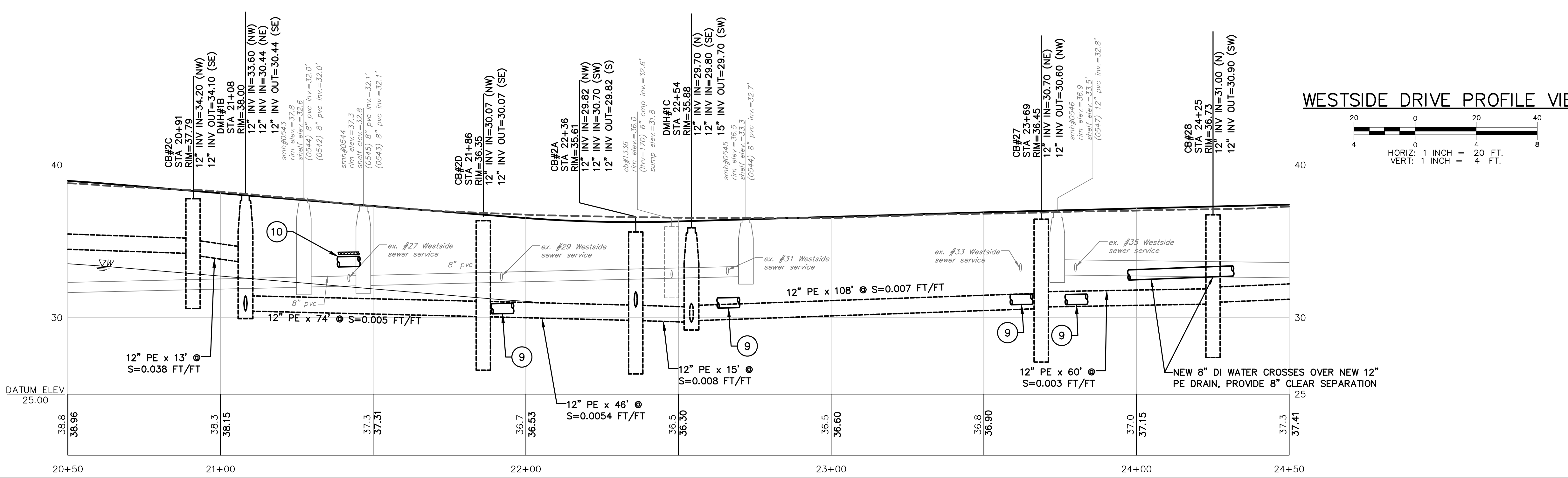
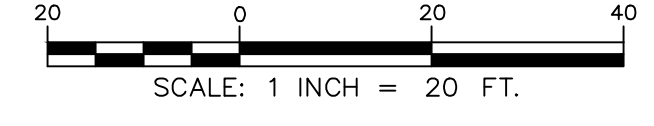
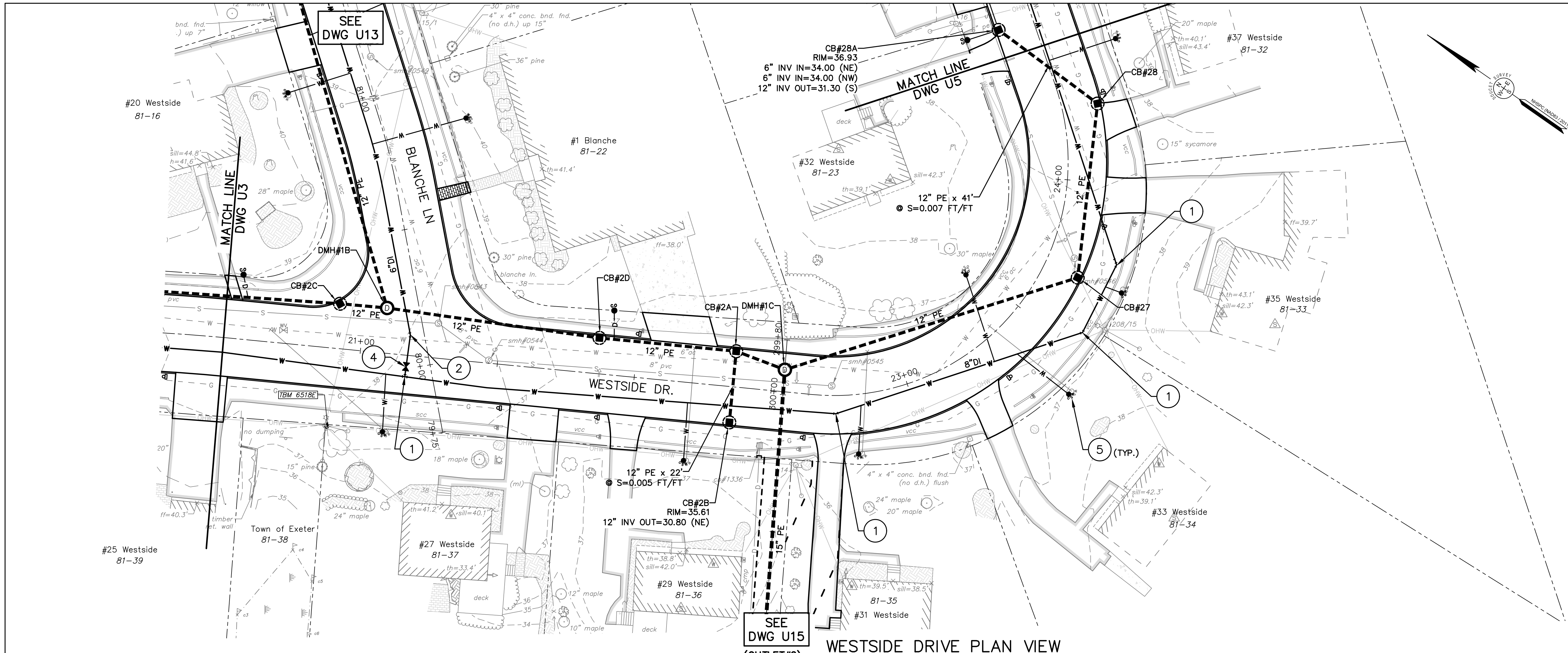
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HORIZ: 1 INCH = 20 FT.
VERT: 1 INCH = 4 FT.

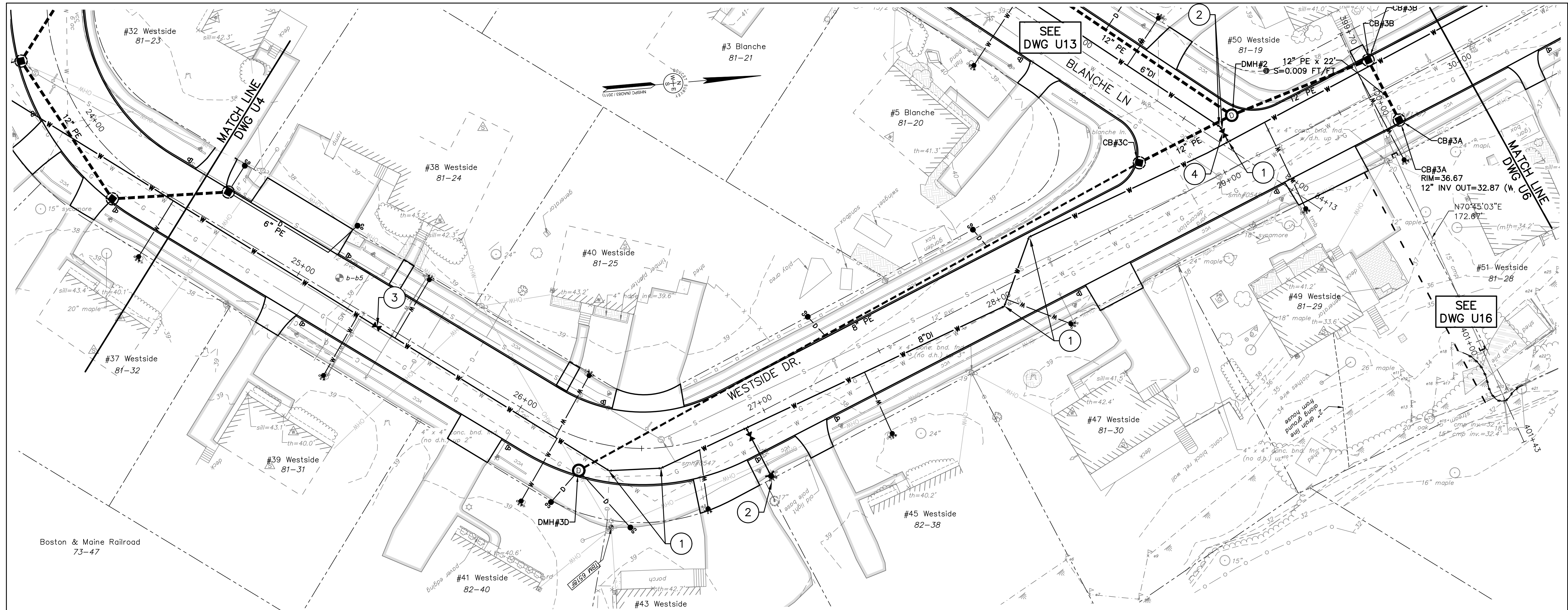
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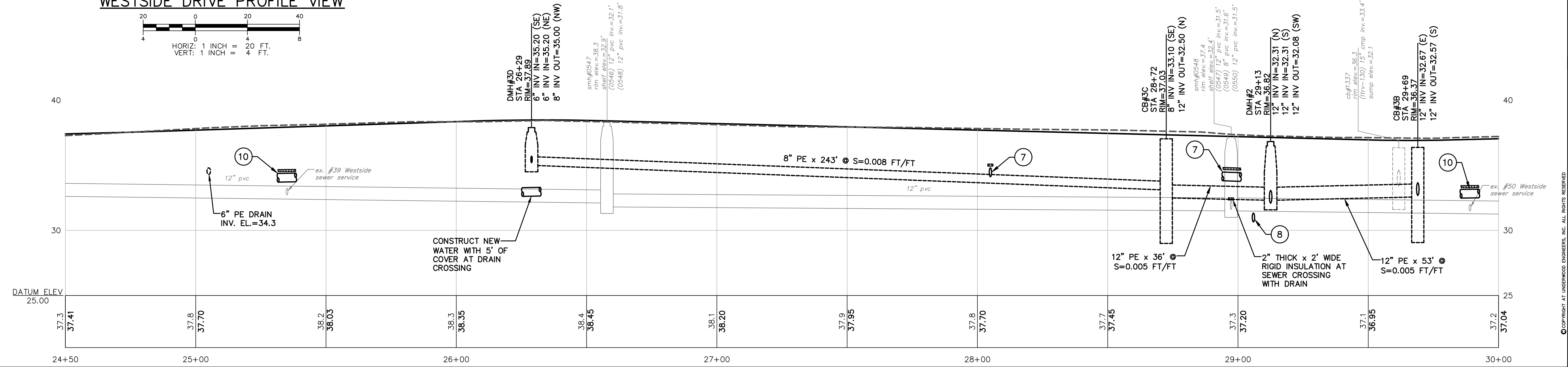
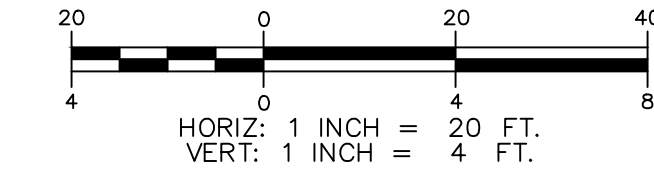
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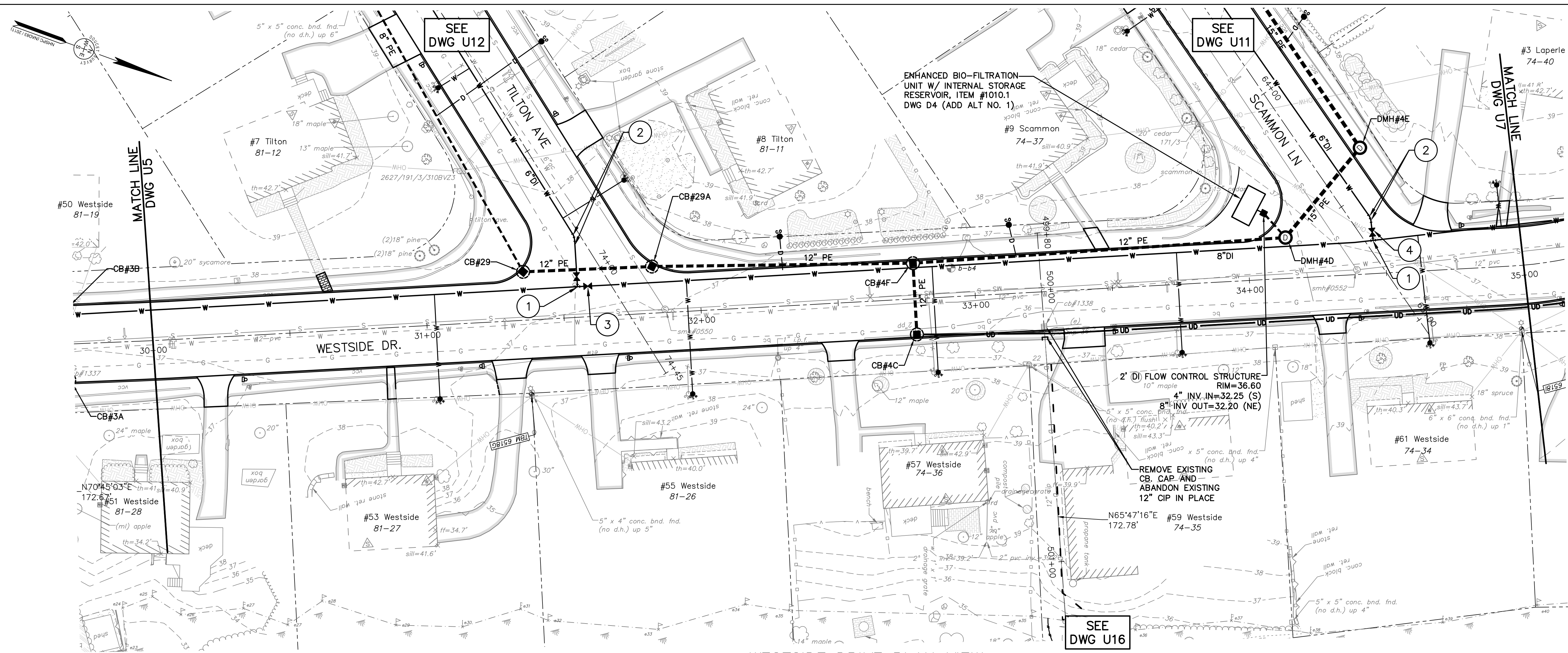
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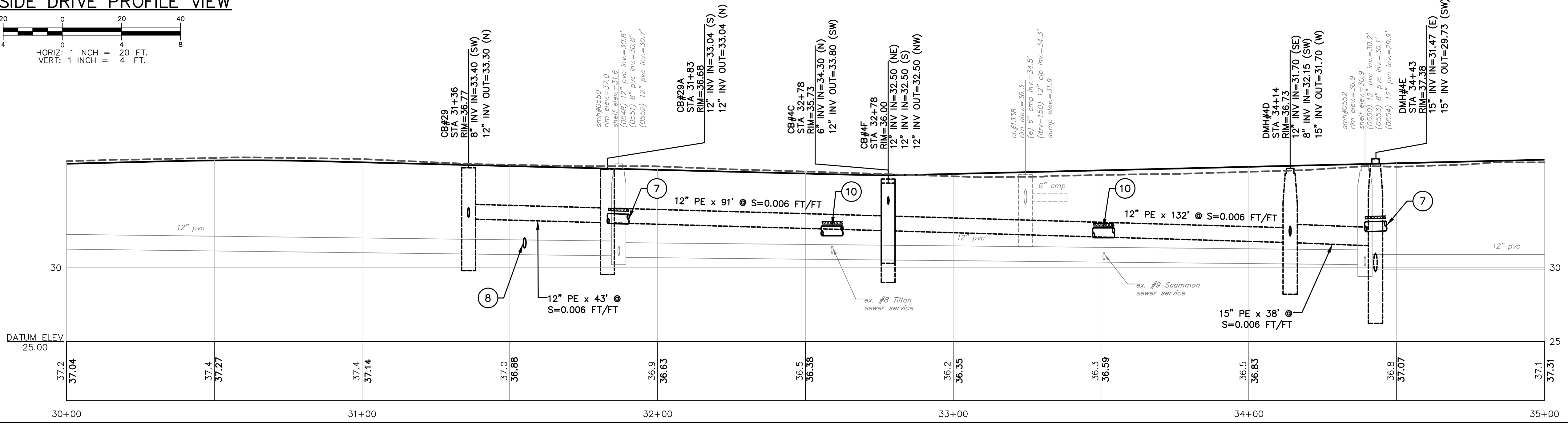
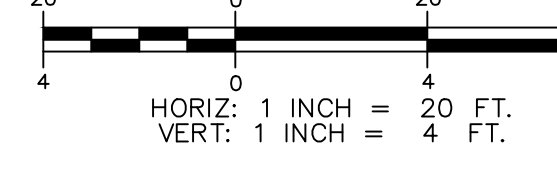
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TOWN OF EXETER EXETER, NH	
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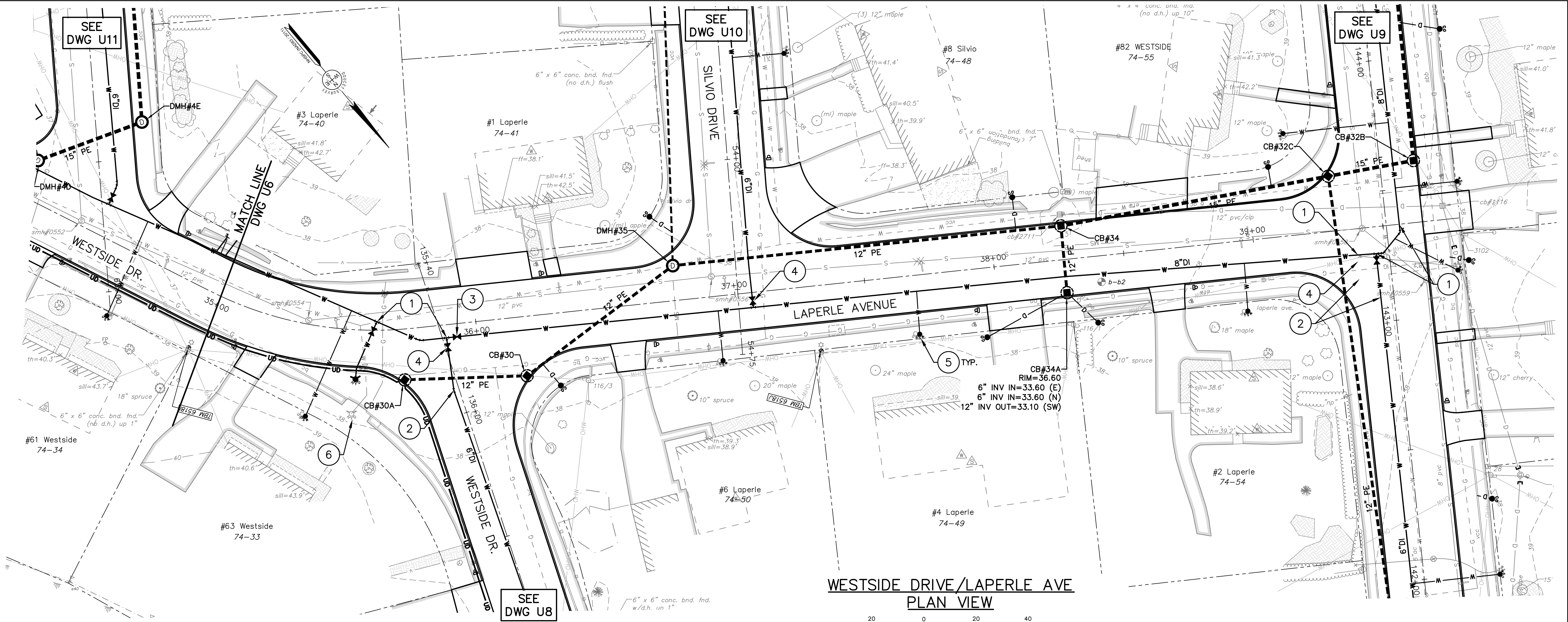
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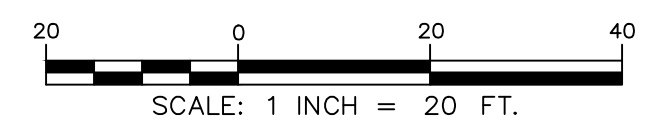
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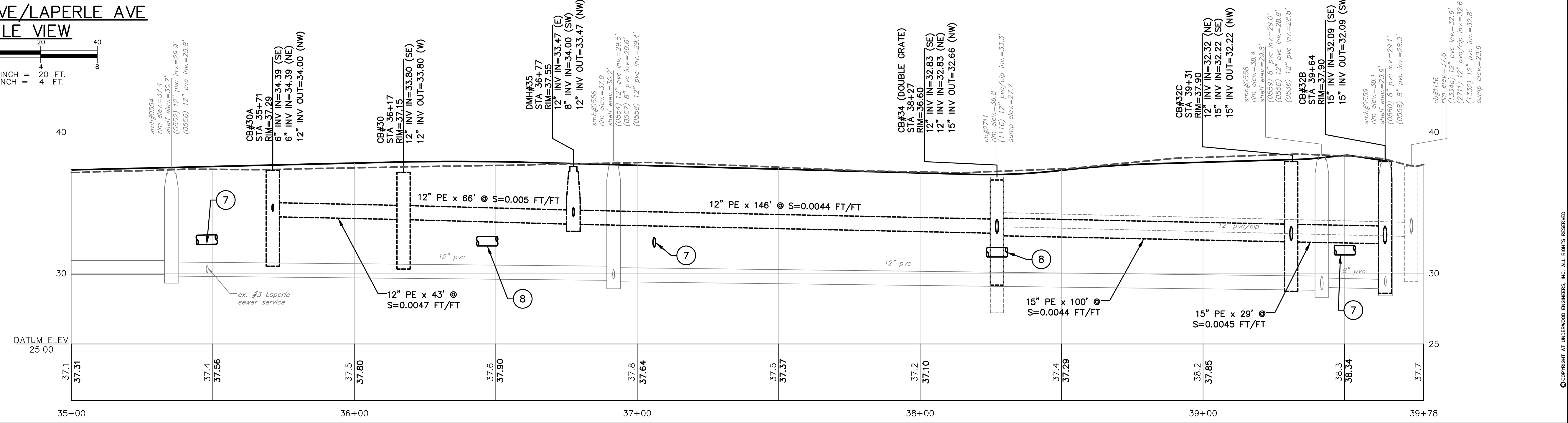
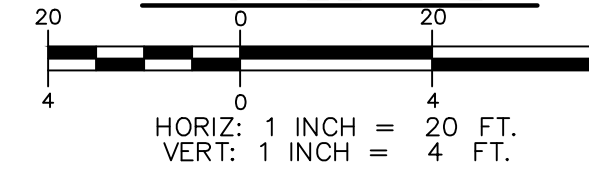
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WESTSIDE DRIVE/LAPERLE AVE
PLAN VIEW

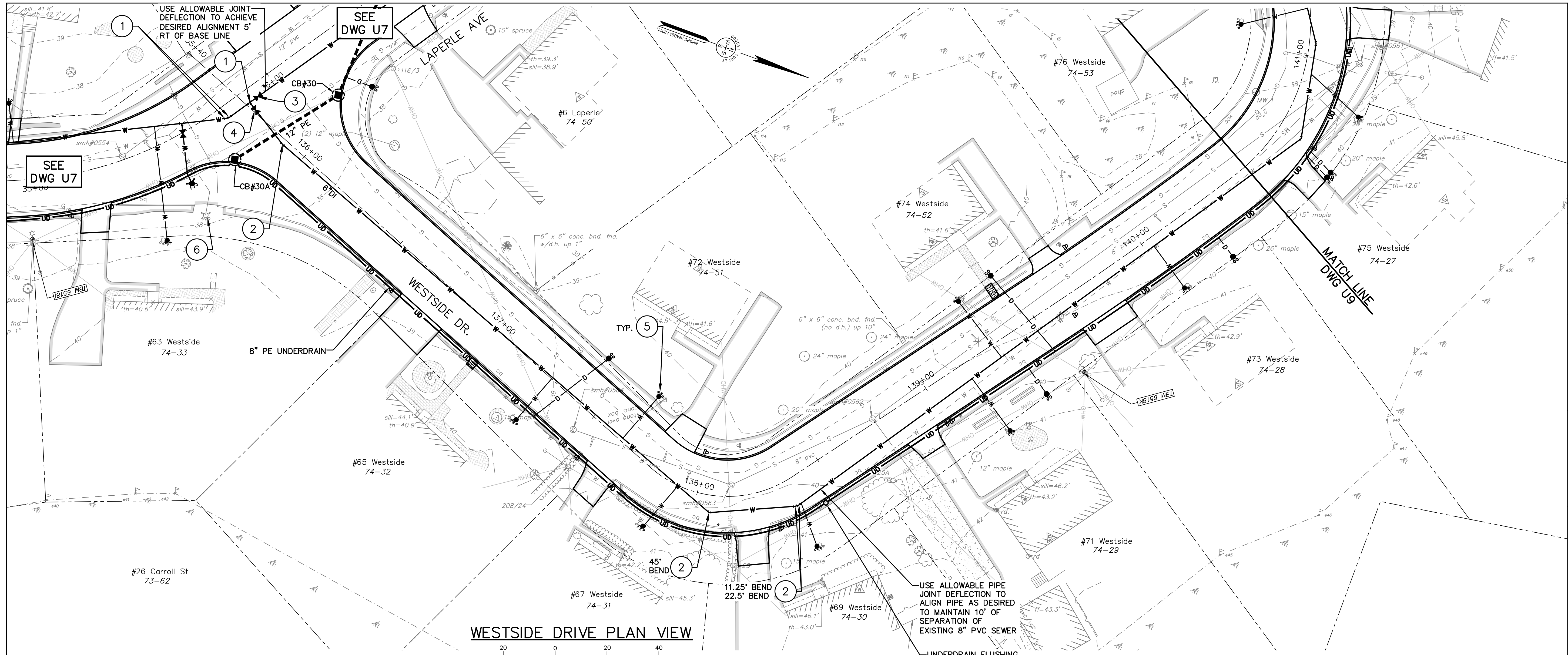


WESTSIDE DRIVE/LAPERLE AVE
PROFILE VIEW



DWG NO U7	SHEET 16 OF 64	TOWN OF EXETER EXETER, NH		WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS		WESTSIDE DRIVE/LAPERLE AVE																			
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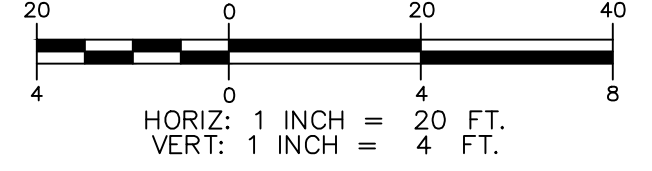


WESTSIDE DRIVE PLAN VIEW
SCALE: 1 INCH = 20 FT.

USE ALLOWABLE PIPE JOINT DEFLECTION TO ALIGN PIPE AS DESIRED TO MAINTAIN 10' OF SEPARATION OF EXISTING 8" PVC SEWER

UNDERDRAIN FLUSHING BASIN, ITEM 605.79.

WESTSIDE DRIVE PROFILE VIEW



Station	Structure	Material	Dimensions
135+81	CR#30A	6" INV	IN=34.39 (SE)
135+81	CR#30A	6" INV	IN=34.39 (NE)
135+81	CR#30A	12" INV	OUT=34.00 (NW)
136+15	CR#30	12" INV	IN=33.80 (SE)
136+15	CR#30	12" INV	OUT=33.80 (W)

Station	Structure	Material	Dimensions
139+26	Manhole	8" PVC	rim elev=39.1, shelf elev=33.0
139+77	Manhole	8" PVC	rim elev=39.9, shelf elev=32.6
139+86	Manhole	8" PVC	rim elev=39.4, shelf elev=32.4
139+86	Manhole	8" PVC	rim elev=31.7, shelf elev=31.7
139+86	Manhole	8" PVC	rim elev=31.6, shelf elev=31.6

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DRG	DJR	RJS	RJS	11/27/2024

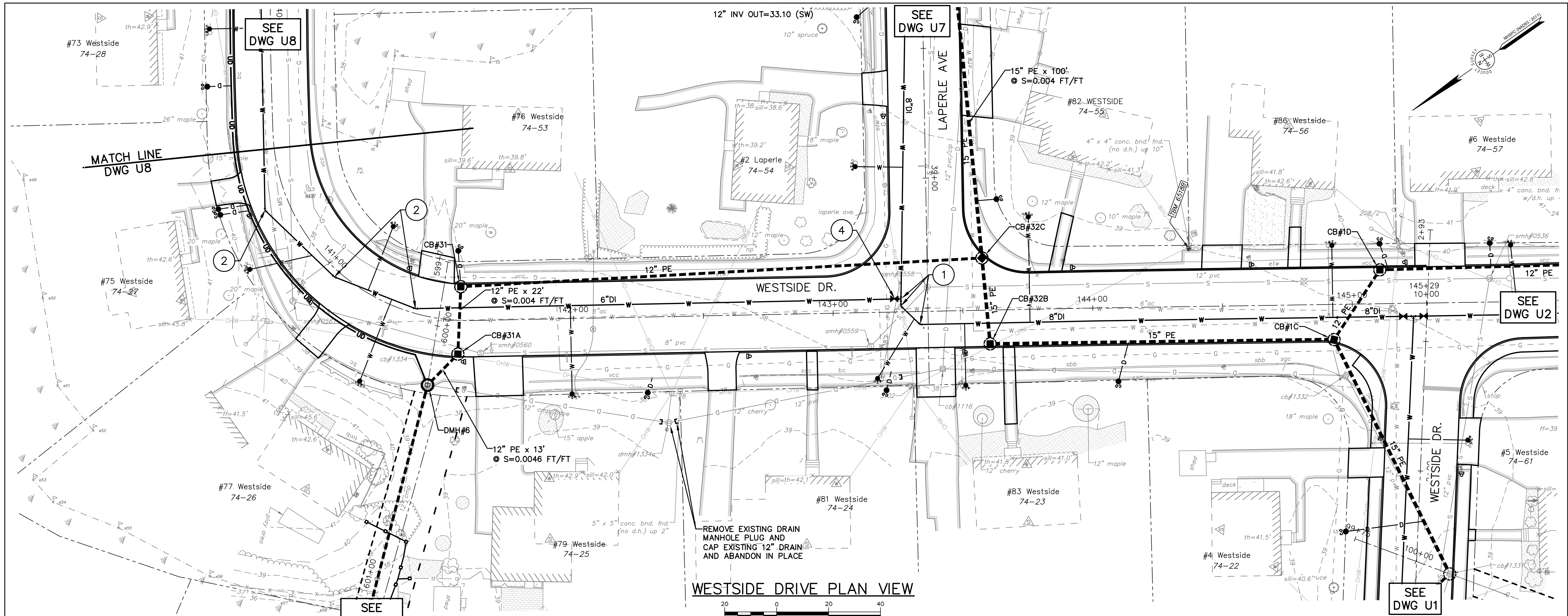
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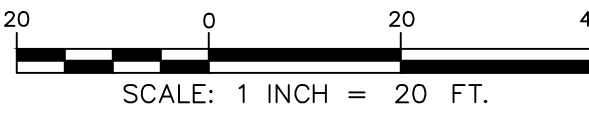
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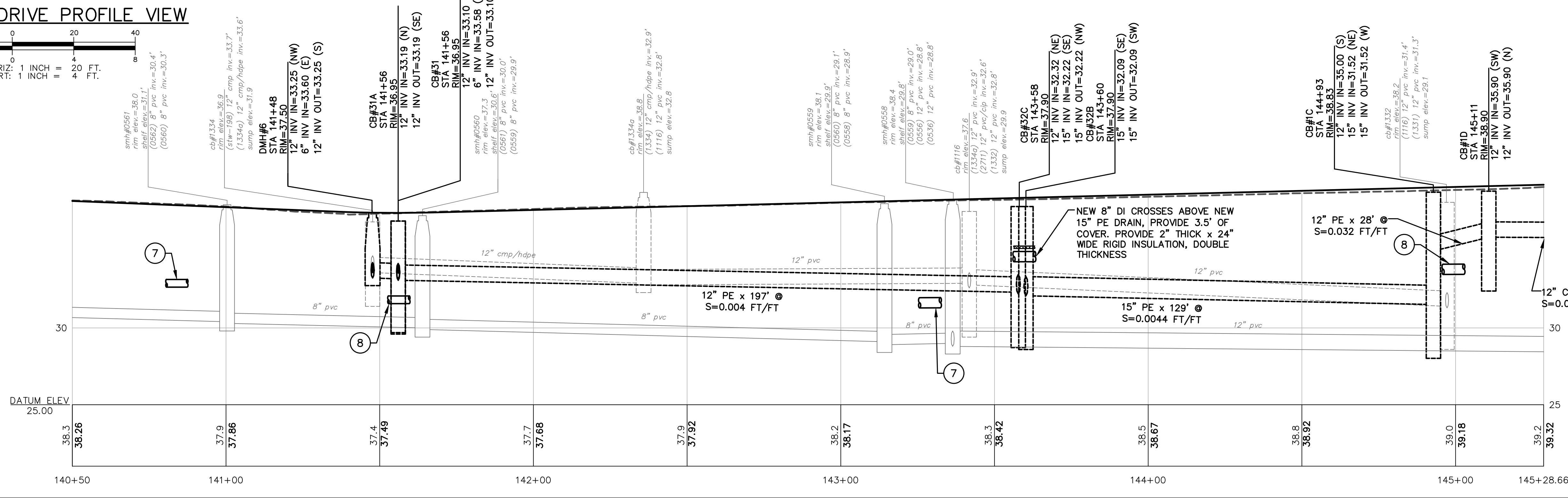
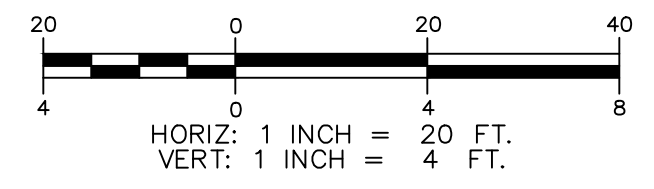
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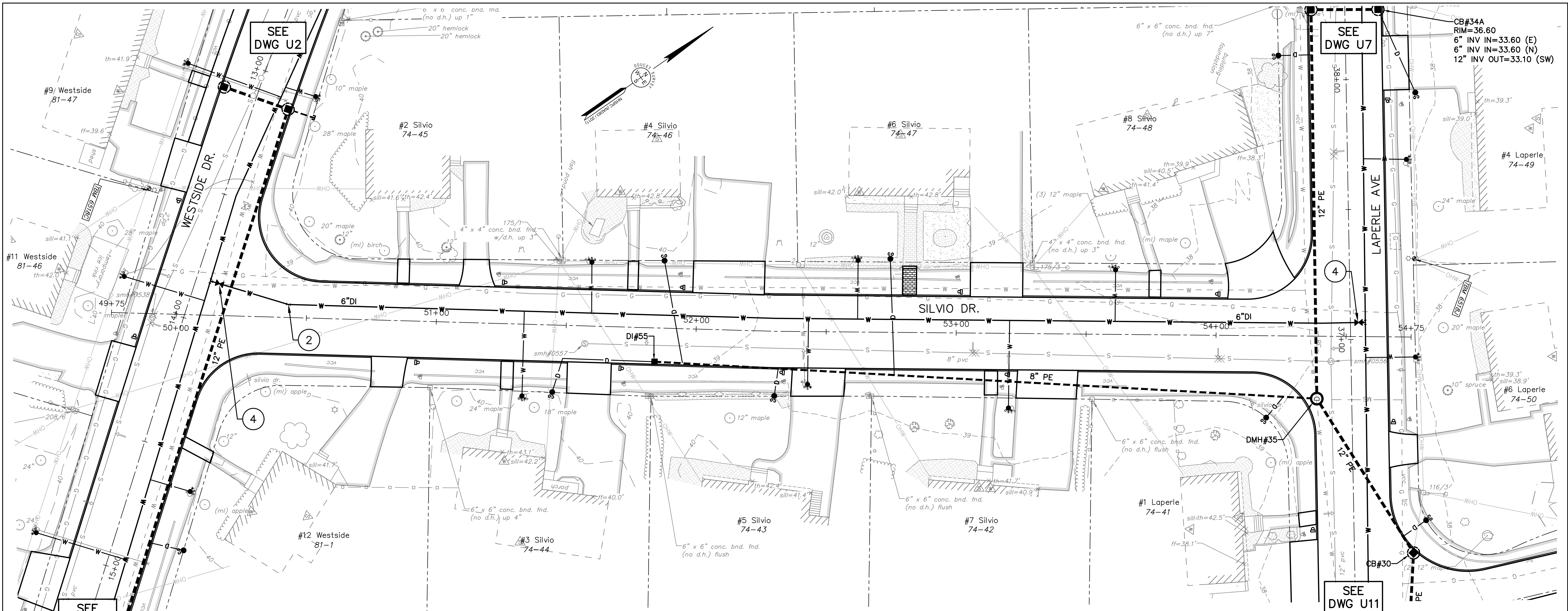


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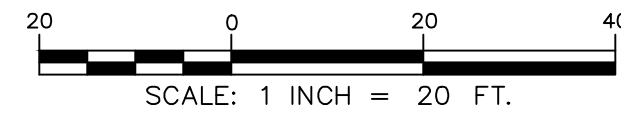


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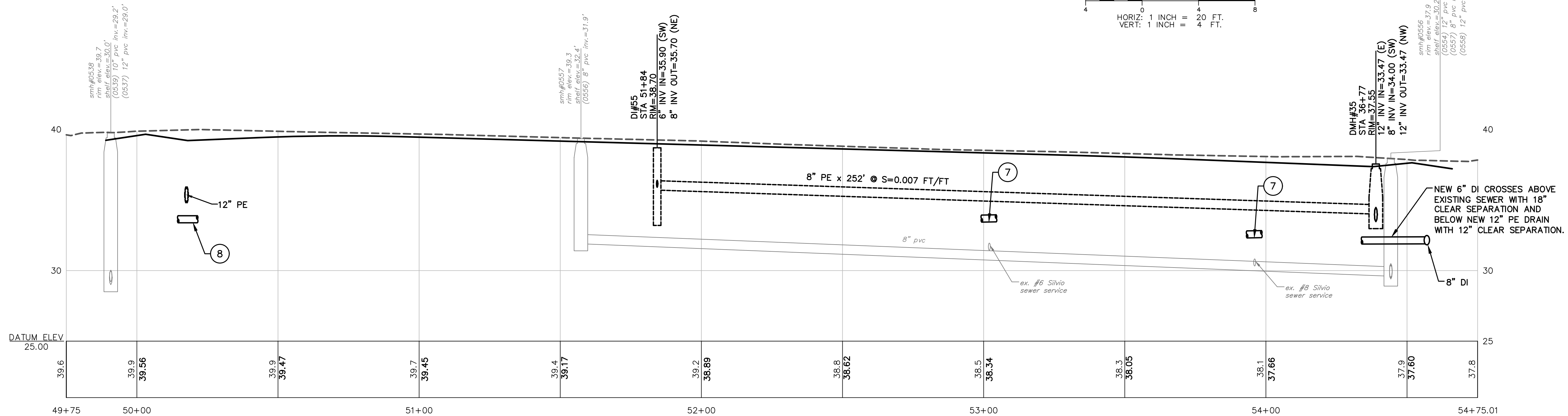
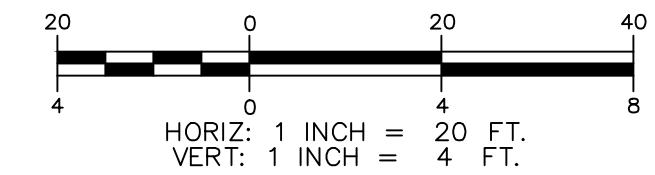
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SILVIO DRIVE PLAN VIEW

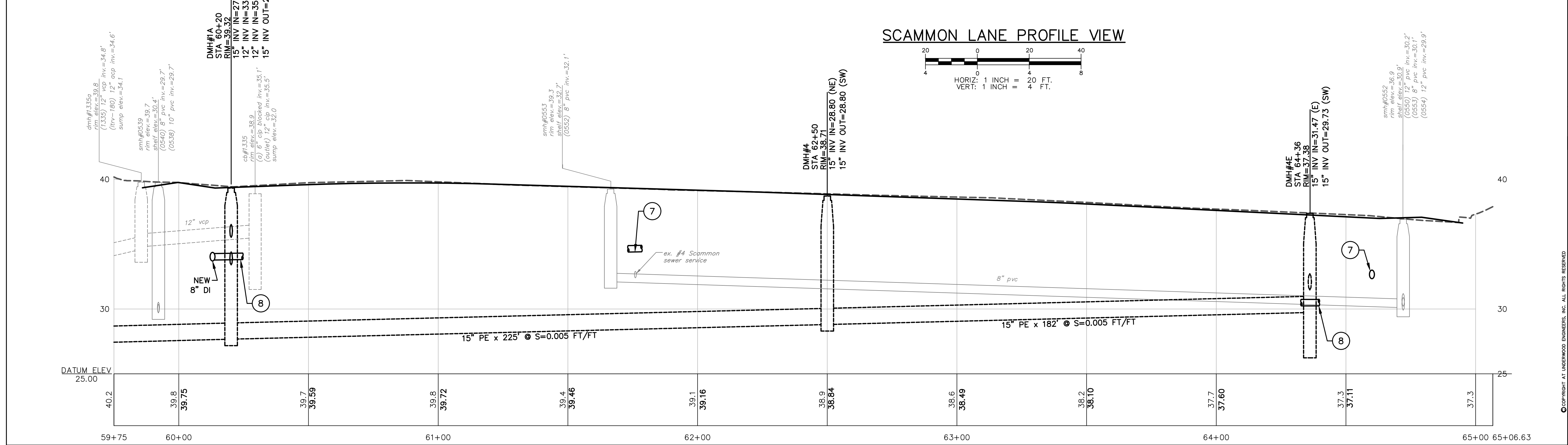
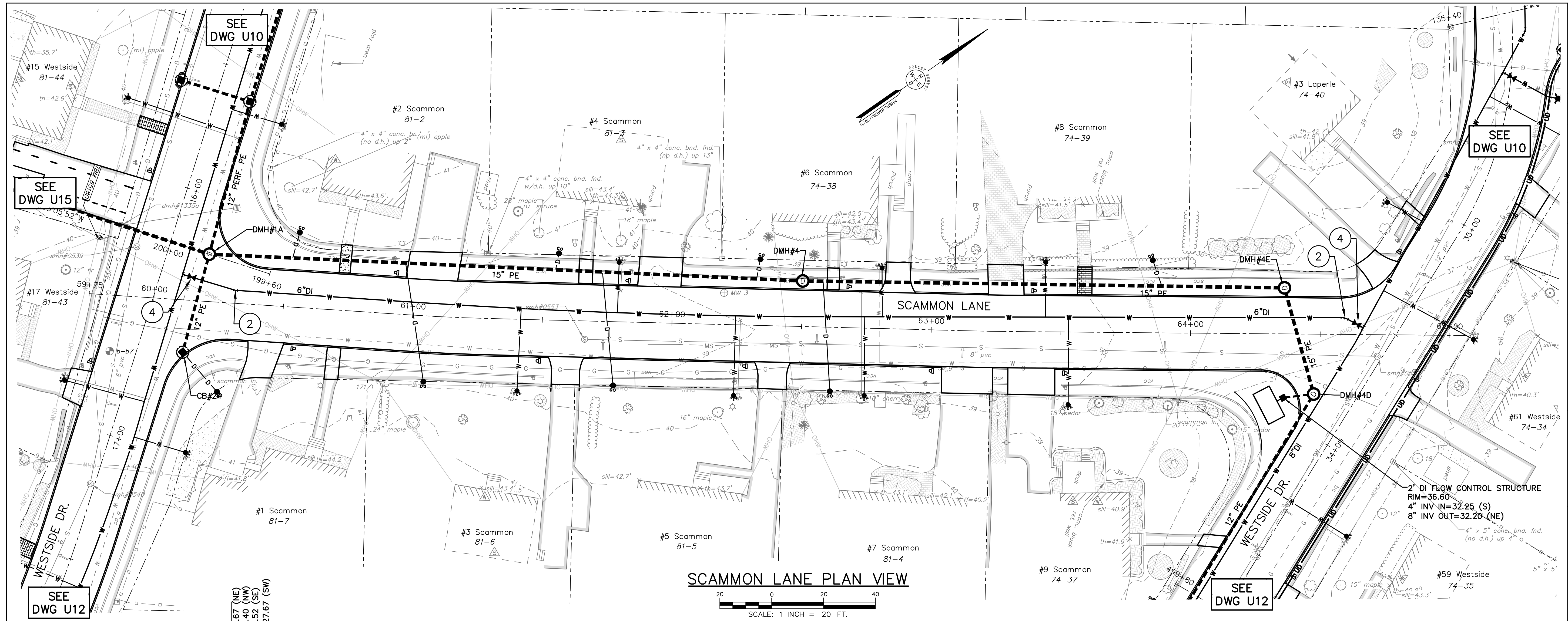


SILVIO DRIVE PROFILE VIEW



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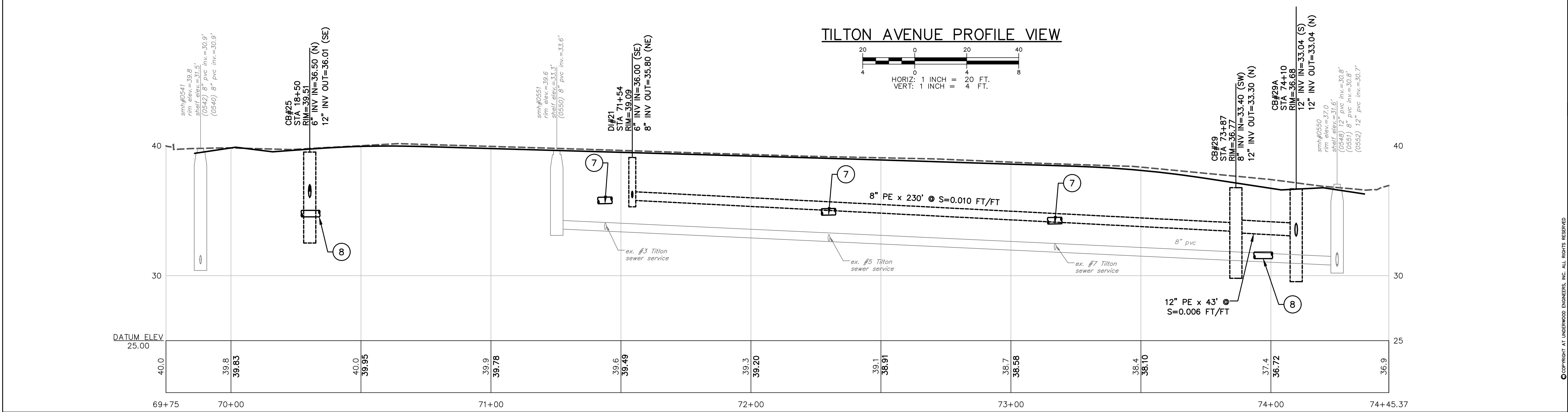
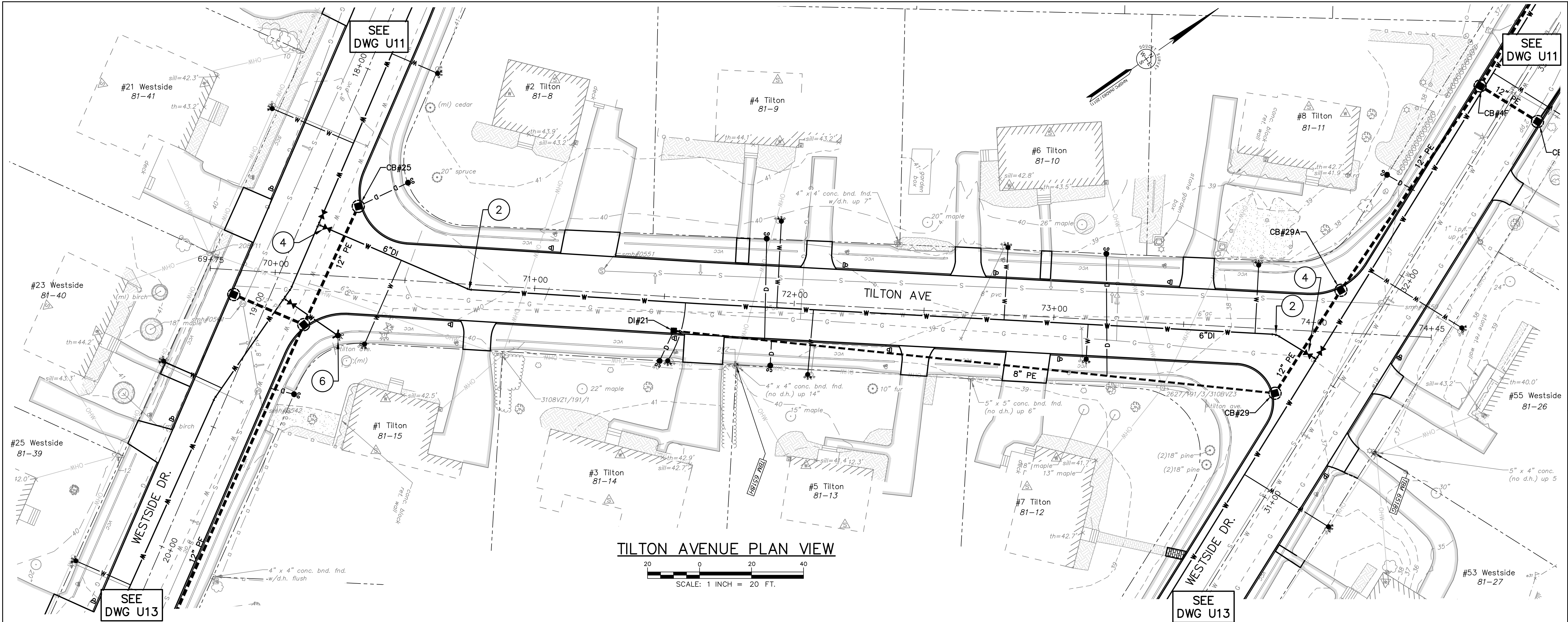
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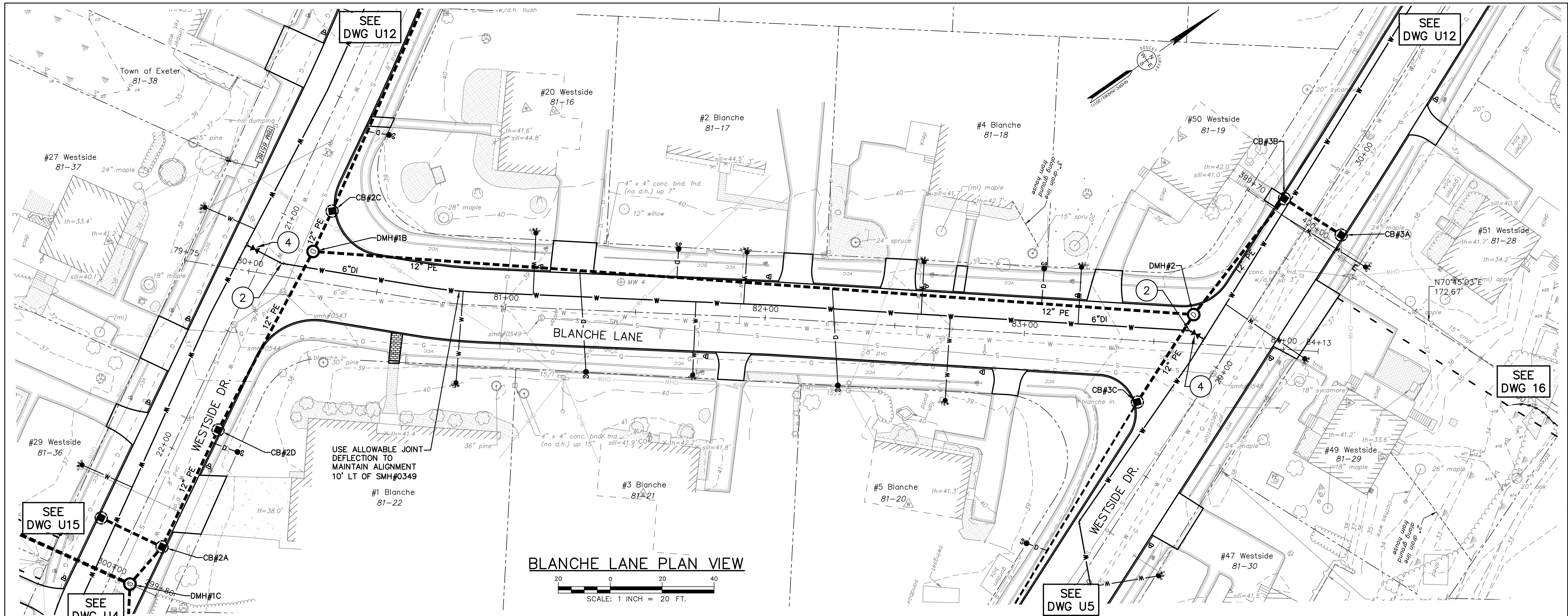
SCAMMON LANE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO U11	SHEET 20 OF 64

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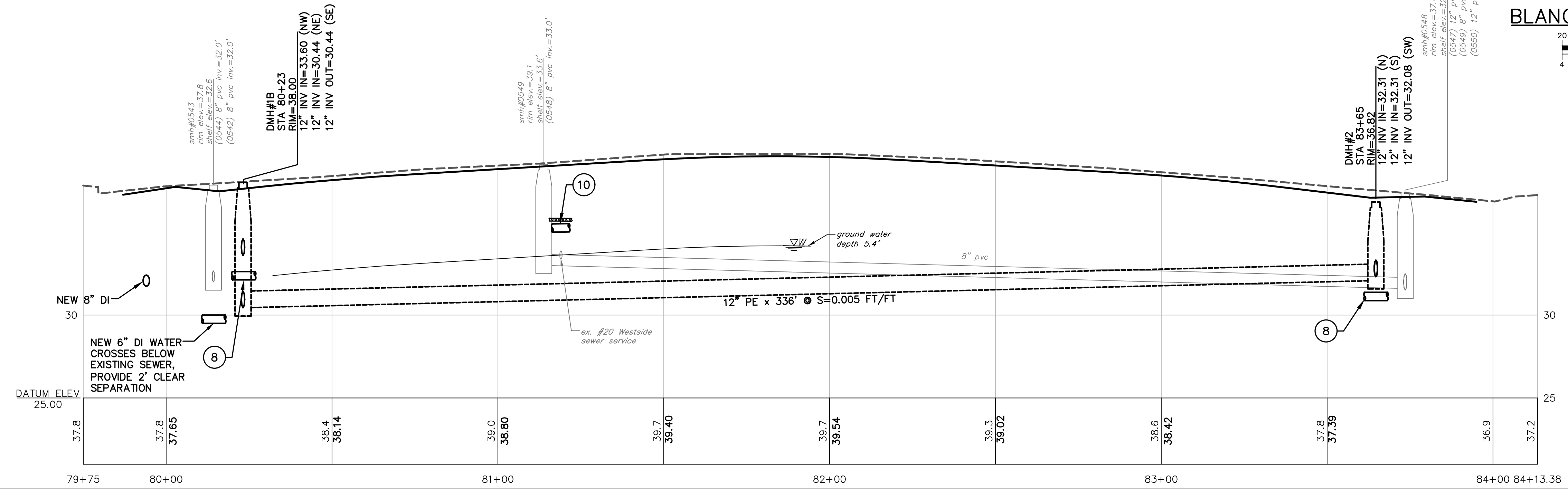
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APPROVAL	By
Date	
CONSTRUCTION	By
Date	
RECORD DRAWING	By
Date	
REVISIONS	APP'D
NO.	
Drawn/Chk. RMG	DJR
Designed	RJS
Checked	
Approved	
Date	11/27/2024
Book No.	
Project No.	2873
Dwg. ID	2873 Sheets
Scale	AS SHOWN
90% DESIGN NOVEMBER, 2024 NOT FOR CONSTRUCTION	
Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733	
TILTON AVENUE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH	
DWG NO	SHEET
U12	21 OF 64

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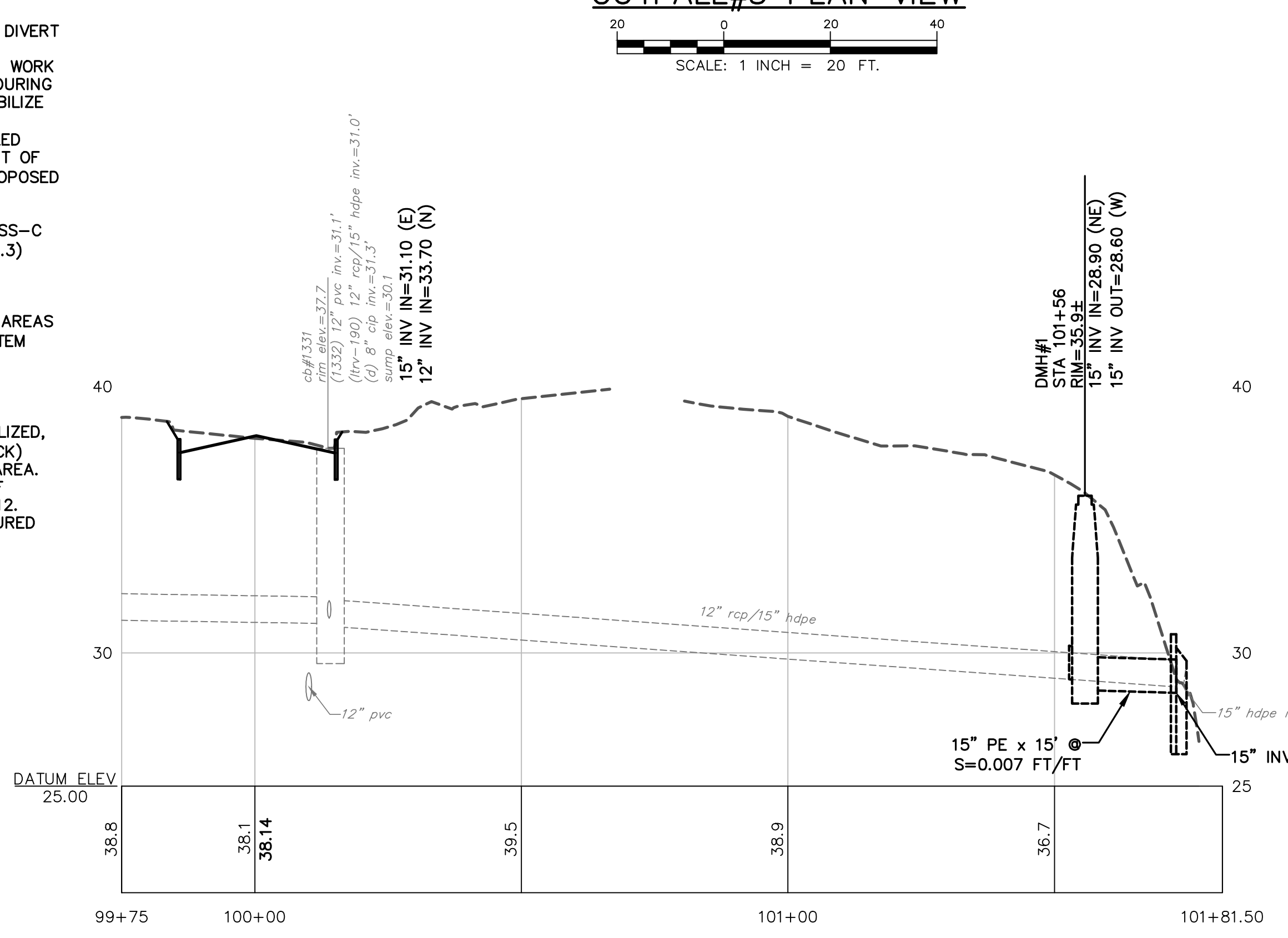
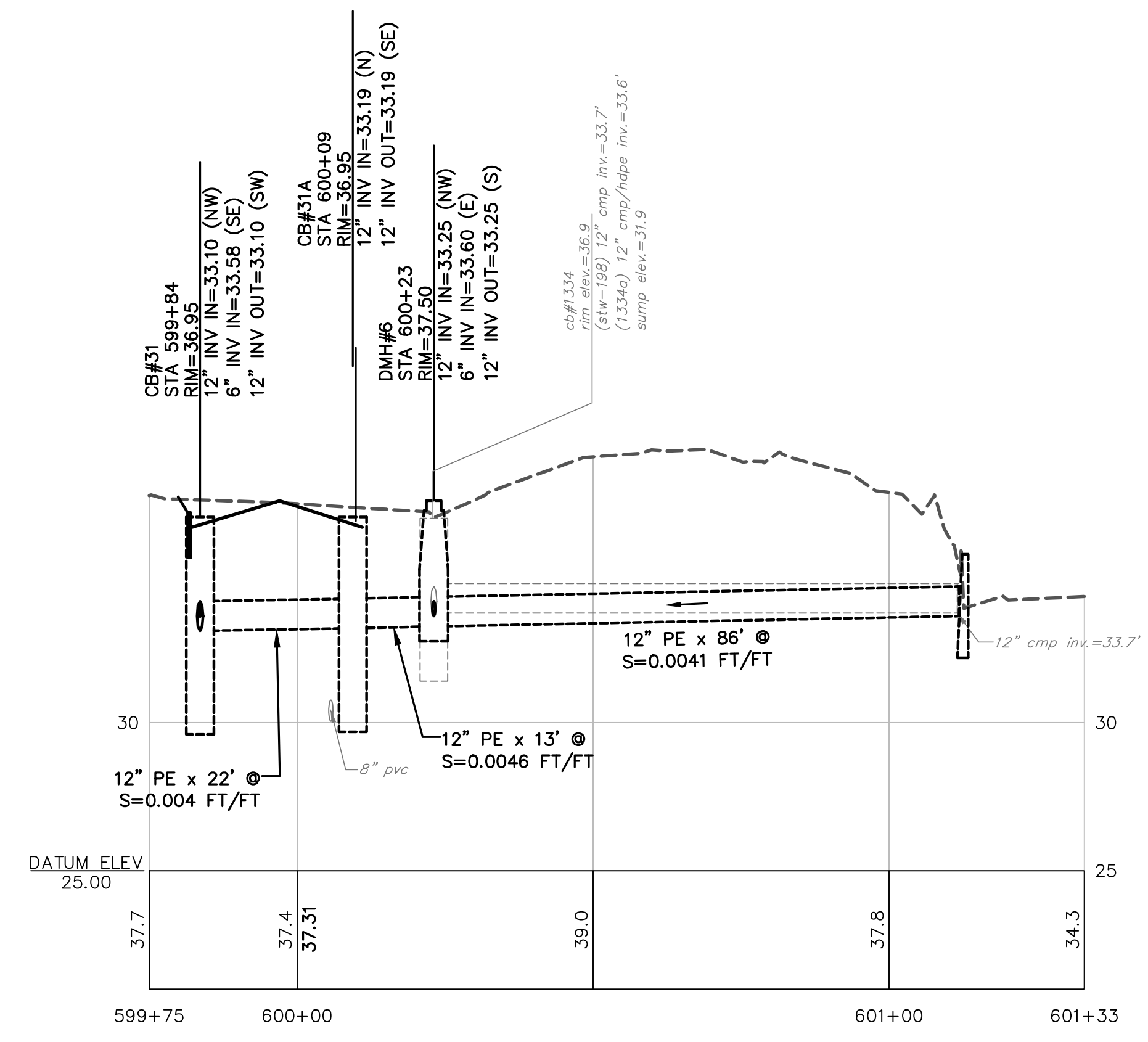
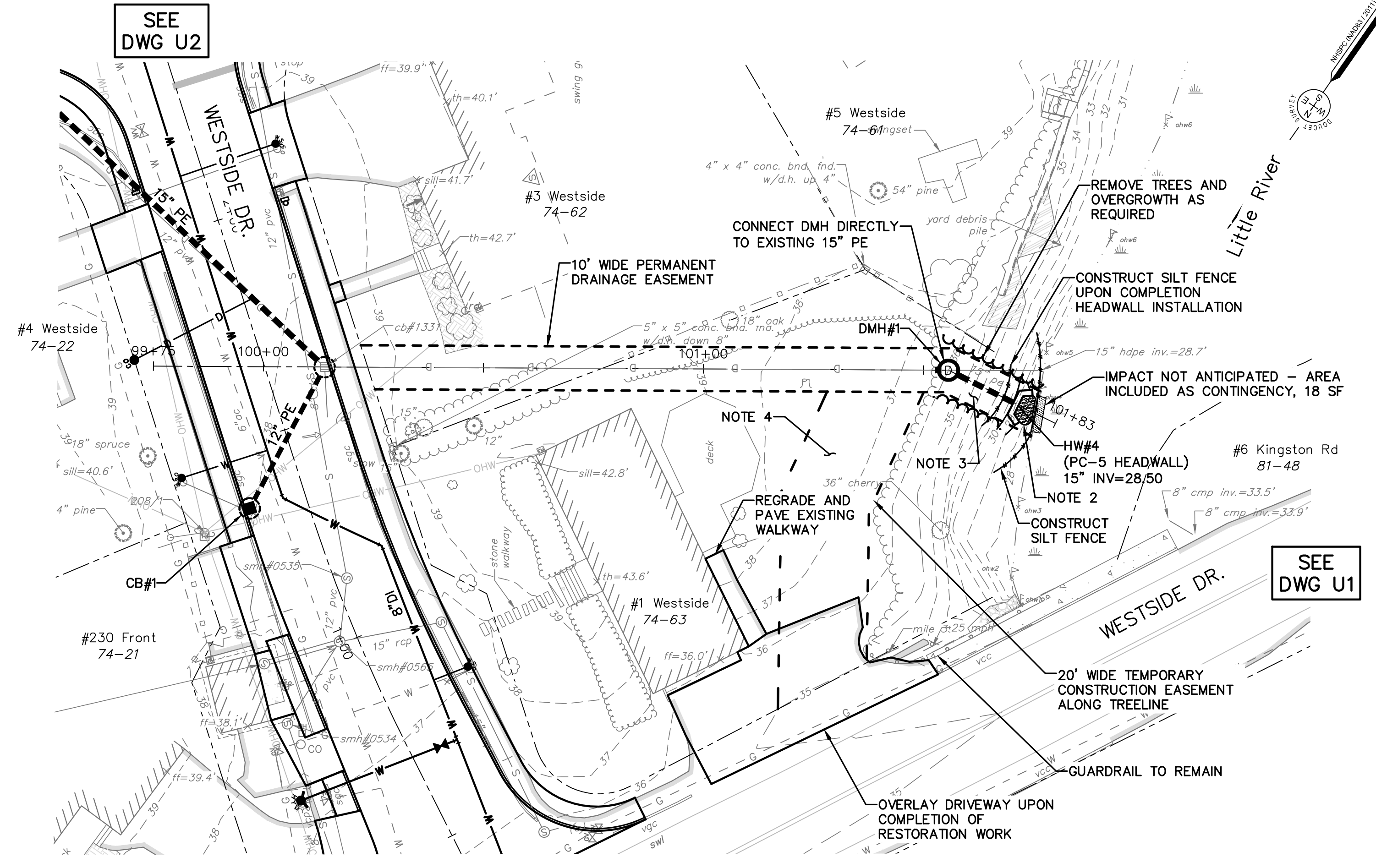
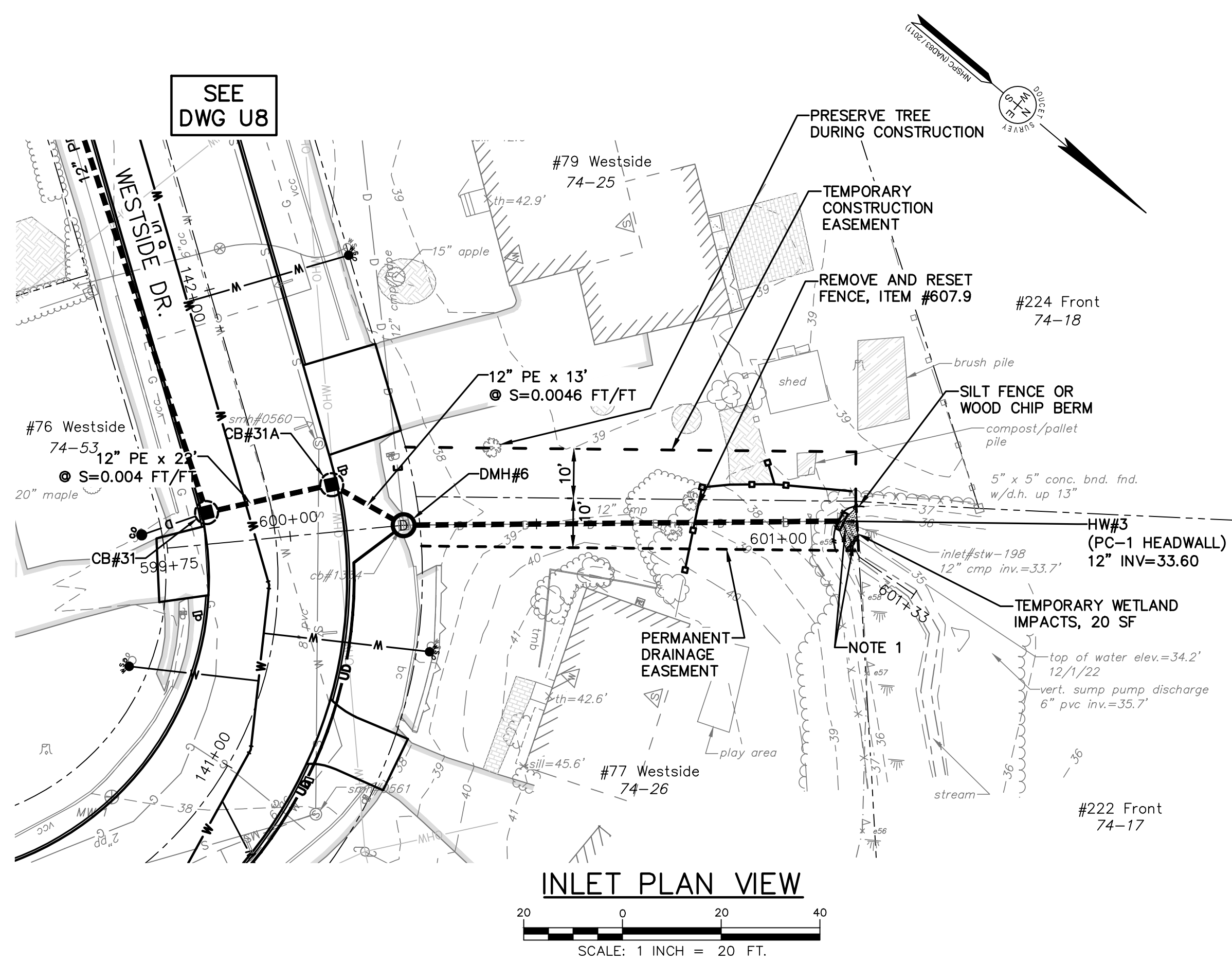
BLANCHE LANE PLAN VIEW
SCALE: 1 INCH = 20 FT.

BLANCHE LANE PROFILE VIEW
HORIZ: 1 INCH = 20 FT.
VERT: 1 INCH = 4 FT.



Drawn/Chk. By: RMG	Checked By: DJR	Approved By: RJS	Date: 11/27/2024
Project No.: 2873	Book No.:	Dwg. ID: 2873_U13	Scale: AS SHOWN
ISSUE FOR APPROVAL	By: [Signature]	DATE:	
CONSTRUCTION	By: [Signature]	DATE:	
RECORD DRAWING	By: [Signature]	DATE:	
REVISIONS	NO.	DESCRIPTION	DATE
<p style="text-align: center;">90% DESIGN NOVEMBER, 2024 NOT FOR CONSTRUCTION</p>			
<p>Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733</p>			
<p>BLANCHE LANE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH</p>			
DWG NO: U13	SHEET: 22 OF 64		

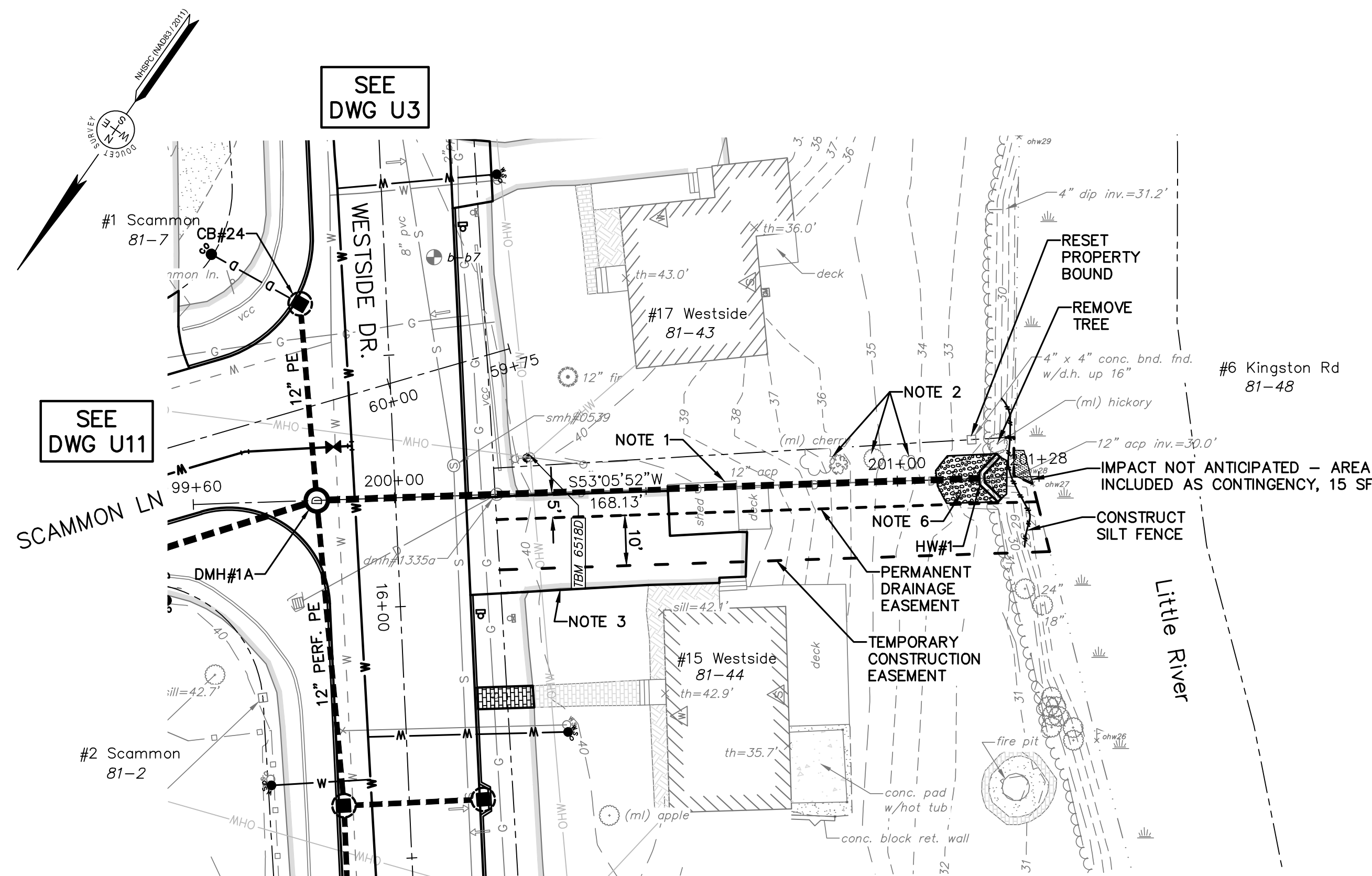
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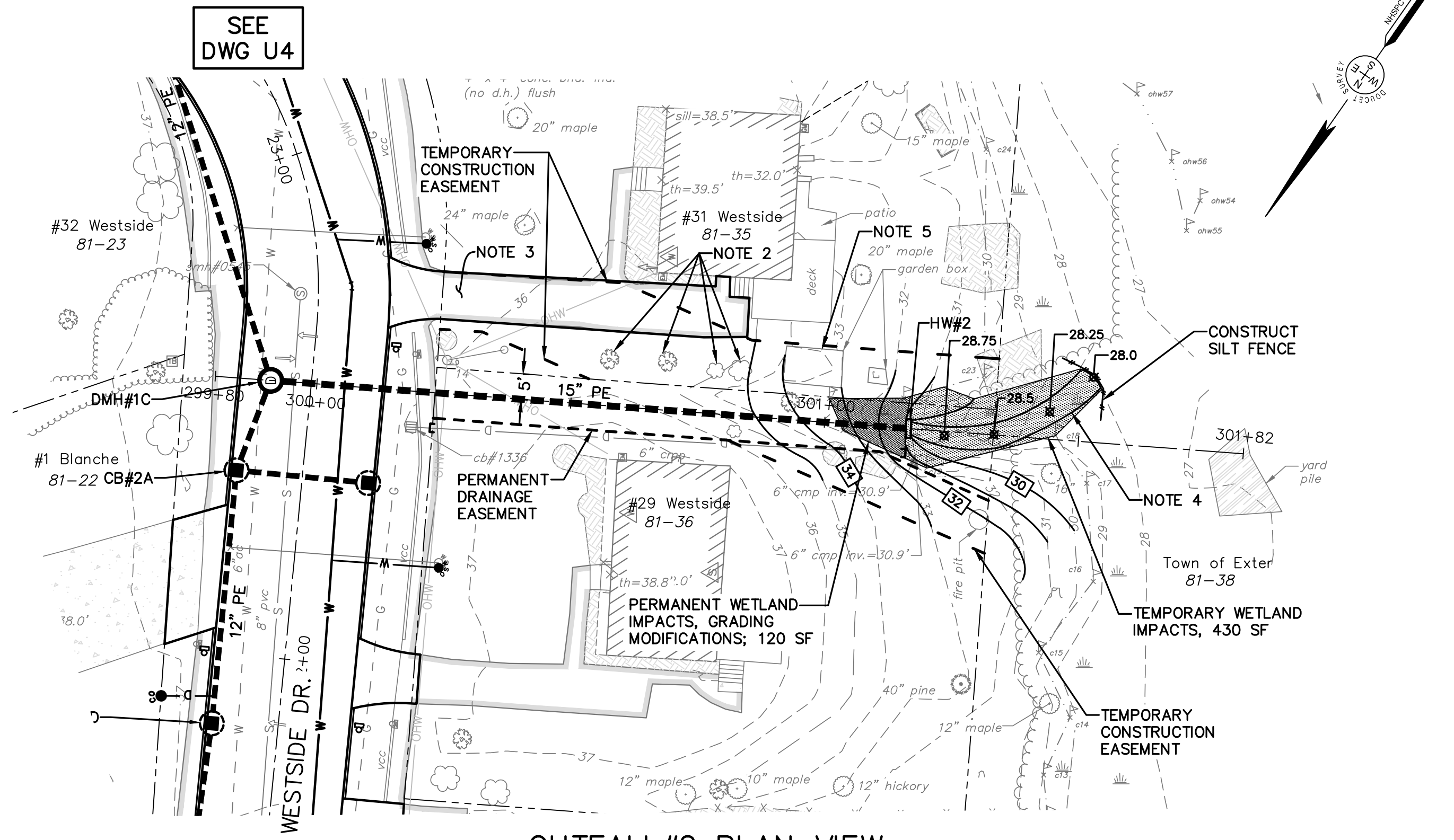
- NOTES:**
- USE SAND BAGS AND PORTABLE PUMP TO DIVERT STREAM FLOW INTO DRAINAGE SYSTEM TO PERFORM INLET REPLACEMENT IN THE DRY. WORK SHALL BE SCHEDULED TO BE COMPLETED DURING LOW FLOW CONDITIONS. REGRADE AND STABILIZE IMPACTED AREAS IMMEDIATELY WITH TURF ESTABLISHMENT (ITEM #646.512) AND ROLLED EROSION CONTROL PRODUCT. MAXIMUM LIMIT OF IMPACT SHALL BE 3' BEYOND FACE OF PROPOSED HEADWALL.
 - CONSTRUCT STABILIZED OUTLET USING CLASS-C STONE FILL, 12" MINIMUM DEPT (ITEM #585.3) PLACED ON GEOTEXTILE FABRIC, MEETING REQUIREMENTS OF NHDOT ITEM 593.221.
 - REGRADE SLOPE AND STABILIZE IMPACTED AREAS IMMEDIATELY WITH TURF ESTABLISHMENT (ITEM #646.512) AND ROLLED EROSION CONTROL PRODUCT.
 - WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED SLOPE AREA ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA. ITEM #646.512. TURF ESTABLISHMENT WILL ONLY BE MEASURED ONCE FOR PAYMENT.

ISSUE FOR APPROVAL	Date	By
CONSTRUCTION	Date	By
RECORD DRAWING	Date	By
REVISIONS	NO.	APP'D
Drawn/Chk. RMG	Designed DJR	Checked RJS
Approved 1/23/2025	Book No.	Project No. 2873
Scale AS SHOWN	Dwg. ID 2873_Justits	
90% DESIGN JANUARY, 2025 NOT FOR CONSTRUCTION		
Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733		
INLET / OUTFALL#5 WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH		
DWG NO U14	SHEET 23	OF 64

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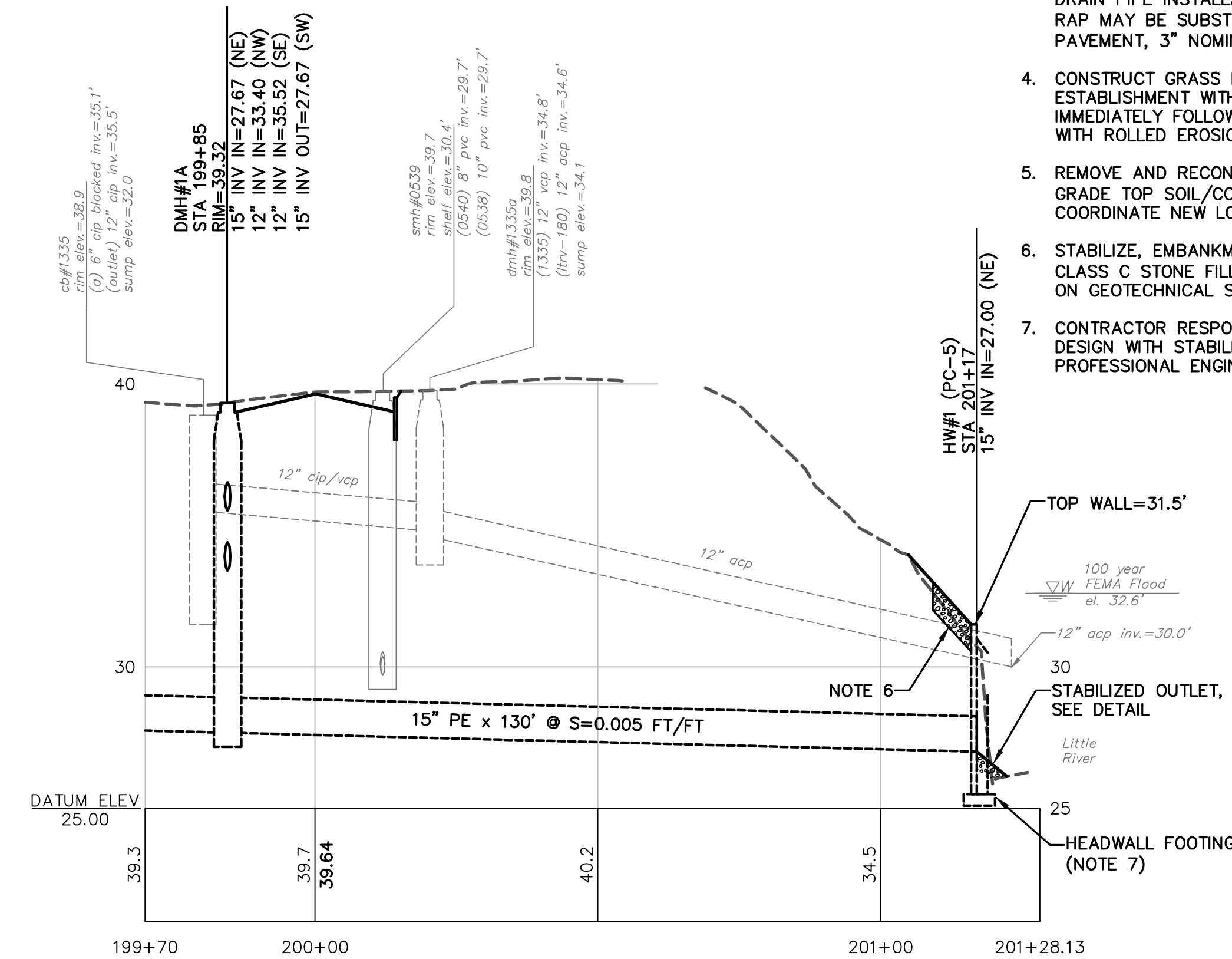


OUTLET #1 PLAN VIEW
SCALE: 1 INCH = 20 FT.

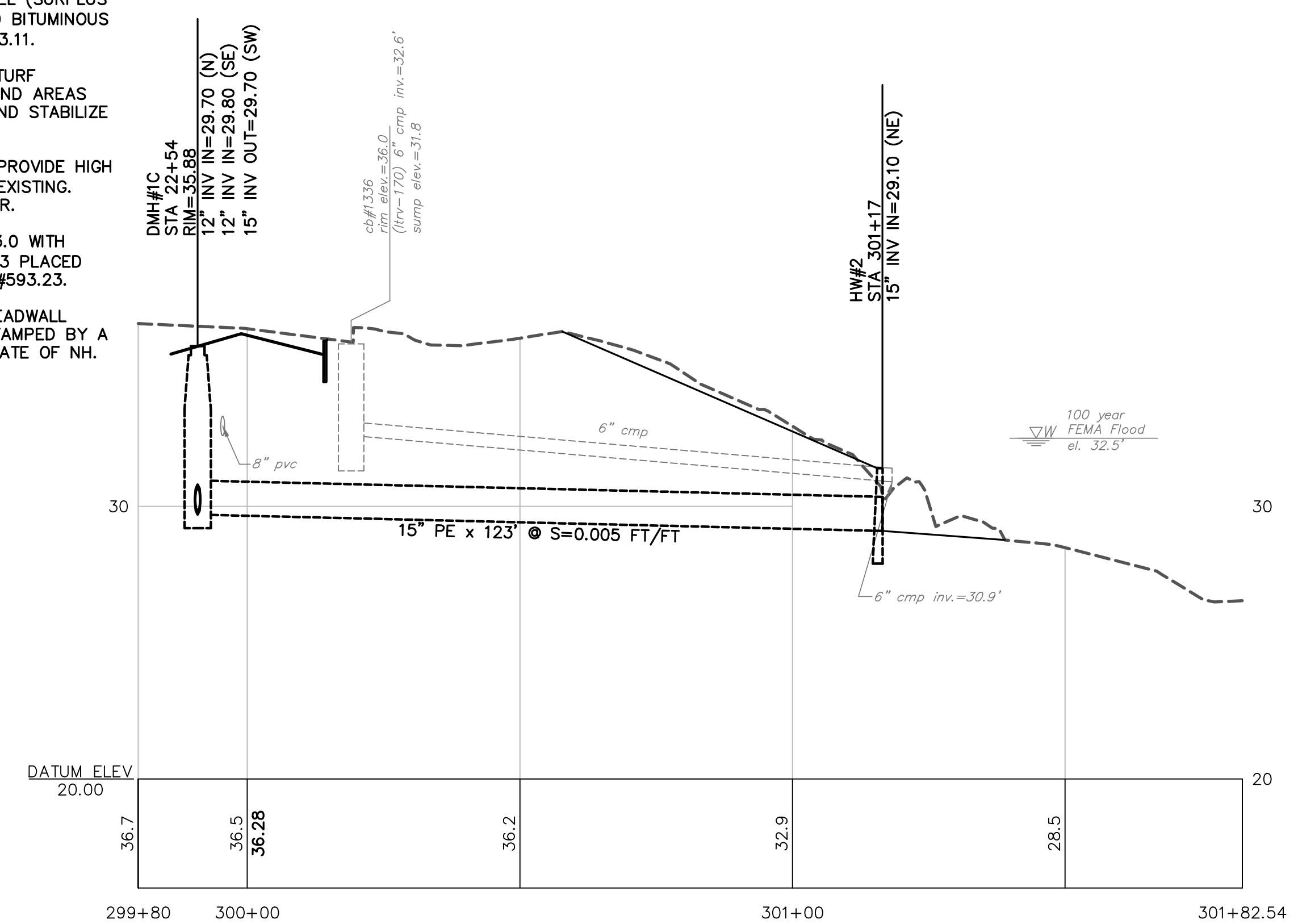


OUTFALL #2 PLAN VIEW
SCALE: 1 INCH = 20 FT.

- NOTES:**
1. RELOCATE SHED (INCLUDING UNDERGROUND ELECTRICAL SERVICE) DURING DRAINAGE INSTALLATION AND RESET IN A LOCATION APPROVED BY THE HOME OWNER.
 2. REMOVE TREES. REPLACE WITH SPECIES OF HOMEOWNERS CHOICE. UP TO 6 TREES, 3" CALIPER (MAX.).
 3. RECONSTRUCT DRIVEWAY FOLLOWING COMPLETION OF DRAIN PIPE INSTALLATION, 8" CRUSHED GRAVEL (SURPLUS RAP MAY BE SUBSTITUTED), ITEM #304.3 AND BITUMINOUS PAVEMENT, 3" NOMINAL THICKNESS, ITEM #403.11.
 4. CONSTRUCT GRASS LINED SWALE. COMPLETE TURF ESTABLISHMENT WITHIN JURISDICTIONAL WETLAND AREAS IMMEDIATELY FOLLOWING GRADING OF AREA AND STABILIZE WITH ROLLED EROSION CONTROL PRODUCT.
 5. REMOVE AND RECONSTRUCT GARDEN BOXES. PROVIDE HIGH GRADE TOP SOIL/COMPOST MIX TO REPLACE EXISTING. COORDINATE NEW LOCATION WITH HOME OWNER.
 6. STABILIZE, EMBANKMENT UP TO ELEVATION 33.0 WITH CLASS C STONE FILL (12" DEPTH) ITEM #585.3 PLACED ON GEOTECHNICAL SEPARATION FABRIC ITEM #593.23.
 7. CONTRACTOR RESPONSIBLE FOR PROVIDING HEADWALL DESIGN WITH STABILIZATION CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NH.



OUTFALL #1 PROFILE VIEW
HORIZ: 1 INCH = 20 FT.
VERT: 1 INCH = 4 FT.



OUTFALL #2 PROFILE VIEW
HORIZ: 1 INCH = 20 FT.
VERT: 1 INCH = 4 FT.

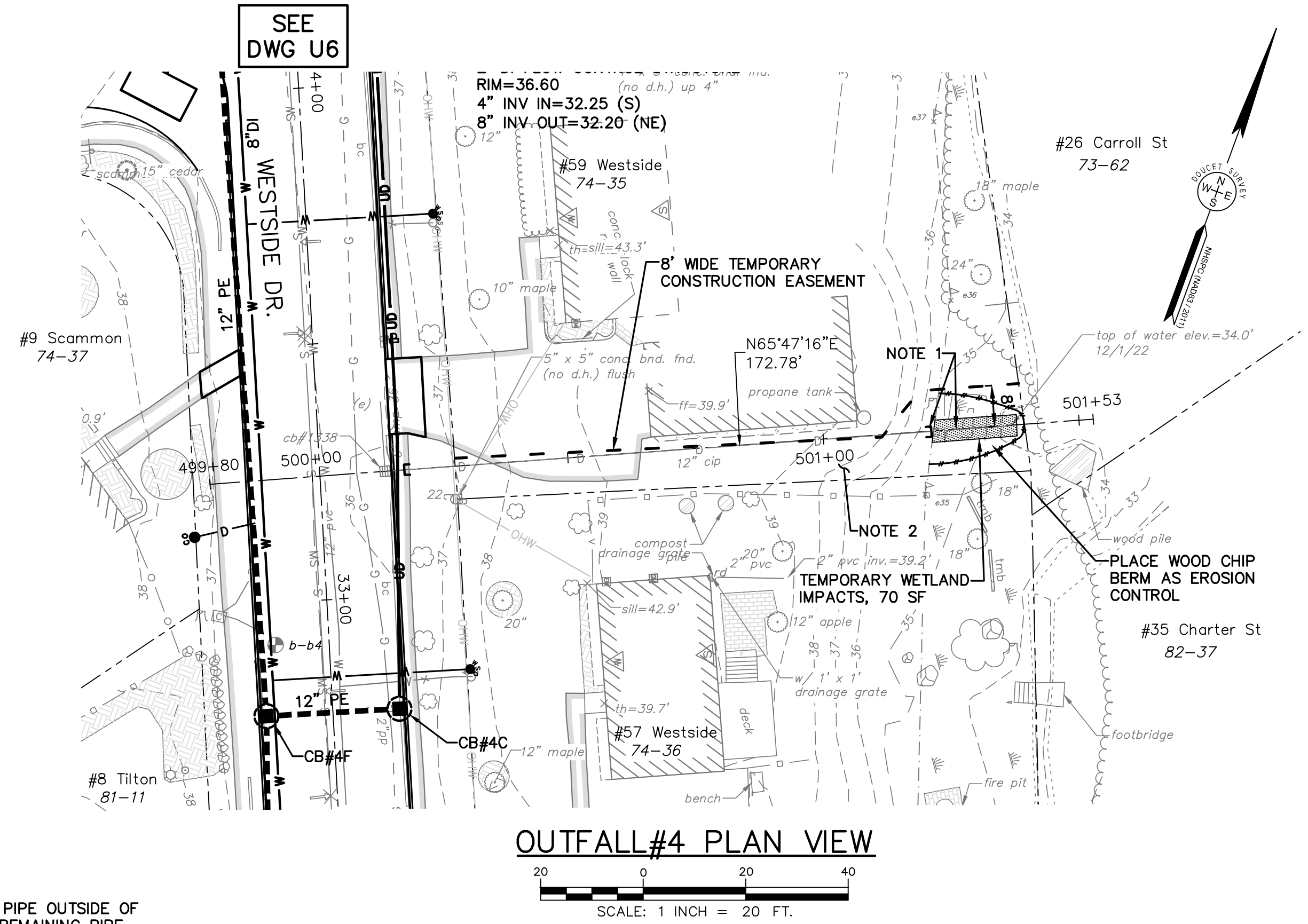
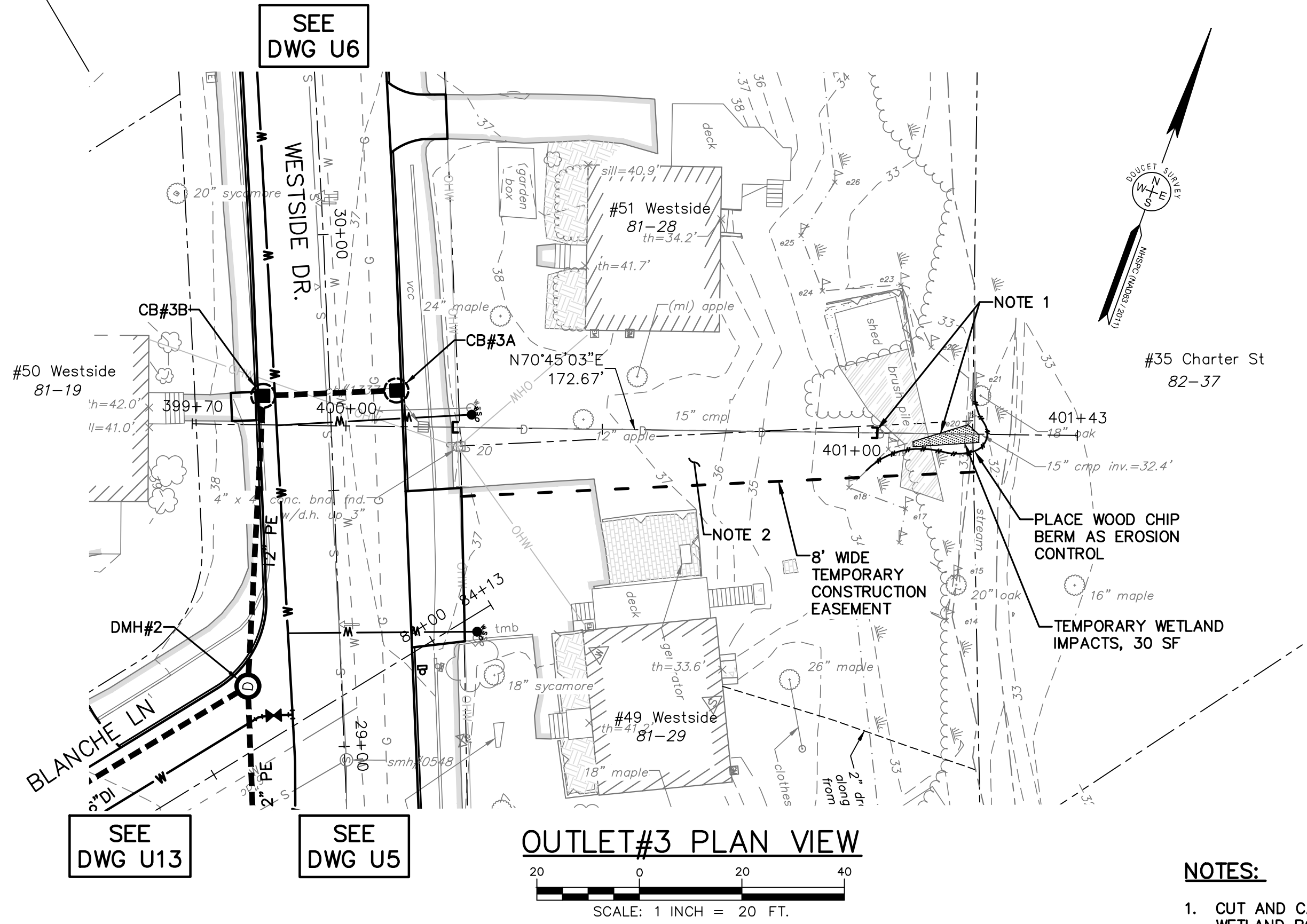
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APPROVAL		
CONSTRUCTION		
RECORD DRAWING		

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JANUARY, 2025
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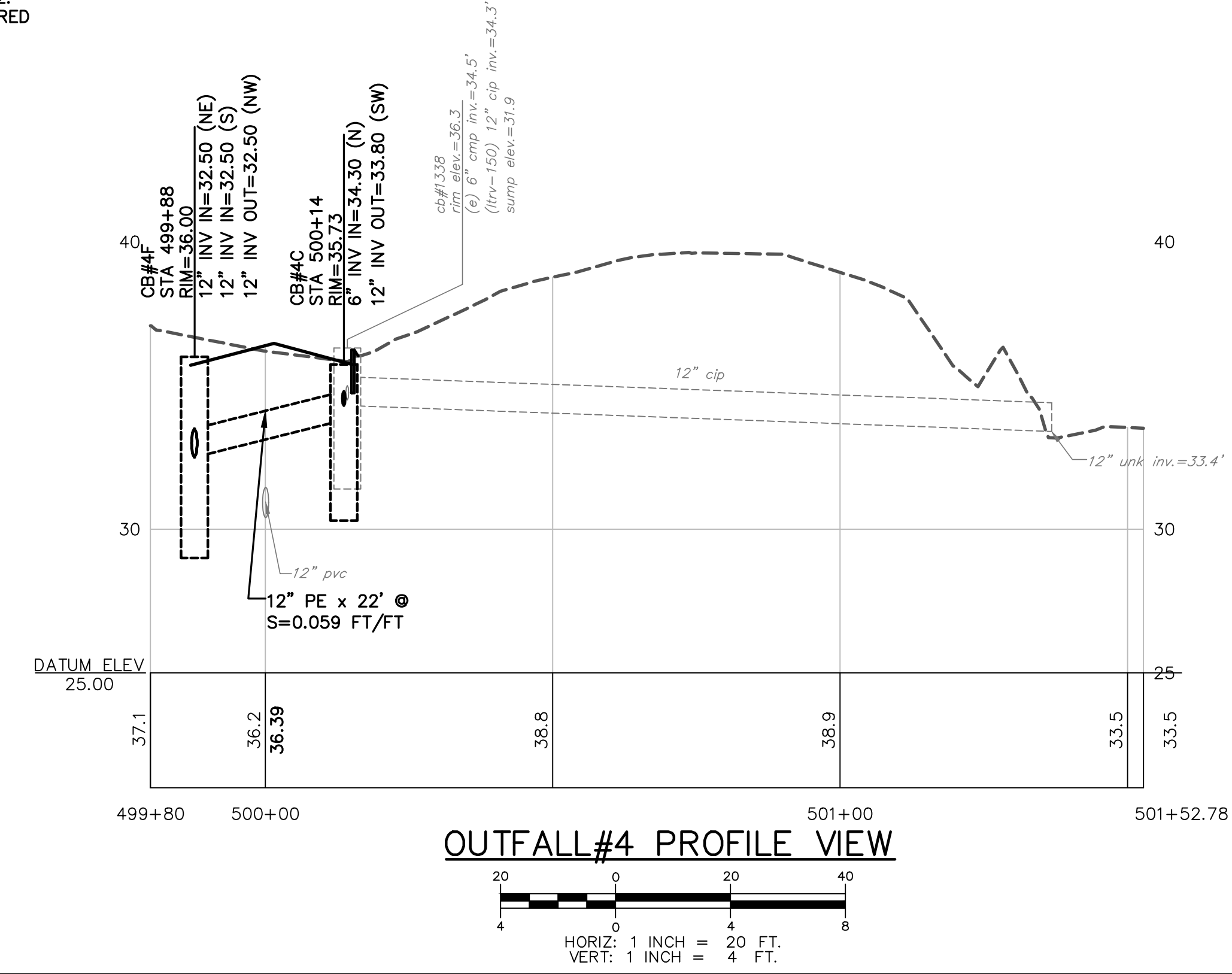
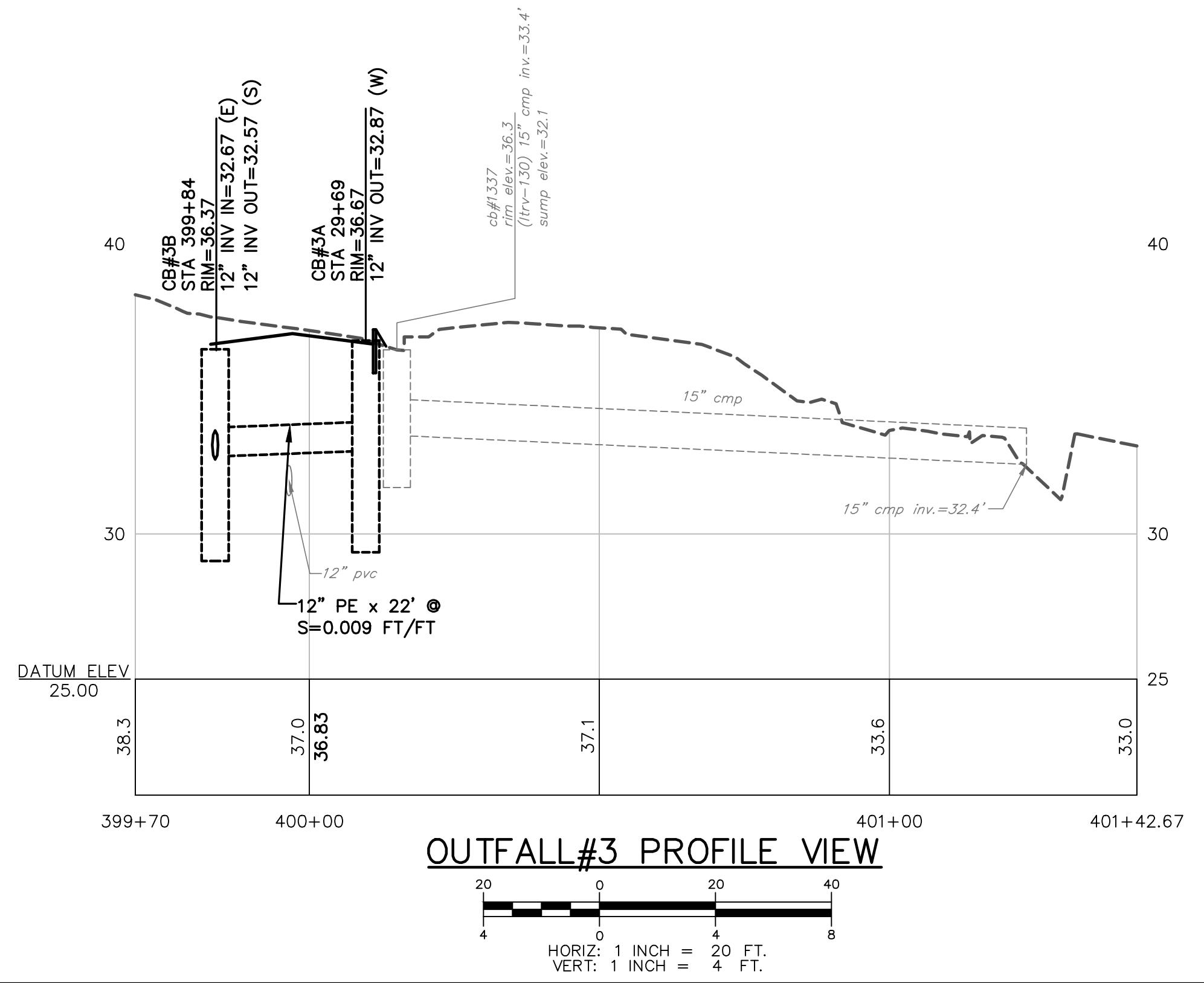
Underwood Engineers
25 Vaughan Mall, Portsmouth, N.H. 03801
Tel. 603-436-6192 Fax. 603-431-4733

OUTFALL #1 / OUTFALL #2
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

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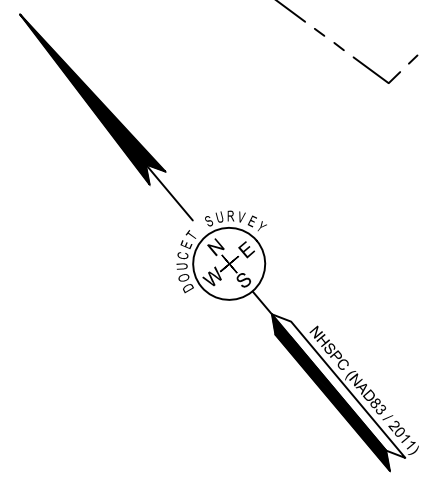


- NOTES:**
- CUT AND CAP EXISTING DRAIN PIPE OUTSIDE OF WETLAND BOUNDARY. REMOVE REMAINING PIPE WITHIN WETLAND BOUNDARY (ITEM #202.41). REGRADE DISTURBED AREAS IMMEDIATELY FOLLOWING REMOVAL OF PIPE AND STABILIZE WITH TURF ESTABLISHMENT (ITEM #646.512)
 - WHEN DRAINAGE WORK IS COMPLETE AND IMPACTED SLOPE AREA ADEQUATELY STABILIZED, RESTORE LAWN AREAS WITH LOAM (4" THICK) WHERE REQUIRED TO SMOOTH DISTURBED AREA. APPLY HYDRAULIC SEED TO FULL WIDTH OF TEMPORARY EASEMENT AREA. ITEM #646.512. TURF ESTABLISHMENT WILL ONLY BE MEASURED ONCE FOR PAYMENT.

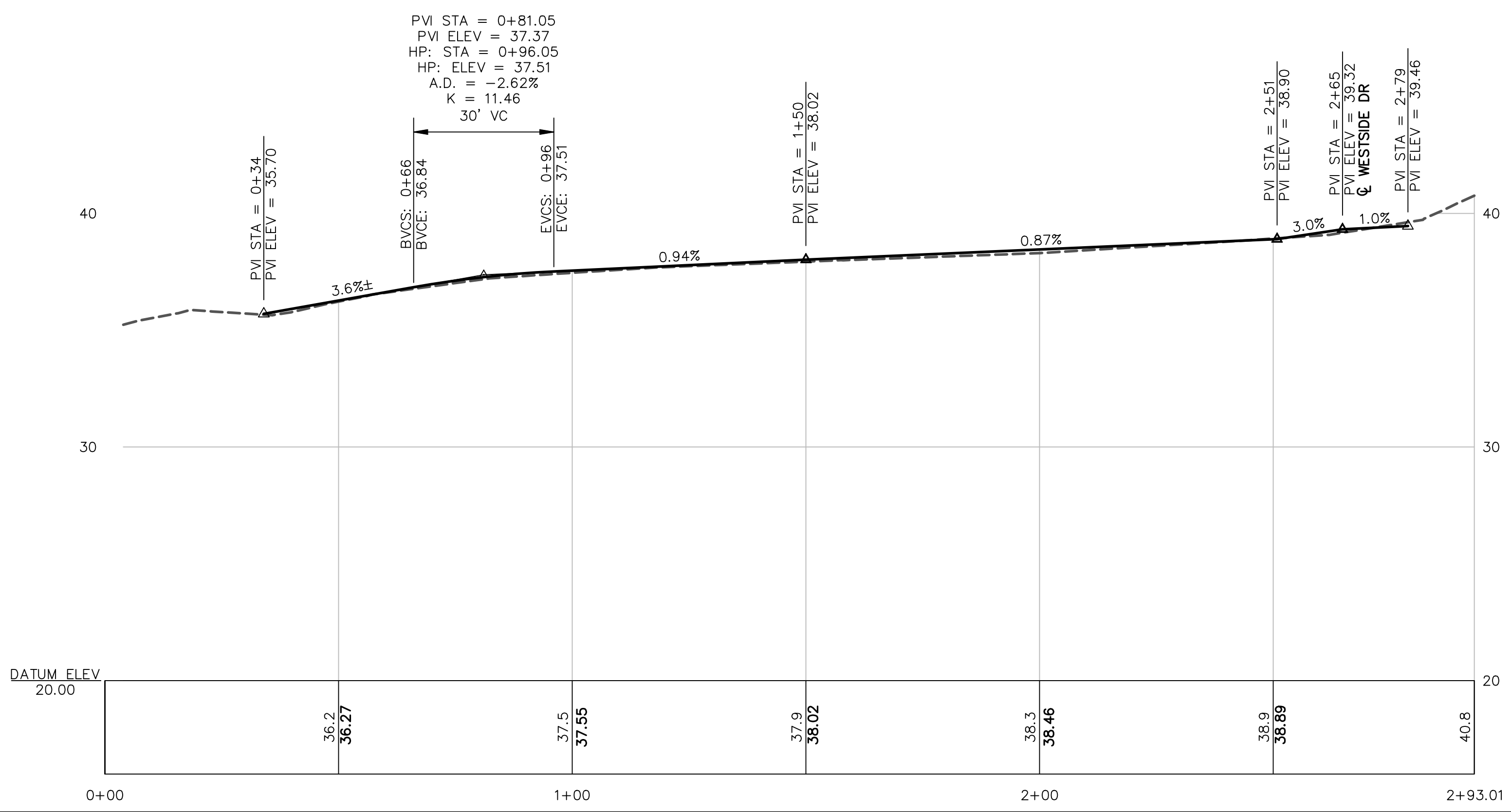
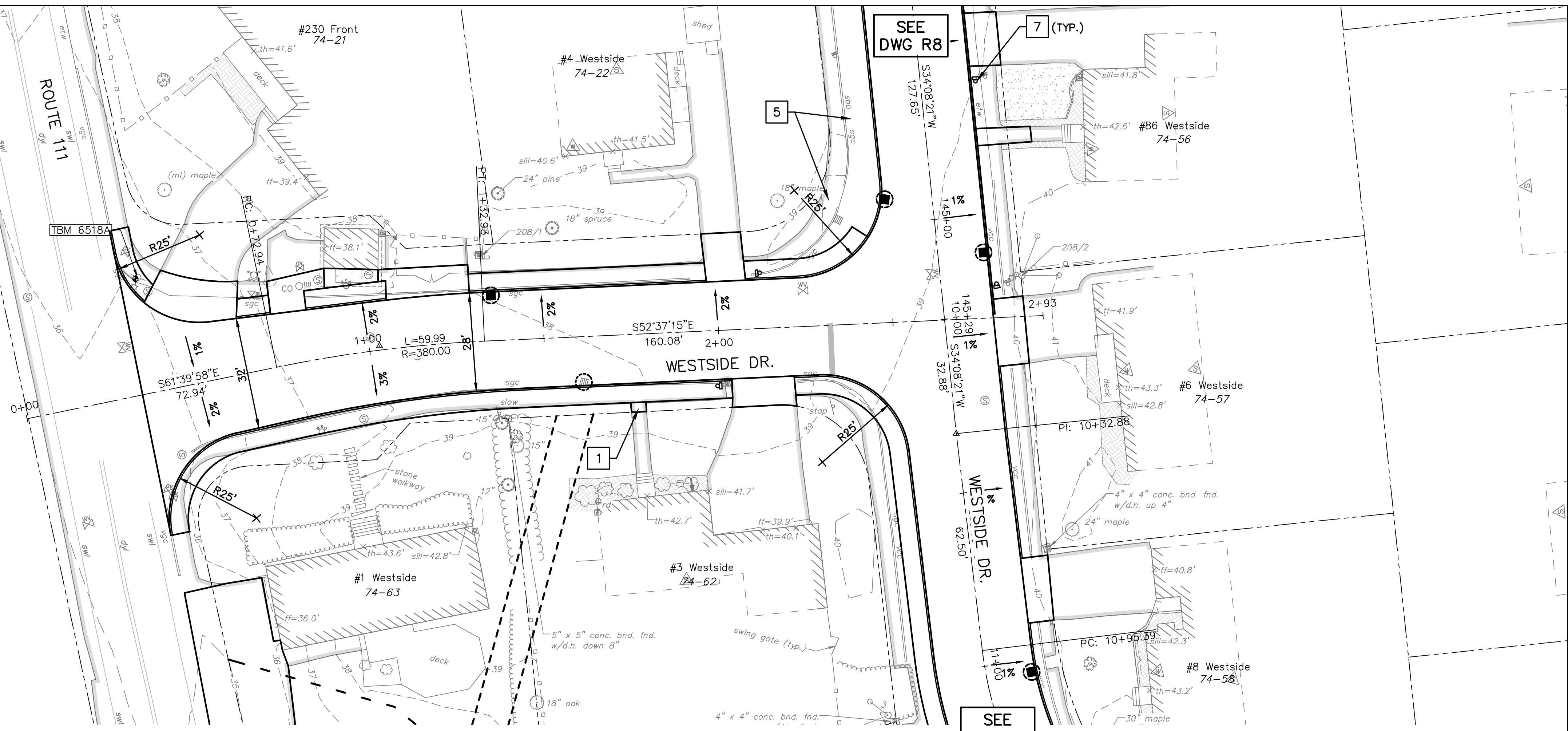


ISSUE FOR APPROVAL	Date	By
CONSTRUCTION	Date	By
RECORD DRAWING	Date	By
REVISIONS	NO.	APP'D
<p>90% DESIGN JANUARY, 2025 NOT FOR CONSTRUCTION</p>		
<p>Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733</p>		
<p>OUTFALL#3 / OUTFALL#4 WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH</p>		
DWG NO	SHEET	
U16	25 OF 64	

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Kingston Rd
74-81



SEE DWG R8

SEE DWG R2

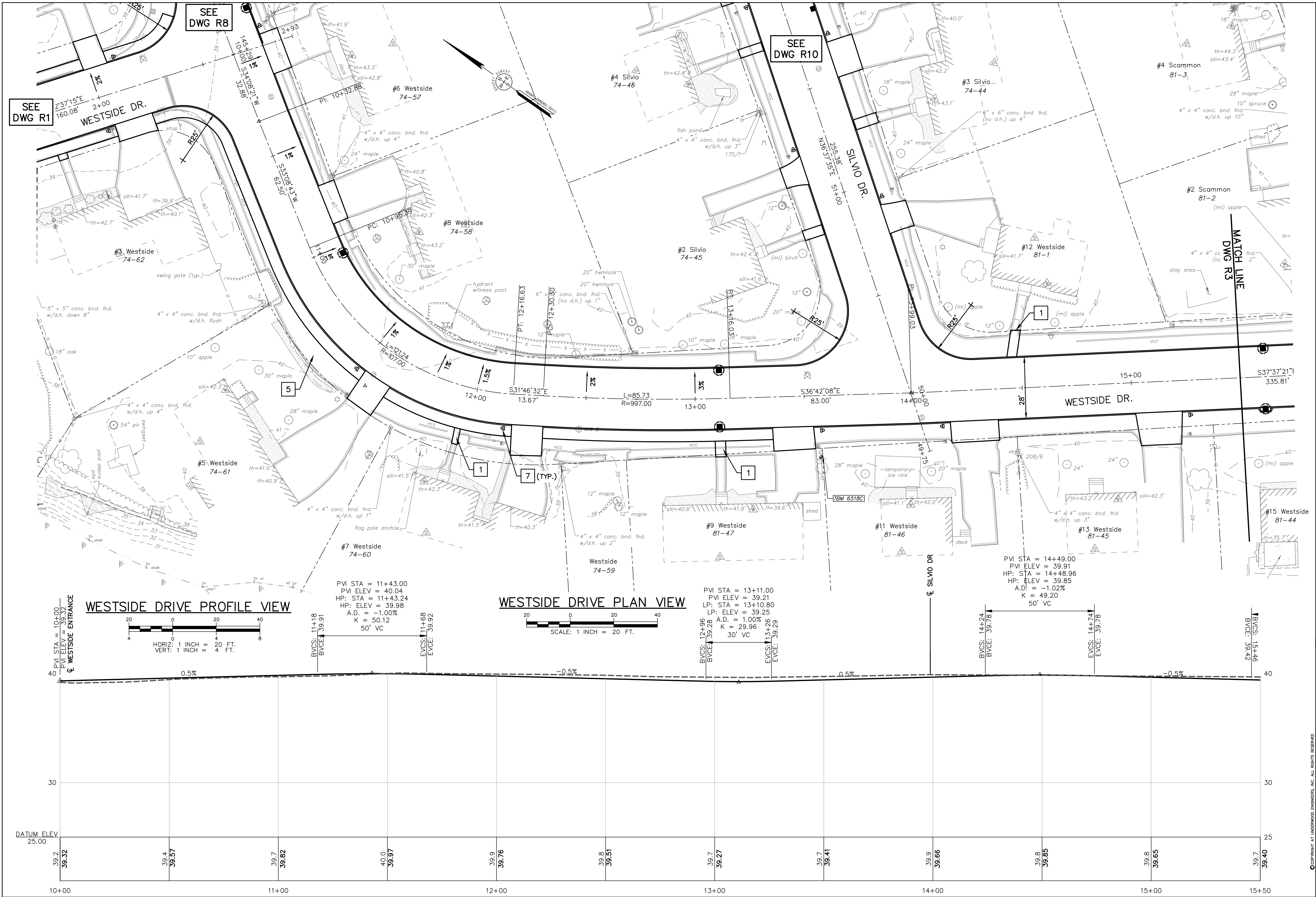
Drawn/Chk.	RMG	ISSUE FOR
Designed	DJR	APPROVAL
Checked	RJS	Date
Approved		By
Date	11/27/2024	CONSTRUCTION
Book No.		Date
Project No.	2873	By
Dwg. ID	2873_01	RECORD DRAWING
Scale	AS SHOWN	Date

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WESTSIDE DRIVE ENTRANCE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO R1	SHEET 26 OF 64

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SEE DWG R1
237°15'E
160.08'

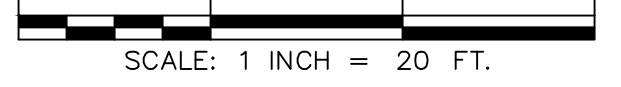
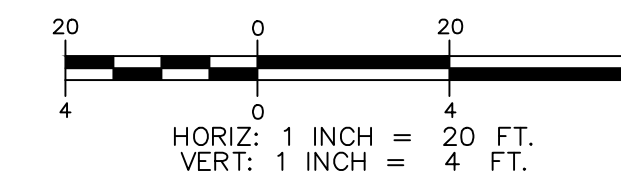
SEE DWG R8

SEE DWG R10

MATCH LINE
DWG R3

WESTSIDE DRIVE PROFILE VIEW

WESTSIDE DRIVE PLAN VIEW



PVI STA = 11+43.00
PVI ELEV = 40.04
HP: STA = 11+43.24
HP: ELEV = 39.98
A.D. = -1.00%
K = 50.12
50' VC

PVI STA = 13+11.00
PVI ELEV = 39.21
LP: STA = 13+10.80
LP: ELEV = 39.25
A.D. = 1.00%
K = 29.96
30' VC

PVI STA = 14+49.00
PVI ELEV = 39.91
HP: STA = 14+48.96
HP: ELEV = 39.85
A.D. = -1.02%
K = 49.20
50' VC

ISSUE FOR APPROVAL	DATE	BY

CONSTRUCTION	DATE	BY

RECORD DRAWING	DATE	BY

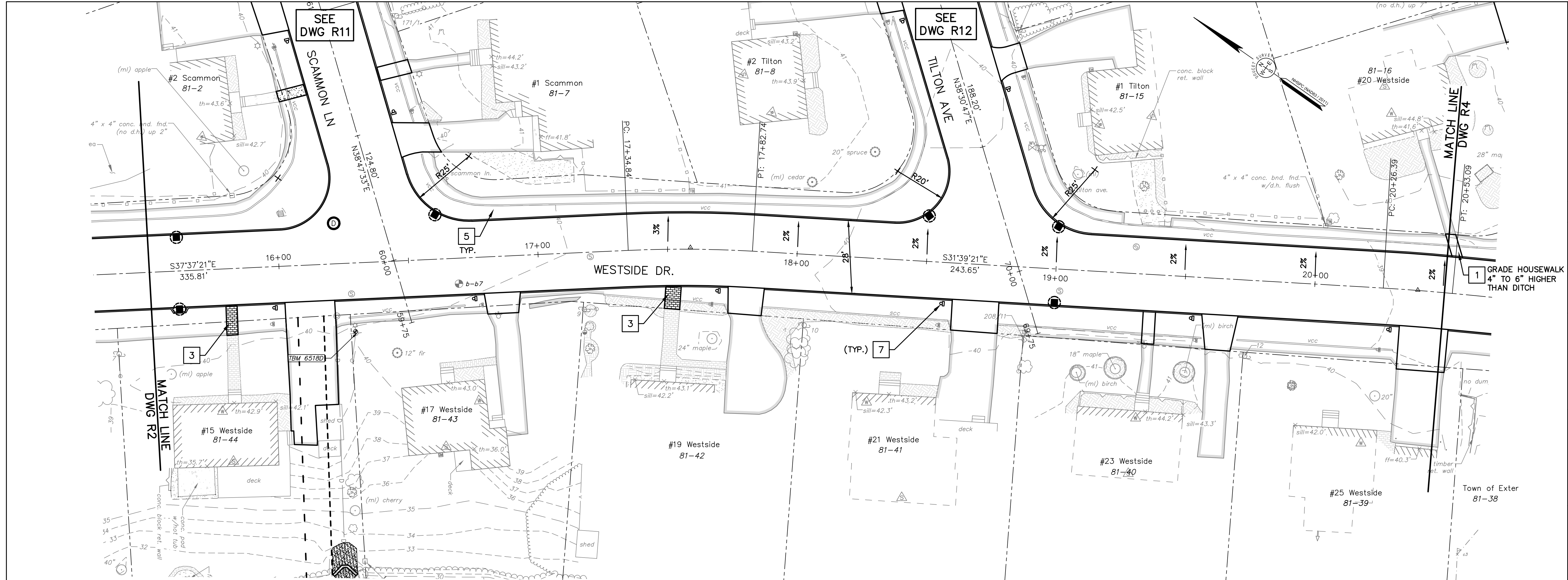
REVISIONS	NO.	APP'D

90% DESIGN
NOVEMBER, 2024
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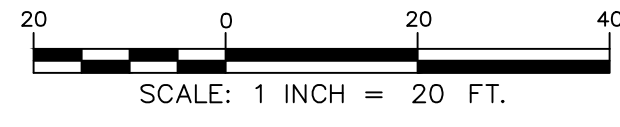
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WESTSIDE DRIVE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO R2	SHEET 27 OF 64

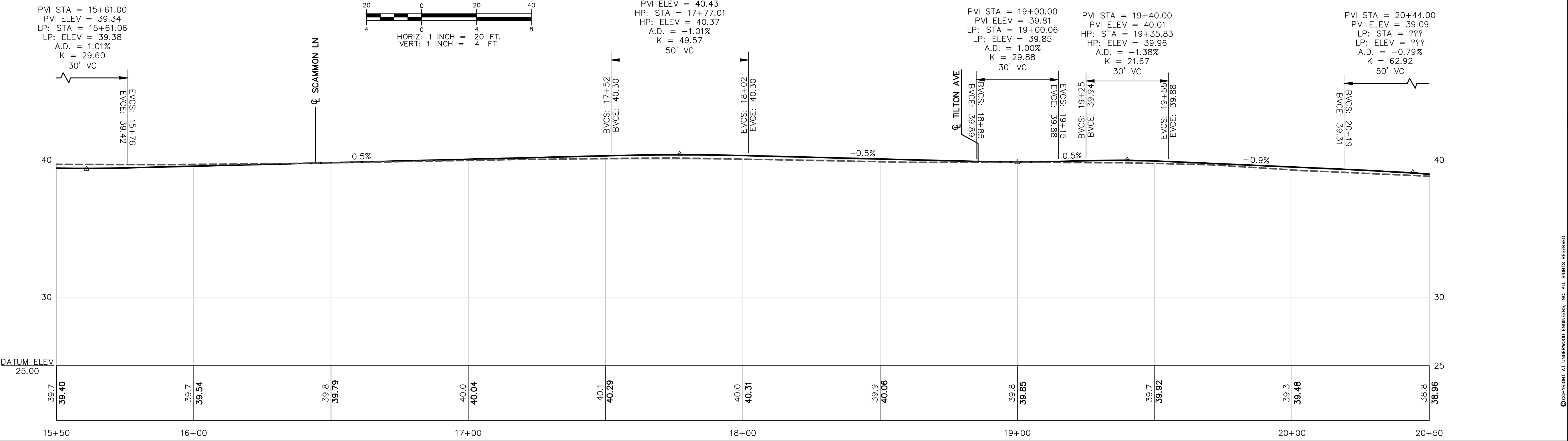
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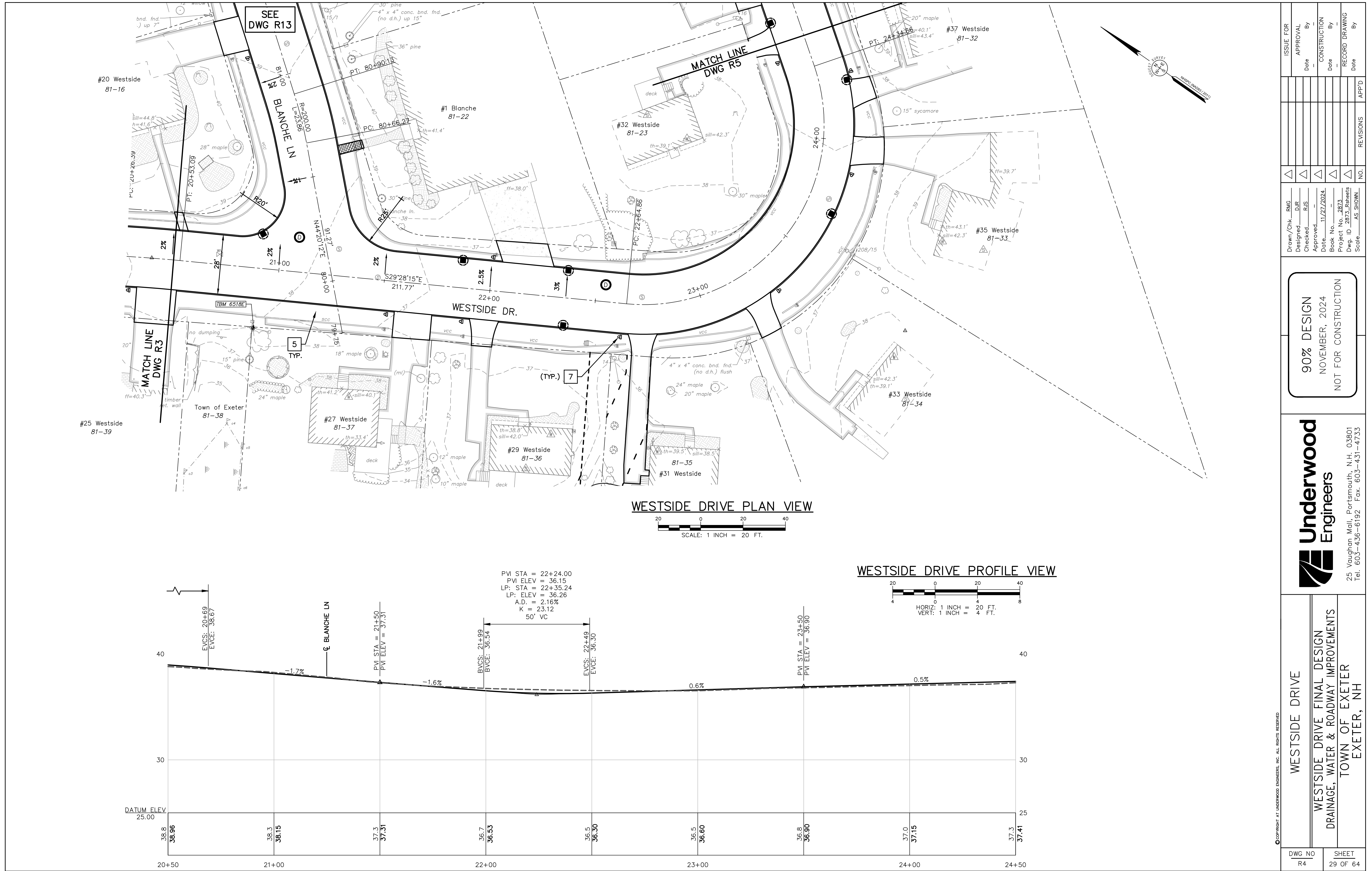


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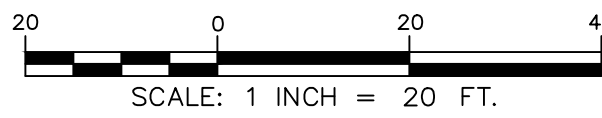


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Designed _____	DJR	APPROVAL
Checked _____	RJS	Date _____
Approved _____	_____	By _____
Date: 11/27/2024	_____	CONSTRUCTION
Book No. _____	_____	Date _____
Project No. 2873	_____	By _____
Dwg. ID 2873_01	_____	RECORD DRAWING
Scale AS SHOWN	_____	Date _____
		NO.
		REVISIONS
		APP'D
<p>90% DESIGN NOVEMBER, 2024 NOT FOR CONSTRUCTION</p>		
<p>Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733</p>		
<p>WESTSIDE DRIVE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH</p>		
DWG NO	R3	SHEET
		28 OF 64

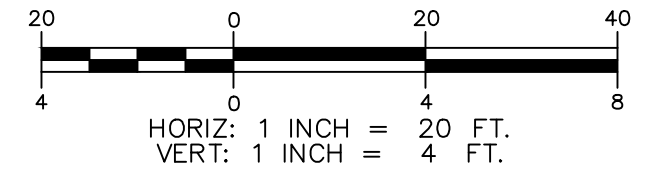
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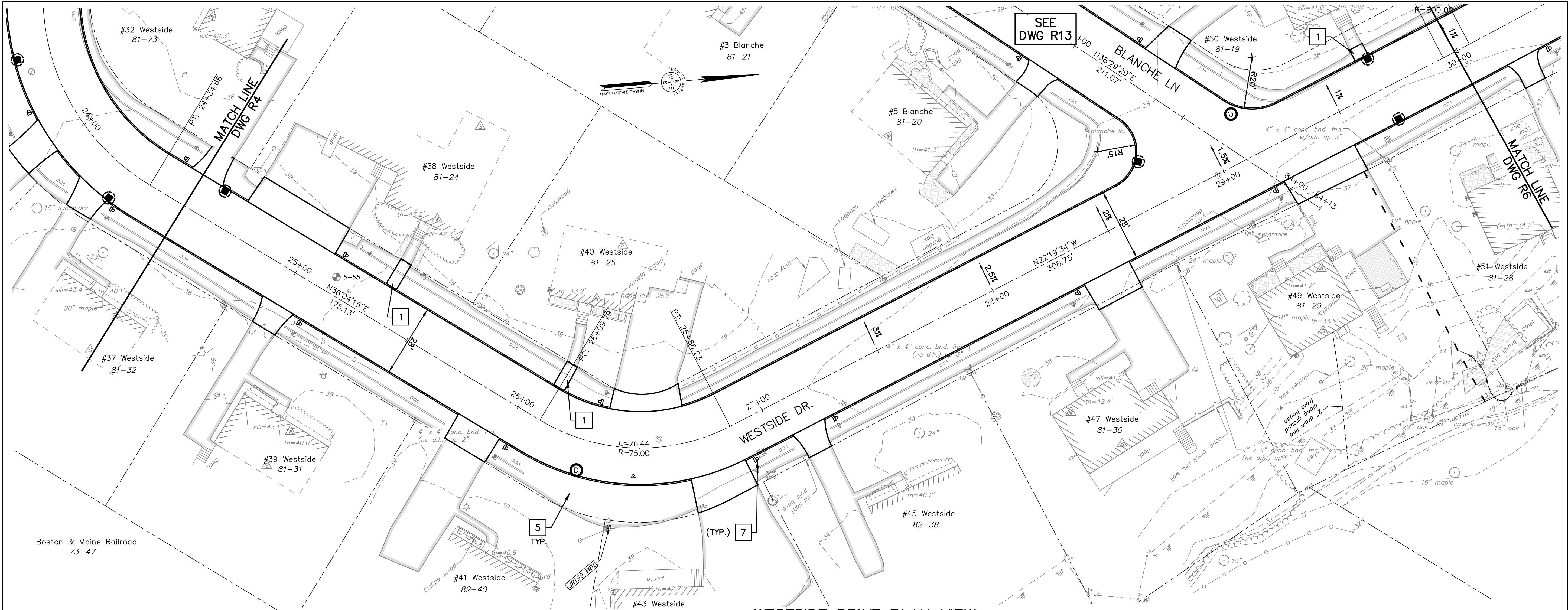
WESTSIDE DRIVE PROFILE VIEW



PVI STA = 22+24.00
 PVI ELEV = 36.15
 LP: STA = 22+35.24
 LP: ELEV = 36.26
 A.D. = 2.16%
 K = 23.12
 50' VC

DWG NO R4	SHEET 29 OF 64	WESTSIDE DRIVE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH	 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733	90% DESIGN NOVEMBER, 2024 NOT FOR CONSTRUCTION	Drawn/Chk. — RMG Designed — DJR Checked — RJS Approved — Date: 11/27/2024 Book No. — Project No. — 2873 Dwg. ID — 2873_R4revs Scale — AS SHOWN	NO. REVISIONS DATE BY APPROVAL DATE BY CONSTRUCTION DATE BY RECORD DRAWING DATE BY	ISSUE FOR APPROVAL DATE BY CONSTRUCTION DATE BY RECORD DRAWING DATE BY
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WESTSIDE DRIVE PLAN VIEW
 SCALE: 1 INCH = 20 FT.

WESTSIDE DRIVE PROFILE VIEW
 HORIZ: 1 INCH = 20 FT.
 VERT: 1 INCH = 4 FT.



ISSUE FOR		DATE	BY
APPROVAL	DATE		
CONSTRUCTION	DATE		
RECORD DRAWING	DATE		
REVISIONS	NO.	APP'D	
Drawn/Chk.	RMG		
Designed	DJR		
Checked	RJS		
Approved			
Date	11/27/2024		
Book No.			
Project No.	2873		
Dwg. ID	2873_R5		
Scale	AS SHOWN		

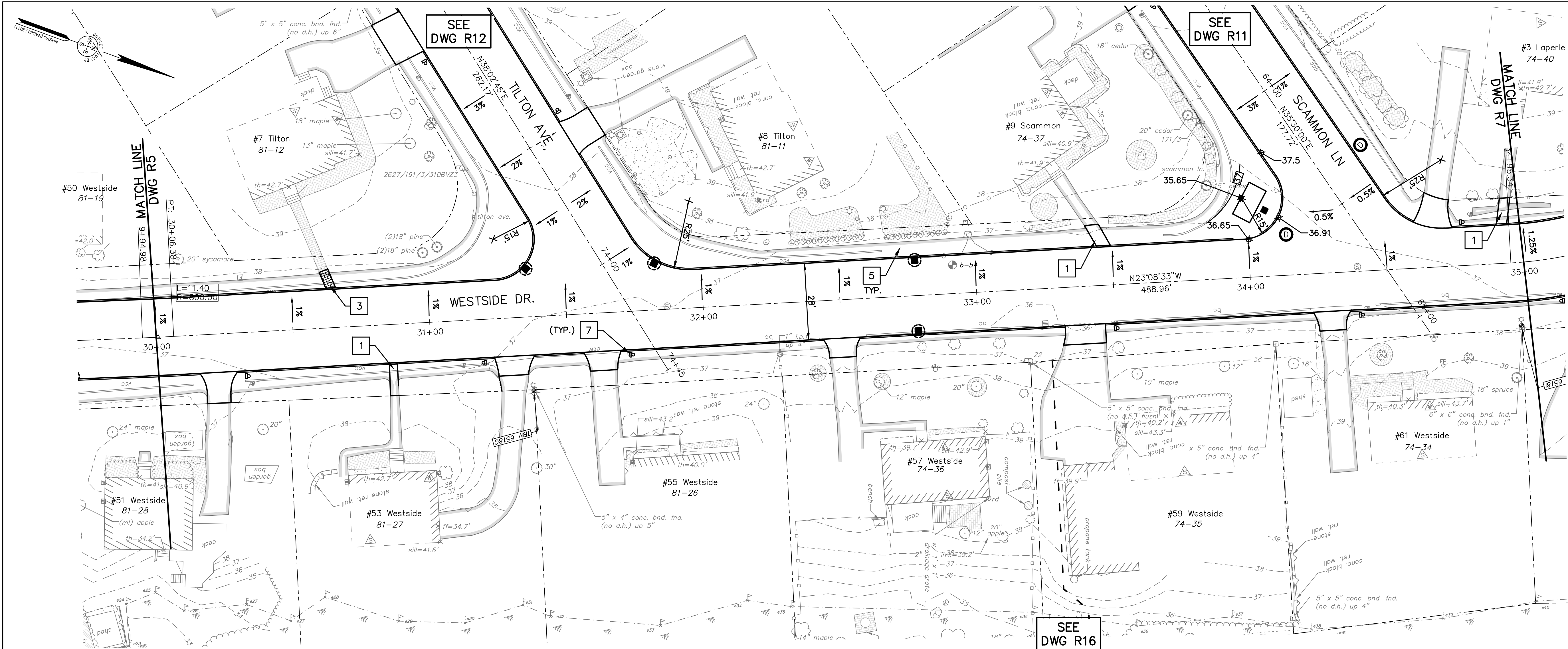
90% DESIGN	
NOVEMBER, 2024	
NOT FOR CONSTRUCTION	

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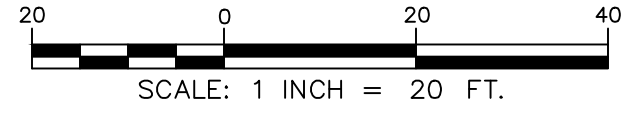
WESTSIDE DRIVE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	

DWG NO	SHEET
R5	30 OF 64

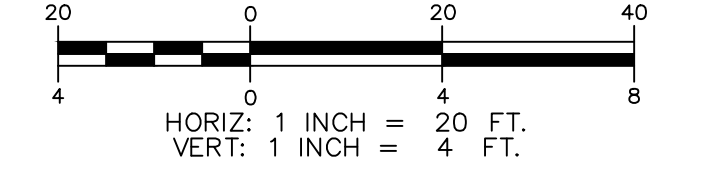
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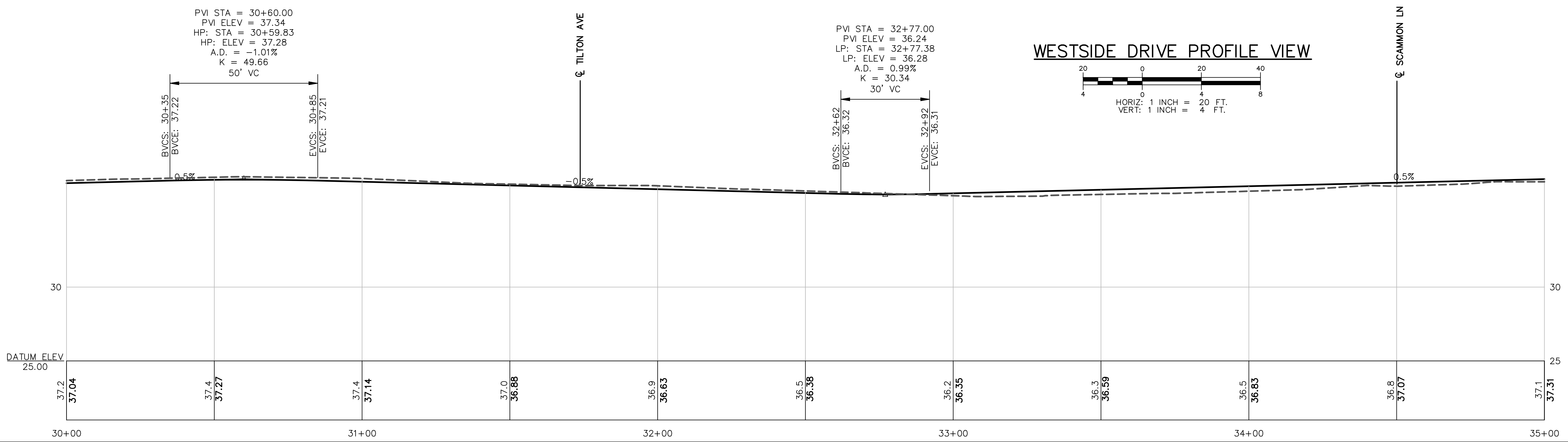


WESTSIDE DRIVE PROFILE VIEW



PVI STA = 30+60.00
 PVI ELEV = 37.34
 HP: STA = 30+59.83
 HP: ELEV = 37.28
 A.D. = 1.01%
 K = 49.66
 50' VC

PVI STA = 32+77.00
 PVI ELEV = 36.24
 LP: STA = 32+77.38
 LP: ELEV = 36.28
 A.D. = 0.99%
 K = 30.34
 30' VC



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Drawn/Chk.	RMG	DJR
Designed	RMG	DJR
Checked	RMG	DJR
Approved	RMG	DJR
Date	11/27/2024	
Book No.	2873	
Project No.	2873	
Dwg. ID	2873_R6	
Scale	AS SHOWN	

90% DESIGN
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NOT FOR CONSTRUCTION

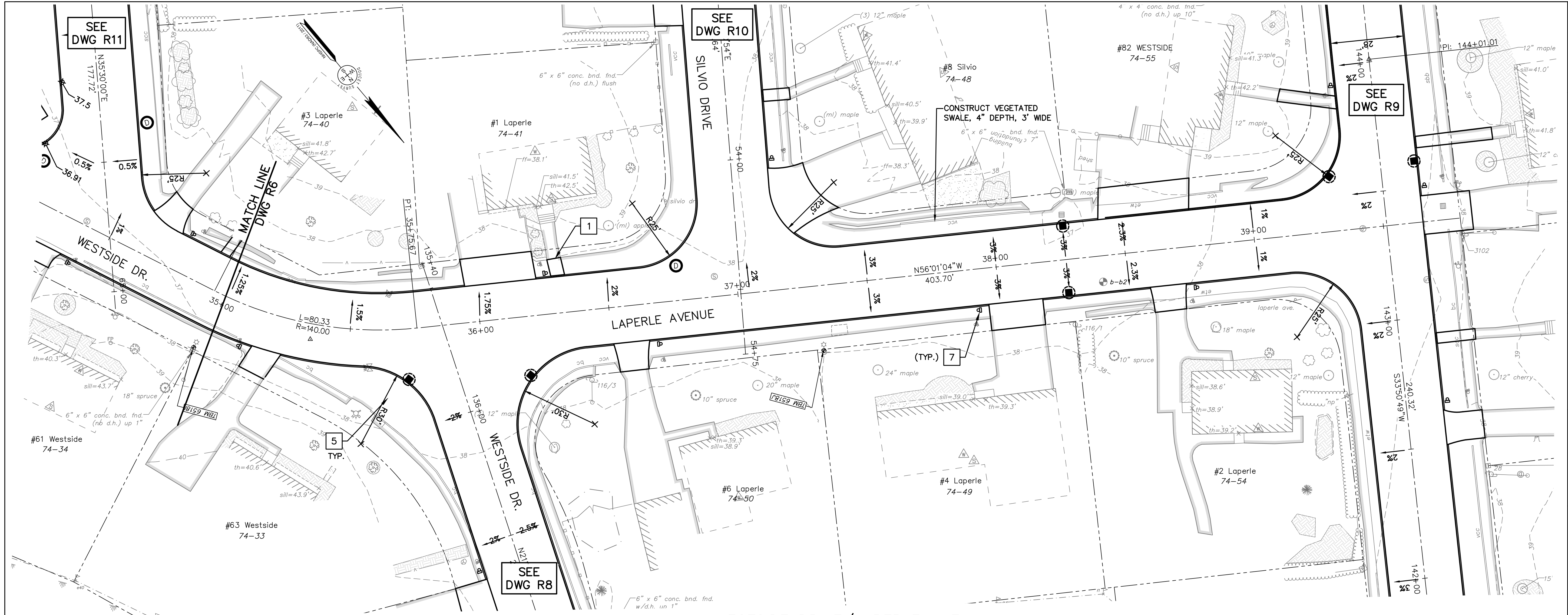
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 Tel. 603-436-6192 Fax. 603-431-4733

WESTSIDE DRIVE
WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS
 TOWN OF EXETER
 EXETER, NH

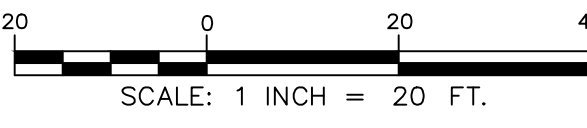
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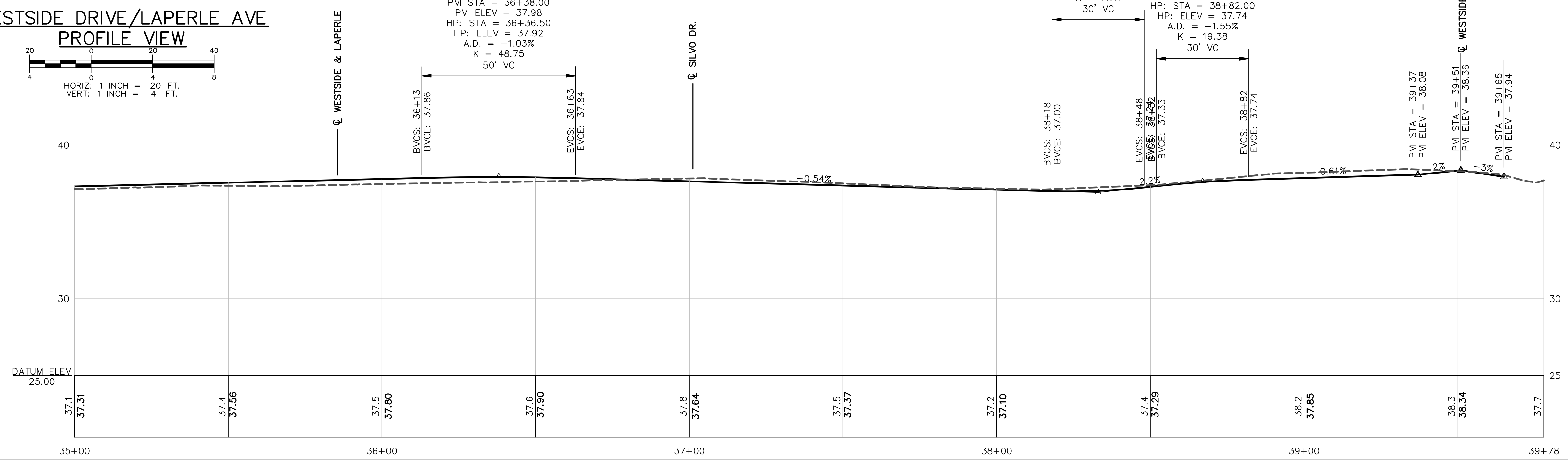
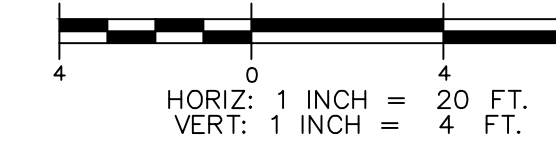
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WESTSIDE DRIVE/LAPERLE AVE
PLAN VIEW



WESTSIDE DRIVE/LAPERLE AVE
PROFILE VIEW



PVI STA = 38+33.00
 PVI ELEV = 36.92
 LP: STA = 38+24.04
 LP: ELEV = 36.99
 A.D. = 2.70%
 K = 11.11
 30' VC

PVI STA = 38+67.00
 PVI ELEV = 37.65
 HP: STA = 38+82.00
 HP: ELEV = 37.74
 A.D. = -1.55%
 K = 19.38
 30' VC

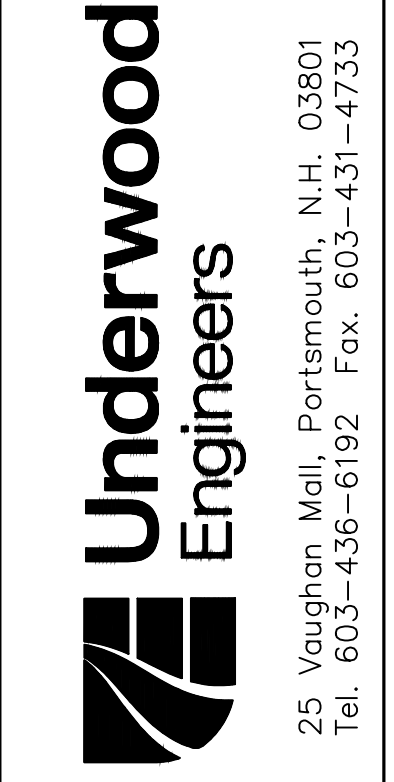
WESTSIDE DR
 PVI STA = 39+37
 PVI ELEV = 38.08

WESTSIDE DR
 PVI STA = 39+51
 PVI ELEV = 38.36

WESTSIDE DR
 PVI STA = 39+65
 PVI ELEV = 37.94

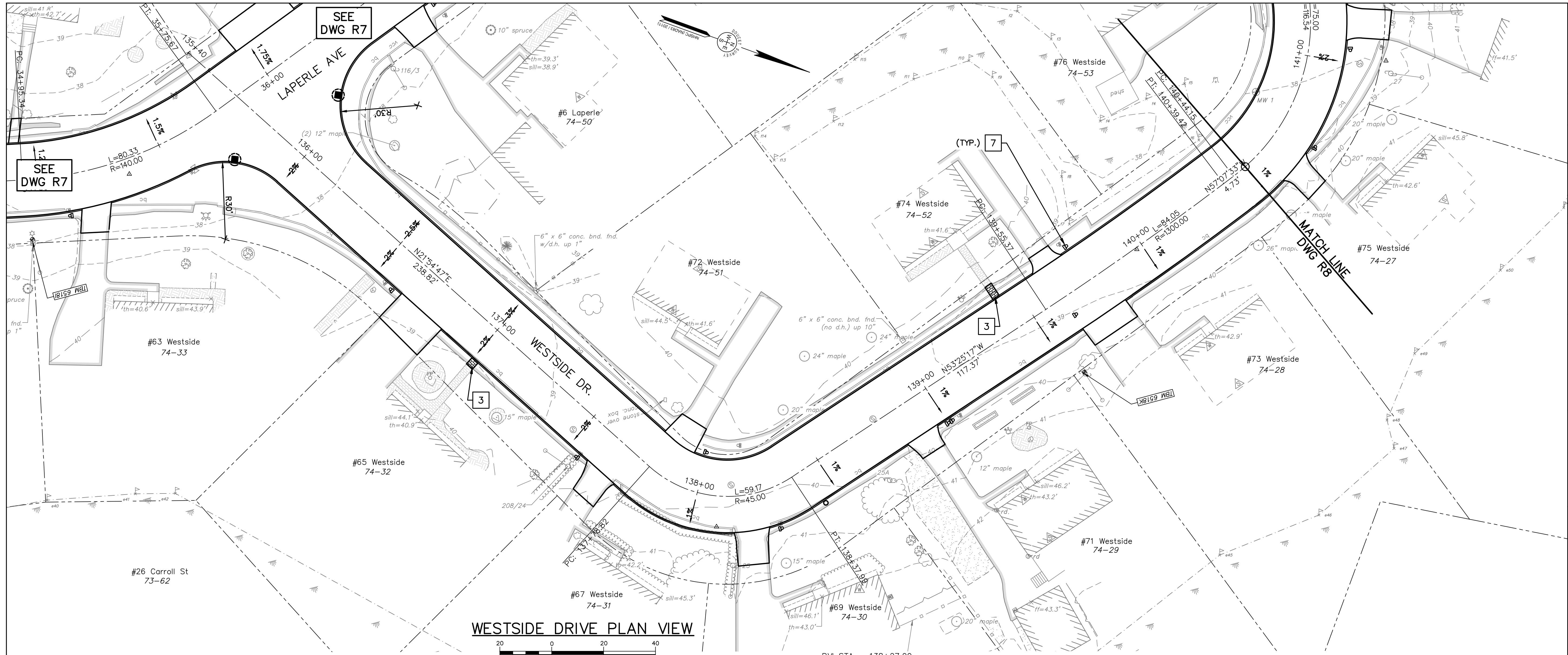
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WESTSIDE DRIVE/LAPERLE AVE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO R7	SHEET 32 OF 64

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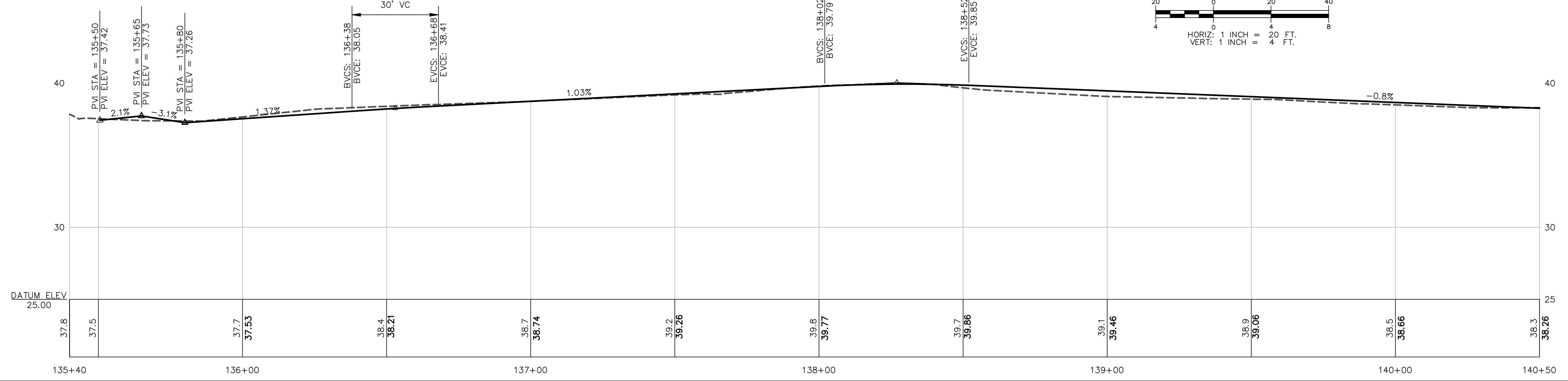
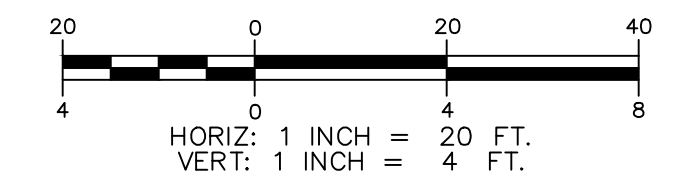
WESTSIDE DRIVE PLAN VIEW



PVI STA = 136+53.00
 PVI ELEV = 38.26
 HP: STA = 136+68.00
 HP: ELEV = 38.41
 A.D. = -0.34%
 K = 88.18
 30' VC

PVI STA = 138+27.00
 PVI ELEV = 40.05
 HP: STA = 138+30.08
 HP: ELEV = 39.94
 A.D. = -1.83%
 K = 27.30
 50' VC

WESTSIDE DRIVE PROFILE VIEW



Drawn/Chk.	RMG	DATE
Designed	DJR	
Checked	RJS	
Approved		
Date	11/27/2024	
Book No.		
Project No.	2873	
Dwg. ID	2873_R8	
Scale	AS SHOWN	

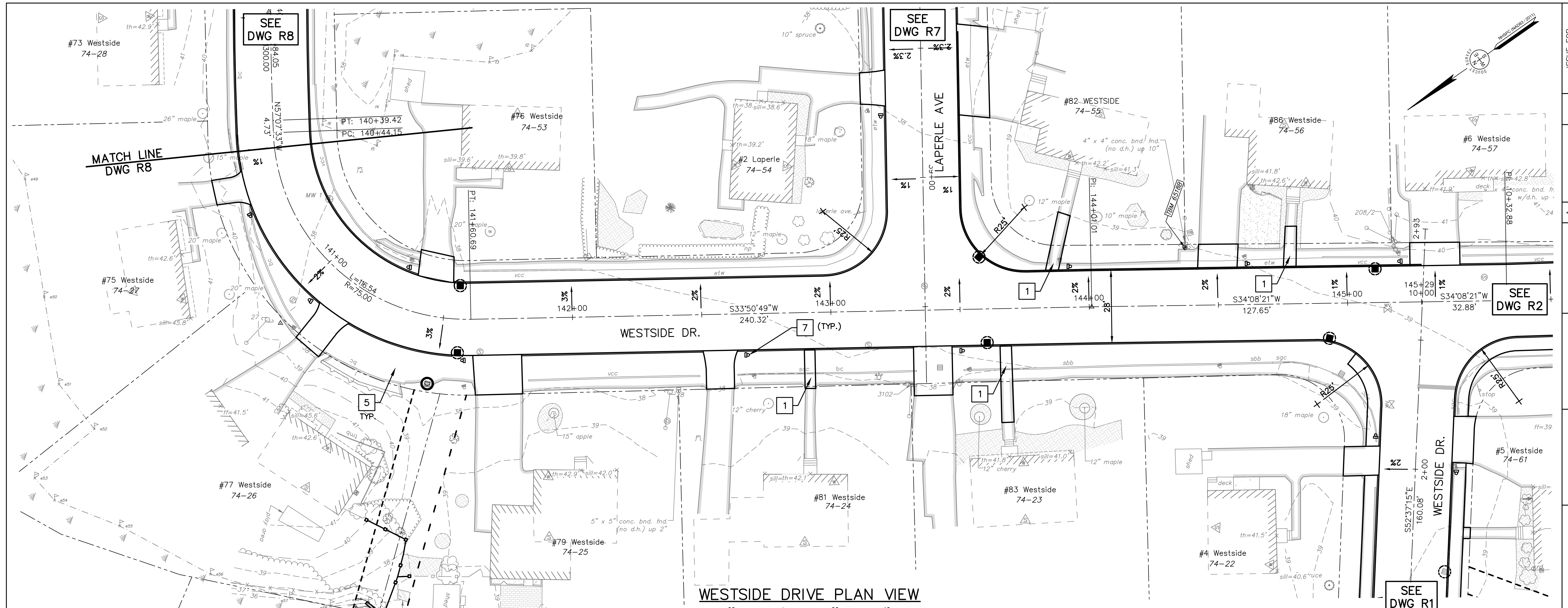
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WESTSIDE DRIVE	
WESTSIDE DRIVE FINAL DESIGN	
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TOWN OF EXETER	
EXETER, NH	
DWG NO R8	SHEET 33 OF 64

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PVI STA = 141+52.00
PVI ELEV = 37.44
LP: STA = 141+55.59
LP: ELEV = 37.49
A.D. = 1.30%
K = 23.15
30' VC

BVCS: 141+37
BVCE: 37.56
EVCS: 141+67
EVCE: 37.51

PVI STA = 143+37
PVI ELEV = 38.55

WESTSIDE DRIVE PROFILE VIEW

HORIZ: 1 INCH = 20 FT.
VERT: 1 INCH = 4 FT.

PVI STA = 145+29
PVI ELEV = 39.32
WESTSIDE ENTRANCE

DATUM ELEV
25.00

140+50	141+00	142+00	143+00	144+00	145+00	145+28.66
38.3	37.9	37.7	37.9	38.5	39.0	39.2
38.26	37.86	37.68	38.17	38.42	38.92	39.32

ISSUE FOR APPROVAL	By	Date

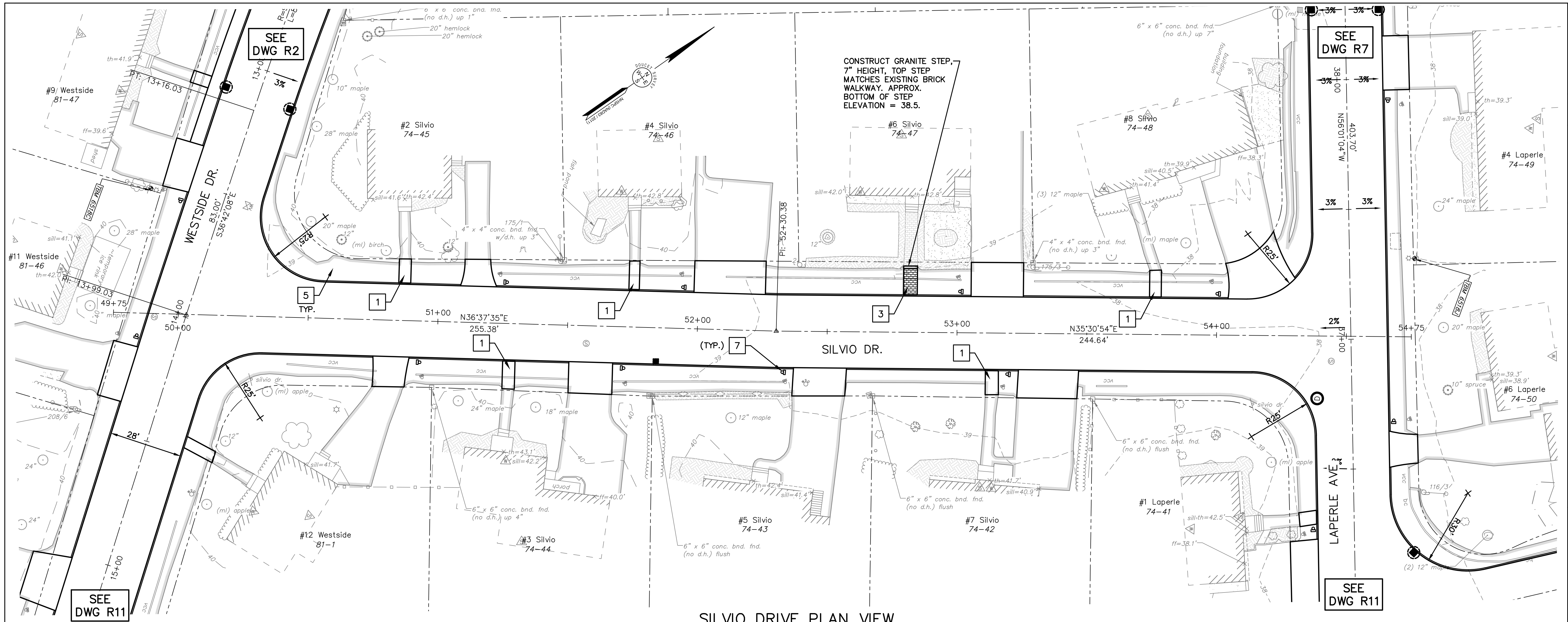
Drawn/Chk. RMG
Designed DJR
Checked RJS
Approved AS
Date 11/27/2024
Book No. -
Project No. 2873
Dwg. ID 2873_Sheets
Scale AS SHOWN

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WESTSIDE DRIVE	DWG NO R9
WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS	SHEET 34 OF 64
TOWN OF EXETER EXETER, NH	

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SILVIO DRIVE PLAN VIEW



SILVIO DRIVE PROFILE VIEW



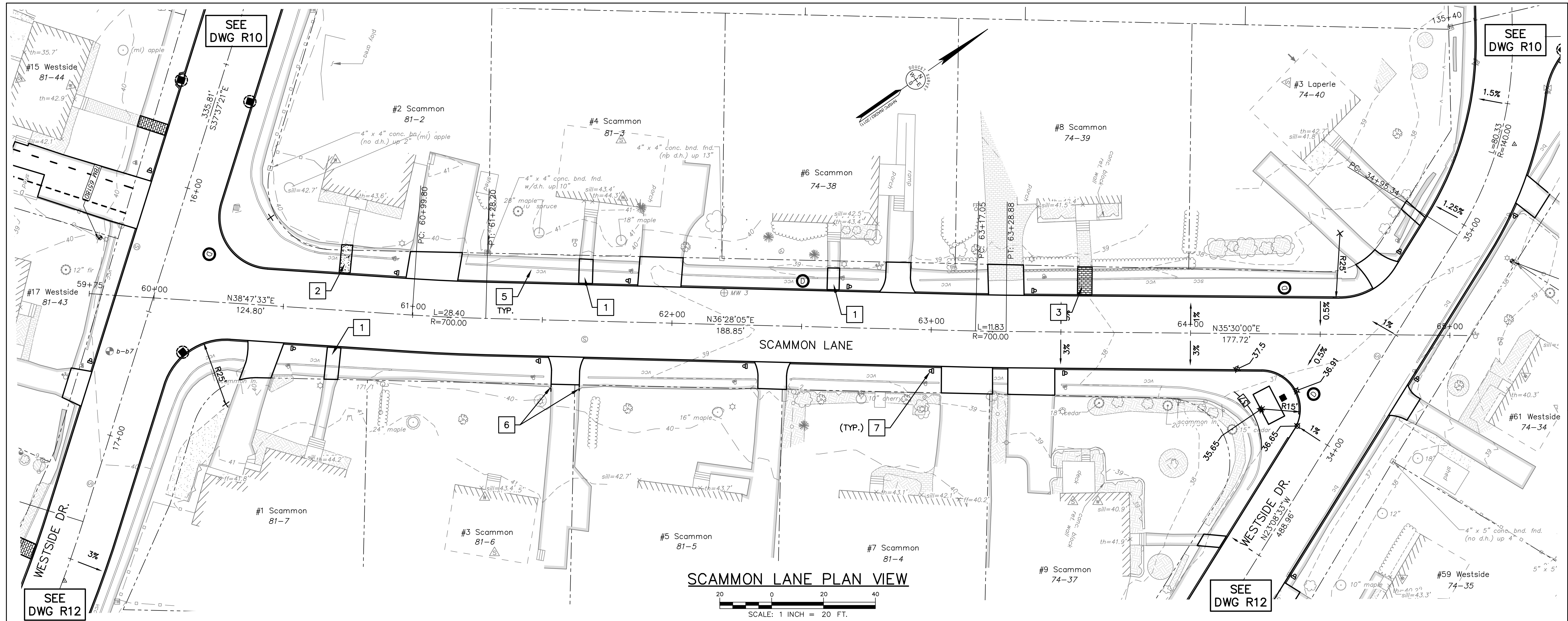
ISSUE FOR APPROVAL	DATE	BY

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SILVIO DRIVE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO R10	SHEET 35 OF 64

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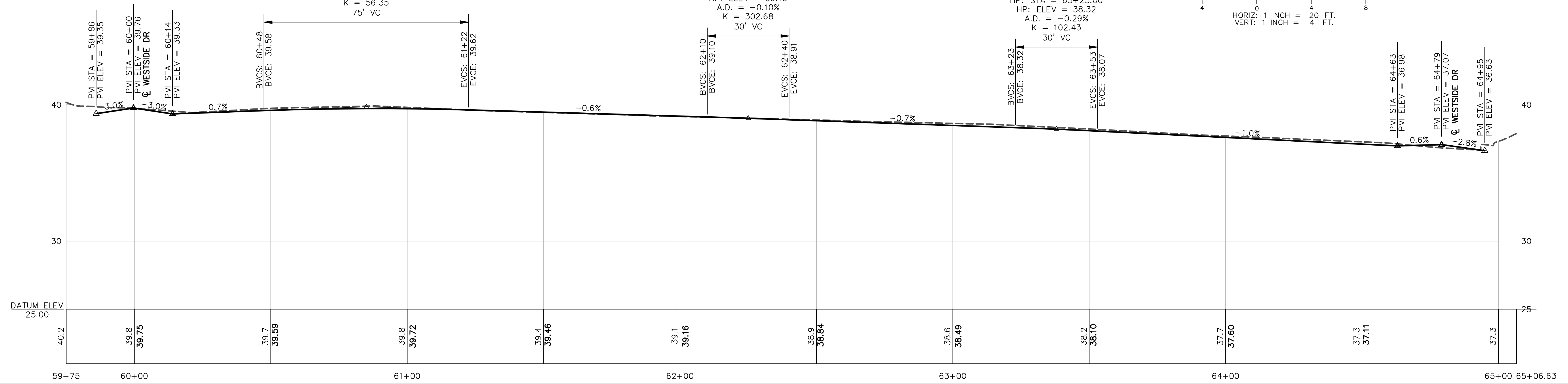
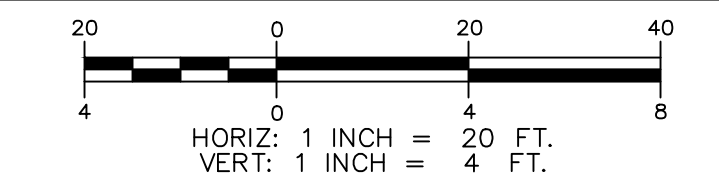


PVI STA = 60+85.00
 PVI ELEV = 39.85
 HP: STA = 60+88.69
 HP: ELEV = 39.73
 A.D. = -1.33%
 K = 56.35
 75' VC

PVI STA = 62+25.00
 PVI ELEV = 39.01
 HP: STA = 62+10.00
 HP: ELEV = 39.10
 A.D. = -0.10%
 K = 302.68
 30' VC

PVI STA = 63+38.00
 PVI ELEV = 38.22
 HP: STA = 63+23.00
 HP: ELEV = 38.32
 A.D. = -0.29%
 K = 102.43
 30' VC

SCAMMON LANE PROFILE VIEW



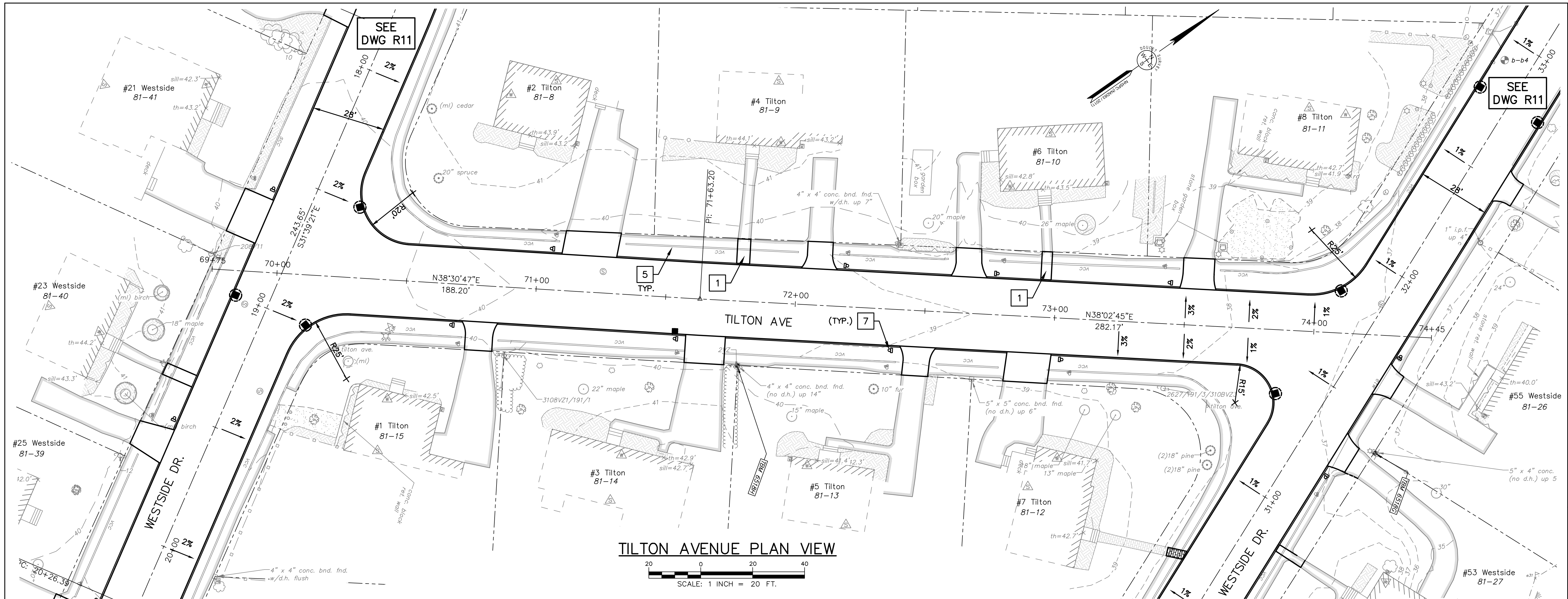
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APPROVAL		
CONSTRUCTION		
RECORD DRAWING		

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SCAMMON LANE	
WESTSIDE DRIVE FINAL DESIGN	
DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER	
EXETER, NH	
DWG NO R11	SHEET 36 OF 64

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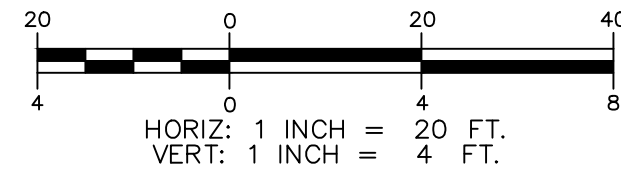


TILTON AVENUE PLAN VIEW



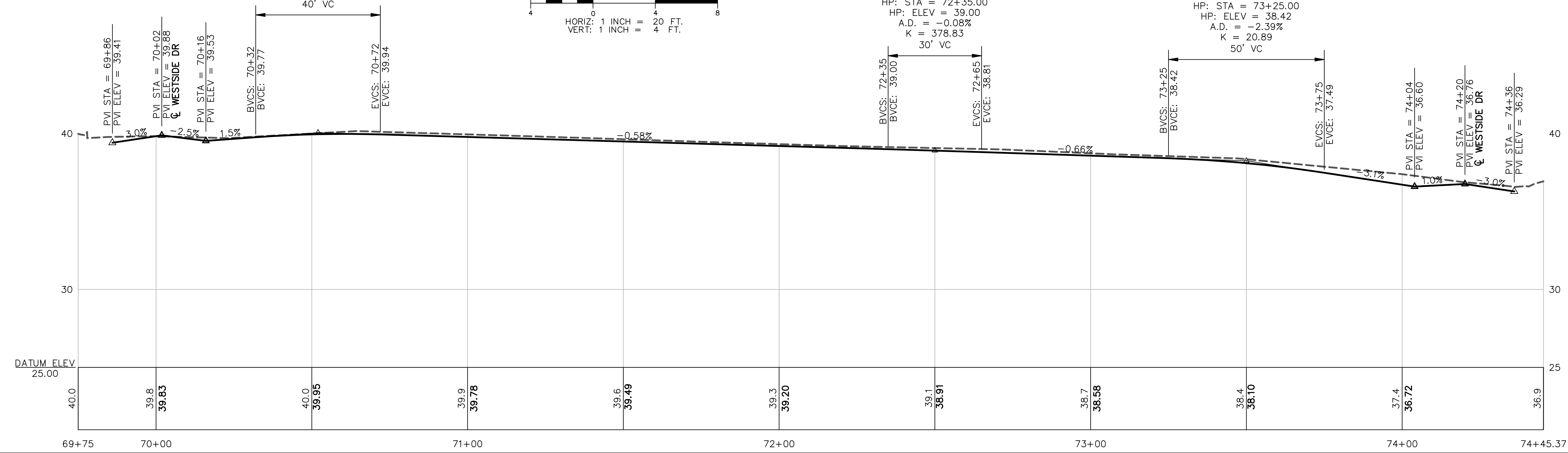
PVI STA = 70+52.00
 PVI ELEV = 40.06
 HP: STA = 70+60.69
 HP: ELEV = 39.98
 A.D. = -2.05%
 K = 19.47
 40' VC

TILTON AVENUE PROFILE VIEW



PVI STA = 72+50.00
 PVI ELEV = 38.91
 HP: STA = 72+35.00
 HP: ELEV = 39.00
 A.D. = -0.08%
 K = 378.83
 30' VC

PVI STA = 73+50.00
 PVI ELEV = 38.25
 HP: STA = 73+25.00
 HP: ELEV = 38.42
 A.D. = -2.39%
 K = 20.89
 50' VC



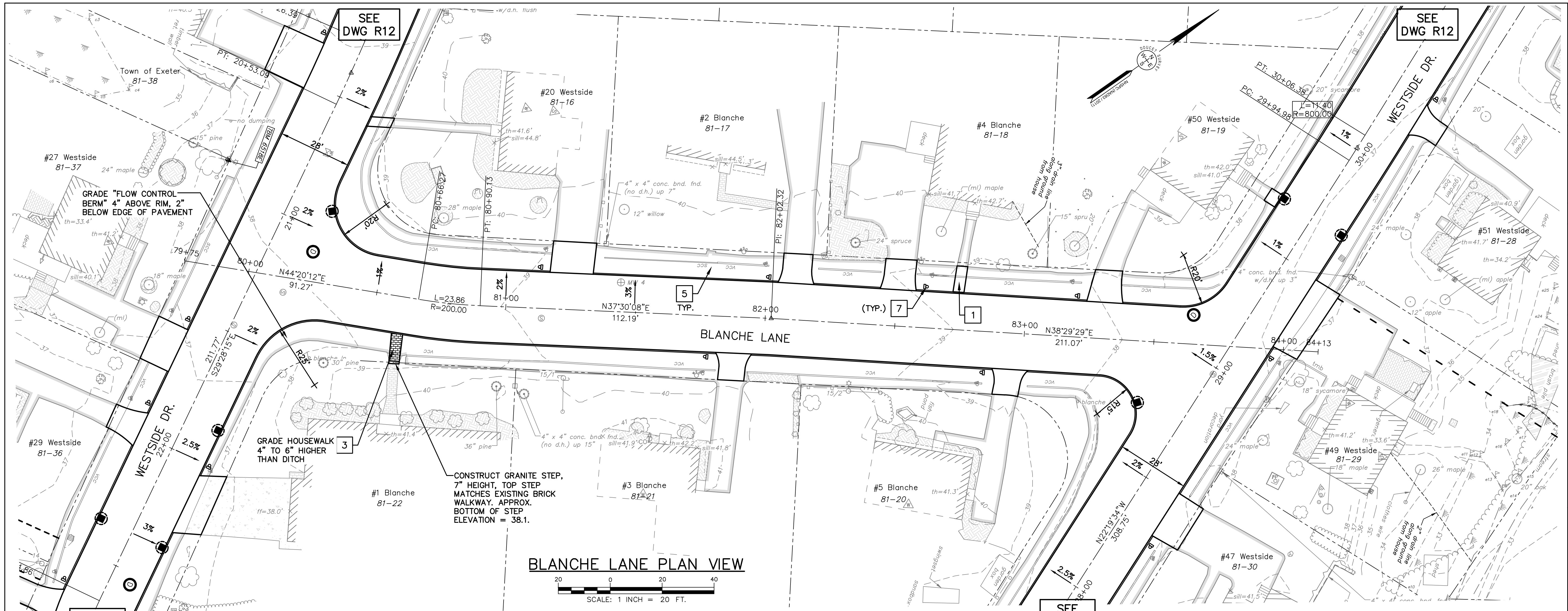
ISSUE FOR	APPROVAL	DATE
DESIGN	DATE	
CONSTRUCTION	DATE	
RECORD DRAWING	DATE	

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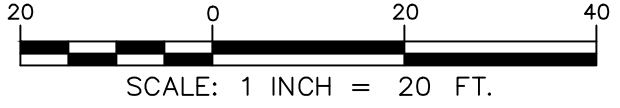
Underwood Engineers
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 Tel. 603-436-6192 Fax. 603-431-4733

TILTON AVENUE	DWG NO R12
WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS	SHEET 37 OF 64
TOWN OF EXETER EXETER, NH	

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BLANCHE LANE PLAN VIEW



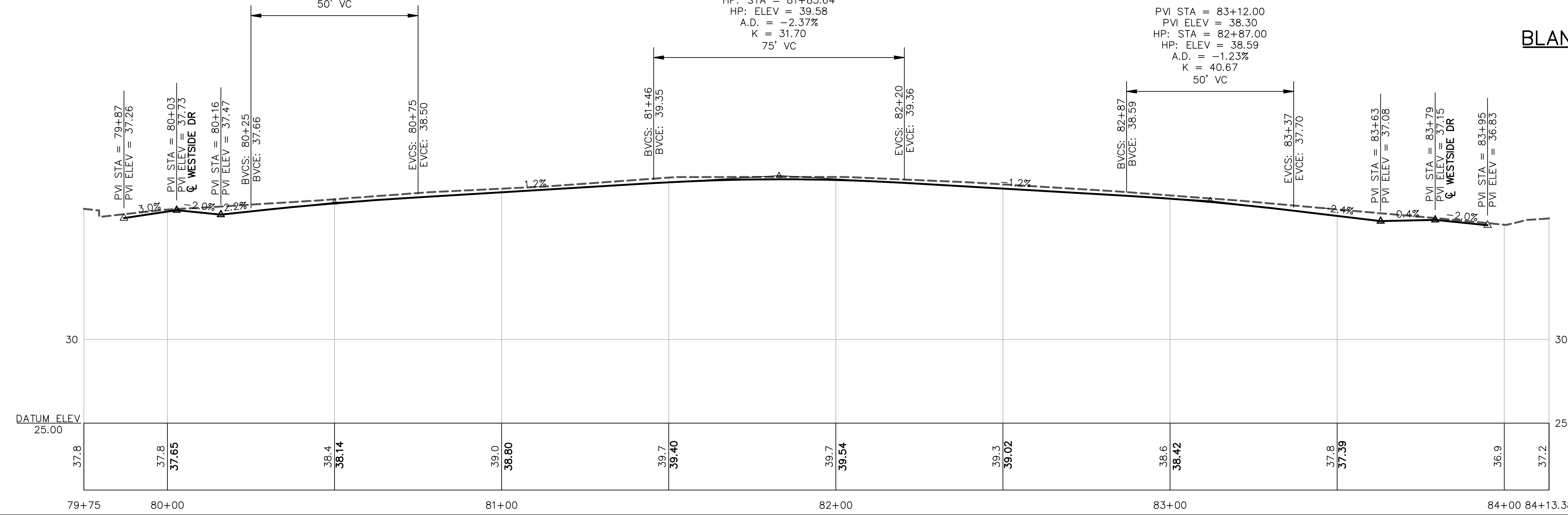
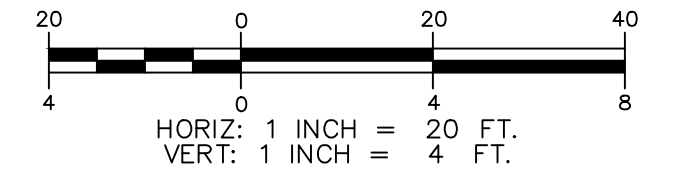
SEE DWG R4

PVI STA = 80+50.00
 PVI ELEV = 38.20
 HP: STA = 80+75.00
 HP: ELEV = 38.50
 A.D. = -0.95%
 K = 52.40
 50' VC

PVI STA = 81+83.00
 PVI ELEV = 39.80
 HP: STA = 81+83.64
 HP: ELEV = 39.58
 A.D. = -2.37%
 K = 31.70
 75' VC

PVI STA = 83+12.00
 PVI ELEV = 38.30
 HP: STA = 82+87.00
 HP: ELEV = 38.59
 A.D. = -1.23%
 K = 40.67
 50' VC

BLANCHE LANE PROFILE VIEW



ISSUE FOR	APPROVAL	By	DATE
	CONSTRUCTION	By	DATE
REVISIONS	NO.	DESCRIPTION	DATE
Drawn/Chk.	RMG	DJR	
Designed	RUS	RUS	
Checked	RUS	RUS	
Approved			
Date	11/27/2024		
Book No.			
Project No.	2873		
Dwg. ID	2873_R13		
Scale	AS SHOWN		

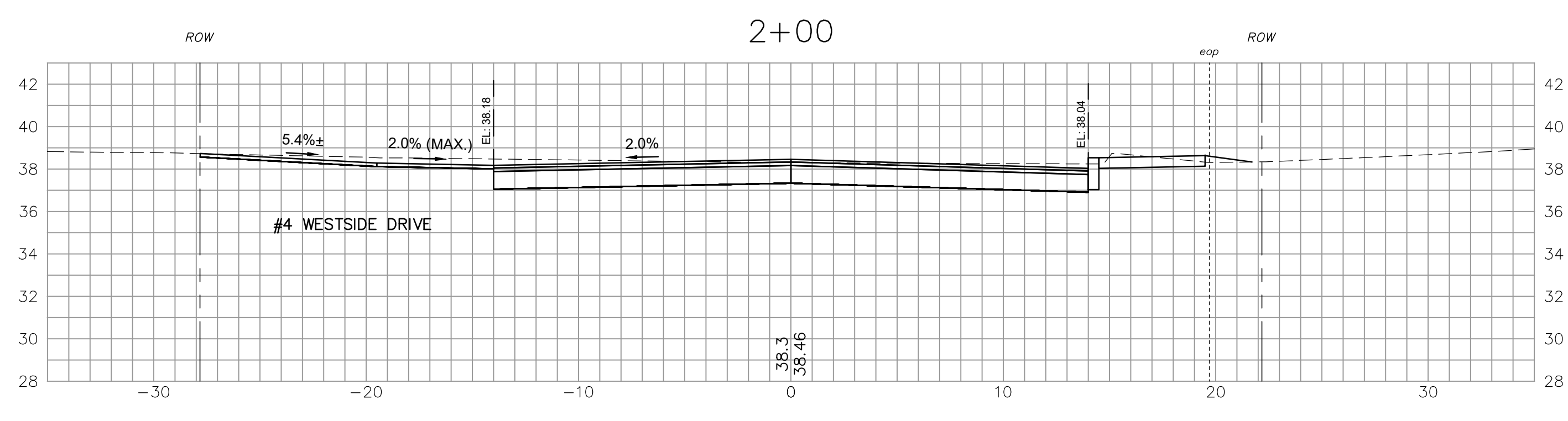
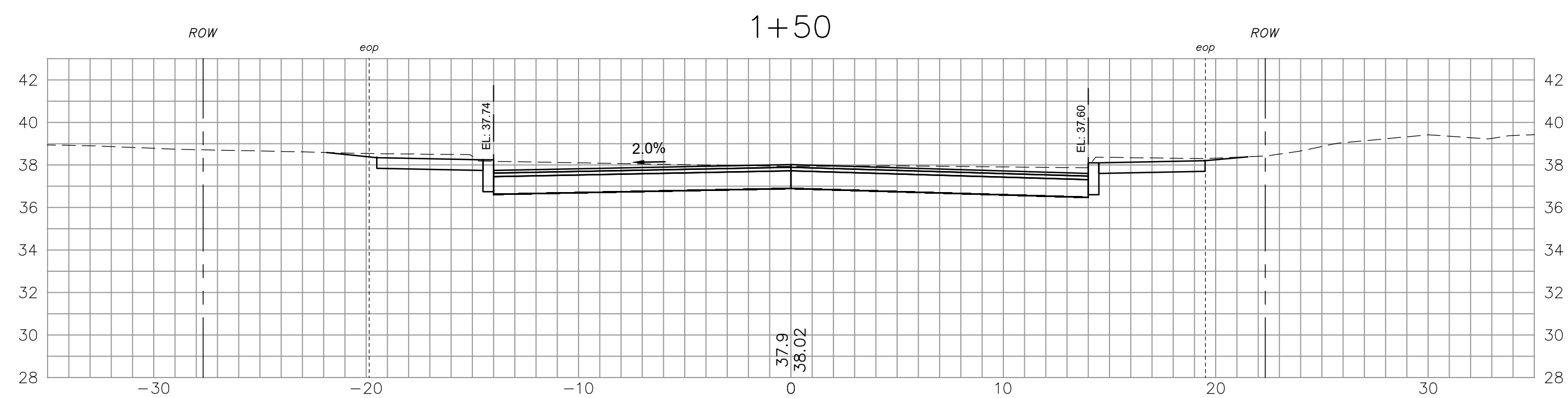
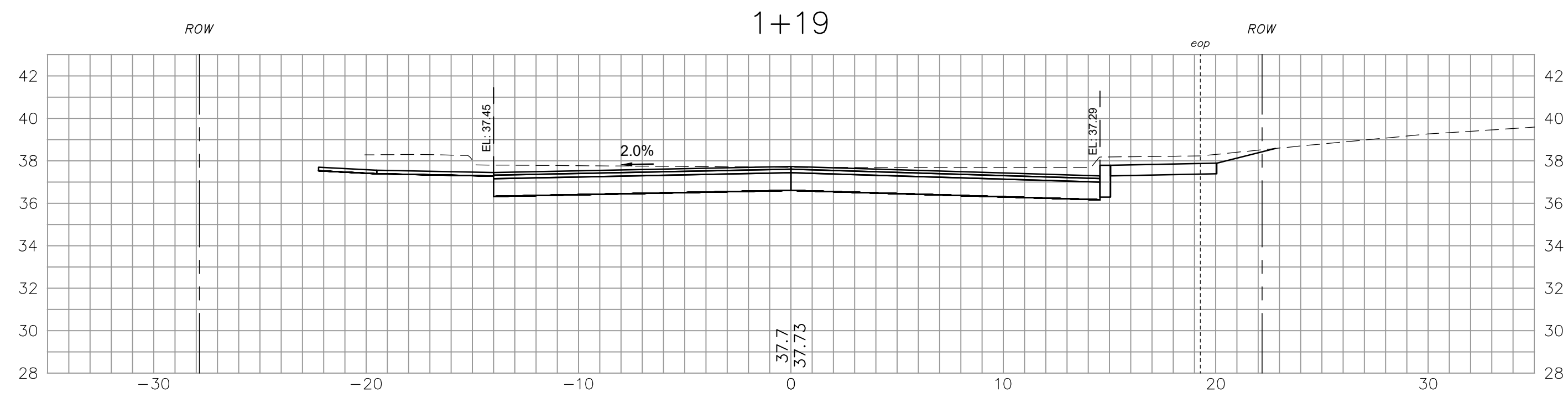
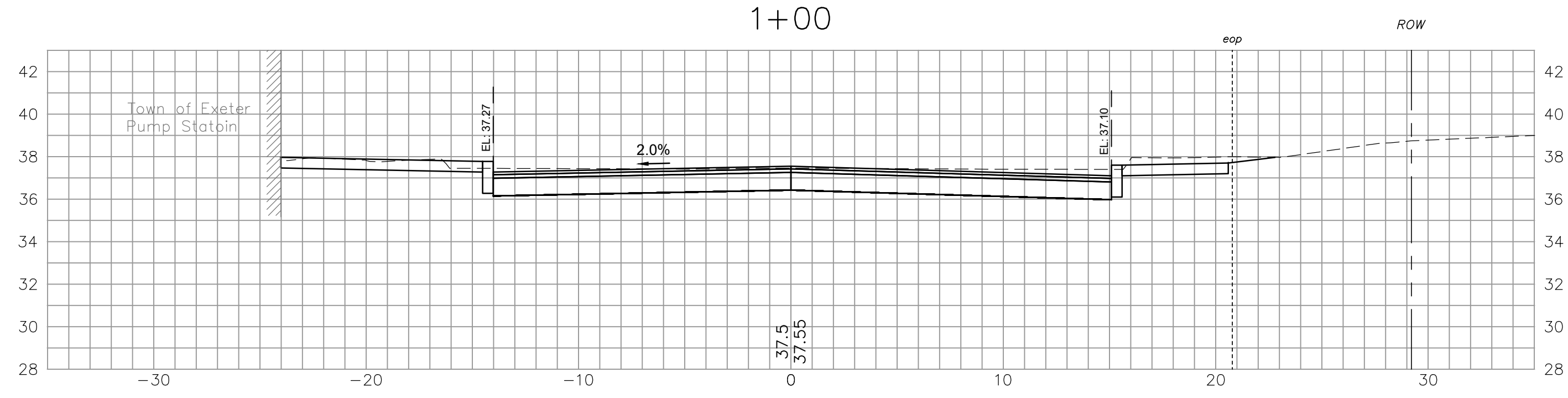
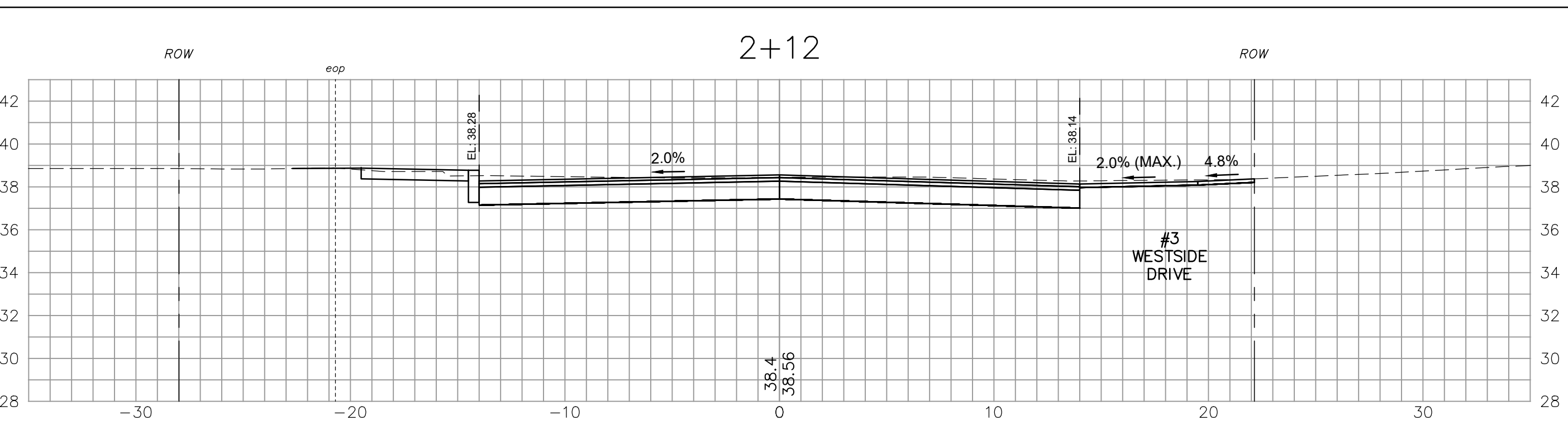
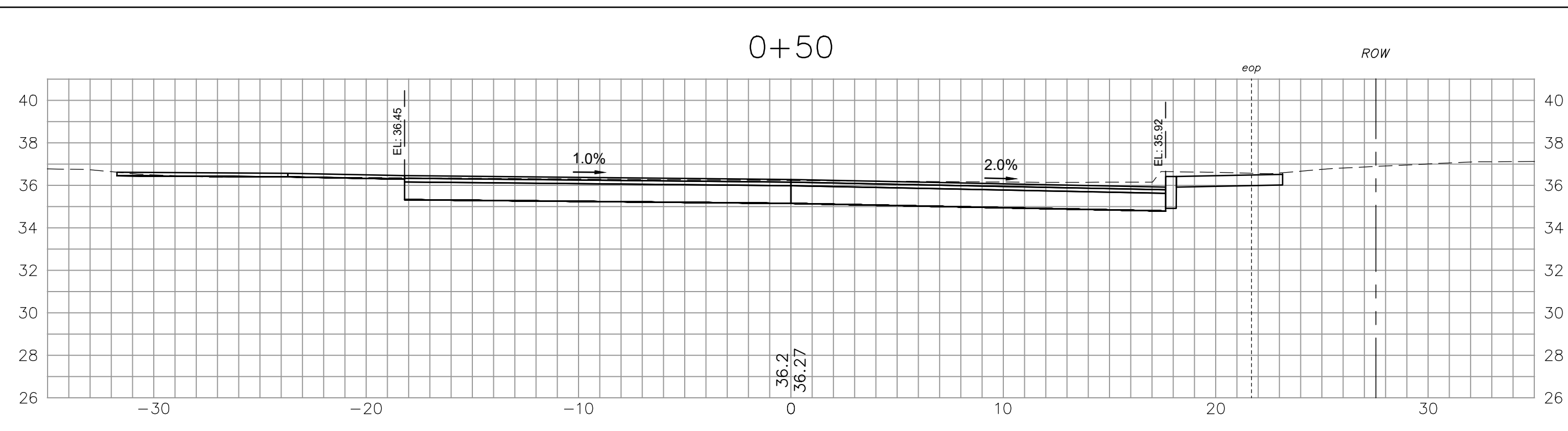
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BLANCHE LANE
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO	R13
SHEET	38 OF 64

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	CONSTRUCTION	By
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	Date	

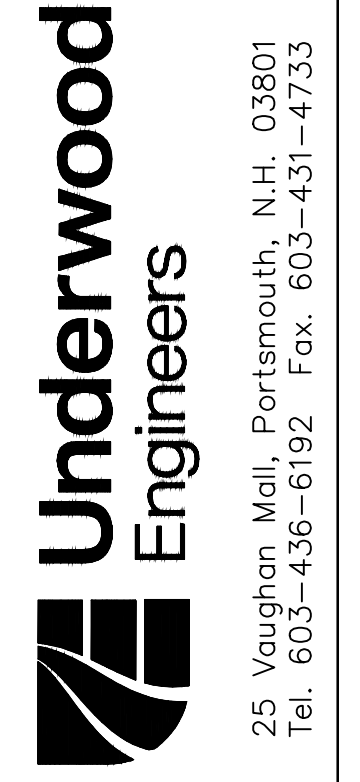
NO.	REVISIONS	APP'D

Drawn/Chk. RMG
 Designed DUR
 Checked RUS
 Approved: 11/27/2024
 Date: 11/27/2024
 Book No. 2873
 Project No. 2873-03-West...E
 Dwg. ID 2873-03-West...E
 Scale AS SHOWN

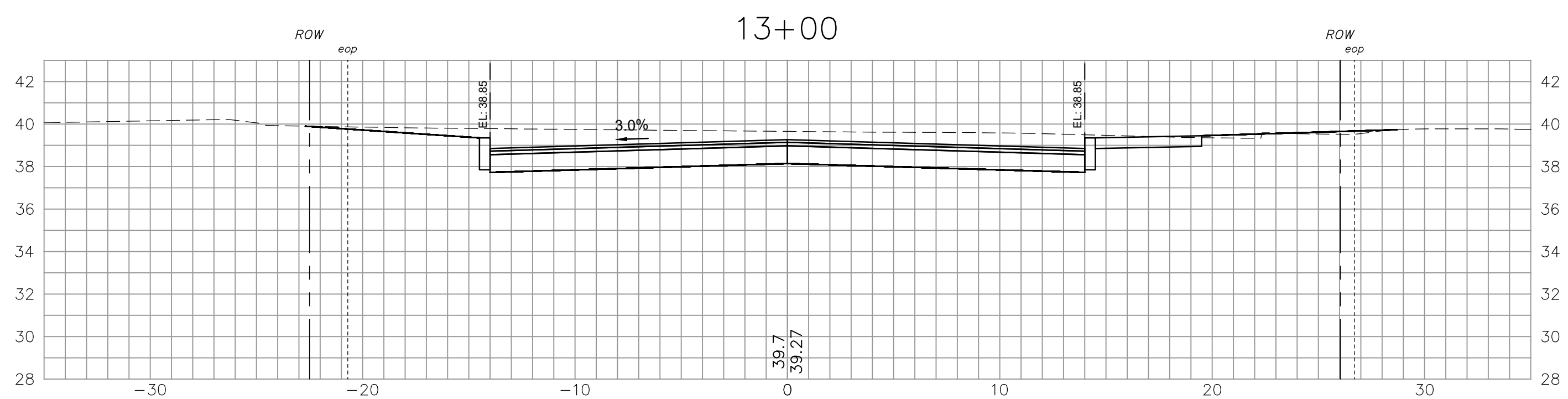
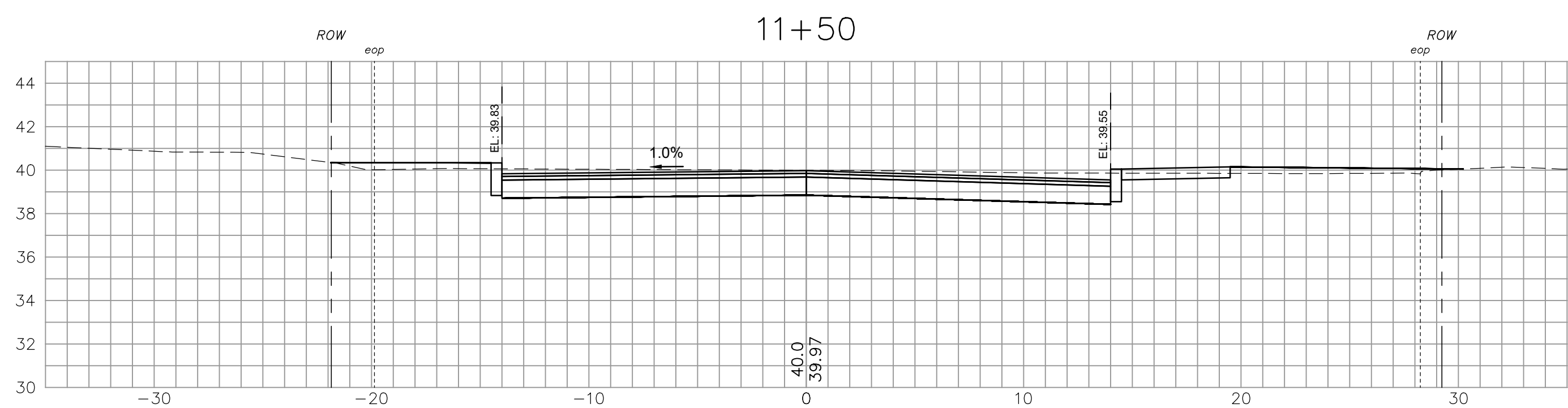
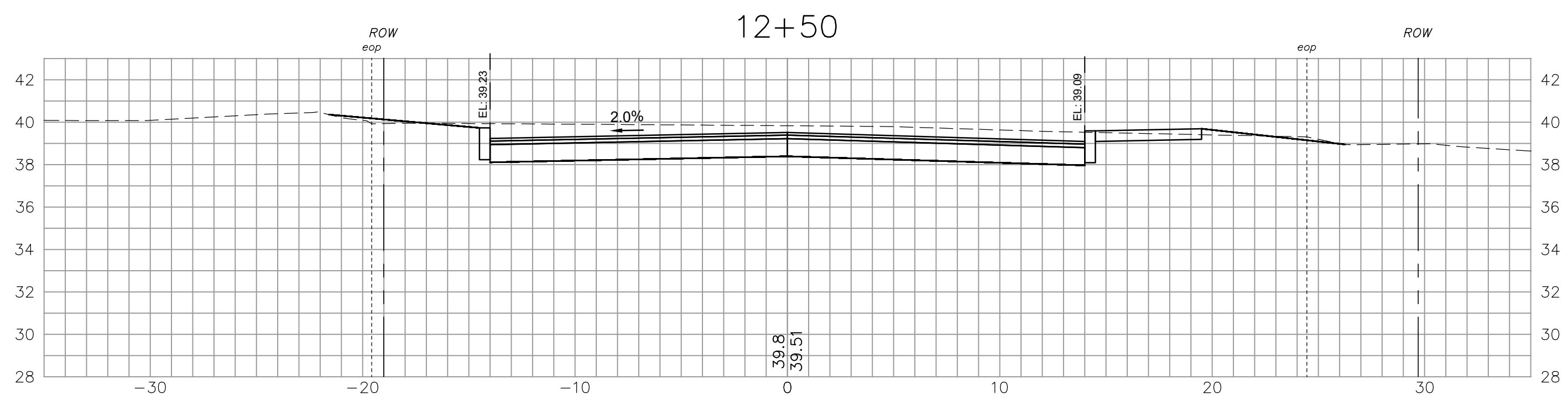
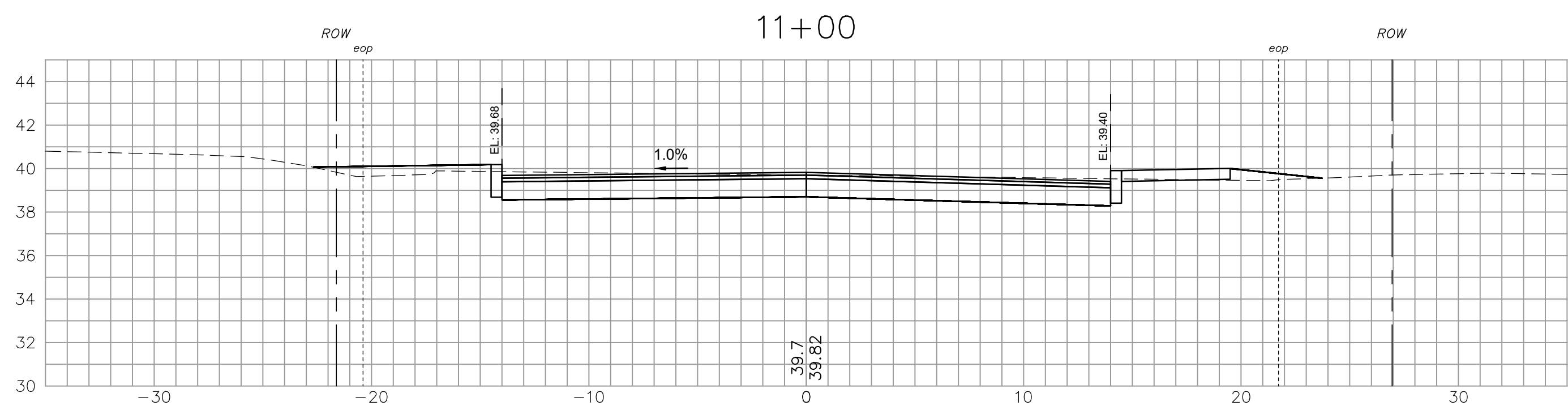
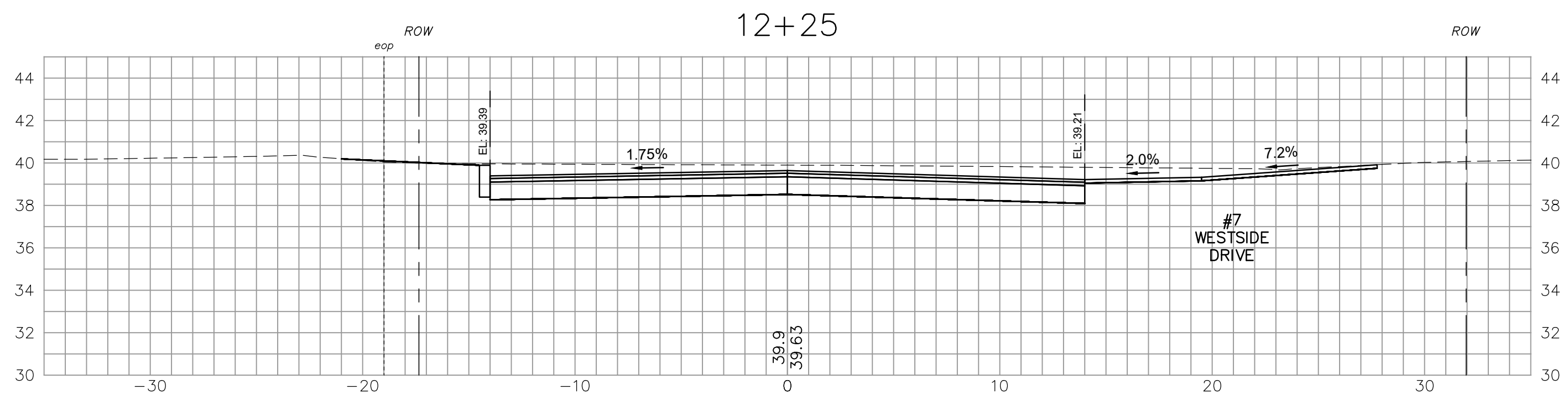
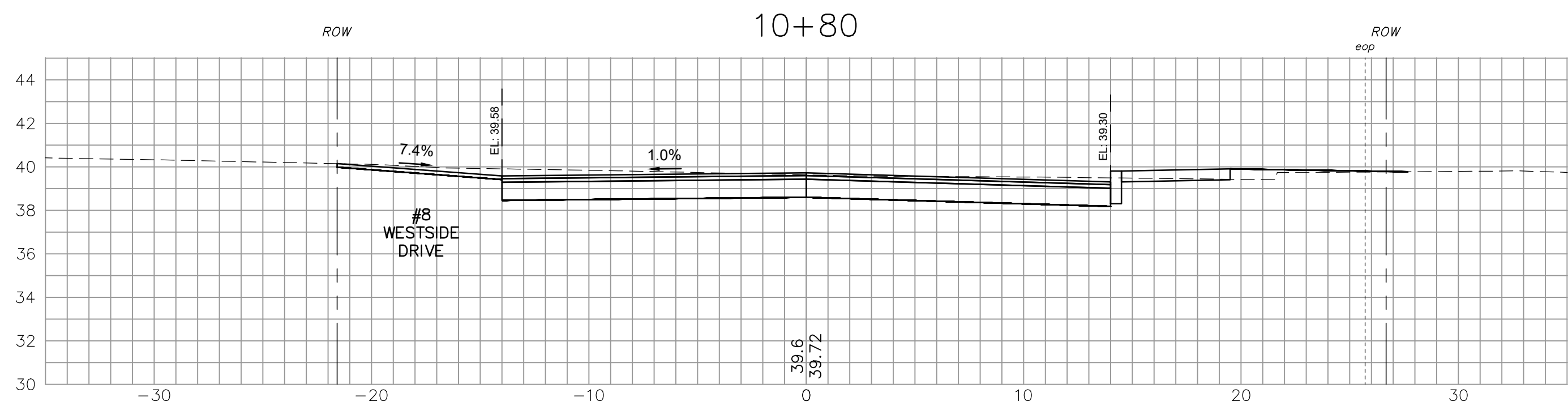
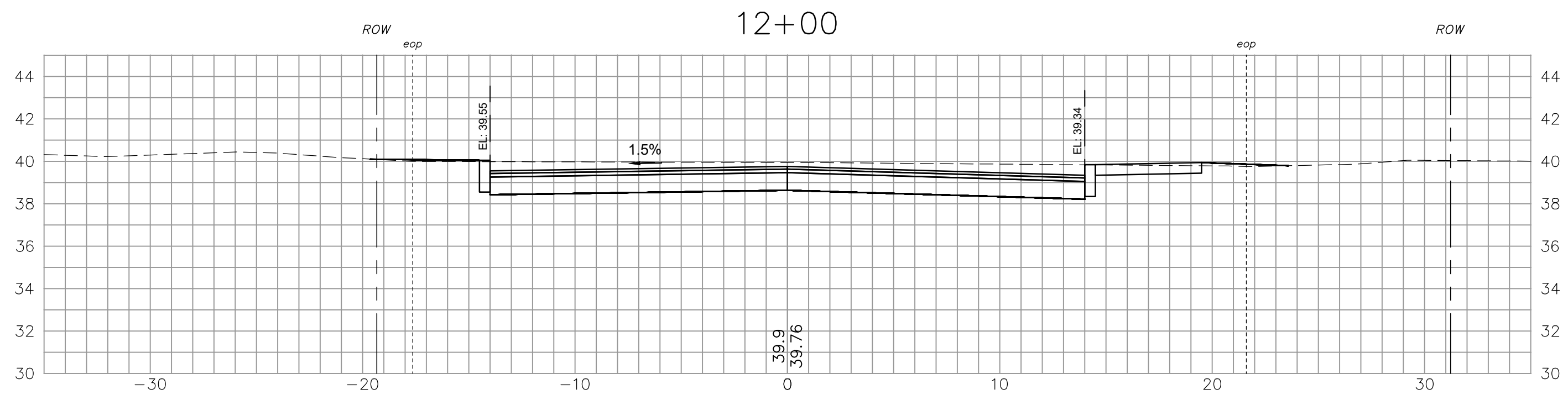
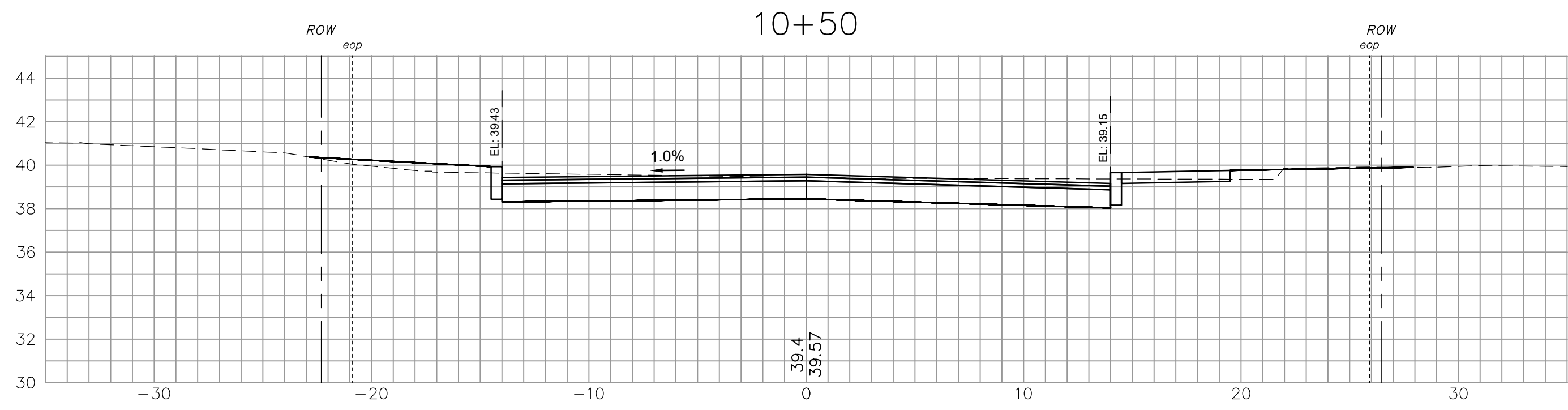
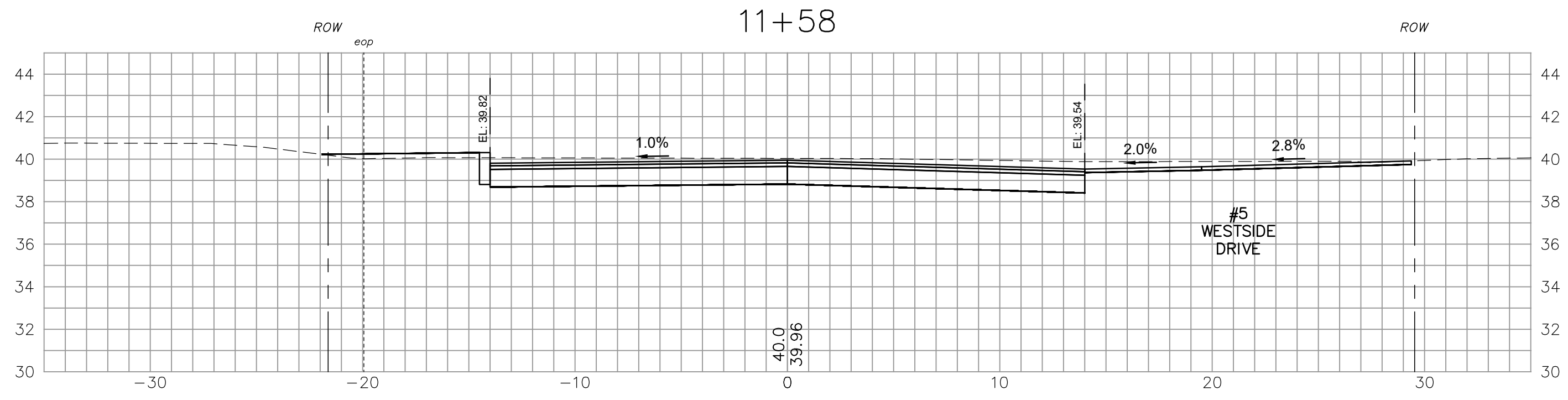
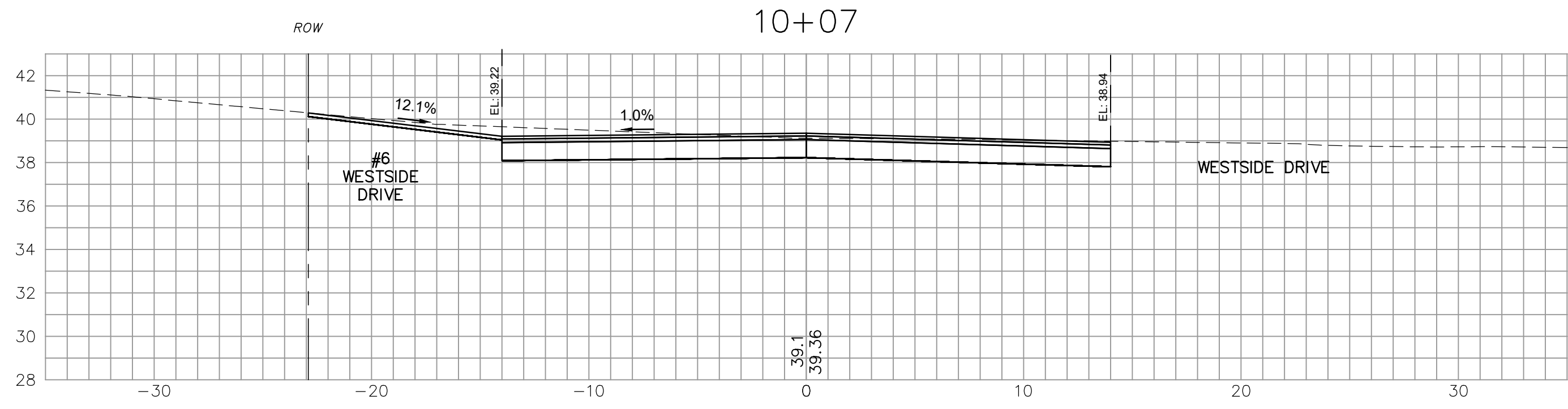
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CROSS SECTIONS -
 WESTSIDE DR. ENTRANCE
 WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS
 TOWN OF EXETER
 EXETER, NH

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CONSTRUCTION	By	Date
RECORD DRAWING	By	Date
REVISIONS	NO.	DATE

Drawn/Chk. RMG	Designed DUR	Checked RUS	Approved: Date: 11/27/2024
Book No. 2873 Project No. 2873 Dwg. ID 2873-CS-West... Scale AS SHOWN			

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CROSS SECTIONS - WESTSIDE DR.

WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS

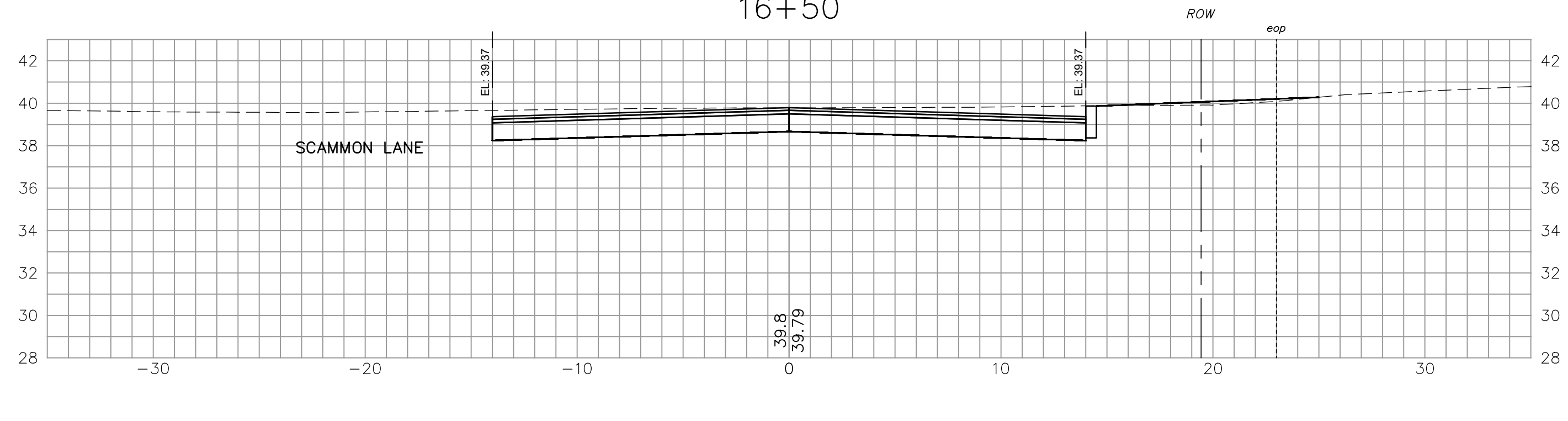
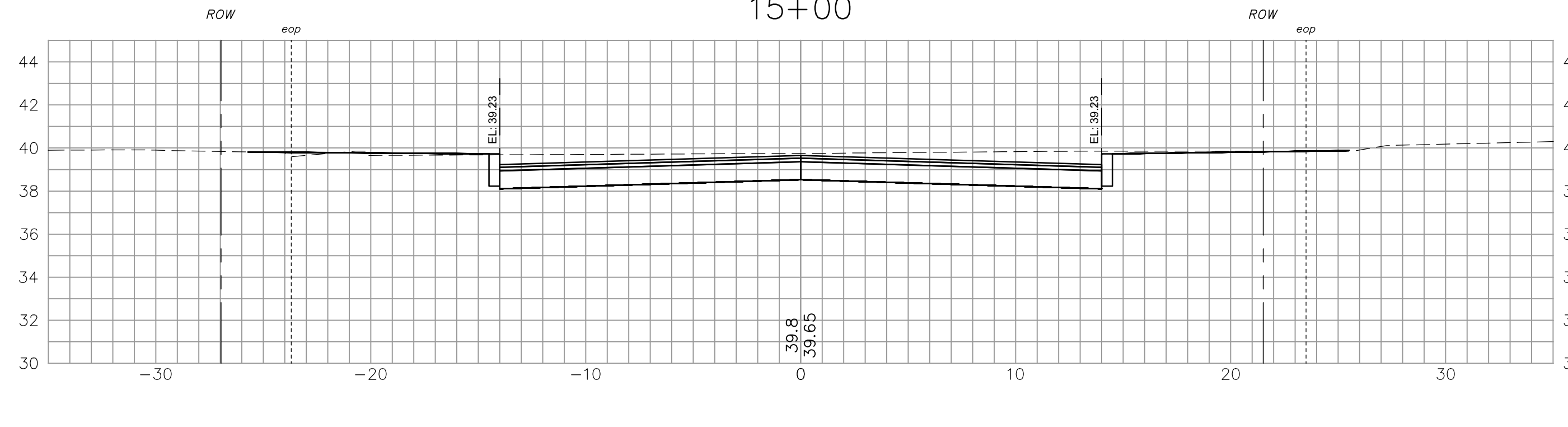
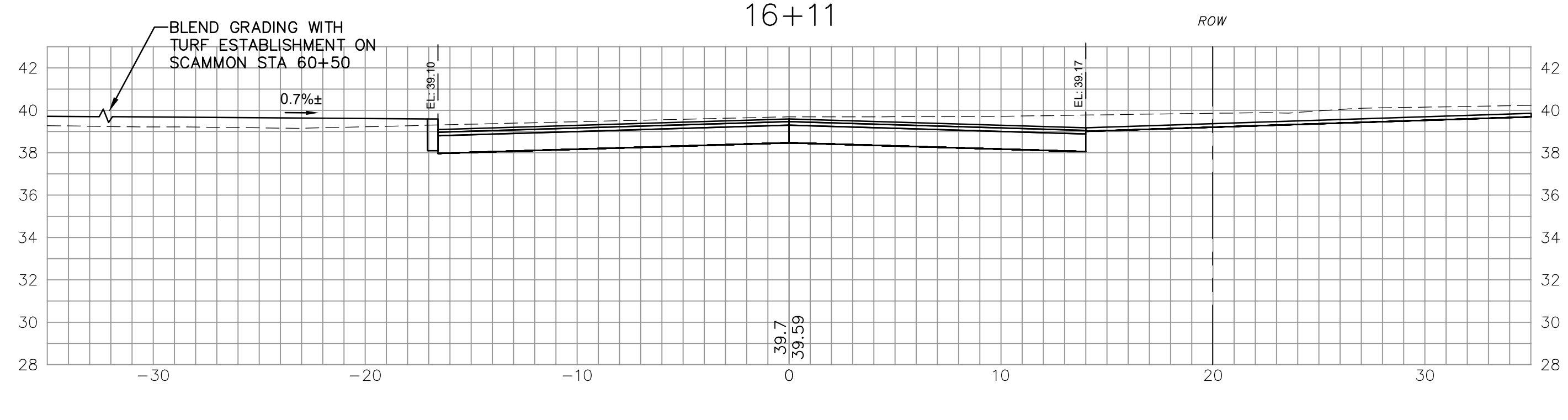
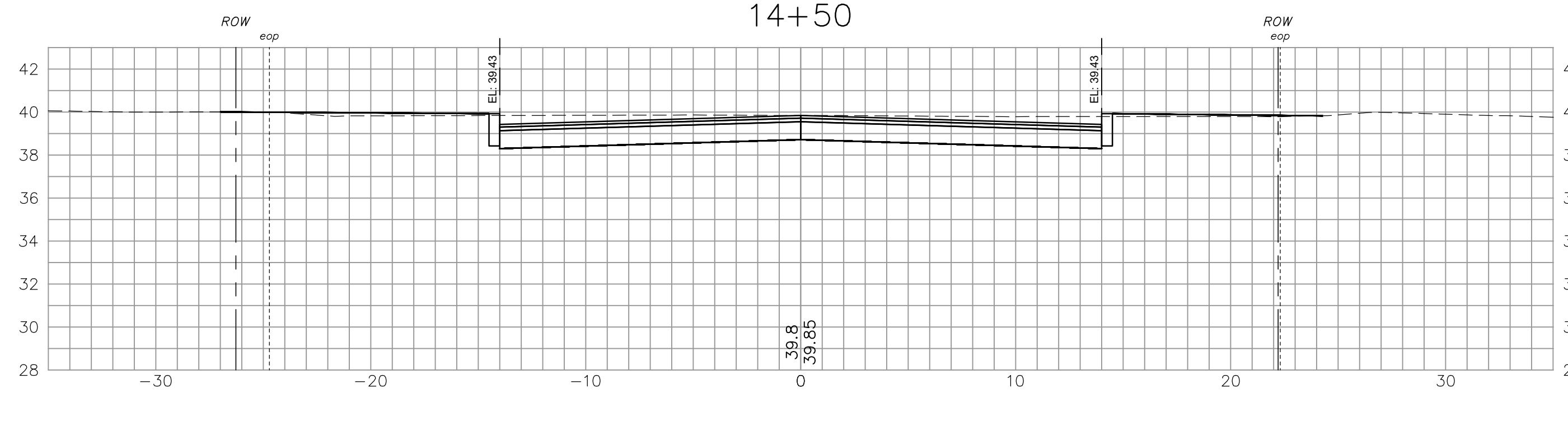
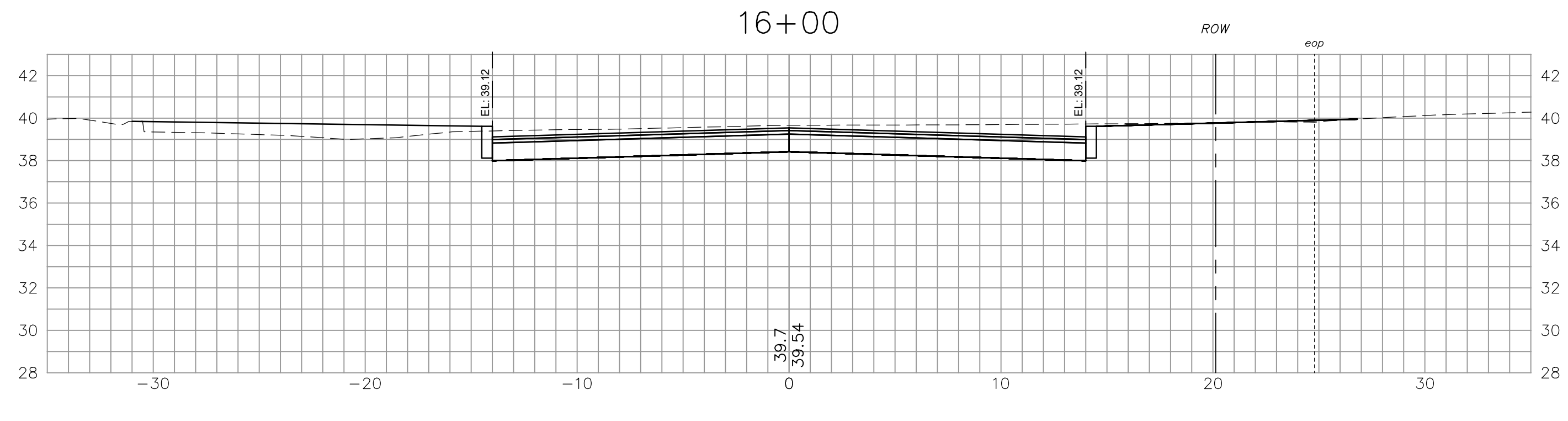
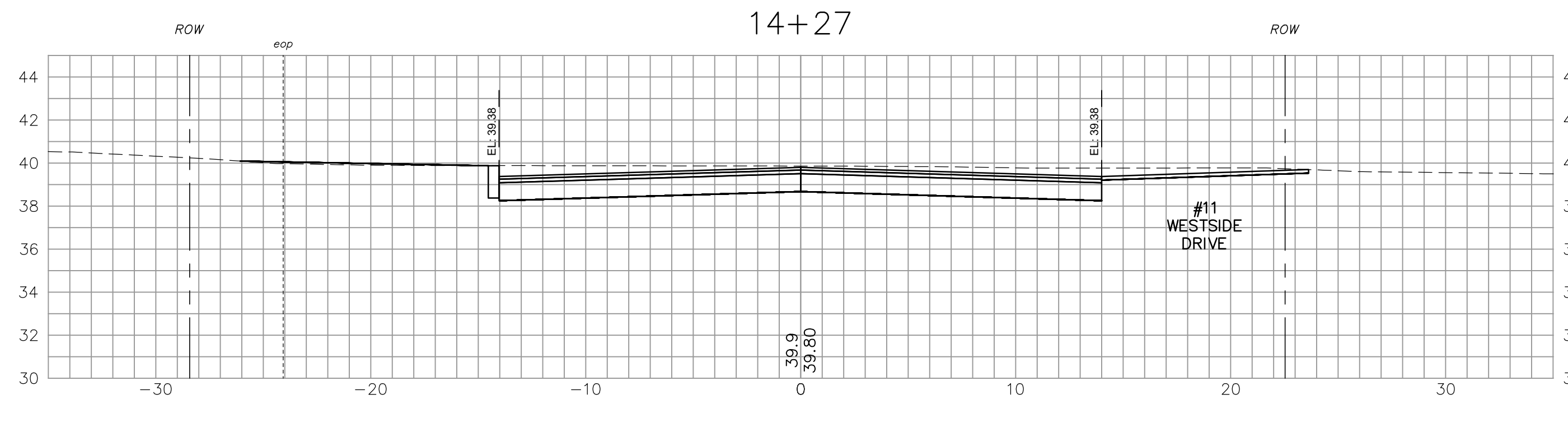
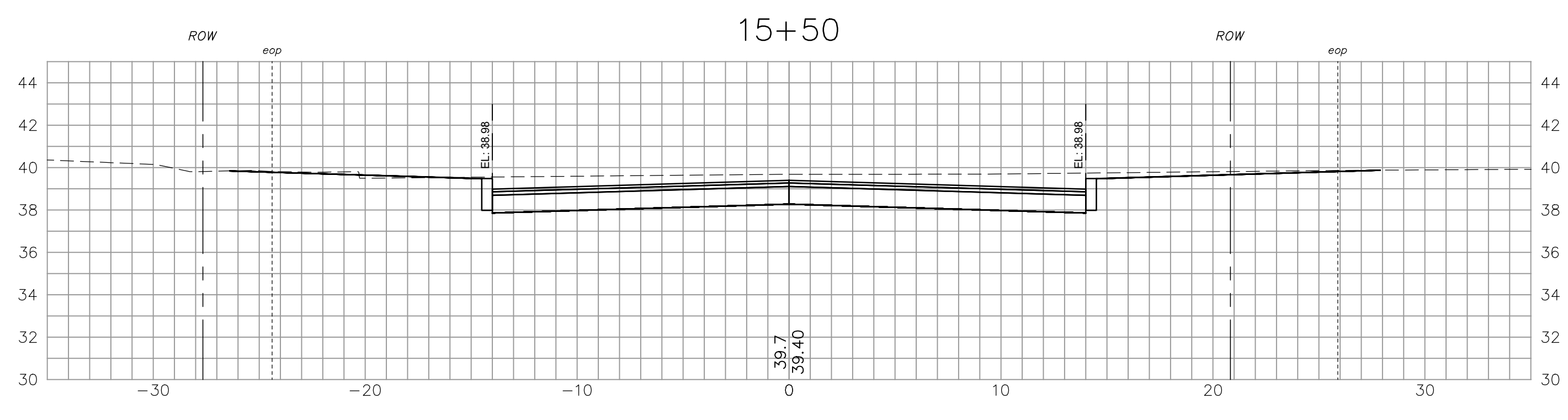
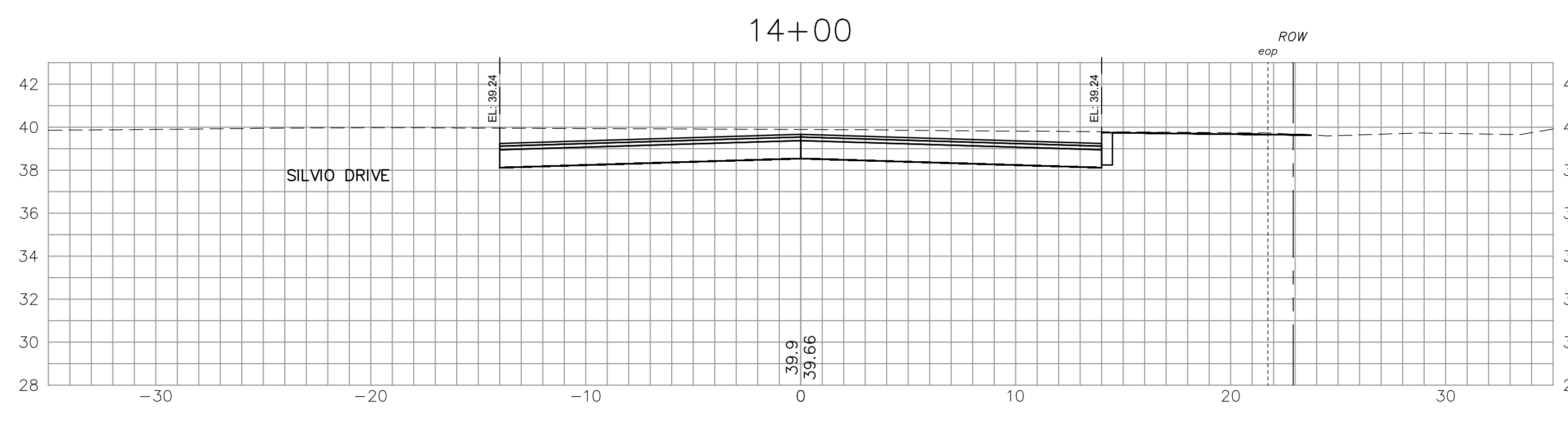
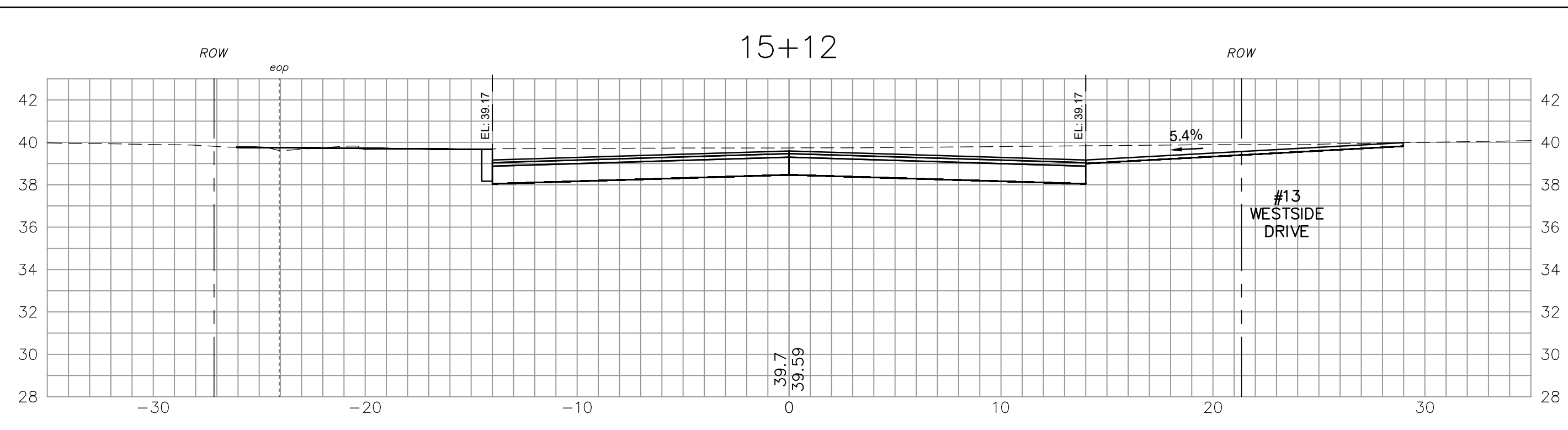
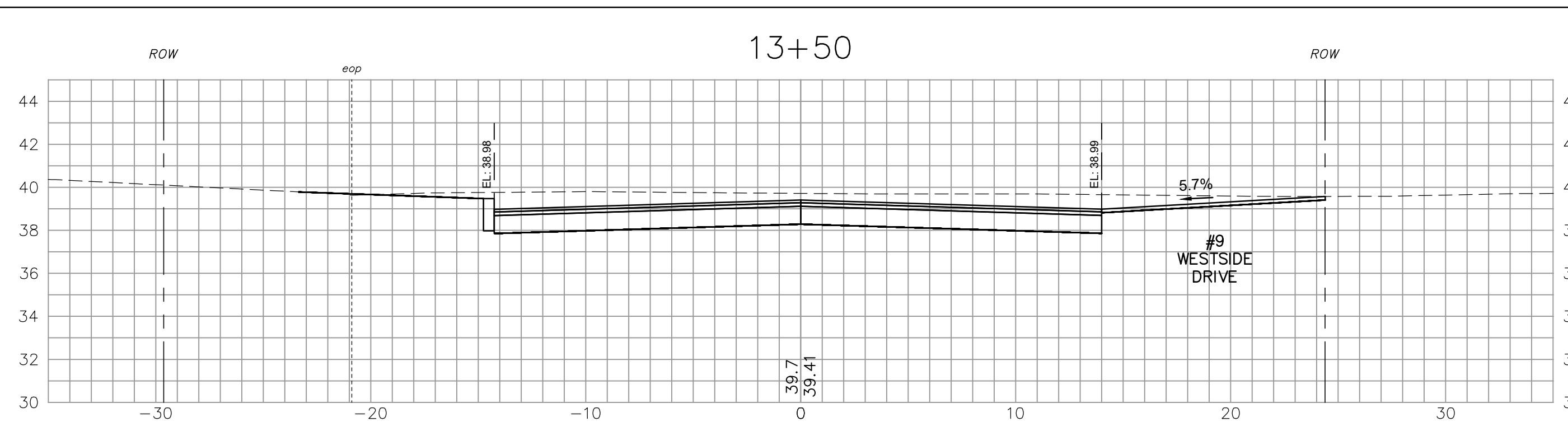
TOWN OF EXETER
 EXETER, NH

DWG NO
 XW1

SHEET
 40 OF 64

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ISSUE FOR	APPROVAL	By	Date
CONSTRUCTION	RECORD DRAWING		
NO.	REVISIONS	APPD	
Drawn/Chk	RMG	Checked	RUS
Designed	DJR	Approved	11/27/2024
Project No.	2873	Book No.	2873
Dwg. ID	2873-CS-West...	Scale	AS SHOWN

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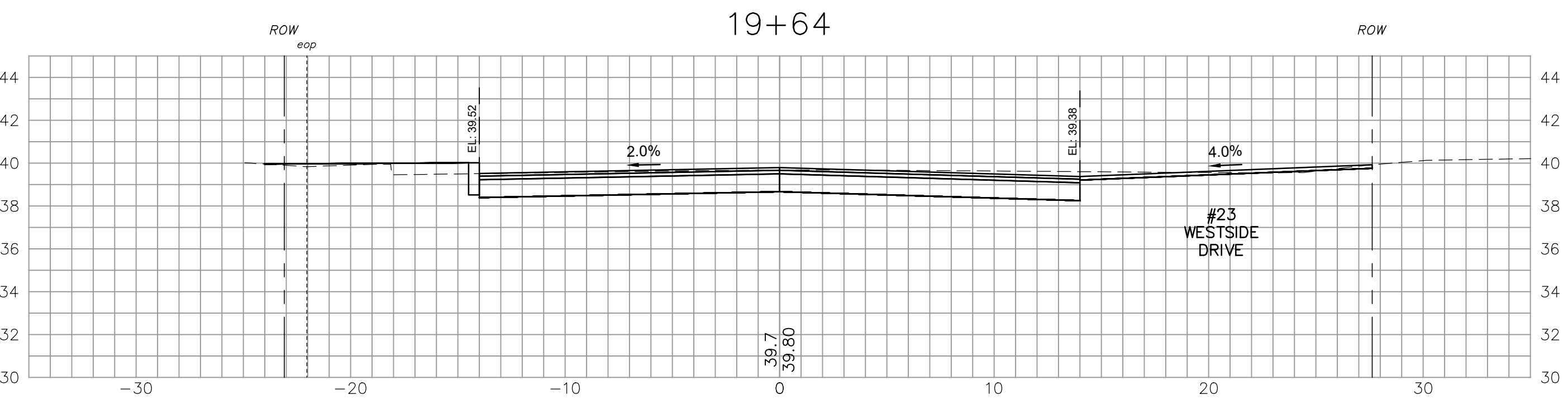
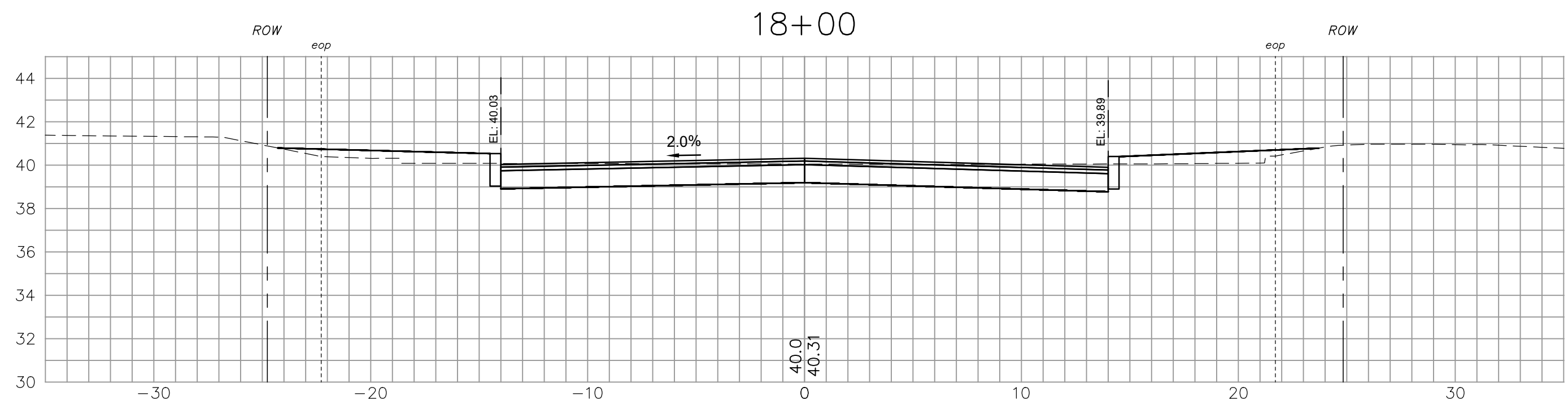
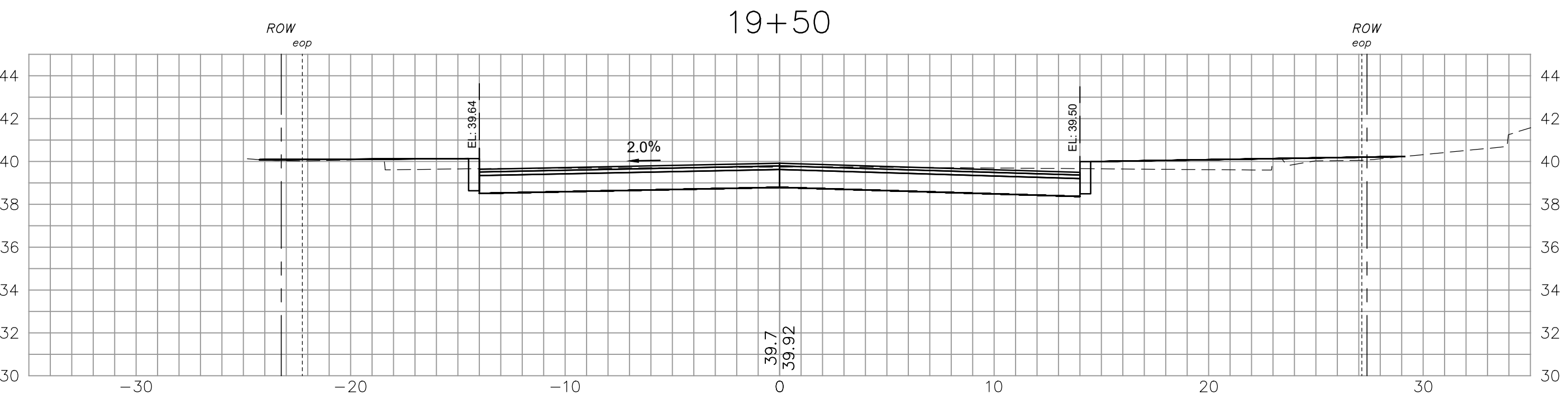
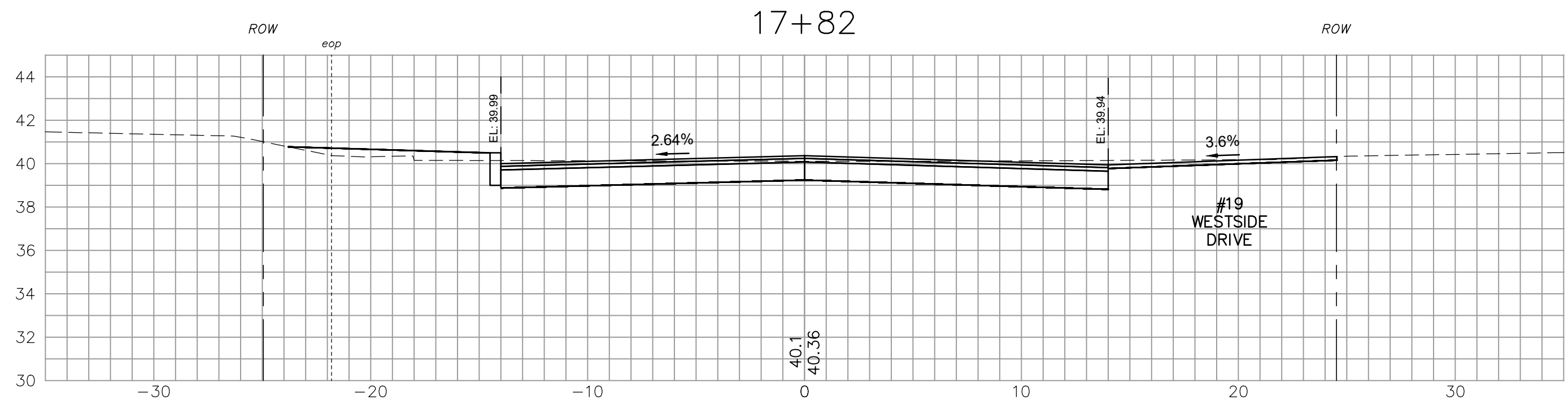
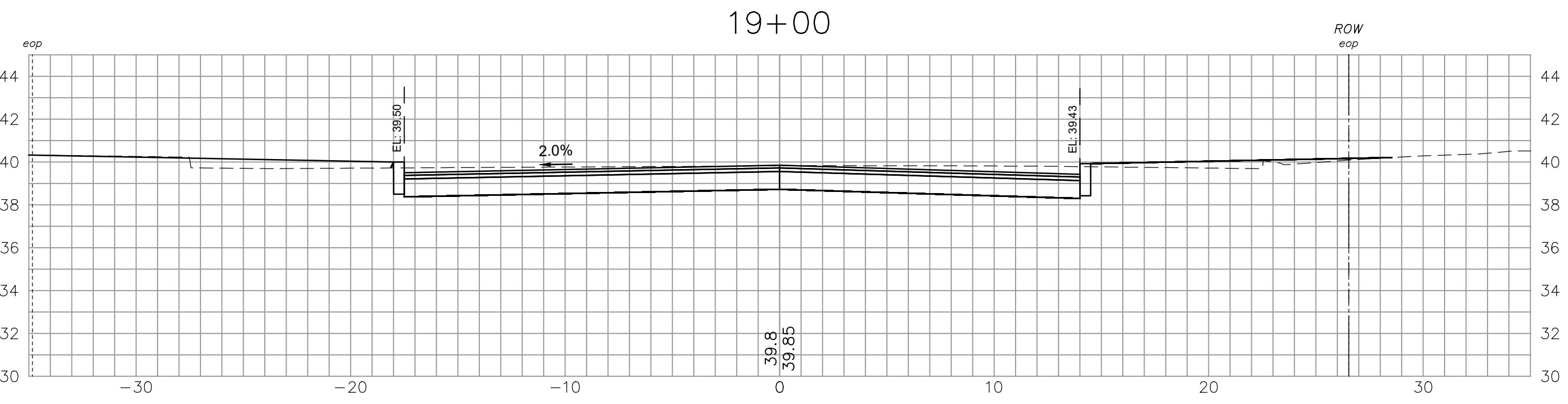
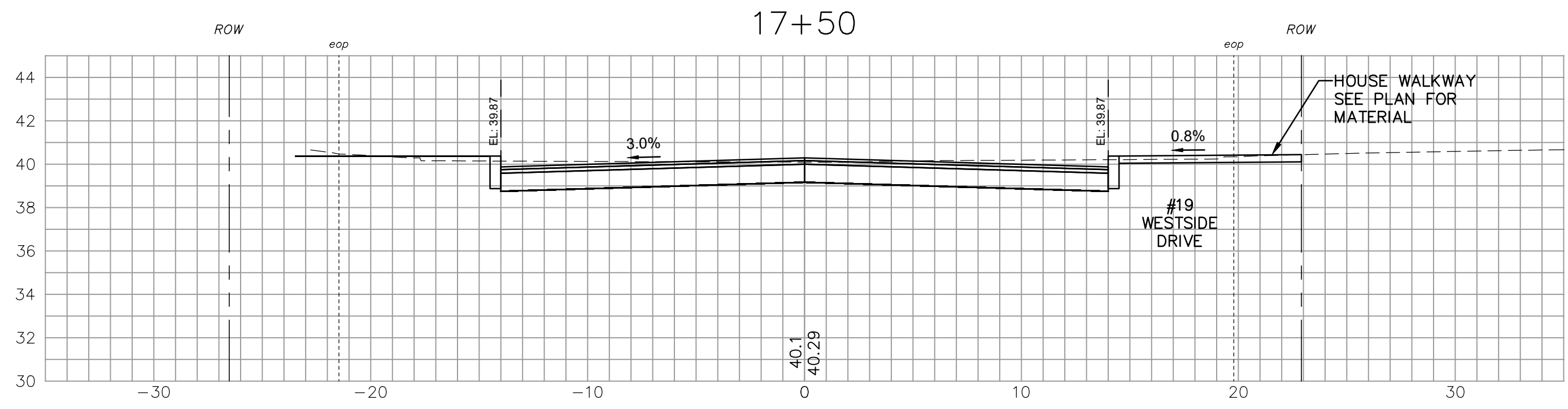
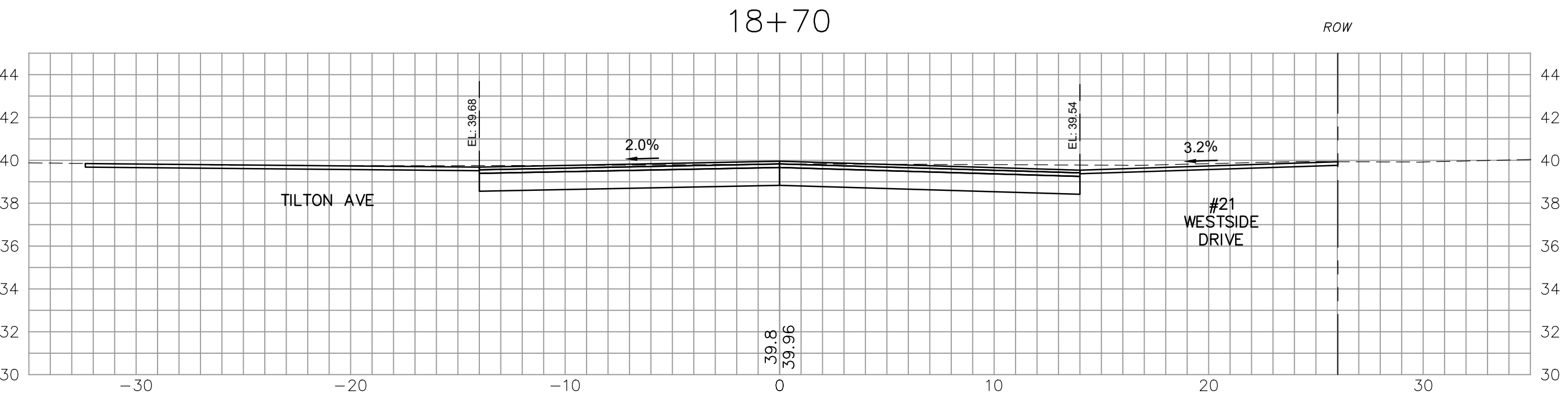
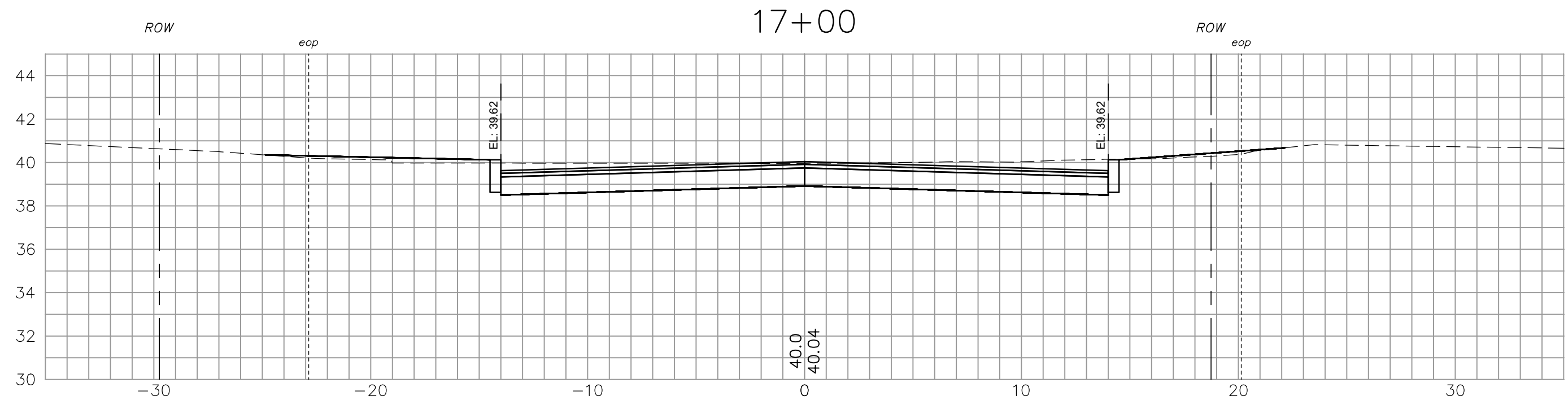
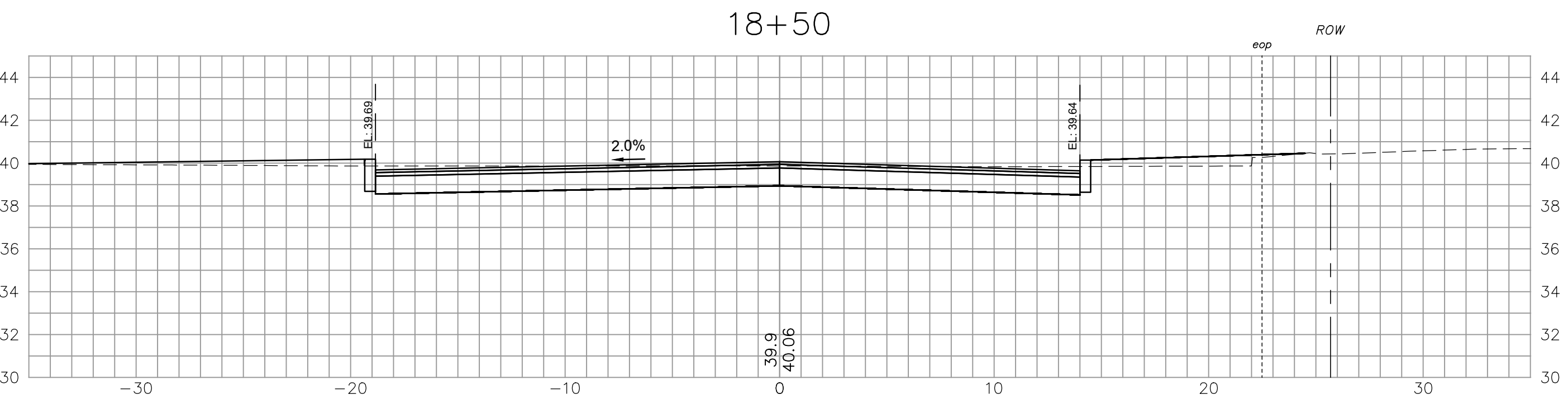
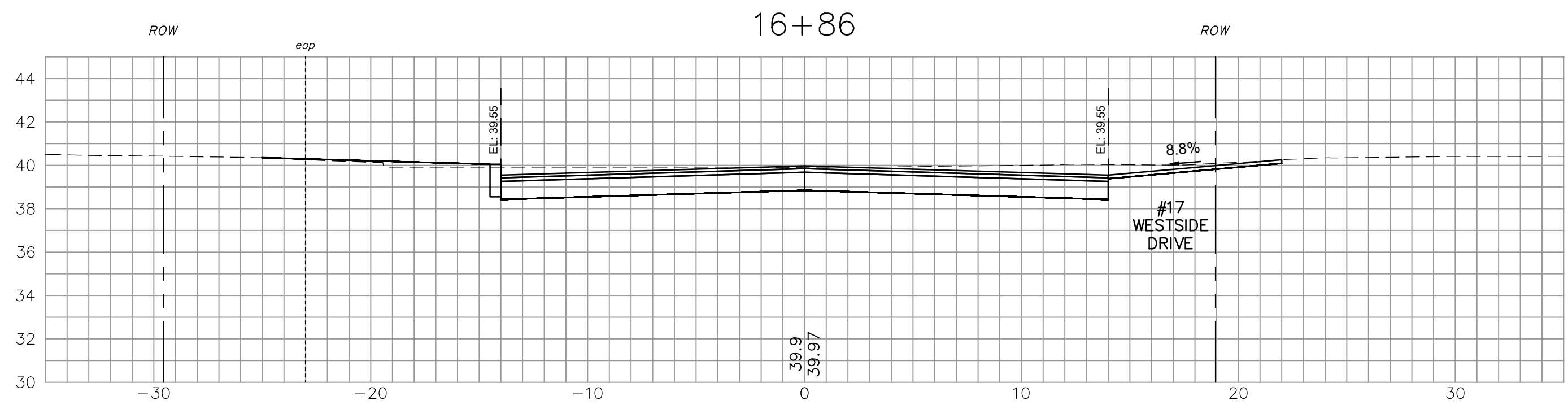
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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO	SHEET
XW2	41 OF 64

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ISSUE FOR APPROVAL	By	Date

Drawn/Chk	RMG	DUR	DESIGNED
Checked	RUS		
Approved			
Date	11/27/2024		
Book No.	2873		
Project No.	2873		
Dwg. ID	2873-CS-West...		
Scale	AS SHOWN		

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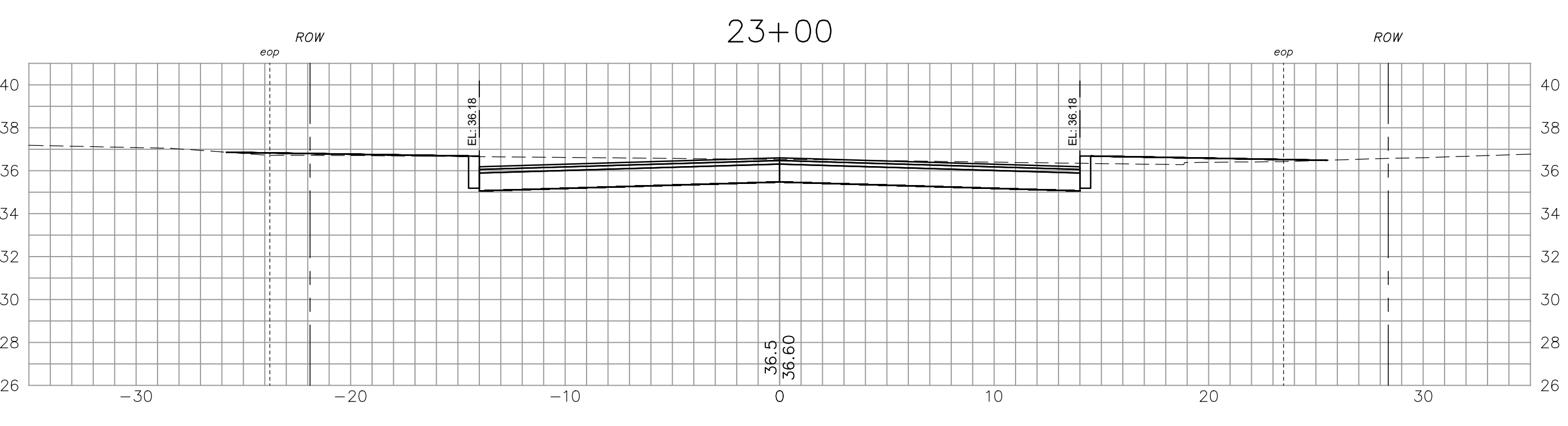
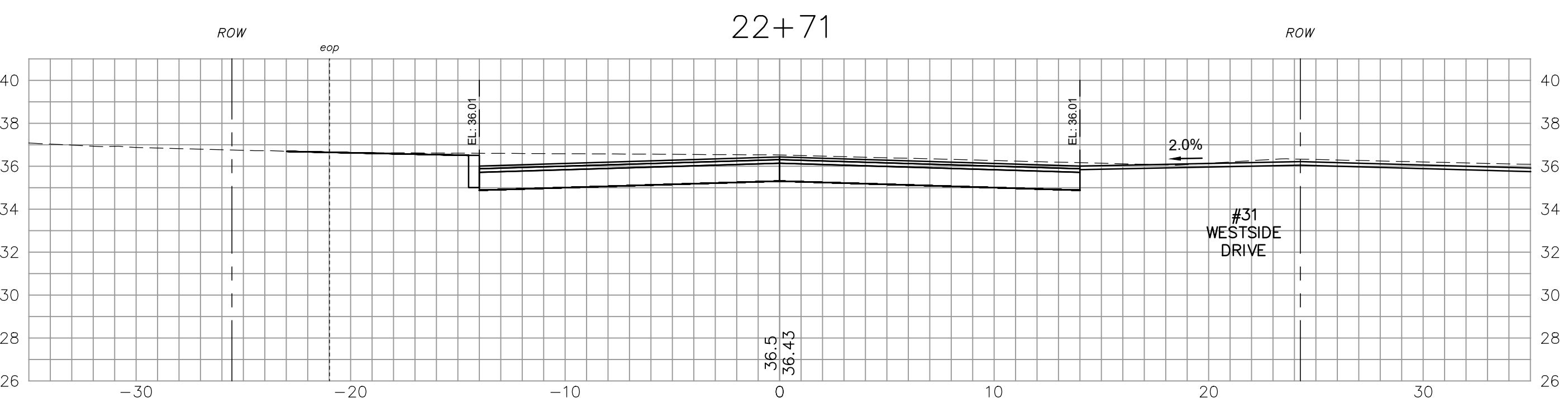
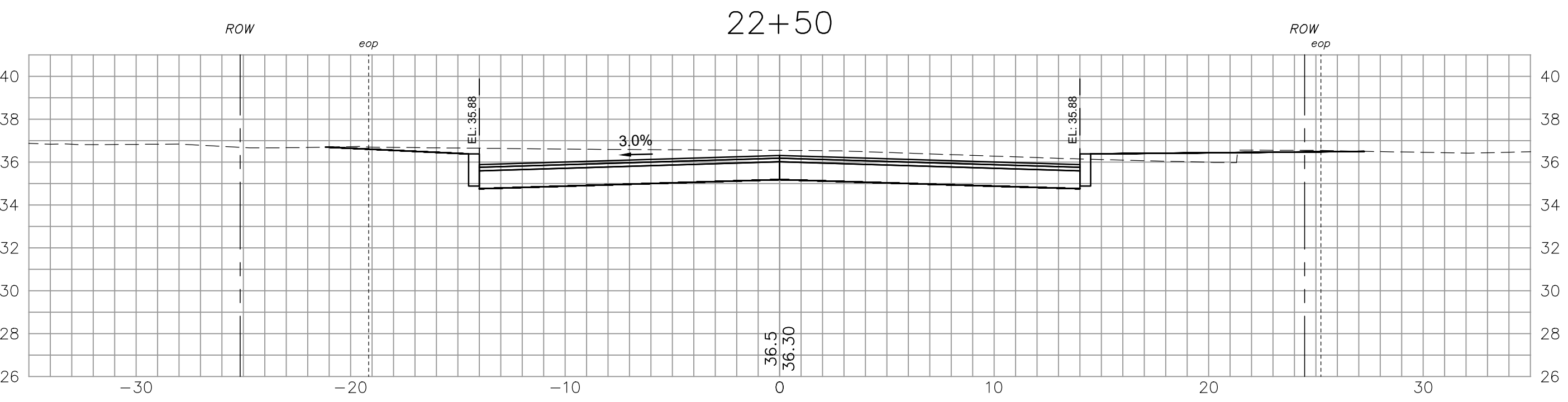
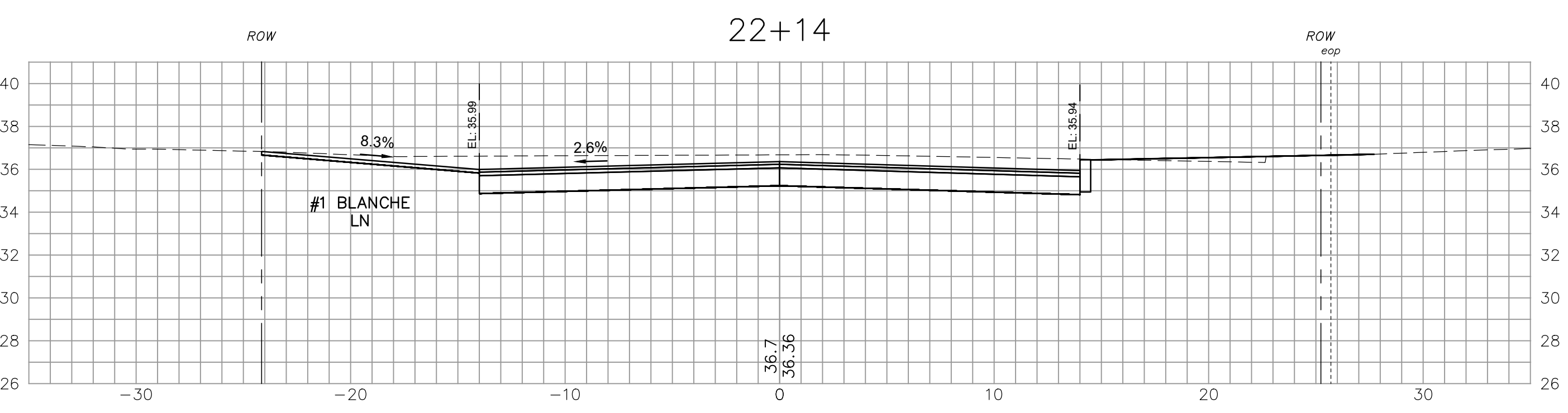
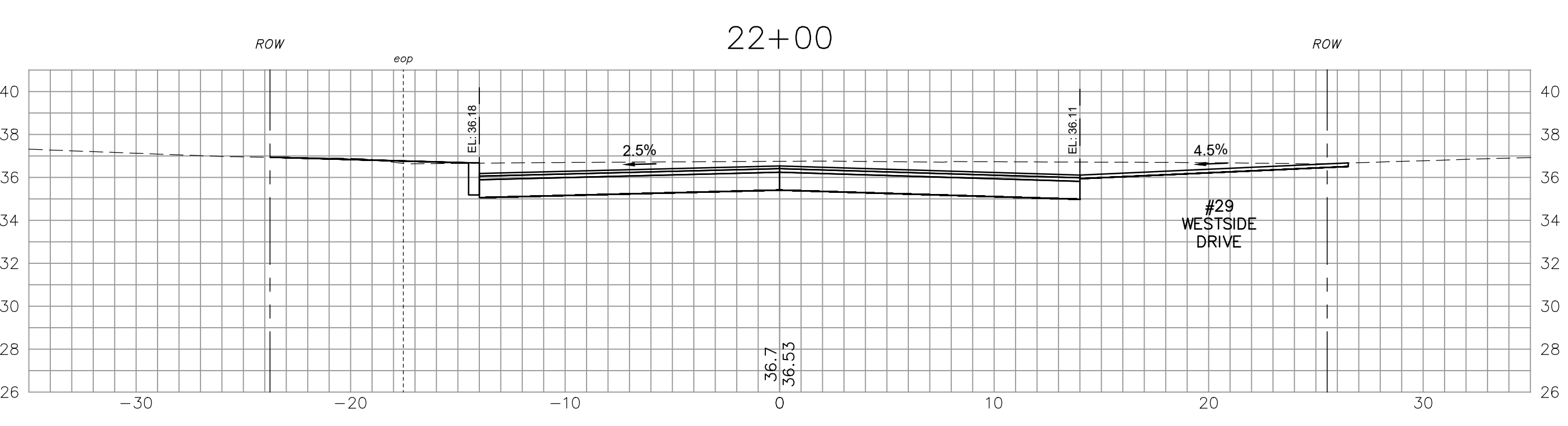
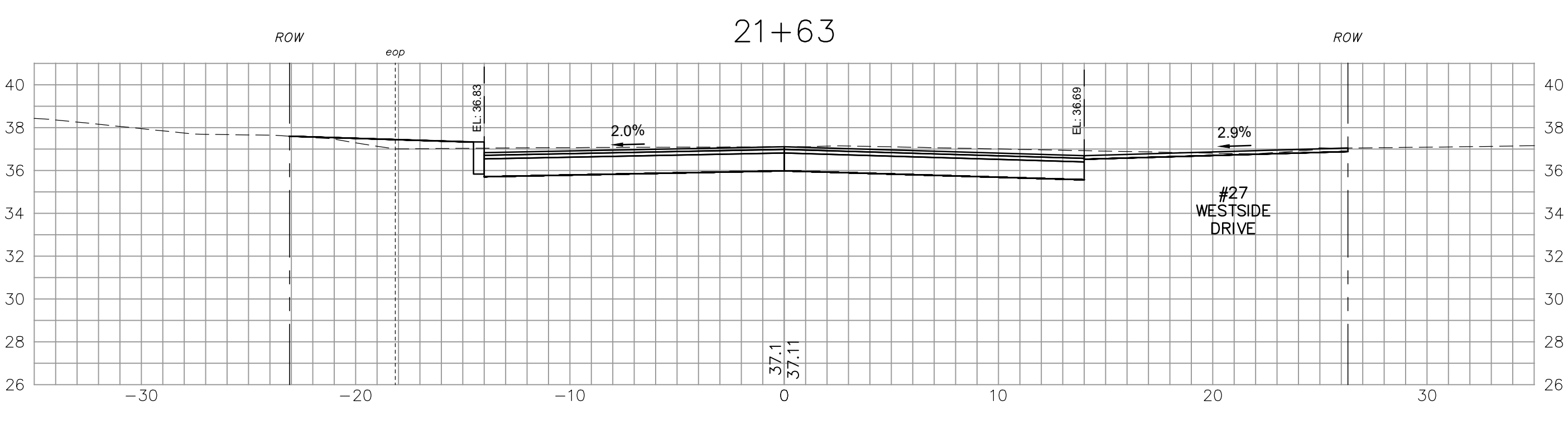
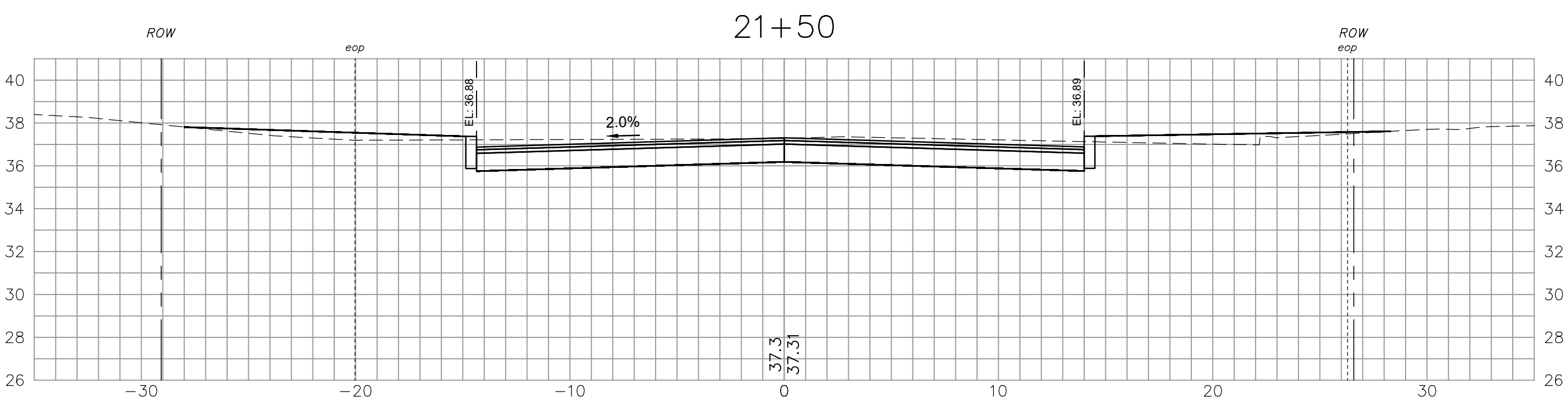
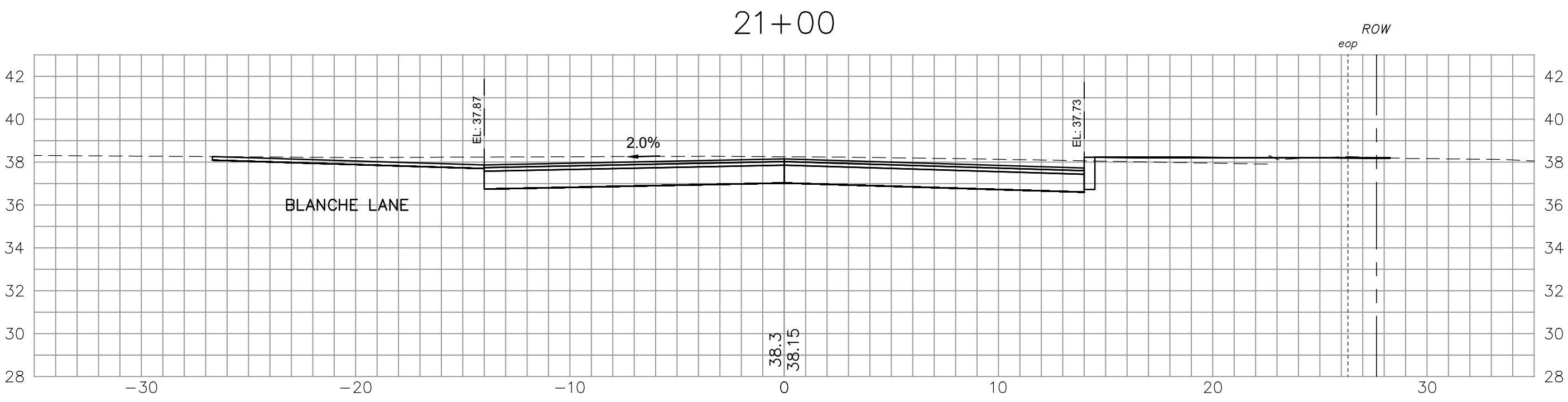
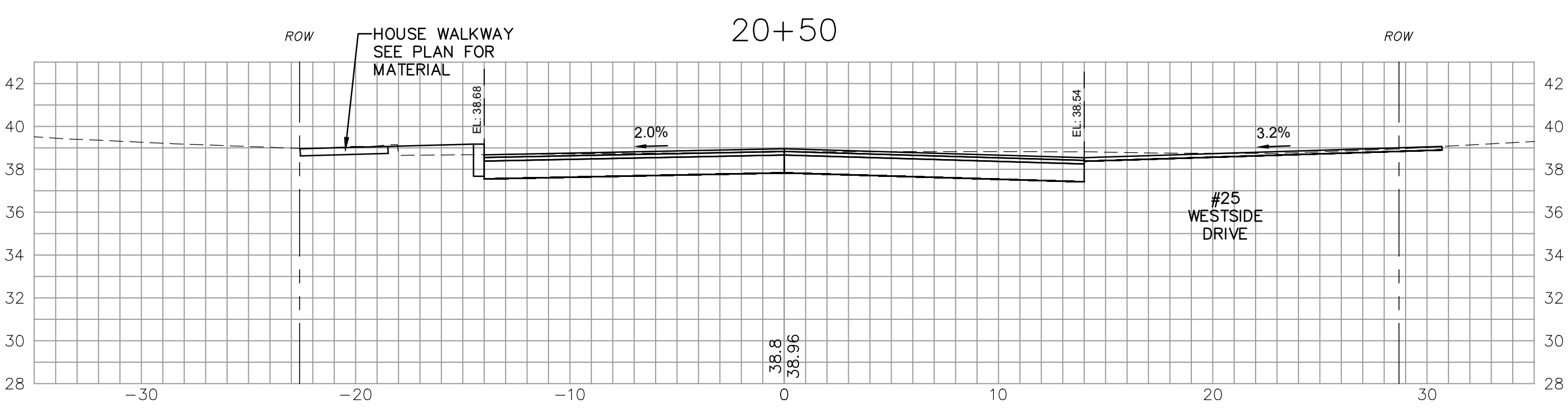
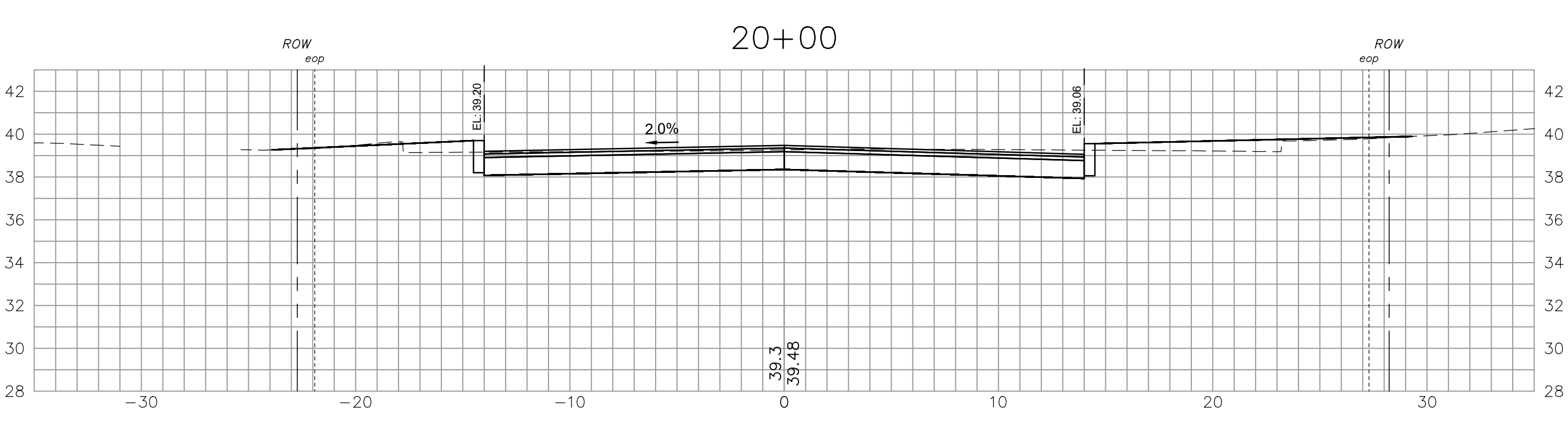


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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO XW3	SHEET 42 OF 64
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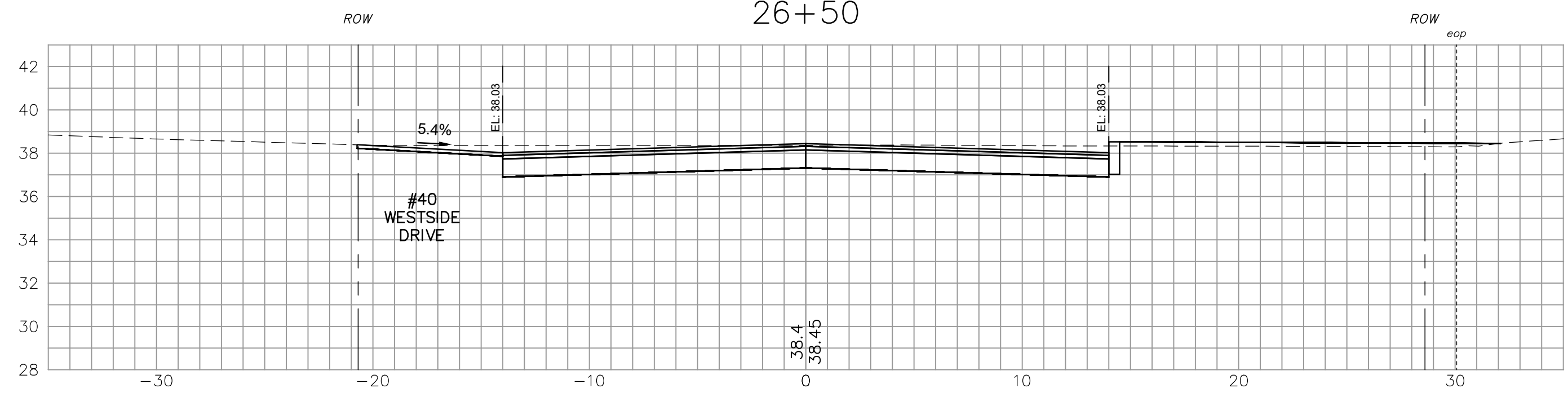
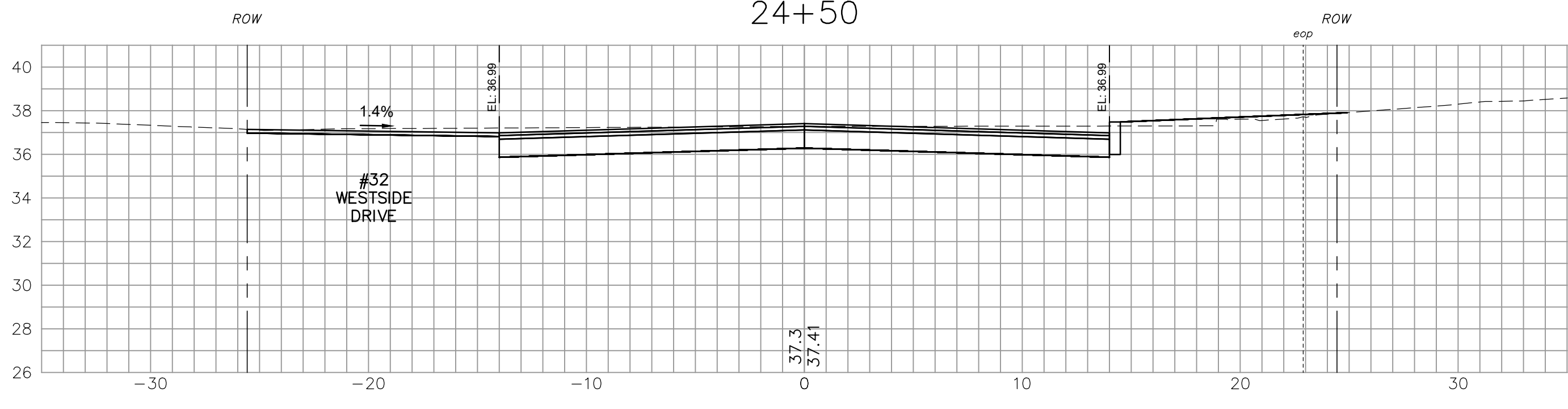
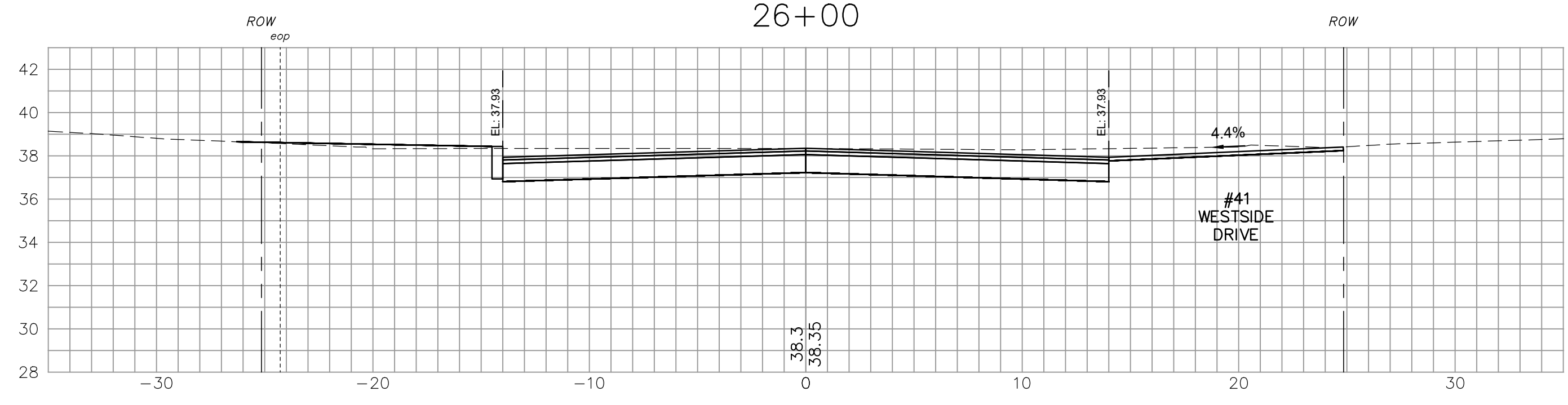
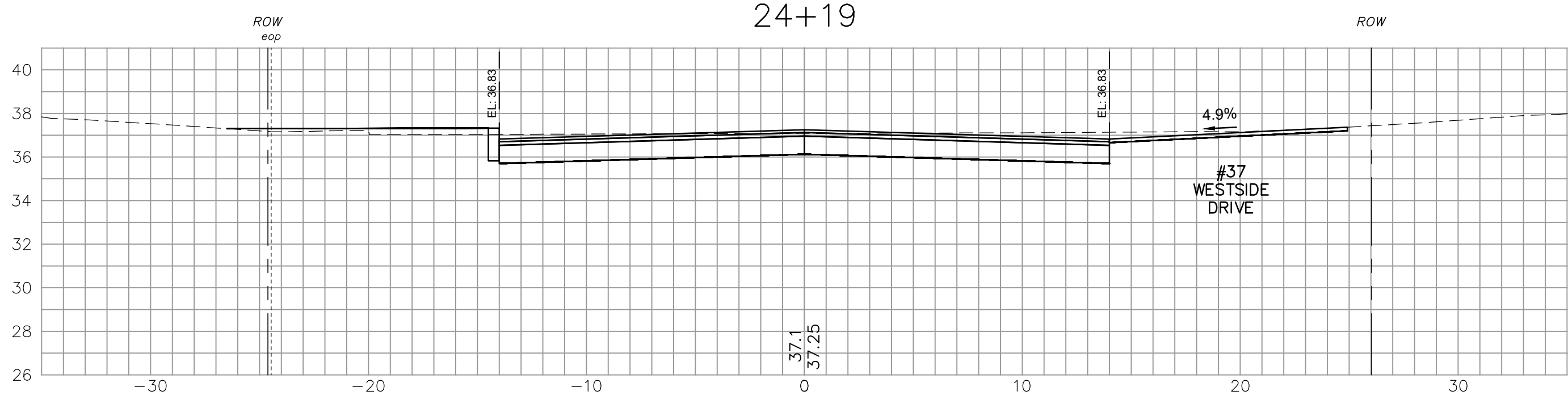
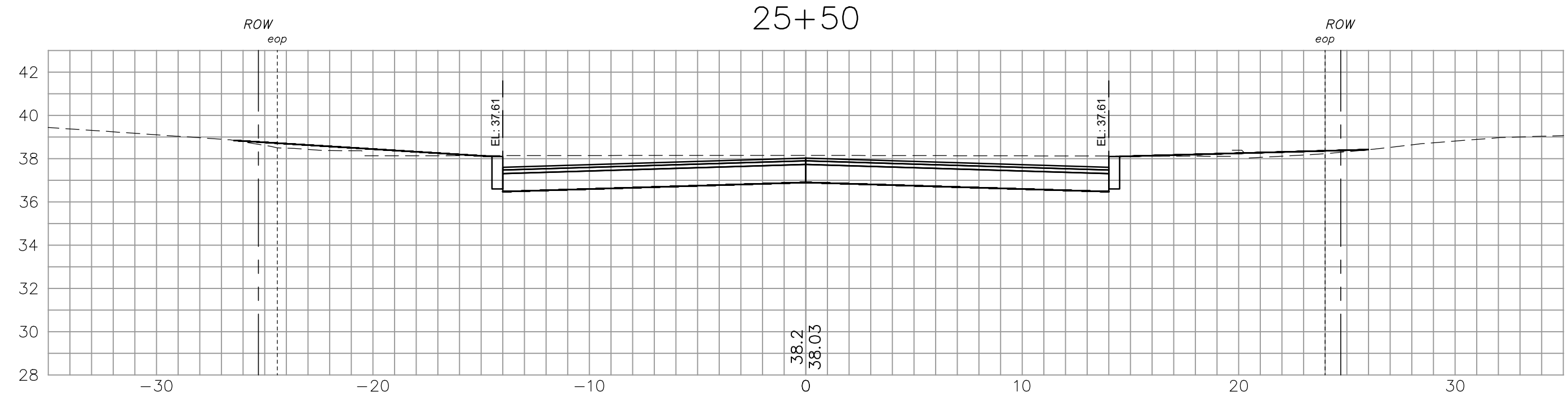
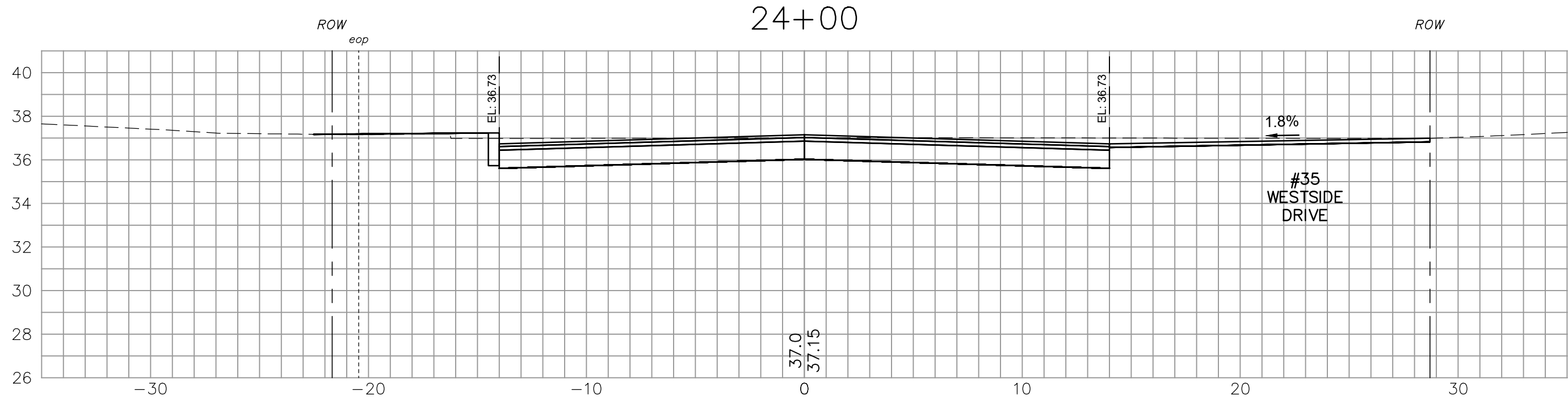
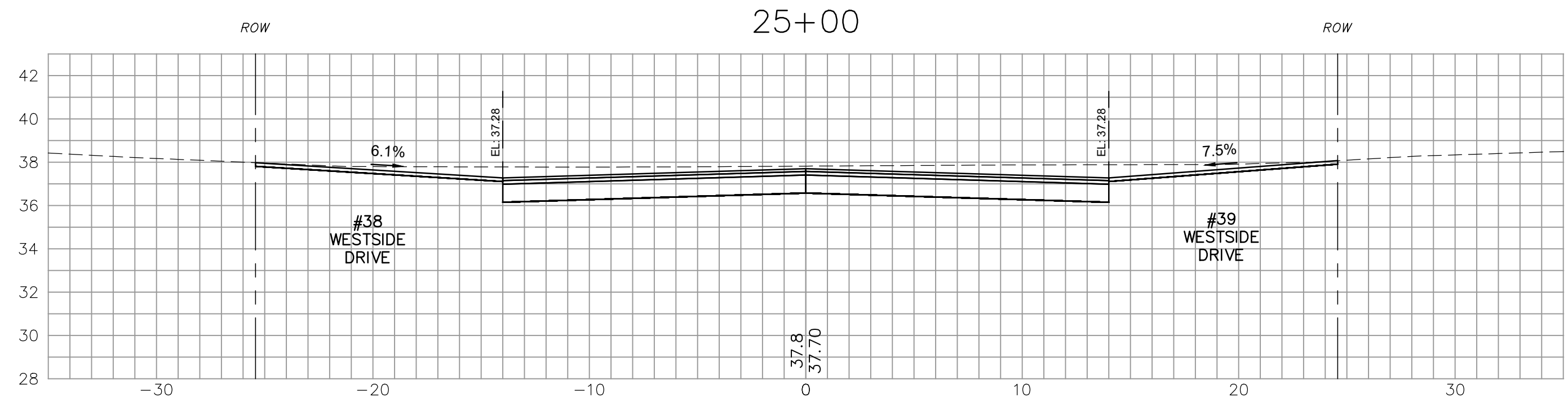
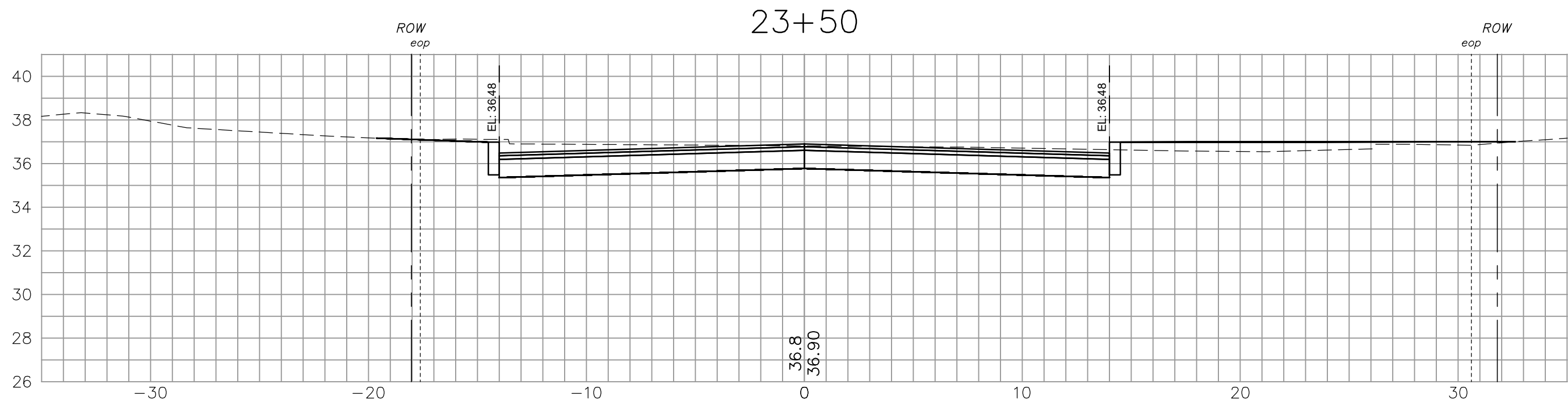
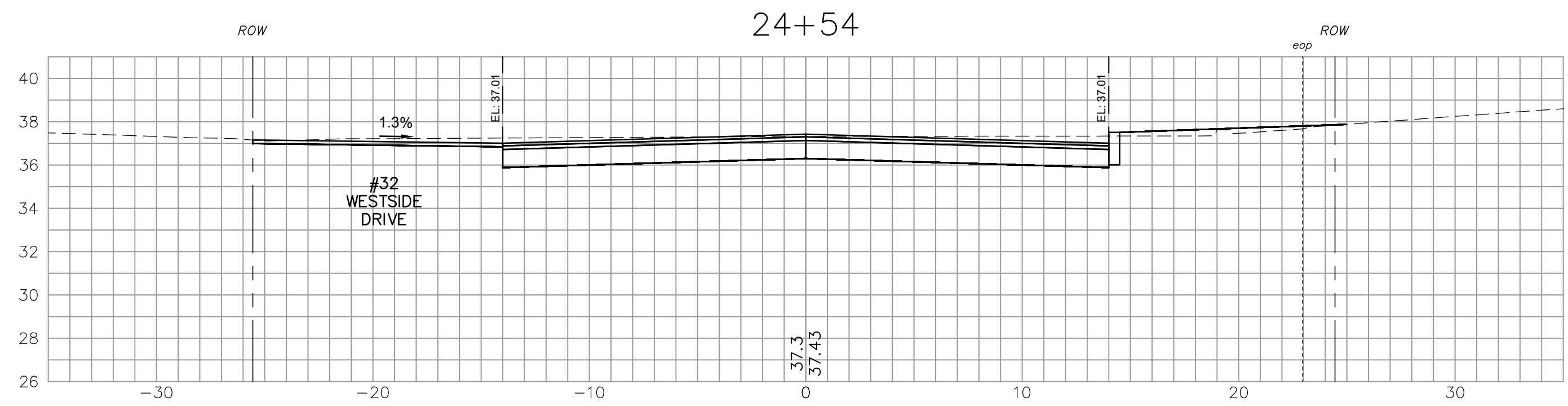
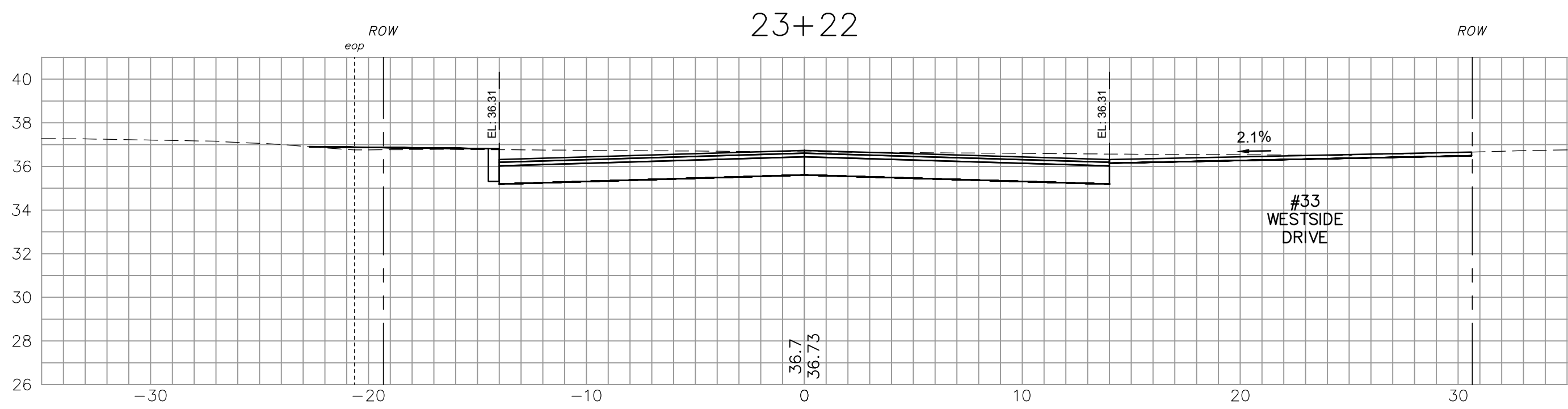
ISSUE FOR	APPROVAL	By	Date
REVISIONS	NO.	DATE	BY

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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

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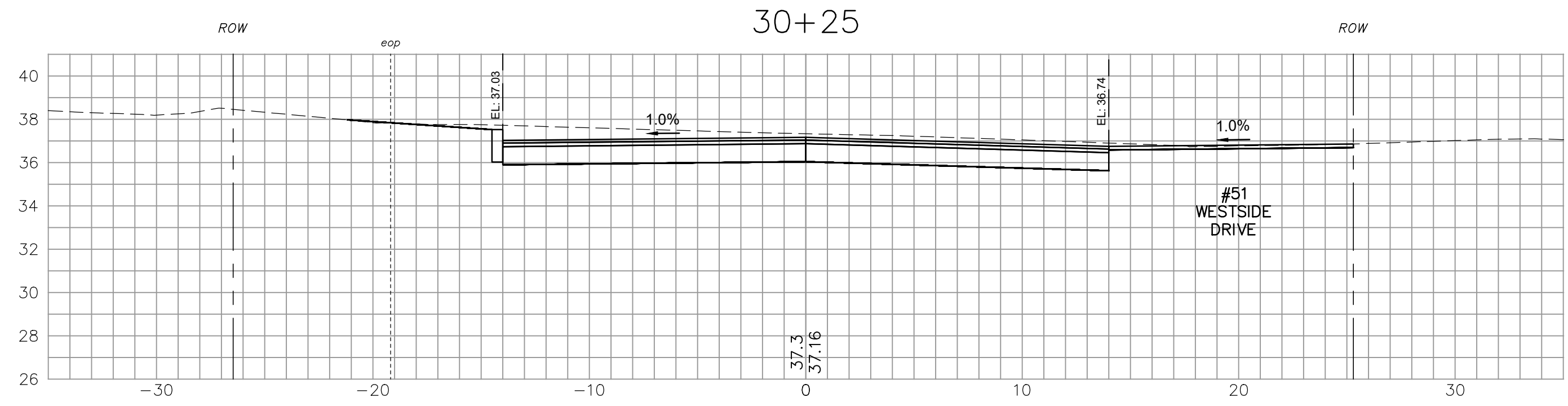
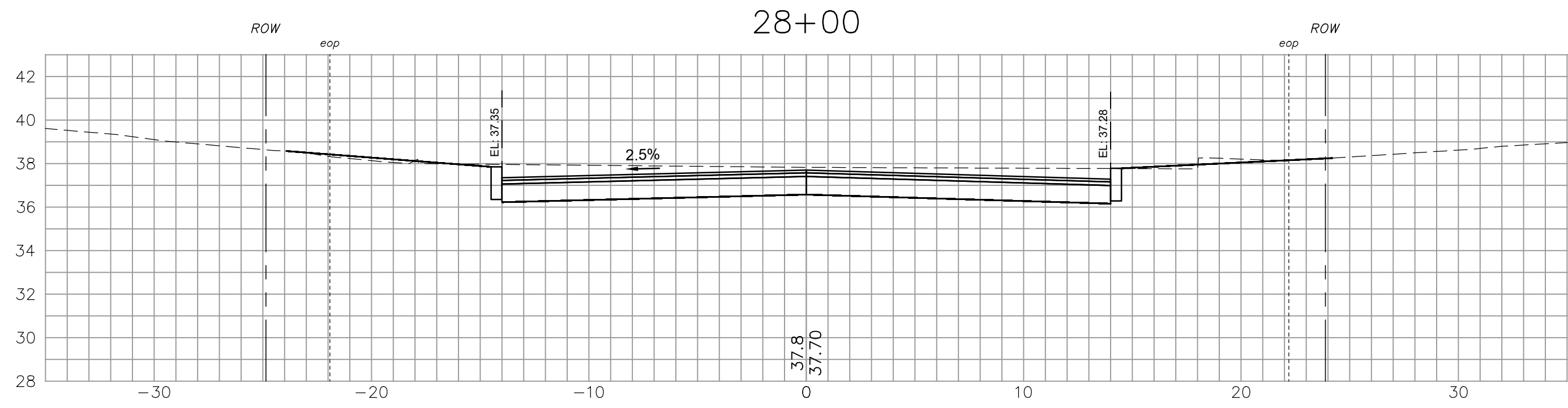
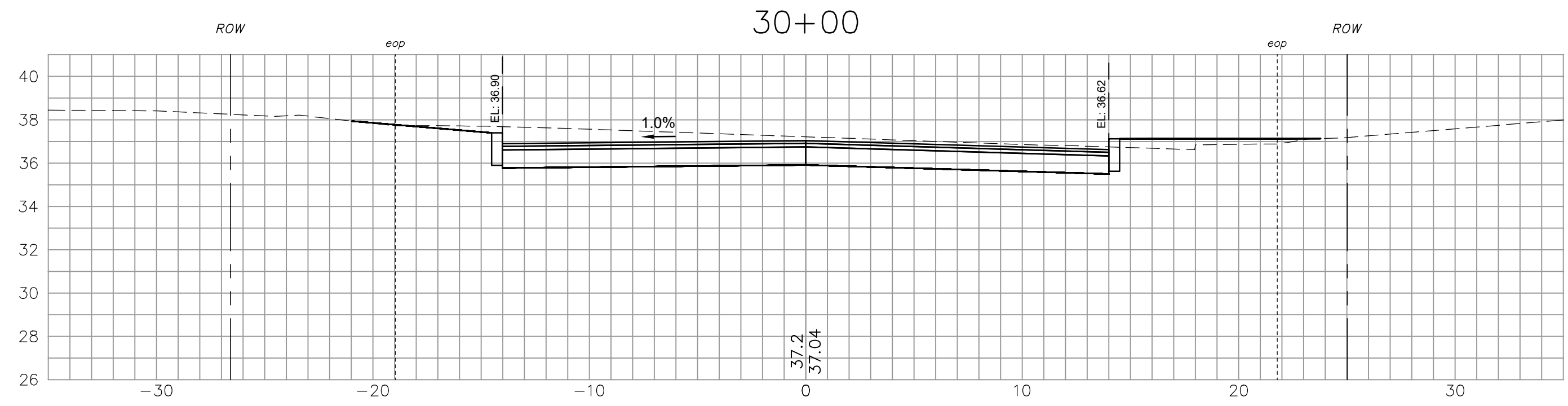
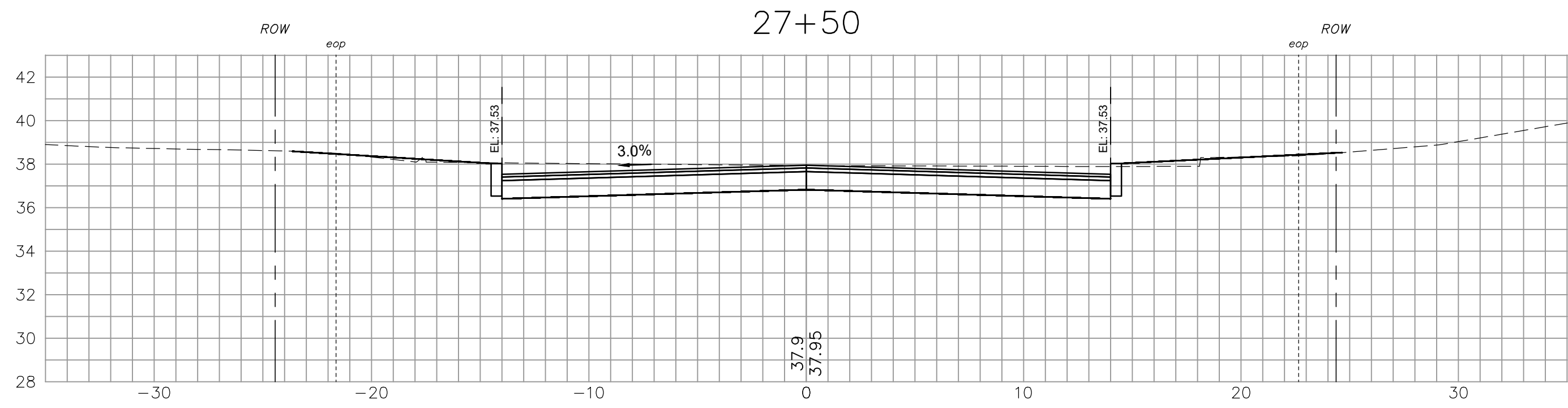
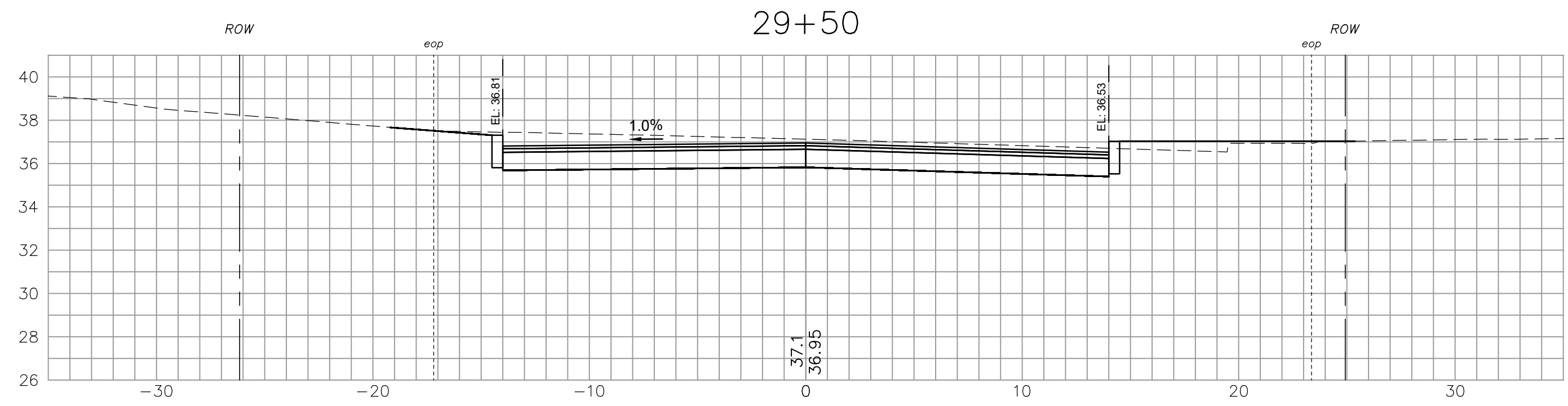
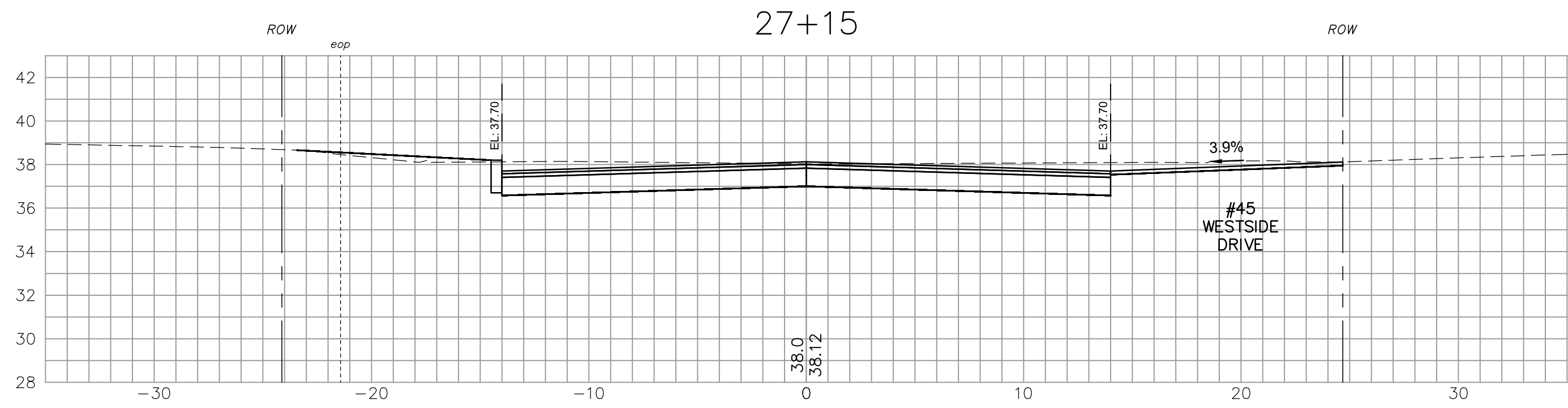
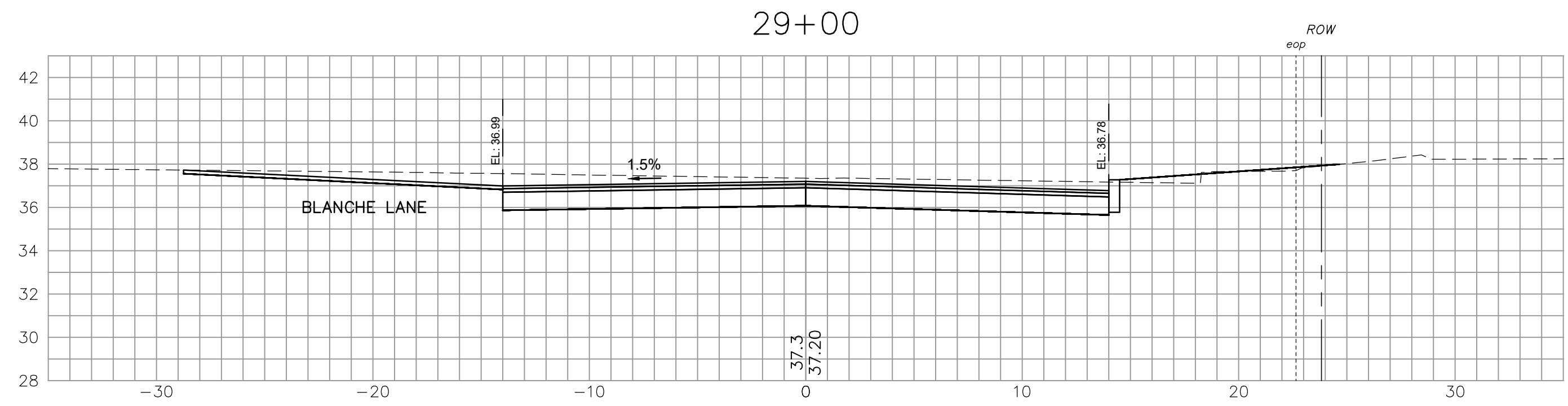
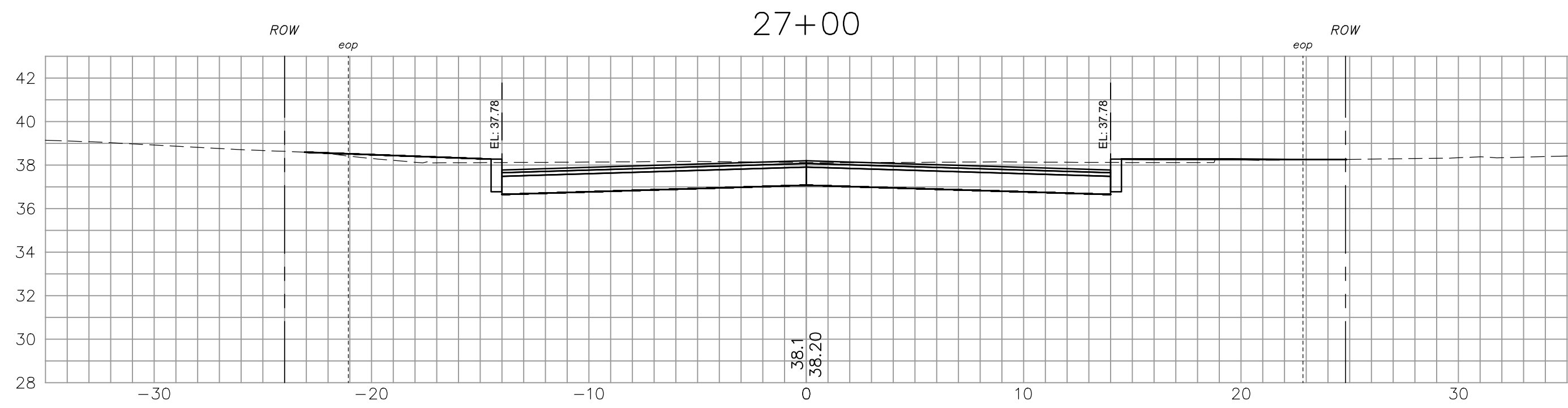
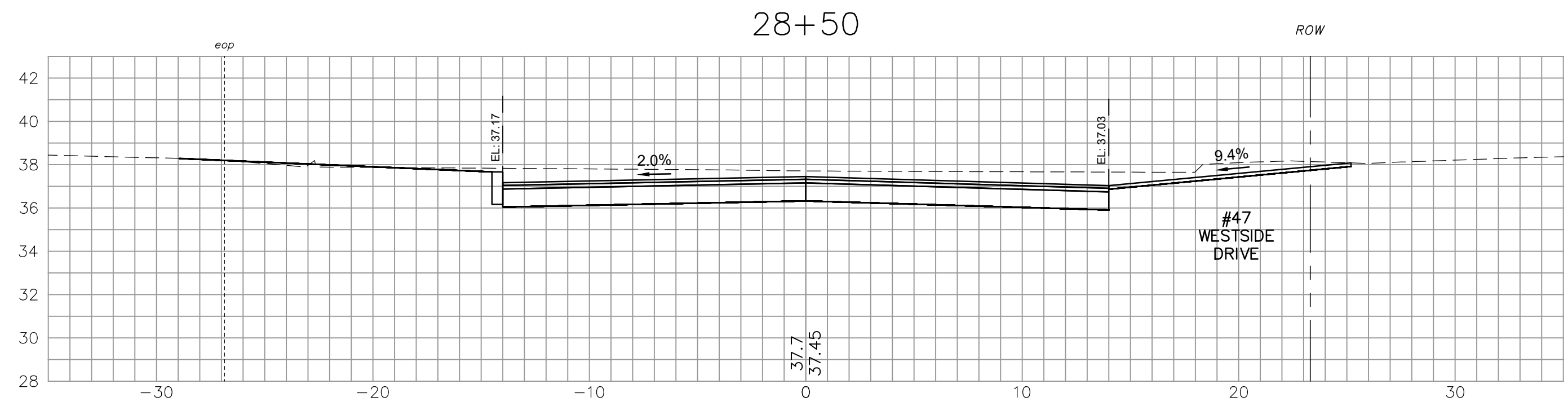
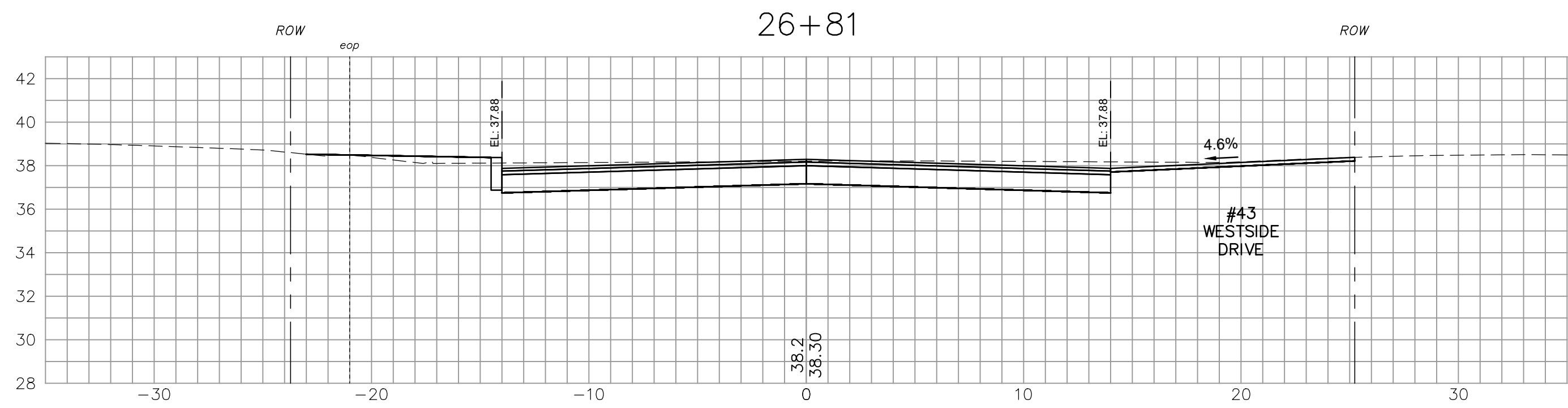
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Drawn/Chk. RMG
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 Checked RUS
 Approved: -
 Date: 11/27/2024
 Book No. -
 Project No. 2873
 Dwg. ID 2873-CS-West-...
 Scale: AS SHOWN

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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
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Date	Date
CONSTRUCTION	By
Date	Date
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Date	Date

Drawn/Chk. RMG
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 Approved: 11/27/2024
 Date
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 Scale AS SHOWN

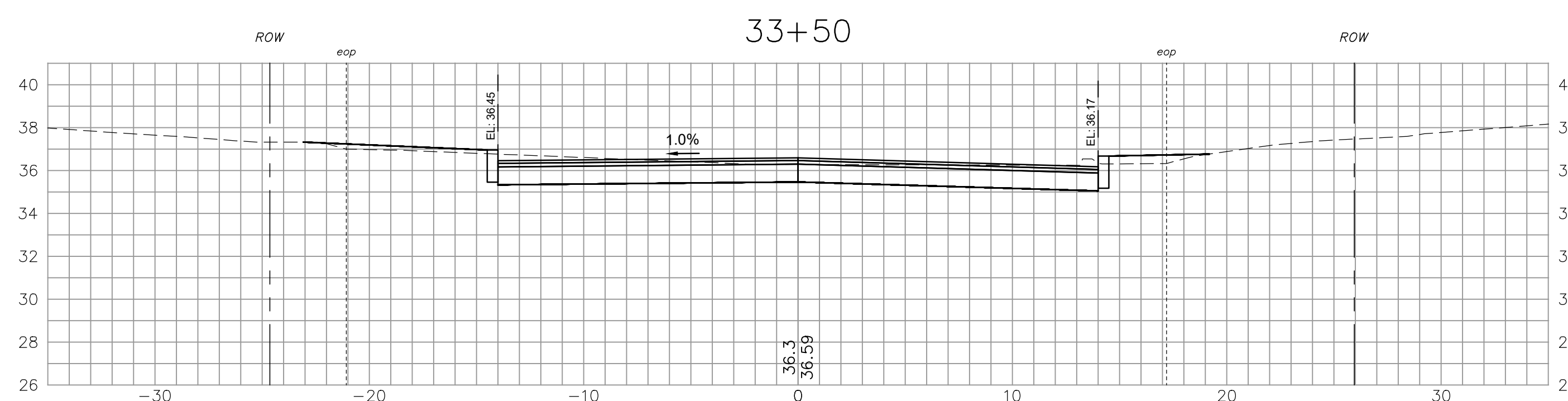
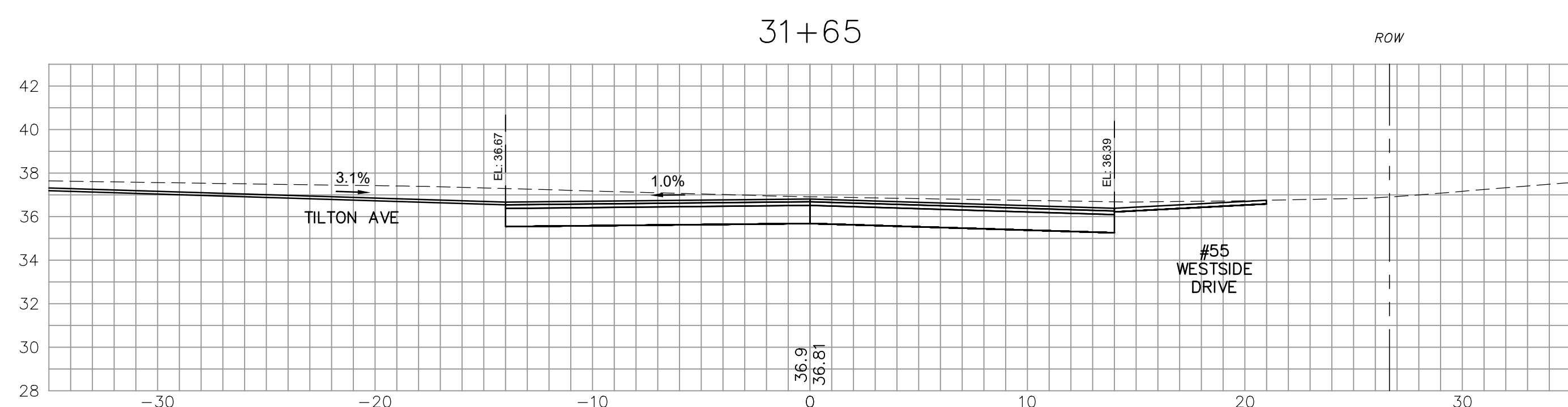
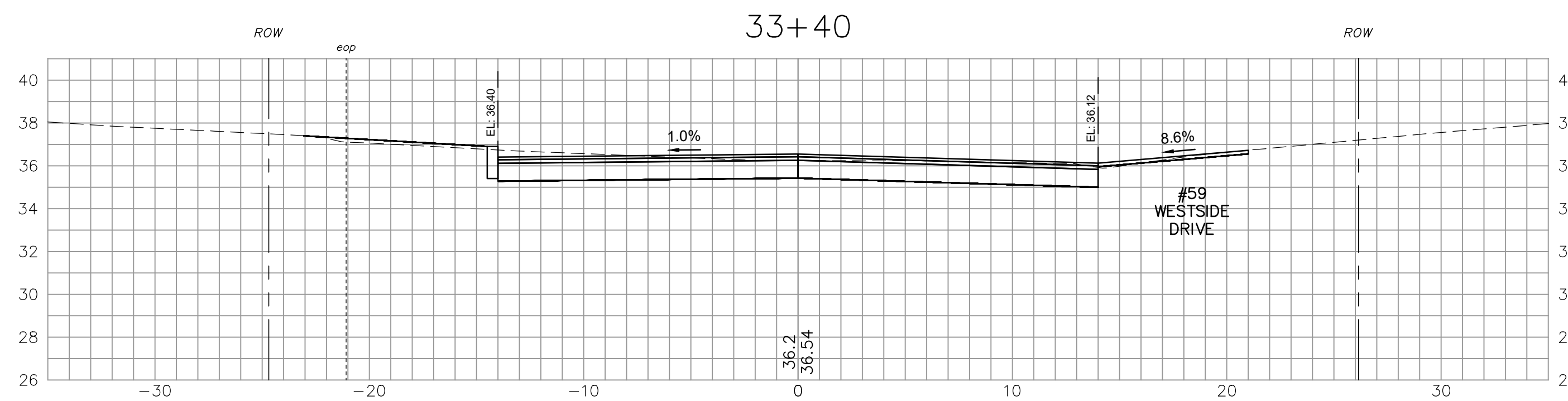
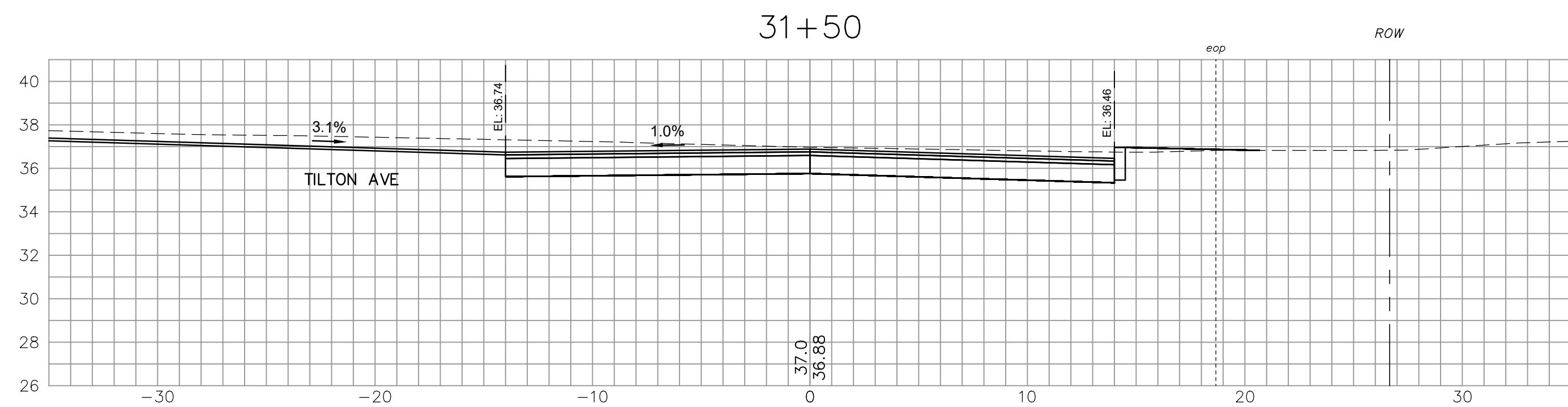
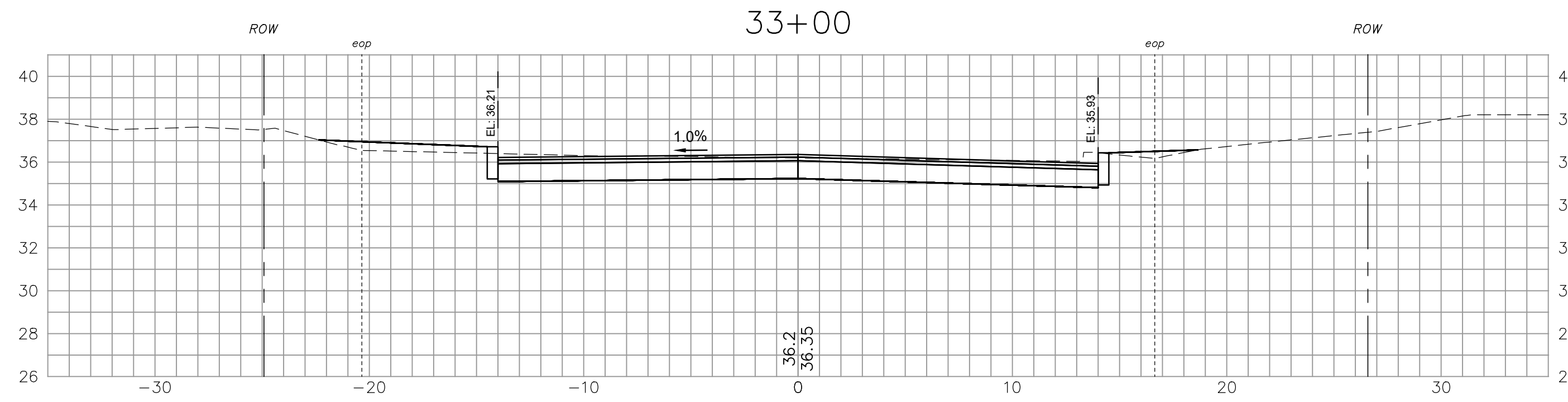
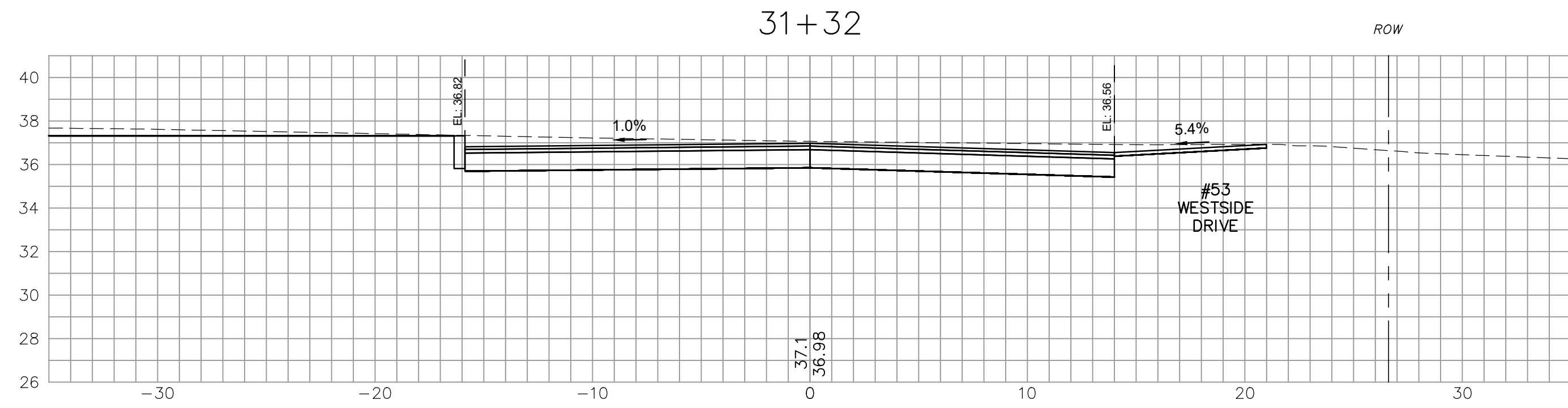
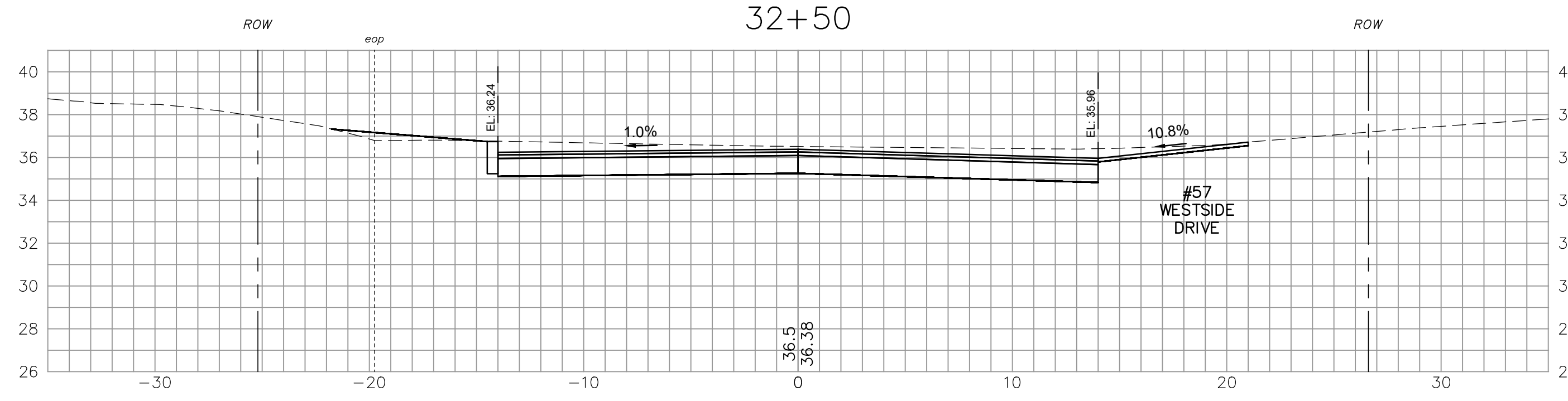
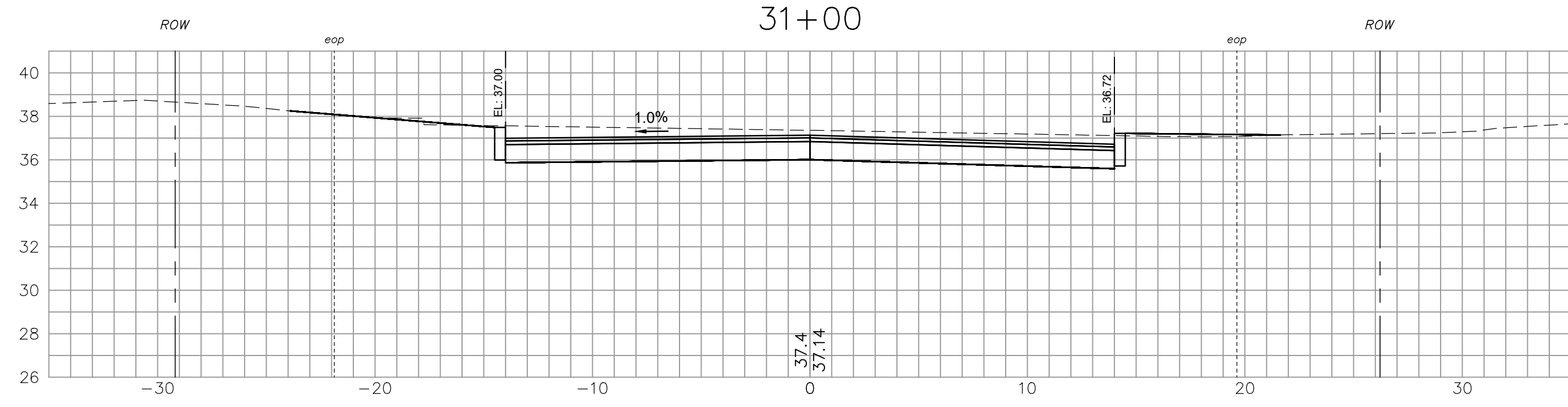
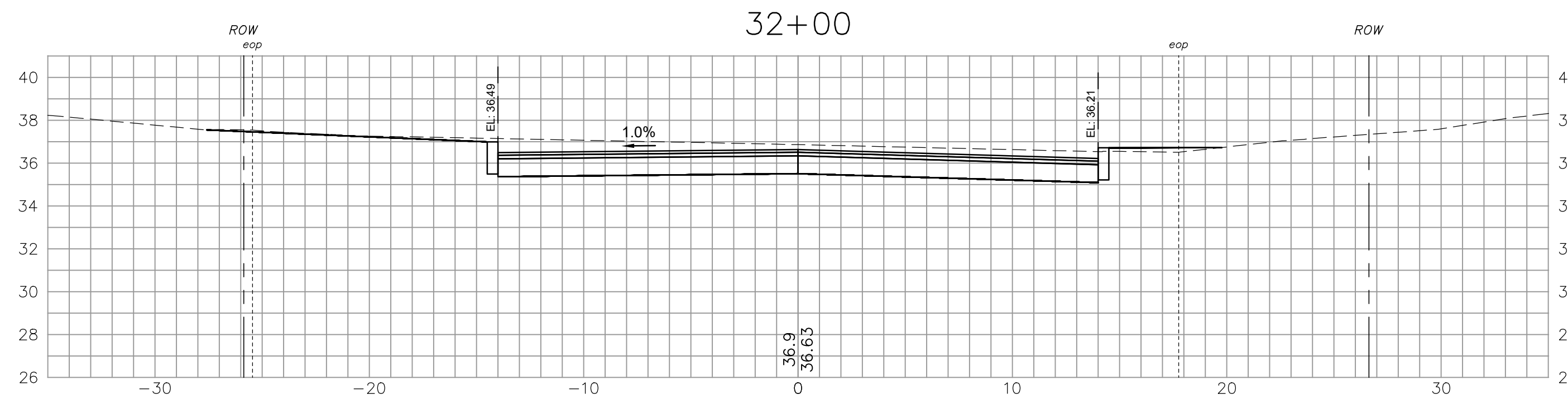
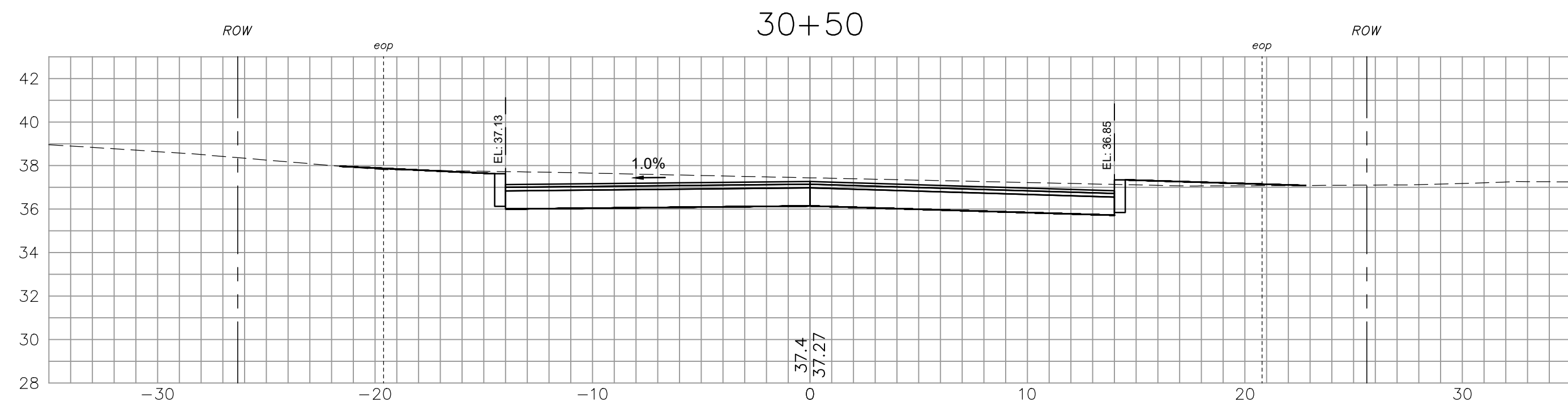
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CROSS SECTIONS - WESTSIDE DR.
 WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS
 TOWN OF EXETER
 EXETER, NH

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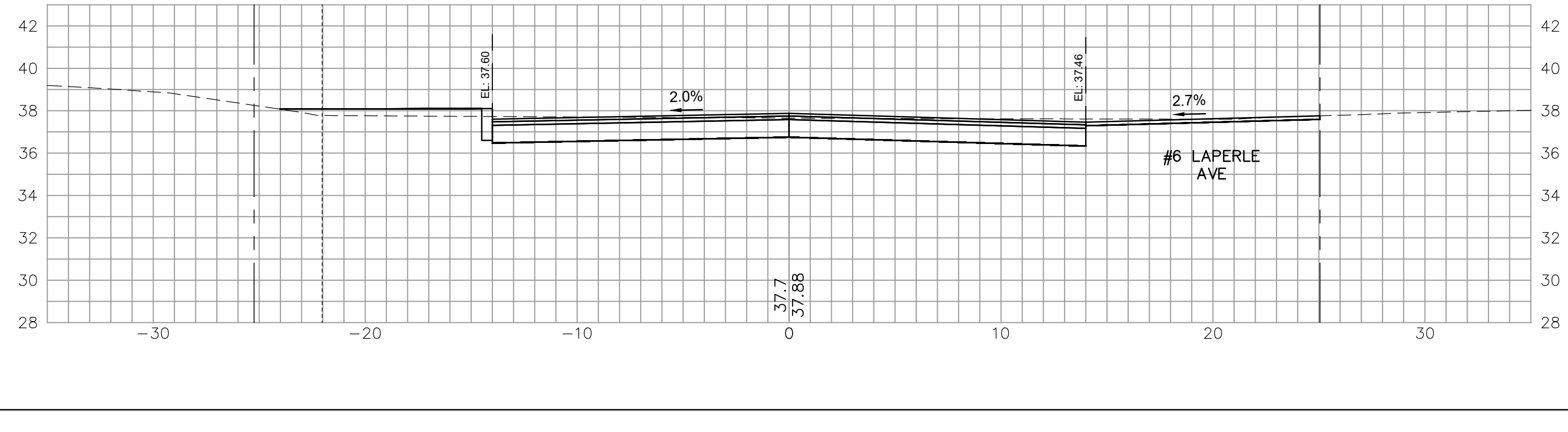
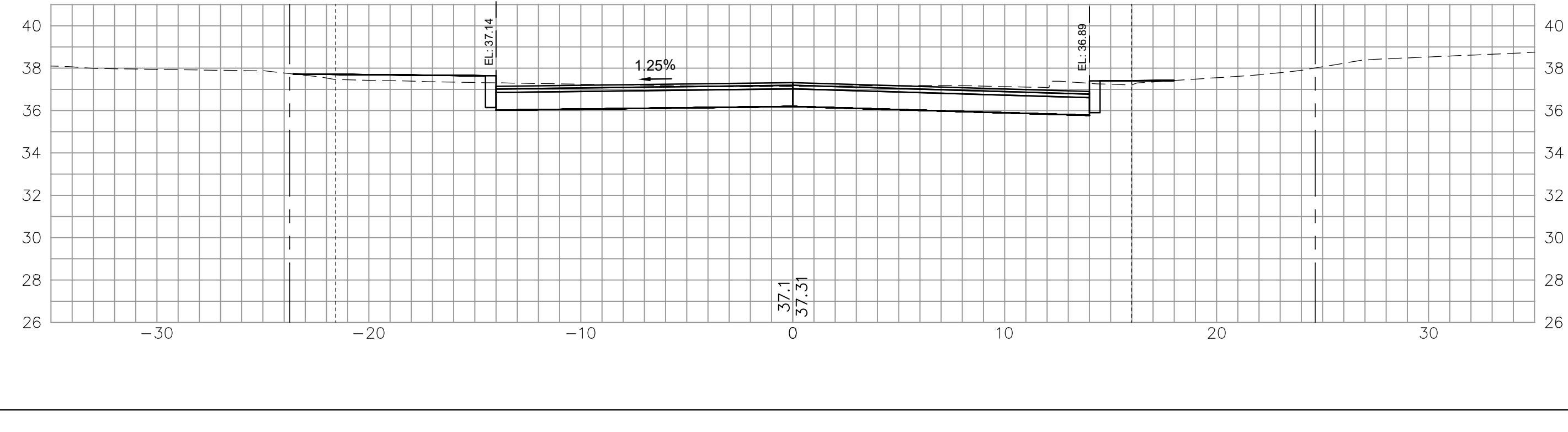
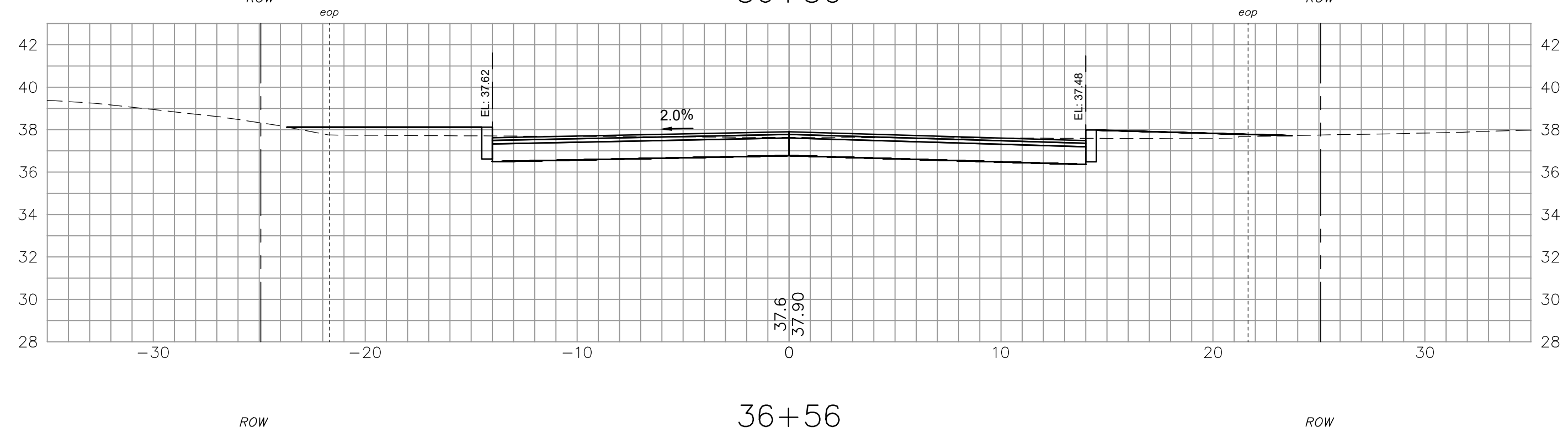
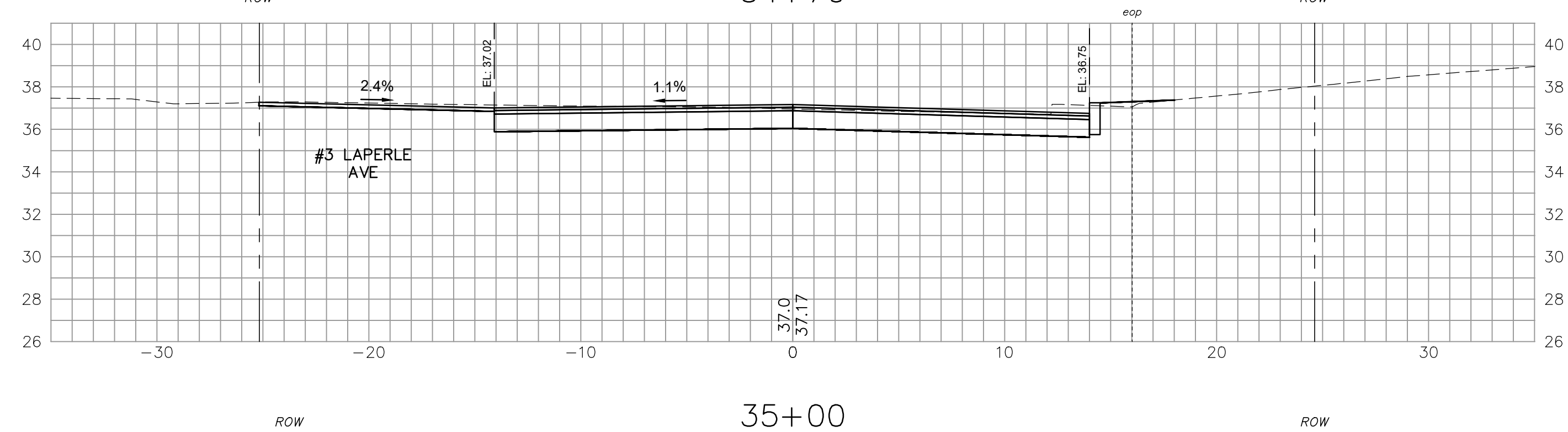
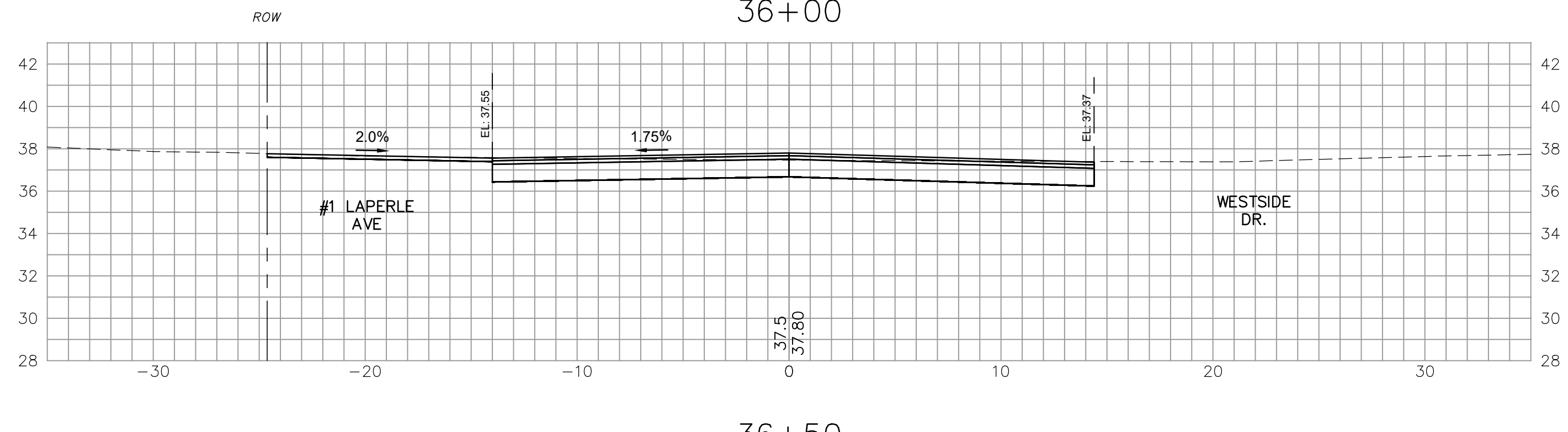
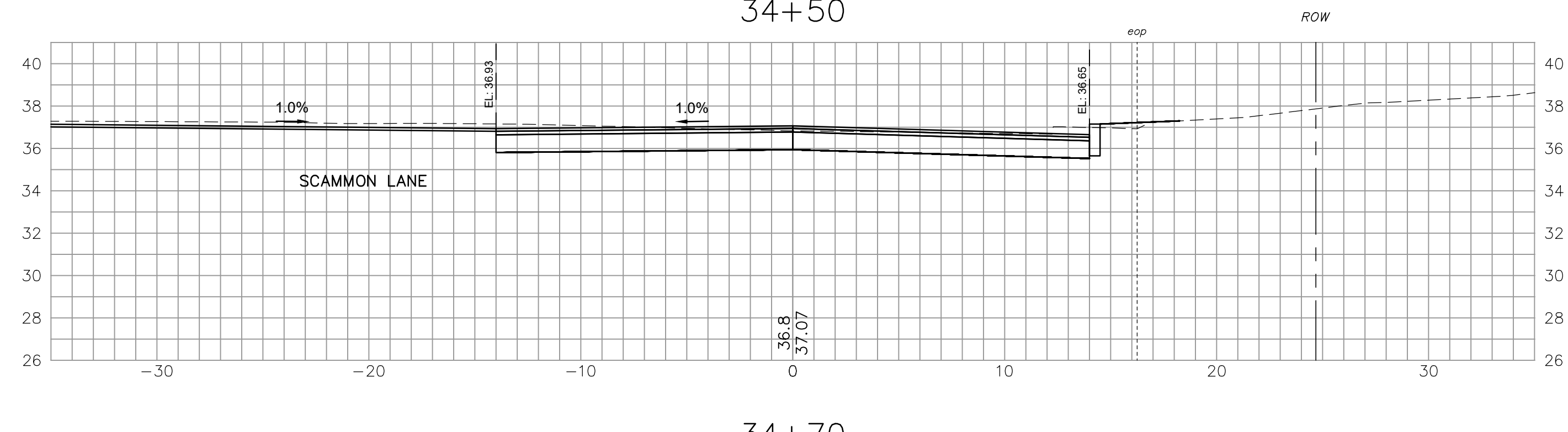
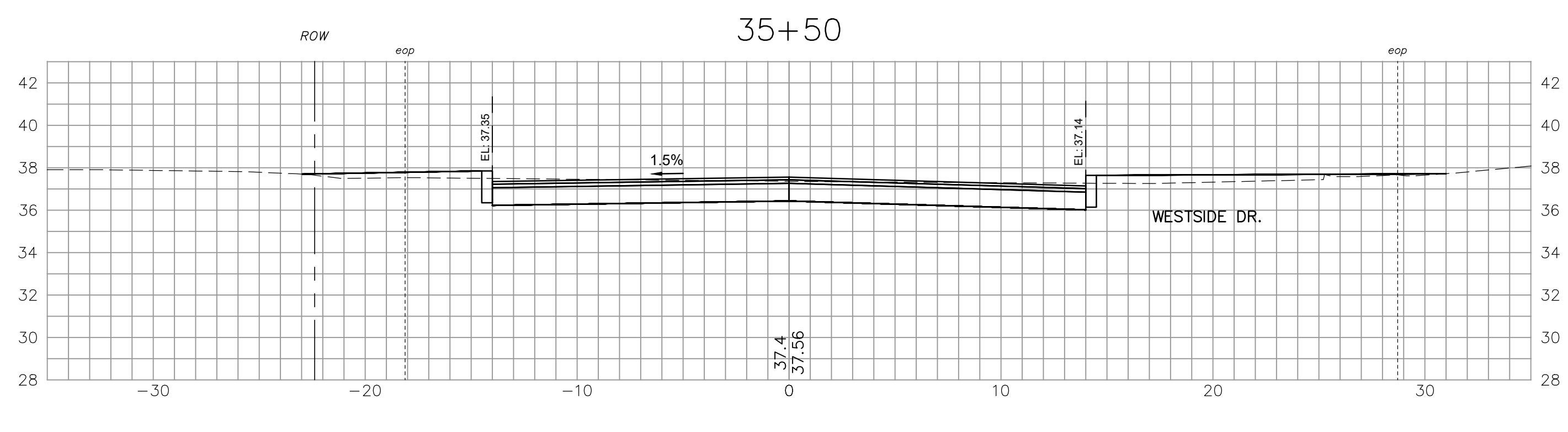
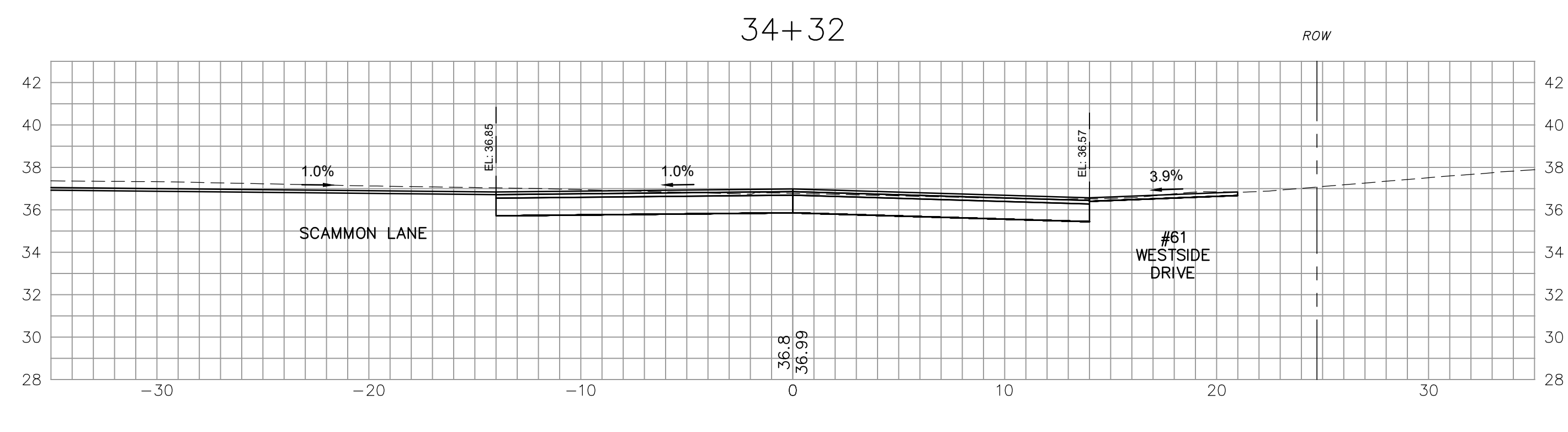
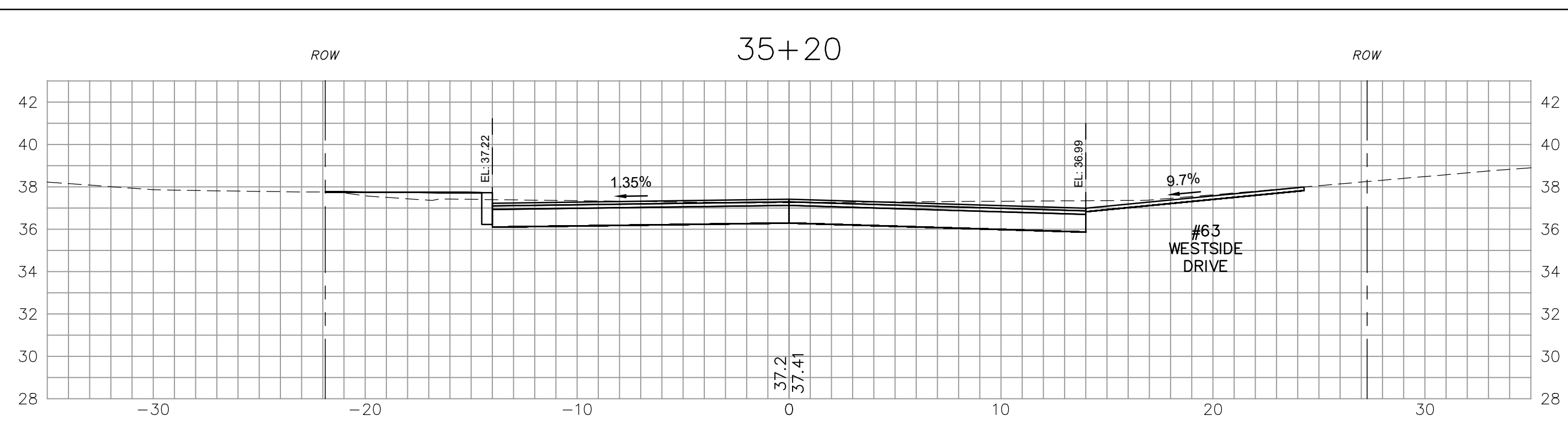
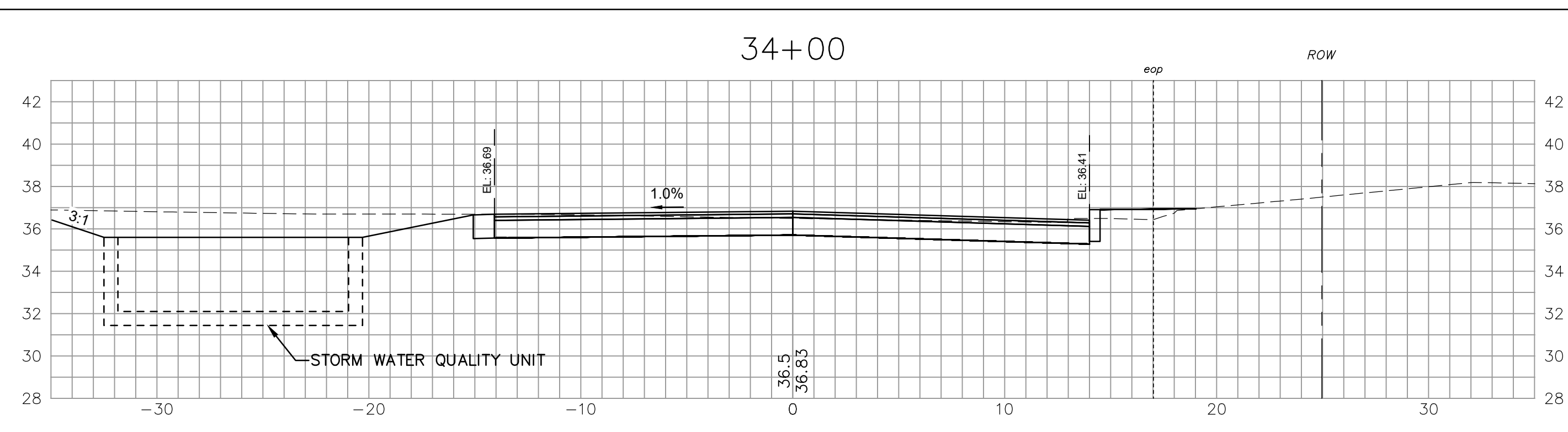


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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

Drawn/Chk	RMG	DUR	RUS	Approved	Date	Book No.	Project No.	Dwg. ID	Scale
Designed					11/27/2024		2873	2873_CS_West...	AS SHOWN
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ISSUE FOR									
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ISSUE FOR	APPROVAL	By	Date

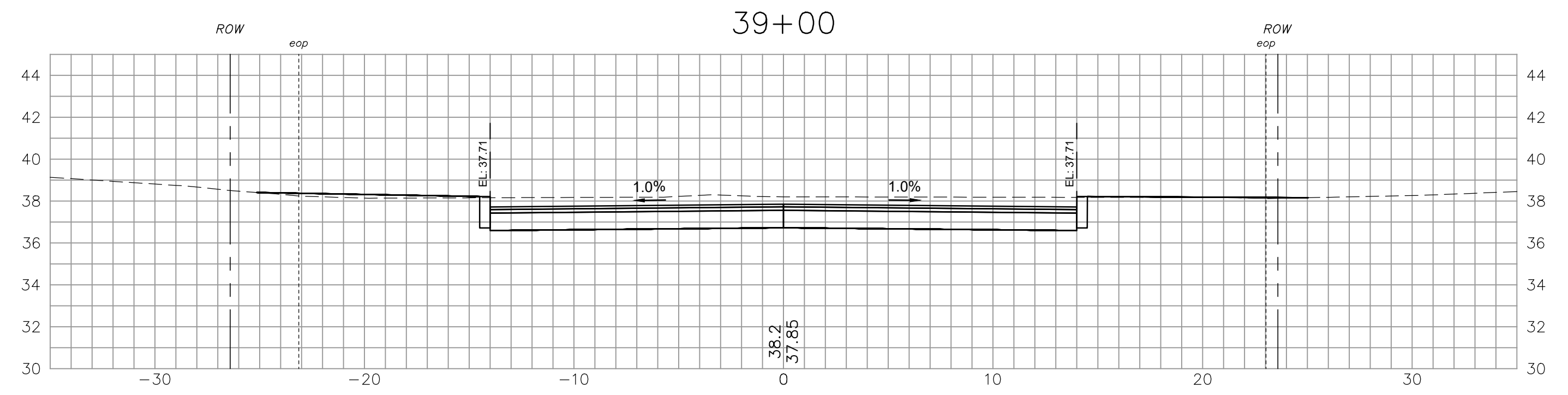
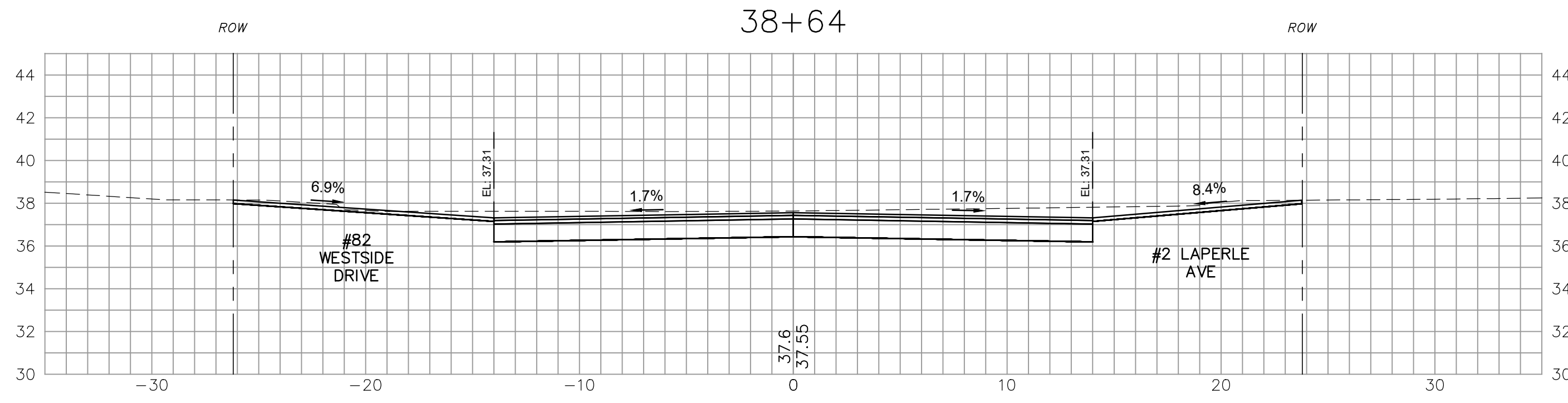
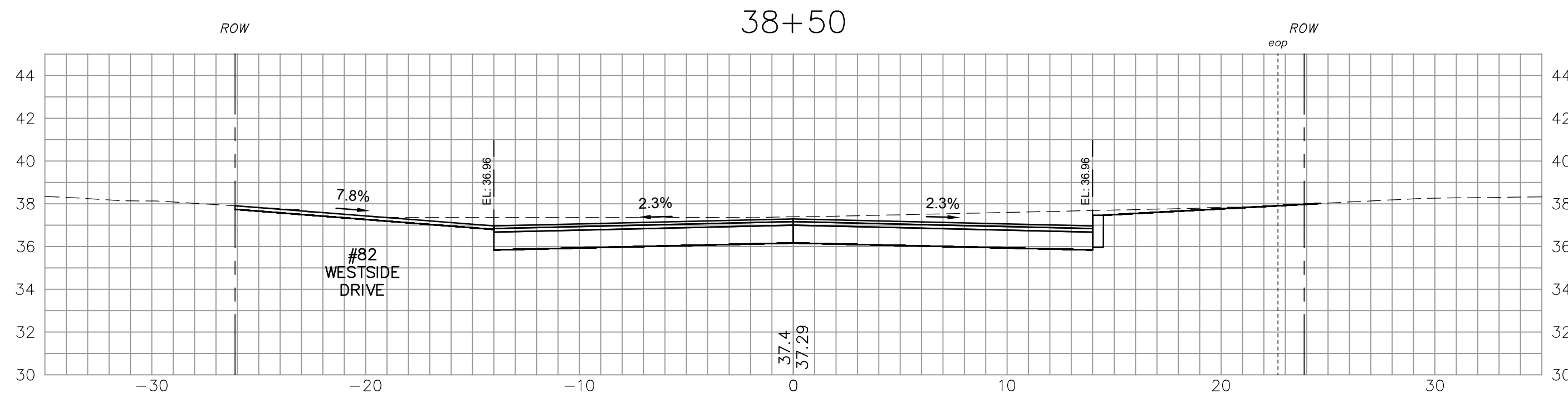
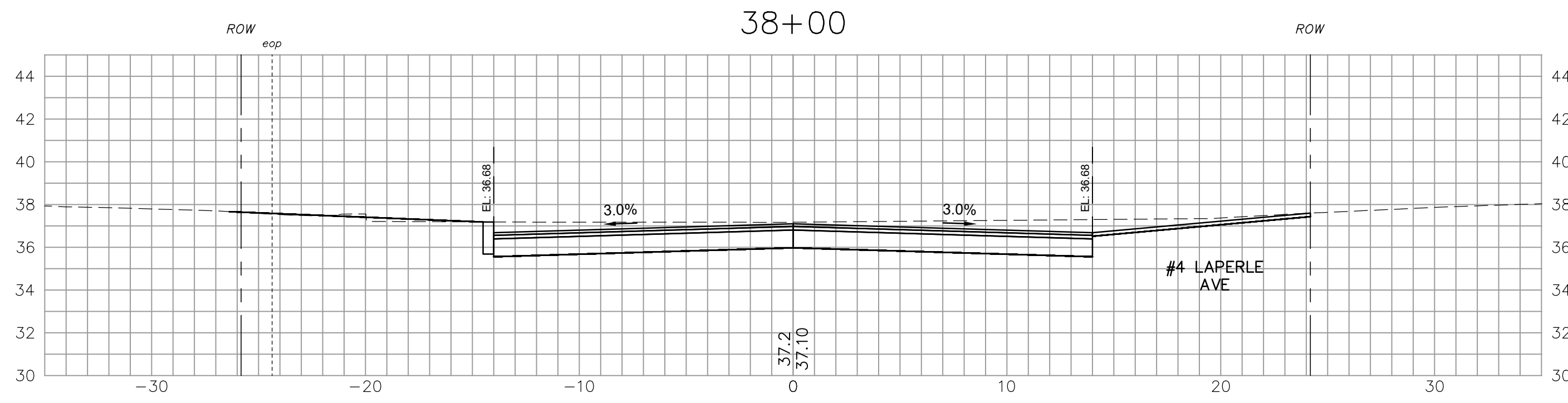
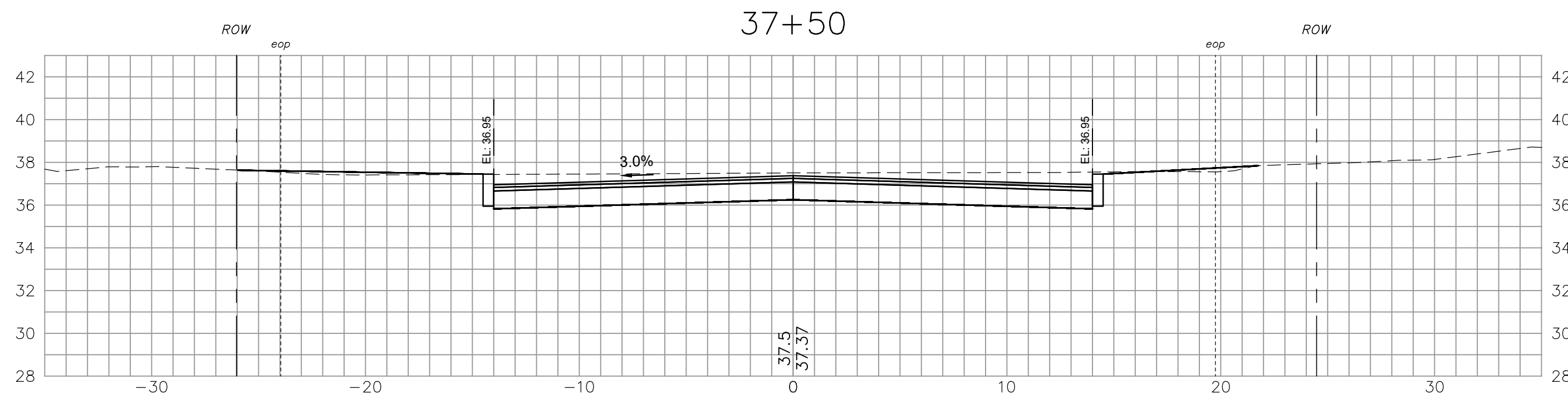
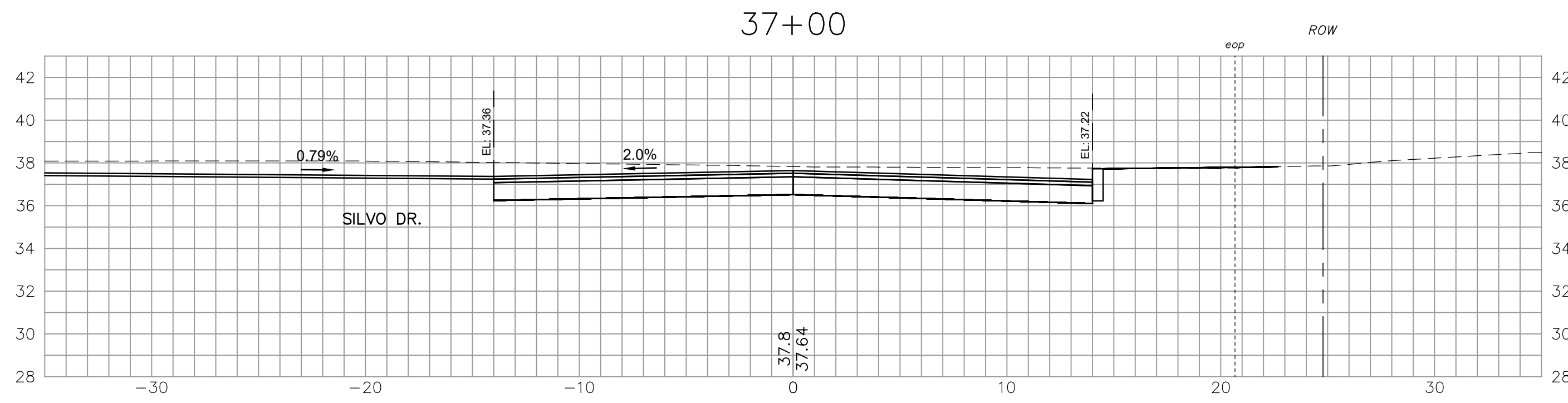
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CROSS SECTIONS
 WESTSIDE DR/LAPERLE AVE
 WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS
 TOWN OF EXETER
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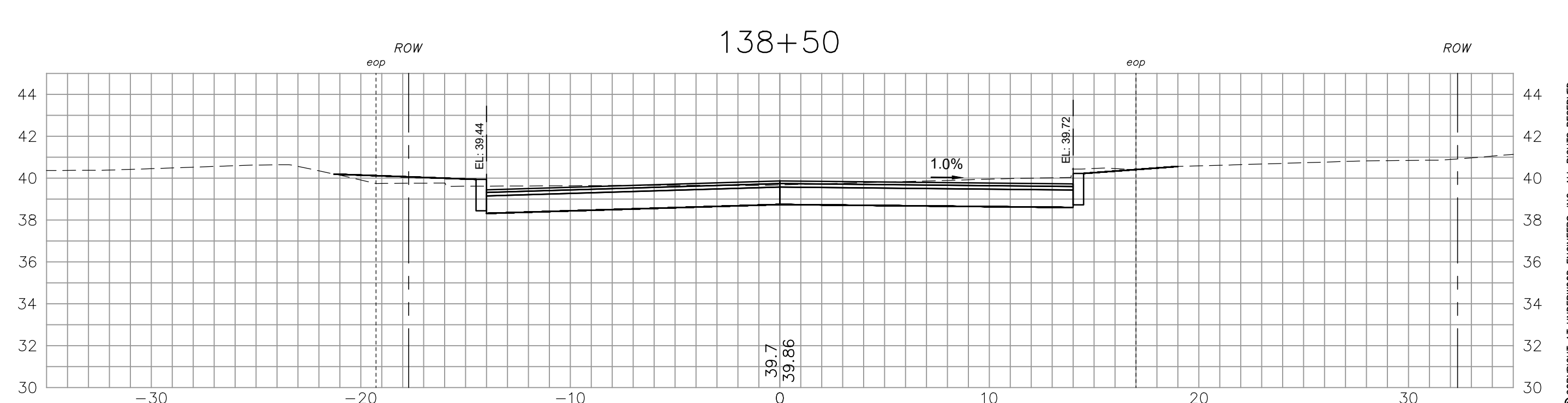
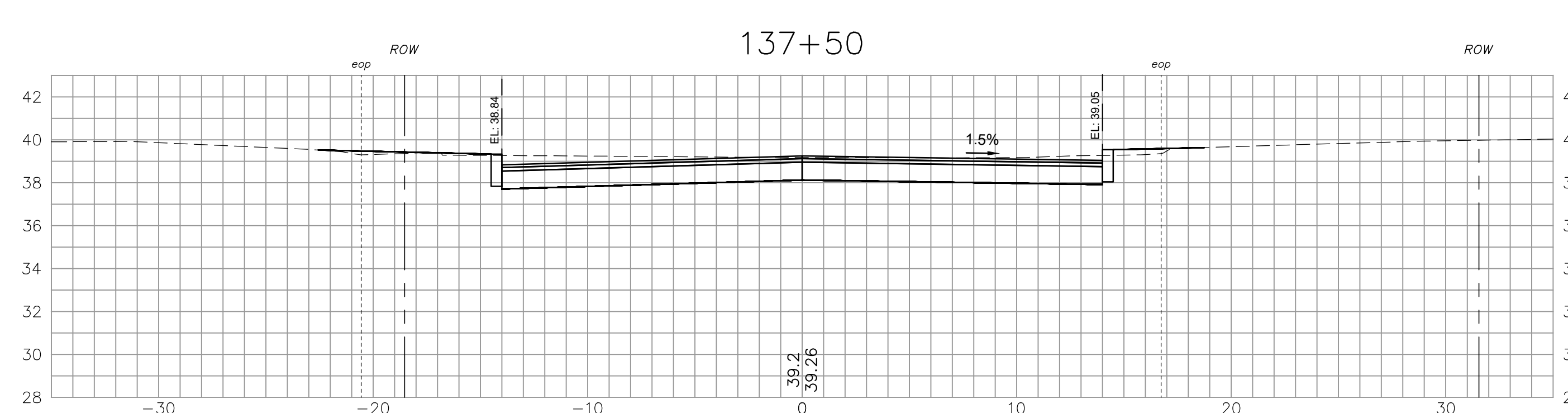
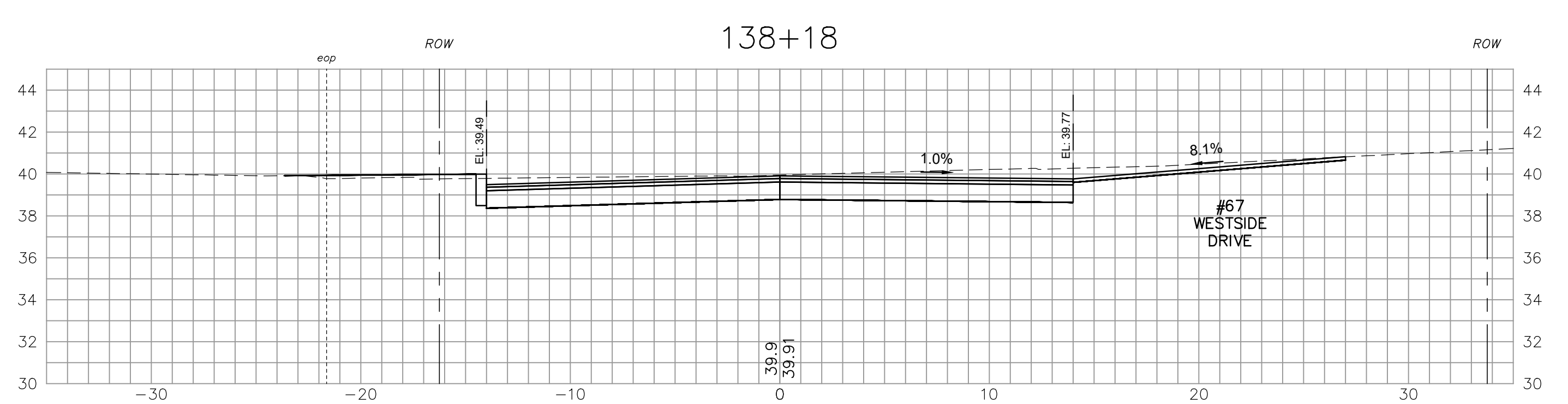
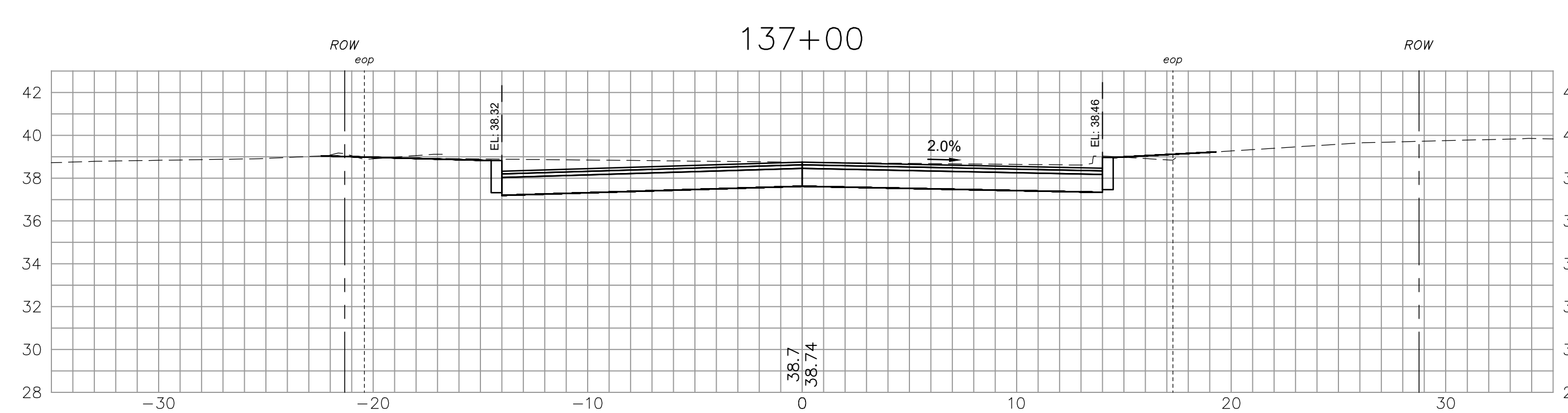
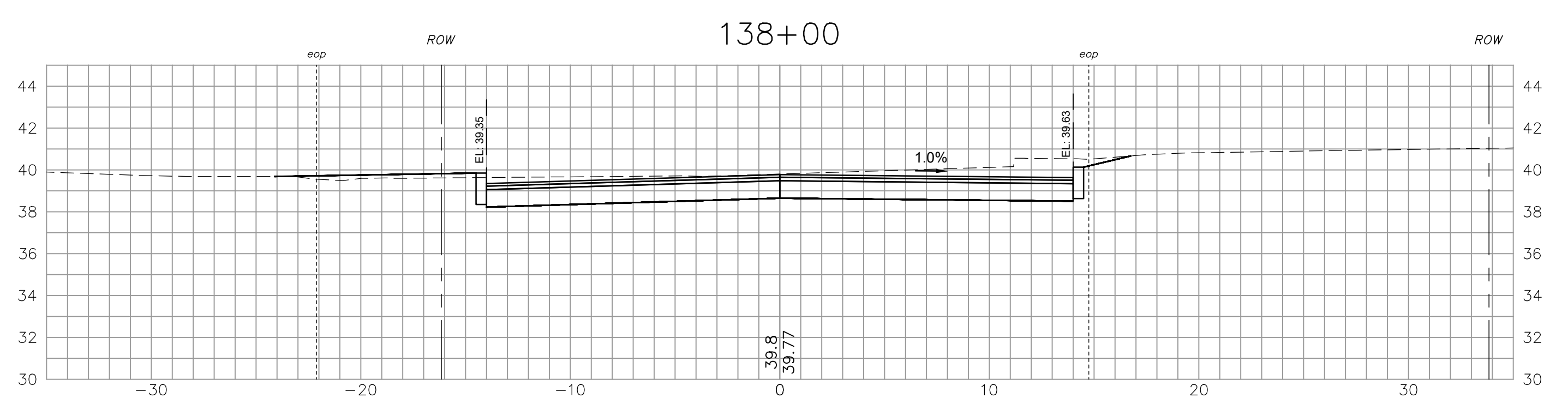
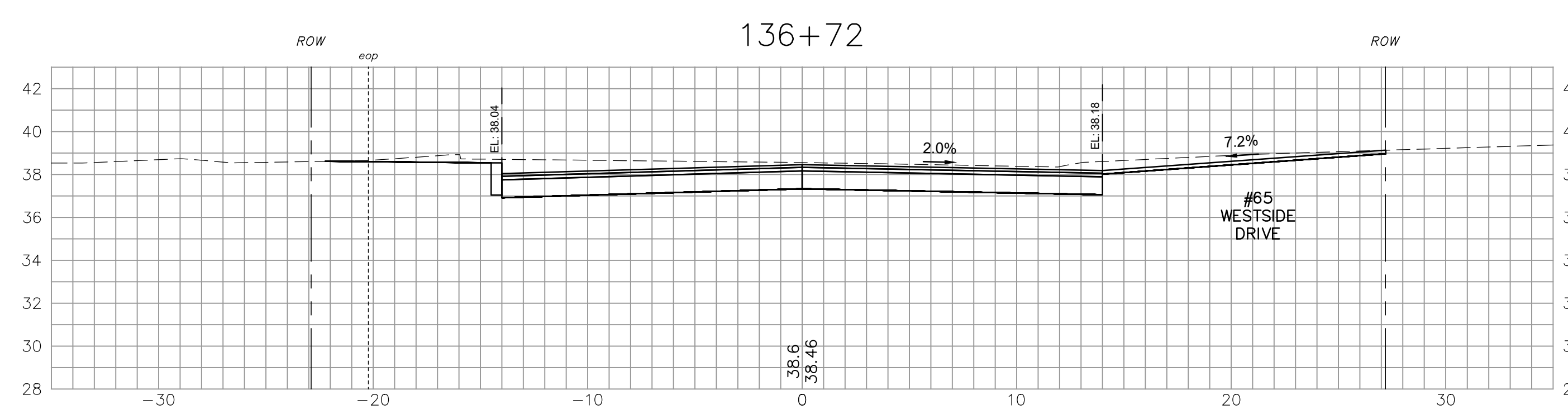
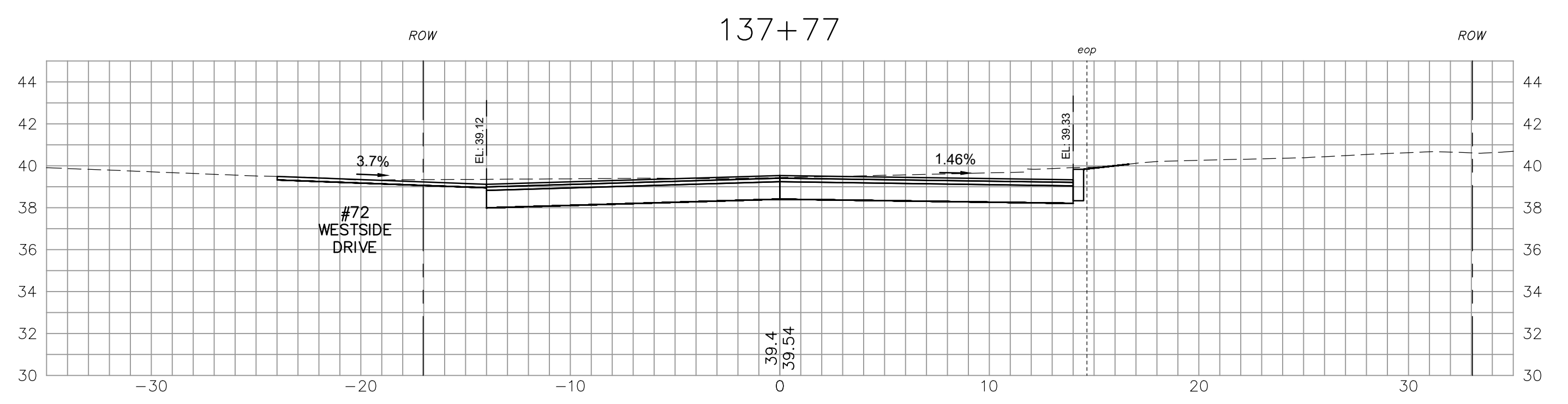
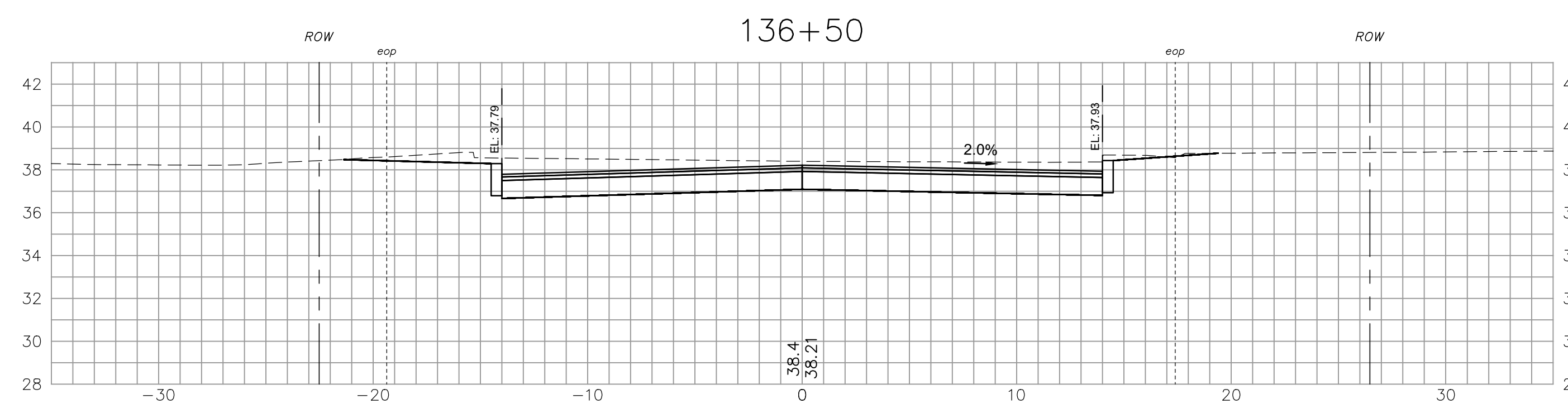
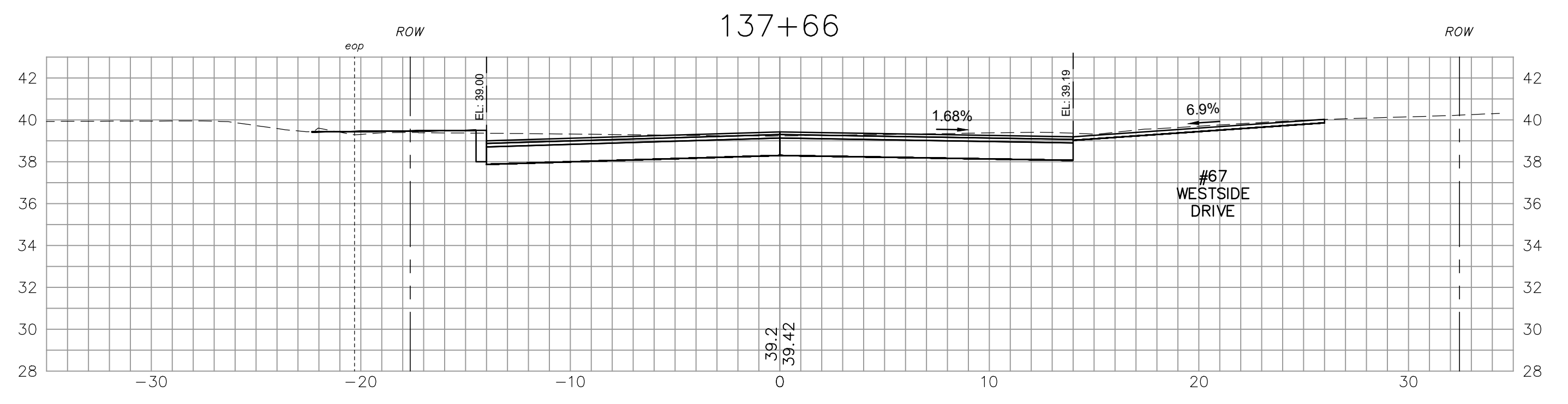
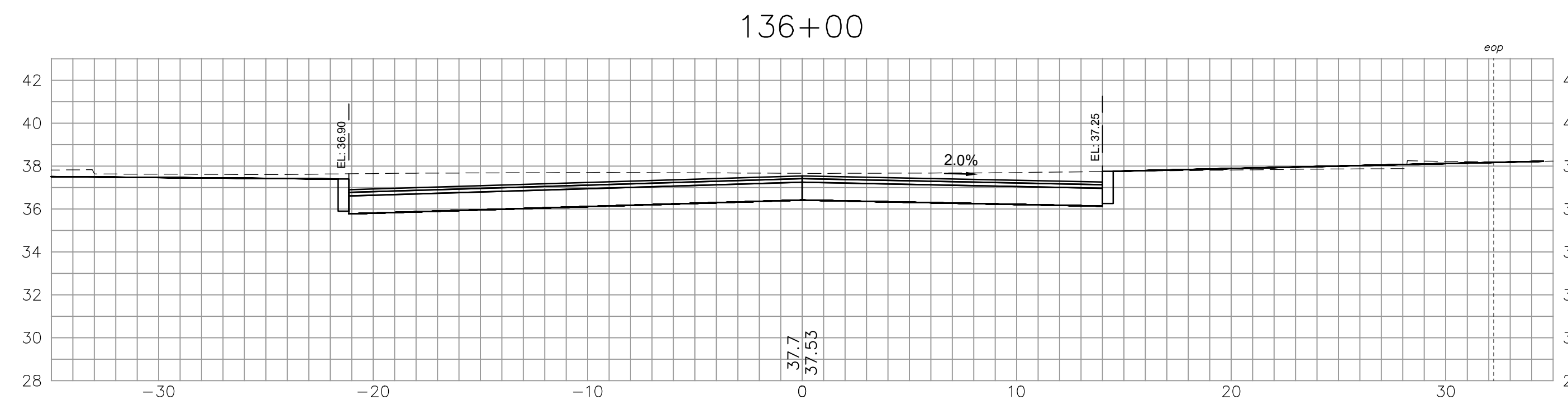


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APPROVAL	By _____																		
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REVISIONS	APPD																		
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 <p>Underwood Engineers 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733</p>																			
<p>CROSS SECTIONS WESTSIDE DR/LAPERLE AVE WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS TOWN OF EXETER EXETER, NH</p>																			
DWG NO XW9	SHEET 48 OF 64																		

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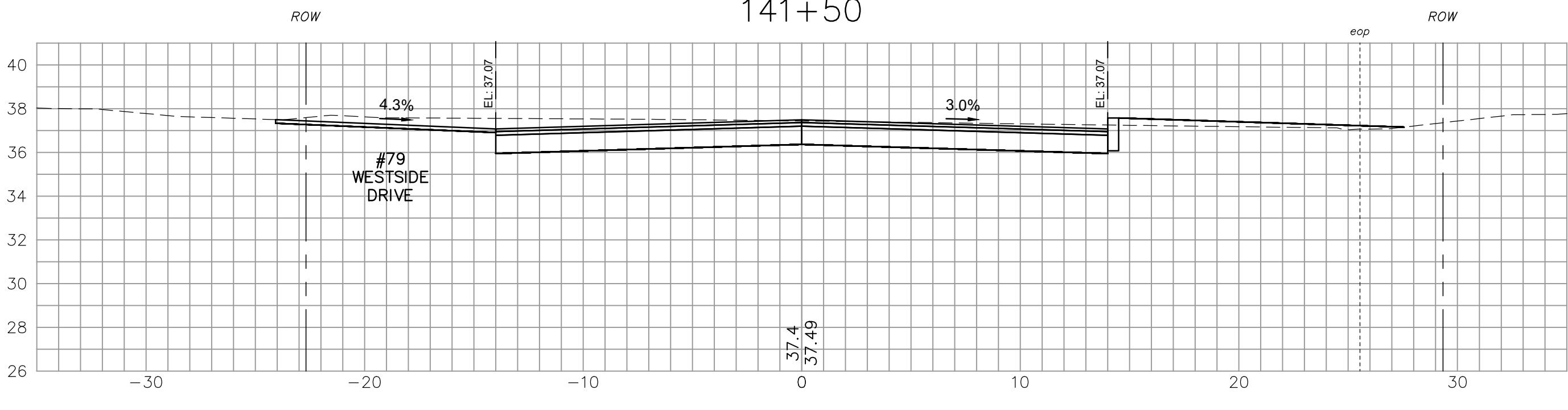
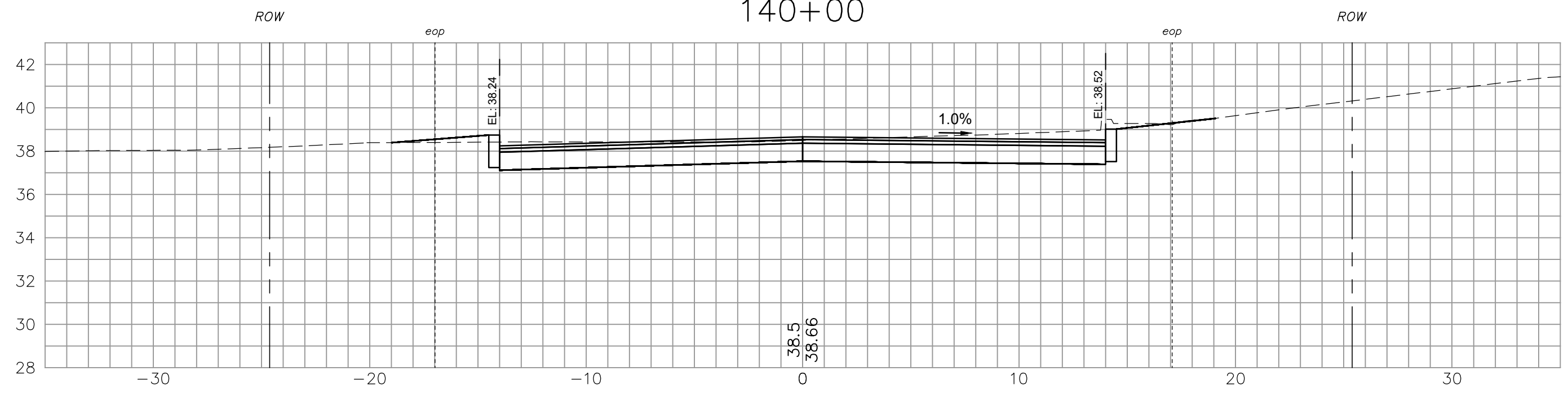
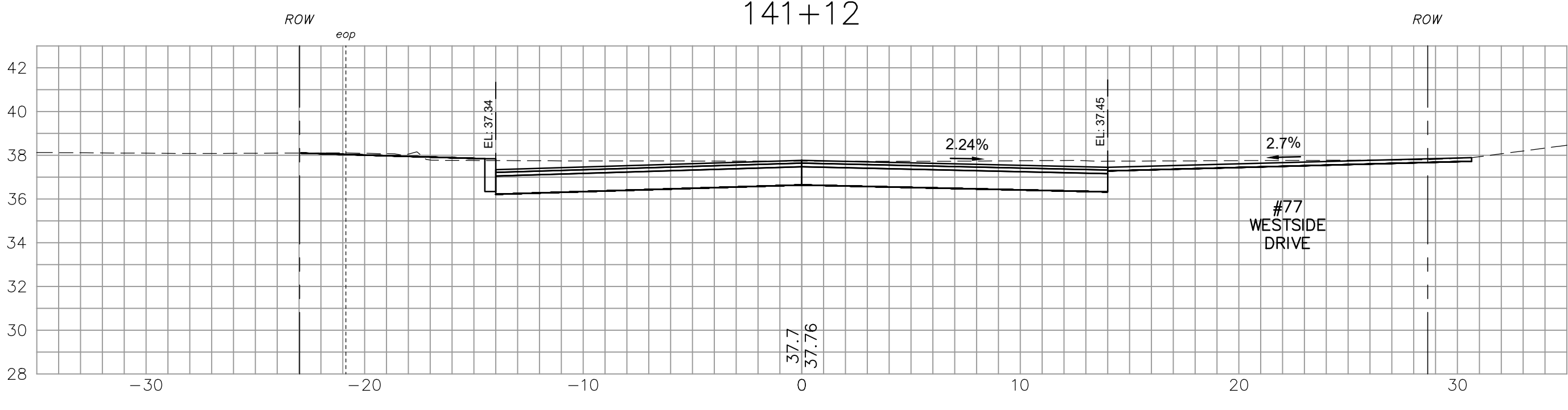
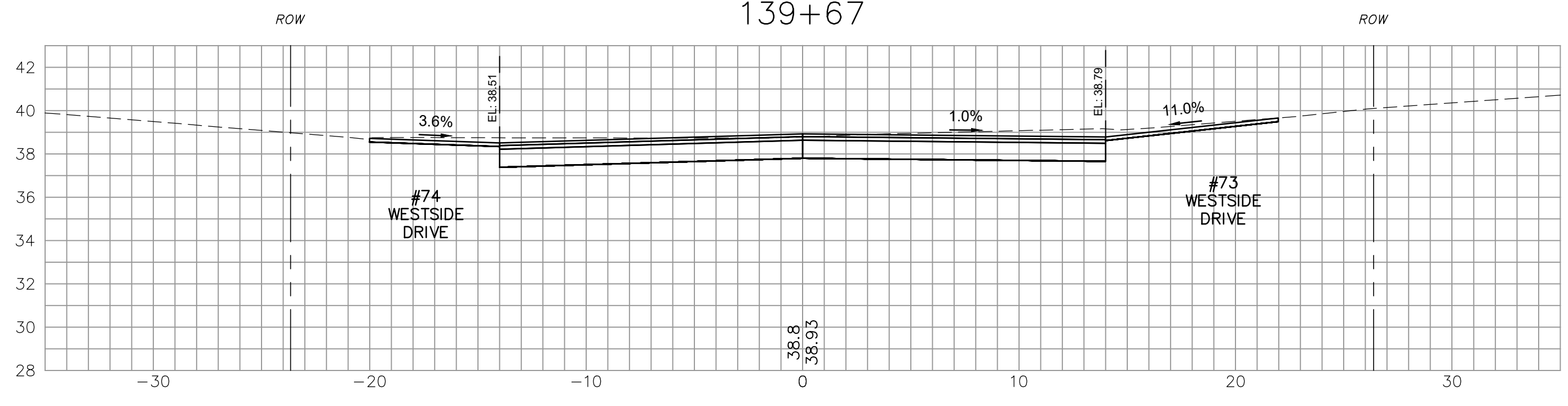
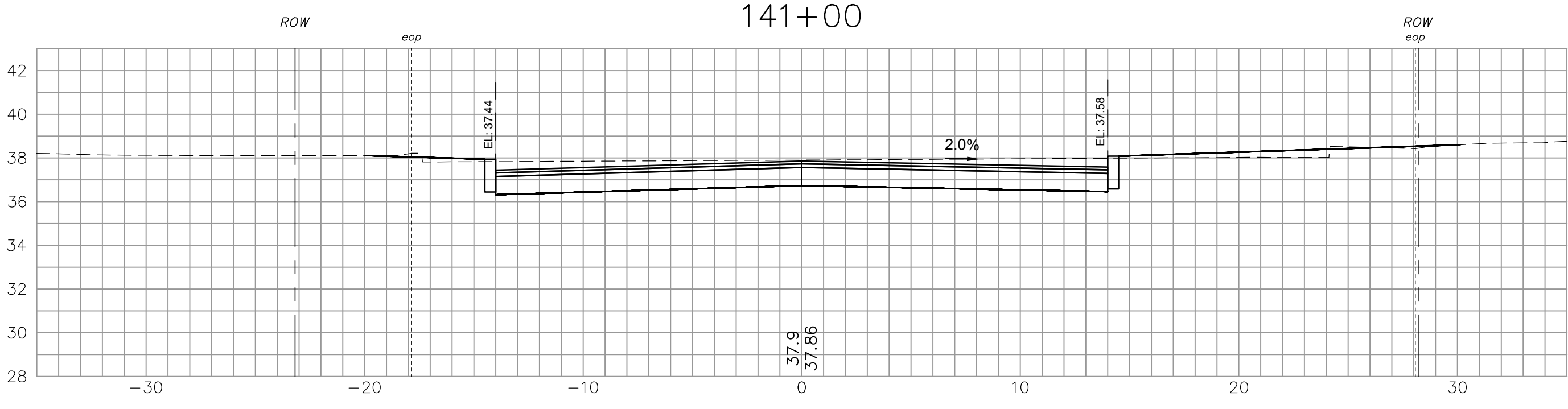
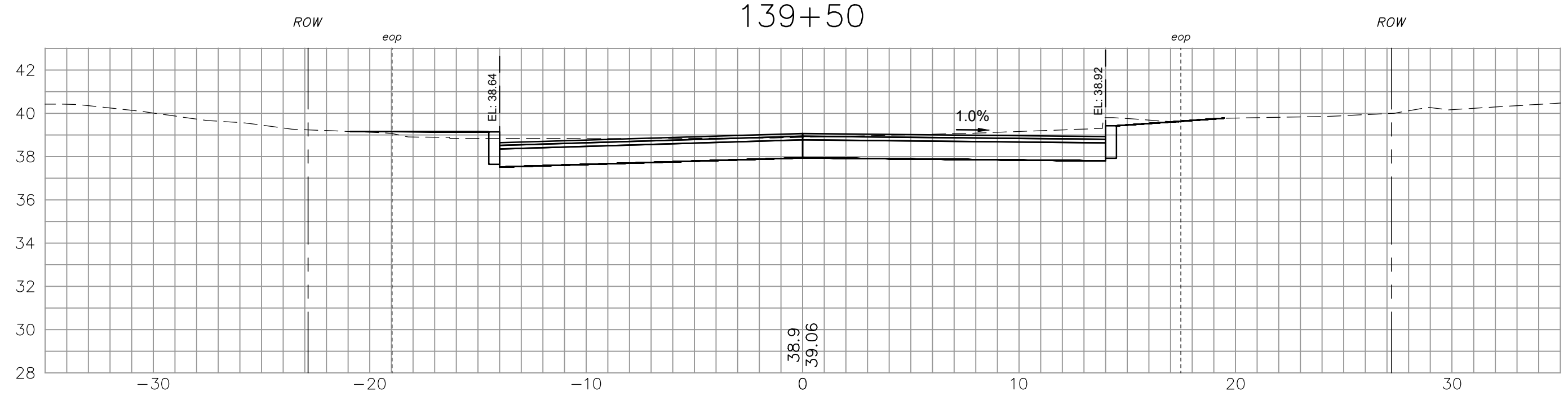
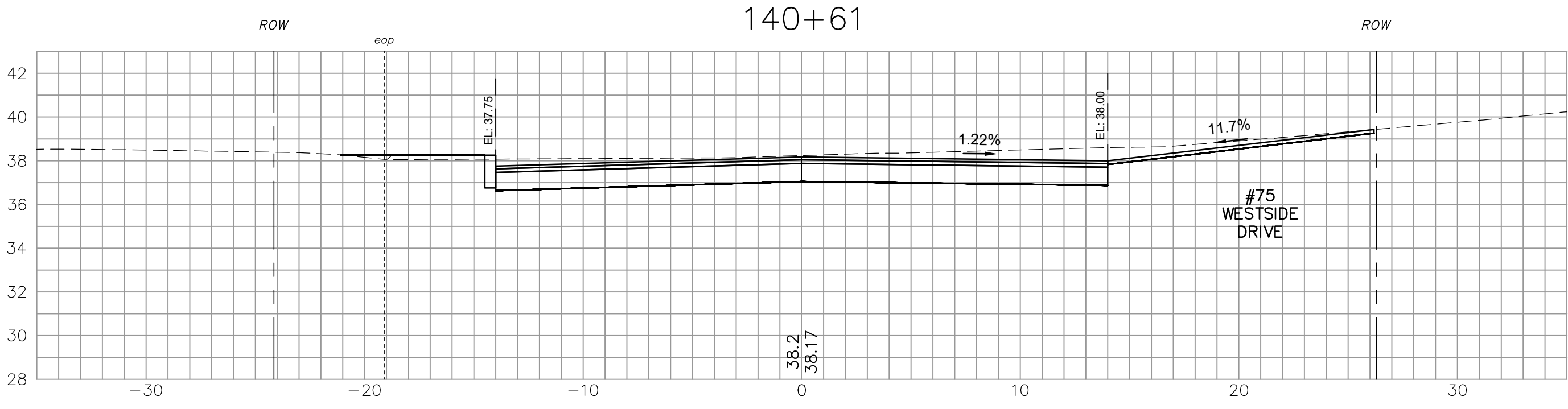
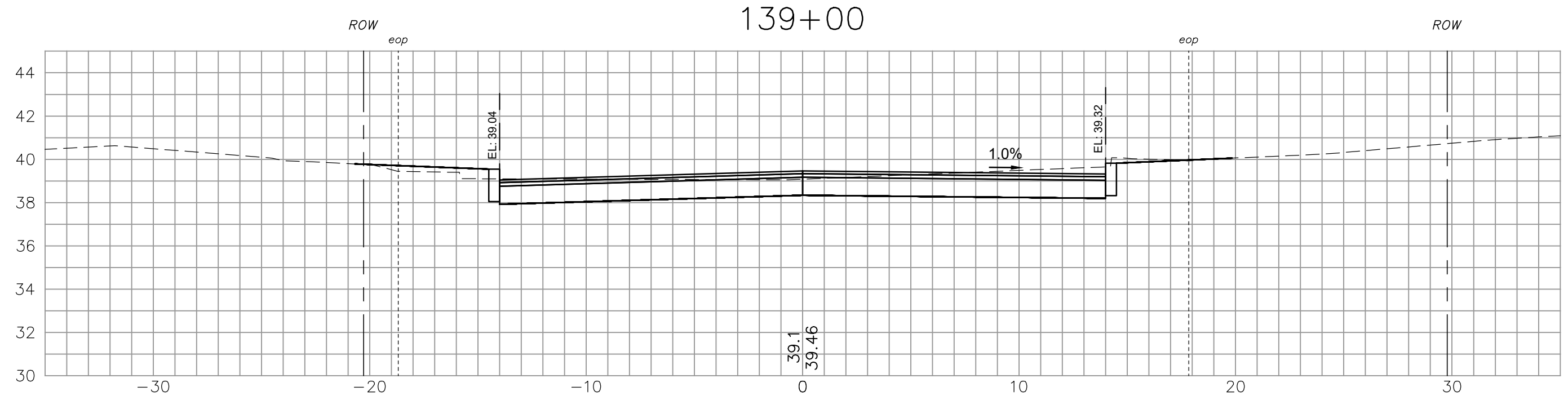
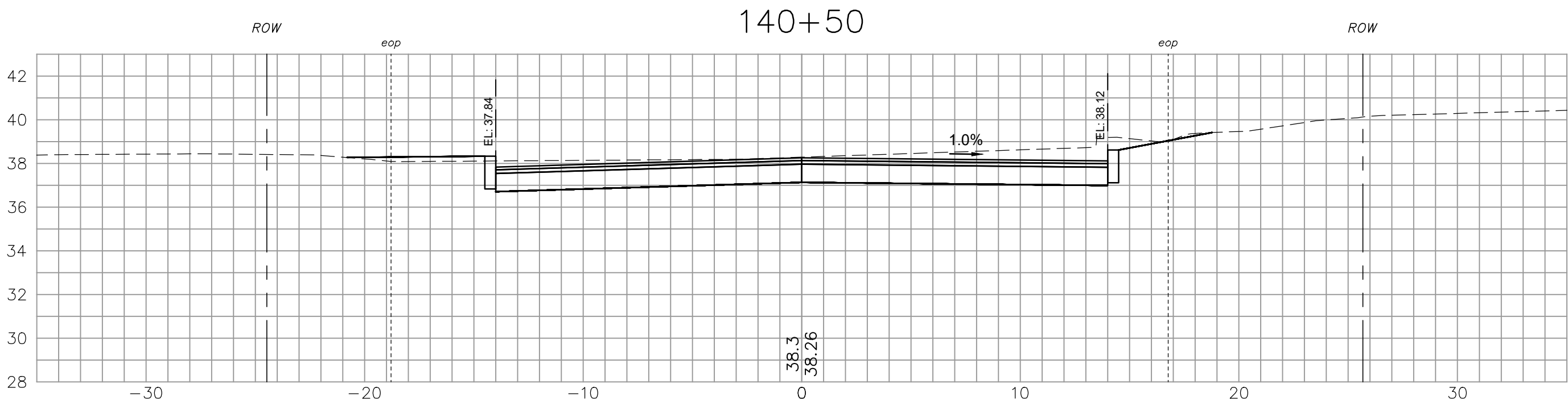
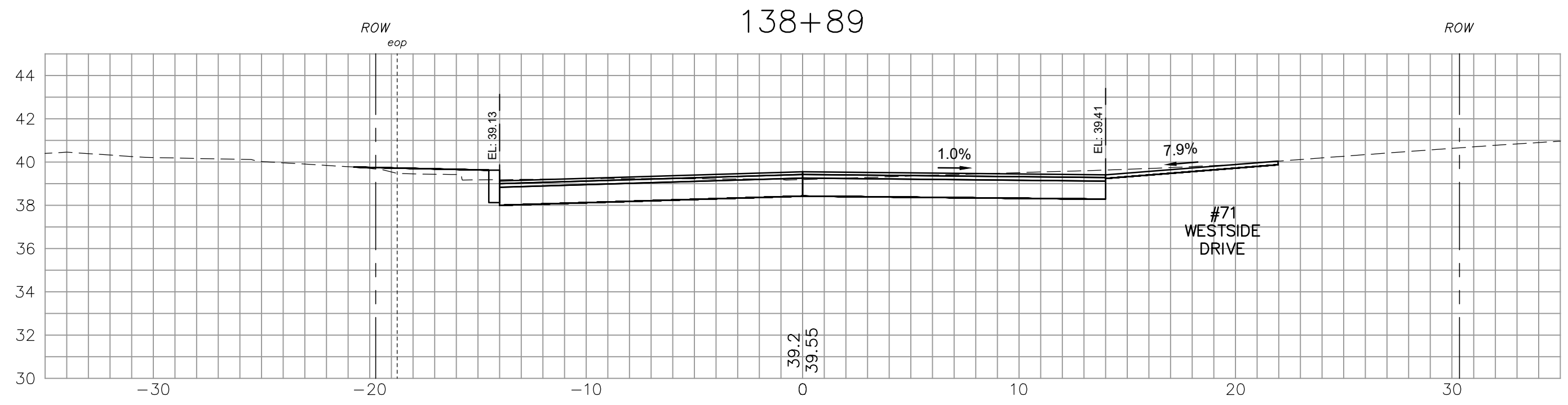
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Designed DUR
Checked RUS
Approved
Date 11/27/2024
Book No. 2873
Project No. 2873
Dwg. ID 2873-CS-West-...
Scale AS SHOWN

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CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH



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Date	By	Date	By
CONSTRUCTION		RECORD DRAWING	
Date	By	Date	By

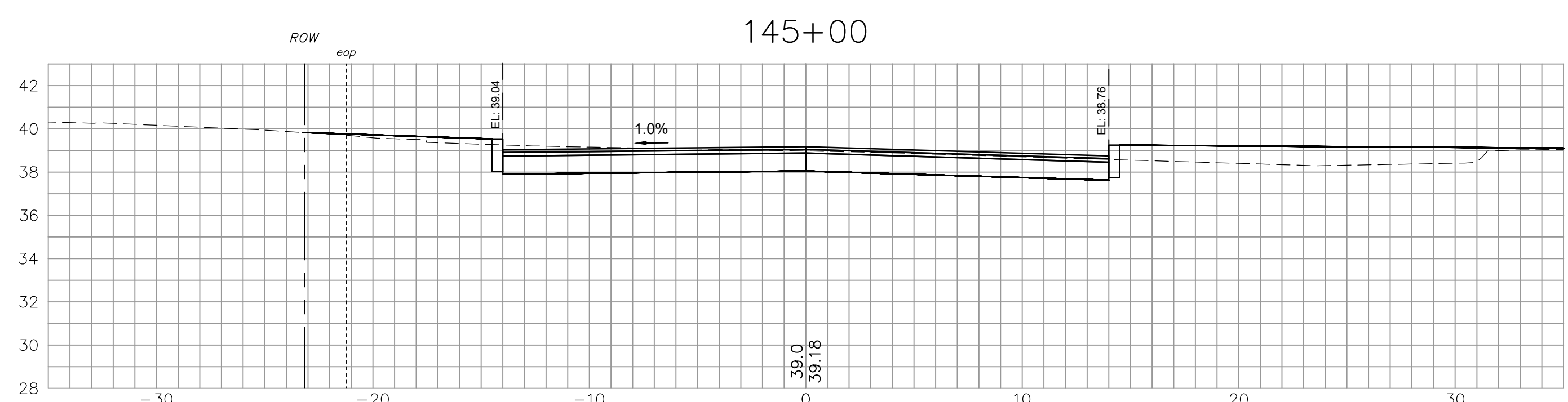
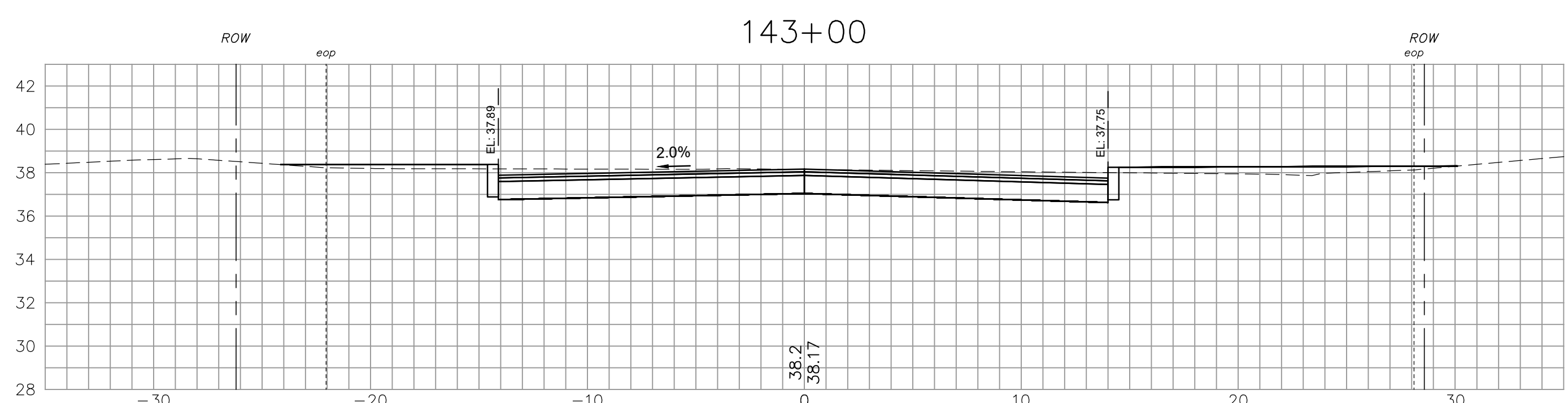
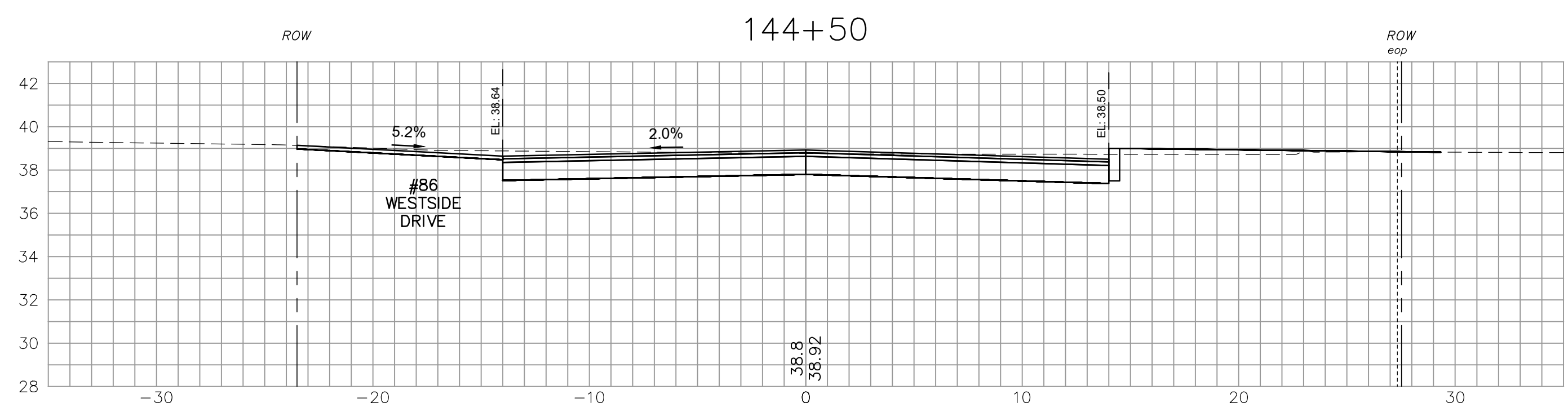
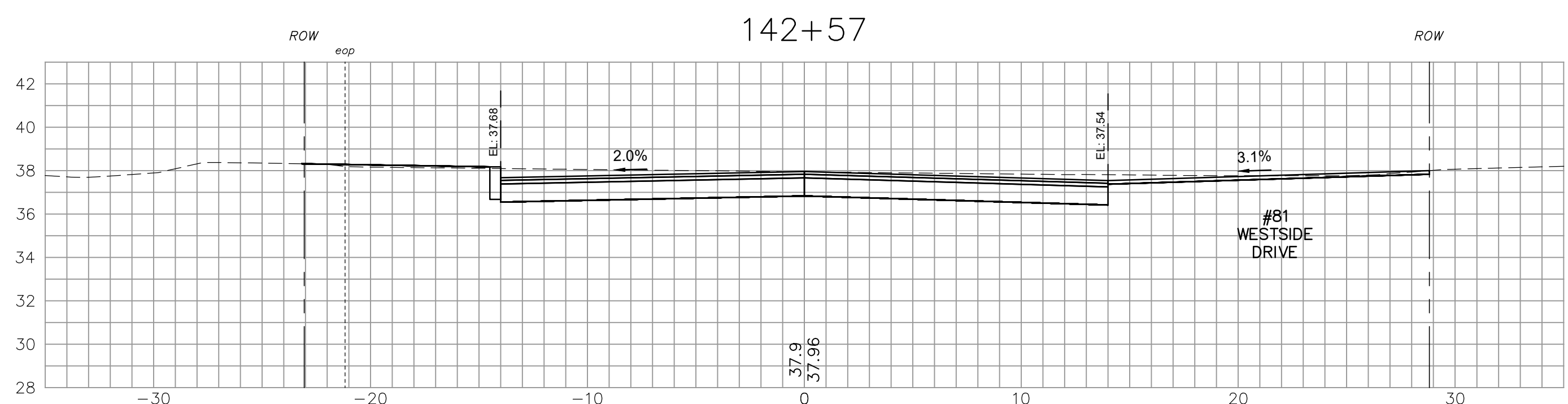
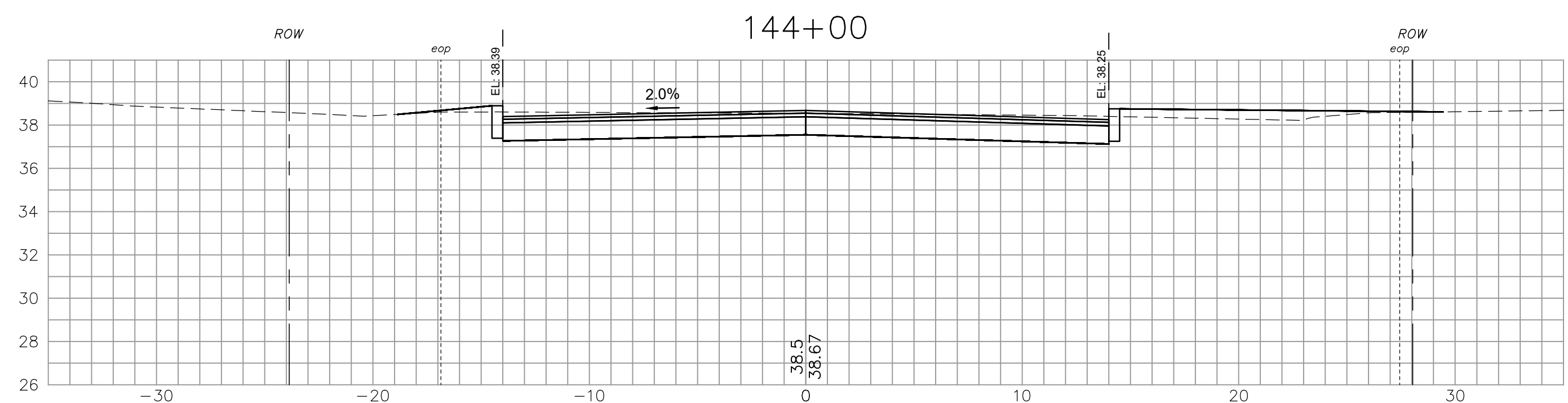
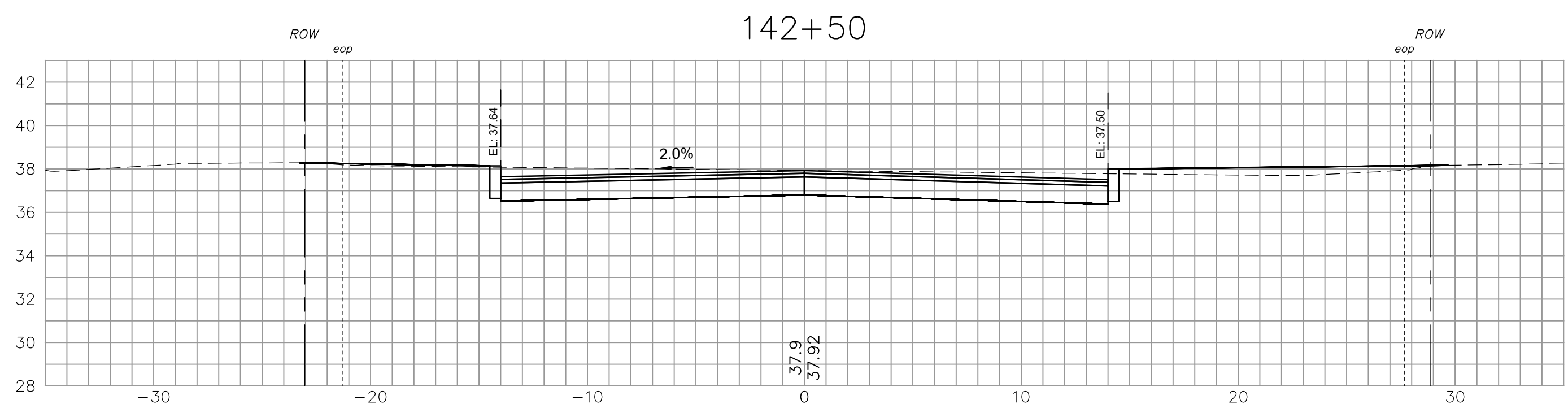
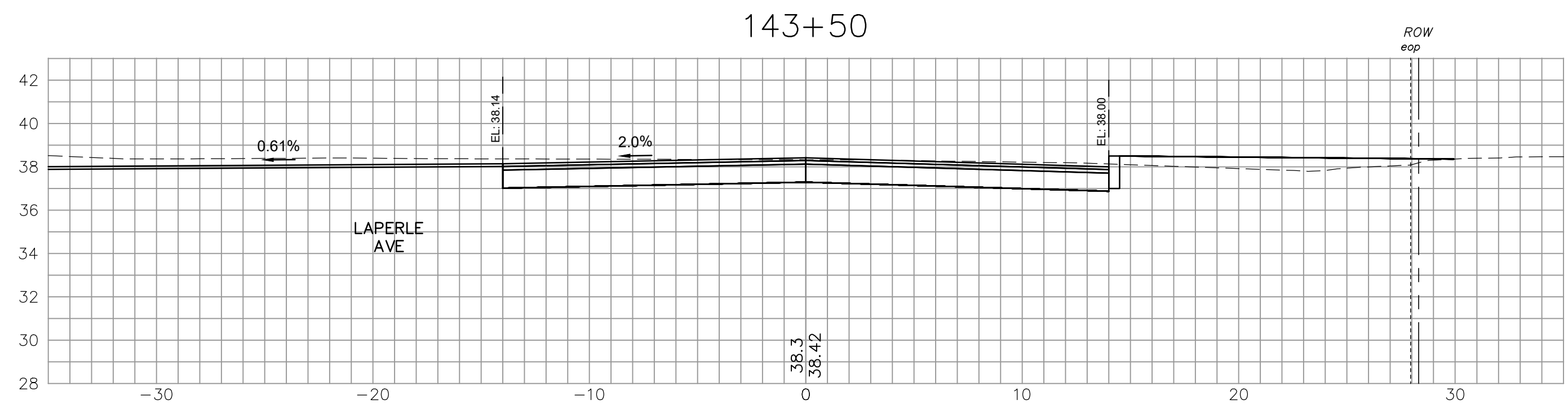
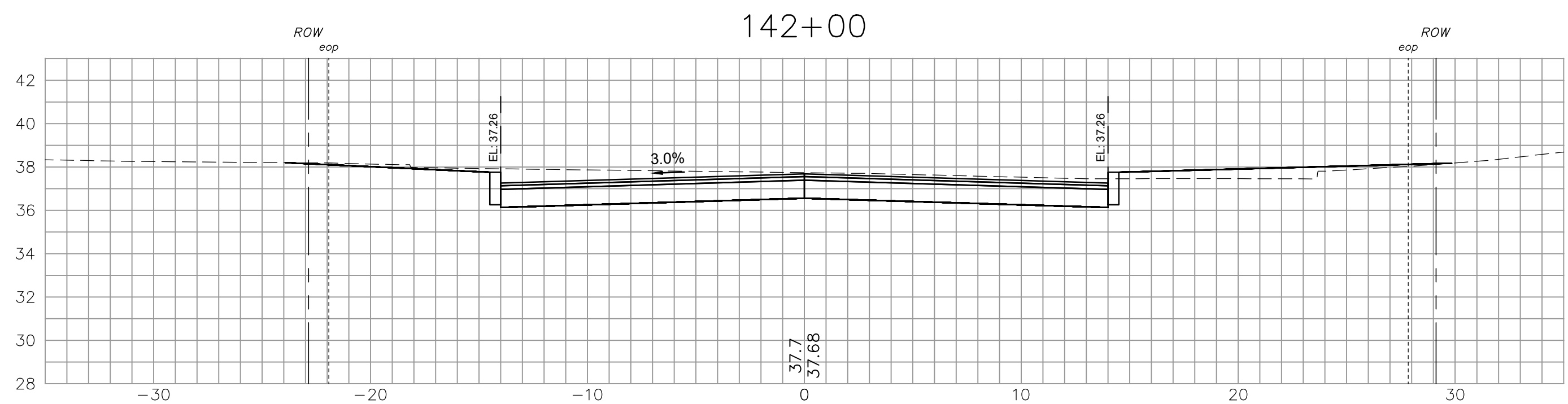
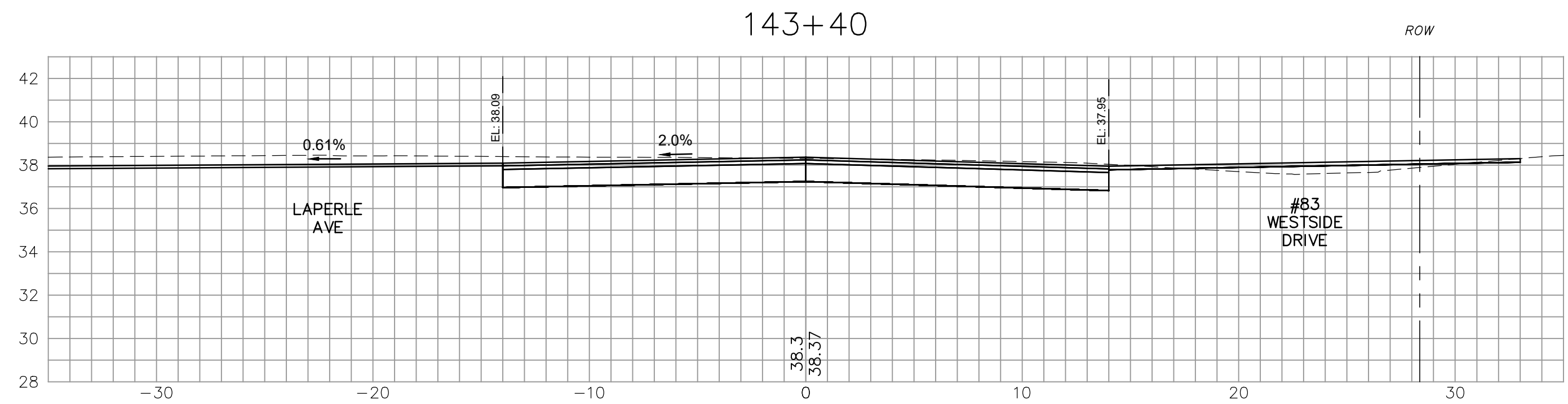
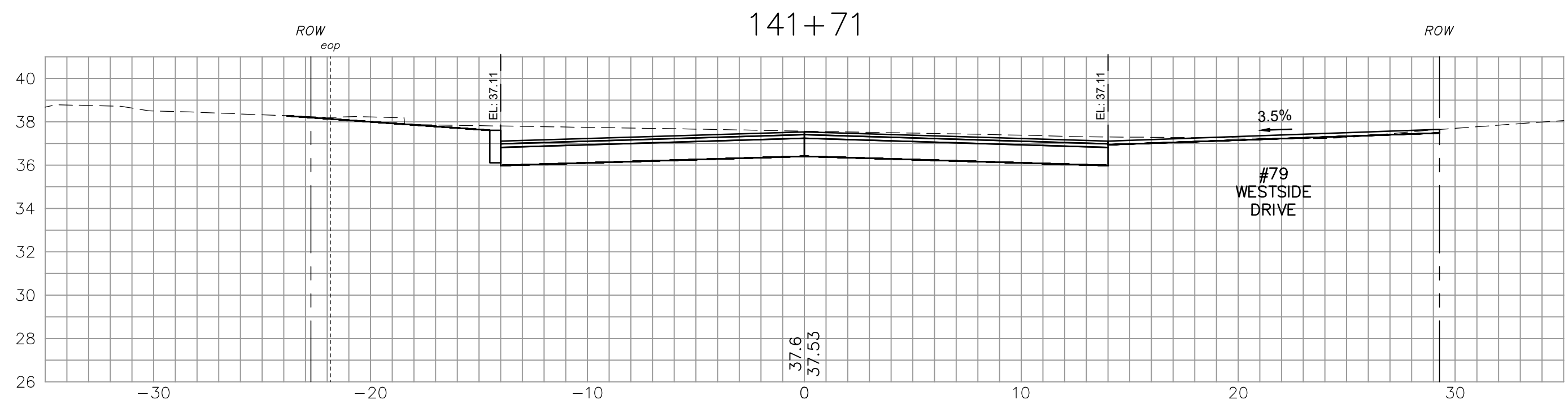
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CROSS SECTIONS – WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

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Drawn/Chk	RMG	DUR	RUS	Approved	Date	Book No.	Project No.	Dwg. ID	Scale
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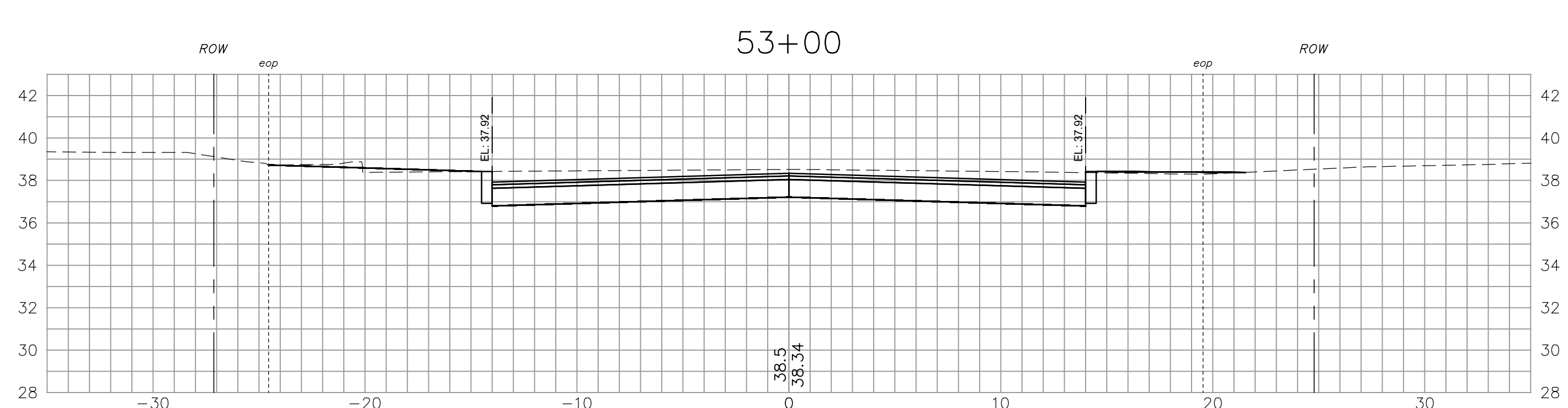
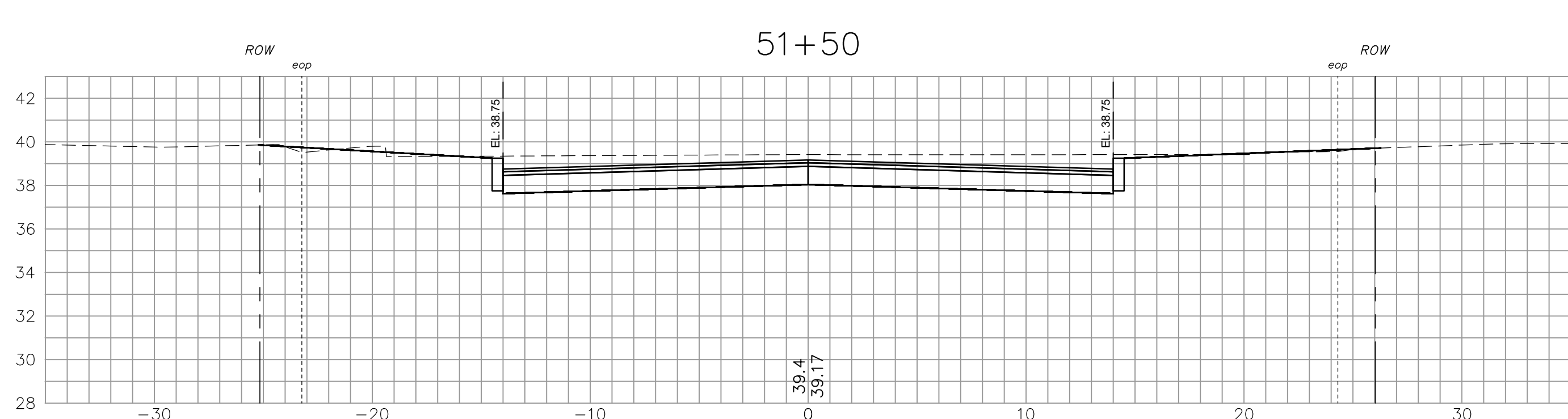
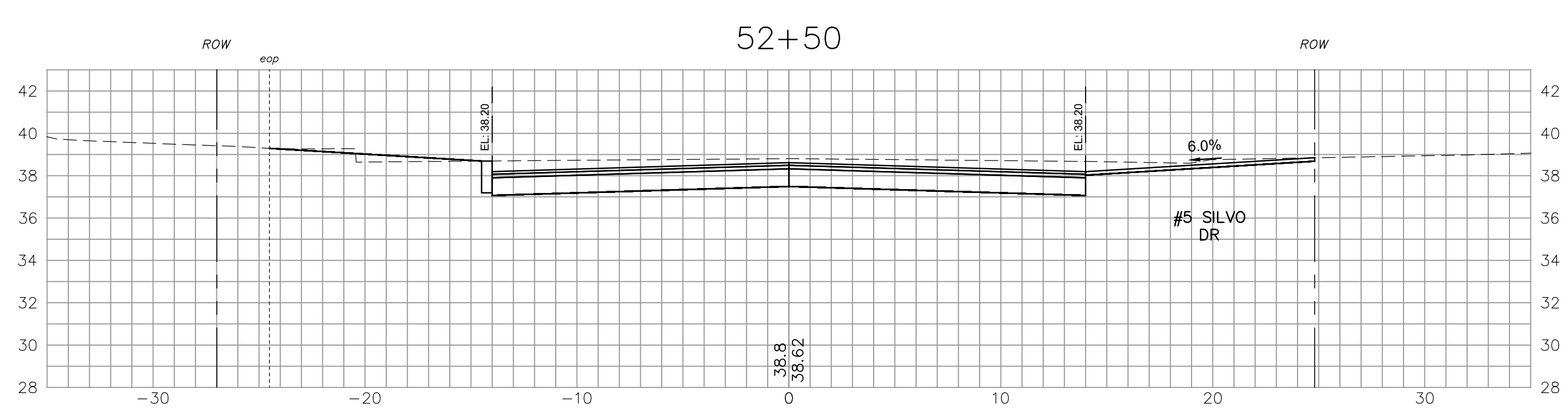
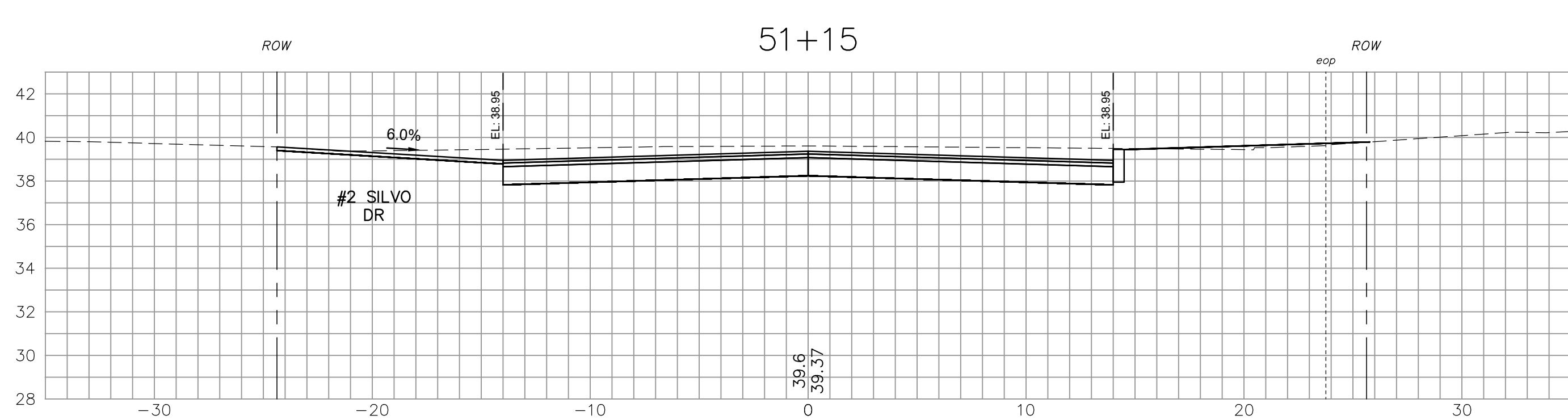
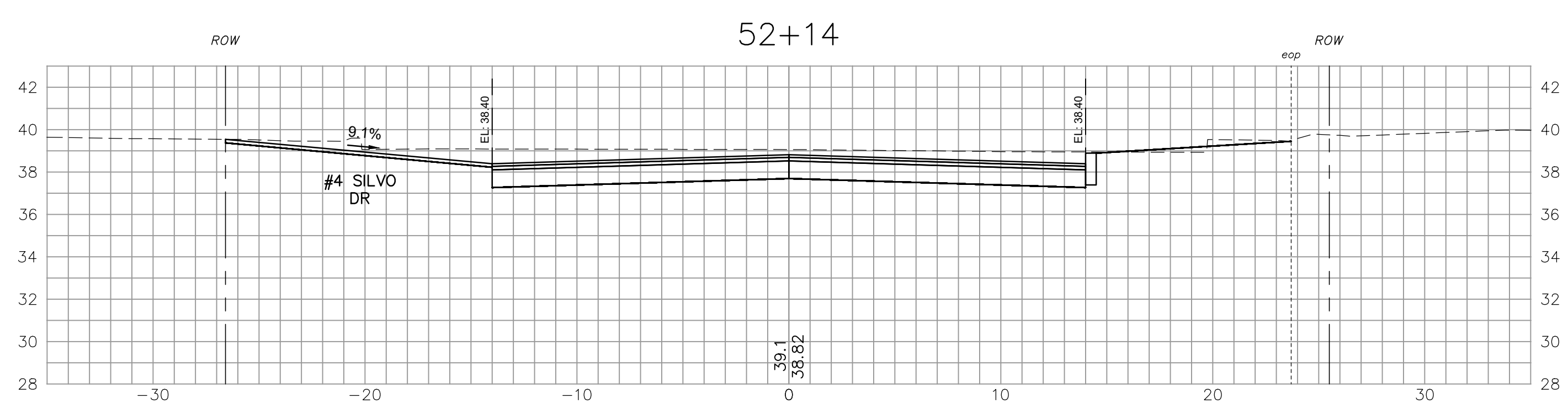
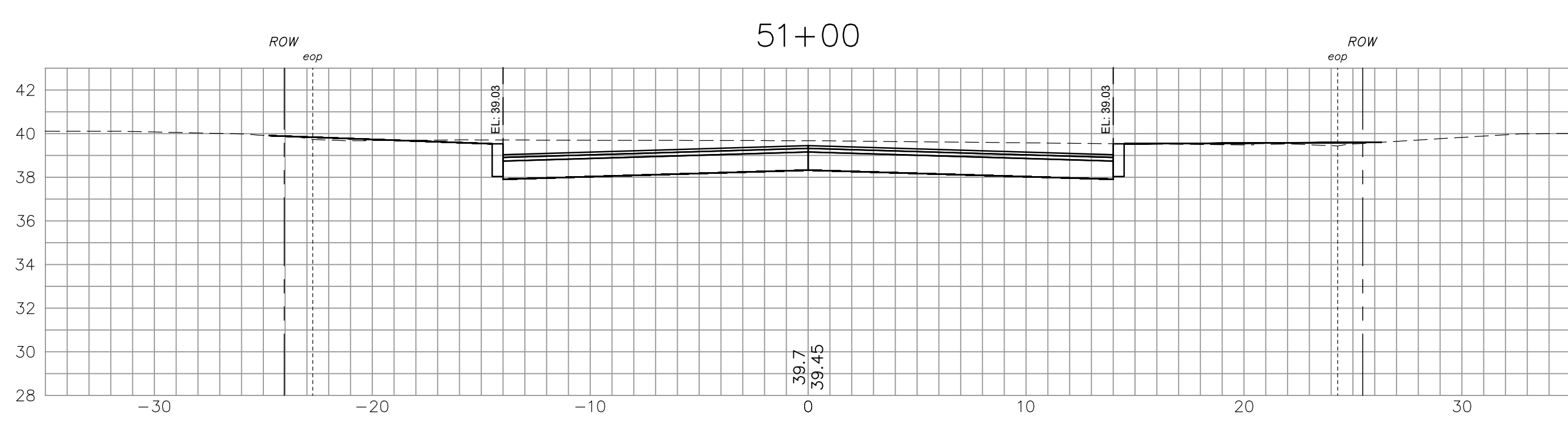
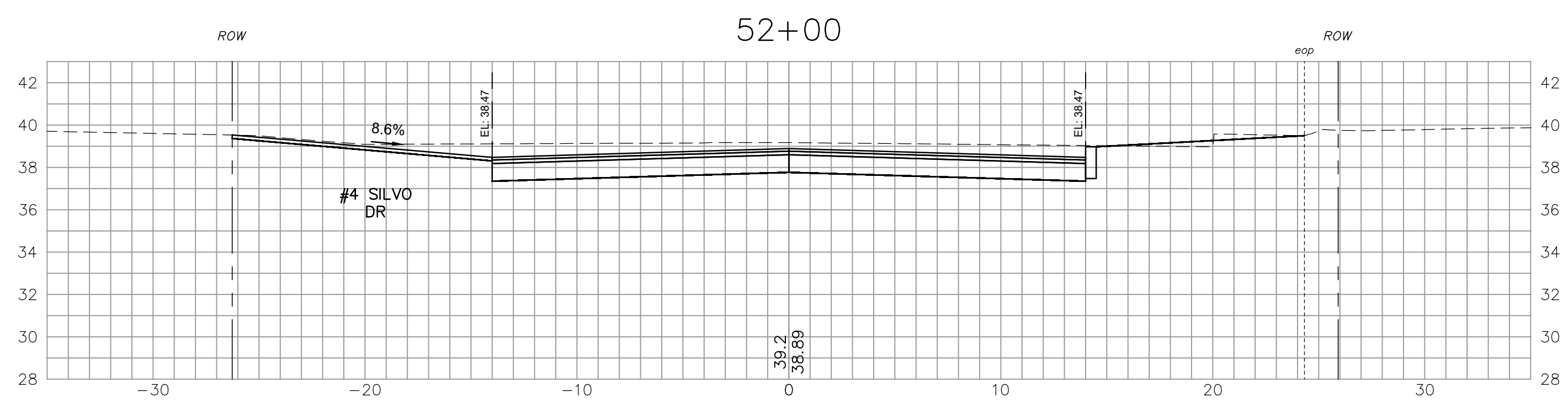
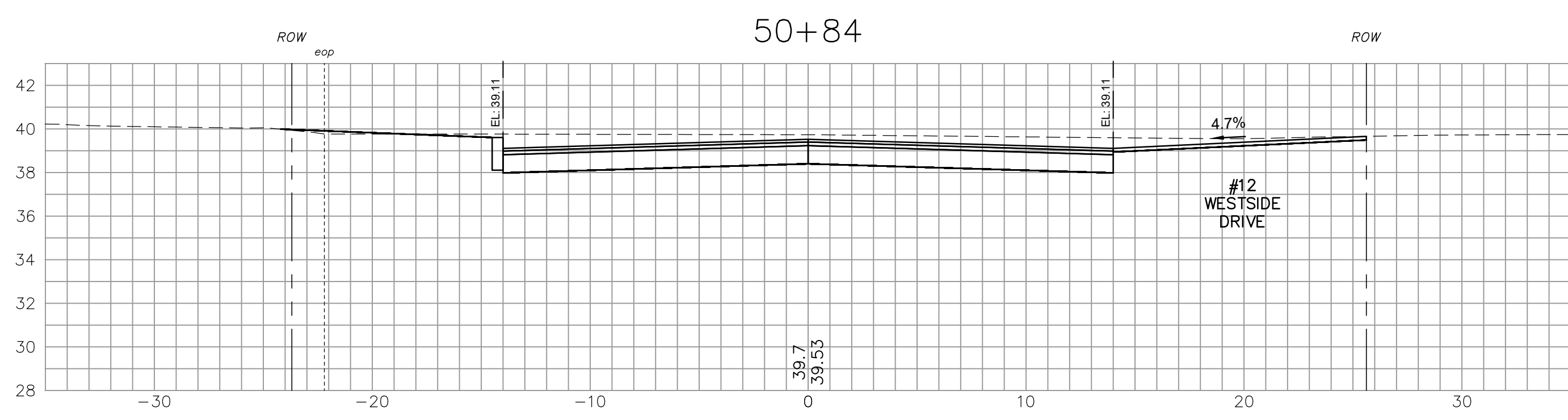
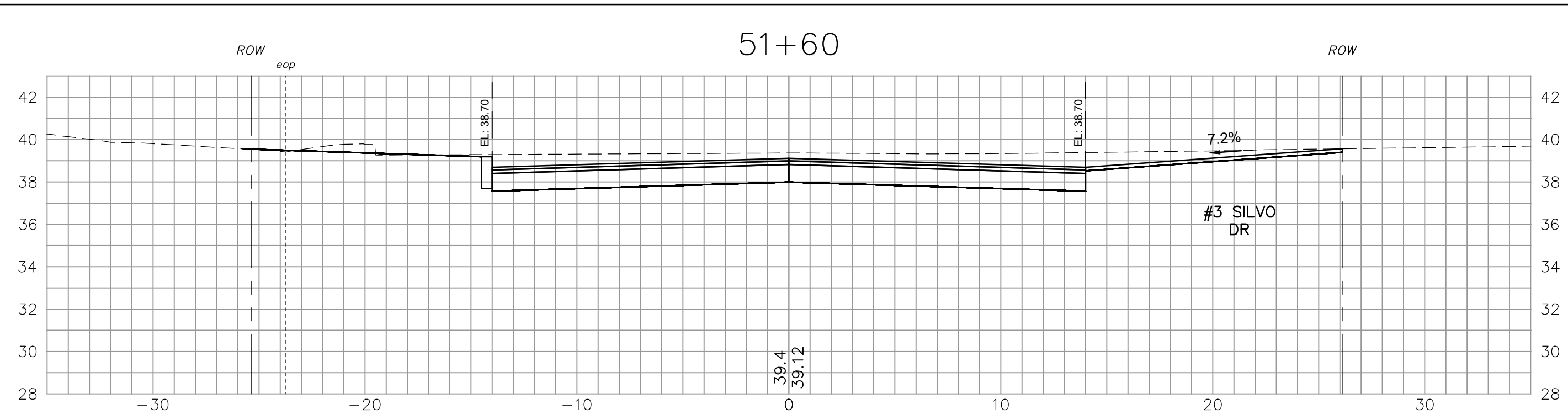
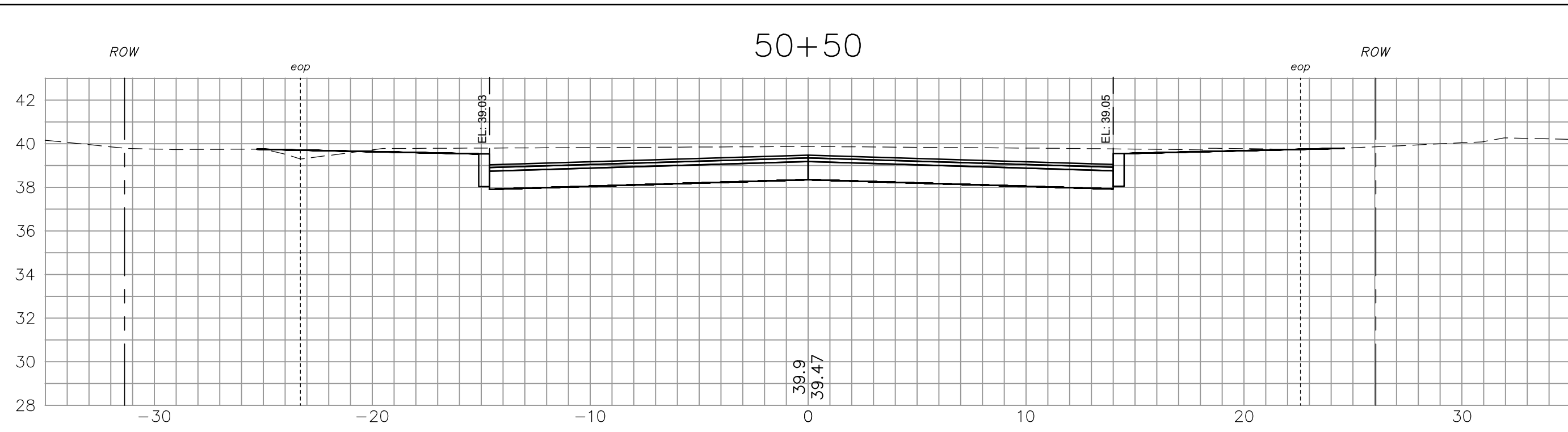
CROSS SECTIONS - WESTSIDE DR.
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

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DWG NO XW12	SHEET 51 OF 64
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ISSUE FOR APPROVAL	By	Date
CONSTRUCTION	By	Date
RECORD DRAWING	By	Date

DESIGNED	CHK	RMG
CHECKED	DUR	
APPROVED	RUS	
DATE	11/27/2024	
BOOK NO.	2873	
PROJECT NO.	2873-65-Silvo	
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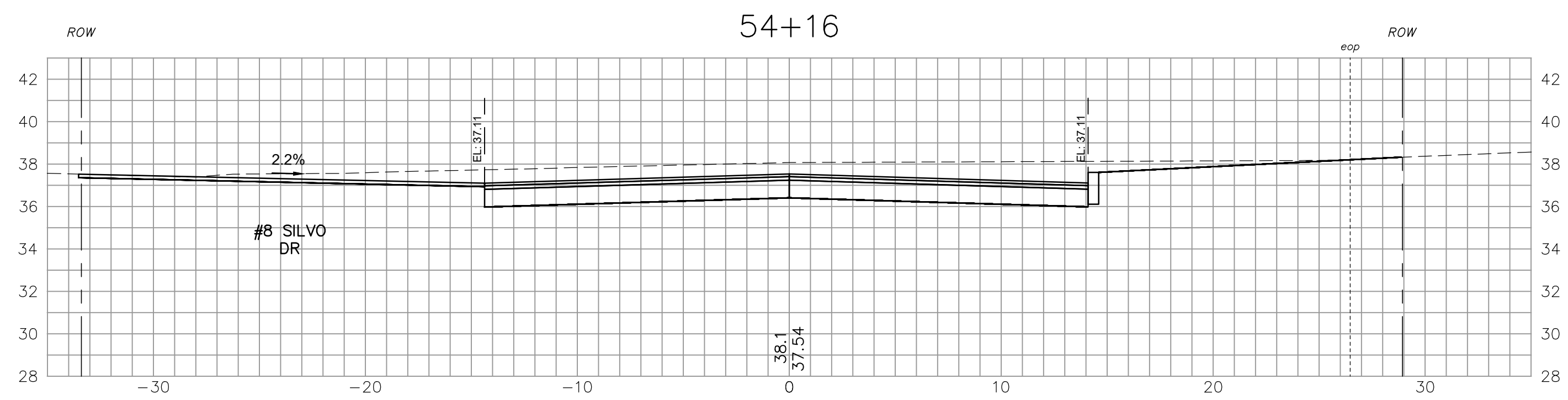
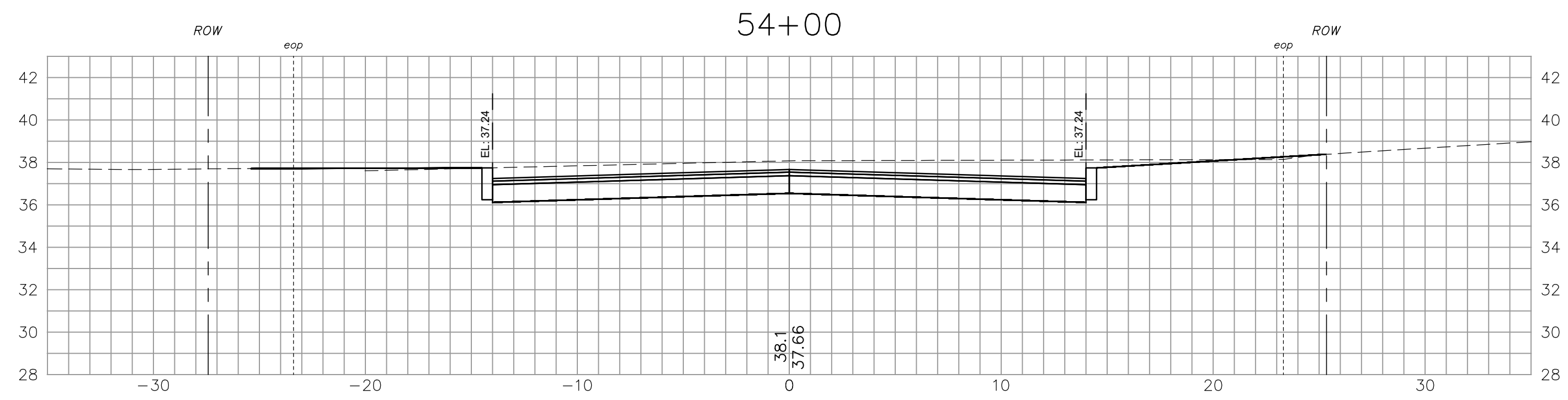
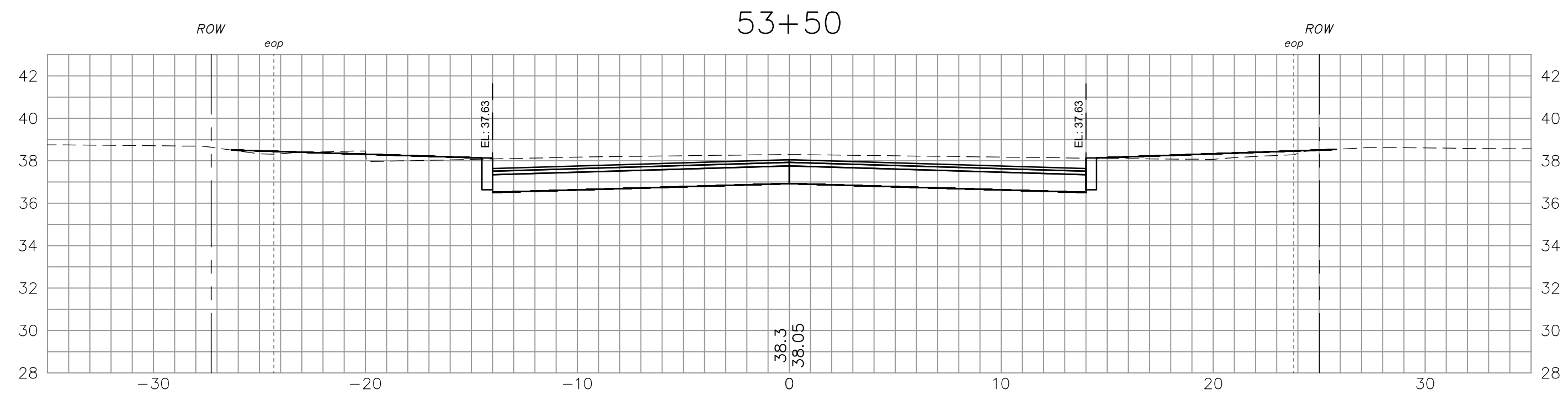
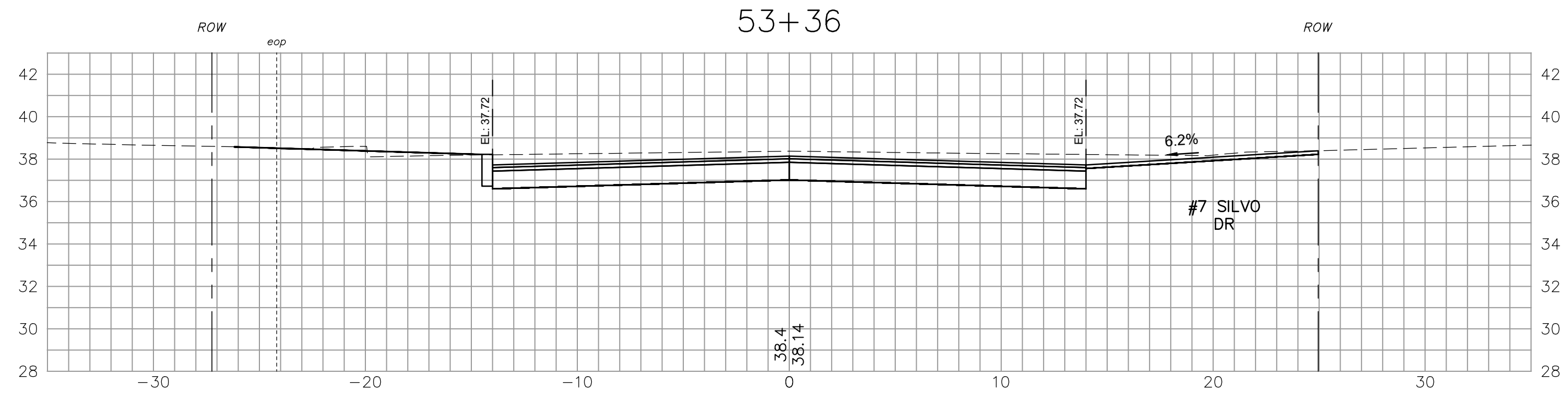
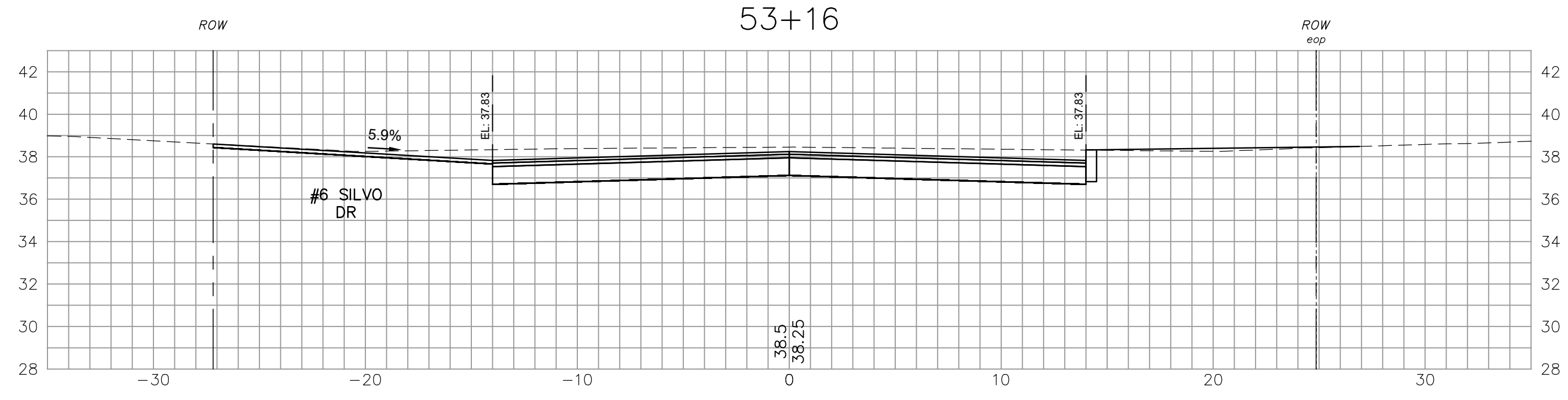
25 Vaughan Mall, Portsmouth, N.H. 03801
 Tel. 603-436-6192 Fax. 603-431-4733

CROSS SECTIONS - SILVIO DR.
 WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS
 TOWN OF EXETER
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DWG NO XSL1	SHEET 52 OF 64
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CONSTRUCTION		
RECORD DRAWING		

NO.	REVISIONS	APPD

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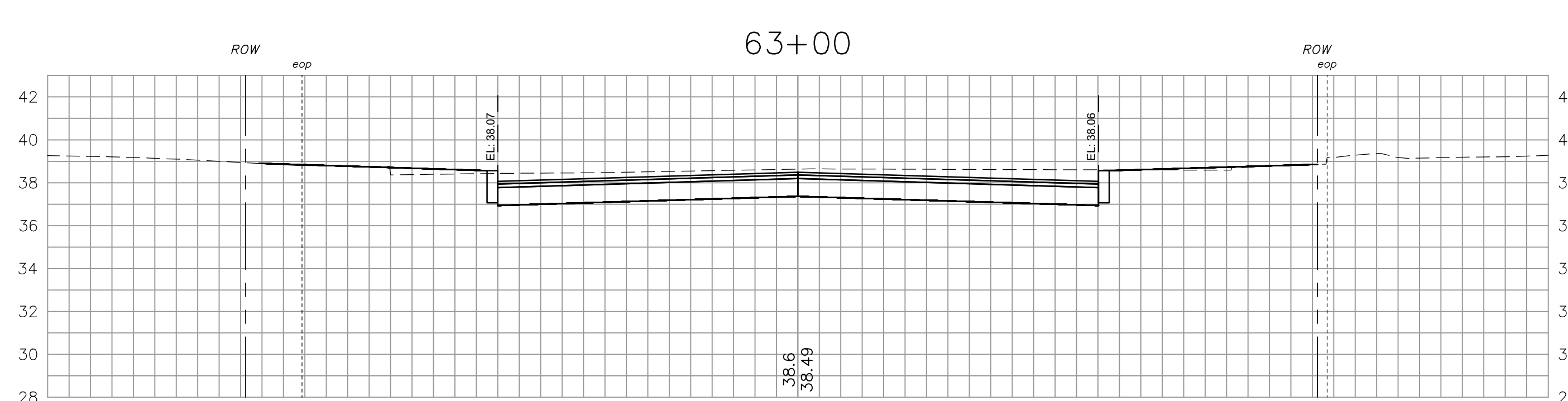
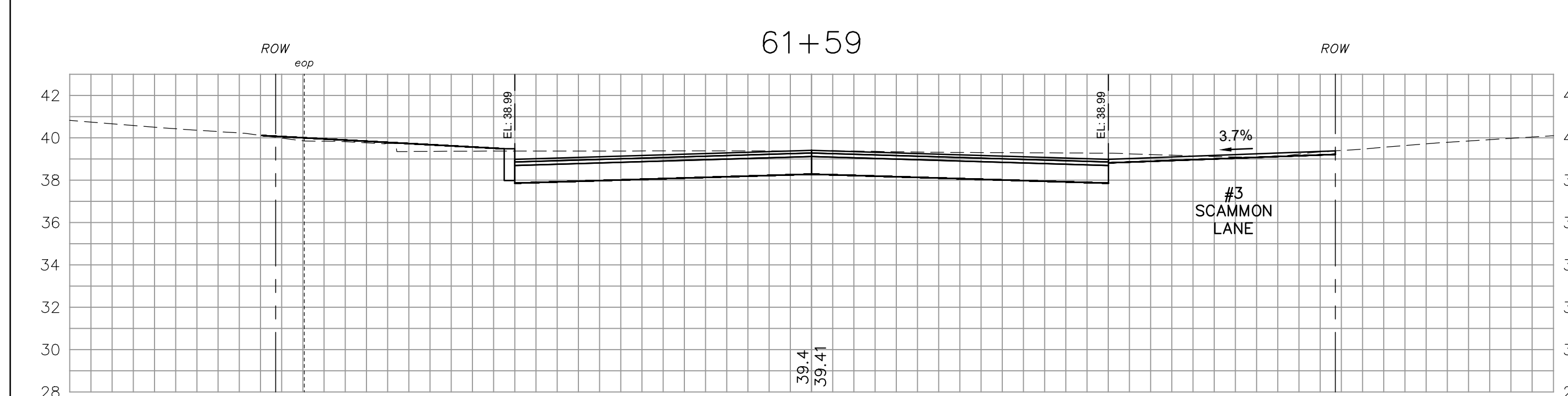
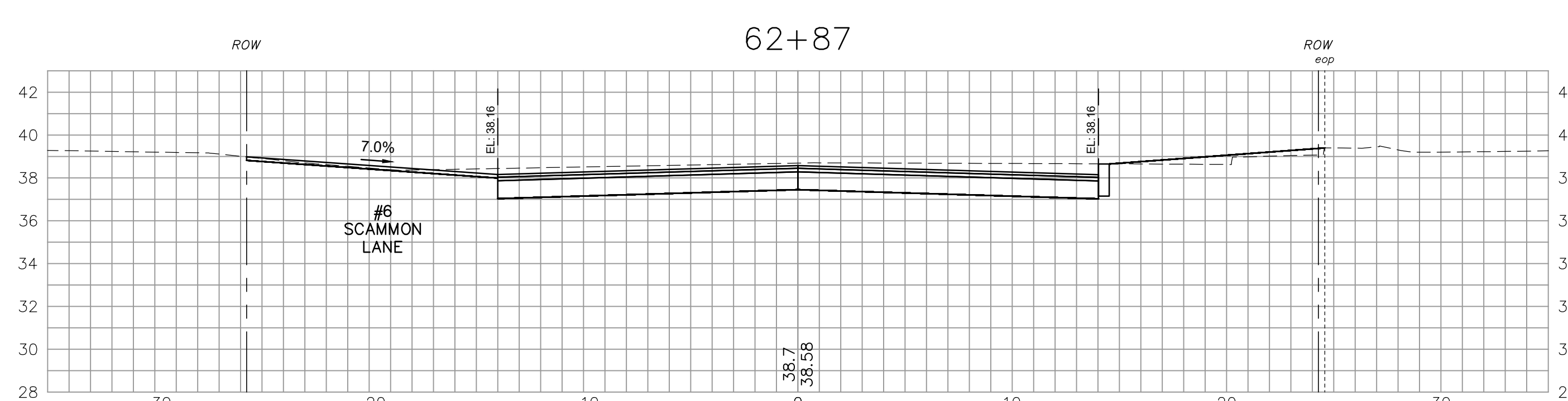
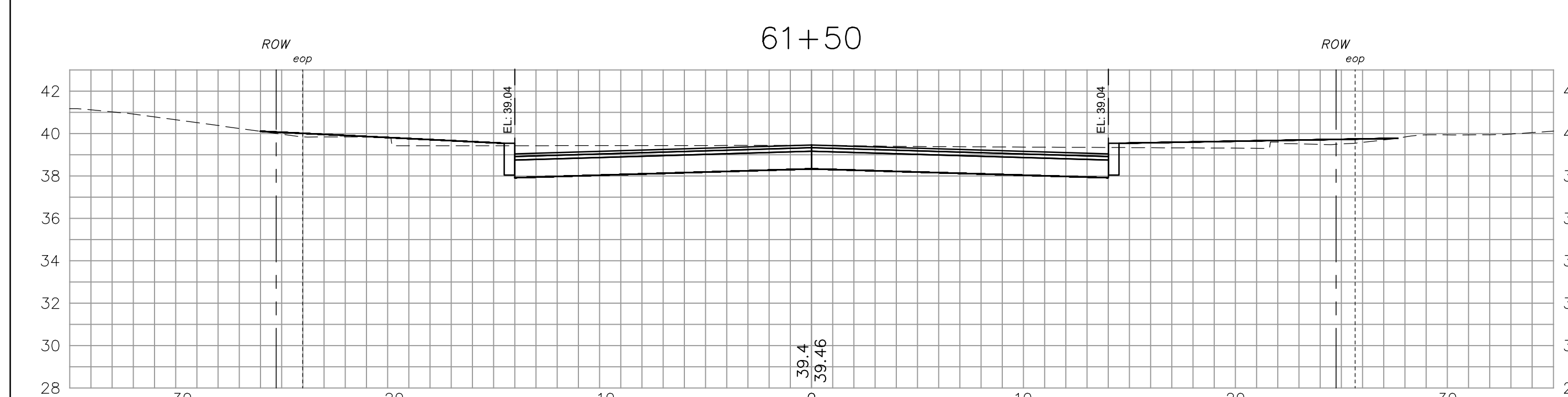
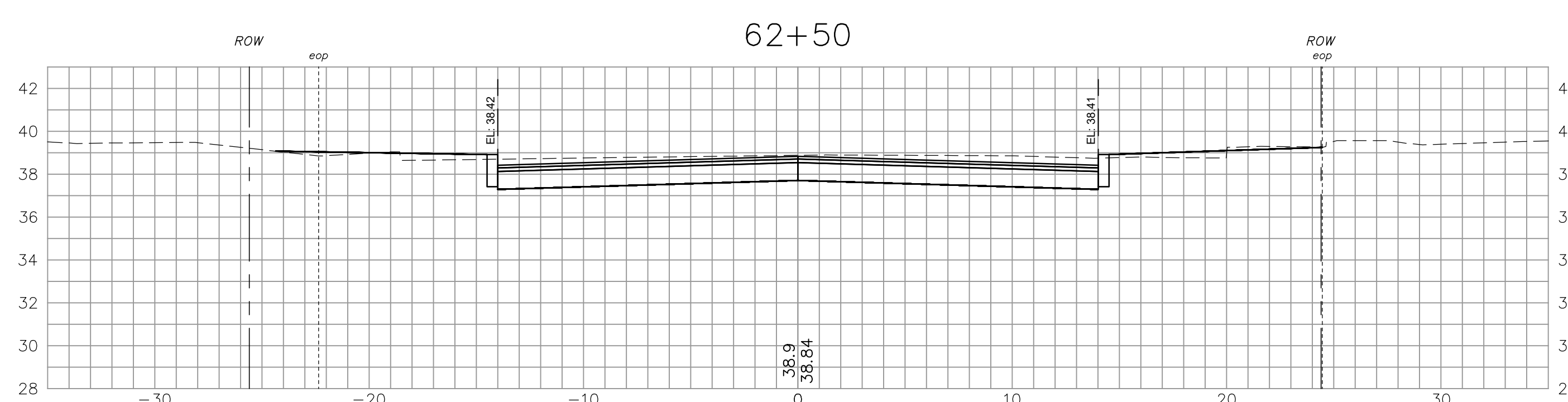
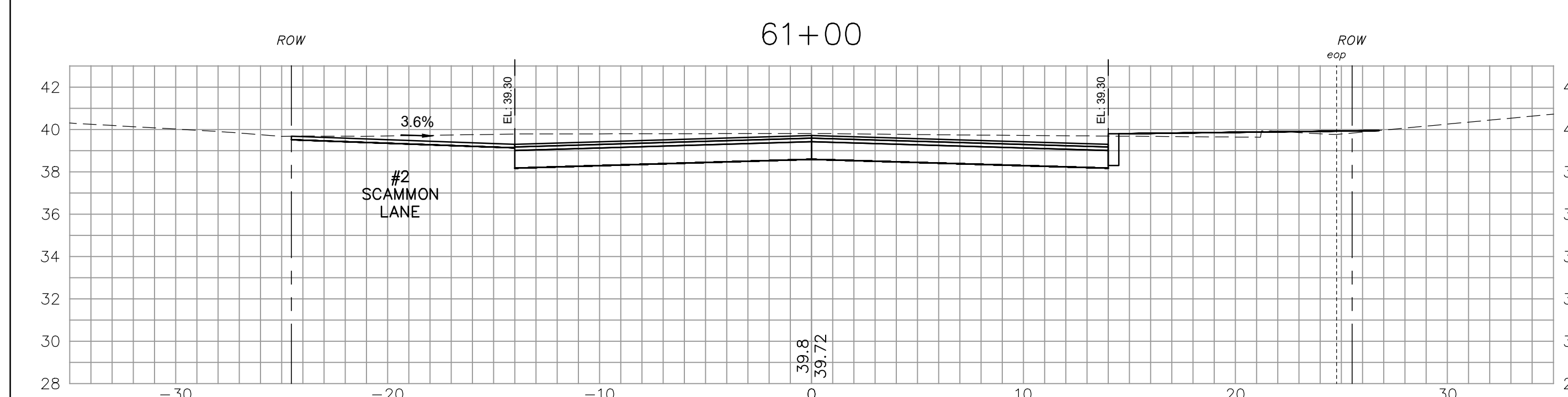
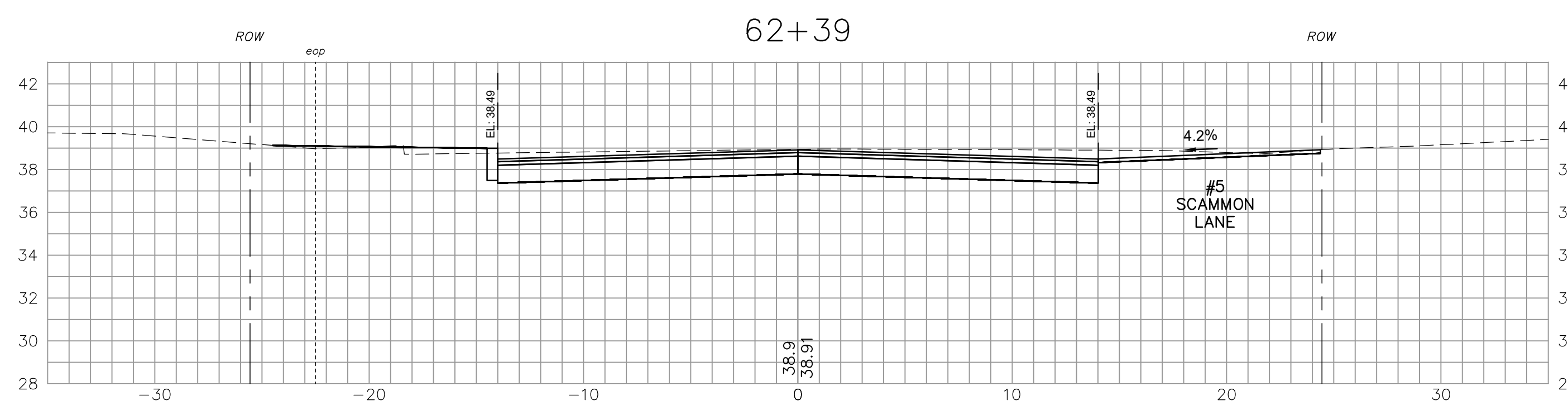
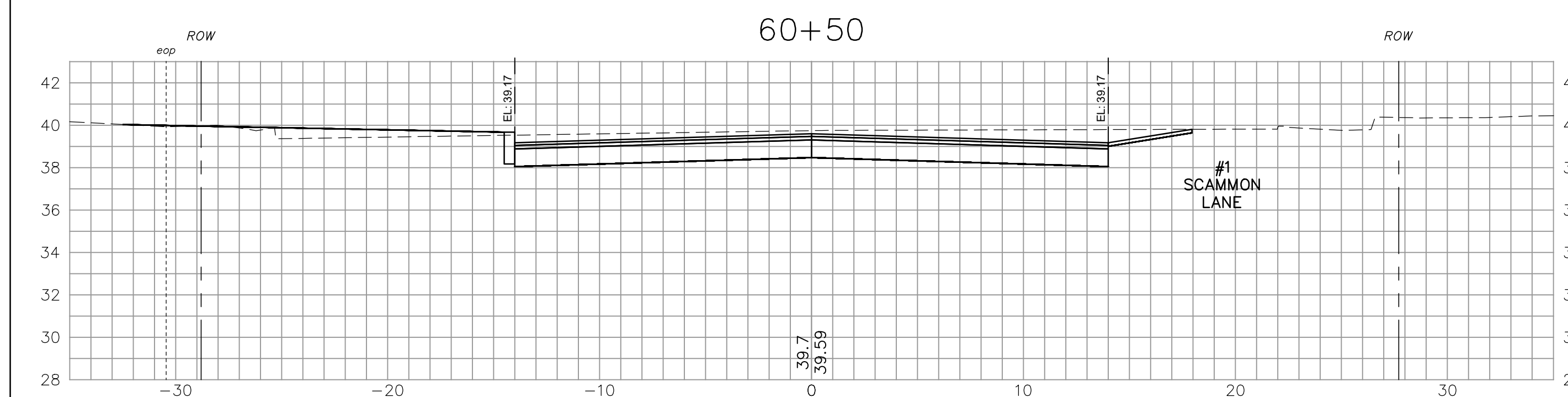
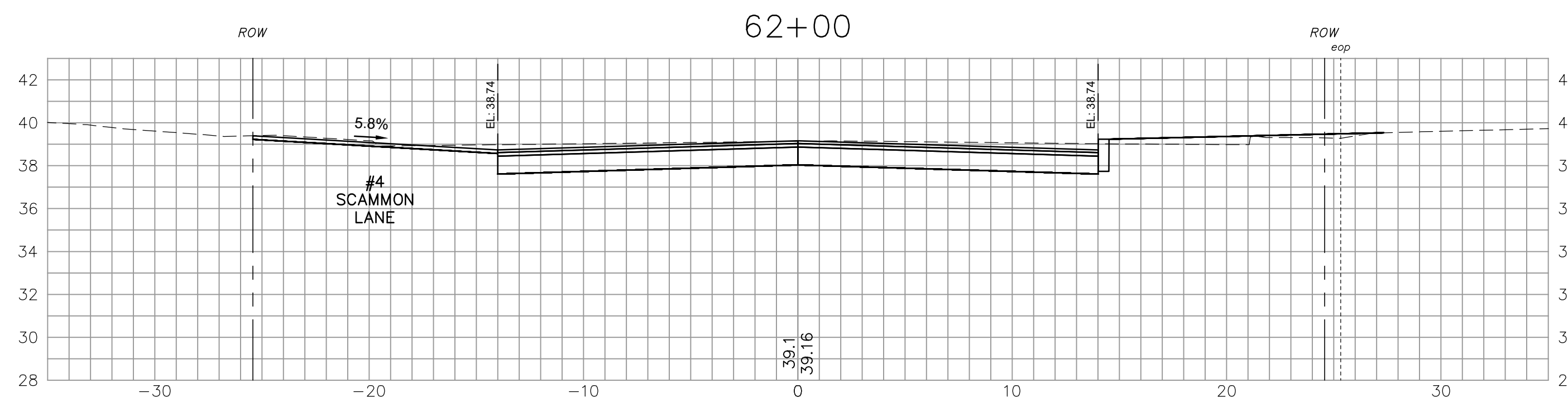
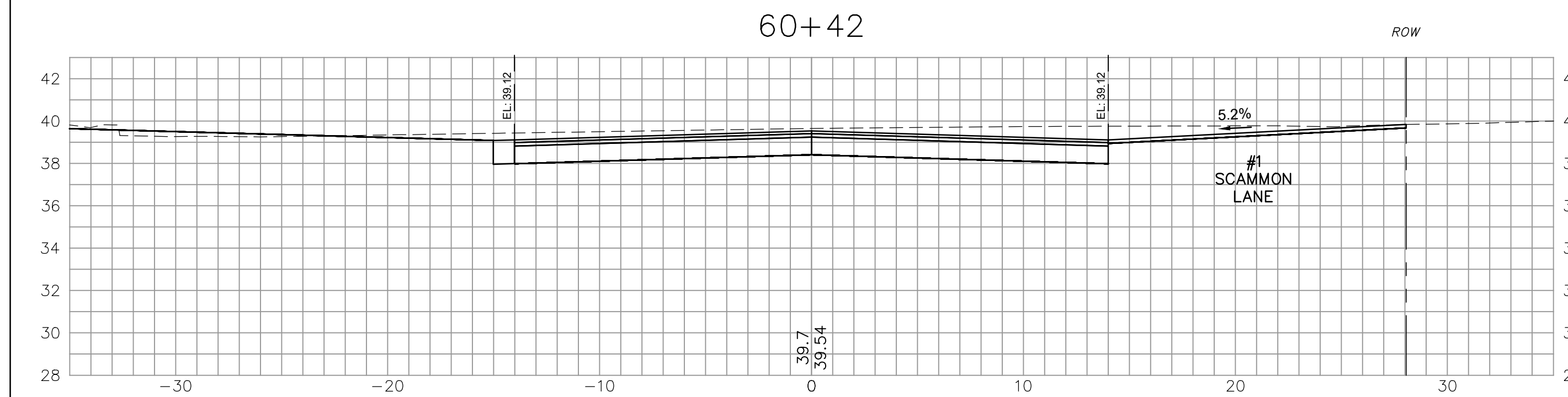
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CROSS SECTIONS - SILVIO DR.
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Drawn/Chk RMG DJR
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 Date 11/27/2024
 Book No. 28273
 Project No. 28273
 Dwg. ID 28273-Scammon
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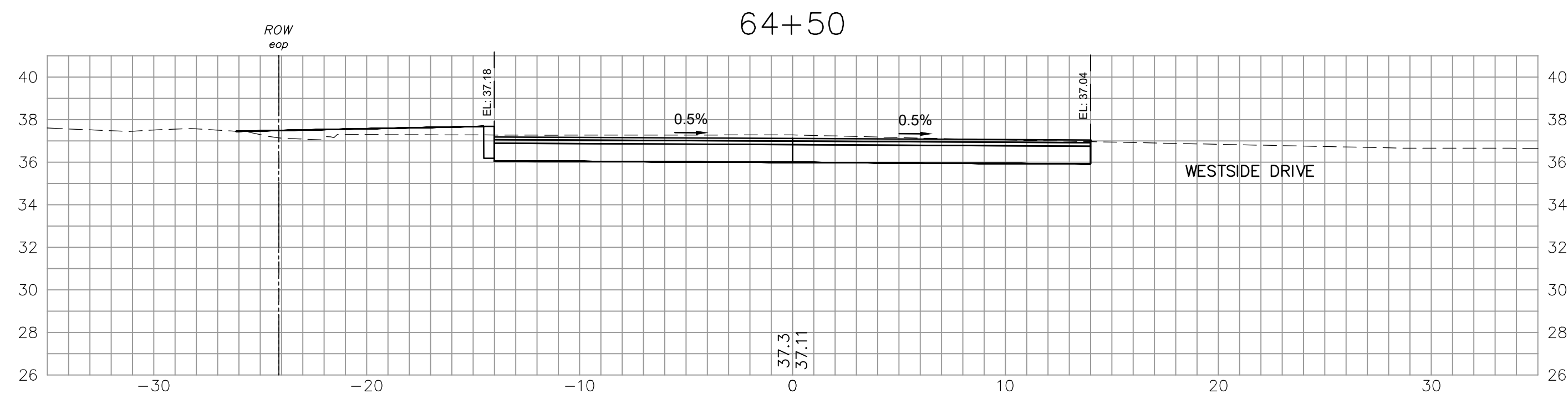
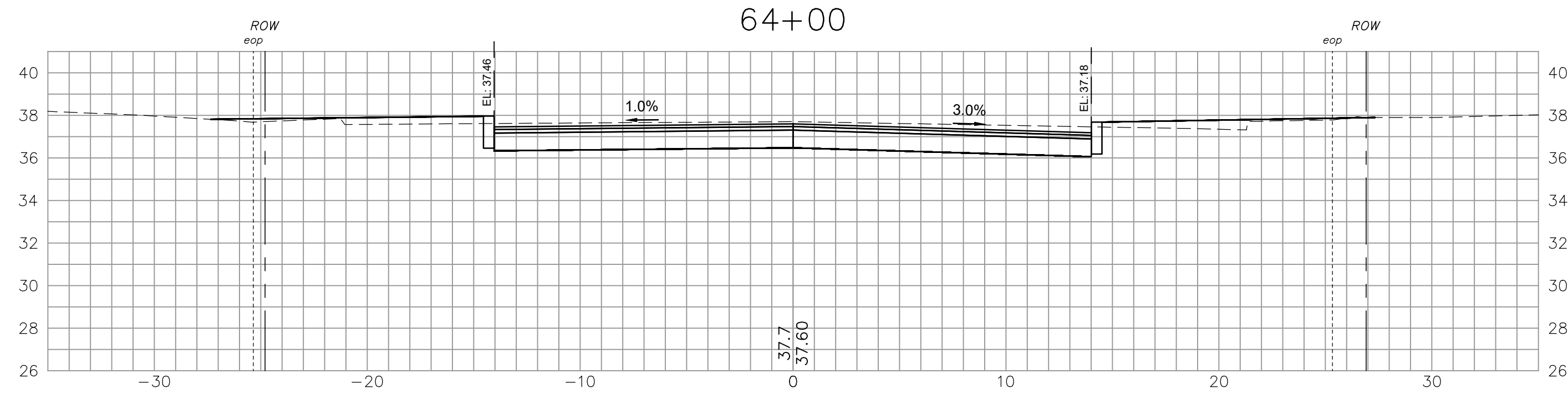
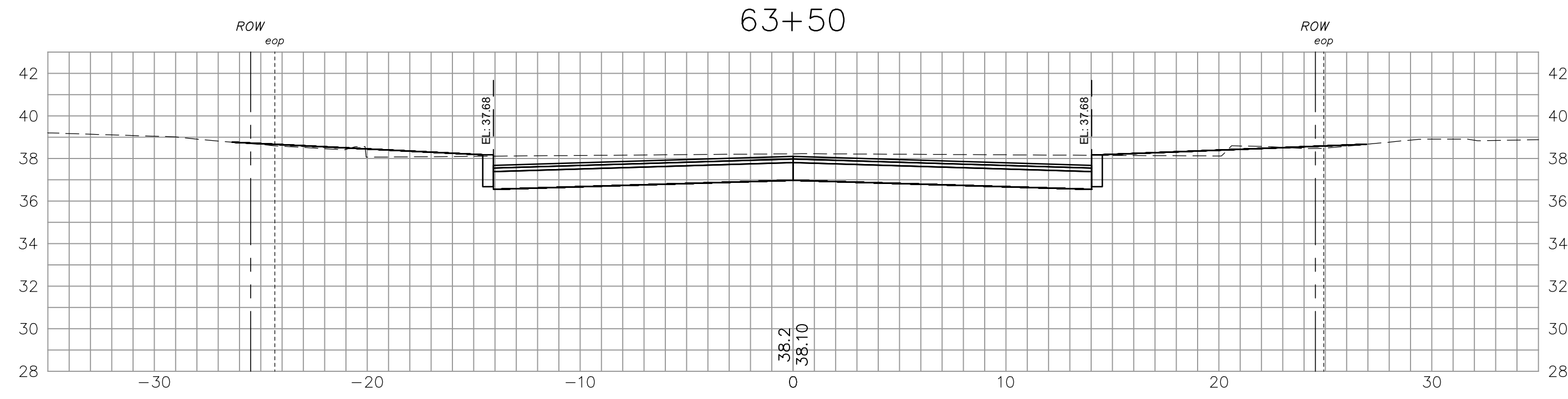
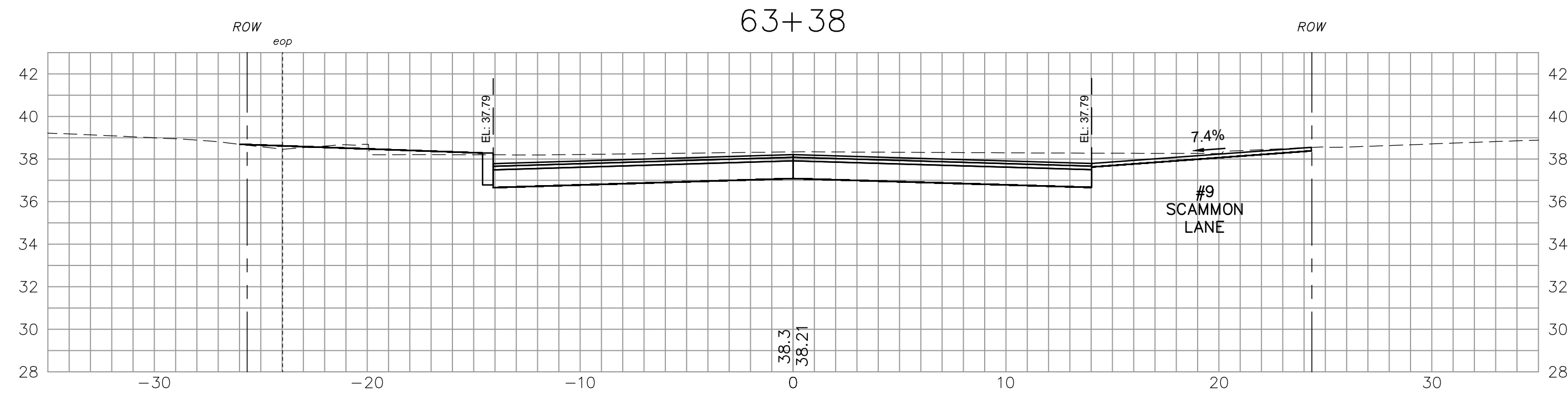
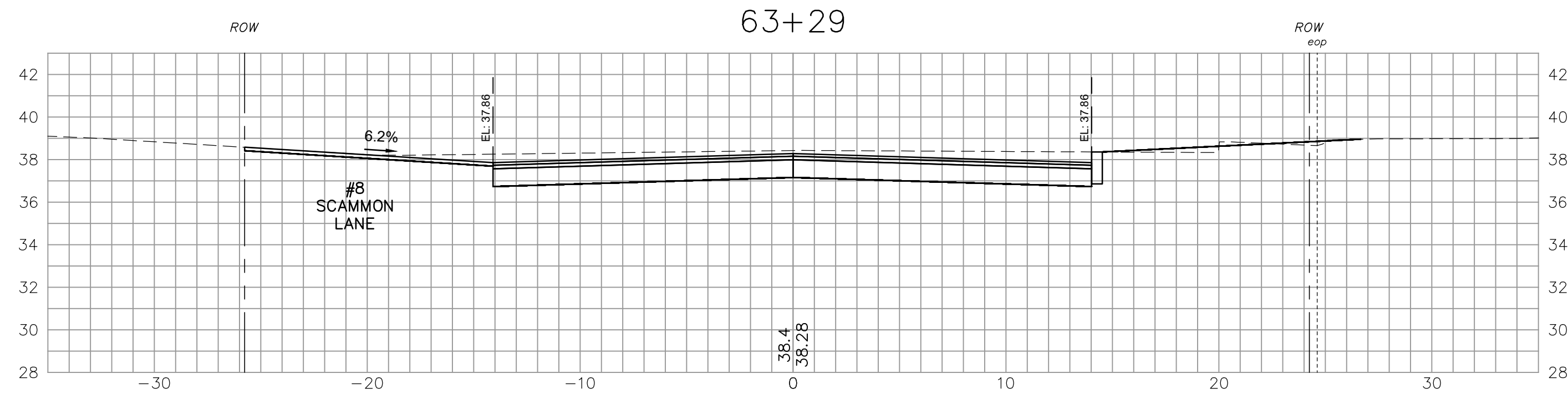
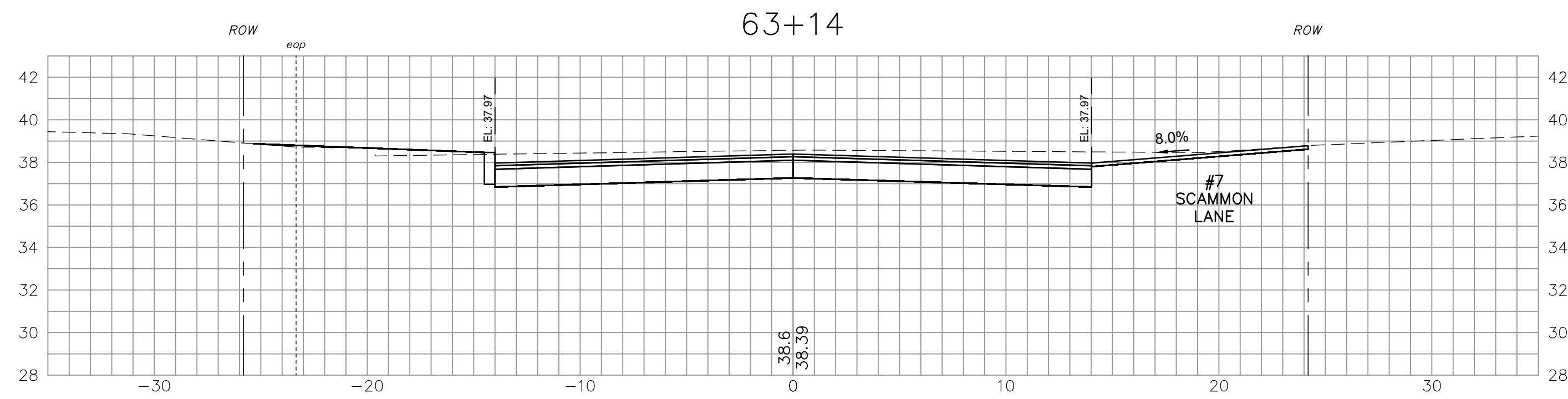
WESTSIDE DRIVE FINAL DESIGN
 DRAINAGE, WATER & ROADWAY IMPROVEMENTS

TOWN OF EXETER
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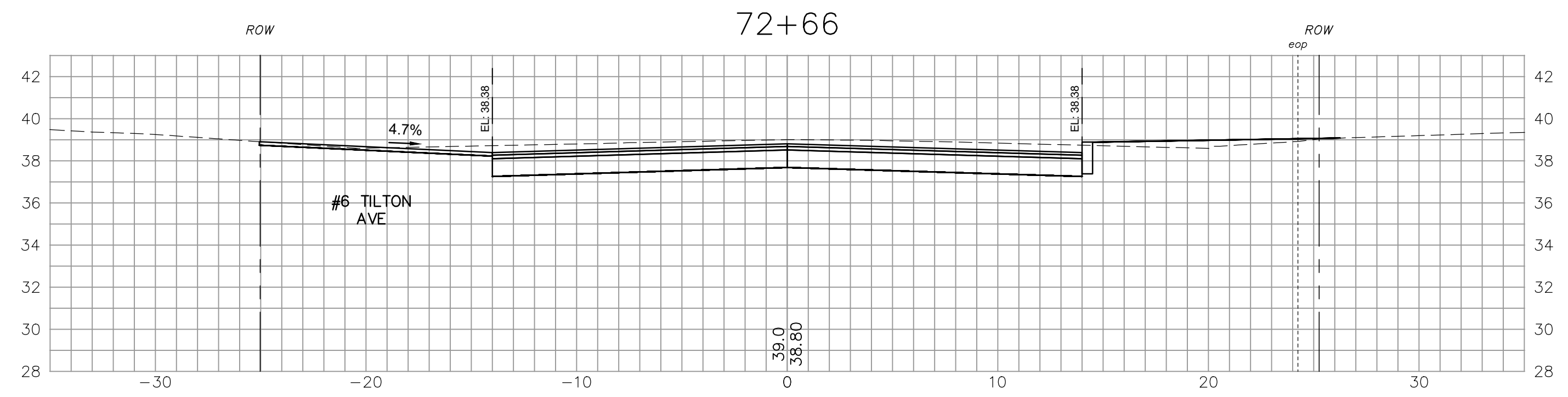
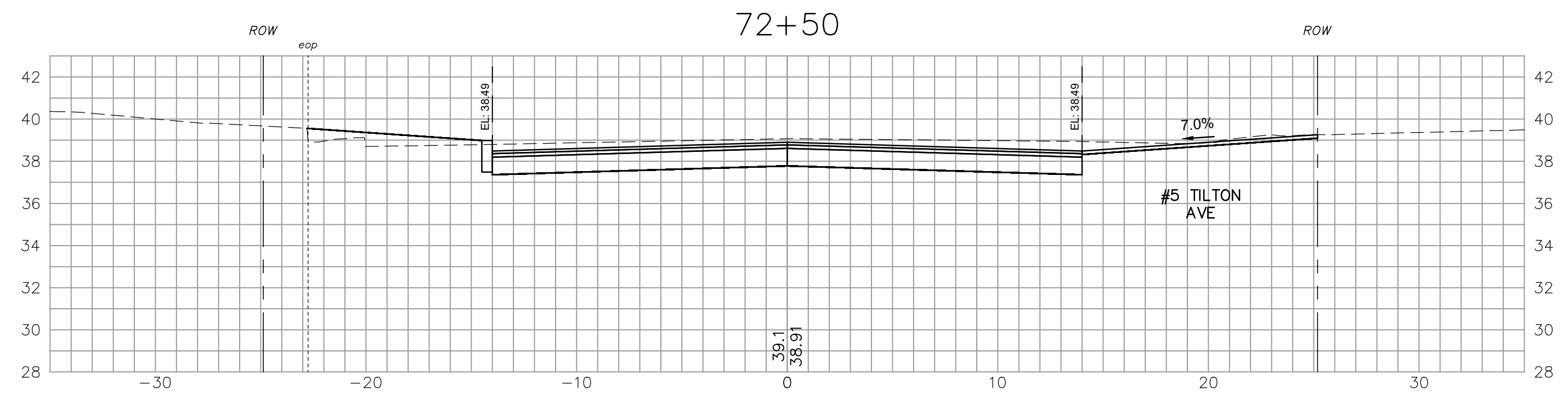
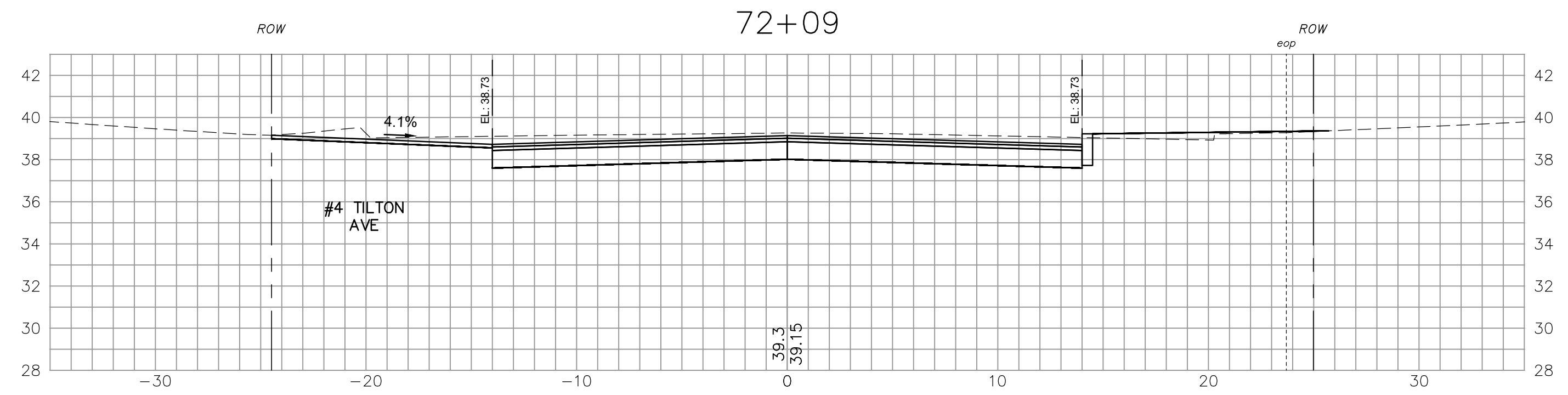
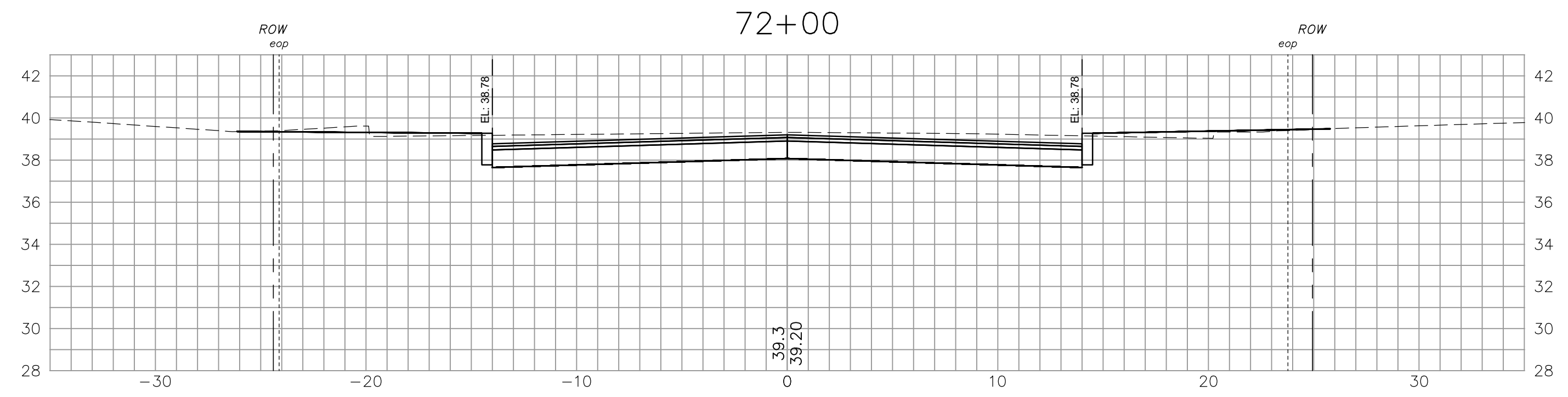
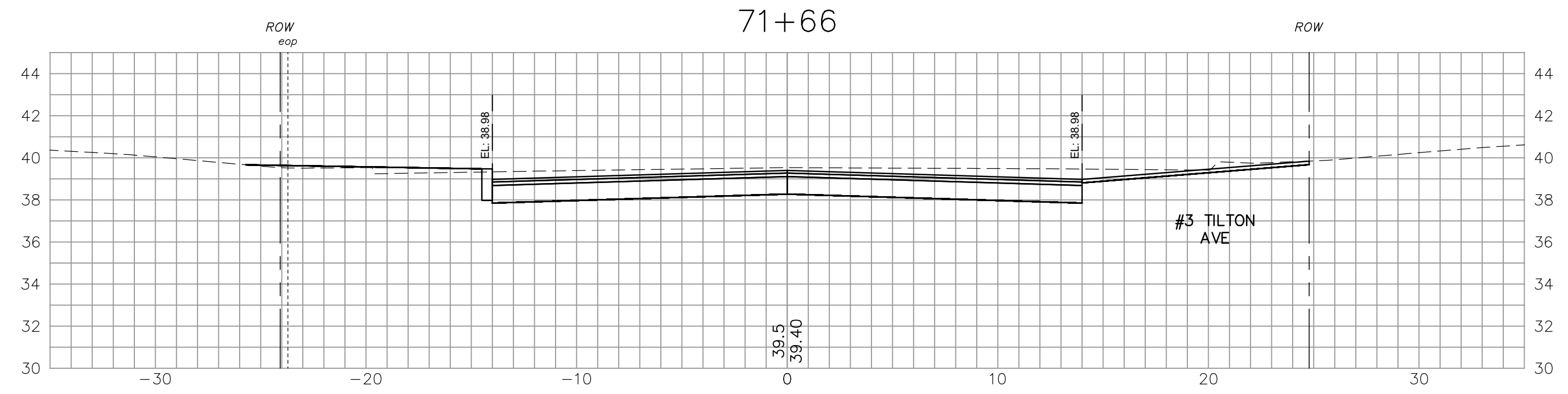
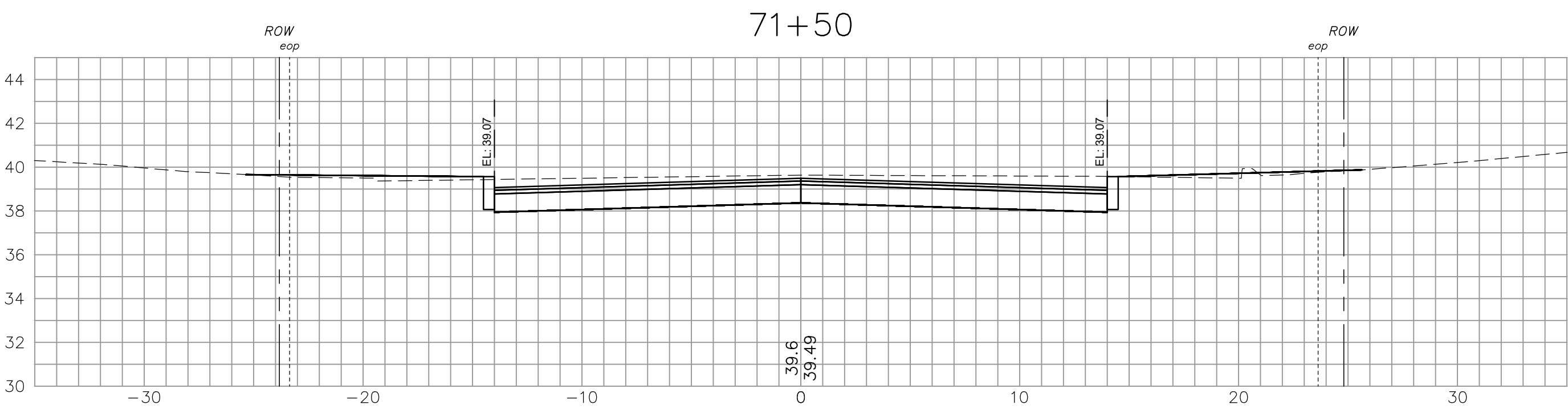
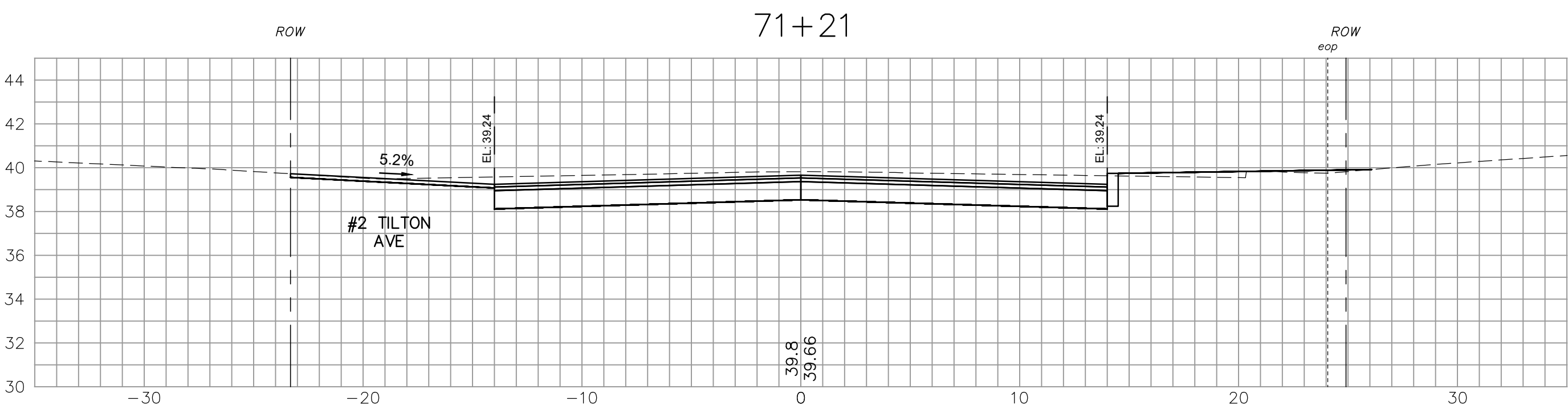
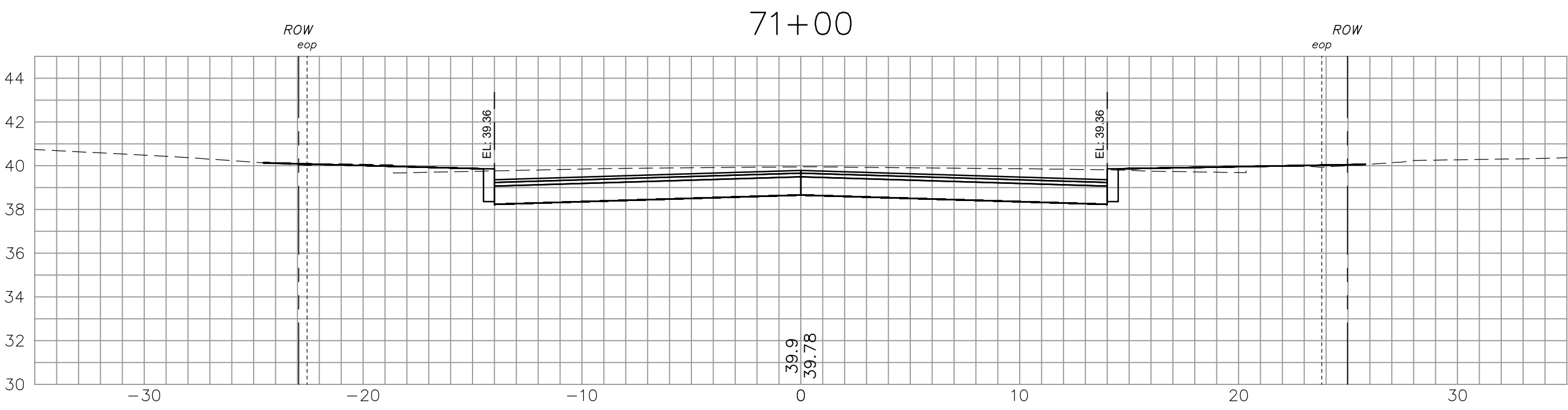
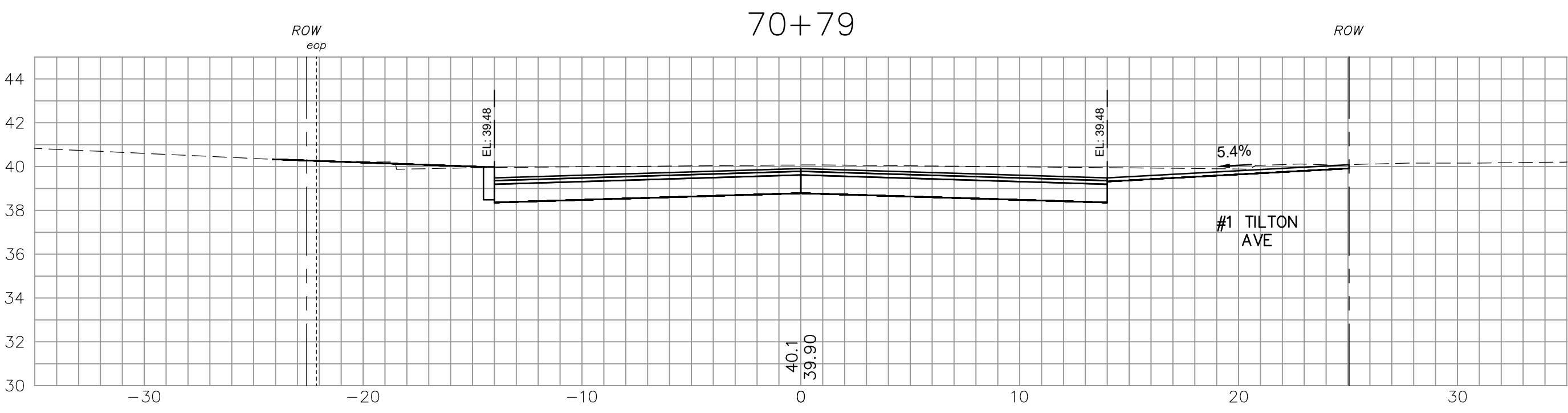
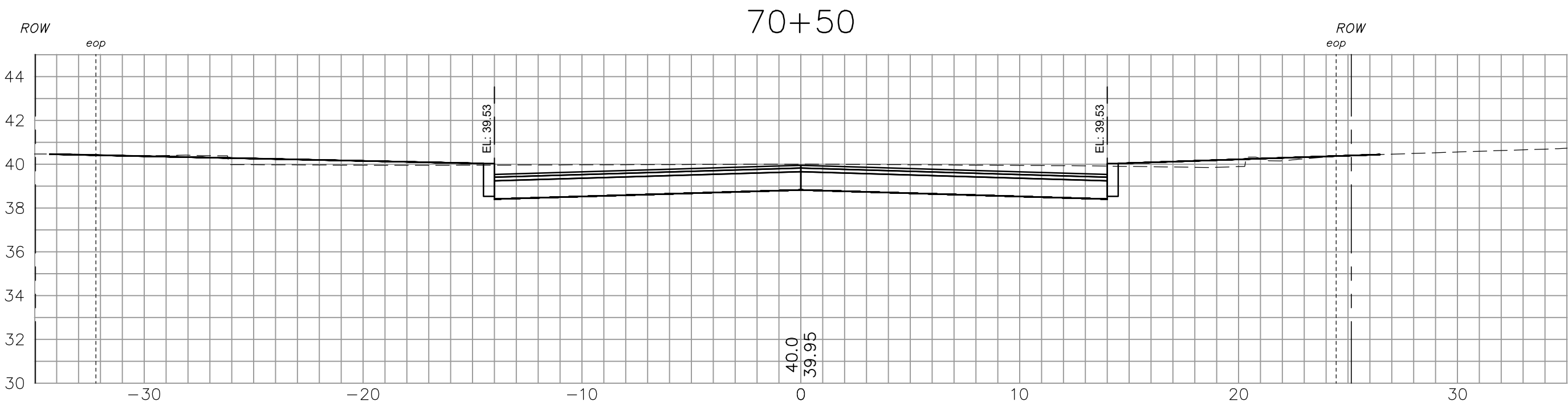
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<p>CROSS SECTIONS - SCAMMON LN</p> <p>WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS</p> <p>TOWN OF EXETER EXETER, NH</p>	<p>DWG NO XSC2</p> <p>SHEET 55 OF 64</p>						
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NO.	REVISIONS	APPD					

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Date	By
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Tel. 603-436-6192 Fax. 603-431-4733

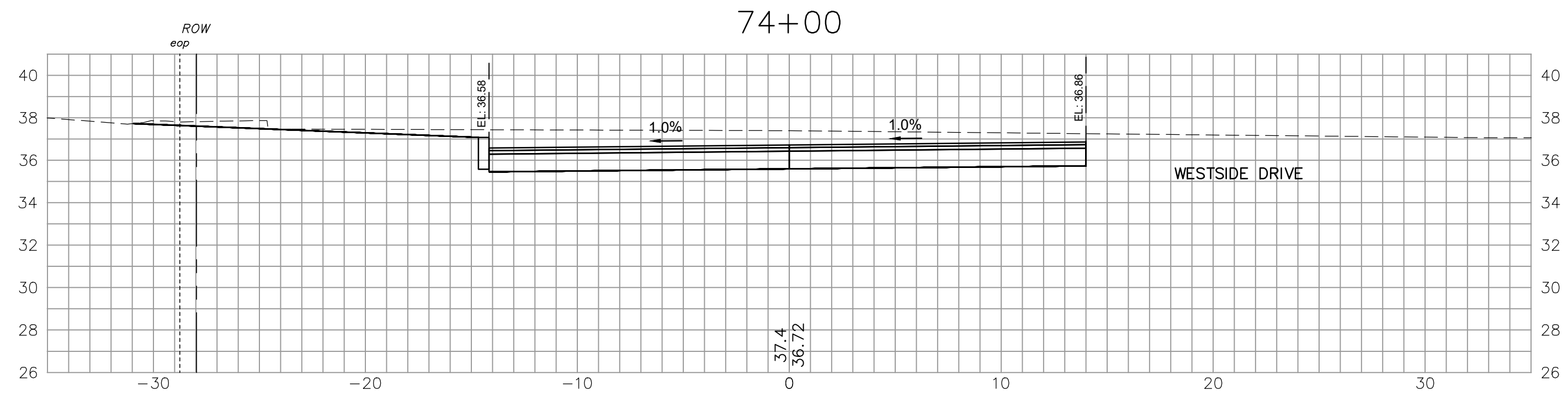
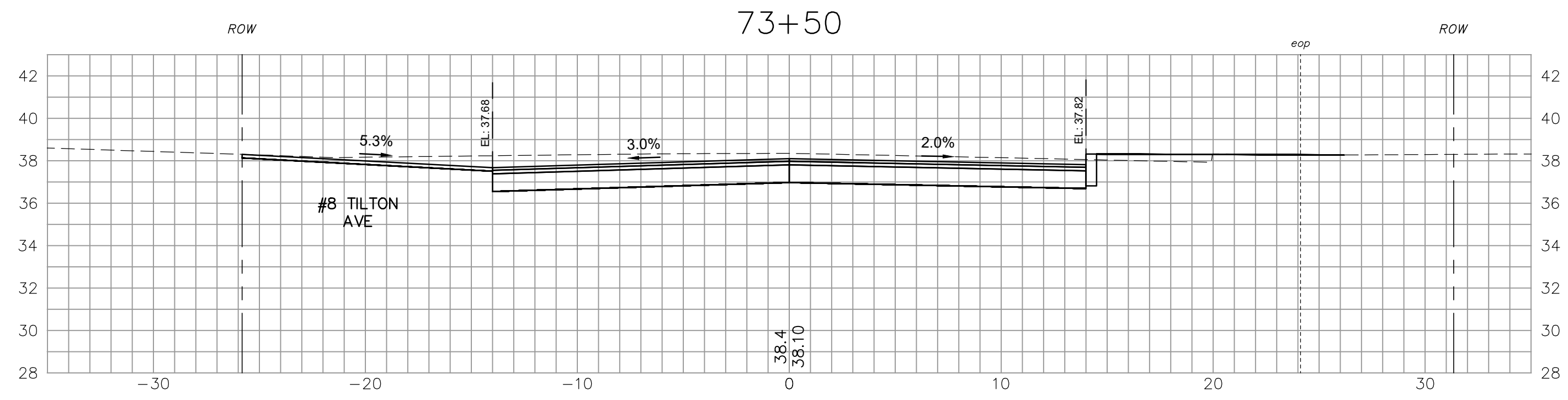
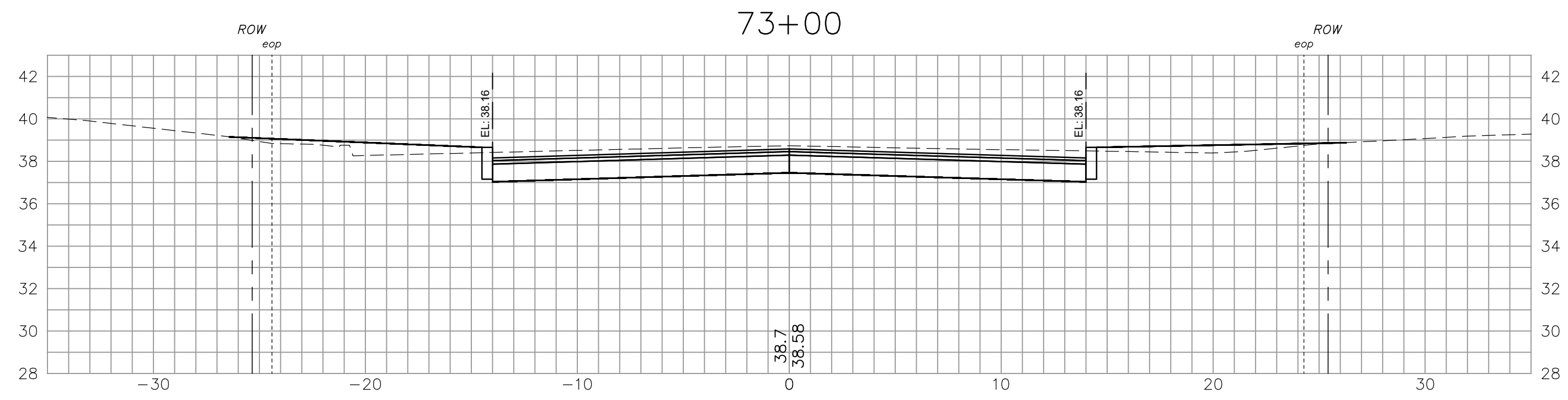
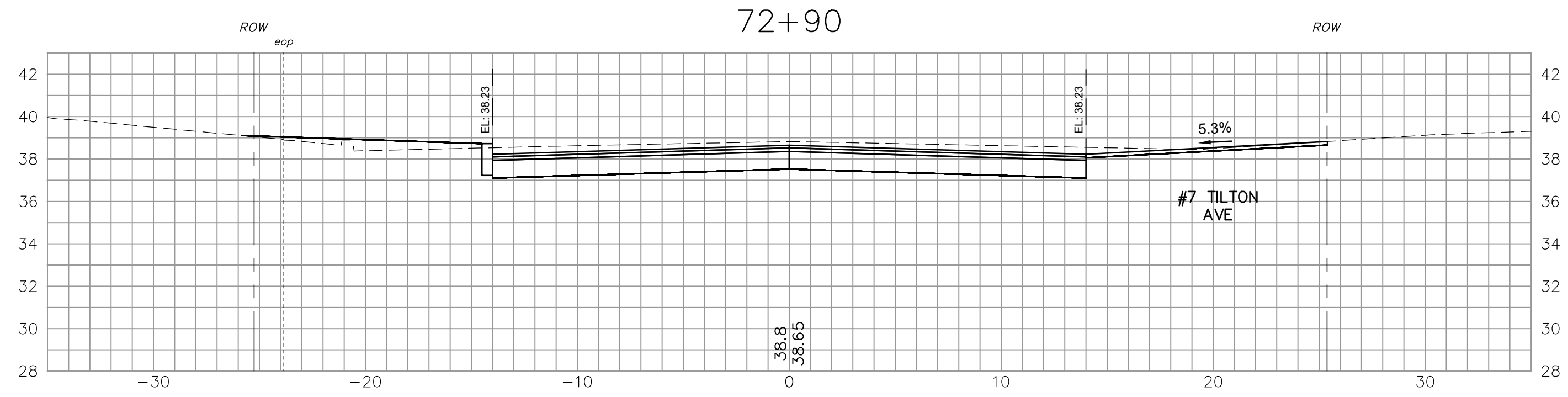
CROSS SECTIONS - TILTON AVE
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO XT1	SHEET 56 OF 64
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CROSS SECTIONS - TILTON AVE

WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH



25 Vaughan Mall, Portsmouth, N.H. 03801
Tel. 603-436-6192 Fax. 603-431-4733

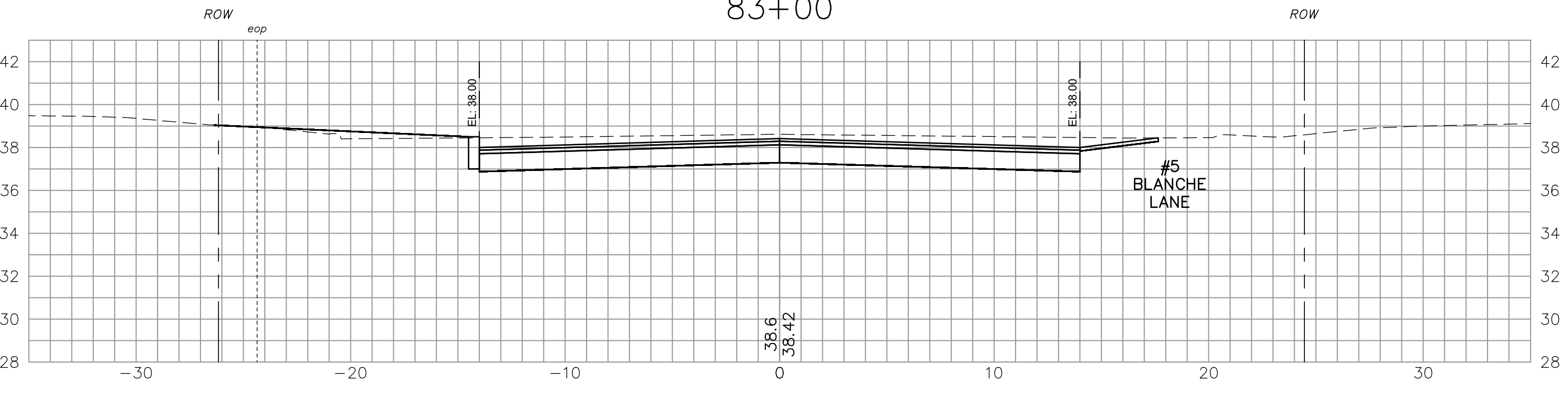
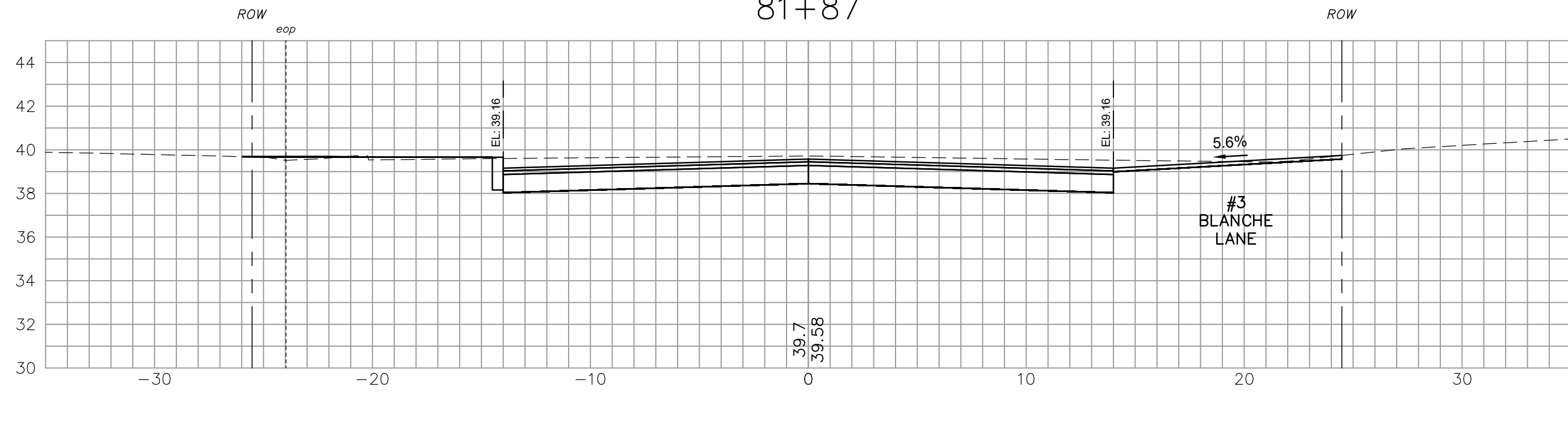
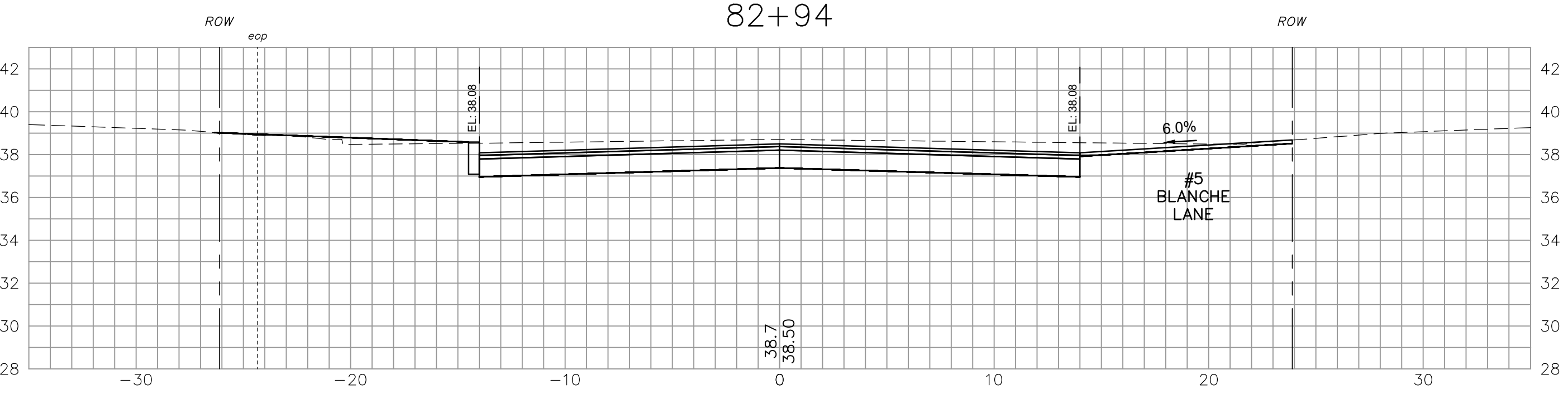
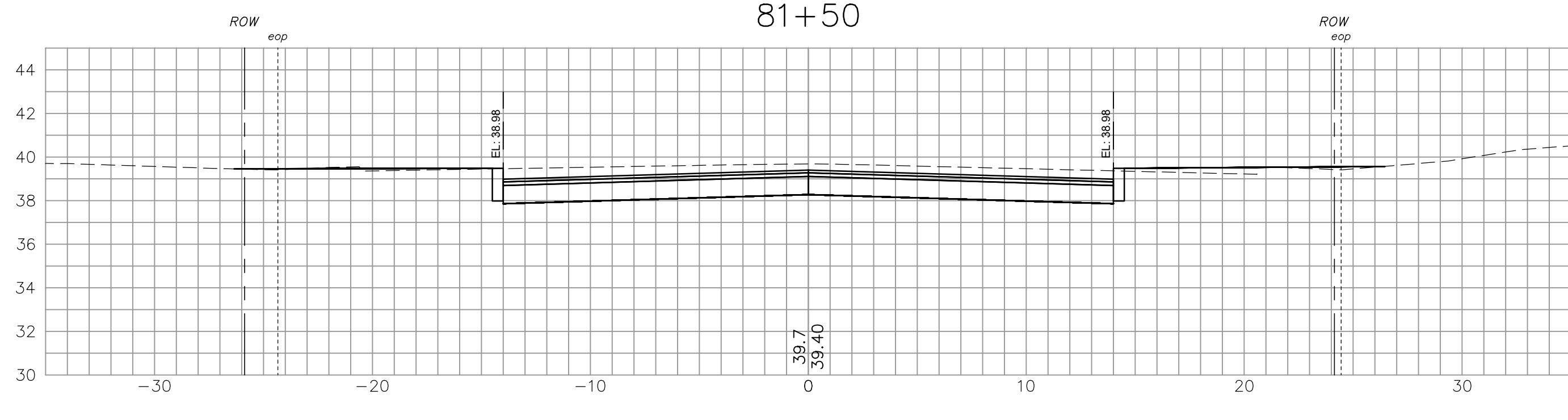
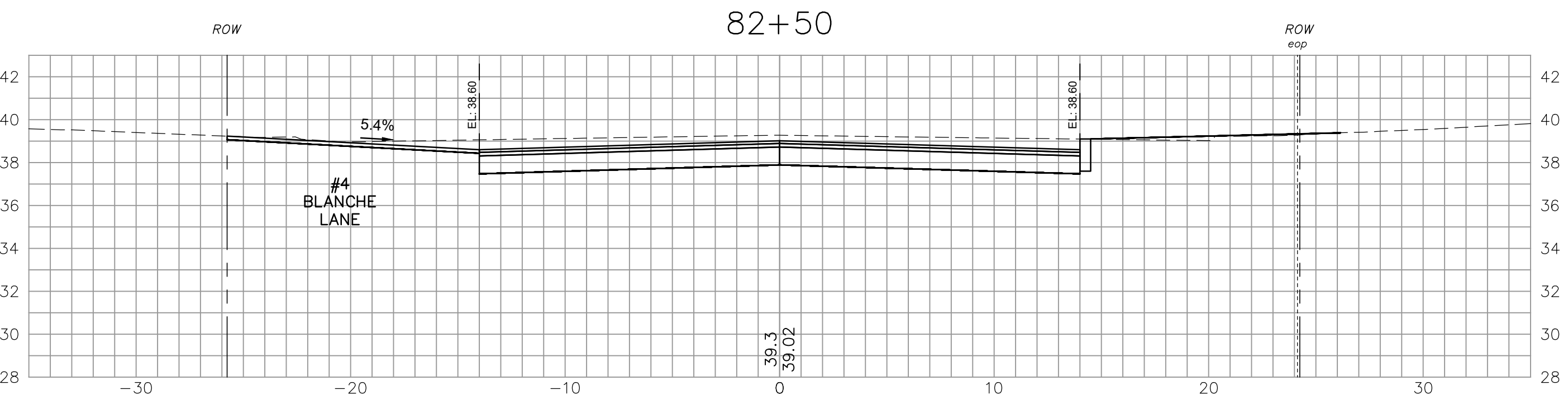
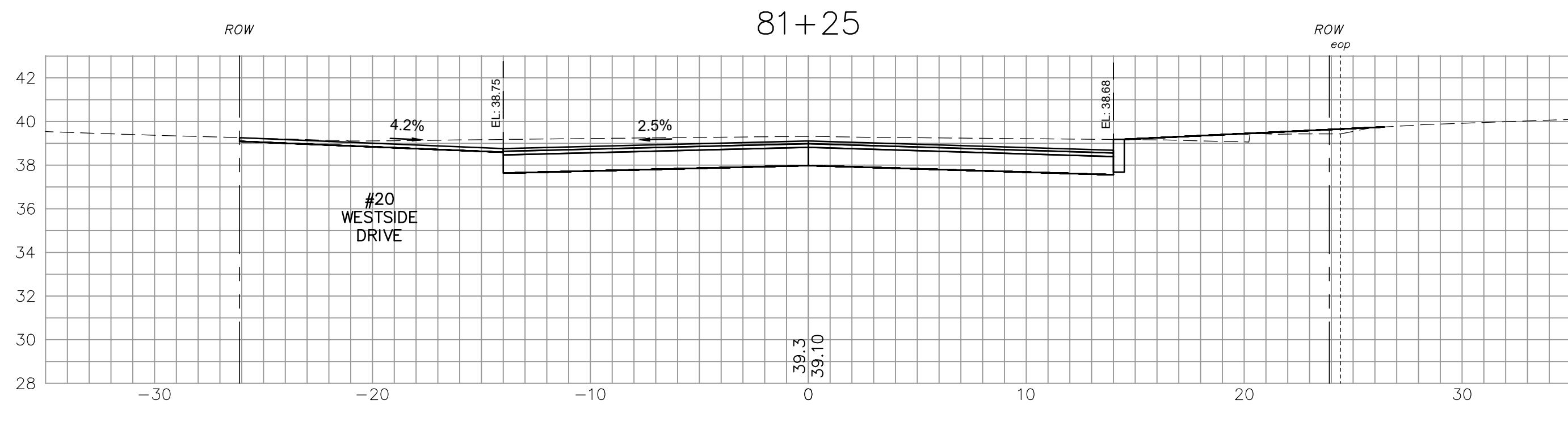
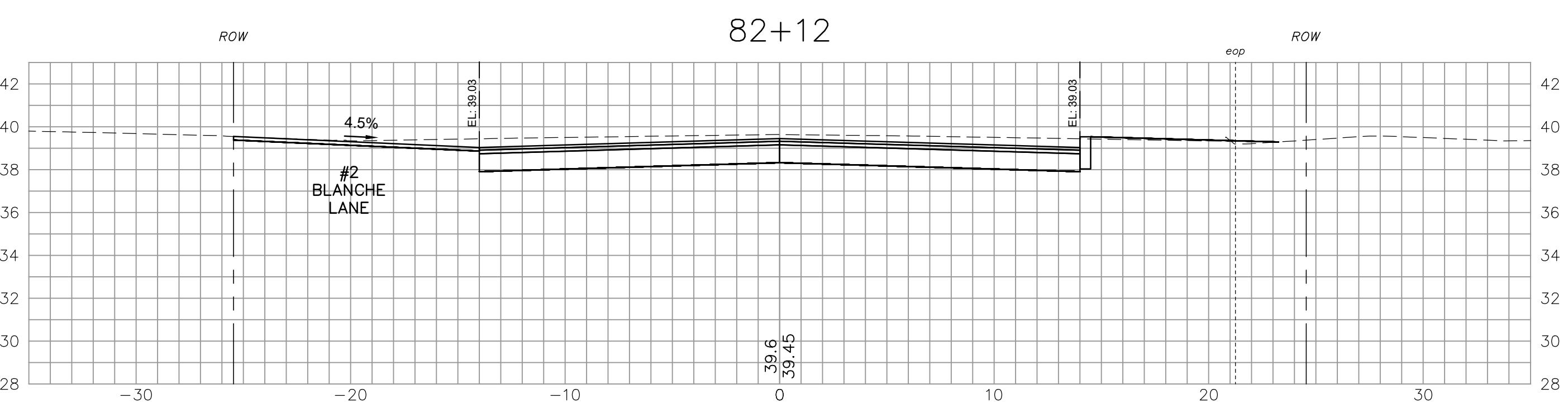
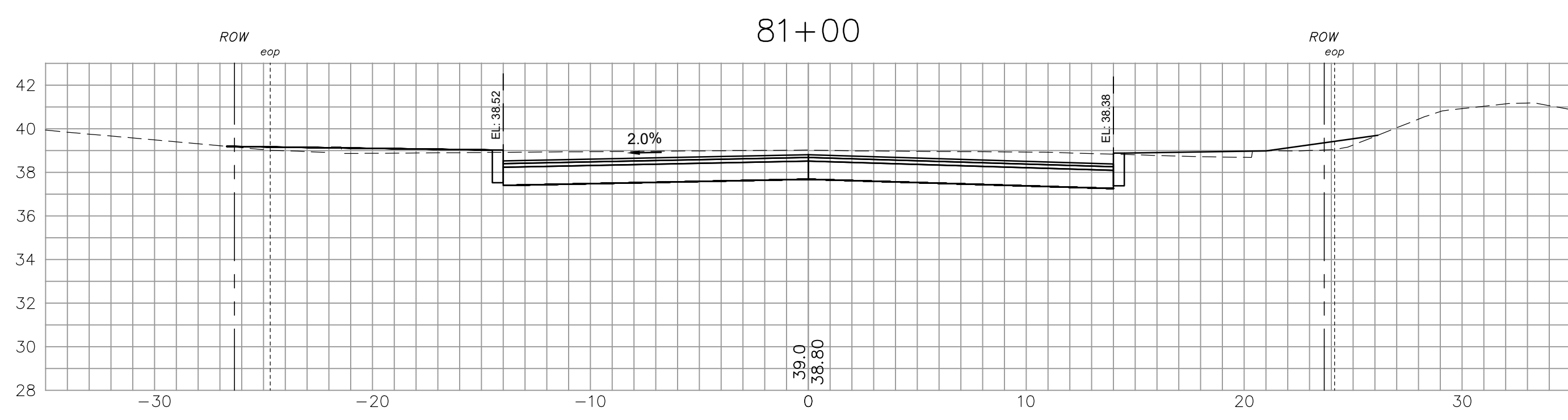
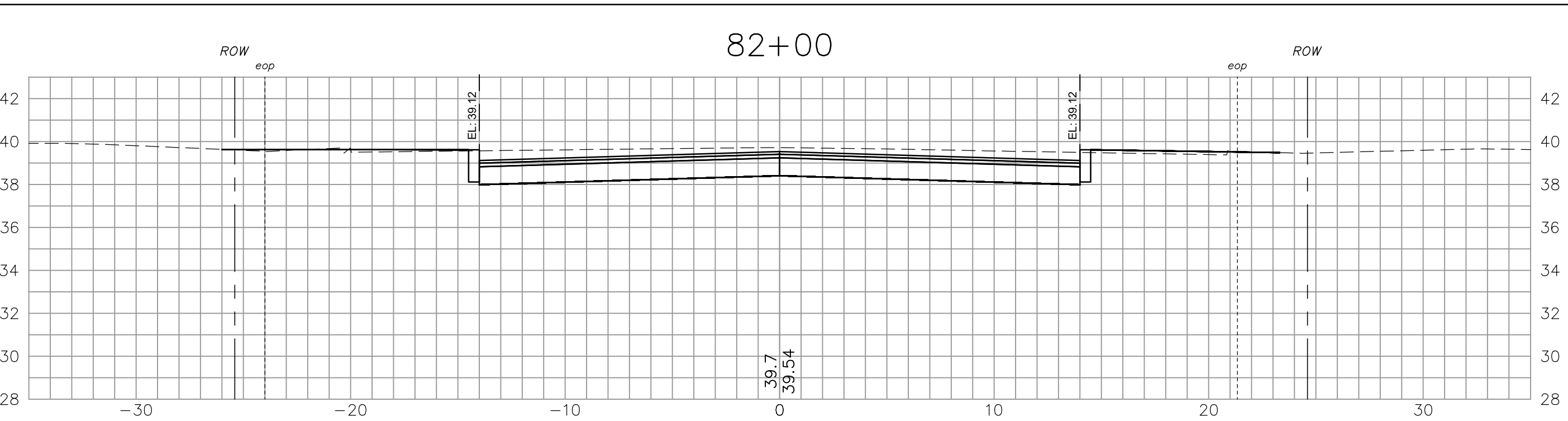
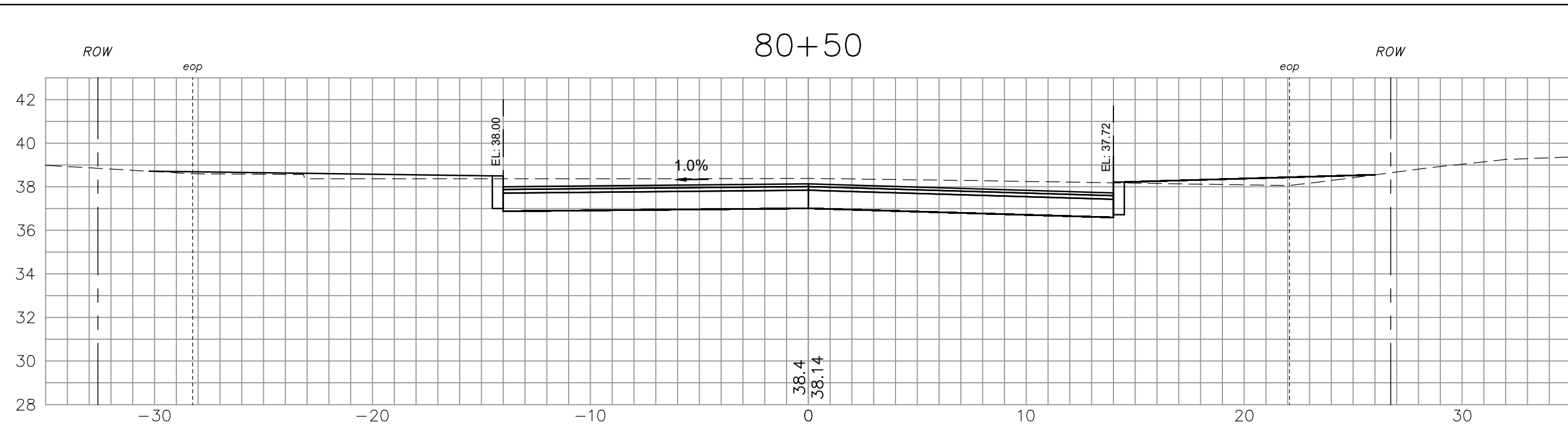
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Drawn/Chk. RMG
Designed DJR
Checked RJS
Approved: 11/27/2024
Date: 11/27/2024
Book No. 2873
Project No. 2873-Tilton
Dwg. ID 2873-65-Tilton
Scale AS SHOWN

△	NO.
△	REVISIONS
△	APPD

ISSUE FOR	
APPROVAL	By
CONSTRUCTION	By
RECORD DRAWING	By

DWG NO XT2	SHEET 57 OF 64
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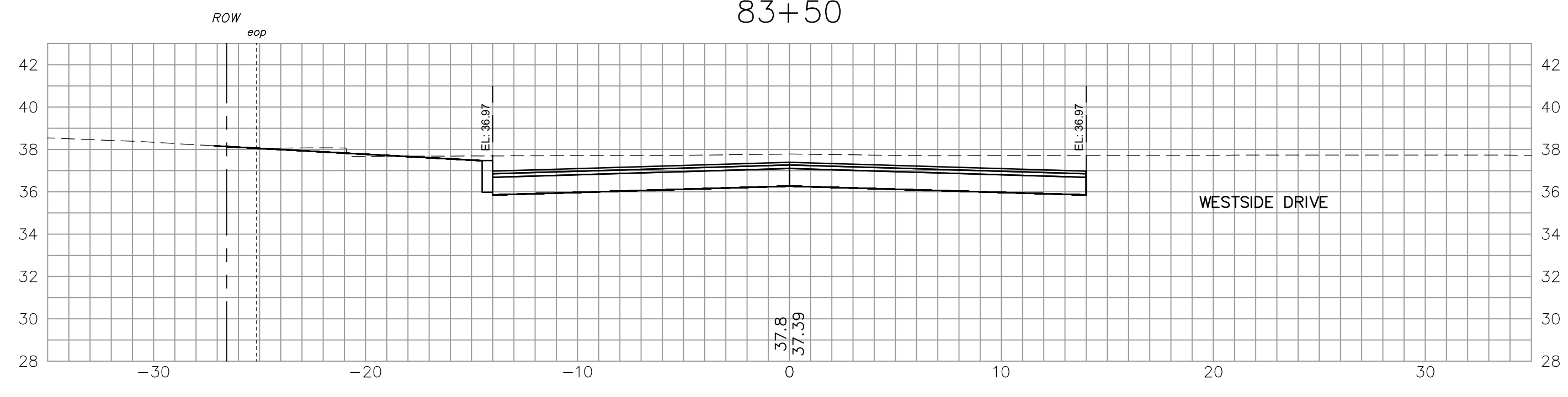
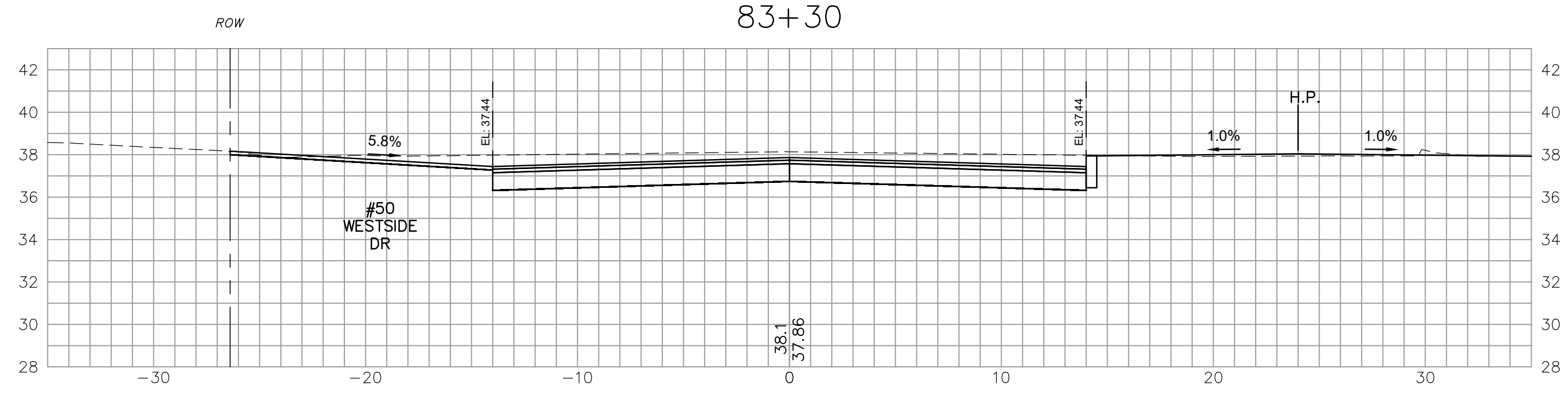
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Underwood Engineers
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Tel. 603-436-6192 Fax. 603-431-4733

CROSS SECTIONS - BLANCHE LN
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

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CROSS SECTIONS – BLANCHE LN

WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS

TOWN OF EXETER
EXETER, NH



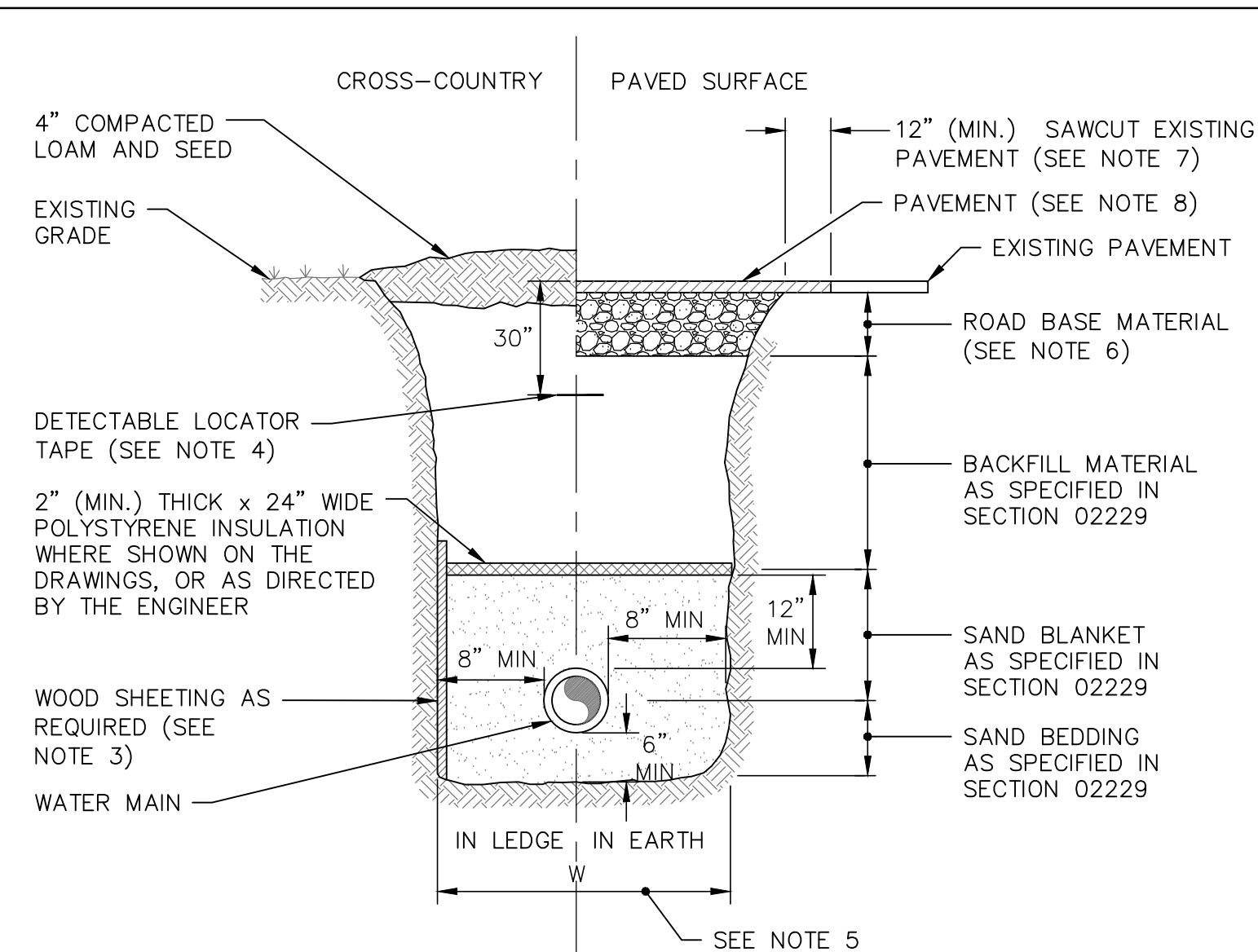
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Drawn/Chk.	RMG
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Checked	RJS
Approved	---
Date	11/27/2024
Book No.	---
Project No.	2873
Dwg. ID	2872-CS-Bldg...
Scale	AS SHOWN

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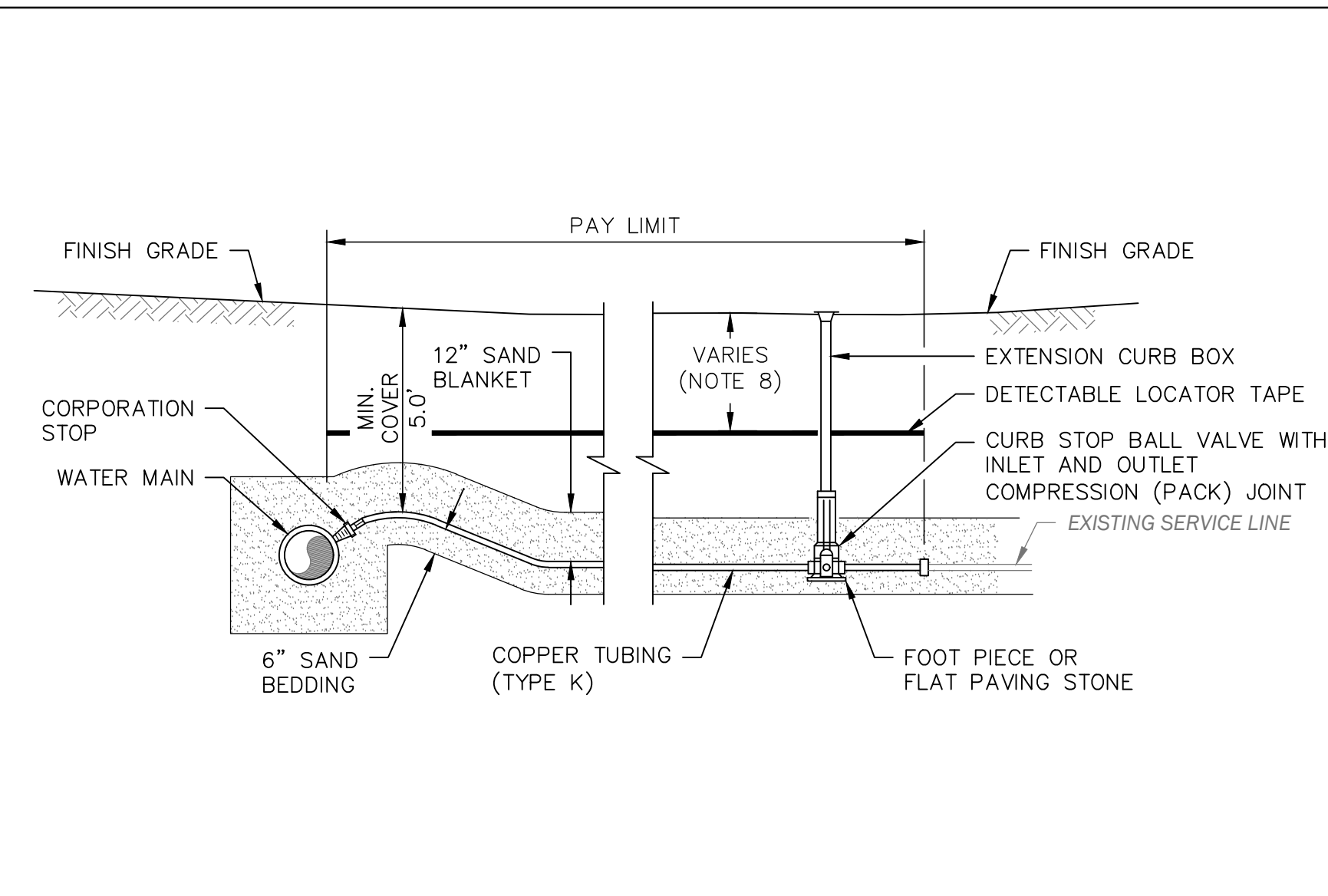


TYPICAL WATER TRENCH DETAIL

NOT TO SCALE

WATER TRENCH NOTES:

1. **ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE:** BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWINGS.
2. **MINIMUM COVER:** SHALL NOT BE LESS THAN 6.0 FEET. PIPE SHALL BE INSTALLED DEEPER THAN THE NOTED MINIMUM COVER TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES.
3. **WOOD SHEETING, IF REQUIRED:** WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
4. LOCATOR TAPE TO BE 6" TERRA TAPE SENTRY LINE OR EQUAL.
5. **W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH:** SEE SECTION 01025.
6. **ROAD BASE MATERIAL:**
 - a. FOR TRENCH PATCH: CRUSHED GRAVEL TO MATCH EXISTING GRAVEL THICKNESS OR 12" MINIMUM, WHICHEVER IS GREATER.
 - b. FOR ROADWAY RECONSTRUCTION: SEE ROAD AND EROSION DETAIL DRAWING D3.
7. **SAWCUTTING EXISTING PAVEMENT:** SAWCUT THE EXISTING PAVEMENT AT LEAST 12" BEYOND THE EDGE OF THE TRENCH. THE FINAL CUT SHALL BE SMOOTH, WITH NO JAGGED EDGES. REMOVE AND DISPOSE OF EXISTING PAVEMENT FROM THE TRENCH CUT.
8. **ROAD RECONSTRUCTION PAVEMENT:** SEE ROAD AND EROSION DETAILS DRAWING D3.



TYPICAL SERVICE CONNECTION

NOT TO SCALE ITEMS 3.8.1X AND 3.8.2X

TYPICAL SERVICE CONNECTION NOTES:

1. TAPS TO BE MADE AT APPROX. 3:00 AND 9:00. SEE SPECIFICATIONS FOR SADDLE REQUIREMENTS.
2. PROVIDE NEW LINE USING A CONTINUOUS LENGTH OF COPPER TUBING. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING THE SERVICE LINE IN AN "S" SHAPE.
4. IF THE EXISTING SERVICE HAS LESS THAN THE ABOVE NOTED MINIMUM COVER, THE WATER SERVICE SHALL BE CONSTRUCTED WITH THE MINIMUM COVER UP TO AND INCLUDING THE NEW CURB STOP. A SHORT SECTION OF NEW SERVICE PIPE SHALL BE INSTALLED AFTER THE CURB STOP AND AT A SLOPE TO THE EXISTING SERVICE PIPE.
5. IF THE ENGINEER ALLOWS THE SERVICE TO BE INSTALLED WITH LESS THAN THE ABOVE NOTED MINIMUM COVER, INSULATE OVER LINE.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER AFTER SUCCESSFUL PRESSURE TESTING AND DISINFECTION.
7. SERVICE SIZE SHALL BE AS NOTED ON THE DRAWINGS OR 1" MINIMUM.
8. DETECTION TAPE SHALL BE INSTALLED BELOW GRAVEL OR LOAM, AND ABOVE COMMON FILL.

NOTES:

1. ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED TO THE MINIMUM LENGTHS DESCRIBED SHOWN. THRUST BLOCKS WILL NOT BE PERMITTED.
2. ALL MINIMUM LENGTHS SHOWN ABOVE WERE CALCULATED USING THE EBAA IRON RESTRAINT LENGTH CALCULATOR VERSION 6.3 USING THE FOLLOWING ASSUMPTIONS: DUCTILE IRON PIPE, TYPE 4 TRENCH, 5 FOOT DEPTH OF BURY, A TEST PRESSURE OF 150 PSI AND SOILS CONSISTING OF WELL GRADED SANDS AND GRAVELLY SANDS WITH LITTLE OR NO FINES.
3. ENGINEER RESERVES THE RIGHT TO MODIFY RESTRAINT LENGTHS REQUIRED BASED ON VARYING TRENCH CONDITIONS, DEPTH OF BURY OR PIPE MATERIALS.
4. FOR REDUCERS, LENGTH SHOWN IS TO RESTRAIN THE RUN OF LARGE PIPE INTO THE REDUCER.
5. MECHANICALLY RESTRAIN ONE JOINT ON EITHER SIDE OF THE TEE AT A MINIMUM DISTANCE OF 5'.
6. FITTINGS SHALL BE RESTRAINED AT ALL ENDS AND A MINIMUM OF ONE JOINT SHALL BE RESTRAINED BEYOND EACH SIDE OF FITTING.

REDUCERS:

Nom. Diameter of Large Pipe	Nominal Diameter of Small Pipe (Note 4)			
	4"	6"	8"	10"
8"	17"	10"	-	-
10"	23"	17"	10"	-
12"	29"	24"	18"	10"
16"	39"	36"	31"	28"

HORIZONTAL BENDS:

Nominal Pipe Diameter	Bend Angle			
	90°	45°	22.5°	11.25°
4"	6'	3'	2'	1'
6"	9'	4'	2'	2'
8"	11'	5'	3'	2'
10"	13'	6'	3'	2'
12"	16'	7'	3'	2'
16"	20'	9'	4'	2'

TEES:

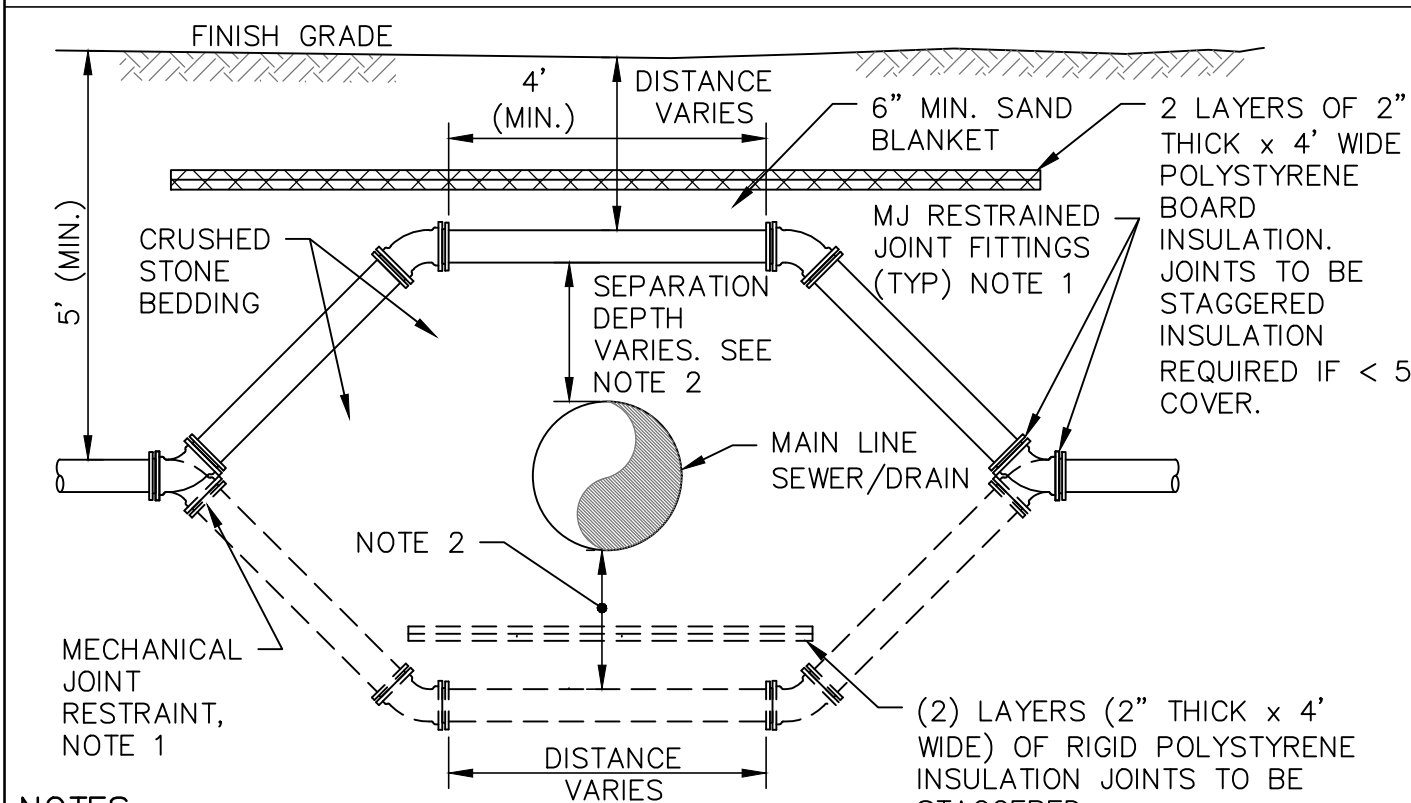
Nominal Pipe	Nominal Branch Diameter (Note 5)			
	8"	10"	12"	16"
8"	6'	-	-	-
10"	8'	11'	-	-
12"	1'	7'	16'	-
16"	1'	1'	9'	25'

DEAD ENDS:

Nom. Pipe Diameter	Restrained Length (ft)
4"	13'
6"	18'
8"	23'
10"	28'
12"	33'
16"	43'

MECHANICAL JOINT RESTRAINT

NOT TO SCALE

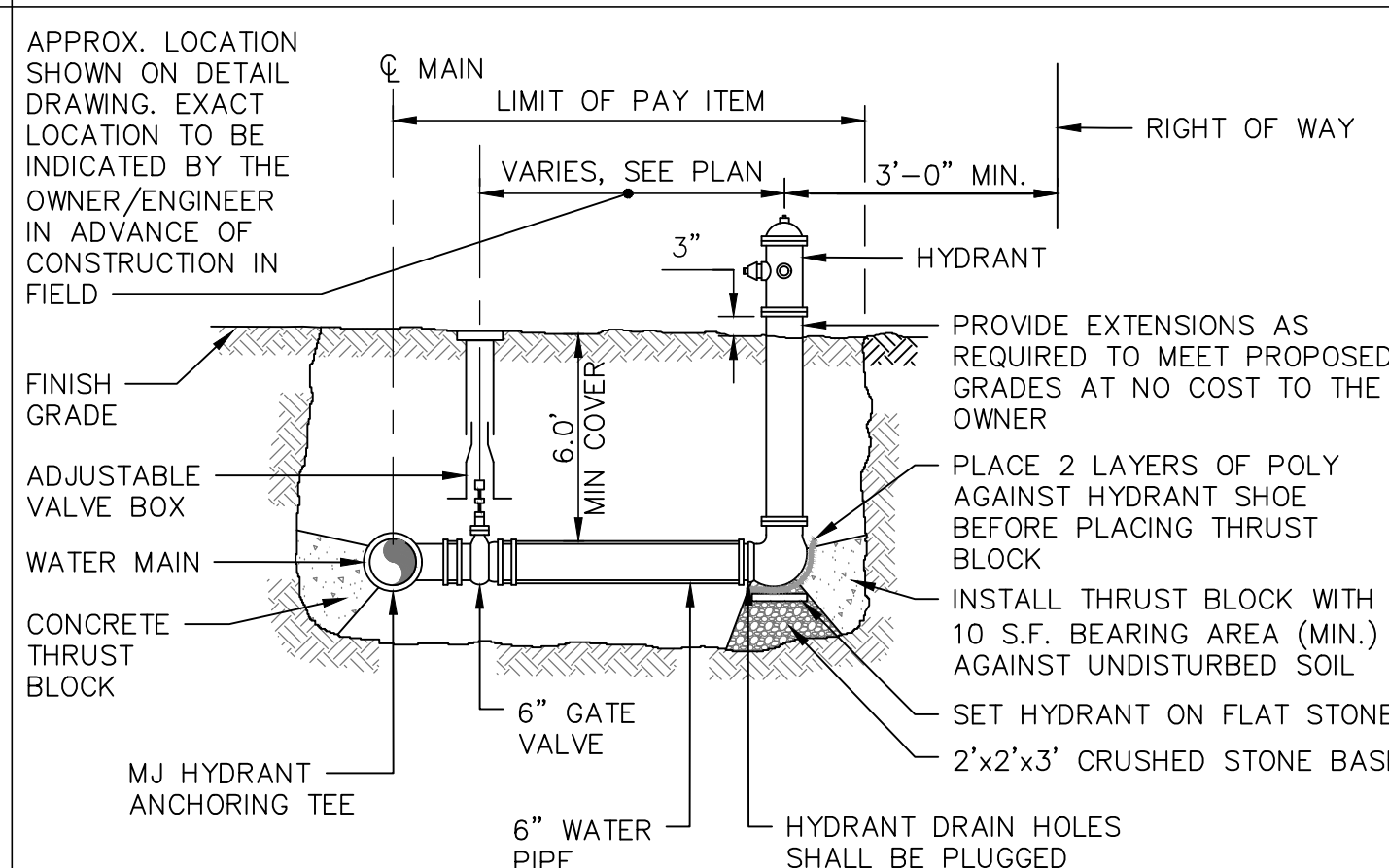


NOTES:

1. AVOID ABRUPT CHANGES IN DEPTH. INSTALL (4) FOUR 45° MJ BENDS WITH RESTRAINED JOINT FITTINGS WHERE ABRUPT CHANGES IN DEPTH ARE NECESSARY.
2. SEPARATION DEPTH BETWEEN WATER AND SEWER SHALL BE 18" (MIN.) PER NHDES ENV-Wq 704.12. WHERE SEPARATION DEPTH IS LESS THAN 18" IN ORDER TO HAVE 4'-0" (MIN.) COVER OVER WATER MAIN, THEN SEWER SHALL BE PRESSURE PIPE, WHERE INDICATED ON DRAWINGS. PROVIDE 12" SEPARATION AT ALL DRAIN/WATER CROSSINGS UNLESS DIRECTED OTHERWISE.

WATER MAIN CROSSING DETAIL (SEWER OR DRAIN MAIN LINE CROSSING)

NOT TO SCALE

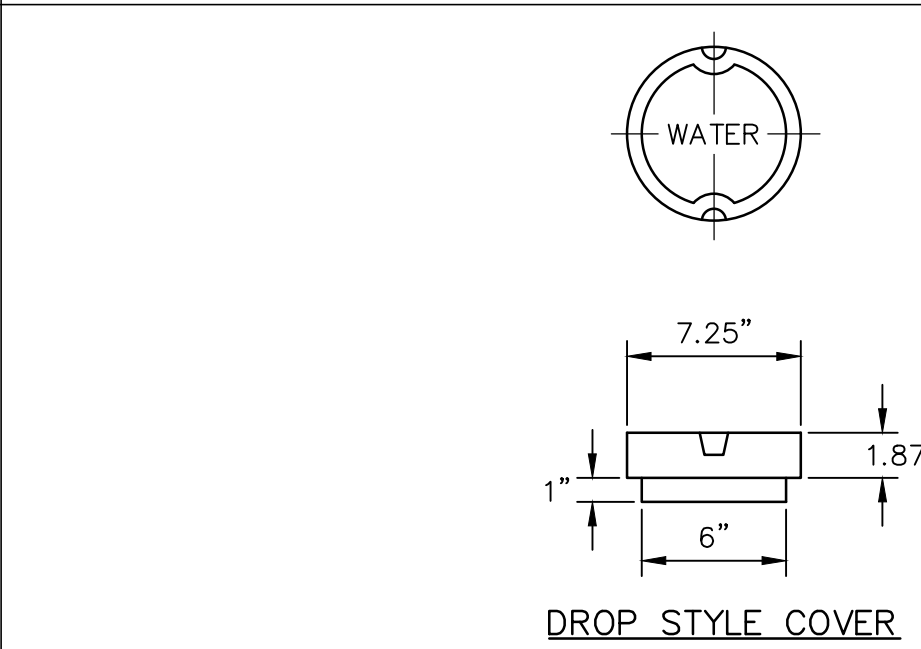


NOTES:

1. CARE SHALL BE TAKEN TO ASSURE THAT CONCRETE DOES NOT PLUG DRAIN PORTS.
2. HYDRANT ASSEMBLY INCLUDES MJ HYDRANT TEE 6" DI BRANCH PIPING, 6" GATE VALVE AND FINISH PAINTING.

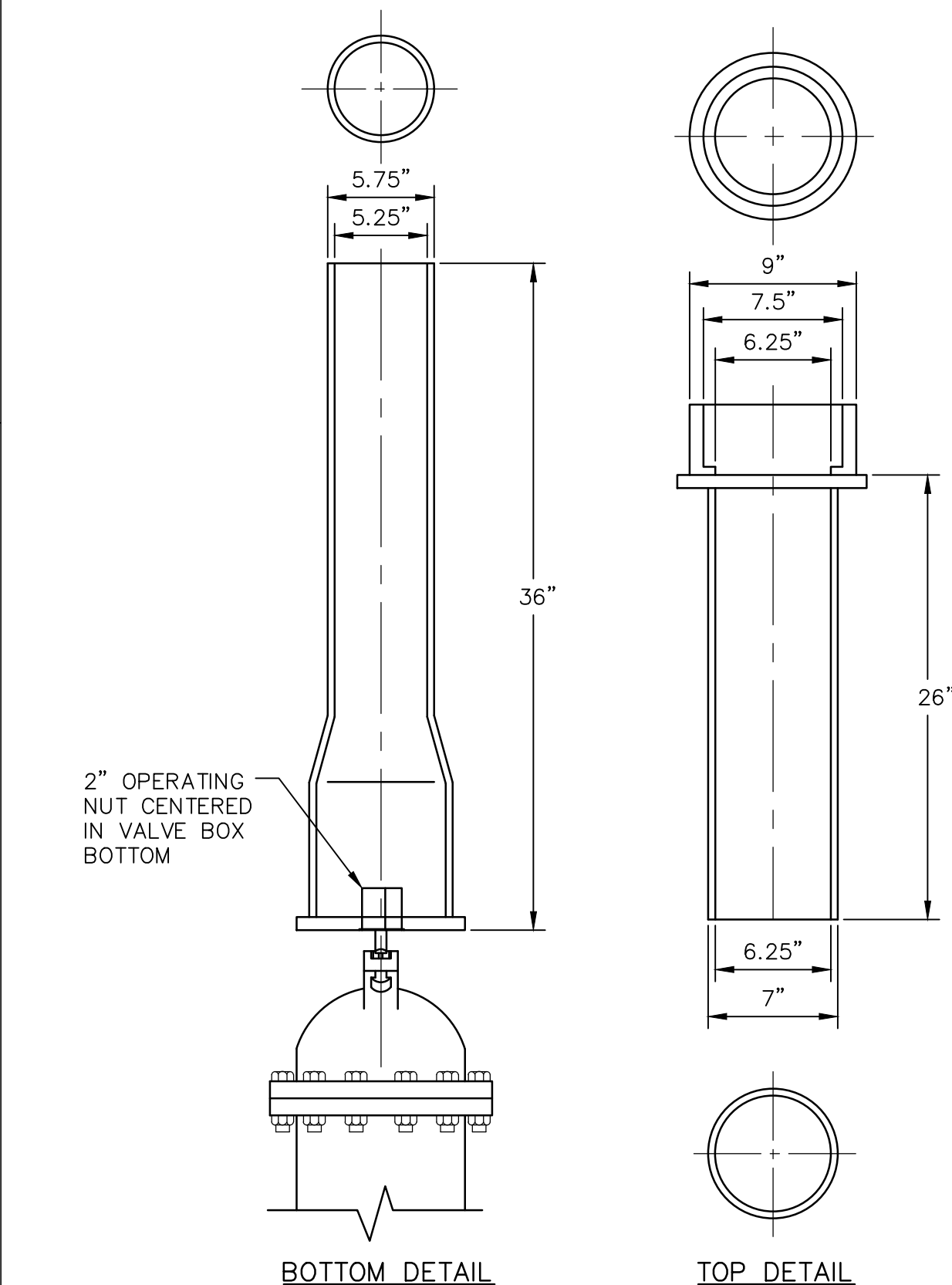
TYPICAL HYDRANT ASSEMBLY SECTION

NOT TO SCALE



DROP STYLE COVER

NOTE: COVER MUST BE MARKED "WATER"



GATE VALVE AND VALVE BOX

NOT TO SCALE

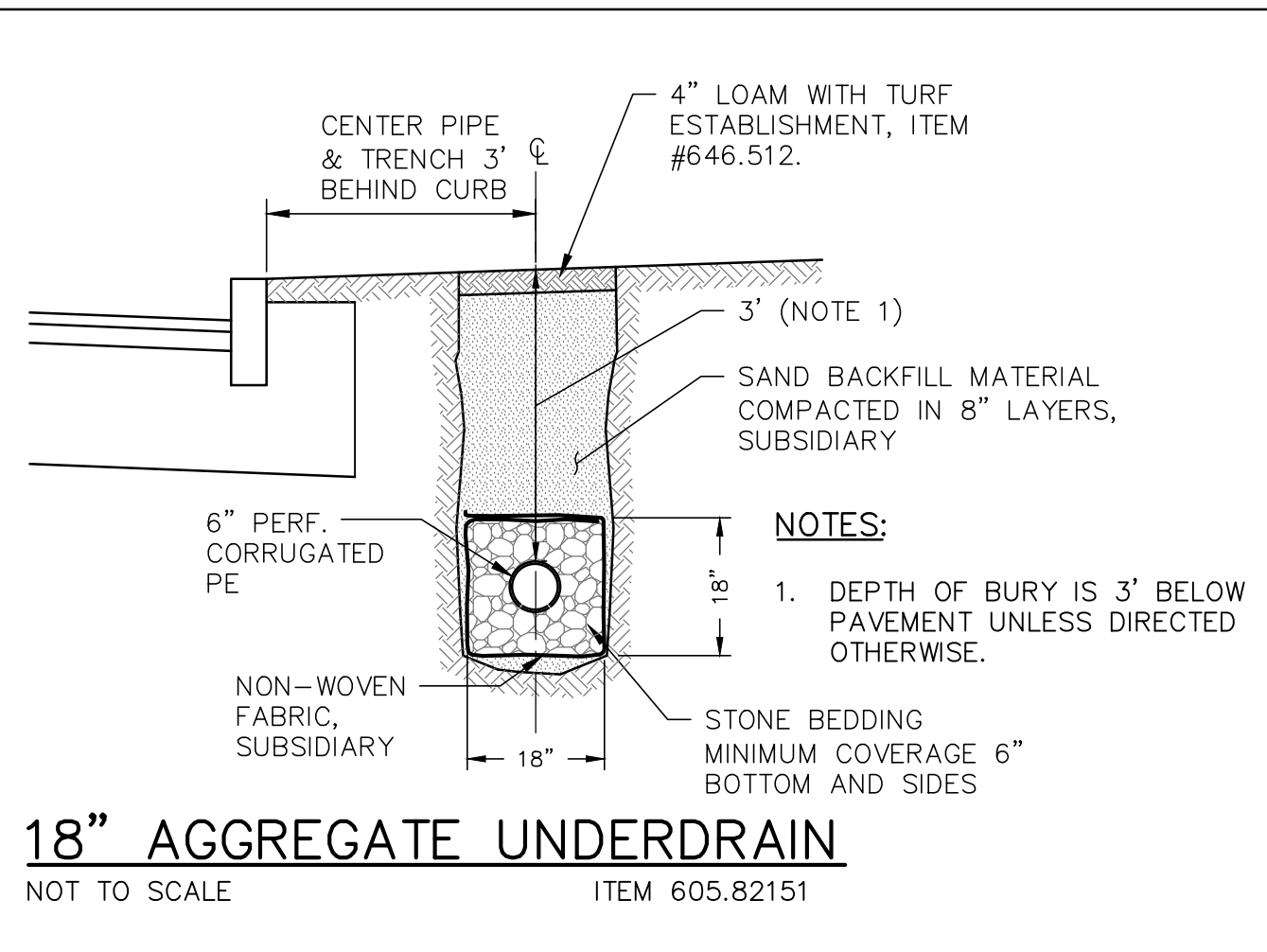
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WATER DETAILS	
WESTSIDE DRIVE FINAL DESIGN DRAINAGE, WATER & ROADWAY IMPROVEMENTS	
TOWN OF EXETER EXETER, NH	
DWG NO D1	SHEET 60 OF 64

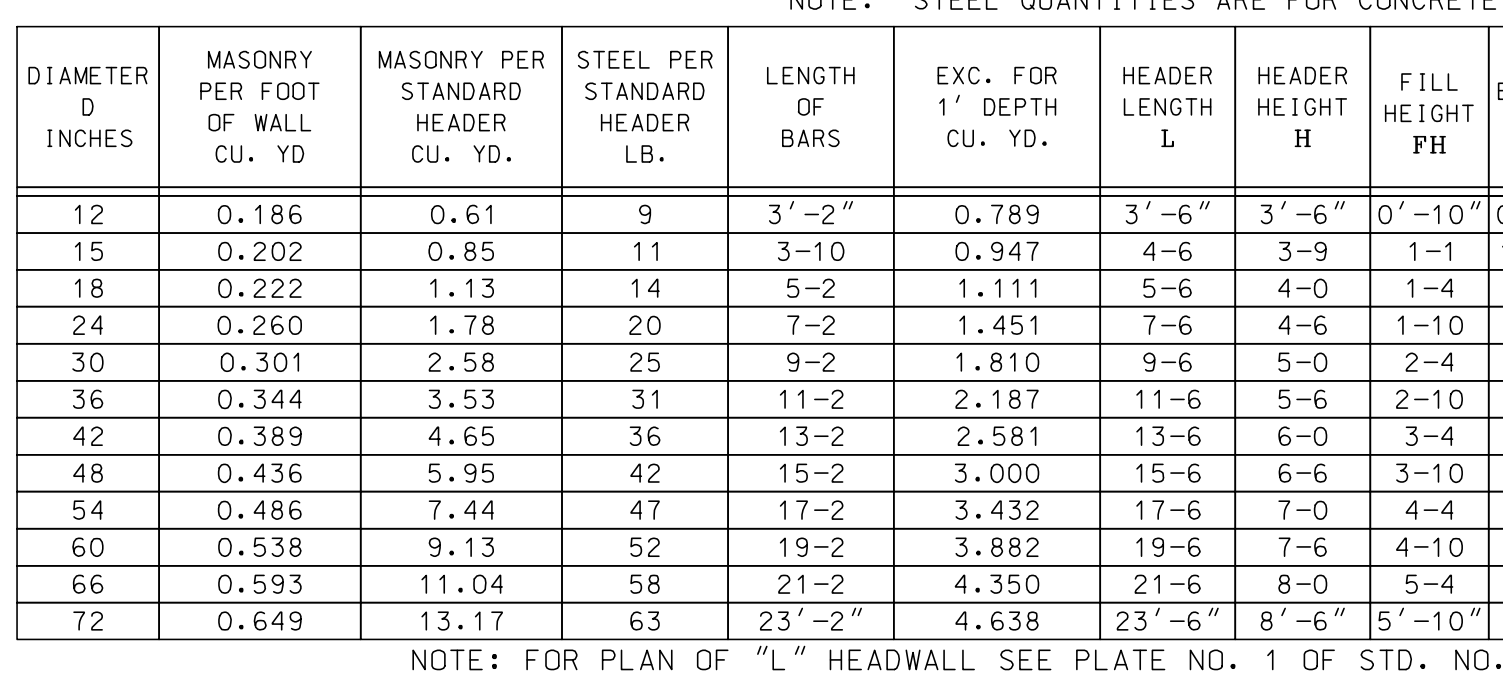
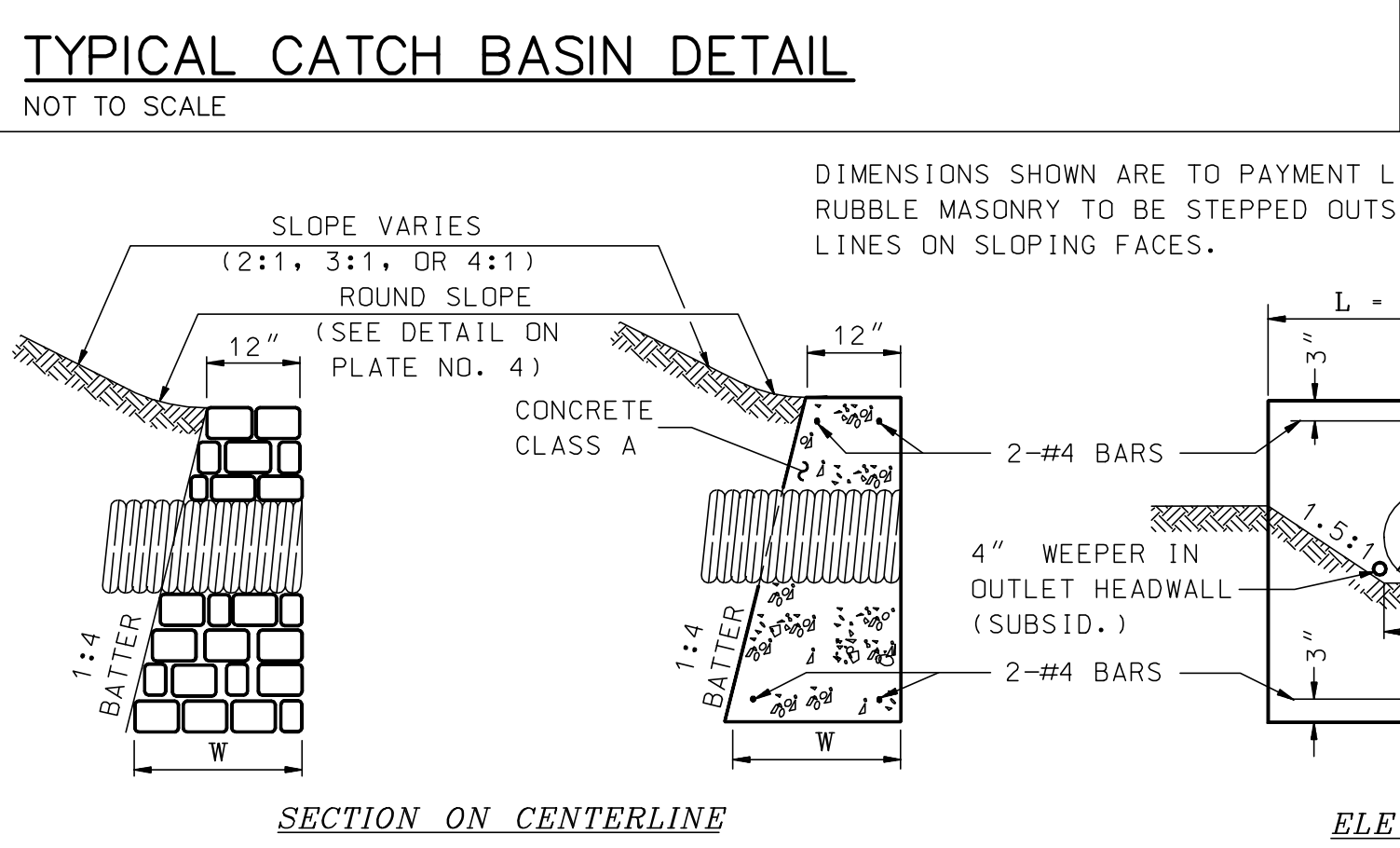
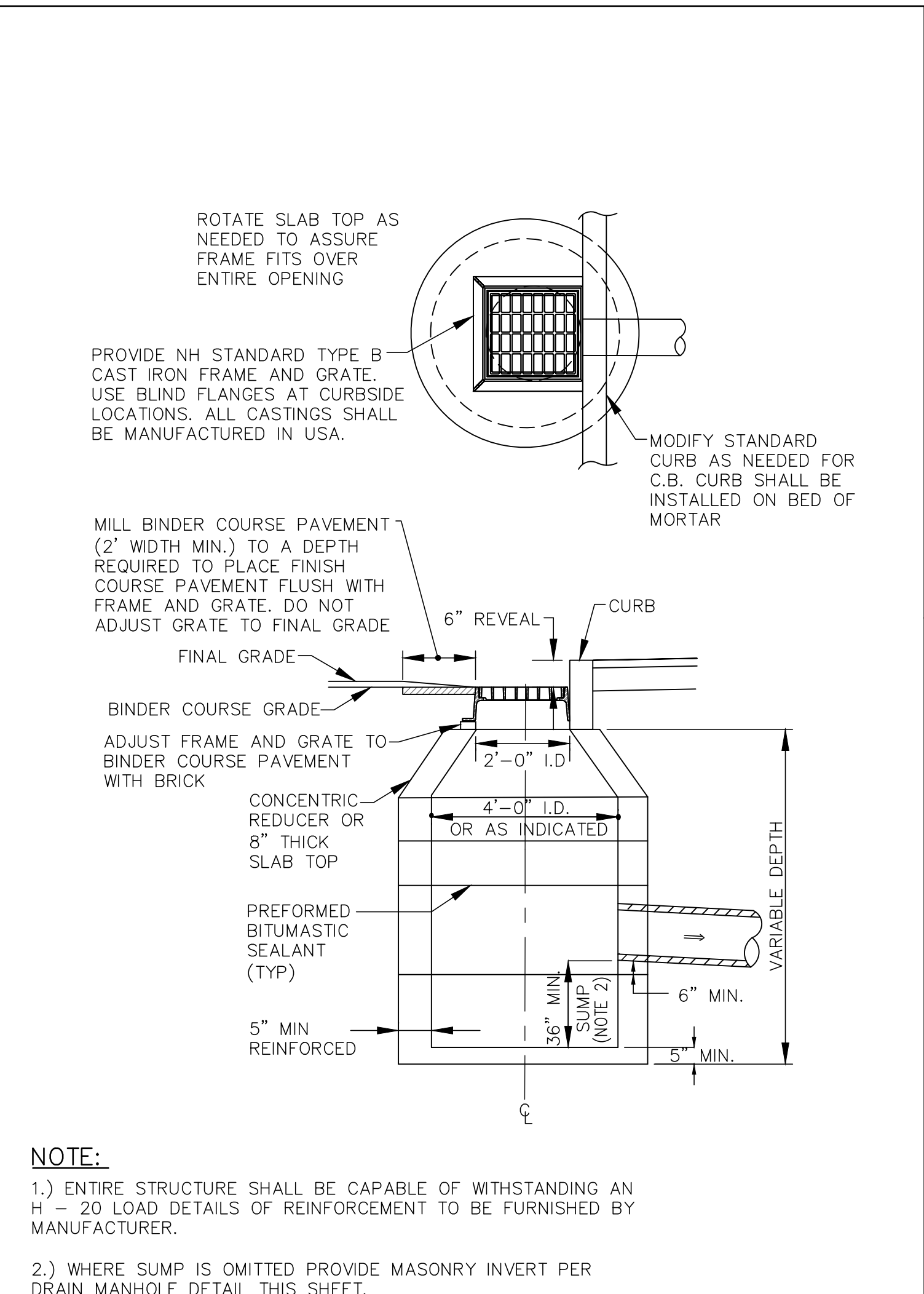
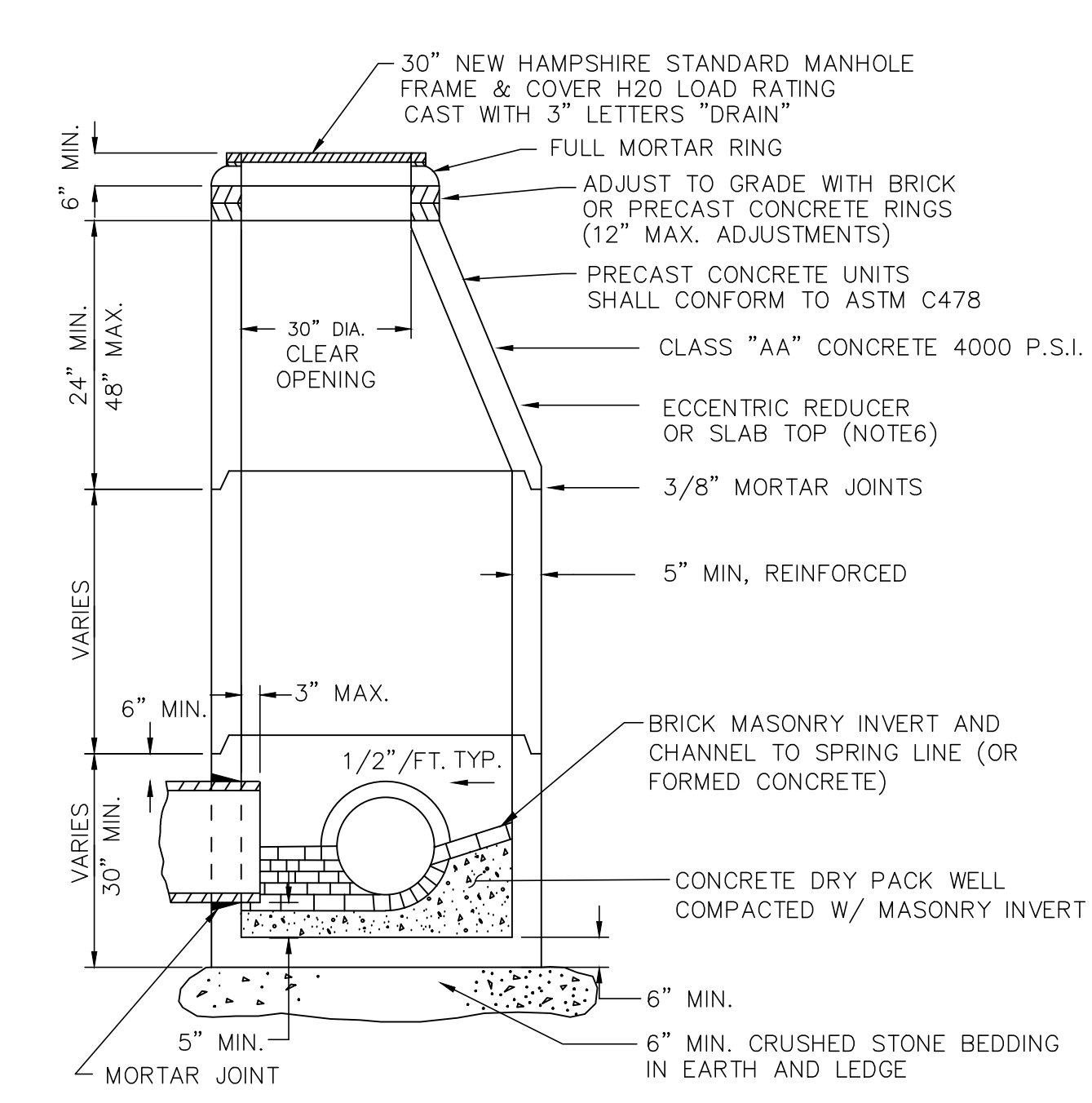
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STANDARD DRAIN MANHOLE NOTES:

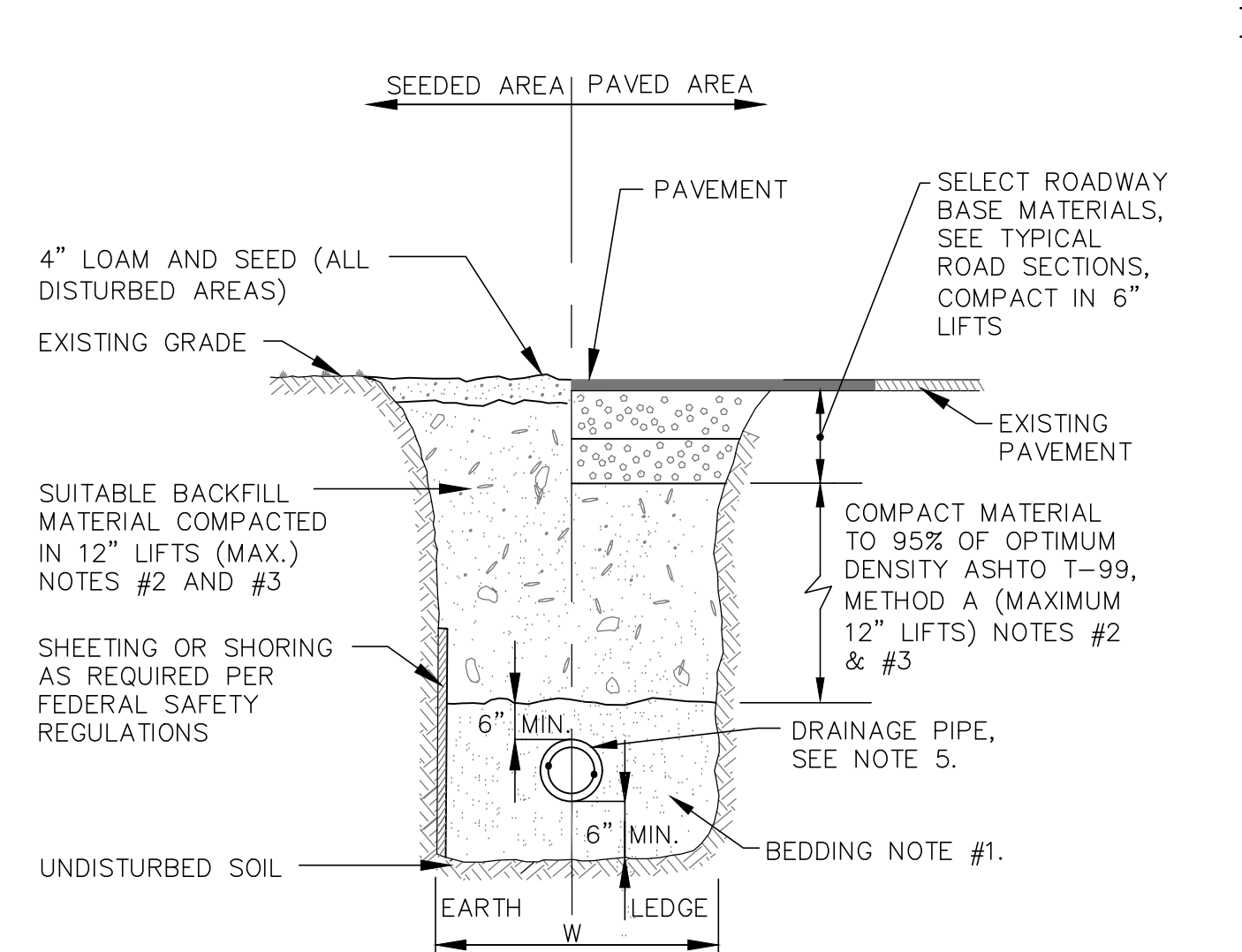
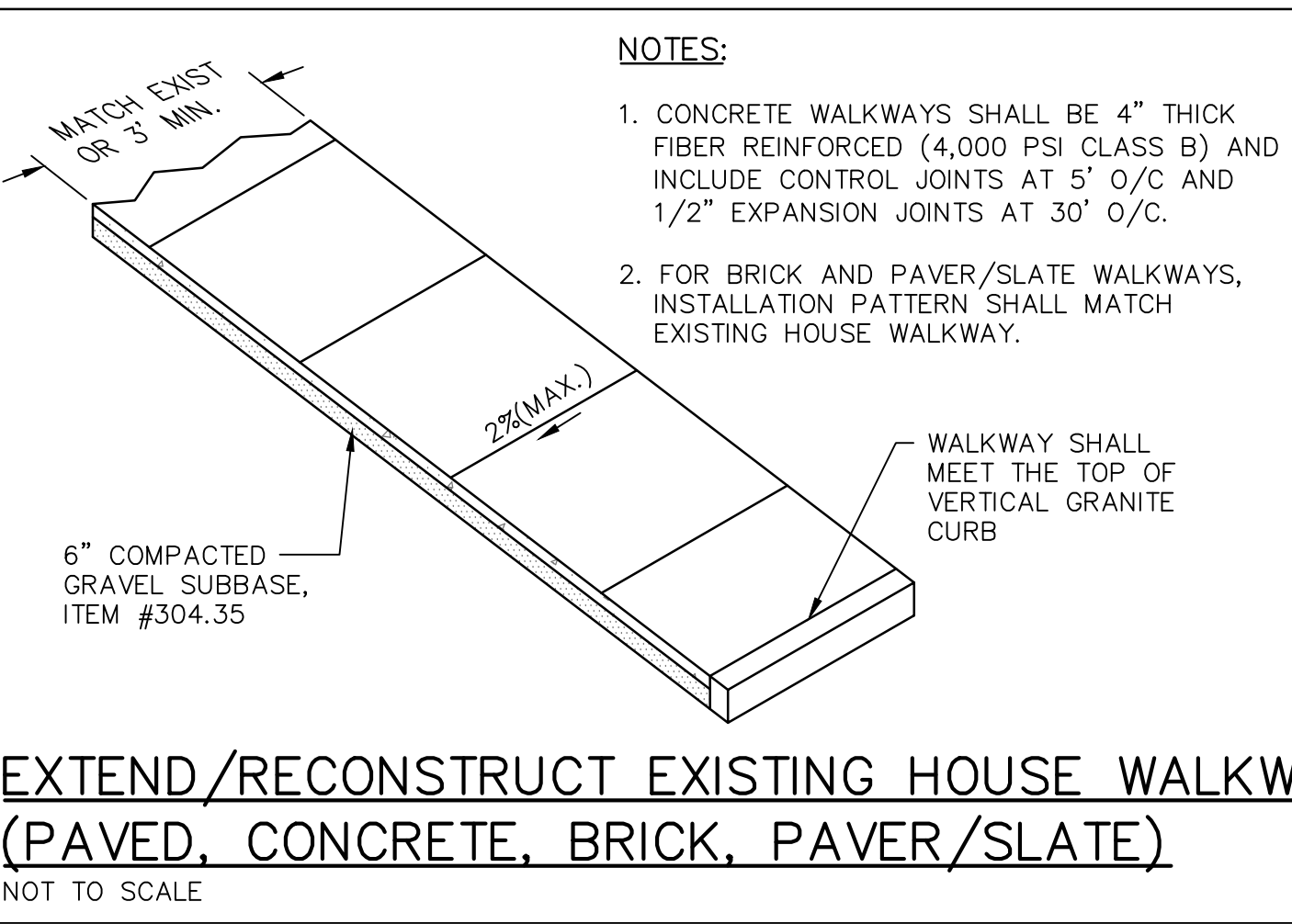
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE.
- PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C478.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT (OR FORMED CONCRETE), CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST POSSIBLE TANGENT TO THE CENTER LINE OF THE PIPES. SHELVES SHALL BE CONSTRUCTED TO AN ELEVATION OF 1/2 THE PIPE DIA. AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN MANUFACTURED IN USA, AND PROVIDE A 30-INCH CLEAR OPENING. WORD "DRAIN", IN 3-INCH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. FRAMES SHALL BE ADJUSTED 1/8 TO 1/4 INCH BELOW FINISH PAVEMENT GRADE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33. STONE SIZE NO. 67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20- 55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0- 5% PASSING #8 SIEVE
- SLAB TOP COVERS: MAY BE APPROVED IN LIEU OF A CONE SECTION, WHEN MANHOLE IS LESS THAN 5 FEET AND FOR LARGE DIAMETER MANHOLES: SLAB TOP COVERS SHALL BE REINFORCED CONCRETE HAVING AN ECCENTRIC ENTRANCE AND CAPABLE OF SUPPORTING H-20 LOADS.

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH OR USE OF GEOGRID FABRIC (ITEM 1.8B) MAY BE REQUIRED.



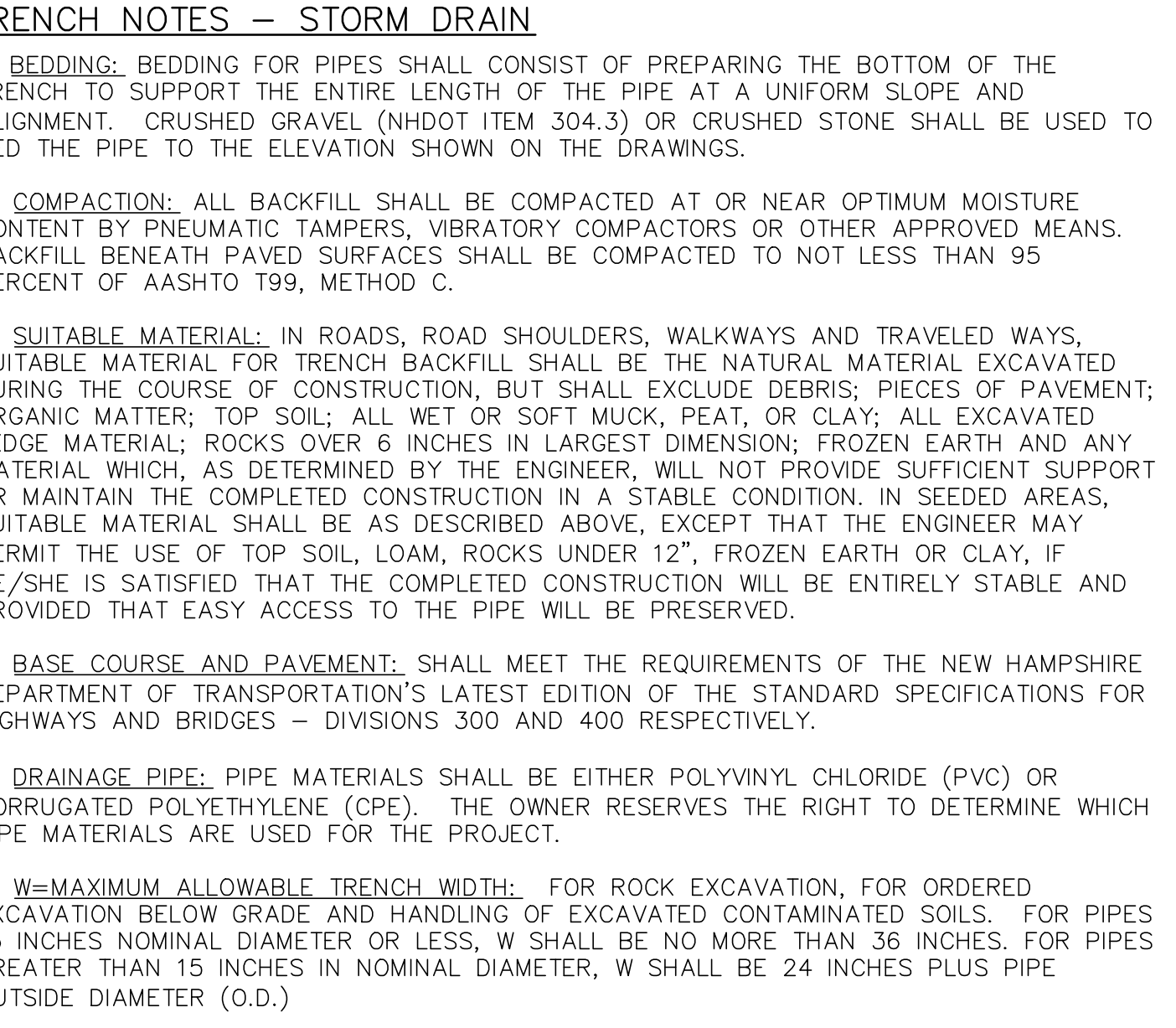
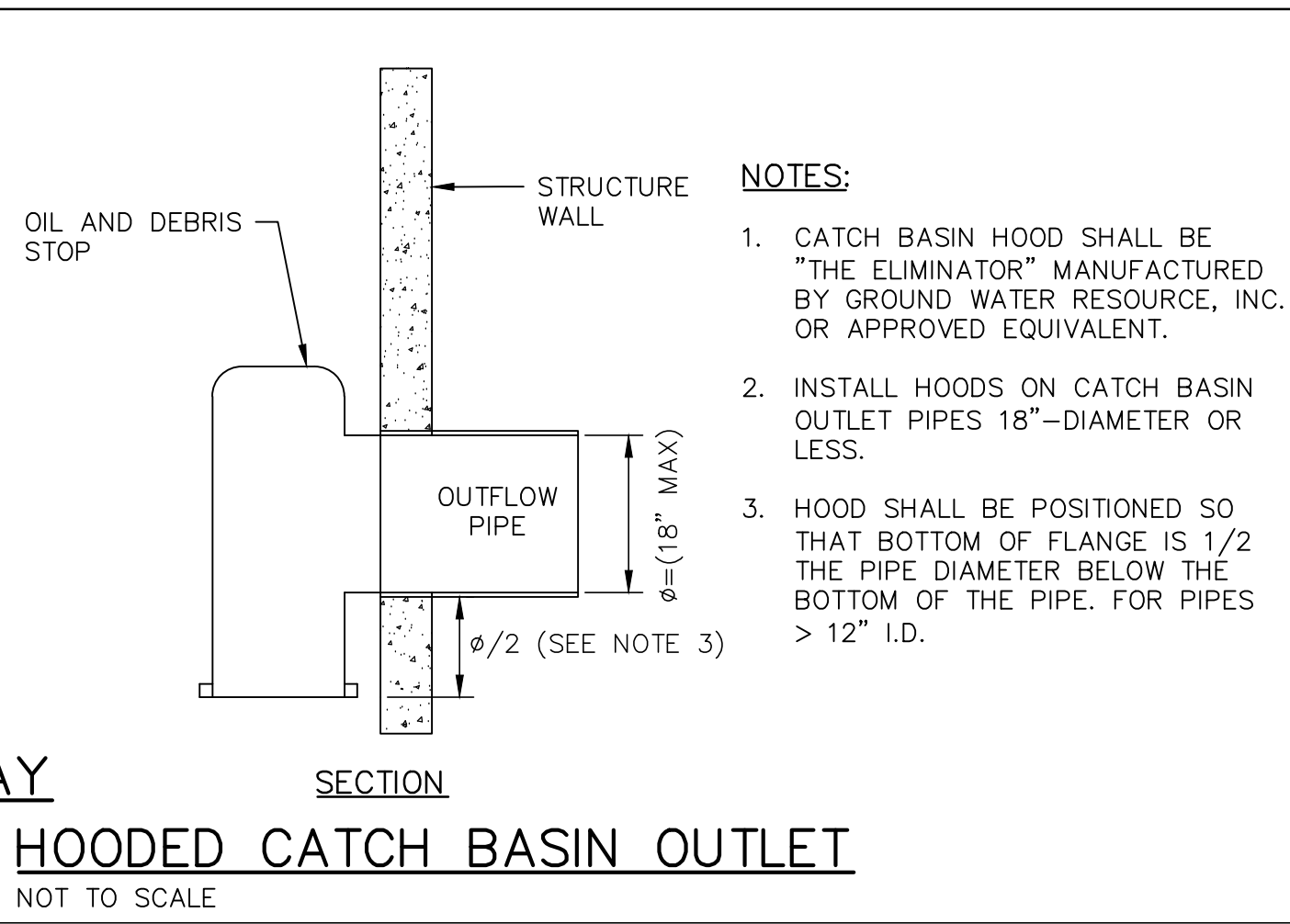
NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

DIAMETER D INCHES	MASONRY PER FOOT OF WALL CU. YD.	MASONRY PER STANDARD HEADER CU. YD.	STEEL PER STANDARD HEADER LB.	LENGTH OF BARS	EXC. FOR 1' DEPTH CU. YD.	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	MASONRY IN CORNER FRUSTUM CU. YD.	EXC. FOR 1' DEPTH CU. YD.
12	0.186	0.61	9	3'-2"	0.789	3'-6"	3'-6"	0'-10"	0'-10 1/2"	0.28	1.057
15	0.202	0.85	11	3-10	0.947	4-6	3-9	1-1	1-11 1/4	0.31	1.232
18	0.222	1.13	14	5-2	1.111	5-6	4-0	1-4	2-0	0.35	1.406
24	0.260	1.78	20	7-2	1.451	7-6	4-6	1-10	2-1 1/2	0.42	1.776
30	0.301	2.58	25	9-2	1.810	9-6	5-0	2-4	2-3	0.51	2.164
36	0.344	3.53	31	11-2	2.187	11-6	5-6	2-10	2-4 1/2	0.61	2.572
42	0.389	4.65	36	13-2	2.581	13-6	6-0	3-4	2-6	0.72	3.000
48	0.436	5.95	42	15-2	3.000	15-6	6-6	3-10	2-7 1/2	0.84	3.447
54	0.486	7.44	47	17-2	3.432	17-6	7-0	4-4	2-9	0.98	3.914
60	0.538	9.13	52	19-2	3.882	19-6	7-6	4-10	2-10 1/2	1.12	4.401
66	0.593	11.04	58	21-2	4.350	21-6	8-0	5-4	3-0	1.28	4.907
72	0.649	13.17	63	23'-2"	4.838	23'-6"	8'-6"	5'-10"	3'-1 1/2"	1.46	5.433



TRENCH NOTES - STORM DRAIN

- BEDDING:** BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED GRAVEL (NHDOT ITEM 304.3) OR CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS.
- COMPACTION:** ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF AASHTO T99, METHOD C.
- SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6 INCHES IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN SEEDED AREAS, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, ROCKS UNDER 12", FROZEN EARTH OR CLAY, IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE PIPE WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT:** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- DRAINAGE PIPE:** PIPE MATERIALS SHALL BE EITHER POLYVINYL CHLORIDE (PVC) OR CORRUGATED POLYETHYLENE (CPE). THE OWNER RESERVES THE RIGHT TO DETERMINE WHICH PIPE MATERIALS ARE USED FOR THE PROJECT.
- W=MAXIMUM ALLOWABLE TRENCH WIDTH:** FOR ROCK EXCAVATION, FOR ORDERED EXCAVATION BELOW GRADE AND HANDLING OF EXCAVATED CONTAMINATED SOILS. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.).



DRAINAGE DETAILS

WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

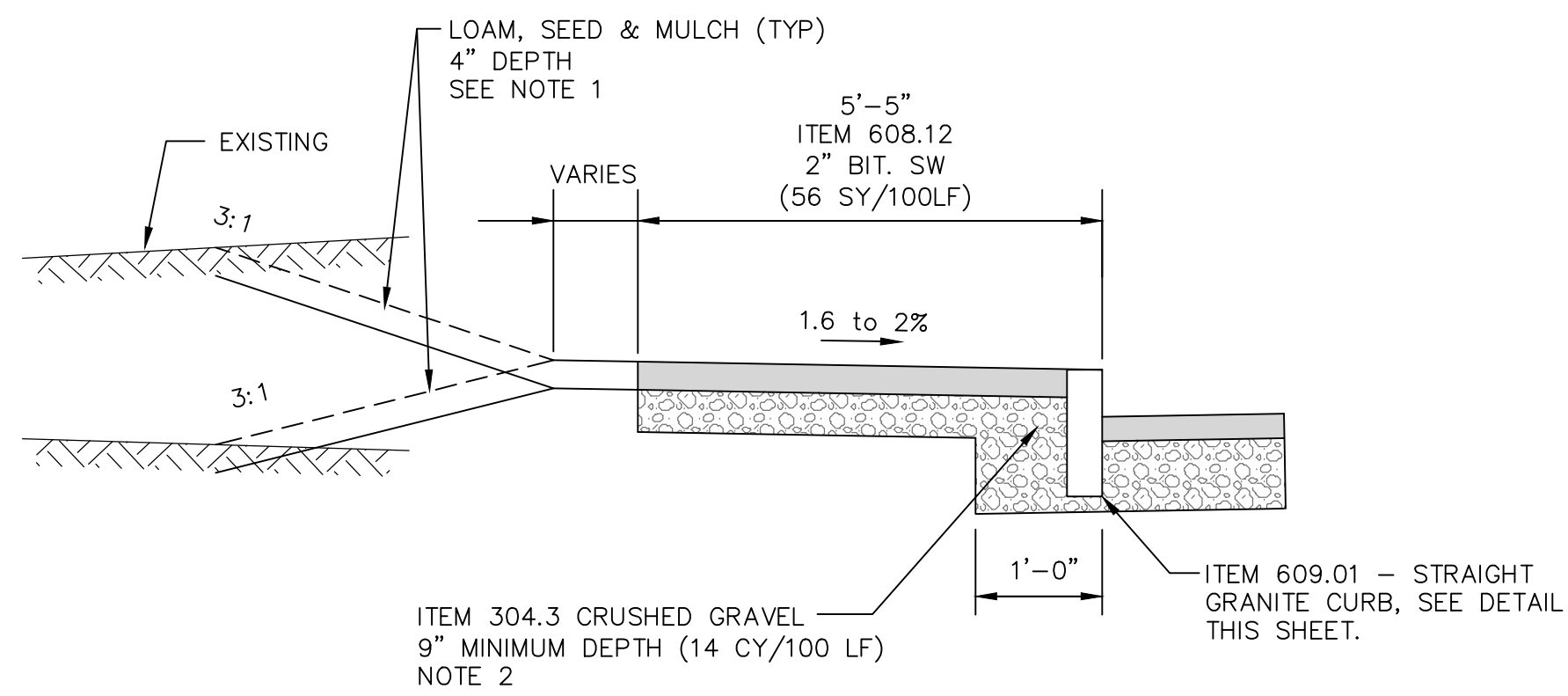
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Drawn/Chk. RING DLR Checked RJS Approved Date: 11/27/2024 Book No. Project No. 2873 Dwg. ID. 2873-Details Scale AS SHOWN

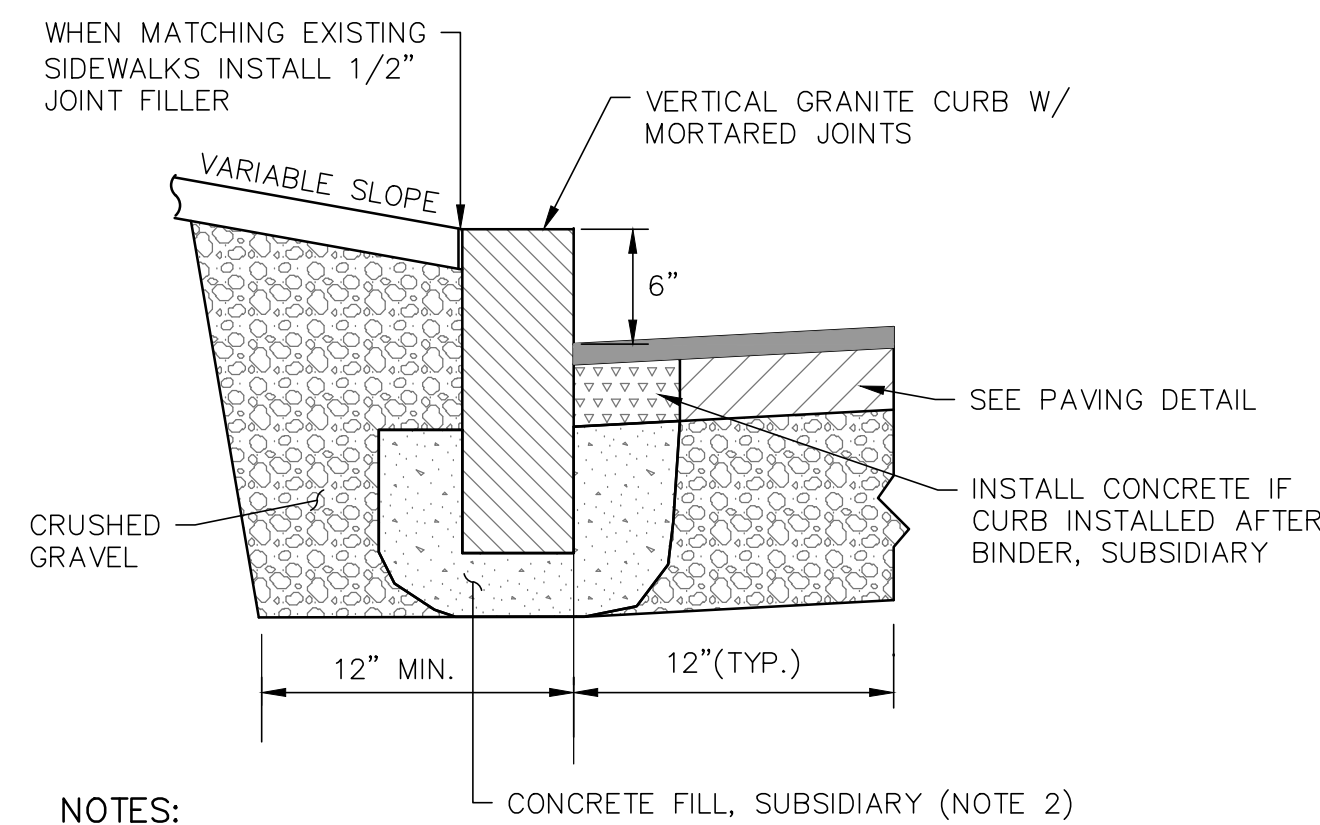
DWG NO D2 SHEET 61 OF 64



NOTES:

- TURF ESTABLISHMENT WILL NOT BE MEASURED FOR PAY BUT PAYMENT WILL BE THE AMOUNT INCLUDED IN THE BASE BID, ITEM 646.512.
- CRUSHED GRAVEL FOR SIDEWALK WILL BE MEASURED FOR PAYMENT, BASED ON THE SPECIFIED MINIMUM DEPTH (14 CY/100 LF). CONTRACTOR MAY USE SURPLUS RECLAIMED MATERIAL OR OTHER GRANULAR FILL MATERIAL FROM EXCAVATIONS TO SUPPLEMENT WHERE NEEDED. (SEE SECTIONS).

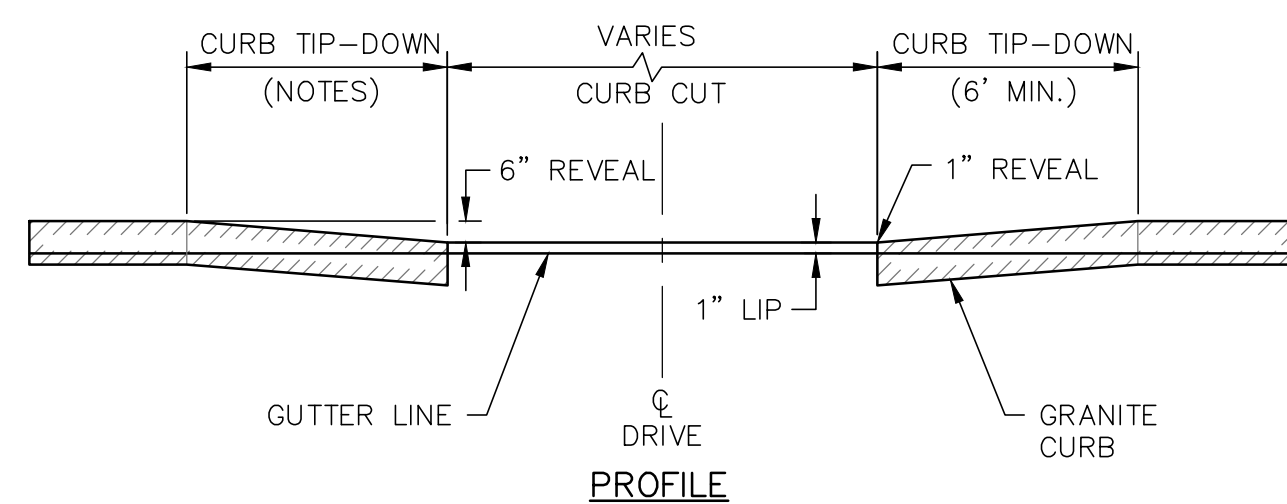
BITUMINOUS SIDEWALK DETAIL
NOT TO SCALE



NOTES:

- DAMAGED OR IMPACTED CURB (WHETHER GRANITE OR CONCRETE) IS TO BE REPLACED AT THE CONTRACTOR'S OWN EXPENSIVE, UNLESS OTHERWISE NOTED ON PLAN.
- CLASS AA CONCRETE FILL SHALL BE PLACED IN VOIDS IN FRONT, BEHIND, AND BELOW CURBING PRIOR TO INSTALLATION OF GRAVEL BACKING AND FINISH GRADE WEARING COURSE PAVEMENT.

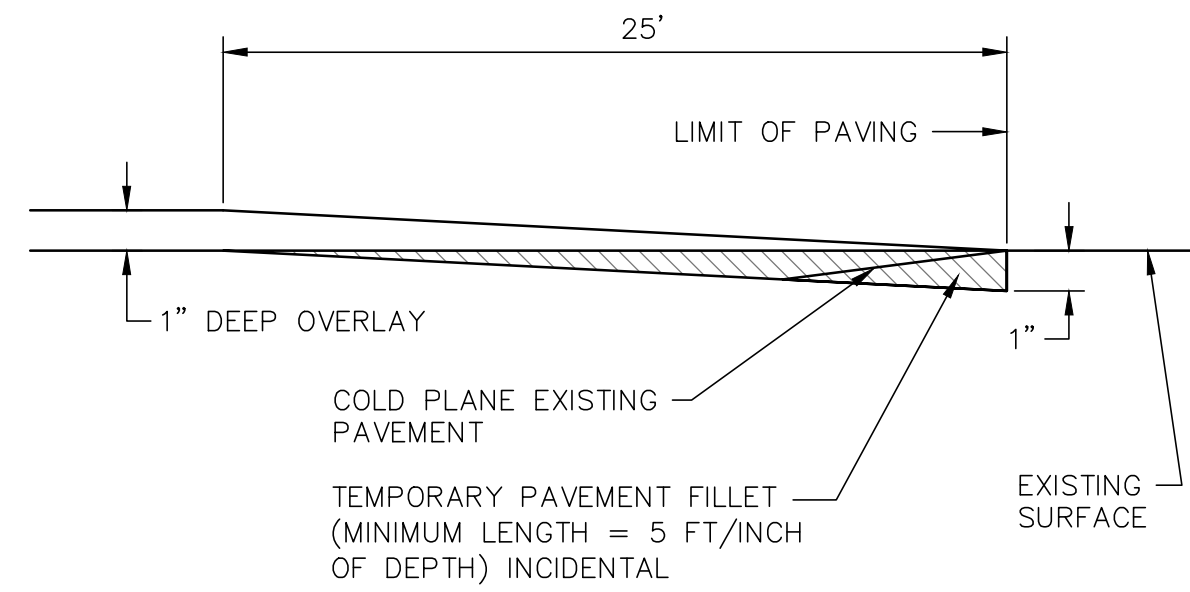
VERTICAL GRANITE CURB (NEW OR RESET)
NOT TO SCALE



DRIVEWAY NOTES:

- PAVEMENT & GRAVEL DEPTHS FOR RESIDENTIAL DRIVES SHALL BE 8" CRUSHED GRAVEL WITH 3" H.B.P. (HAND METHOD) SINGLE COURSE.
- CURBING CAN BE FLARED TO FIT DRIVE RADII IF APPROPRIATE OR ENDED AS DETAILED ABOVE.
- DRIVEWAY CURB CUTS SHALL MATCH EXISTING APRON WIDTHS UNLESS OTHERWISE DIRECTED.
- FOR UNPAVED DRIVES, THE PAVED APRON NORMALLY ENDS AT THE RADIUS TANGENT POINT OR 2 FEET BEYOND SIDEWALK.
- CURB TIP-DOWN VARIES (8% MAX SLOPE). CURB TAPERS AND CURB CUTS SHALL BE MARKED ON THE GROUND AND REVIEWED WITH THE OWNER'S REPRESENTATIVES IN ADVANCE.

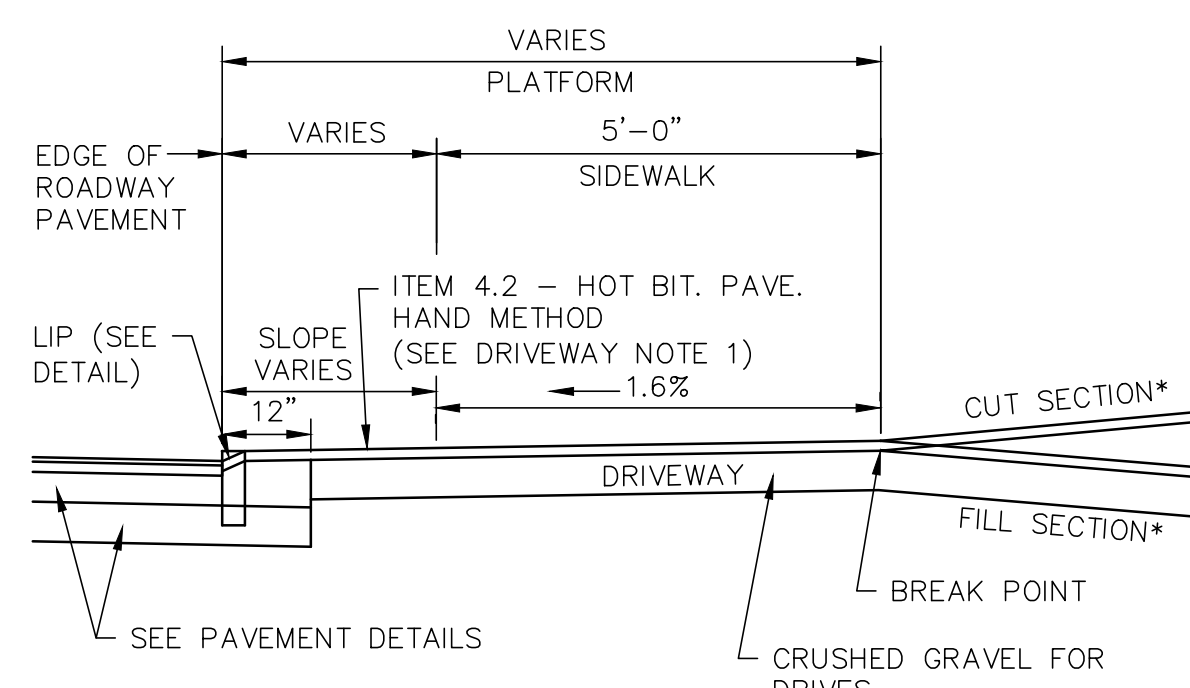
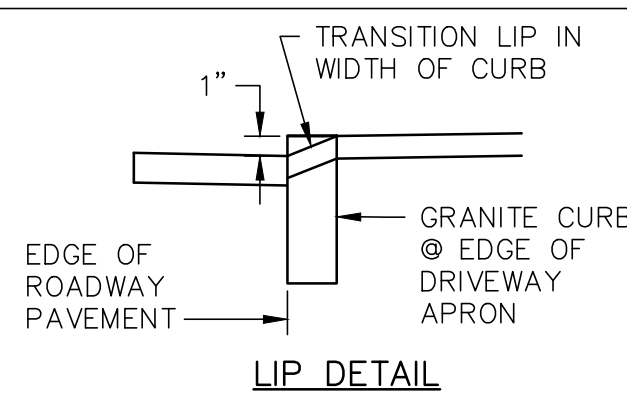
DRIVEWAY APRON CURB CUT
NOT TO SCALE



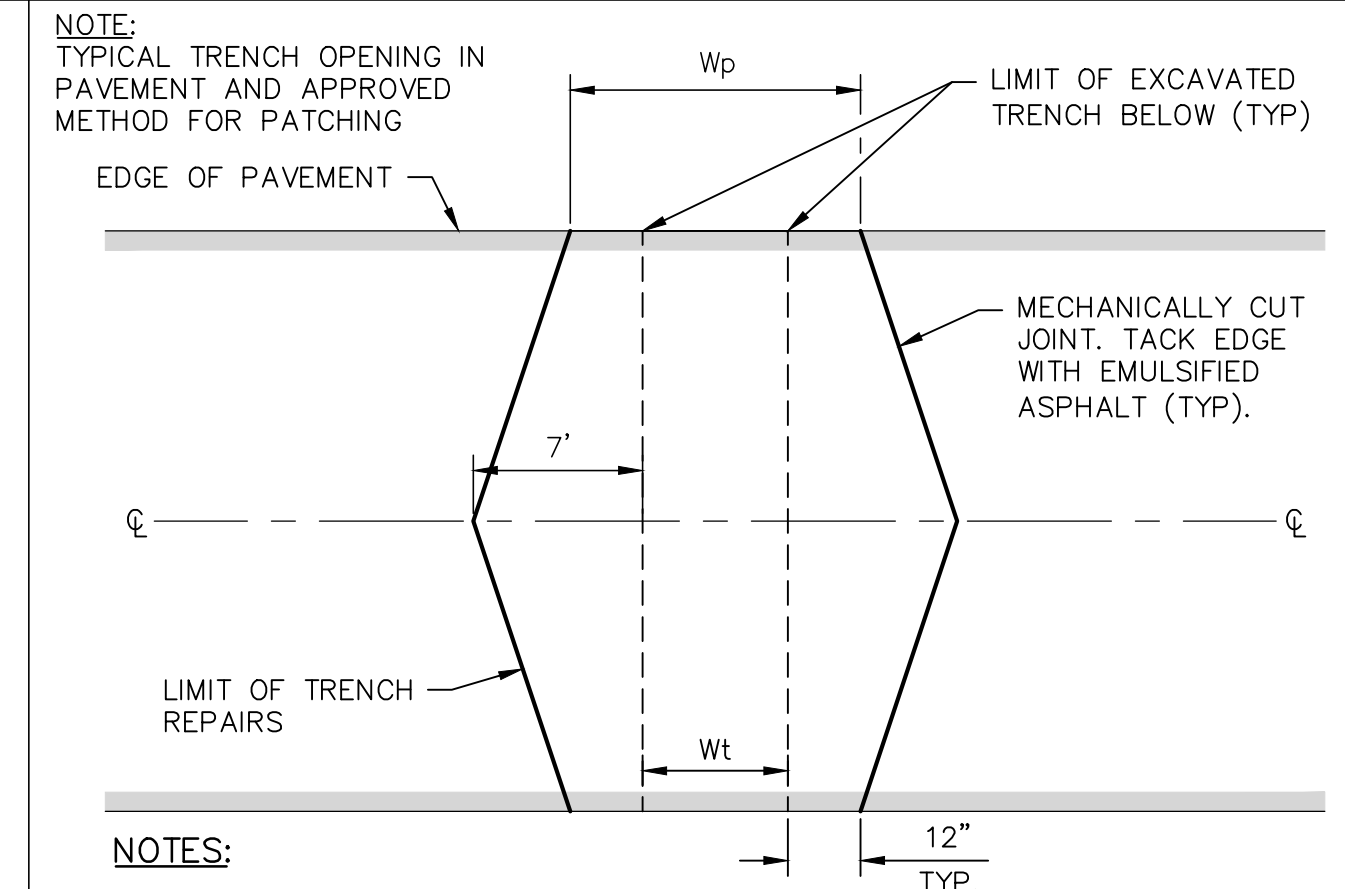
NOTES:

- THE LENGTH OF THE TAPER MAY BE ADJUSTED AS ORDERED TO PROVIDE FOR VARYING FIELD CONDITIONS OR CHANGES IN SINGLE COURSE DEPTH.

OVERLAY PAVEMENT MATCH
NOT TO SCALE



DRIVEWAY PROFILE AT SIDEWALK
NOT TO SCALE



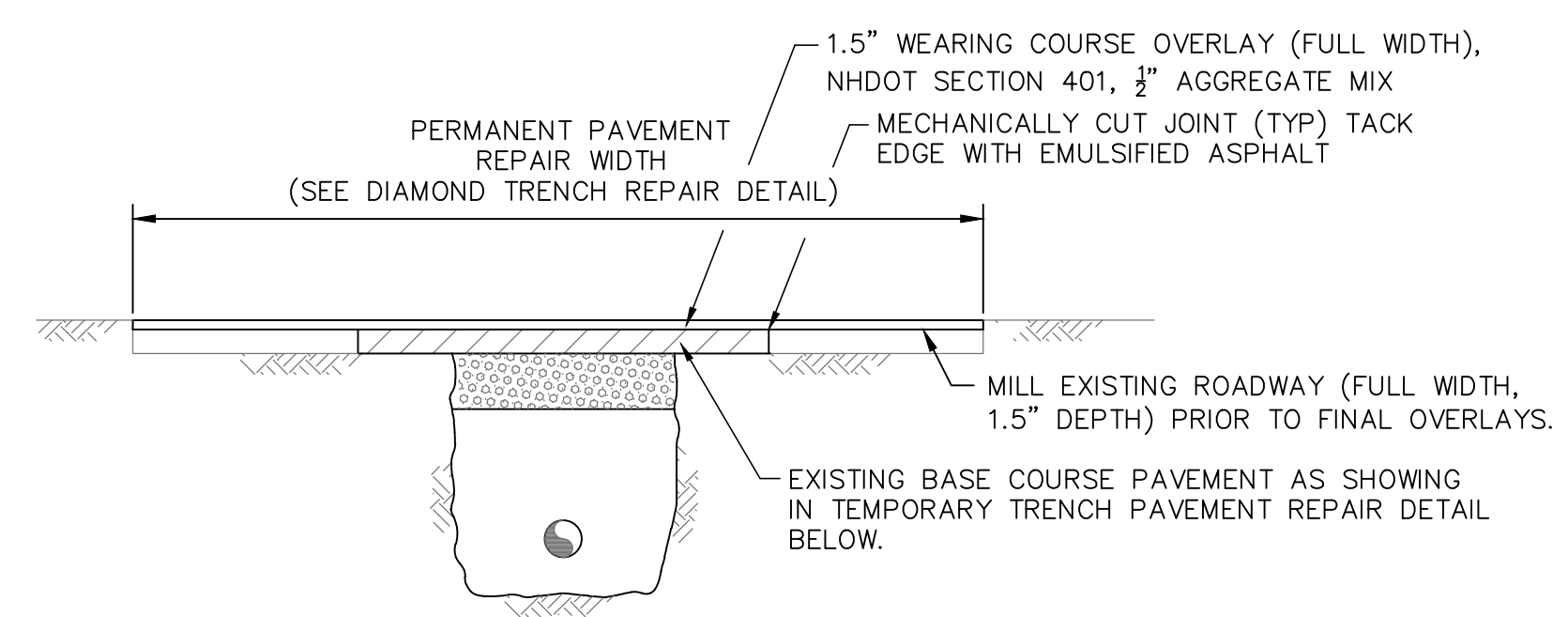
NOTES:

SEE PERMANENT TRENCH REPAIRS FOR THICKNESS REQUIREMENTS FOR GRAVELS AND BITUMINOUS PAVEMENTS.

TYPICAL DIAMOND TRENCH PATCH DETAIL
NOT TO SCALE

NOTES:

- ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
- BINDER COURSE PAVEMENT EDGES SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
- WEARING COURSE PAVEMENT EDGES SHALL BE DEFINED BY A MILLED EDGE.
- SUBGRADE MATERIAL SHALL BE BACKFILLED WITH GRANULAR FILL AND COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY.
- BACKFILL MATERIAL TO BE USED SHALL MATCH EXISTING BUT IN NO CASE SHALL BE LESS THAN 4" TOTAL THICKNESS.
- PAVEMENT THICKNESS SHALL MATCH EXISTING BUT IN NO CASE SHALL BE LESS THAN 4" TOTAL THICKNESS.
- PAVEMENT SHALL BE PLACED IN TWO PHASES.
 - THE FIRST PHASE SHALL CONSIST OF CUTTING BACK THE FULL DEPTH OF PAVEMENT 12" BEYOND THE EDGES OF THE DISTURBED TRENCH AND PAVING A BINDER COURSE THE FULL DEPTH OF THE PAVEMENT AS TO BRING THE PATCH FLUSH WITH THE EXISTING ROAD SURFACE.
 - THE SECOND PHASE SHALL BE CONDUCTED THE FOLLOWING YEAR AND SHALL CONSIST OF MILLING THE FULL ROAD WIDTH TO A DEPTH OF 1.5". 1.5" WEARING COURSE PAVEMENT SHALL BE USED TO CREATE A SMOOTH SURFACE WITH THE ROADWAY OVER THE EXTENTS OF THE MILLED AREA.
- ANY EXCAVATION WITHIN A CITY RIGHT-OF-WAY REQUIRES PRE-APPROVAL BY DPW AND IS SUBJECT TO INSPECTION TO ENSURE COMPLIANCE WITH CITY STANDARDS.
- WEARING COURSE PAVEMENT EDGES SHALL BE DEFINED BY A MILLED EDGE.
- CRUSHED GRAVEL SHALL BE PLACED AT 12" MIN. DEPTH OR MATCH EXISTING, WHICHEVER IS GREATER.



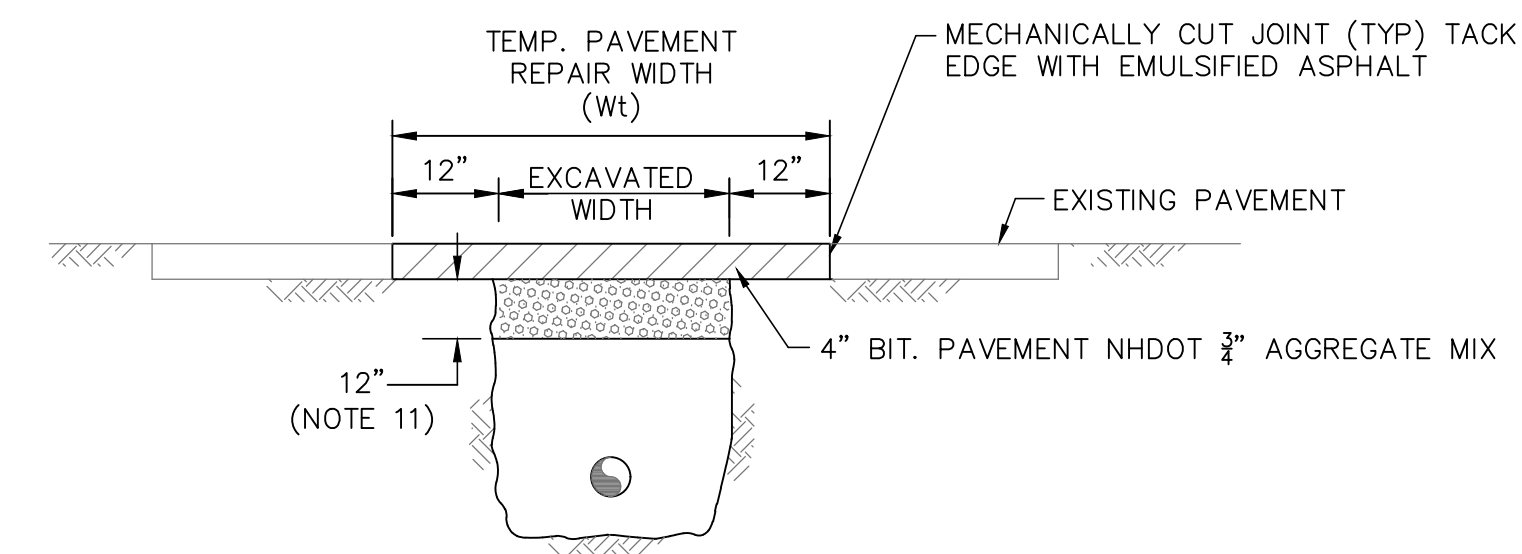
PERMANENT TRENCH PAVEMENT REPAIRS

NOTE:

THE DIMENSIONS SHOWN SHALL BE CONSIDERED MAXIMUM PAVEMENT PAYMENT WIDTHS FOR 0'-10' DEEP CONSTRUCTION. Wt SHALL BE INCREASED BY 4'-0" FOR TRENCHES 10' TO 15' AND BY 8'-0" FOR TRENCHES 15' TO 20' IN DEPTH.

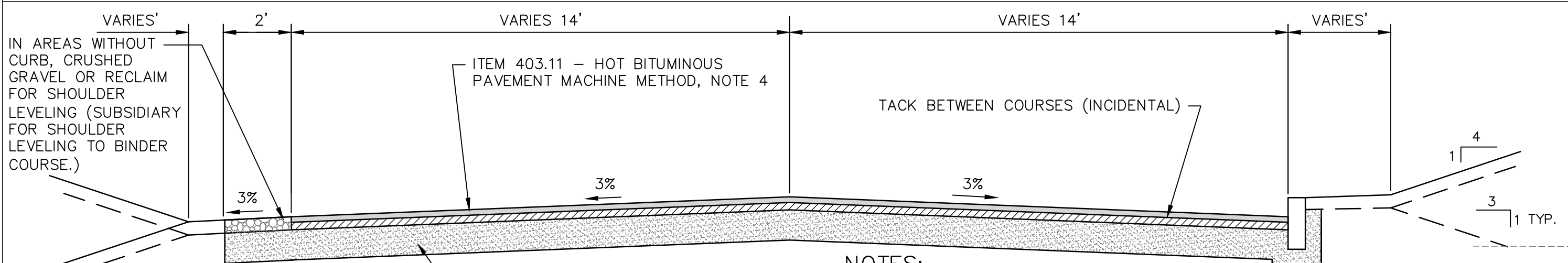
MINIMUM TRENCH PAVEMENT WIDTHS

PIPE I.D.	Wt (INCHES)
8-18 INCHES	72



TEMPORARY TRENCH PAVEMENT REPAIR

PAVEMENT REPAIR DETAIL
NOT TO SCALE



NOTES:

- ADDITIONAL STONE (NHDOT#357) WILL BE PAID AS ITEM 4.10. BLENDING CRUSHED STONE AND GRADING RECLAIMED BASE IS SUBSIDIARY TO ITEM 4.4.12.
- ITEM 6.20, TURF ESTABLISHMENT W/ LOAM (4" INCHES), MULCH & TACKIFIERS.
- SEE DETAIL SHEET D2 FOR TYPICAL DITCH DETAIL FOR LOCATIONS WHERE DITCHES OR INFILTRATION TRENCHES ARE SHOWN.
- NOMINAL PAVED THICKNESS FOR OLD DOVER ROAD SHALL BE 5", 3.5" BINDER COURSE (NHDOT 3/4" MIX) SINGLE LIFT AND 1.5" WEARING COURSE (NHDOT 1/2" MIX). ALL OTHER ROADS SHALL BE 2" BINDER COURSE (3/4" NHDOT MIX) AND 1.5" WEARING COARSE (NHDOT 1/2" MIX).

TYPICAL SECTION - RECLAIMED STABILIZED BASE
NOT TO SCALE

ISSUE FOR	APPROVAL	By	Date
CONSTRUCTION			
RECORD DRAWING			

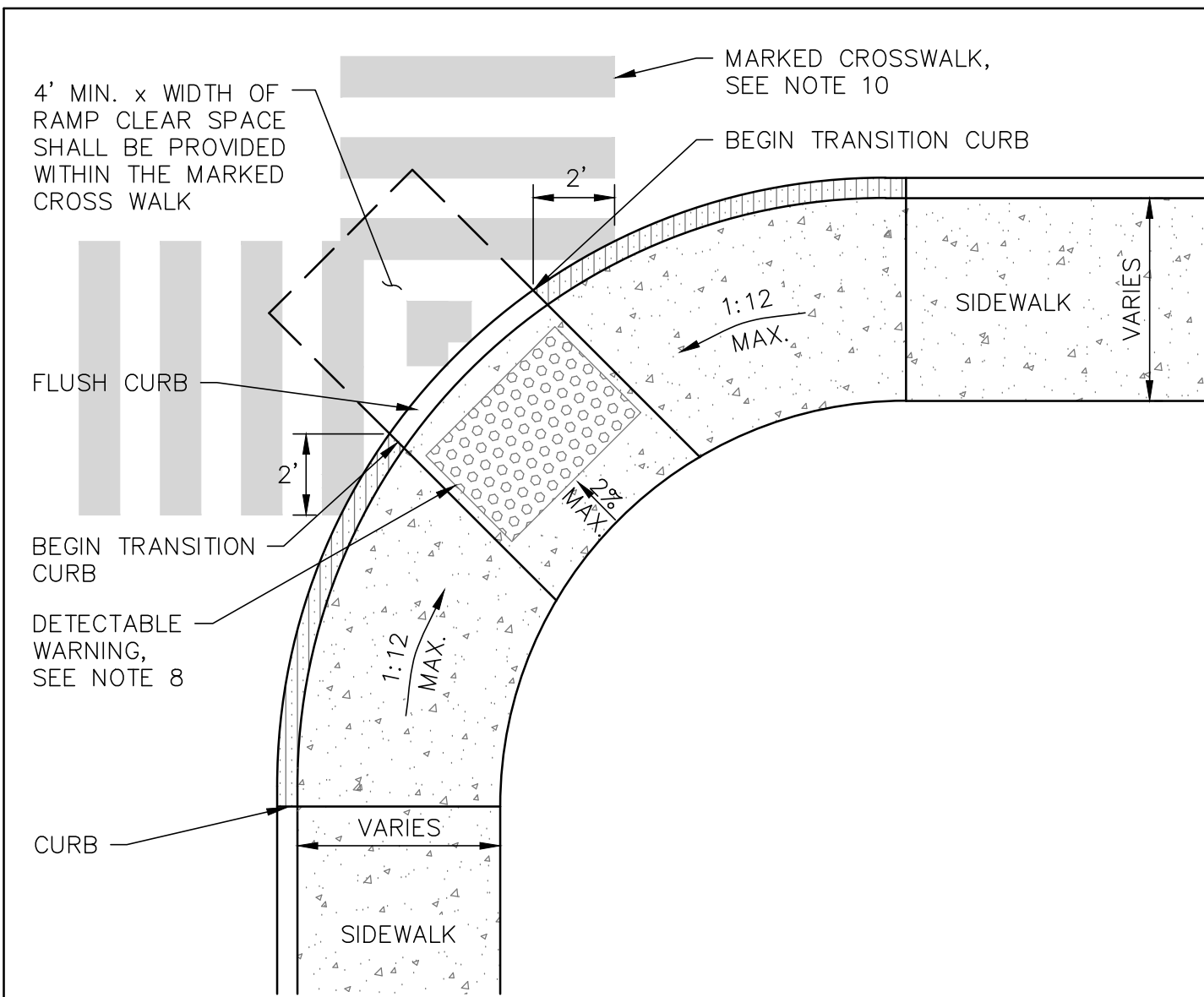
REVISIONS	NO.	DATE	BY

Drawn/Chk	RMS	AS SHOWN
Designed	DJR	
Checked	RUS	
Approved		
Date	11/27/2024	
Book No.		
Project No.	2873	
Dwg. ID	2873_Details	
Scale		

90% DESIGN
NOVEMBER, 2024
NOT FOR CONSTRUCTION

Underwood Engineers
25 Vaughan Mall, Portsmouth, N.H. 03801
Tel. 603-436-6192 Fax. 603-431-4733

ROAD DETAILS
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH



CURB RAMP NOTES:

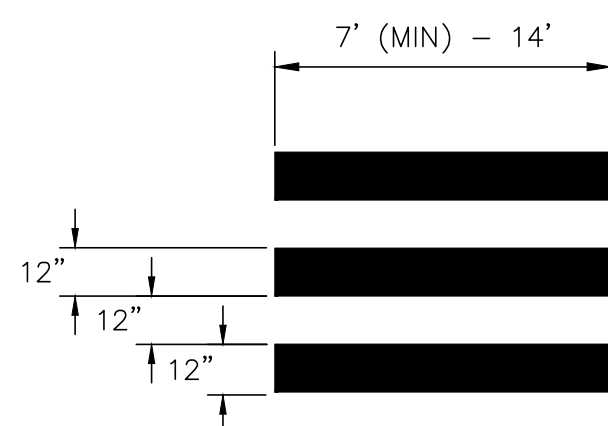
1. CURB RAMP AND FLARES SHALL BE CONSTRUCTED USING 6" THICK REINFORCED CONCRETE (4000 PSI, CLASS A), ITEM #608.36. SUBBASE SHALL CONSIST OF 6" THICK OF CRUSHED GRAVEL, ITEM #304.35.
2. RAMP WIDTH EQUALS WIDTH OF SIDEWALK, (4' MIN.).
3. MAX. SLOPE OF CURB RAMP SHALL BE 1:12.
4. LANDING SHALL HAVE A MAX. SLOPE OF 2% IN ANY DIRECTION. LANDINGS SHALL BE 5' LONG (MIN.) BY WIDTH OF SIDEWALK (4' MIN.).
5. MAX. CROSS SLOPE ON SIDEWALK, SHALL BE 2%.
6. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
7. INTERCEPT DRAINAGE ALONG THE CURB BEFORE CURB RAMP. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED AT BASE OF CURB RAMP OR IN LANDING.
8. DETECTABLE WARNING (TRUNCATED DOMES) SHALL BE FULL WIDTH OF CURB RAMP OR LANDING AND 24" MINIMUM IN THE DIRECTION OF TRAVEL. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN ROWS PERPENDICULAR TO DIRECTION OF TRAVEL. IN THIS ALIGNMENT, OFFSET EDGE OF DETECTABLE WARNING 6-8" FROM INSIDE FACE OF CURB IF POSSIBLE. COLOR PER LOCAL REQUIREMENTS AND SHALL VISUALLY CONTRAST ADJOINING WALKING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
9. PROVIDE ANY ADDITIONAL STATE AND LOCAL CURB RAMP REQUIREMENTS.
10. PROVIDE MARKED CROSSWALKS (SEE DETAIL THIS SHEET).

CORNER CURB RAMP – DOUBLE CROSSWALK

NOT TO SCALE

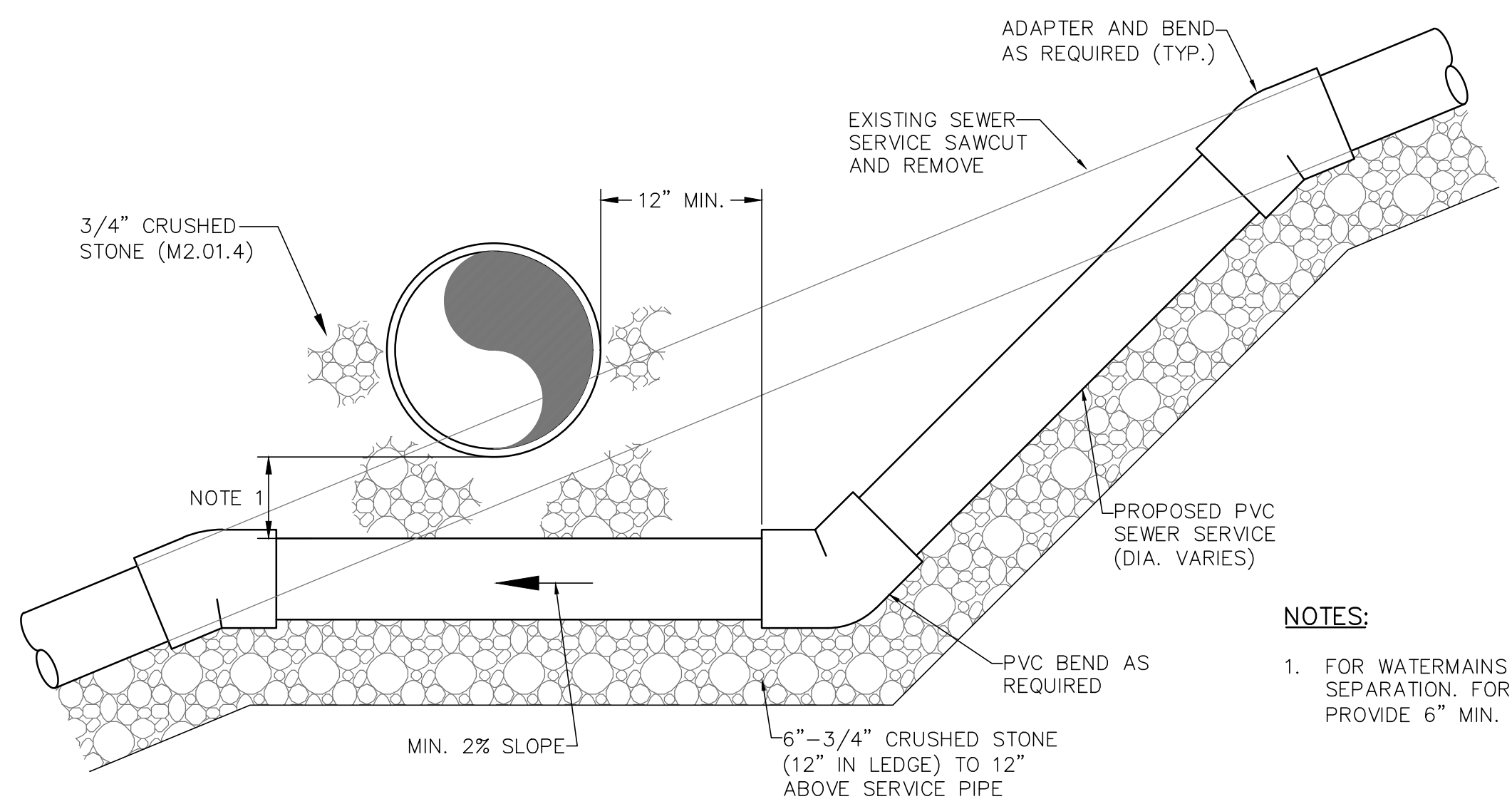
MARKED CROSSWALK NOTES:

1. EXISTING CROSSWALKS SHALL BE REPLACED AND PAINTED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. ITEM #632.0112.
2. CROSSWALKS SHALL EXTEND 1' FOOT PAST THE PARALLEL EDGE OF THE RAMP OR THE RAMP FLARE, WHICH EVER IS GREATER AND CONFORM TO THE LATEST MUTCD, ADA, AND STATE/LOCAL REQUIREMENTS.
3. WIDTH OF LINES SHALL BE 12" ± 1/4 INCH MAX.
4. SPACES BETWEEN LINES SHALL BE 12" ± 1/4 INCH MAX.
5. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 20 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED. OVERSPRAY SHALL BE KEPT TO ABSOLUTE MINIMUM.



MARKED CROSSWALK

NOT TO SCALE

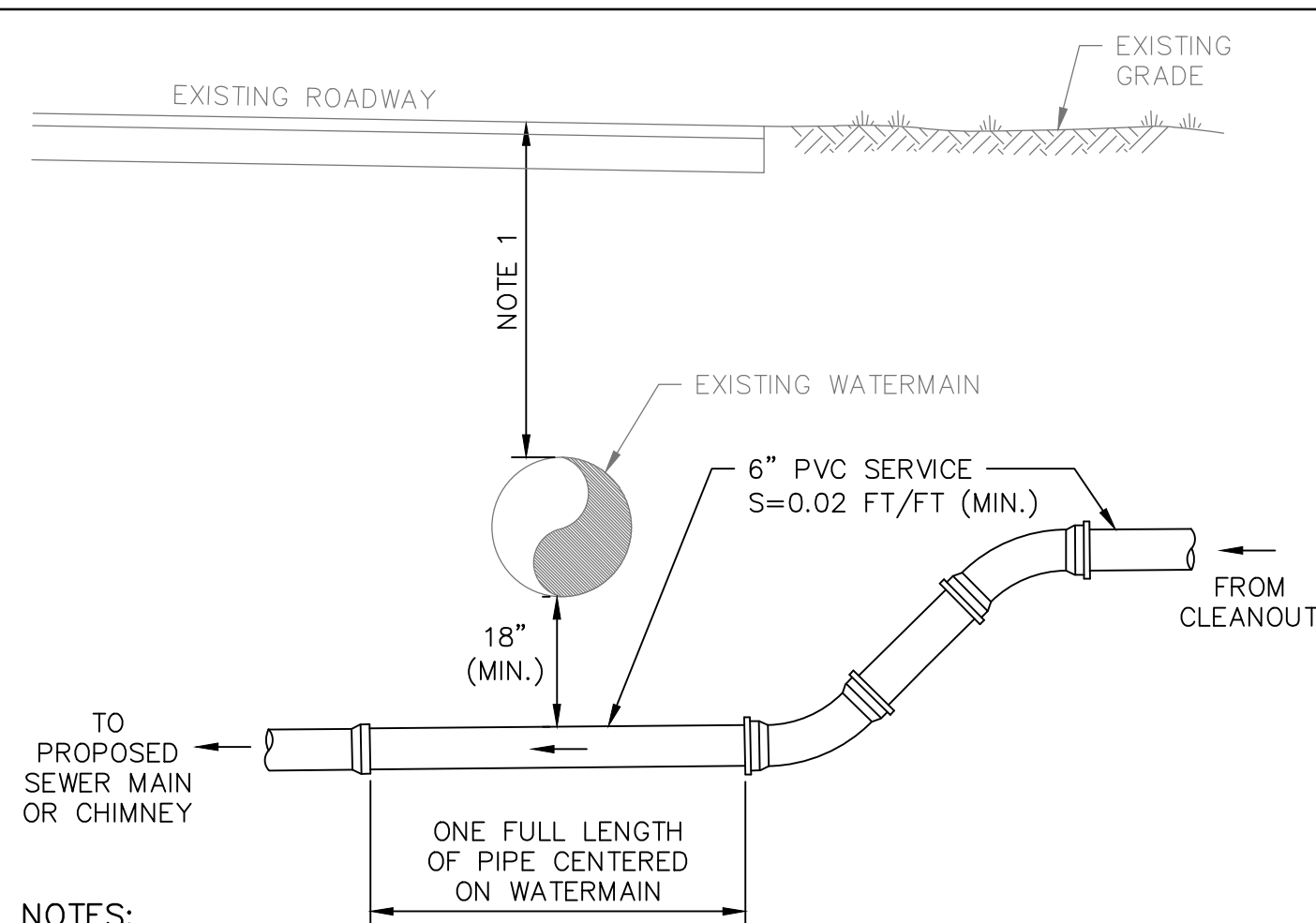


NOTES:

1. FOR WATERMAINS PROVIDE 18" SEPARATION. FOR DRAIN LINES PROVIDE 6" MIN. SEPARATIONS

SEWER SERVICE RELOCATION – CONTINGENCY DETAIL

NOT TO SCALE

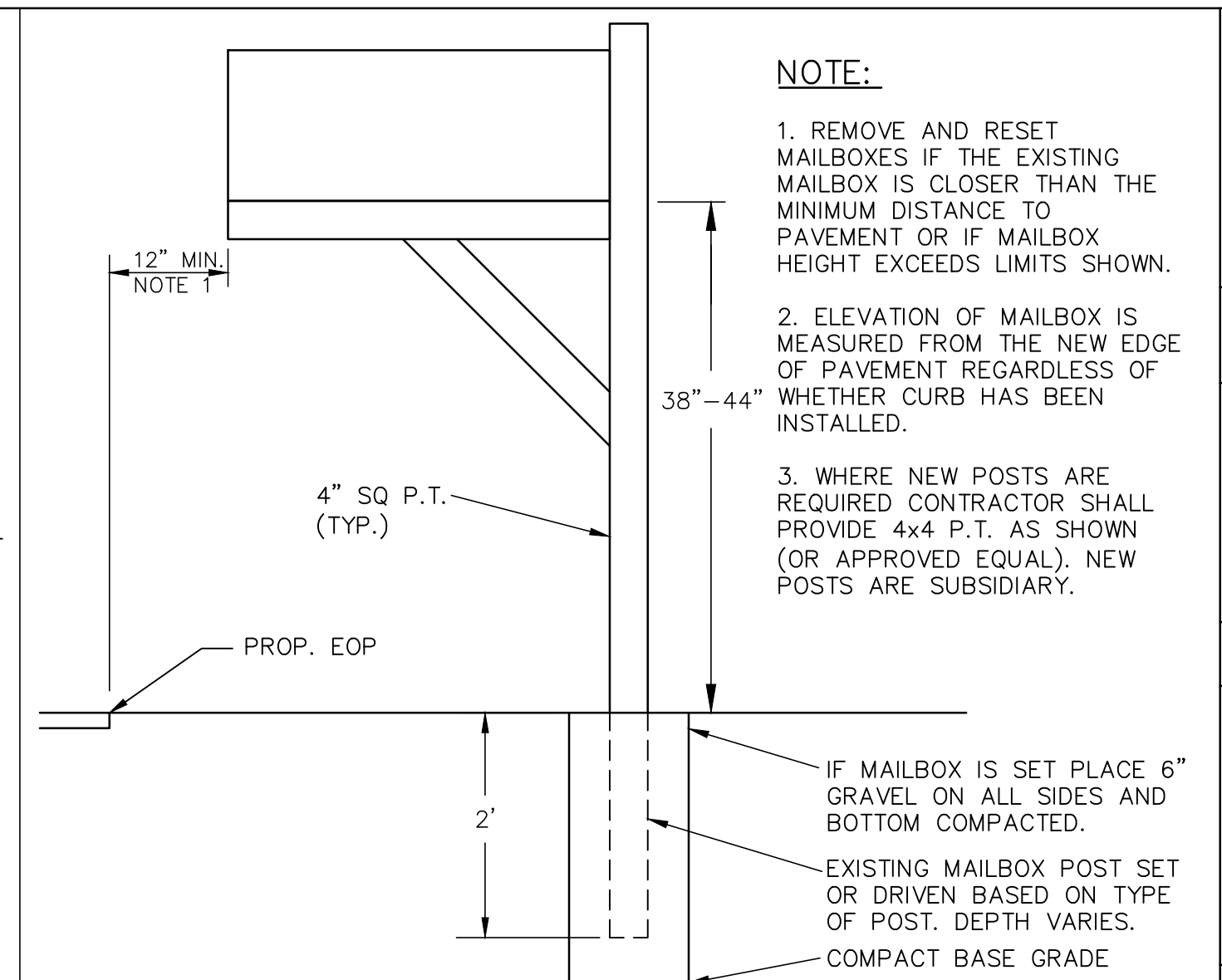


NOTES:

1. DEPTH ASSUMED TO BE 5.5'. CONTRACTOR SHALL CONFIRM DEPTH OF MAIN AT PROPOSED CROSSINGS PRIOR TO SEWER SERVICE INSTALLATIONS.
2. USE VERTICAL BENDS TO TRANSITION NEW SERVICE PIPING TO A MINIMUM DEPTH OF 6' OR AS SPECIFIED IN THE SEWER SERVICE QTY SCHEDULE (DWG G-4).

SEWER SERVICE CROSSING WATERMAIN DETAIL

NOT TO SCALE



NOTE:

1. REMOVE AND RESET MAILBOXES IF THE EXISTING MAILBOX IS CLOSER THAN THE MINIMUM DISTANCE TO PAVEMENT OR IF MAILBOX HEIGHT EXCEEDS LIMITS SHOWN.
2. ELEVATION OF MAILBOX IS MEASURED FROM THE NEW EDGE OF PAVEMENT REGARDLESS OF WHETHER CURB HAS BEEN INSTALLED.
3. WHERE NEW POSTS ARE REQUIRED CONTRACTOR SHALL PROVIDE 4x4 P.T. AS SHOWN (OR APPROVED EQUAL). NEW POSTS ARE SUBSIDIARY.

MAILBOX INSTALLATION DETAIL

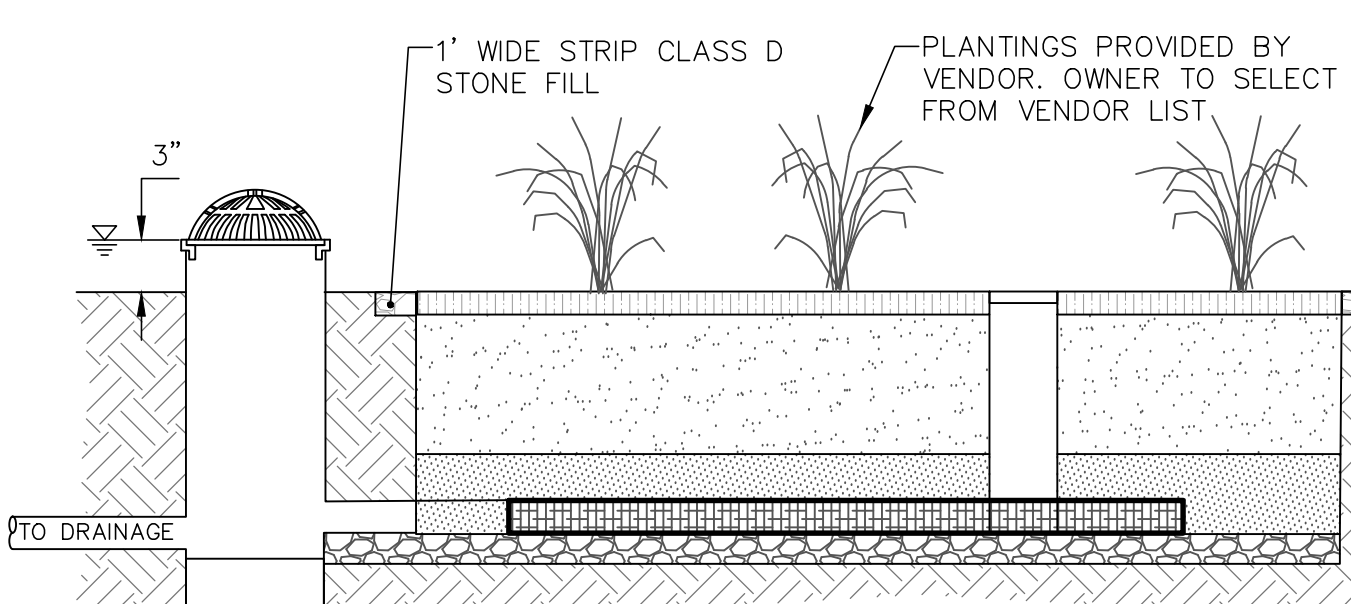
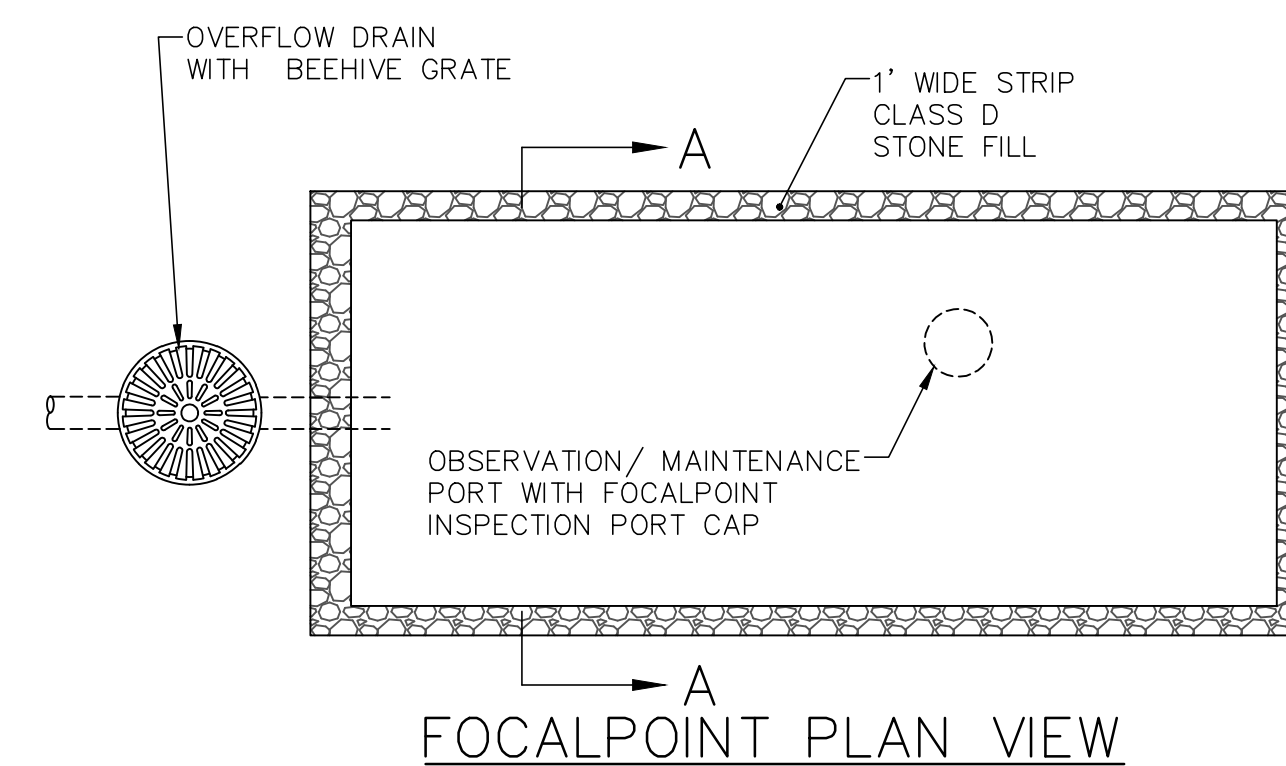
NOT TO SCALE

NOTES:

1. TREATMENT CHAMBER SIZES SHOWN IN PLAN VIEW ARE APPROXIMATE AND VARY BY MANUFACTURER (SEE SCHEDULE).
2. HIGH RATE BIOFILTRATION SHALL BE FOCALPOINT OR APPROVED EQUAL (SEE SPECIAL PROVISION 1110.11)
3. DIMENSIONS AND DEPTH OF SOIL CROSS SECTION VARY BY MANUFACTURER. ADJUST SLOPE OF OUTLET PIPE AS NECESSARY TO PROVIDE UNIFORM SLOPE DRAINING TO THE INVERT ELEVATION SPECIFIED AT THE DOWNSTREAM DRAINAGE STRUCTURE.
4. SEE DRAIN MANHOLE DETAIL FOR BEDDING AND BACKFILL REQUIREMENTS.
5. PLANT QUANTITIES ARE FURTHER DETAILED IN SPECIAL PROVISION 1110.11 (SEE FILTERRA BIOSCAPE VAULT PLANT PALETTE AND FOCAL POINT PLANT SELECTION GUIDE)

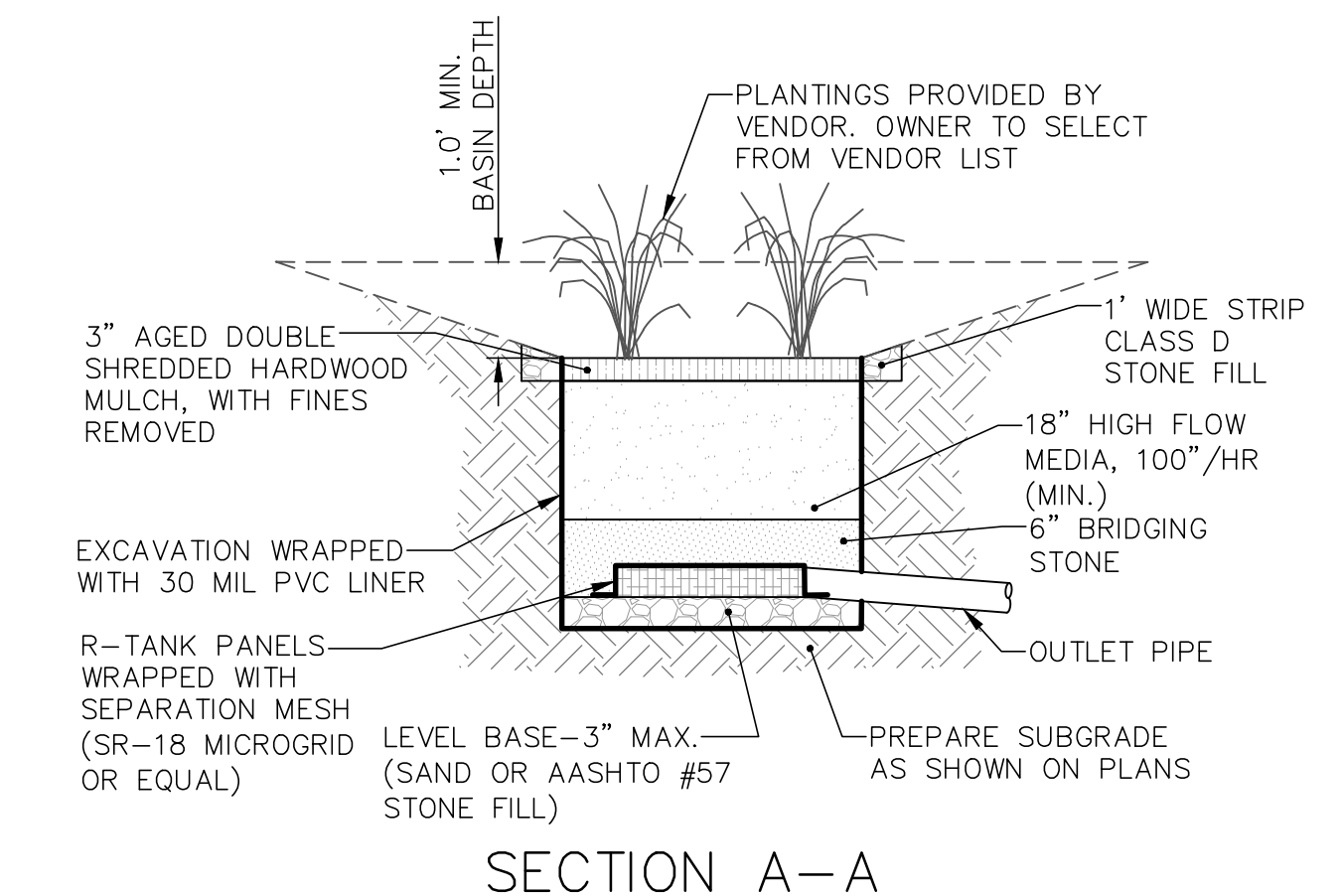
UNIT SIZING SCHEDULE

LOCATION	SYSTEM SIZE (LxW)	SHRUBS PER UNIT 4-6 FT SPREAD 1-7 GALLON	SMALL PLANTS PER UNIT 2-4 FT SPREAD 1-7 GALLON	SHRUBS PER UNIT UP TO 2 FT SPREAD 1-2 GALLON
34+00	7x13	3	6	20



**ENHANCED BIO-FILTRATION UNIT
W/ INTERNAL STORAGE RESERVOIR**

NOT TO SCALE



SECTION A-A

90% DESIGN
NOVEMBER, 2024
NOT FOR CONSTRUCTION

**Underwood
Engineers**
25 Vaughan Mall, Portsmouth, N.H. 03801
Tel. 603-436-6192 Fax. 603-431-4733

ROAD & MISC. DETAILS
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO D4 SHEET 63 OF 64

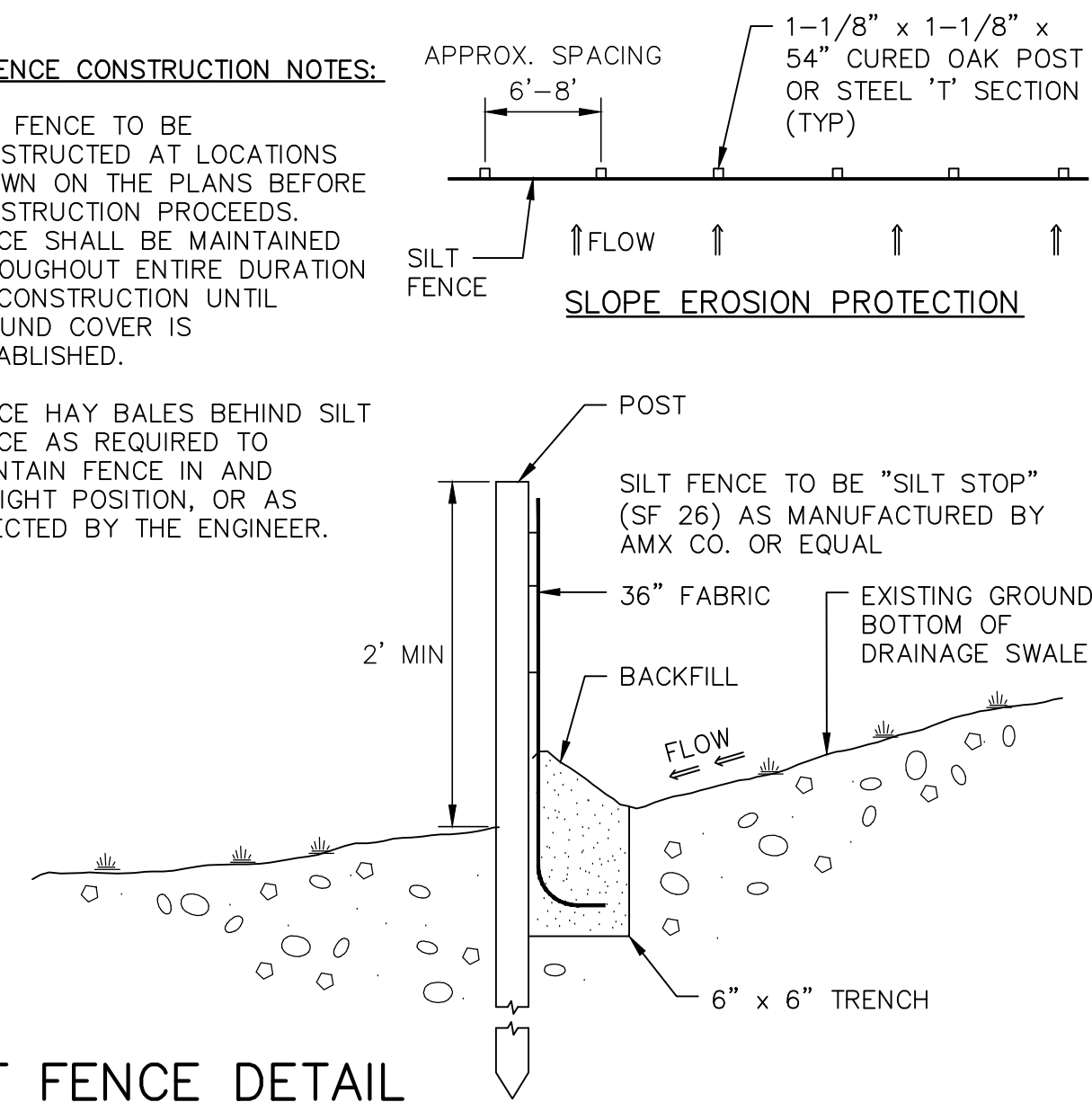
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STORMWATER MANAGEMENT, EROSION & SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR MUST SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE OWNER AND A NOTICE OF INTENT (NOI) TO THE USEPA REGION ONE FOR CONSTRUCTION ACTIVITY IF GREATER THAN 1 ACRE IS DISTURBED AT ANY TIME. THE SWPPP IS TO BE PREPARED IN ACCORDANCE WITH USEPA REQUIREMENTS.
2. THE CONTRACTOR SHALL SUBMIT, FOR REVIEW AND APPROVAL, A SCHEDULE TO INCLUDE ALL EARTHWORK ACTIVITIES.
3. EXCAVATION AND EARTHWORK SHALL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE EFFECTS OF EROSION THROUGHOUT CONSTRUCTION.
4. THE CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, PHASE EARTHWORK ACTIVITIES SO THAT THE SMALLEST PRACTICAL LAND AREA IS EXPOSED AT ANY GIVEN TIME, FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
5. THE CONTRACTOR SHALL LOAM, SEED, AND MULCH ALL CUT SLOPES IMMEDIATELY FOLLOWING FINAL GRADING. TEMPORARY SEEDING AND MULCH SHALL BE APPLIED AT ALL UNVEGETATED AREAS THAT WILL BE EXPOSED FOR A PERIOD EXCEEDING TWENTY (20) DAYS. AREAS TO BE SEEDED SHALL BE ROUGH GRADED AND COVERED WITH LOAM 4 INCHES DEEP AFTER LIGHT ROLLING AND CONFORMING WITH EXISTING LINE AND GRADES.
6. SHALLOW SLOPES (SHALLOWER THAN 3:1) NOT SHOWN TO BE OTHERWISE COVERED SHALL BE SEEDED WITH PARK MIXTURE, SECTION 02935.
7. STEEP SLOPES (STEEPER THAN 3:1) NOT SHOWN TO BE OTHERWISE COVERED SHALL BE EITHER SODDED OR SEEDED WITH A SLOPE MIXTURE, SECTION 02935. AFTER SEEDING, STEEP SLOPES SHALL BE MULCHED WITH EXCELSIOR OR EQUAL AND A CHEMICAL TACKIFIER SHALL BE APPLIED TO ALL SIDE SLOPES STEEPER THAN 3:1. RATE OF APPLICATION SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
8. HAY BALES, SILT FENCING, AND EROSION STONE SHALL BE INSTALLED WHERE NECESSARY TO MINIMIZE THE EFFECTS OF EROSION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ANY ADDITIONAL MEASURES WHICH MAY BE REQUIRED WHERE NECESSARY TO OBTAIN THE OBJECTIVES DESCRIBED HEREIN. ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH THE LATEST ADDITION OF "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". PREVENT THE DEGRADATION OF DOWNSTREAM PROPERTIES AND DRAINAGE.
9. DRAINAGE SWALES SHALL BE MONITORED AND MAINTAINED THROUGHOUT CONSTRUCTION. SILT SHALL BE PERIODICALLY REMOVED FROM SWALES AS NECESSARY TO PREVENT MIGRATION.
10. HAY BALE BARRIERS SHALL BE INSTALLED ALONG SWALES AT 100 FOOT INTERVALS, AROUND CATCH BASINS, AND AT ALL AREAS WHERE STORMWATER OR TRENCHWATER IS CONCENTRATED.
11. HAY BALE BARRIERS AND SEDIMENT TRAPS ARE TO BE MAINTAINED AND KEPT CLEAN UNTIL ALL EXPOSED AREAS HAVE A HEALTHY STAND OF GROUND COVER, AT WHICH TIME TEMPORARY MEASURES ARE TO BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF TEMPORARY MATERIALS REMOVED AND SILT.
12. DISTURBED AREAS SHALL BE LOAMED AND SEEDED. MINIMUM DEPTH OF LOAM SHALL BE FOUR (4) INCHES.
13. PROVIDE SEED (PARK MIXTURE), LIME, FERTILIZER, AND MULCH PER SECTION 644 OF THE SPECIFICATIONS.

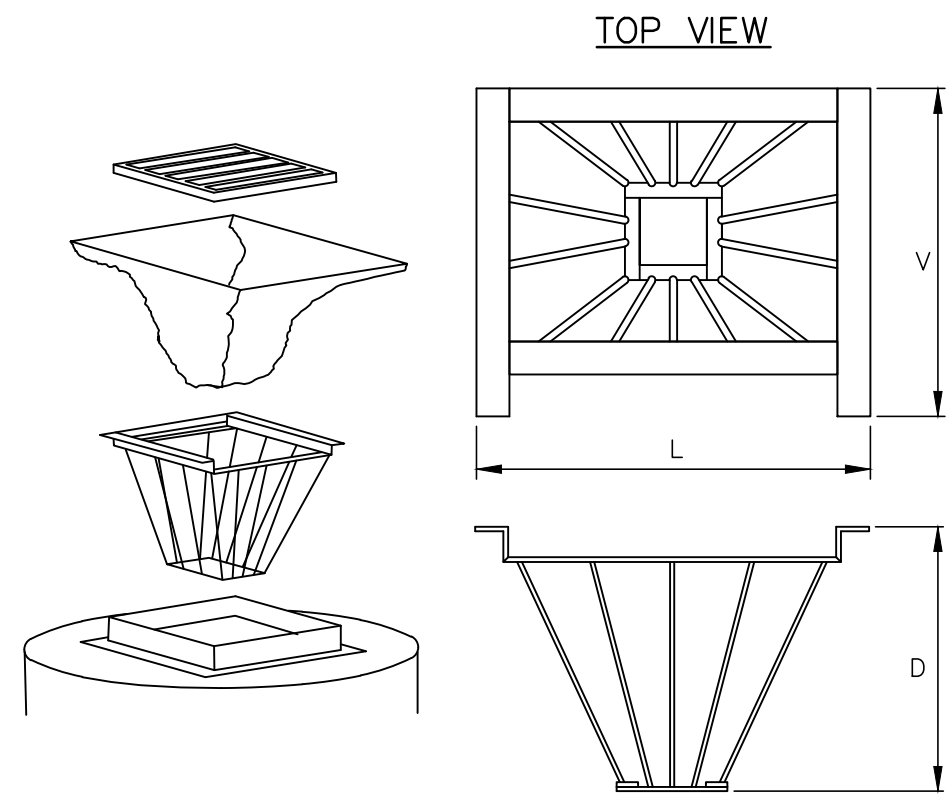
SILT FENCE CONSTRUCTION NOTES:

1. SILT FENCE TO BE CONSTRUCTED AT LOCATIONS SHOWN ON THE PLANS BEFORE CONSTRUCTION PROCEEDS. FENCE SHALL BE MAINTAINED THROUGHOUT ENTIRE DURATION OF CONSTRUCTION UNTIL GROUND COVER IS ESTABLISHED.
2. PLACE HAY BALES BEHIND SILT FENCE AS REQUIRED TO MAINTAIN FENCE IN AND UPRIGHT POSITION, OR AS DIRECTED BY THE ENGINEER.



SILT FENCE DETAIL

NOT TO SCALE



NOTES:

1. INSTALL APPROPRIATE METAL BASKET.
2. A. GEOTEXTILE FABRIC SHALL BE POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYETHYLENE CHLORIDE MEETING THE FOLLOWING:
 - a. GRAB STRENGTH: 45# MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
 - b. MULLEN BURST STRENGTH: 60 PSI MIN. (ASTM D771)
- B. FABRIC SHALL HAVE AN OPENING NO GREATER THAN A #20 SIEVE AND A MIN. PERMEABILITY OF 120 GPM/SQ. FT.
3. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. GRATE INLET SHALL BE PLACED OVER THE BASKET/FRAME AND WILL ANCHOR THE FABRIC.
4. INSPECT BASKET DAILY OR MORE FREQUENTLY DURING STORM EVENTS.
5. SEDIMENT SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE FREQUENTLY TO PREVENT CLOGGING.
6. USE OF INLET FILTER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF MAINTAINING OTHER EROSION CONTROL MEASURES AS MAY BE REQUIRED OR FROM STABILIZING DISTURBED AREAS AS SOON AS PRACTICAL.

CATCH BASIN INLET FILTER

NOT TO SCALE

Drawn/Chk	RMS	ISSUE FOR
Designed	DJR	APPROVAL
Checked	RUS	Date
Approved		By
Date	11/27/2024	CONSTRUCTION
Book No.		Date
Project No.	2873	RECORD DRAWING
Dwg. ID	2873_Details	Date
Scale	AS SHOWN	By
		APP'D
		REVISIONS
		NO.

90% DESIGN
NOVEMBER, 2024
NOT FOR CONSTRUCTION

Underwood Engineers
25 Vaughan Mall., Portsmouth, N.H. 03801
Tel. 603-436-6192 Fax. 603-431-4733

EROSION CONTROL DETAILS
WESTSIDE DRIVE FINAL DESIGN
DRAINAGE, WATER & ROADWAY IMPROVEMENTS
TOWN OF EXETER
EXETER, NH

DWG NO	SHEET
D5	64 OF 64

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Town of Exeter New Hampshire
 Conservation Commission
 Budget, Receipts and Expenditures for the Fiscal Year Ending 12/31/2025
 Treasurer Report

For The Months Ended 1/31/2025

Account 01461105-

Category Number	Category Name	Budget 2025	Expended 2025 YTD	Planned Expenses 2025	Remaining 2025 Budget	Comment
51200	Sal/Wages - PT	\$602	\$0.00	\$0.00	\$602.00	Recording secretaries @ \$19.44/hr
51210	Sal/Wages - Temp	\$2,530	\$2,520.00	\$0.00	\$10.00	Interns 2@17/hr, 15 hrs/wk for 5 wks
52200	FICA	\$194	\$0.00	\$0.00	\$194.00	
52210	Medicare	\$45	\$0.00	\$0.00	\$45.00	
55051	Conservation Land Administration	\$2,050	\$0.00	\$0.00	\$2,050.00	Covers signs, property monitoring needs, trail supplies/materials
55058	Contract Services	\$1,000	\$0.00	\$0.00	\$1,000.00	\$1,000
55088	Dues	\$1,200	\$0.00	\$0.00	\$1,200.00	For board to join related organizations: ERLAC (\$150), NHACC (\$700), SELT (\$150)
55091	Education/Training	\$250	\$0.00	\$0.00	\$250.00	Training for board members and/or natl resource planner (NHACC \$260, \$190 other workshops)
55171	Legal/Public Notices	\$50	\$0.00	\$0.00	\$50.00	Covers approx 1 legal notice typ in newspaper
55224	Postage	\$20	\$0.00	\$0.00	\$20.00	
55247	Registry of Deeds	\$30	\$0.00	\$0.00	\$30.00	Fee for registry of deeds (typically printing plans)
55254	Roadside Mowing	\$1,825	\$0.00	\$0.00	\$1,825.00	Mowing White, Perry, Irvine and Morrissette \$1,850
	Total	\$9,796.00	\$2,520.00	\$0.00	\$7,276.00	

Conservation Fund (RSA 36A) Note: includes the following obligations
 \$154,273.34 \$100k for Ryder property, \$50k for LCHIP
 \$4,720 **Stewardship Fund:** Established to support enforcement of conservation deeds
Forestry Fund (RSA 31:110-114) Limited to use for Town Forest forest stand improvement & management
 \$12,753

 Andrew Koff, Treasurer

 Date

Exeter Conservation Commission
February 11, 2025
Nowak Room
10 Front Street
7:00 PM
Draft Minutes

Call to Order

1. Introduction of Members Present (by Roll Call)

Present at tonight’s meeting were: Chair Dave Short, Vice-Chair Conor Madison, Andrew Koff, Trevor Mattera, Nick Champion, Keith Whitehouse, Valorie Fanger, Alternate Kyle Welch, Alternate Bill Campbell, Alternate Sean Torrez, Alternate Don Clement (remotely) and Select Board Representative Dan Chartrand

Staff Present: Kristen Murphy, Conservation and Sustainability Planner

Chair Short called the meeting to order at 7:00 PM and introduced the members.

2. Public Comment

Chair Short asked if there were any public comment, outside of agenda items.

Karishma of 6 Windemere Drive presented that there will be a petitioned warrant Article 37 concerning reaching out to state and federal representatives about environmental protection. She provided brochures and read the article out loud. She stated that the environment was in dire condition and flooding in Hampton, fires in California. She noted there is nothing to hold elected officials responsible to deal with climate change, sea level rise, drought, heat waves, heavy rain and financial loss. She noted residents in Hampton are forced to raise their homes on stilts at their own expense to avoid flooding. She encouraged residents to turn out and vote for Article #37.

Action Items

1. Review of Wetland Conditional Use Permit for a Mixed-Use Neighborhood Development project at 76 Portsmouth Ave (and Haven Ln.) at Tax Map 65, Lot 118. (Paige Libbey, Jones and Beach)

Chair Short read the Public Hearing Notice and noted that plans and supporting documents were submitted on January 31st.

Paige Libbey of Jones & Beach Engineers presented the plans which she noted were revised since the previous proposal. She noted the building near wetland B was moved to what was the previous greenspace and there will be some greenspace near the mail area. She noted that the overall buffer

44 impact was reduced. Buildings 2, 4 and 6 are closer to the road. Parking is across the road for the three
45 buildings. She referenced sheet EX3 for more information on CUP temporary and permanent impacts.

46
47 Ms. Murphy indicated at the last meeting she would like to have statements from John Hayes work
48 concerning presence of vernal pools because that could change the buffers. Ms. Libbey noted she
49 included both delineation dates, one done in the spring in April of 2024. She reported there were
50 discussions with the owners of the adjacent Thirsty Moose property concerning the culvert at 72
51 Portsmouth Ave and they are working to replace the culvert that was not working. Ms. Libbey noted
52 that Item #2 of the Conditional Use Permit (CUP) criteria was updated, concerning avoidance and
53 minimization. She noted the location of building 7 was shifted.

54
55 Mr. Madison asked if there were the same amount of buildings and Ms. Libbey indicated one building
56 was split into two but there is the same number of units. The crossing was shifted to allow the sidewalk
57 and reduce impact.

58
59 Mr. Campbell asked about the number of buildings and Ms. Libbey indicated there were 34 units, three-
60 bedroom townhouses.

61
62 Mr. Campbell asked about the mixed use and Ms. Libbey indicated the front of the building would be
63 commercial and is a MUND (Mixed Use Neighborhood Development) with 10% affordable housing,
64 phased 10% in the rear and 10% in the front of the parcel.

65
66 Ms. Fangor asked about conserved land and Ms. Libbey indicated a large portion of upland and buffer
67 will be undeveloped and undisturbed which is not very accessible due to steep slope.

68
69 Ms. Fangor asked if the conserved land would be with SELT (Southeast Land Trust) and Ms. Libbey
70 indicated no, it would be restricted in the condominium documents and could be a deed restriction. Ms.
71 Libbey indicated the area would not be disturbed but for trails for the residents to use.

72
73 Mr. Whitehouse asked why residents only and Ms. Libbey noted she could ask but out of liability
74 concerns to the association. Ms. Murphy noted there are state recreational use laws that protect
75 property owners.

76
77 Mr. Campbell asked about the garage and Ms. Libbey indicated there would be a two-car garage for
78 each unit.

79
80 Mr. Campbell asked about the recreational space. Ms. Libbey noted there is some green area behind
81 the mail house and around each of the buildings which would also have decks.

82
83 Ms. Fangor asked whether porous pavement would be the same and Ms. Libbey indicated yes, although
84 moved around the same square footage.

85
86 Ms. Fangor asked about the reduction in square footage and Ms. Libbey indicated 67%, the amount
87 previously proposed was 18,800 SF on 1/13 and was reduced now to 6,350.

88
89 Ms. Fangor asked about permanent buffer square feet and Ms. Libbey noted the impacts to limited use
90 buffer are 5,100 SF and parking and structure setback 2,900 SF. Mr. Koff noted some of the impact was
91 existing. Ms. Libbey elaborated that 3,000 SF was previously disturbed impervious surfaces and she was
92 unclear if porous pavement for parking should be included but that is 2,000 SF.
93
94 Mr. Madison asked what the space where the old building will be razed, will be used for and Ms. Libbey
95 indicated it will be a lawn area.
96
97 Mr. Campbell expressed concerns with the number of residents and lack of room behind their units for
98 grills and sandboxes.
99
100 Mr. Koff asked about the mail house and Ms. Libbey described it as a small structure with a roof.
101
102 Mr. Whitehouse asked about the neighborhood's drainage concerns and Ms. Libbey indicated they are
103 required to comply with town and state AoT requirements for stormwater and drainage analysis which
104 is reviewed by the town engineer and state engineer. She noted that upgrading the culvert on the
105 Thirsty Moose property will help.
106
107 Chair Short indicated he received a letter from an abutter concerned that the hardship component of
108 the CUP was self-imposed. Ms. Libbey noted hardship is not a CUP criteria, not like a variance. She
109 noted that utilizing the uplands would have more impact.
110
111 Ms. Fangor expressed concerns with the amount of water viewed at the site walk. Mr. Mattera
112 indicated a lot of the standing water had to do with the non-functional culvert. It will still be a low point
113 but not have water habitually there, when it is replaced. Ms. Libbey noted she had pictures of the area
114 when it was empty after being cleaned out in September.
115
116 Ms. Fangor asked the percentage impact of permanent impact to the wetland buffer and Ms. Libbey
117 indicated 3.4% for the limited use buffer and 33.8% for parking and structure setback, total 38.2% and
118 some is existing. There is 3,000 SF in previous impact and 2,000 will be porous pavement.
119
120 Mr. Koff indicated they did a good job with the modified design but were not encroaching on the
121 neighborhood more rather than the buffer which is a trade-off the Commission doesn't comment on.
122 He did not see how to reduce the impact other than the overall size or number of units and scope of the
123 townhomes. Ms. Libbey indicated that originally, they talked about 124 units and lowered the number
124 to 70 units to make the project work.
125
126 Mr. Campbell opined there were a lot of houses jammed into one spot, and it would mean addition of
127 about 400 people. Mr. Koff noted that density and design are the purview of the Planning Board. Mr.
128 Campbell clarified that in relation to being shoved into the wetland buffer.
129
130 Michael Green commented that he has heard reduce, reduce, reduce and has been trying to work with
131 the town and keep the project economically viable. The alternative is the large 50' building.

132

133 Chair Short opened the hearing to the public for comments and questions at 7:34 PM.

134

135 Susan Taylor indicated concerns with the access on Portsmouth Avenue being gone and all traffic
136 coming via Bonny Lane and Haven. She expressed concerns with additional traffic of 34 units each with
137 two cars, and delivery vehicles. Chair Short noted that traffic concerns were the purview of the Planning
138 Board. Ms. Libbey noted there had been concerns expressed about it becoming a cut through and
139 would be a substantial wetland crossing.

140

141 Ryan O'Brien expressed concerns with the significant impact to buffers. He asked about retaining walls
142 and their purpose. Ms. Libbey noted the retaining wall's highest elevation is 4' and the purpose is to
143 avoid further impact. Mr. O'Brien read a letter out loud stating he opposed the CUP because there was
144 no hardship to put units in the buffer. He opined that an alternative design is to have less units and that
145 this was a calculated and systematic disregard of the setbacks by choice.

146

147 Michael Hauck and Danielle Frank expressed concerns with the impact to their homes, values and the
148 environment, the wetland buffers, the scope and height of the buildings and were against the CUP.

149

150 Ms. Frank expressed further concerns with filtration, heat, water, noise, light, and wildlife. She noted a
151 bald eagle was seen two weeks ago and the area is ecologically important. She noted wetlands have
152 protection to stay intact and the proposal was detrimental to the ecology and neighborhood, and she
153 was not in favor of the CUP.

154

155 Steve Taylor commented on the trail loop and asked if it was already present or would be man-made.
156 Ms. Libbey indicated it would be man-made and located behind one of the homes on the property. He
157 expressed concerns with there being no buffer, if the trees were taken down, for noise.

158

159 Mr. Francheski was concerned with the impact of CO2 from the units and cars, surface oil, chemicals and
160 drainage.

161

162 Mr. Clement expressed environmental concerns and water draining to Wheelwright Creek which goes to
163 Squamscott River and into Great Bay which are important natural resources. He expressed concerns
164 with the dense development and acceleration of pollutants, impacts to the function of the remaining
165 buffers and indicated if he were voting as an alternate he would vote no.

166

167 Chair Short reviewed the criteria of the CUP:

168

169 #1 permitted zone – yes

170

171 #2 no alternate design which is less detrimental is feasible.

172

173 The Commission discussed #2 and Chair Short referenced the contrary statute that Mr. Gove discussed
174 at the last meeting. Mr. Koff agreed the two minor wetlands in the middle could not be filled although
175 they are not significant per the state's avoidance and minimization criteria.

176
177 Mr. Koff noted a significant buffer reduction on wetland B and that the only further option for reduction
178 was to further reduce the scope of the project which is not on the Commission's table.
179
180 Mr. Torrez questioned the meaning of feasible. Ms. Libbey noted the design was felt to be a better fit
181 than the larger building.
182
183 Mr. Koff continued that another option was to cross wetland B and build in the upland, but a significant
184 portion is being kept in its natural state.
185
186 Chair Short indicated that the choice is to keep the residential scale or do a large dormitory building.
187 Mr. Green indicated the larger building would be on the scale of the Chinburg building and have less
188 impact to the buffer. Ms. Libbey indicated the property is commercially zoned and so an alternative is
189 commercial property, and she felt this was a good transition with residential. She noted the seven acres
190 of density is similar to the Jady Hill neighborhood.
191
192 Ryan O'Brian indicated he did not want there to be a cut through from Portsmouth Avenue to Haven
193 and prefers one larger building adjacent to the Thirsty Moose property with access on Portsmouth
194 Avenue. Chair Short indicated this was working away from what the Commission can address.
195
196 #3 functions and values
197
198 Mr. Madison noted that per the Gove reporting the principal function is not compromised.
199
200 Mr. Torrez discussed the function of water storage and questioned whether the improved drainage
201 would eliminate some of that storage. The more drainage, the less wetland they would have. Ms.
202 Libbey noted they would be repairing a culvert that was already there. She discussed peak flows and
203 volumes of stormwater runoff and the goal to make sure they are not increasing and provide treatment
204 which is reviewed by the town engineering. Chair Short indicated that while the neighbors want better
205 drainage that unfortunately doesn't square.
206
207 Public Health, Safety, Welfare, Contamination of Groundwater. Mr. Koff indicated the impacts are
208 minor and the answer seems fair.
209
210 Tammy Hamm of 8 Woodlawn Road commented that the little strip at the Foss property was impacted.
211 Chair Short explained this was not a drainage issue and the concern was with protecting the reservoir,
212 the drinking water. Mr. Koff noted that property was above grade and this property is below and drains
213 to the Squamscott River which is important as well, but not a drinking water source.
214
215 #6 Provide, Conserve elsewhere on the site. Chair Short noted the upland piece will remain untouched.
216 Mr. Koff noted it will be permanently conserved as green space. Ms. Fangor noted protected in the
217 deed.
218
219

220 #7 Restoration

221

222 Chair Short indicated this has been stated.

223

224 Tammy Hamm asked what the obligation of the owner is after the fact if the water issue needs to be
225 fixed. Chair Short noted the town oversees the construction process and engineering is reviewed and
226 faith needs to be put in the engineers.

227

228 Greg Boudreau asked what if he gets water in his basement, who is responsible. Chair Short indicated
229 this was outside the Commission's purview.

230

231 Danielle Frank asked about a landscaping plan. Chair Short noted this would be specified by the
232 Planning Board. Ms. Murphy noted the Commission could recommend buffer planting but because the
233 concern is screening it is in the purview of the Planning Board.

234

235 Permits

236

237 Ms. Libbey indicated the applicable permits have been or will be applied for.

238

239 Mr. Campbell expressed concerns with not treating the buffers too cavalierly.

240

241 Mr. Mattera thanked the abutters for their comments and indicated he appreciated their comments and
242 civic engagement here. He thanked the developer for being responsive to the feedback at these
243 meetings, especially with wetland B, and for hearing what the Commission had to say and coming back
244 with changes. He noted wetlands and buffers are what surround the CUP application and the wetland
245 that was really bothering him was wetland B which he saw had the most value. Man-made wetlands
246 artificially held back by a non-functional culvert and buffers around that questionable value were not
247 and there was minimal filling and disturbance.

248

249 Chair Short agreed and noted Ms. Libbey did an outstanding job.

250

251 MOTION: Mr. Koff motioned after reviewing the CUP the Commission has no objection to the
252 application as proposed with the condition that the eastern portion of the property not disturbed be
253 permanently conserved with a deed restriction or equivalent and that the culvert problem be addressed
254 to the satisfaction of the Planning Board.

255

256 Ms. Fangor asked a time frame. Ms. Murphy recommended stating "prior to the issuance of a certificate
257 of occupancy").

258

259 Ms. Libbey asked about the trail.

260

261 Mr. Koff agreed to amend the motion that after reviewing the CUP the Commission has no objection to
262 the application as proposed . Ms. Murphy provided proposed condition language which Mr. Koff agreed
263 to amend the motion with, for the undisturbed area: that prior to the certificate of occupancy being

264 issued a deed restriction be executed indicating the east side presented in the 1/30 plans be
265 permanently protected in perpetuity with the exception of a passive recreational trail as discussed at
266 this meeting.

267
268 Mr. Koff noted to keep the condition in his motion that the culvert replacement be upgraded as
269 discussed.

270
271 Mr. Koff reread the motion.

272
273 Mr. Madison seconded the motion. A vote was taken, Mr. Champion voted no, the motion passed 6-1-0.
274

275 3. Committee Reports

276 a. Property Management

277
278 Raynes Stewardship Committee. Mr. Champion reported they met two weeks ago on January 29th
279 and recapped the solstice event. There were 42 attendees. They discussed work on the barn which
280 will resume in April, work on the east side and staircase and removal of the cement floor. Fire
281 suppression was discussed as well as mowing and a crushed drainpipe and deteriorating rock wall.
282 They discussed past and future events and using a google form.
283

284
285 Mr. Whitehouse asked about funding the staircase. Ms. Murphy indicated it was originally in the
286 scope of work but when costs rose after COVID the scope was modified.

287
288 Mr. Champion had asked about Ben collecting ticket site donations and Ms. Murphy expressed
289 concerns with tax statements and write offs with someone else collecting money for the town. She
290 recommended setting up a non-profit "Friends of Raynes Fund." She noted the budget this year was
291 level funded, and the conservation fund has a small amount, \$4,000-\$6,000. She noted the stairs
292 were not found to be the priority and the fire suppression system was funded. Stewardship funds
293 are used for boundary disputes and such.

294
295 Mr. Whitehouse asked about funding a porta potty year-round which he estimated to cost \$2,000.
296 Mr. Chartrand indicated the timing was right to discuss for the 2026 budget and they should
297 consider their work plan in May or June and have estimates. Mr. Whitehouse expressed concerns
298 with having to wait a year, but Mr. Chartrand explained this is the form of government we have.
299 Mr. Whitehouse will get a price for the porta potty and Ms. Murphy will bring balances to the next
300 meeting. She noted their budget is for \$9,100 and includes NHACC dues, monitoring,
301 administration, education and training mowing, and \$50 items for postage, etc.

302
303

304 b. Outreach Events

305

306 i. Full Moon Snowshoe February Hike – February 12

307

308 Mr. Koff noted he will lead the hike. Mr. Whitehouse will take care of setup, snacks, tea, cocoa,
309 possibly cookies and the warming fire. DPW has plowed an area for parking. Ms. Murphy
310 indicated ExeterTV will do some filming. Mr. Welch indicated 9 people signed up and 150 were
311 interested.

312

313 iii. Hike Exeter Challenge – Kyle Welch

314

315 Mr. Welch reported that the Facebook page has 143 members and started a month ago. Travel
316 & Nature store has assisted and offered discounts to hikers who get their sticker. This week the
317 5th of 6 hikes was released at Gilman Park along the river. Ms. Murphy noted there was
318 information on the Hike Exeter section on the town website and a link to Alltrails.

319

320 c. Other Committee Reports (River Study, Sustainability, Energy/CPAC, Tree, CC Roundtable)

321

322 Ms. Murphy noted that the Tree Committee would like to come into a meeting when the agenda is
323 light and give an update. The Stewardship Committee discussed potential tree planting at Raynes.
324 Mr. Whitehouse noted that mowing will be expanded around the barn. Mr. Koff recommended
325 giving the farmer a head's up.

326 Mr. Torrez asked about the trails subcommittee. He noted Fort Rock needs attention and the
327 Oaklands parking lot. Ms. Murphy recommended planning a budget for materials. Chair Short
328 noted they hadn't needed to purchase wood for a long time, they just let the bikers know what they
329 need and they find it. Mr. Chartrand recommended planning at a meeting when there are no
330 applications to deliberate. Chair Short encouraged members to make a list whether physically or
331 mentally of work that needs to be done.

332 Mr. Koff noted he participated at the Energy Commission's Window Dresser's event. Mr. Short
333 noted he went one afternoon. Ms. Murphy indicated they will do it again next year and need
334 volunteers to organize.

335 4. Approval of Minutes

336 January 14, 2025 Minutes

337

338 MOTION: Chair Short motioned to approve the January 14, 2025 minutes. Mr. Whitehouse seconded
339 the motion. A vote was taken, Mr. Campion abstained, the motion passed 6-0-1.

340

341 January 9, 2025 Site Walk Minutes

342

343 MOTION: Mr. Mattera motioned to approve the January 9, 2025 Site Walk Minutes. Mr. Whitehouse
344 seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

345

346 5. Correspondence

347

348 a. Email from S. Mattie re: No Dogs sign at McDonnell Conservation Area

349

350 Ms. Murphy addressed the email concerning no dog signs at the McDonnell Conservation Area. The
351 Commission agreed to discuss it at the next meeting.

352

353 b. Request from student at Great Bay Charter School for pollinator garden on town property.

354

355 Ms. Murphy indicated the Morrisette property, below the kiosk, would be a good fit for the project if
356 the Commission was in favor. The Commission indicated they would like to hear more. She will ask
357 the student to come in and present her proposal.

358

359 Mr. O'Brien read a letter of appreciation for the trails and town forest, which he walks with his dog.

360

361 **Other Business**

362

363 Next Meeting: 3/11/25, Submission Deadline: 2/28/25

364

365 **6. Adjournment**

366

367 Chair Short adjourned the meeting at 9:37 PM.

368

369 Respectfully submitted,

370 Daniel Hoijer, Recording Secretary

371 Via Exeter TV

372

373 Zoom Webinar ID: 895 6368 5313

*JOIN THE EXETER NH
CONSERVATION COMMISSION
FOR THEIR ANNUAL*

Full Moon Walk

Warming
Fire



Hot
Cocoa



Mar. 14, 6:30pm

**Raynes Farm
61 Newfields Road**

Info: kmurphy@exeternh.gov