



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE **EXETER CONSERVATION COMMISSION** **SITE WALK**

The Exeter Conservation Commission will meet on **Tuesday, June 10th, 2025 at 5:30 P.M** to conduct a site walk. The purpose of the Site Walk is to view the project area associated with Action Item 2 on their June monthly meeting agenda below. They will meet at the end of Ray Farmstead Road.

PUBLIC NOTICE **EXETER CONSERVATION COMMISSION** **MONTHLY MEETING**

The Exeter Conservation Commission will meet in the Nowak Room, Exeter Town Offices at 10 Front Street, Exeter on **Tuesday, June 10th, 2025 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items:

1. Conceptual Review of Re-development plan for 133 Portsmouth Ave, Foss Motors (*Bruce Scamman/JJ MacBride, Emanuel Engineers*)
2. Wetland & Shoreland Conditional Use Permit for Ray Farm LLC, Ray Farm Condominiums for the relocation of "Building D" at Ray Farmstead Road (Tax Map Parcels #47-8 and #47-8.1) PB Case 22-3 (*Katharena Morrill,MEI*)
3. Expense Approvals
4. Committee Reports
 - a. Property Management
 - b. Outreach Events
 - c. Other Committee Reports (River Study, Sustainability, Energy, Tree, CC Roundtable)
5. Approval of Minutes: 5/13/25 Meeting
6. Correspondence

Other Business

7. Next Meeting: 7/8/25, Submission Deadline 6/27/25

Dave Short

Exeter Conservation Commission

Posted June 6th, 2025 Exeter Town Website and Town Office kiosk.

ZOOM Public Access Information:

Virtual Meetings can be watched on Ch 22 or Ch 6 and YouTube.

To access the meeting, click this link: <https://us02web.zoom.us/j/81650775096>

To access the meeting via telephone, call: +1 646 558 8656 and enter the Webinar ID: 816 5077 5096

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press *9.

More instructions for how to access the meeting can be found here:

<https://www.exeternh.gov/townmanager/virtual-town-meetings>

Contact us at extvg@exeternh.gov or 603-418-6425 with any technical issues.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: June 6th, 2025
To: Conservation Commission Board Members
From: Kristen Murphy, Conservation & Sustainability Planner
Subject: June 10th Meeting

1. Foss Motors Conceptual Plans for Site Redevelopment

The applicant has filed conceptual site plans in order to obtain early input and feedback on designs. As a conceptual plan, your review and comments are non-binding.

2. Wetland & Shoreland Conditional Use Permit for Ray Farm LLC, for the relocation of “Building D”

This project area may be familiar to some of you as the commission previously reviewed an application in [June 2022](#) regarding the relocation of Building D for the Willey Creek Development (off Epping Rd). At that time the CC voted to approve the wetland CUP and deny the shoreland CUP referencing 9.3.4.G2a. The applicant's legal counsel (DTC at the time) submitted a request for the board to reconsider their decision which the CC addressed at the [July 2022](#) meeting. The CC voted to deny the request for reconsideration. The applicant has since modified their design and are seeking your recommendation to the Planning Board for their wetland and shoreland conditional use permit applications. Note that your packet includes supplemental information and plans that quantify wetland and shoreland buffer impacts as described in an email from Kat Morrill dated June 6, 2025, toward the end of the packet.

WETLAND CUP

_____ *We have reviewed the Wetland Conditional Use Permit application and ARE IN SUPPORT of the application (as proposed) (with the following amendments/conditions):*

_____ *We have reviewed the Wetland Conditional Use Permit application and ARE NOT IN SUPPORT of the application as noted below:*

SHORELAND CUP

_____ *We have reviewed the Shoreland Conditional Use Permit application and ARE IN SUPPORT of the application (as proposed) (with the following amendments/conditions):*

_____ *We have reviewed the Shoreland Conditional Use Permit application and ARE NOT IN SUPPORT of the application as noted below:*



May 20, 2025

Exeter Planning Board
Town of Exeter
10 Front Street
Exeter, NH 03833

RE: Letter of Explanation - "Foss Motors Site Plan Application (Design Review)"
133 Portsmouth Avenue Road (Site)
Exeter, NH 03833
Tax Map 52, Lots 110, 111, and 112-2

Dear Members of the Exeter Planning Board,

On behalf of our client, we are submitting materials for Design Review for the proposed redevelopment of the Foss Motors property, located along Portsmouth Avenue (Route 108). This submittal is preliminary in nature and does not constitute a full Site Plan Review application. Its purpose is to introduce the overall concept and gather initial feedback from the Planning Board and Town departments.

The site spans three parcels totaling 9.904 acres: Tax Map 52, Lots 110 and 111 (owned by Laurence D. & Debra G. Foss) and Lot 112-2 (owned by Meniscus Financial Holdings, LLC). The entire area currently supports Foss Motors' operations and will continue to do so under the proposed conditions. As part of the redevelopment, these parcels are expected to be formally consolidated.

The project proposes to demolish the existing 18,355 SF building and construct a new 3-story car dealership with a 36,500 SF footprint, resulting in a more efficient use of the site with improved circulation, parking, and operations. The proposed building straddles the existing property line between Lots 111 and 112-2, leveraging a significant grade drop to reduce the visual impact of the height while allowing for vertical construction.

Key components of the proposal include:

- Demolition of the existing dealership building and regrading of the site.
- Construction of a new three-story facility with improved functional layout.
- Expansion and reconfiguration of parking and drive aisles, providing approximately 150 parking spaces plus dedicated vehicle display and storage areas.
- Use of public water, sewer, and utilities, consistent with existing service.
- No increase in curb cuts along Portsmouth Avenue; the site will retain its existing five curb cuts, including the GTE road (which is shared via easement with Osram Sylvania, Lot 112-1).
- Installation of three retaining walls to maximize usable space.

civil & structural consultants, land planners

118 PORTSMOUTH AVE. A202, STRATHAM, NH 03885 P: 603-772-4400 F: 603-772-4487 WWW.EMANUELENGINEERING.COM

Environmental Considerations:

Portions of the proposed development will impact existing wetlands, including approximately 6,150 SF of man-made wetlands and 15,900 SF of natural wetlands, primarily located at the rear of the site along Lot 112-2. In response, we are proposing a bioretention basin with an internal storage reservoir (ISR) in place of the impacted wetlands. This system will provide a significant upgrade in stormwater treatment by using anaerobic filtration to reduce organic matter (BOD), nitrogen, and phosphorus, addressing runoff concerns more effectively than existing conditions, where stormwater flows untreated into wetland areas.

Impervious Area Summary:

- Existing impervious: 216,955 SF
- Proposed impervious: 297,000 SF (Net increase: 80,045 SF)
- Existing pavement: ~150,000 SF
- Proposed pavement: ~211,900 SF
- Gravel area on Lot 112-2 (future porous pavement): 48,600 SF
- Existing building footprint: 18,355 SF
- Proposed building footprint: 36,500 SF
- Building coverage: 8.46% (below 30% max allowed)
- Open space: 31.16% (above 15% min required)

No additional development is proposed south of the GTE road, where prior approvals allowed for a porous pavement vehicle storage area, which is currently under construction.

Alternative Consideration:

An earlier design concept explored a retrofit of the existing building with additions totaling 53,000 SF of building footprint and 54,400 SF of total floor area. That layout proved less efficient and would have resulted in nearly identical wetland impacts and impervious area increases compared to the current proposal.

This site has supported Foss Motors for many years, and the owners are committed to maintaining operations in Exeter. The business has experienced significant growth, and redevelopment is necessary to accommodate their operational needs. The owners are committed to remaining at this location, which has long served their family and customers, and see this redevelopment as an opportunity to continue investing in and improving their operations in Exeter.

We look forward to working with the Planning Board and Town staff through the design review process. Please do not hesitate to contact us if additional information is needed.

Sincerely,



JJ MacBride, PE
Civil Engineer

Town of Exeter



Planning Board Application for Site Plan Review

October 2019



Town of Exeter Planning Board Application for Site Plan Review

Date: October 2019

Memo To: Applicants for Site Plan Review

From: Planning Department

Re: Site Plan Review Application Process

The goal of the Planning Department is to process site plan review applications as quickly and efficiently as possible, in preparation for review by the Planning Board. To this end, we have designed an application form that is simple and easy to follow (see attached). If some of the information being requested does not seem to be applicable, please check with the Planning Department office, it may be that your particular proposal does not warrant such information.

It is recommended that you schedule a meeting with the Town Planner prior to formally submitting your application. The Town Planner will review your proposal for conformance with all applicable Town regulations and advise you regarding the procedure for obtaining Planning Board approval. Please contact the Planning Department office at (603) 773-6112 to schedule an appointment.

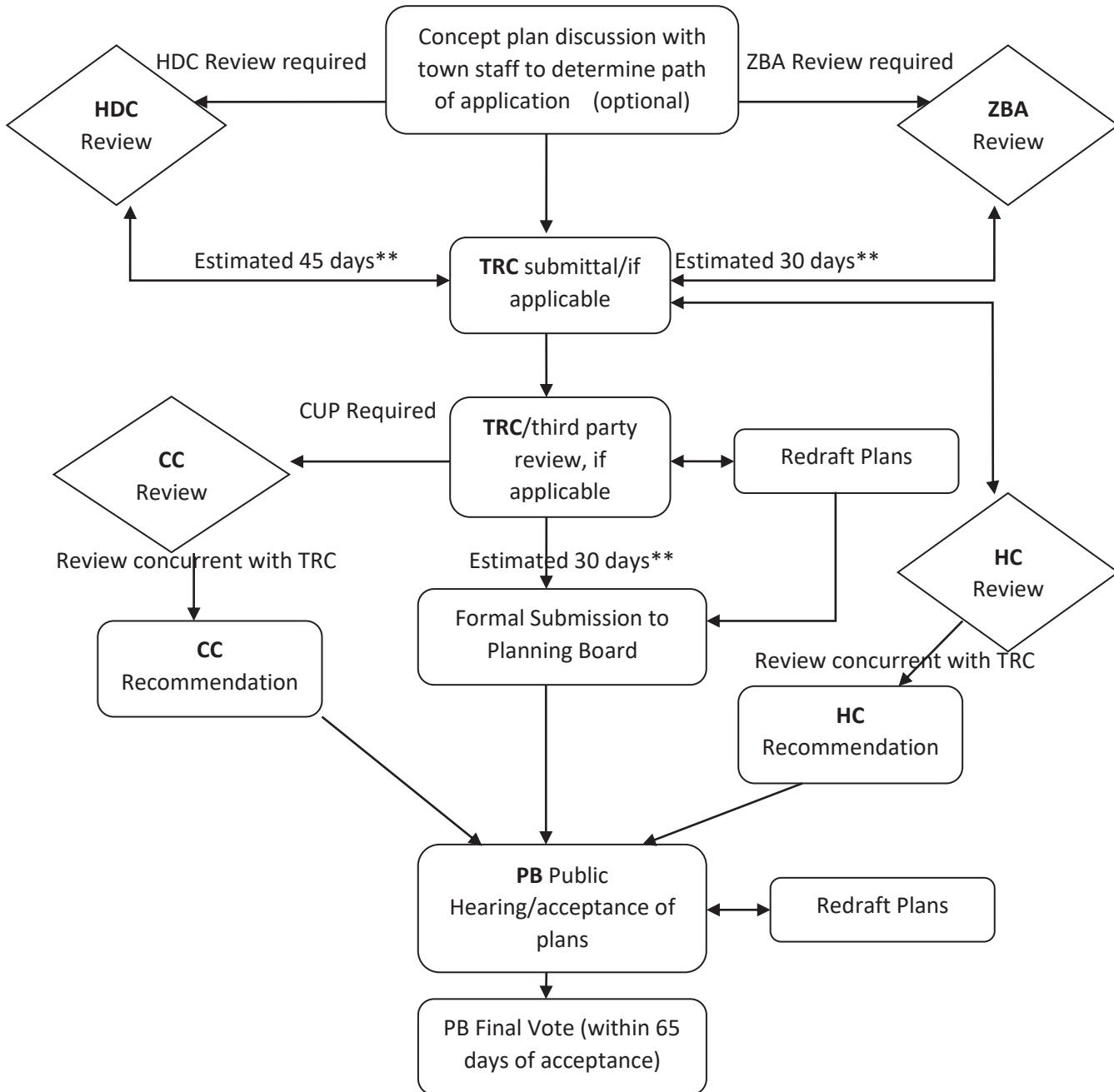
The key to receiving a prompt decision from the Planning Board is to adhere closely to the Board's procedures. A chart outlining the "Planning Board Review Procedure" is attached for your information. Please be aware that a technical review of your proposal by the Technical Review Committee (TRC) must precede Planning board consideration of your application. The Town Planner will only schedule you for a public hearing with the Planning Board after your application has gone through technical review and any required changes have been incorporated.

Copies of the applicable "Site Plan Review and Subdivision Regulations" are available for your review or purchase at the Planning Department office on the second floor of the Town Office Building located at 10 Front Street and are also on the Town's website at www.exeternh.gov

It is strongly recommended that you become familiar with these regulations, as they are the basis for review and approval of all site plans.



Exeter Planning Review Process Flow Chart*



ZBA – Zoning board of Adjustment **PB** – Planning Board **HDC** – Historic District Commission
HC – Heritage Commission **CC** – Conservation Commission **TRC** – Technical Review Committee
CUP – Conditional Use Permit

*This chart shows the local process only. State permits (Wetlands, Shoreland, etc. are not shown)

**All time estimates are approximate and can vary considerably. However, it is generally expected to take between 90 and 180 days to complete local review in the event review from all boards is required.



SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing (✓)
2. Abutter's List Keyed to Tax Map (✓)
(including the name and business address of every engineer, architect, land surveyor, or soils scientist whose professional seal appears on any plan submitted to the Board)
3. Completed- "Checklist for Site Plan Review" (N/A)
(Preliminary)
4. Letter of Explanation (✓)
5. Written Request for Waiver (s) from "Site Plan Review and Subdivision Regulations" (if applicable) (N/A)
(Preliminary)
6. Completed "Preliminary Application to Connect and /or Discharge to Town of Exeter- Sewer, Water or Storm Water Drainage System(s)" (if applicable) (N/A)
(Preliminary)
7. Planning Board Fees (✓)
8. Seven (7) full-sized copies of Site Plan (✓)
9. Fifteen ¹⁰~~(15)~~ 11"x17" copies of the final plan to be submitted **TEN DAYS** **PRIOR** to the public hearing date. (✓)
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. (✓)

NOTES: All required submittals must be presented to the Planning Department office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- ☒ **COMMERCIAL SITE PLAN REVIEW**
☐ **INDUSTRIAL SITE PLAN REVIEW**
☐ **MULTI-FAMILY SITE PLAN REVIEW**
☐ **MINOR SITE PLAN REVIEW**
☐ **INSTITUTIONAL/NON-PROFIT SPR**

* Design Review

APPLICATION #

DATE RECEIVED

APPLICATION FEE

PLAN REVIEW FEE

ABUTTERS FEE

LEGAL NOTICE FEE

TOTAL FEES

INSPECTION FEE

INSPECTION COST

REFUND (IF ANY)

1. **NAME OF LEGAL OWNER OF RECORD:** Meniscus Financial Holdings LLC (Map 52 Lot 112-2)

Laurence D. & Debra G. Foss (Map 52 Lot 110 & 111) **TELEPHONE:** (603) 772-7777

ADDRESS: 133 Portsmouth Avenue, Exeter, NH 03833

2. **NAME OF APPLICANT:** Foss Motors

ADDRESS: 133 Portsmouth Avenue, Exeter, NH 03833

TELEPHONE: (603) 772-7777

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:** _____

Owner

(Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:** Existing Car Dealership

ADDRESS: 133 Portsmouth Avenue, Exeter, NH 03833

TAX MAP: 52 **PARCEL #:** 110, 111, & 112-2 **ZONING DISTRICT:** C-2

AREA OF ENTIRE TRACT: 9.904 acres (combined) **PORITION BEING DEVELOPED:** North of GTE Road



5. **ESTIMATED TOTAL SITE DEVELOPMENT COST \$** +/- \$8 Million

6. **EXPLANATION OF PROPOSAL:** The proposal includes razing the existing building and constructing a new 36,500 SF car dealership with expanded parking, designated areas for customers, employees, and vehicle display, and a reconfigured layout to improve circulation and site functionality.

7. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** Yes

If yes, Water and Sewer Superintendent must grant written approval for connection.

If no, septic system must comply with W.S.P.C.C. requirements.

8. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. Letter of Explanation	10
B. Abutters List keyed to Tax Map	10
C. Abutter Labels	3 each
D. RCRD BK2693 PG1341 (Sewer Easement)	10
E. D-42854 (Sign & Sewer Easements)	10
F. D-43581 (Access, Drainage, and Sewer Easements)	10
G. Preliminary Site Plan Set	(7) full sized, (10) 11"x17" copies

9. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** Yes **IF YES, ATTACH COPY.**

- Sewer Line Easement
- Access Easement
- Sign Easement
- Drainage Easement

10. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**

NAME: Emanuel Engineering, Inc. (Civil Engineers)

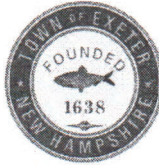
ADDRESS: 118 Portsmouth Avenue

PROFESSION: Civil Engineer **TELEPHONE:** (603) 772-4400

11. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:**

The proposal includes razing the existing building and constructing a new 36,500 SF car dealership with expanded parking, reconfigured driveways, landscaping, lighting, stormwater management infrastructure, and utility connections including water, sewer, electric, and gas. Designated areas for

customer and employee parking, as well as vehicle display and storage, are also included to support site operations.



12. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

IF YES, DESCRIBE BELOW. (Please check with the Planning Department Office to verify)

No

13. WILL THE PROPOSED PROJECT INVOLVE DEMOLITION OF ANY EXISTING BUILDINGS OR APPURTENANCES? IF YES, DESCRIBE BELOW.

(Please note that any proposed demolition may require review by the Exeter Heritage Commission in accordance with Article 5, Section 5.3.5 of the Exeter Zoning Ordinance).

Yes, the existing building on site is to be razed.

14. WILL THE PROPOSED PROJECT REQUIRE A "NOTICE OF INTENT TO EXCAVATE" (State of NH Form PA-38)? IF YES, DESCRIBE BELOW.

Yes, groundwork will be required to build the new car dealership, parking areas, and associated utilities and drainage.

NOTICE: I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE REGULATIONS; INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 15.2 OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 5-20-25 OWNER'S SIGNATURE [Signature]

5-20-25

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP TAX MAP 51 LOT 15
NAME KEVIN KING ENTERPRISES CO LLC
ADDRESS C/O HANNAFORD BROS CO
PO BOX 6500
CARLISLE, PA 17013

TAXMAP TAX MAP 52 LOT 51
NAME S A F REALTY LLC
ADDRESS 100 PORTSMOUTH AVENUE
EXETER, NH 03833

TAX MAP TAX MAP 52 LOT 52
NAME 108 HEIGHTS LLC
ADDRESS 65 POST ROAD
HOOKSETT, NH 03106

TAX MAP TAX MAP 52 LOT 53
NAME EXETER LUMBER
ADDRESS 120 PORTSMOUTH AVENUE
EXETER, NH 03833

TAX MAP TAX MAP 52 LOT 54
NAME SANEL AUTO PARTS INC
ADDRESS PO BOX 504
CONCORD, NH 03302

TAXMAP TAX MAP 52 LOT 106
NAME PORTSMOUTH AVENUE TRUST
ADDRESS 344 WATER STREET
EXETER, NH 03833

TAX MAP TAX MAP 52 LOT 107
NAME TILAK HOSPITALITY LLC
ADDRESS 110 HARTWELL AVENUE, SUITE 300
LEXINGTON, MA 02421

TAX MAP TAX MAP 52 LOT 109
NAME TOBEY EXETER PROPERTIES LLC
ADDRESS 2110 EXECUTIVE DRIVE
SALISBURY, NC 28147

TAX MAP TAX MAP 52 LOT 112
NAME NH EXETER PROPERTIES LLC
ADDRESS 120 NORTHWEST BOULEVARD
NASHUA, NH 03063

TAX MAP TAX MAP 52 LOT 112-1
NAME OSRAM SYLVANIA INC
ADDRESS 275 WEST MAIN STREET
HILLSBORO, NH 03244

TAX MAP TAX MAP 65 LOT 123
NAME TOWN OF EXETER
ADDRESS 10 FRONT STREET
EXETER, NH 03833

TAX MAP TAX MAP 65 LOT 123-1
NAME EXETER SPORTSMANS CLUB
ADDRESS PO BOX 1936
EXETER, NH 03833

TAX MAP
NAME
ADDRESS

TAX MAP
NAME
ADDRESS

TAX MAP
NAME
ADDRESS

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TAX MAP
NAME
ADDRESS

Please attach additional sheets, if needed

(See Abutter's List Keyed to Tax Map for Abutters, Professionals, and Owners)



CHECKLIST FOR SITE PLAN REVIEW

NOTE: THE SITE PLAN REVIEW CHECKLIST IS NOT INCLUDED WITH THIS TRANSMITTAL, AS THIS SUBMITTAL DOES NOT CONSTITUTE A FULL SITE PLAN APPLICATION.

The checklist on the following page has been prepared to assist you in the preparation of your site plan. The checklist items listed correspond to the site plan requirements set forth in Section 7 of the "Site Plan Review and Subdivision Regulations". Unless otherwise indicated, all section references within this checklist refer to these regulations. Each of the items listed on this checklist must be addressed by the applicant prior to technical review of the site plan by the Technical Review Committee (TRC) See section 6.5. of the "Site Plan Review and Subdivision Regulations". This checklist **DOES NOT** include all of the detailed information required for site plan preparation and therefore should not be the sole basis for the preparation of these plans. For a complete listing of site plan requirements, please refer to Section 7 of the "Site Plan Review and Subdivision Regulations". In addition to these required plan items, the Planning Board will review site plans based upon the standards set forth in Sections 8 and 9 of the "Site Plan Review and Subdivision Regulations". As the applicant, it is **YOUR RESPONSIBILITY** to familiarize yourself with these standards and to prepare your plans in conformance with them.

Please complete this checklist by marking each item in the column labeled "Applicant" with one of the following: "X: (information provided); "NA" (not applicable); "W: (waiver requested). For all checklist items marked "NA", a final determination regarding applicability will be made by the TRC. For all items marked "W", please refer to Section 13 of the "Site Plan Review and Subdivision Regulations" for the proper request procedure to be followed. If waivers are requested, a justification letter for requested waivers is strongly suggested. All waiver requests will be acted upon by the Planning Board at a public hearing. Please contact the Planning Department office if you have any questions concerning the proper completion of this checklist.

All of the required information for the plans listed in the checklist must be provided on separate sheets, unless otherwise approved by the TRC.

NOTE: AN INCOMPLETE CHECKLIST WILL BE GROUNDS FOR REJECTION OF YOUR APPLICATION.

OWNER
TAX MAP 52, LOT 110 & 111
LAURENCE D. & DEBRA G. FOSS
30 BUNKER HILL AVENUE
STRATHAM, NH 03885

TAX MAP 52, LOT 112-2
MENISCUS FINANCIAL HOLDINGS, LLC
133 PORTSMOUTH AVENUE
EXETER NH 03833

APPLICANT
FOSS MOTORS, INC.
133 PORTSMOUTH AVENUE
EXETER, NH 03833

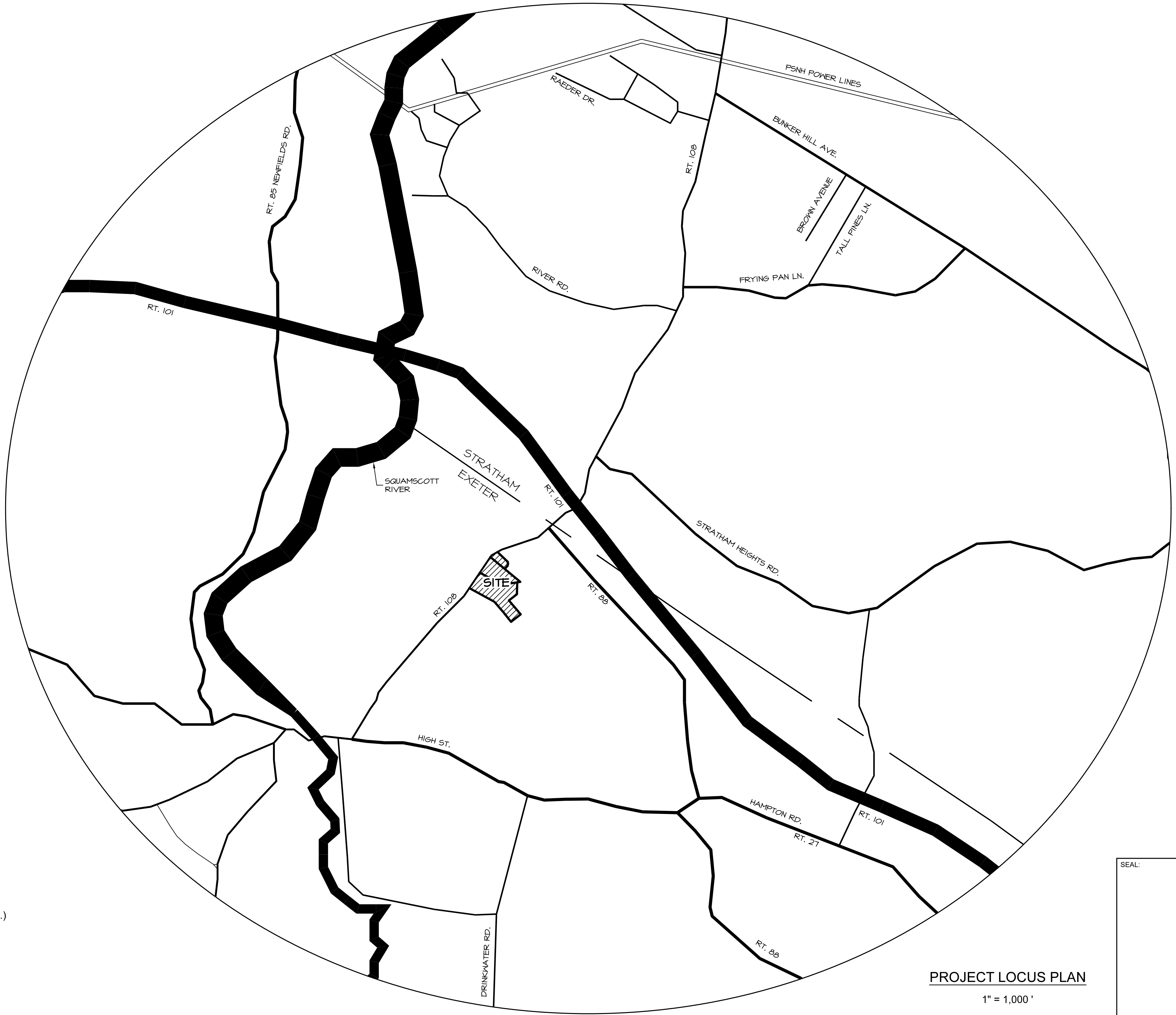
CIVIL ENGINEER
EMANUEL ENGINEERING, INC.
118 PORTSMOUTH AVENUE, SUITE A202
STRATHAM, NH 03885

LAND SURVEYOR
JAMES VERRA & ASSOCIATES, INC.
101 SHATTUCK WAY, SUITE 8
NEWINGTON, NH 03801

SOIL & WETLAND CONSULTANT
BAILEY ASSOCIATES, INC.
217 COTTON HILL ROAD
GILFORD, NH 03249

GENERAL CONTRACTOR
JEWETT CONSTRUCTION COMPANY
25 SPAULDING ROAD, SUITE 17-2
FREMONT, NH 03044

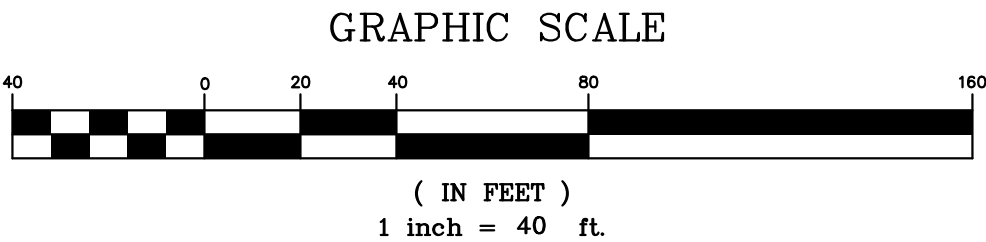
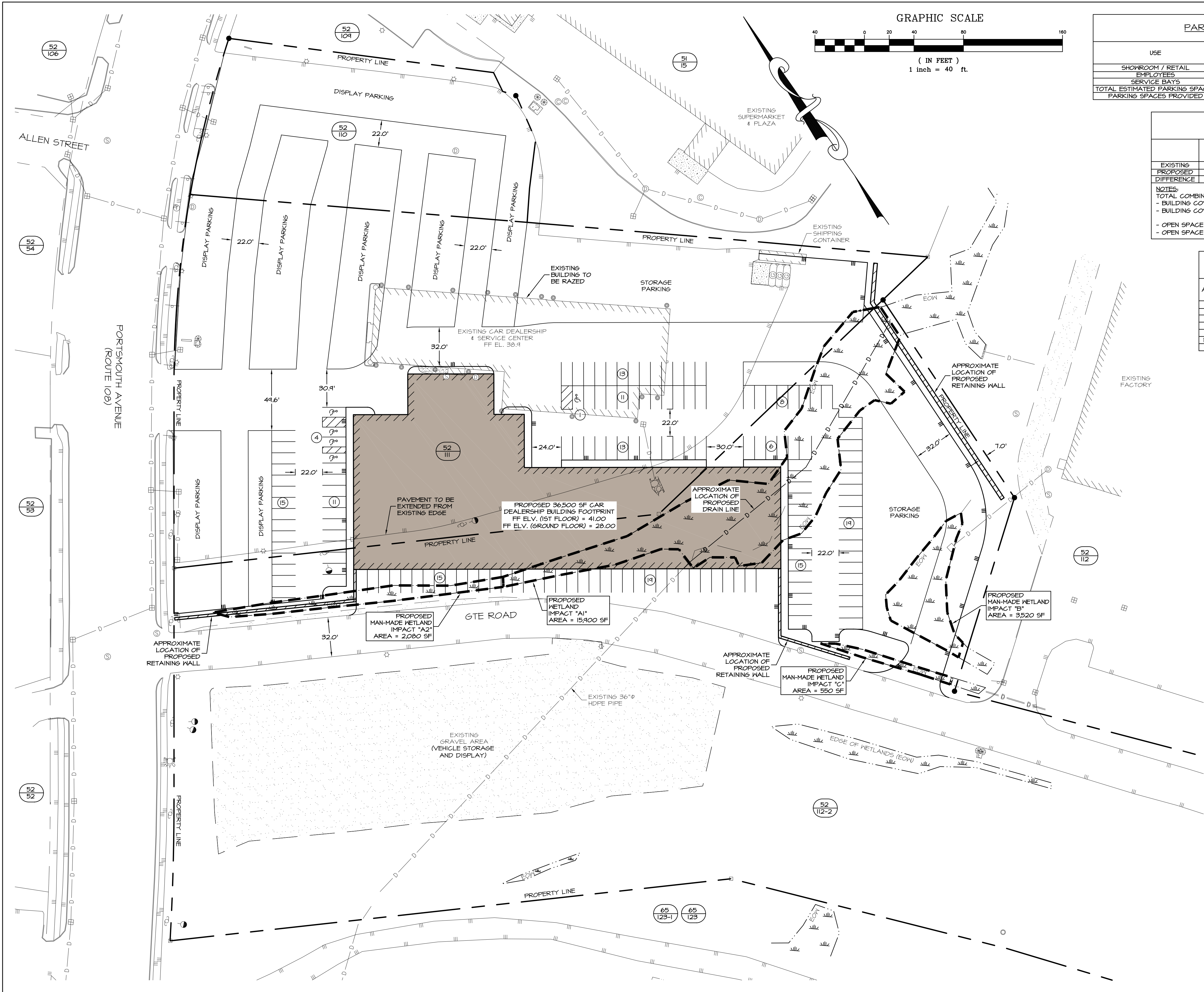
PRELIMINARY SITE PLAN FOR FOSS MOTORS, INC.
EXETER, NH TAX MAP 52 LOT 110, 111, AND 112-2
133 PORTSMOUTH AVENUE (SITE)
EXETER, NH 03833



- PROJECT DRAWING SET:
- COVER SHEET
 - V2 EXISTING CONDITIONS PLAN (BY JAMES VERRA & ASSOCIATES, INC.)
 - SK1 PRELIMINARY SITE PLAN
 - SK2 PRELIMINARY GRADING PLAN
 - SK3 ALTERNATIVE SITE DESIGN
 - SK4 MULTI-STORY FOOTPRINT COMPARISON PLAN
 - SK5 PRELIMINARY DETAILS



1	MAY 20, 2025	PRELIMINARY	
ISS	DATE:	DESCRIPTION OF ISSUE:	CHK:
DRAWN:	JJM	DESIGN:	JJM
CHECKED:	BDS	CHECKED:	BDS
<div>EMANUEL ENGINEERING</div> <div>118 PORTSMOUTH AVENUE, A202 STRATHAM, NH 03885 P: 603-772-4400 F: 603-772-4487 WWW.EMANUELENGINEERING.COM</div>			
CLIENT: <div>FOSS MOTORS 133 PORTSMOUTH AVENUE EXETER, NH 03833</div>			
TITLE: <div>COVER SHEET FOR FOSS MOTORS 133 PORTSMOUTH AVENUE (SITE) EXETER, NH 03833</div>			
PROJECT: 24-1194	SCALE: AS SHOWN	SHEET: COVER	



PARKING CALCULATION			
USE	AREA/ QUANTITY	PARKING RATIO	REQUIRED SPACES
SHOWROOM / RETAIL	11186 SF	1 PER 300 SF	37
EMPLOYEES	80 EMPLOYEES (EST.)	1 PER EMPLOYEE	80
SERVICE BAYS	30 BAYS	1 PER BAY	30
TOTAL ESTIMATED PARKING SPACES	-	-	147
PARKING SPACES PROVIDED	-	-	150

IMPERVIOUS AREA CALCULATIONS			
	PAVEMENT (SQUARE FEET)	GRAVEL (SQUARE FEET)	BUILDING (SQUARE FEET)
EXISTING	150,000	48,600	18,355
PROPOSED	211,400	48,600	36,500
DIFFERENCE	+61,400	0	+18,145

NOTES:
TOTAL COMBINED LOT AREA = 431,426 SF
- BUILDING COVERAGE REQUIREMENT = 30% MAXIMUM
- BUILDING COVERAGE PROVIDED = 8.46% (36,500 SF)
- OPEN SPACE COVERAGE REQUIREMENT = 15% MINIMUM
- OPEN SPACE COVERAGE PROVIDED = 31.16% (134,426 SF)

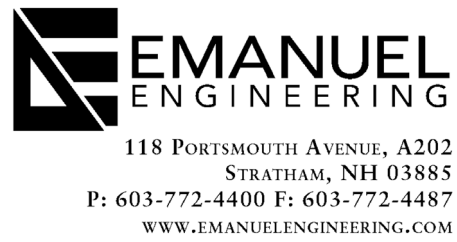
PROPOSED WETLAND IMPACT AREAS			
AREA LABEL	TYPE	AREA (SQUARE FEET)	AREA (ACRES)
A1	NATURAL	15,900	0.365
A2	MAN-MADE	2,080	0.048
B	MAN-MADE	3,520	0.081
C	MAN-MADE	550	0.012
NATURAL IMPACT TOTAL		15,900	0.365
MAN-MADE IMPACT TOTAL		6,150	0.141
TOTAL WETLAND IMPACT		22,050	0.506

NOTES:

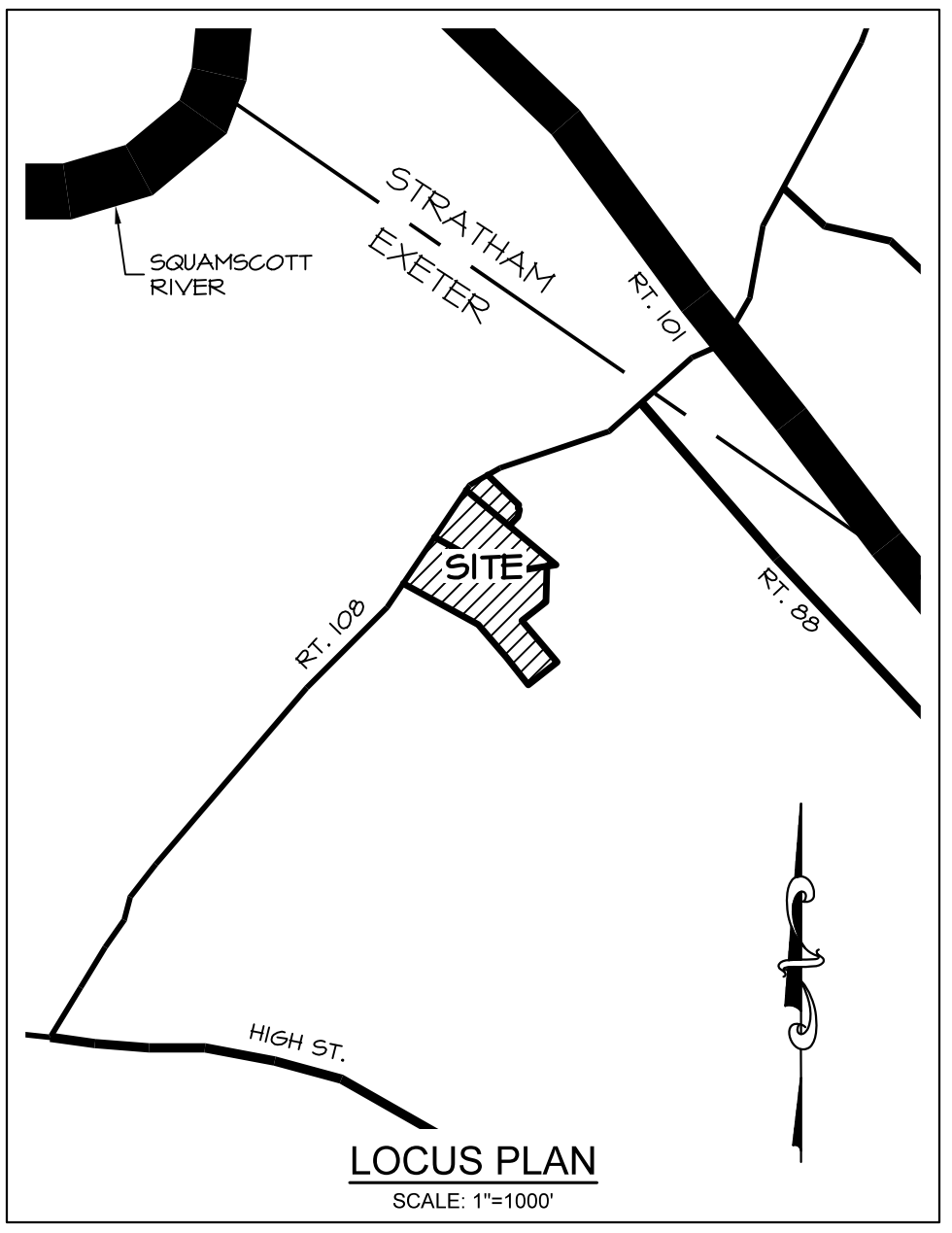
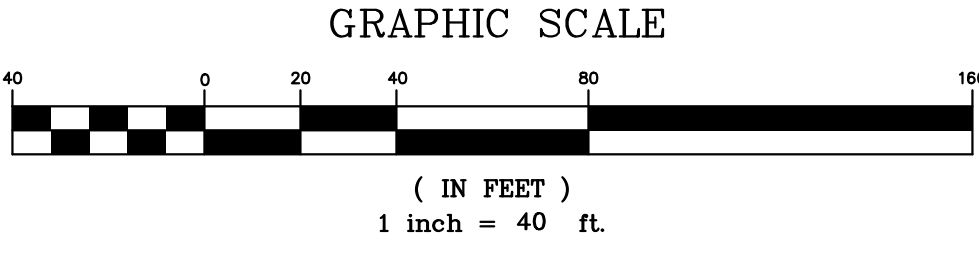
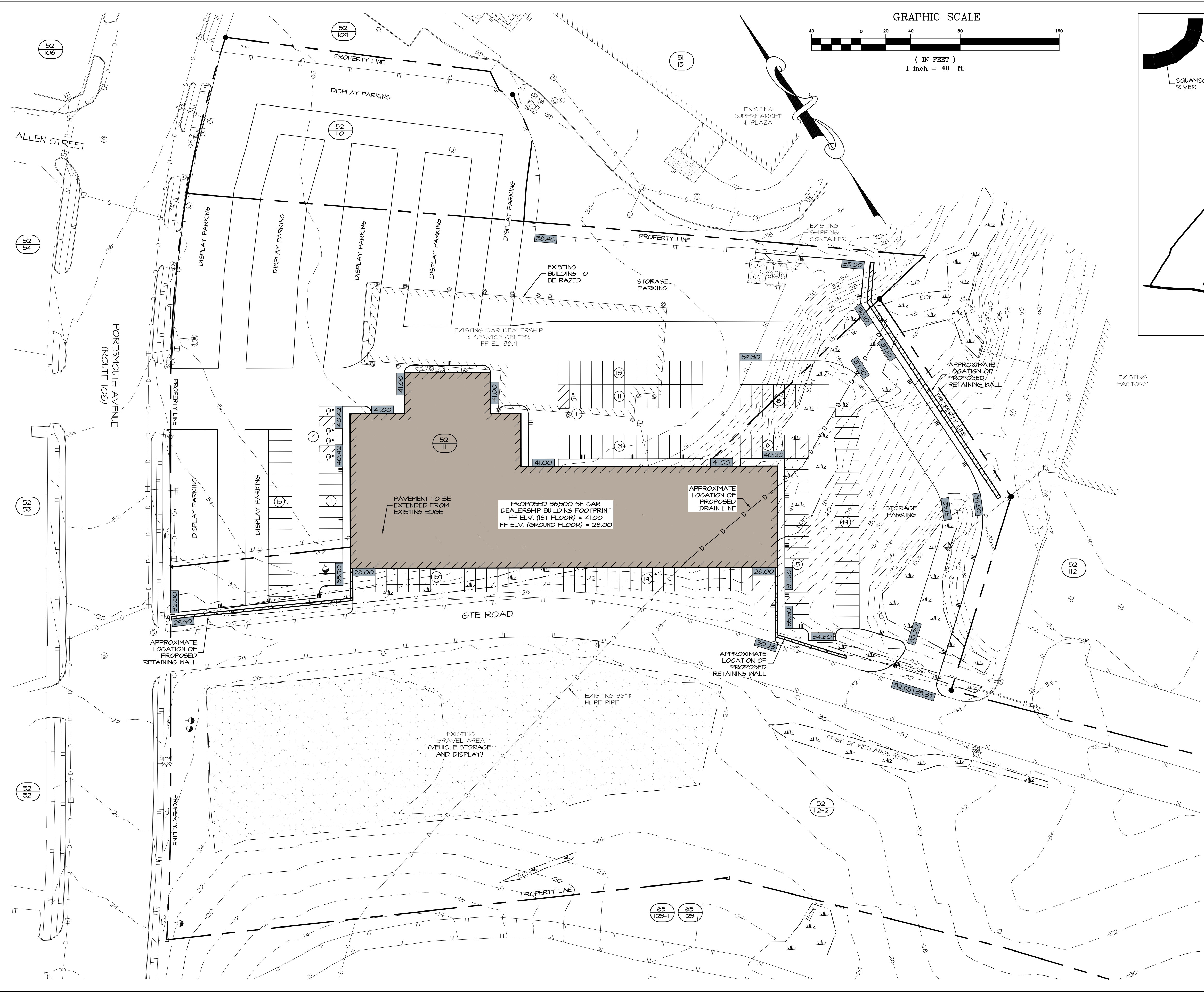
- OWNER OF RECORD:
TAX MAP 52, LOTS 110 & 111
LAURENCE D. & DEBRA G. FOSS
30 BUNKER HILL AVENUE
STRATHAM, NH 03885
RCRD BK3143 PG0151 (LOT 110)
RCRD BK6445 PG0164 (LOT 111)

TAX MAP 52, LOT 112-2
MENISCUS FINANCIAL HOLDINGS, LLC
133 PORTSMOUTH AVENUE
EXETER NH 03833
RCRD BK6444 PG0841
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE PRELIMINARY LAYOUT OF A PROPOSED CAR DEALERSHIP, INCLUDING THE 36,500 SF BUILDING FOOTPRINT, ASSOCIATED CUSTOMER AND EMPLOYEE PARKING, VEHICLE DISPLAY AND STORAGE AREAS, AND THE PROPOSED EXPANSION OF THE PARKING LOT AND DRIVEWAY FOR IMPROVED SITE CIRCULATION AND FUNCTIONALITY.
- PARCEL IS ZONED HIGHWAY COMMERCIAL (C-2) PER THE ZONING MAP OF EXETER, NEW HAMPSHIRE 2019.
- PARCEL IS NOT IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 33015C0406E, DATED MAY 17, 2005.
- FIELDWORK CONDUCTED BY JAMES VERRA AND ASSOCIATES, INC. IN THE WINTER OF 2024/2025 AND THE SPRING OF 2025.
- WETLANDS WERE DELINEATED BY BAILEY ASSOCIATES, INC. IN THE WINTER OF 2024/2025.
- PROPERTY TO BE SERVICED BY PUBLIC WATER AND SEWER.
- THIS PLAN IS PRELIMINARY AND HAS BEEN PREPARED FOR INITIAL REVIEW BY THE EXETER, NH PLANNING BOARD. IT IS NOT INTENDED FOR CONSTRUCTION, PERMITTING, OR FINAL DESIGN PURPOSES. ALL INFORMATION SHOWN IS SUBJECT TO CHANGE BASED ON FEEDBACK AND FURTHER DESIGN DEVELOPMENT.

1	MAY 20, 2025	PRELIMINARY	
ISS DATE:	DESCRIPTION OF ISSUE:		CHK:
DRAWN:	JJM	DESIGN:	JJM
CHECKED:	BDS	CHECKED:	BDS



CLIENT:			TITLE:
FOSS MOTORS 133 PORTSMOUTH AVENUE EXETER, NH 03833			PRELIMINARY SITE PLAN FOR FOSS MOTORS 133 PORTSMOUTH AVENUE (SITE) EXETER, NH 03833
PROJECT:	SCALE:	SHEET:	
24-1194	1"=40'	SK1	



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOTS 110 & 111
LAURENCE D. & DEBRA G. FOSS
30 BUNKER HILL AVENUE
STRATHAM, NH 03885
RCRD BK3193 P60151 (LOT 110)
RCRD BK6445 P60164 (LOT 111)

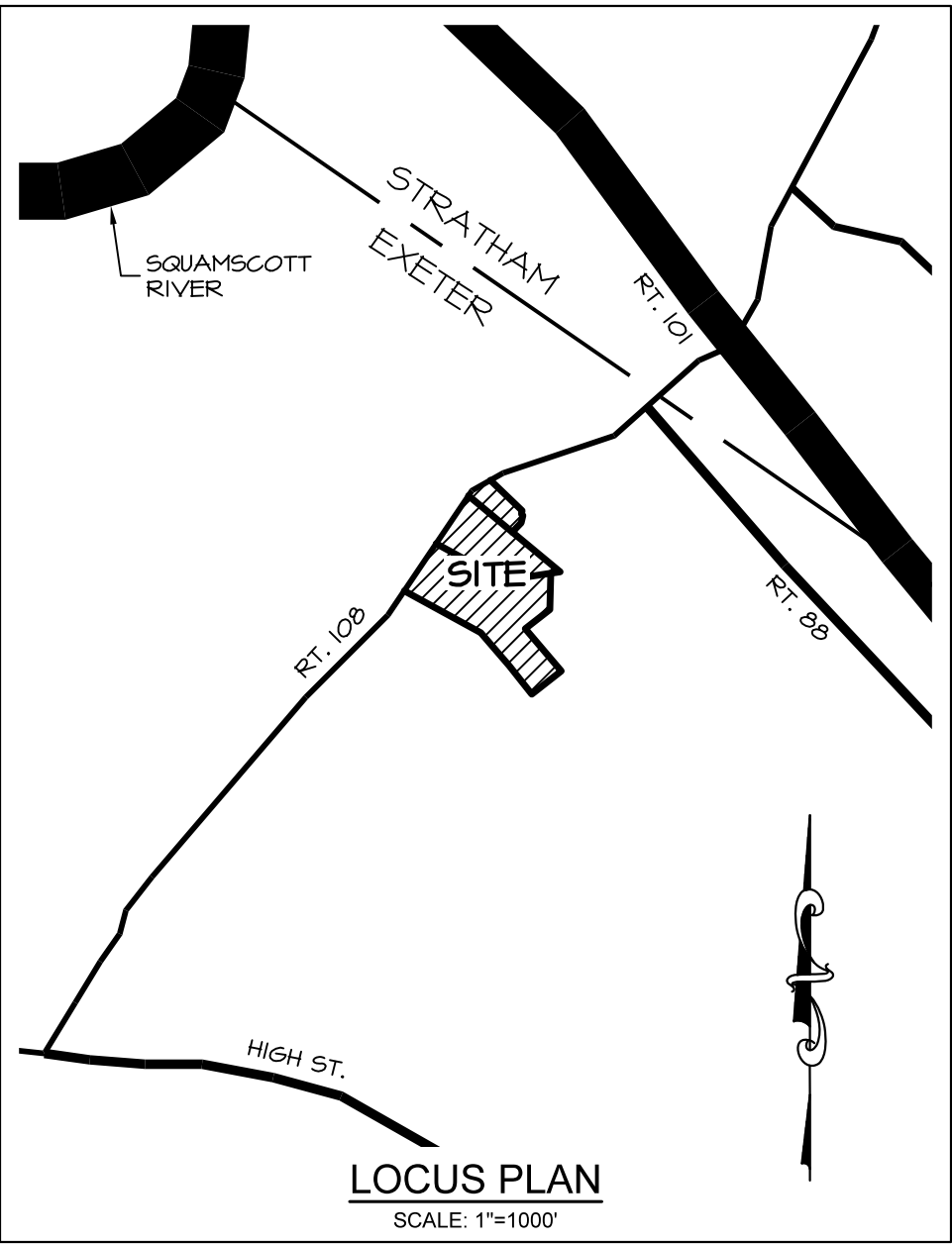
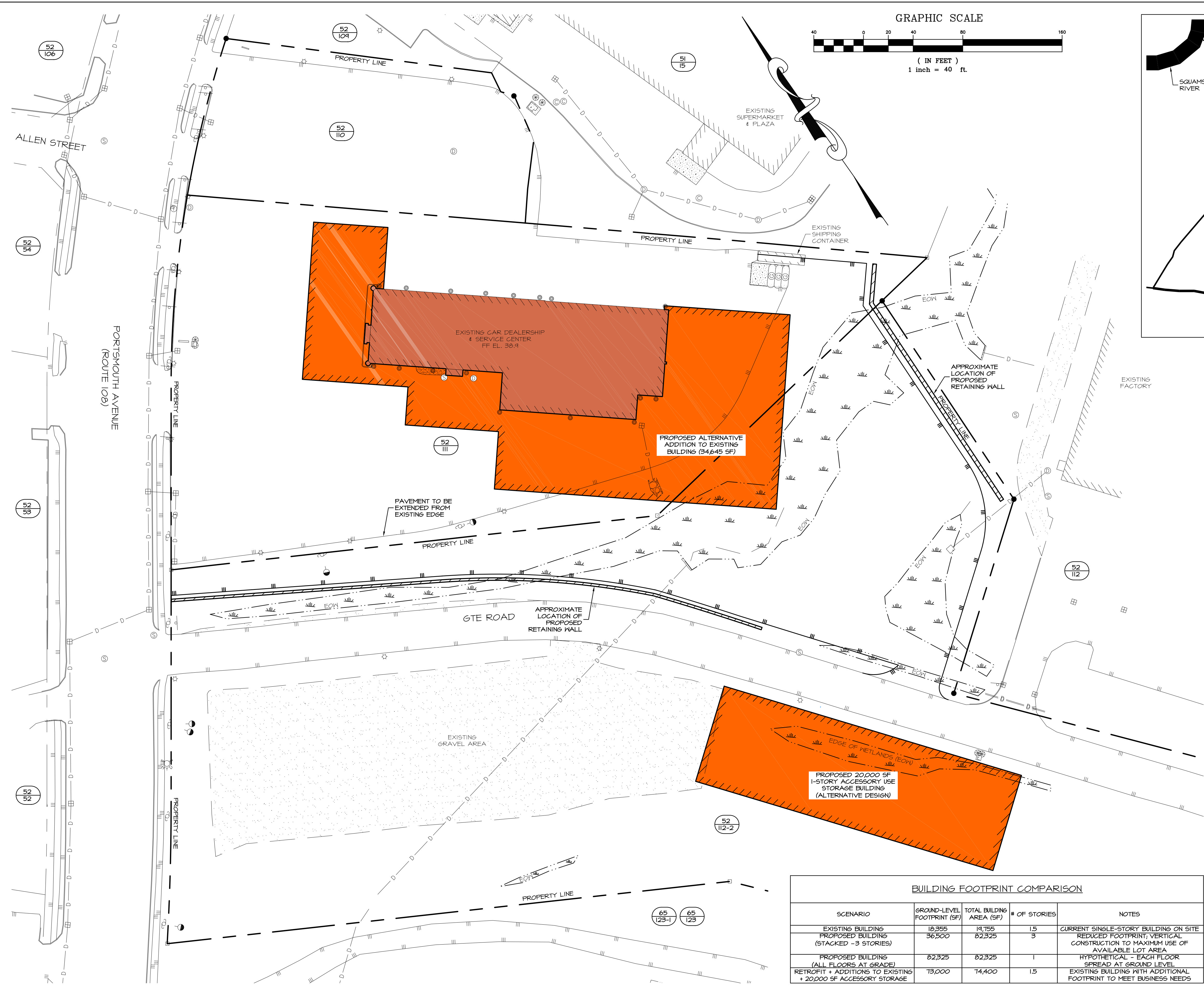
TAX MAP 52, LOT 112-2
MENISCUS FINANCIAL HOLDINGS, LLC
133 PORTSMOUTH AVENUE
EXETER NH 03833
RCRD BK6444 P60841
 - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE PRELIMINARY GRADING FOR A PROPOSED CAR DEALERSHIP AT 133 PORTSMOUTH AVENUE, INCLUDING EXISTING CONTOURS AND PROPOSED SPOT GRADES FOR THE BUILDING PAD, PARKING AREAS, VEHICLE DISPLAY AND STORAGE AREAS, AND DRIVENWAY EXPANSION.
 - PARCEL IS ZONED HIGHWAY COMMERCIAL (C-2) PER THE ZONING MAP OF EXETER, NEW HAMPSHIRE 2019.
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK CONDUCTED BY JAMES VERRA AND ASSOCIATES, INC. IN THE WINTER OF 2024/2025 AND THE SPRING OF 2025.
 - WETLANDS WERE DELINEATED BY BAILEY ASSOCIATES, INC. IN THE WINTER OF 2024/2025.
 - PROPERTY TO BE SERVICED BY PUBLIC WATER AND SEWER.
 - THIS PLAN IS PRELIMINARY AND HAS BEEN PREPARED FOR INITIAL REVIEW BY THE EXETER, NH PLANNING BOARD. IT IS NOT INTENDED FOR CONSTRUCTION, PERMITTING, OR FINAL DESIGN PURPOSES. ALL INFORMATION SHOWN IS SUBJECT TO CHANGE BASED ON FEEDBACK AND FURTHER DESIGN DEVELOPMENT.

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ISS DATE:	DESCRIPTION OF ISSUE:		CHK:
DRAWN:	JJM	DESIGN:	JJM
CHECKED:	BDS	CHECKED:	BDS

EMANUEL ENGINEERING
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:
FOSS MOTORS
133 PORTSMOUTH AVENUE
EXETER, NH 03833

SEAL:	TITLE: PRELIMINARY GRADING PLAN FOR FOSS MOTORS 133 PORTSMOUTH AVENUE (SITE) EXETER, NH 03833		
	PROJECT: 24-1194	SCALE: 1"=40'	SHEET: SK2



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOTS 110 & 111
LAURENCE D. & DEBRA G. FOSS
30 BUNKER HILL AVENUE
STRATHAM, NH 03805
RCRD BK3193 P60151 (LOT 110)
RCRD BK6445 P60164 (LOT 111)
 - TAX MAP 52, LOT 112-2
MENISCUS FINANCIAL HOLDINGS, LLC
133 PORTSMOUTH AVENUE
EXETER, NH 03833
RCRD BK6444 P60841
 - THE INTENT OF THIS PLAN IS TO PRESENT AN ALTERNATIVE BUILDING DESIGN FOR THE PROPOSED CAR DEALERSHIP THAT INCORPORATES ADDITIONS TO THE EXISTING STRUCTURE AND A SEPARATE 1-STORY 20,000 SQUARE FOOT ACCESSORY USE STORAGE BUILDING. THIS DESIGN RESULTS IN DOUBLE THE BUILDING FOOTPRINT BUT PROVIDES LESS OVERALL FLOOR AREA COMPARED TO THE PROPOSED MULTI-STORY DESIGN.
 - PARCEL IS ZONED HIGHWAY COMMERCIAL (C-2) PER THE ZONING MAP OF EXETER, NEW HAMPSHIRE 2019.
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK CONDUCTED BY JAMES VERRA AND ASSOCIATES, INC. IN THE WINTER OF 2024/2025 AND THE SPRING OF 2025.
 - WETLANDS WERE DELINEATED BY BAILEY ASSOCIATES, INC. IN THE WINTER OF 2024/2025.
 - PROPERTY TO BE SERVICED BY PUBLIC WATER AND SEWER.
 - THIS PLAN IS PRELIMINARY AND HAS BEEN PREPARED FOR INITIAL REVIEW BY THE EXETER, NH PLANNING BOARD. IT IS NOT INTENDED FOR CONSTRUCTION, PERMITTING, OR FINAL DESIGN PURPOSES. ALL INFORMATION SHOWN IS SUBJECT TO CHANGE BASED ON FEEDBACK AND FURTHER DESIGN DEVELOPMENT.

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EMANUEL ENGINEERING
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:

FOSS MOTORS
133 PORTSMOUTH AVENUE
EXETER, NH 03833

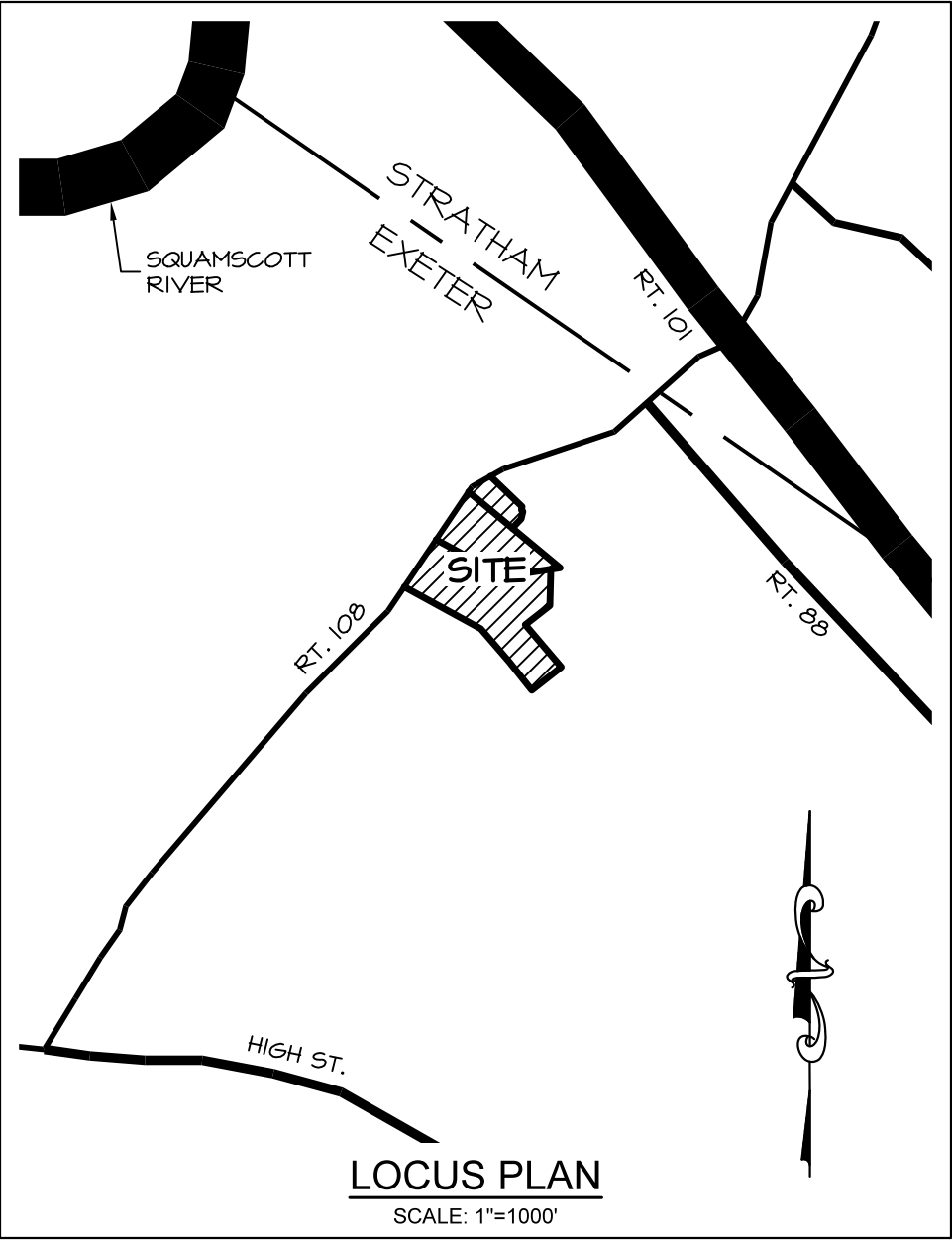
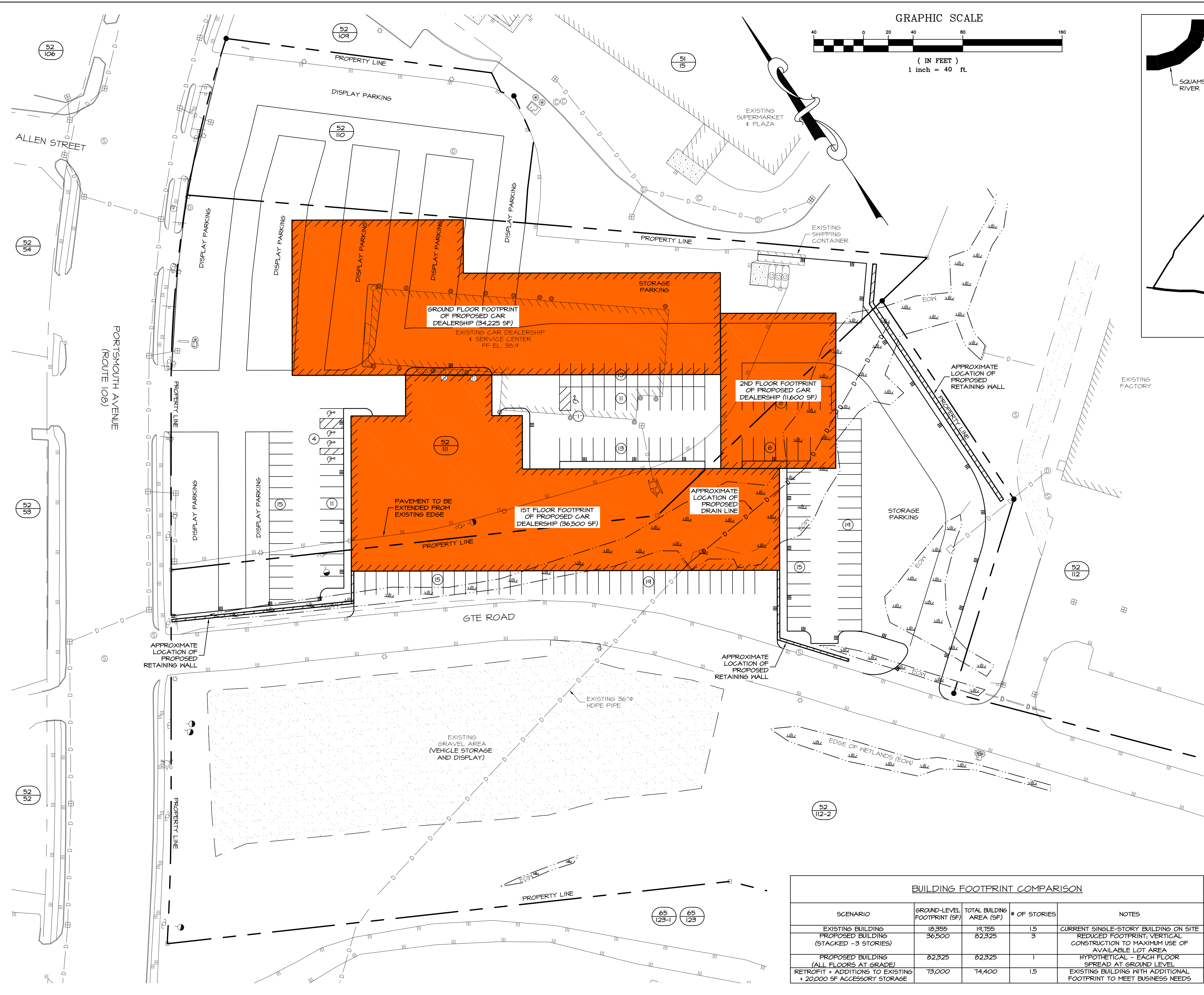
TITLE:

**ALTERNATIVE
SITE DESIGN
FOR
FOSS MOTORS
133 PORTSMOUTH AVENUE (SITE)
EXETER, NH 03833**

PROJECT:	SCALE:	SHEET:
24-1194	1"=40'	SK3

BUILDING FOOTPRINT COMPARISON

SCENARIO	GROUND-LEVEL FOOTPRINT (SF)	TOTAL BUILDING AREA (SF)	# OF STORIES	NOTES
EXISTING BUILDING	18,355	19,755	1.5	CURRENT SINGLE-STORY BUILDING ON SITE REDUCED FOOTPRINT; VERTICAL CONSTRUCTION TO MAXIMUM USE OF AVAILABLE LOT AREA
PROPOSED BUILDING (STACKED - 3 STORIES)	36,500	82,325	3	
PROPOSED BUILDING (ALL FLOORS AT GRADE)		82,325	1	HYPOTHETICAL - EACH FLOOR SPREAD AT GROUND LEVEL EXISTING BUILDING WITH ADDITIONAL FOOTPRINT TO MEET BUSINESS NEEDS
RETROFIT + ADDITIONS TO EXISTING + 20,000 SF ACCESSORY STORAGE	73,000	74,400	1.5	



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOTS 110 & 111
LAURENCE D. & DEBRA G. FOSS
30 BUNKER HILL AVENUE
STRATHAM, NH 03805
RCRD BK3193 P60151 (LOT 110)
RCRD BK6445 P60164 (LOT 111)
 - TAX MAP 52, LOT 112-2
MENISCUS FINANCIAL HOLDINGS, LLC
133 PORTSMOUTH AVENUE
EXETER, NH 03833
RCRD BK6444 P60841
 - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE COMPARATIVE BUILDING FOOTPRINTS FOR A PROPOSED THREE-STORY CAR DEALERSHIP. EACH FLOOR LEVEL IS SHOWN TO DEMONSTRATE HOW VERTICAL CONSTRUCTION CAN REDUCE SITE COVERAGE AND MINIMIZE IMPACT ON THE SURROUNDING AREA.
 - PARCEL IS ZONED HIGHWAY COMMERCIAL (C-2) PER THE ZONING MAP OF EXETER, NEW HAMPSHIRE 2019.
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK CONDUCTED BY JAMES VERRA AND ASSOCIATES, INC. IN THE WINTER OF 2024/2025 AND THE SPRING OF 2025.
 - WETLANDS WERE DELINEATED BY BAILEY ASSOCIATES, INC. IN THE WINTER OF 2024/2025.
 - PROPERTY TO BE SERVICED BY PUBLIC WATER AND SEWER.
 - THIS PLAN IS PRELIMINARY AND HAS BEEN PREPARED FOR INITIAL REVIEW BY THE EXETER, NH PLANNING BOARD. IT IS NOT INTENDED FOR CONSTRUCTION, PERMITTING, OR FINAL DESIGN PURPOSES. ALL INFORMATION SHOWN IS SUBJECT TO CHANGE BASED ON FEEDBACK AND FURTHER DESIGN DEVELOPMENT.

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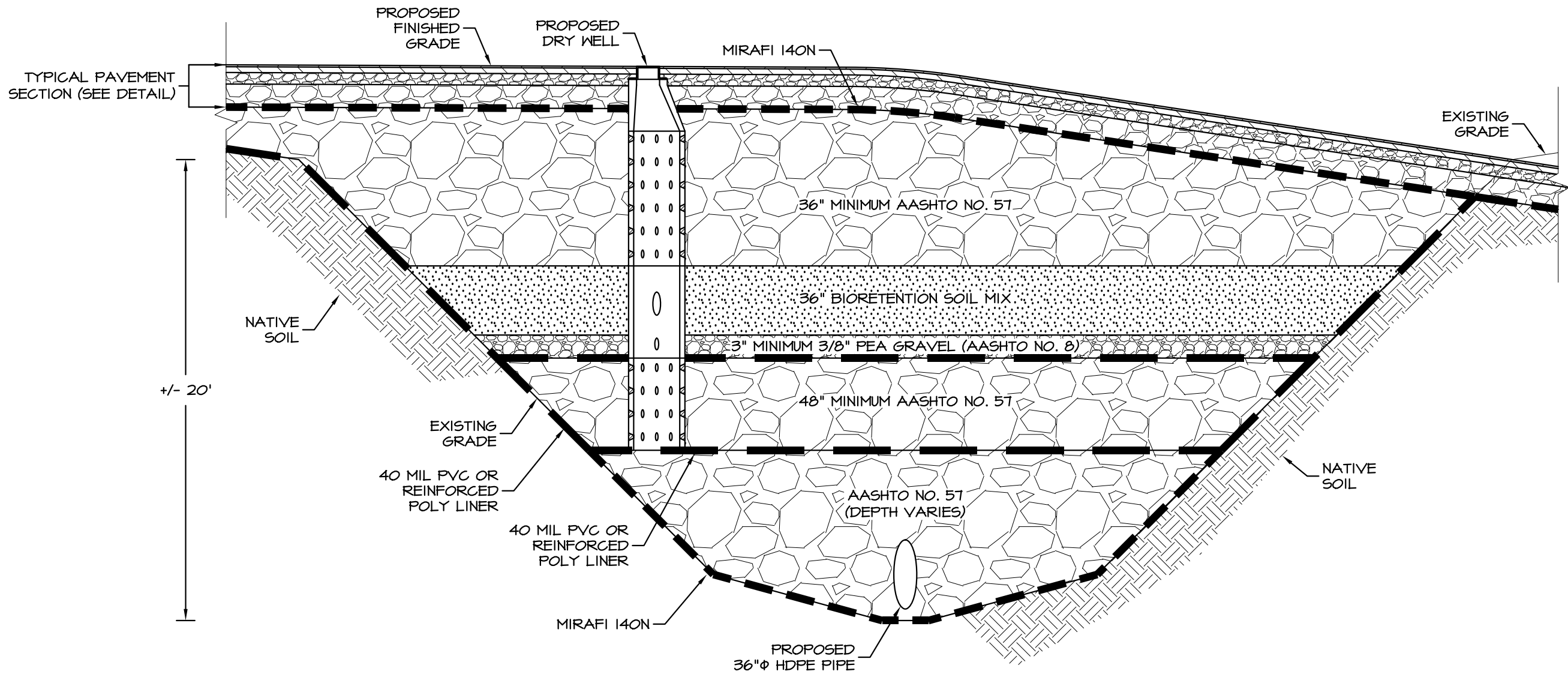
EMANUEL ENGINEERING
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:
FOSS MOTORS
133 PORTSMOUTH AVENUE
EXETER, NH 03833

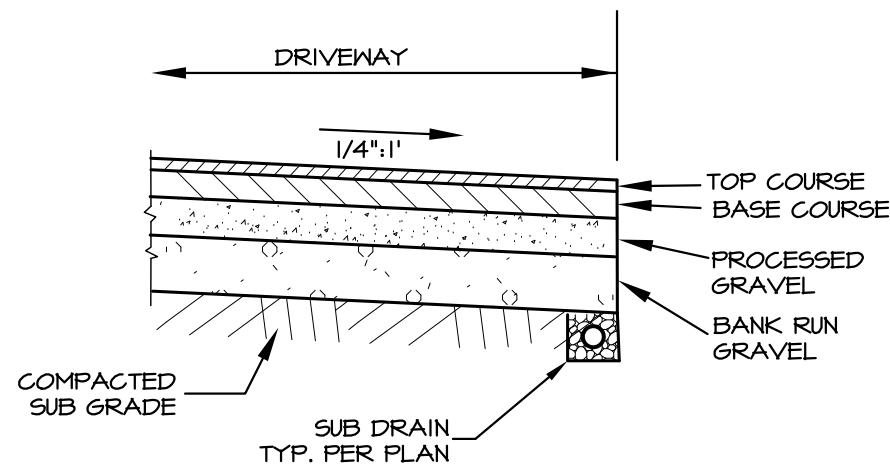
TITLE:
**MULTI-STORY FOOTPRINT
COMPARISON PLAN
FOR
FOSS MOTORS**
133 PORTSMOUTH AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
24-1194	1"=40'	SK4

BUILDING FOOTPRINT COMPARISON				
SCENARIO	GROUND-LEVEL FOOTPRINT (SF)	TOTAL BUILDING AREA (SF)	# OF STORIES	NOTES
EXISTING BUILDING	18,355	14,755	1.5	CURRENT SINGLE-STORY BUILDING ON SITE REDUCED FOOTPRINT; VERTICAL CONSTRUCTION TO MAXIMUM USE OF AVAILABLE LOT AREA
PROPOSED BUILDING (STACKED - 3 STORIES)	36,500	82,325	3	
PROPOSED BUILDING (ALL FLOORS AT GRADE)		82,325	1	HYPOTHETICAL - EACH FLOOR SPREAD AT GROUND LEVEL
RETROFIT + ADDITIONS TO EXISTING + 20,000 SF ACCESSORY STORAGE	73,000	74,400	1.5	EXISTING BUILDING WITH ADDITIONAL FOOTPRINT TO MEET BUSINESS NEEDS



TYPICAL STORMWATER TREATMENT SECTION
N.T.S.



PAVEMENT COMPONENTS:
MATERIALS AND PLACEMENT METHODS SHOULD MEET CURRENT NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION (NHDOT) REQUIREMENTS.

DRIVEWAY & PARKING AREA:
1" ASPHALT WEARING SURFACE, NHDOT 1/2" NOMINAL MAXIMUM AGGREGATE SIZE
3" ASPHALT BASE, NHDOT 3/4" NOMINAL MAXIMUM AGGREGATE SIZE
6" CRUSHED GRAVEL BASE, NHDOT TYPE 304.3
12" GRAVEL SUB BASE, NHDOT TYPE 304.2

PAVED DRIVEWAY SECTION
N.T.S.

1	MAY 20, 2025	PRELIMINARY	
ISS	DATE:	DESCRIPTION OF ISSUE:	CHK:
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CHECKED:	BDS	CHECKED:	BDS
<div><div><div></div><div>EMANUEL ENGINEERING</div><div><small>civil & structural consultants, land planners</small></div><div>118 PORTSMOUTH AVENUE, A202 STRATHAM, NH 03885 P: 603-772-4400 F: 603-772-4487 WWW.EMANUELENGINEERING.COM</div></div></div>			
CLIENT: FOSS MOTORS 133 PORTSMOUTH AVENUE EXETER, NH 03833			
TITLE: PRELIMINARY DETAILS FOR FOSS MOTORS 133 PORTSMOUTH AVENUE (SITE) EXETER, NH 03833			
PROJECT:	SCALE:	SHEET:	
24-1194	AS SHOWN	SK5	

BK2693 P1341

DEED OF EASEMENT

KNOW ALL MEN BY THESE PRESENTS, That SYLVANIA ELECTRIC PRODUCTS, INC., now known as GTE PRODUCTS CORPORATION, a corporation duly existing under law and having a place of business on Portsmouth Avenue, Exeter, County of Rockingham, State of New Hampshire, for consideration paid, grants to LAURENCE E. FOSS of RR#1, Box 352, Center Ossipee, County of Carroll, State of New Hampshire, an easement ten feet in width and across a portion of the premises owned by the Grantor on the Southerly side of Portsmouth Avenue, so-called, Exeter, New Hampshire, the location of which easement is more particularly bounded and described as follows:

Beginning at the Northwesterly end of the "Proposed 8" Sewer" as shown on a certain plan entitled "Site Plan for Foss Motors Expansion in Exeter, New Hampshire, Seacoast Engineering Associates, Inc., Greenland, New Hampshire, dated February 5, 1987" (to be recorded in Rockingham County Registry of Deeds) and running in a straight line along a course North 79° 29' 35.4" West a distance of 105.85 feet at a point at or near the area in the right of way at Portsmouth Avenue as shown on said plan marked "S.M.H.", said easement being shown on said Plan as "10' SEWER EASEMENT" on said plan and said easement extends to a width of five feet on each side of the aforesaid line.

Said easement is granted for the purpose of installing, repairing, replacing, using, and generally maintaining a sewer line running from the "Existing Foss Motors" building and shown as "Proposed 8" Sewer" as shown on said Plan to the municipal sanitary system located in Portsmouth Avenue and shown as "S.M.H." on said Plan.

This easement shall inure to the benefit of the Grantee, his heirs, executors, administrators, successors, transferees, and assigns.

For title reference see deed of Lawrence E. Foss and Faina R. Foss to Sylvania Electric Products, Inc. dated December 21, 1962 and recorded in Rockingham Records Book 1655, Page 95.

WITNESS its hand and seal this 21 day of July, 1987.

Witness:

Bruce A. Hawah

GTE PRODUCTS CORPORATION

By: [Signature]

Its

General Manager
Rockingham

STATE OF New Hampshire
COUNTY OF Rockingham

On this the 21st day of July, 1987, before me, Harold A. Etchell, the undersigned officer, personally appeared before me, who acknowledged himself to be the General Manager of Sylvania Electric Products, Inc., now known as GTE Products Corporation a corporation, and that he, as such General Manager, being authorized so to do, execute the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as General Manager.

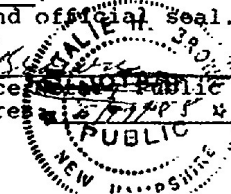
In witness whereof I hereunto set my hand and official seal.

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
JUL 22 '87
P.B.
10689



28.00

[Signature]
Justice of the Peace
My Commission Expires 12/31/88



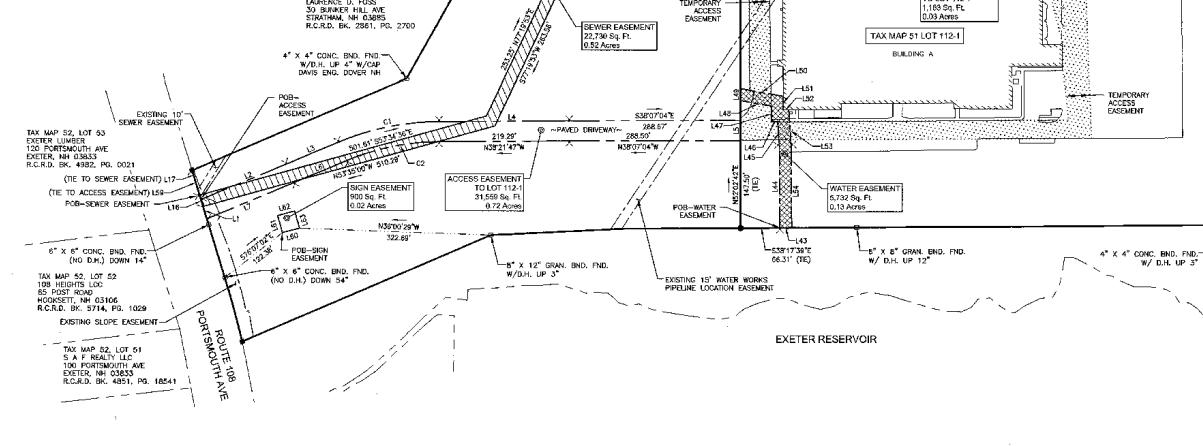
JUL 22 10 39 AM '87

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

47792

LINE TABLE				CURVE TABLE			
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	CURVE	ARC LENGTH
L1	N34°59'24"E	34.17	L33	N49°54'15"E	20.00	C1	173.20'
L2	S60°43'08"E	155.98	L34	S40°05'45"E	119.72	C2	159.81'
L3	S60°54'59"E	86.06	L35	S38°48'44"E	211.27	C3	283.36'
L4	S38°21'47"E	219.38	L36	N02°02'42"E	63.12		
L5	S52°02'42"W	34.00	L37	S37°57'18"E	100.00		
L6	N60°54'59"W	95.12	L38	S52°02'42"W	20.00		
L7	N60°43'08"W	159.44	L39	N37°07'18"W	80.00		
L8	N82°00'23"E	20.85	L40	S52°02'42"W	89.62		
L9	S54°22'18"E	141.28	L41	N38°48'44"E	230.74		
L10	N69°12'10"E	106.08	L42	N40°05'45"W	119.49		
L11	S58°15'39"E	24.55	L43	N08°17'29"W	20.00		
L12	S59°17'10"W	134.29	L44	N61°42'21"E	138.85		
L13	N51°06'18"W	197.96	L45	N47°51'50"E	40.00		
L14	N35°22'01"W	106.90	L46	N38°13'15"W	10.23		
L15	N34°36'22"W	112.06	L47	N61°45'45"E	25.84		
L16	N34°59'24"E	20.01	L48	N27°42'03"E	33.04		
L17	S34°59'24"W	43.80	L49	N62°02'42"E	20.32		
L18	N70°10'40"E	87.48	L50	S27°40'03"E	73.29		
L19	S24°30'45"E	300.79	L51	S51°46'45"W	22.49		
L20	S52°02'42"W	20.50	L52	S38°13'15"E	8.91		
L21	N24°30'49"W	287.15	L53	S47°51'38"W	39.38		
L22	S70°10'40"W	70.31	L54	S51°42'21"W	140.32		
L23	N51°03'51"E	75.64	L55	S37°57'18"E	108.04		
L24	S44°45'53"E	112.22	L56	S37°57'18"E	16.60		
L25	S52°00'23"W	20.14	L57	S37°57'18"E	50.00		
L26	N44°45'53"W	82.75	L58	S52°00'23"W	30.19		
L27	S54°30'25"W	57.22	L59	S34°59'24"W	51.38		
L28	N37°57'18"W	20.00	L60	N53°00'00"W	30.00		
L29	N47°25'24"E	65.30	L61	N37°00'00"E	30.00		
L30	S52°23'38"E	20.00	L62	S53°00'00"E	30.00		
L31	S67°38'24"W	51.00	L63	S37°00'00"W	30.00		
L32	N37°57'18"W	24.59					

LEGEND	
---	LOT LINE
---	APPROXIMATE ADJUTING LOT LINE
---	EXISTING EASEMENT LINE
---	ACCESS EASEMENT LINE
---	TEMPORARY ACCESS EASEMENT LINE
---	SEWER EASEMENT
---	DRAINAGE EASEMENT
---	ELECTRIC EASEMENT
---	WATER EASEMENT
---	TEMPORARY ACCESS EASEMENT
○	ROUND FOUND
●	IRON PIPE/ROD FOUND
■	4"X4" GRANITE BOUND SET
■	5/8" REBAR W/O CAP SET
■	RAILROAD SPIKE SET
○	ROUND FOUND
○	CONC.
○	D.H.
○	DRILL HOLE
○	POINT OF BEGINNING FOR LEGAL DESCRIPTION



LOCATION MAP (P.1.S.)

NOTES:

- REFERENCE: TAX MAP 51 LOT 112, TAX MAP 51 LOT 112-1, PORTSMOUTH AVE., EXETER, NEW HAMPSHIRE, D.S. PROJECT NO. 6088
- OWNER OF RECORD: OSRAM SYLVANIA, INC., 200 BALLADWELL STREET, WILMINGTON, MA 01897, R.C.R.D. BK. 408, PG. 2139
- FIELD SURVEY PERFORMED BY D.C.R. & K.L. DURING SEPTEMBER 2019 USING A TRIMBLE S6/S2 TOTAL STATION AND A TRIMBLE R4/R10 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A (SOKKIA) 827/7MMLE DIAL DIGITAL AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (CRD) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS NETWORK.
- THERE ARE GAS LINES MAY SERVE BOTH BUILDING A AND BUILDING B, AND TO THE EXTENT PRACTICABLE, IT IS THE RESPONSIBILITY OF THE OWNER OF LOT 112 TO ENSURE UNINTERRUPTED SERVICE TO LOT 112-A.
- REFERENCE IS HEREBY MADE TO THE "DECLARATION AND GRANT OF EASEMENTS" BETWEEN OSRAM SYLVANIA, INC. AND 131 PORTSMOUTH AVE. LLC, TO BE REDUCED.

PLAN REFERENCE:

1. LOT LINE ADJUSTMENT PLAN OF TAX MAP 51 LOT 112 AND TAX MAP 51 LOT 112-1 FOR OSRAM SYLVANIA, INC., ROUTE 108 (PORTSMOUTH AVENUE) & ROUTE 88 CONNECTOR (HOLLAND WAY) EXETER, NEW HAMPSHIRE, DATED OCTOBER 2020 (BOOK NO. 517/72) BY DOUCET SURVEY, LLC, R.C.R.D. PLAN D-42795.

EASEMENT PLAN
 TO BENEFIT
 TAX MAP 51 LOT 112
 AND
 TAX MAP 51 LOT 112-1
 FOR
 OSRAM SYLVANIA, INC.
 ROUTE 108 (PORTSMOUTH AVENUE)
 & ROUTE 88 CONNECTOR (HOLLAND WAY)
 EXETER, NEW HAMPSHIRE

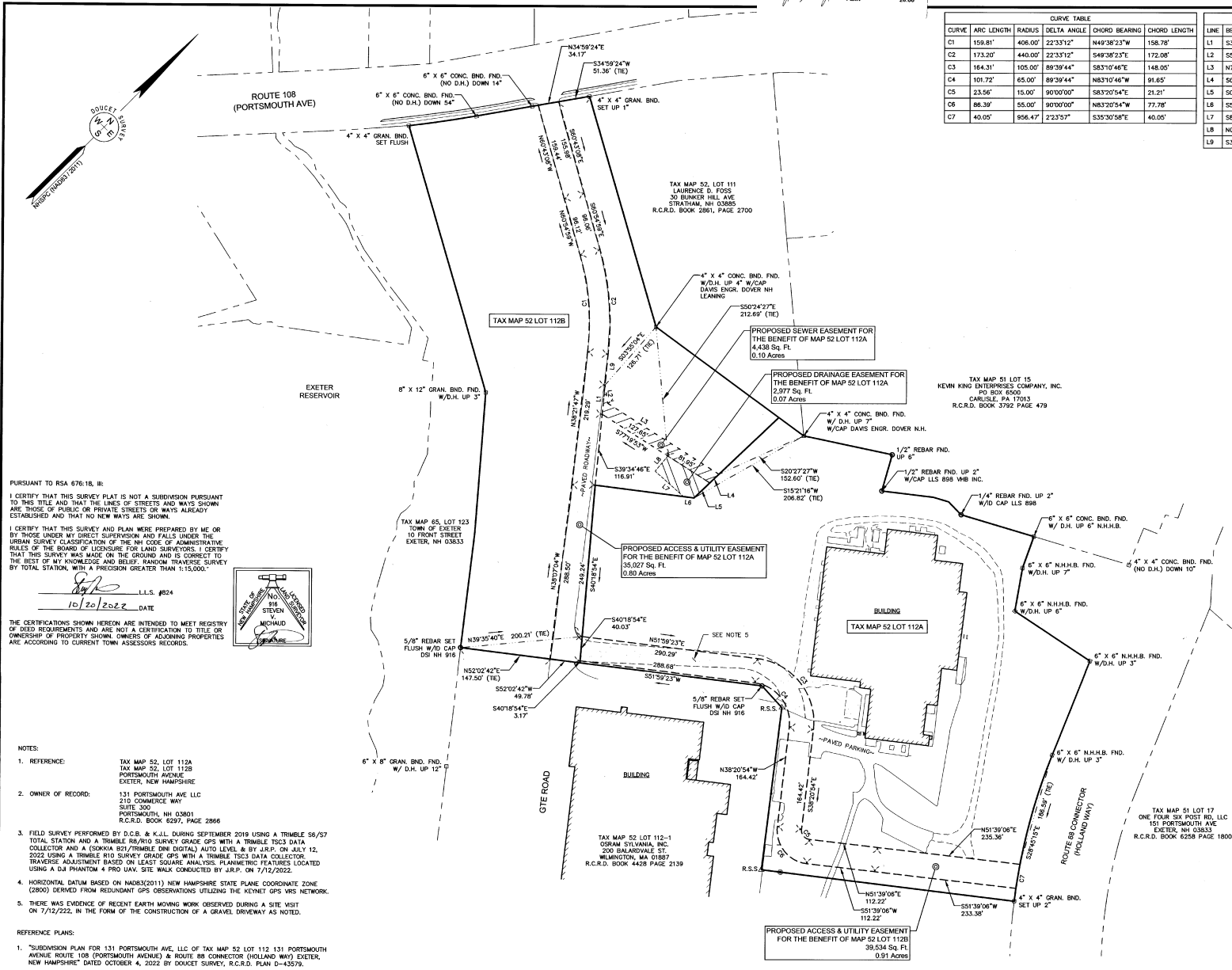
PURSUANT TO RSA 676:18, I:

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS WITHIN THE RULES OF THE BOARD OF LAND SURVEYING OF THE STATE OF NEW HAMPSHIRE. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

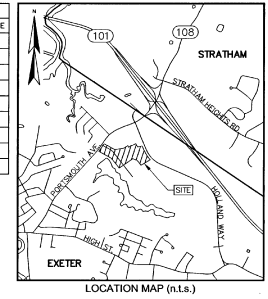
DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-6560
 Offices in Bedford & Keene, NH and Kennebunk, ME
 http://www.doucetsurvey.com

D-42854



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	159.81'	406.00'	22°33'12"	N49°38'23"W	158.78'
C2	173.20'	440.00'	22°33'12"	S49°38'23"E	172.08'
C3	164.31'	105.00'	89°39'44"	S83°10'46"E	148.00'
C4	101.72'	65.00'	89°39'44"	N83°10'46"W	91.65'
C5	23.56'	15.00'	90°00'00"	S83°20'54"E	21.21'
C6	86.39'	55.00'	90°00'00"	N83°20'54"W	77.78'
C7	40.05'	956.47'	2°23'57"	S35°30'58"E	40.05'

LINE	BEARING	DISTANCE
L1	S39°34'46"E	48.18'
L2	S53°34'36"E	30.38'
L3	N77°19'53"E	216.54'
L4	S01°28'53"W	20.62'
L5	S01°28'53"W	35.86'
L6	S52°10'27"W	17.31'
L7	S86°36'40"W	62.58'
L8	N05°10'12"W	32.31'
L9	S39°34'46"E	50.83'



LEGEND	
LOT LINE	---
APPROXIMATE ADJUTERS LOT LINE	---
ACCESS EASEMENT LINE	---
SEWER EASEMENT	---
DRAINAGE EASEMENT	---
CRUSHED STONE	---
BOUND	---
IRON PIPE/ROD	○
DRILL HOLE SET	●
RAILROAD SPIKE SET	✕
BOUND FOUND	---
CONCRETE	---
DRILL HOLE	○
GRANITE	---
NEW HAMPSHIRE HIGHWAY BOUND	---

80 0 80 160
SCALE: 1 INCH = 80 FT.

EASEMENT PLAN
OF
TAX MAP 52 LOT 112A & TAX MAP 52 LOT 112B
FOR
131 PORTSMOUTH AVE LLC
ROUTE 108 (PORTSMOUTH AVENUE)
& ROUTE 88 CONNECTOR (HOLLAND WAY)
EXETER, NEW HAMPSHIRE

NO.	DATE	GENERAL DESCRIPTION	BY
1	10/14/22		

DRAWN BY:	J.R.P.	DATE:	SEPTEMBER 14, 2022
CHECKED BY:	S.V.M.	DRAWING NO.	7490C ESMINT
JOB NO.	7490	SHEET	1 OF 1



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D-43581



MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

May 28 2025,

Mr. David Sharples
Town of Exeter
Planning and Building Department
10 Front Street
Exeter, NH 03833

Re: Response to Review Comments for
Willey Creek/ Ray Farm – Building D relocation
PB Case #22-4 (Tax Map 47 Lot 8)

Mr. Sharples,

Enclosed please find the revised resubmittal for Ray Farm's Building D relocation.

This submission incorporates comments made at the April 3 TRC meeting. Additionally, it provides updated plans which have been revised for clarity and have additional detail. A preliminary landscape plan has been added to the plan set.

We understand that due to ongoing litigation between involved parties this plan will be heard on June 12th. At which time we will request conditional approval from the Board. We understand that further revision of the plans will be required to:

- Incorporate and include of all outstanding comments provided during the first and second TRC process and review from Underwood Engineers Inc (UEI).
- Provide additional utility information required for construction including final rim elevations.
- Provide site lighting plan and traffic statement.
 - o We understand that this will require additional public notice and hearing for review.
- Address any comments required by NHDES during the application Standard Dredge and Fill through the Wetlands Bureau.
- Address any comments required by NHES during the approval of the Alteration of Terrain (AOT) Permit
 - o Includes coordination with
 - New Hampshire Natural Heritage Bureau
 - New Hampshire Fish and Game

We are also aware that due to the change in access of the site the Preliminary Application to Connect and/or Discharge to Town of Exeter Sewer, Water, and/or Storm Drainage System(s) needed to be revised. It has been included.

This submission includes:

Massachusetts:	62 Elm Street - Salisbury – MA – 01952	Phone: 978 – 463 – 8980	Fax: 978 – 499 – 0029
New Hampshire:	13 Hampton Road – Exeter – NH – 03833	603 – 778 – 0528	603 – 772 – 0689
	www.Mei-MA.com	www.Mei-NH.com	



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- This cover letter and commentary
- Application for Site Plan Review, previously submitted by GM2, revised to include MEI
- Abutters Labels in Triplicate
- Keyed Abutters List
- Fee for Notification and Legal ad-- \$270
- Completed 'Preliminary Application to Connect'
- Preliminary applications for Condition Use Permits for the Wetlands and Shorelands

- 7 Full Size Color Copies of the Site Plan
- 7 Full Size Copies of the Architectural Plan
- 15 11x17 Color Copies of the Site Plan
- 3 Copies of the Stormwater Report
- 4 Copies of the Draft Wetlands and Conditional Use Permit Analysis
- 1 Complete Package with postage for UEI (1 additional copy of the stormwater report)
- A digital record of all parts of this application shared via email.

Additionally, below are tables formatted to show the initial comment and response of the previous reviews.

Table 1 addresses the comments provided by you on April 9, 2025.

Table 2 addresses the peer review comments by Allison Rees and Robert Saunders of Underwood Engineers Inc. dated April 3, 2025.

We trust this response letter provides the necessary information to continue the process with this project. If you have any questions or comments, please feel free to contact our office at your convenience.

Sincerely,

Millennium Engineering, Inc.

Katharena Morrill

Katharena Morrill
Project Manager



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Table 1: Comments from D. Sharples.

Lot Line Adjustment Plan Comments	
<i>Comment 1:</i>	This states that it is a lot line adjustment which implies that no new lots are being created. However, the Overview Plan indicates that the new lot line creates lot 2. This isn't the case on the lot line adjustment plan. Please revise so they are consistent.
Response:	Lot 2 refers to Map 47 Lot 8-1 which currently exists. The lot area is being modified but no new lot is being created. Lot 1 receives land from Lot 2 (Parcel A) and Map 47 Lot 9 (Parcel A). Lot 2 remains a lot of record.
<i>Comment 2:</i>	Note #1 indicates encumbrances may exist. Section 7.4.17 requires all easements are shown on the plans. Please clarify note.
Response:	Note 1 has been revised.
<i>Comment 3:</i>	Note # 2 no longer appears relevant. Revise accordingly.
Response:	Note #2 has been removed. Notes have been renumbered.
<i>Comment 4:</i>	Note # 3 states that "a complete on the ground field survey shall be completed prior to application for lot line adjustment...". Since this is an application for a lot line adjustment, please verify that a complete on the ground field survey has been completed and revise or remove note as needed.
Response:	Note 3 has been removed in its entirety.
<i>Comment 5:</i>	Provide zoning information on plan per Section 7.6.6.
Response:	Zoning information has been added to the LLA plan.
<i>Comment 6:</i>	Show monumentation on plans in accordance with Section 9.25. it appears that at least four locations require monumentation to be shown either currently or to be set
Response:	Monumentation has been added to the plan set as to be set.
Site Plan Comments	
<i>Comment 7:</i>	Are there any known environmental hazards on the site in the area of proposed disturbance? If so, provide detail.
Response:	There are no known environmental hazards.
<i>Comment 8:</i>	Identify significant trees per Section 7.4.7.
Response:	Significant trees have been added to the existing conditions plan.
<i>Comment 9:</i>	Provide road design details and a construction plan in accordance with Sections 7.5.7 and Section 7.7.
Response:	The driveway has been considered a road and cross section details and construction plan will be added upon resubmission.
<i>Comment 10:</i>	Add snow storage areas on plans per Section 7.5.14.
Response:	Snow storage areas have been identified on the site plan.



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<i>Comment 11:</i>	Please provide a proposed inspection checklist form as part of the Long Term Pollution Prevention and Operations and Maintenance Plan per Section 9.5.2.
Response:	Inspection checklist has been added to O+M.
<i>Comment 12:</i>	Provide information to determine if Section 9.6.3 is being satisfied.
Response:	A waiver has been submitted for recreational areas.
<i>Comment 13:</i>	Provide landscaping plan in accordance with Section 9.7.
Response:	A preliminary landscape plan has been added.
<i>Comment 14:</i>	A row of sixteen (16) parking stalls are proposed along the front of Building D. This requires a parking island per Section 9.7.5.5.
Response:	Parking Island has been added
<i>Comment 15:</i>	Provide layout of parking garage to confirm compliance with Section 9.13 Parking Areas.
Response:	Parking plan has been added.
<i>Comment 16:</i>	Provide lighting plan and lighting specifications to insure compliance with Section 9.20.
Response:	Lighting plan will be incorporated once available.
<i>Comment 17:</i>	Provide updated traffic memo addressing the additional units.
Response:	Updated traffic memo will be provided once available.
<i>Comment 18:</i>	Provide information that the project meets Section 11.3.
Response:	Dimensional ties have been added to the site plan to show the parking distance. Lighting plan will be supplied when available. Landscape plan has been incorporated. A waiver for recreational space has been applied for as it pertains to the entire development.
<i>Comment 19:</i>	Drainage information appears incomplete. Drain lines just appear to end, catch basins are shown without pipes connecting to them, direction of flow is unknown, there is a "Stormtech 740" infiltrations system in the details but it is unclear where this system will be located, etc. Please provide all drainage information so the plans can be reviewed in accordance with our regulations including but not limited to Section 9.3.
Response:	Grading and drainage plans have been revised to show the subsurface location of the stormtech chamber. Drainage has been revised for completeness.
<i>Comment 20:</i>	The Erosion and Sediment Control Plan appears incomplete. There are symbols but no legend on what they mean, silt fencing (or whatever is meant by the dashed line with squares) just ends in some areas that would require control, etc. Please provide a plan and all necessary information to determine compliance with Section 9.3.6.1-10.
Response:	Erosion and Sediment Control Plan will be revised to reflect this comment.
<i>Comment 21:</i>	Confirm if there will be any grading within 5 feet of any exterior property line.
Response:	Grading will occur within 5 feet of exterior property lines. the majority of this grading will be done near property owned by CKT Associates (at the rear of the building) if necessary disturbance will continue across the property line to allow a smooth



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	transition as referenced in the Site Plan regulations.
<i>Comment 22:</i>	How will trash pick-up for the residential use be handled? Will there be any internal trash storage? No dumpsters are shown on the plans.
<i>Response:</i>	Provisions for interior trash storage are provided. The storage will comply with the appropriate building and ventilation codes. The location of this room may be oriented differently upon final coordination to allow collection access.
<i>Comment 23:</i>	Please discuss potential addressing of the site/buildings with the Code Enforcement Officer and Deputy Fire Chief.
<i>Response:</i>	This will be coordinated prior to final approval.
<i>Comment 24:</i>	Will natural gas be extended to the proposed building? If so, please show on plans with appropriate detail.
<i>Response:</i>	Natural gas will be required. Gas main extension is shown on the utility plan.
<i>Comment 25:</i>	The sidewalk between building C and Building D ends at a driveway without any access to Building D (see Section 9.14.6).
<i>Response:</i>	Cross walks have been provided for pedestrian access .
<i>Comment 26:</i>	Provide draft condominium documents for the proposed units.
<i>Response:</i>	Draft condominium documents have been included. Documents will be similar to that of buildings A, B, and C and an amendment to the existing documents will be required.
Public Works Comments	
<i>Comment 27:</i>	Town Engineer has indicated that more detailed plans are necessary for an appropriate review of the project.
<i>Response:</i>	Noted.
Fire Department Comments	
<p>- <i>These comments are primarily related to the building itself will likely be addressed with the resubmission of the architectural plans. As such only the two comments regarding site and civil review are included here. The complete architectural plan set has been included in the digital submission.</i></p>	
<i>Comment 28:</i>	Hydrant near site access and towards rear of site (if applicable)
<i>Response:</i>	Hydrant location has been revised.
<i>Comment 29:</i>	Fire truck turning radius site plan
<i>Response:</i>	Turning Radius sheet has been included with resubmission.
Conservation and Sustainability Planner Comments	
<i>It is understood additional review for compliance will occur.</i>	
<i>Comment 30:</i>	A second TRC is requested following resubmission
<i>Response:</i>	Noted. No response required.



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<i>Comment 31:</i>	Overall the plan is very difficult to read. For example, there is not a sheet labeled grading and erosion control (reference. 7.9) . Details for erosion control and grading is spread among several different sheets for example.
Response:	Additional labels and details have been provided to provide clarity.
<i>Comment 32:</i>	Labels for buffers are missing, symbols are missing any key to determine what they represent.
Response:	Buffers and color indexes have been provided.
<i>Comment 33:</i>	Shading for wetland, shoreland and buffer impacts are indiscernible from each other.
Response:	Color prints have been provided across all sets. Colors have been differentiated to help clarify buffers and wetland and shoreland areas and impacts.
<i>Comment 34:</i>	It is difficult to tell what is existing or proposed. Bold lines typically indicate proposed conditions yet the bolded tree line is larger than the area covered by the existing tree line for example.
Response:	Linetypes and thickness have been revised.
<i>Comment 35:</i>	No details are provided for the footpath.
Response:	Detail has been provided, foot path will mimic an asphalt sidewalk. .
<i>Comment 36:</i>	Footpath does not cross wetlands at the narrowest point.
Response:	Footpath will be reconfigured if recommended. Because the intent is to clear span the wetlands and minimally disturb the area the alignment was chose to reflect the previously presented area.
<i>Comment 37:</i>	The conditions need to show the full parcel. This one does not show the area where Building D was originally proposed (ref 7.1)
Response:	A perimeter plan has been provided to show the lot in its entirety. The existing conditions then shows the designated working area. It includes some of the area where Building D was initially proposed but does not cover this area in depth.
<i>Comment 38:</i>	Significant trees are not shown (ref. 7.4.7)
Response:	Significant trees have been surveyed in the project area.
<i>Comment 39:</i>	With so many wetland survey dates, I am unable to determine when affected wetlands and wetland/shoreland buffers were delineated. Please detail boundary survey dates for wetlands where direct or buffer impacts are proposed, and clearly identify the wetland scientist who conducted the survey. Add wetland scientist stamp.
Response:	Additional notes regarding the wetlands have been added. Wetland stamp will be added upon final approval.
<i>Comment 40:</i>	Landscape plan is not provided (ref. 7.10)
Response:	Preliminary landscape plan has been provided.
<i>Comment 41:</i>	Snow storage is not indicated on plan. (ref. 9.16)



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Response:	Snow storage has been shown on revised plan.
Comment 42:	Lighting Plan is not provided (ref. 9.20)
Response:	Lighting plan will be provided once available.
Comment 43:	Site is required to comply with EV Readiness requirements. Please provided documentation of how that will be achieved. If provided in the garage, please provide HOA regulations that show charging will be allowed – I will defer to Fire for their comments on charging in the garages (ref. 9.13.8).
Response:	Two spaces have been designated as EV ready and electrical service will be added to these spaces. EV Chargin will not occur in the garage.



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Table 2: Comments from UEI

General	
<i>Comment 1:</i>	The plans should be stamped by the engineer, surveyor, soil scientist, wetlands scientist, et al. as appropriate.
Response:	All appropriate stamps will be provided upon approval.
<i>Comment 2:</i>	An NHDES Sewer Connection Permit and EPA CGP should be added to the list of permits required on the plan set cover.
Response:	Permits have been added to the cover sheet.
<i>Comment 3:</i>	The number of parking spaces provided is listed on the cover sheet as 73, yet they add up to 72. Thirty-six spaces are shown on the site plans. Please clarify the total number.
Response:	72 spaces are available. Cover has been revised to reflect this.
<i>Comment 4:</i>	Note 7 on the General Notes Plan states the area of TM/L 47/8 is 22.04 acres. It is listed as 15.75 acres on the Overview Plan and the Lot Line Adjustment Plan. Please clarify.
Response:	Note has been removed. Cover sheet contains the proper lot area once the LLA has been completed.
<i>Comment 5:</i>	Acknowledging the Applicant's waiver request regarding the completeness of the submission, much of UE's typical review is deferred, however UE does note that many elements are missing from the plan set. Where practical, we have endeavored to identify the missing elements as we noted them, but our list should not be considered a comprehensive summation of items required of a typical submission.
Response:	Noted. Thank you for your efforts.
<i>Comment 6:</i>	The following are missing from the submittal: <ul style="list-style-type: none"> ○ Landscape Plan ○ Lighting Plan ○ Architectural Plans, including a floor plan of the garage parking level ○ Vehicle Turning Movement Plan(s) ○ Test Pit Logs
Response:	Landscape, Architectural, and Turning movements have been included. Test pit data has been added to the plan set. A lighting plan will follow when available.
Existing Conditions Plan	
<i>Comment 7:</i>	Add a north arrow.
Response:	North arrow has been added.
<i>Comment 8:</i>	Add the source(s) of all information not picked up by the on the ground survey noted.
Response:	A note has been added to this affect.



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<i>Comment 9:</i>	The utility labels overlap and are difficult to read.
<i>Response:</i>	Rim Elevations have been removed to help with clarity.
<i>Comment 10:</i>	Add the existing tree lines
<i>Response:</i>	Tree line has been shown. Significant trees have been added.
<i>Comment 11:</i>	Will the western iron rod of the pair of iron rods at the northwest corner of the site be removed?
<i>Response:</i>	We show this to remain.
<i>Comment 12:</i>	Proposed monumentation should be shown on the proposed adjusted lot lines.
<i>Response:</i>	Proposed monumentation has been added.
<i>Comment 13:</i>	The soils boundary linetype appears to be the same as the buffer linetype.
<i>Response:</i>	Soils Boundarys are meant to be in gray scale while buffers are to be in color, linetypes are redundant.
<i>Comment 14:</i>	List the datum used.
<i>Response:</i>	Datum has been added.
<i>Comment 15:</i>	The wetland shading masks some of the contours.
<i>Response:</i>	Wetland shading has been revised to increase readability.
<i>Comment 16:</i>	Add significant trees per Town regulations.
<i>Response:</i>	Significant trees have been added.
Site, Grading, and Utility Plans	
<i>Comment 17:</i>	Show the location of EV-ready parking spaces.
<i>Response:</i>	EV spaces have been shown.
<i>Comment 18:</i>	ADA parking spaces are not shown on the plan,
<i>Response:</i>	ADA Spaces have been added.
<i>Comment 19:</i>	The parking spaces measure 18' long, where 19' long spaces are required in Exeter.
<i>Response:</i>	Parking spaces have been revised to be 19'
<i>Comment 20:</i>	Label snow storage locations.
<i>Response:</i>	Snow storage has been added.
<i>Comment 21:</i>	Show locations of dumpster pads, HVAC pads, and/or mail kiosk if applicable.
<i>Response:</i>	See architectural plans.
<i>Comment 22:</i>	Label sidewalks, crosswalks, and curbing on the site plans.
<i>Response:</i>	Labels have been added.
<i>Comment 23:</i>	A sidewalk is shown along part of the drive, and proposed contours indicate it continues to the trail path, but no sidewalk line is shown.
<i>Response:</i>	Sidewalk line has been added
<i>Comment 24:</i>	A crosswalk should be added between the front entrance and the steps to the parking area
<i>Response:</i>	Cross walks have been added.
<i>Comment 25:</i>	The aisle to the steps between the parking area and the upper drive should be striped.



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Response:	Striping has been added.
Comment 26:	There are extraneous lines on the walking path overview site plan.
Response:	Layer state errors have been corrected.
Comment 27:	The grading plans appear to be incomplete partially due to the following and will be reviewed once a revised plan has been received: Proposed contours do not all tie in with existing contours Some proposed contours are mislabeled, and some are not labeled at all No proposed grading is shown at the rear of the building The FF and garage floor elevation are not labeled The TOW and BOW elevations of the retaining wall are not labeled F. The grading along the foot path does not appear to be completed
Response:	Additional elevations will be provided upon future resubmission.
Comment 28:	Plan sheet 9 is incorrectly titled. The cover sheet lists it as a Grading and Drainage Plan. It is titled a Stie Plan, and no drainage systems are shown on the sheet.
Response:	Plan sheet 9 has been revised.
Comment 29:	No emergency overflow is shown at the detention pond.
Response:	Emergency overflow will be added.
Comment 30:	The drainage system shown on the Utility Plan does not match the drainage system that was modeled in the stormwater report or what is shown on the Post-Development Stormwater Plan.
Response:	At this time the drainage system in the report and the post development plan should be considered the correct plan.
Comment 31:	Drainage manholes are labeled but not shown on the Utility Plan.
Response:	Manhole details will be added in additional utility update.
Comment 32:	No pipe is shown between CB 7 and DMH 6.
Response:	Pipe will be added to match Post development conditions
Comment 33:	The sewer line is aligned directly underneath CB 2.
Response:	Sewer line has been modified.
Comment 34:	CB 8 is not located at the edge of pavement.
Response:	This will be addressed in future submission.
Comment 35:	Overlapping labels are unreadable.
Response:	Labels have been revised, additional labels will be added / addressed.
Comment 36:	Only a few of the drainage pipes are labeled.
Response:	This will be addressed in future submission.
Comment 37:	Two catch basins are shown to the west of the stream crossing that are unlabeled and not shown in the profile. It is unclear where those structures will outlet.
Response:	CB's referenced will outlet to existing basin off of Ray Farmstead Road.
Comment 38:	Show the location of water gate valves, reducers, and bends, and label them.
Response:	This will be addressed in future submission.
Comment 39:	Coordinate the location of the fire hydrant with the Town of Exeter fire department.
Response:	Hydrant location has been revised based on fire department feedback.
Comment 40:	The 12" ductile iron water main is shown as curved along the driveway at a radius not possible for installation.
Response:	Additional Utility information will be provided. Some has been updated.
Comment 41:	Label the angle of the two water main bends shown at the turn to the building



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Response:	
<i>Comment 42:</i>	Add the location of UGE lines and transformers/
Response:	UGE and transformers have been added.
<i>Comment 43:</i>	Add stationing to the Utility Plan.
Response:	Road stationing has been included.
<i>Comment 44:</i>	Add SMH information to the Utility Plan.
Response:	SMH information has been added.
<i>Comment 45:</i>	Label the sewer pipes and add the invert at the building.
Response:	Invert at building has been identified along with sewer service pipe.
Access Road Plan and Profile	
<i>Comment 46:</i>	Extend the profile to the end of the access road.
Response:	Access road stops at the end of the building parking lot. Stationing ends at this location.
<i>Comment 47:</i>	Add stationing to the plan.
Response:	Stationing band has been added.
<i>Comment 48:</i>	Extraneous layers are shown on the plan.
Response:	Layer state issues have been corrected.
<i>Comment 49:</i>	Add depth to water table and ledge to the profile.
Response:	This will be addressed in future submission.
<i>Comment 50:</i>	Add proposed sewer and drainage information to the profile.
Response:	Profile will need to be updated.
Detail Sheets	
<i>Comment 51:</i>	Stormtech details are included but no Stormtech system is shown or labeled on the plans.
Response:	Stormtech system has been shown on the drainage plans
<i>Comment 52:</i>	Typical road cross-section, sidewalk and parking area details – revise as applicable per Town of Exeter standards for pavement and gravels.
Response:	This will be addressed in future submission.
<i>Comment 53:</i>	Some details refer to notes and other details that are not included.
Response:	Details have been revised.
<i>Comment 54:</i>	Add a detail for the “Bog Bridge” indicated on the site plans along the foot path.
Response:	This will be addressed in future submission.
Stormwater Design and Modeling	
<i>Comment 55:</i>	Provide a single table of pre vs post runoff rates and volumes.
Response:	A single table has been added for comparison.
<i>Comment 56:</i>	Confirm rainfall amounts have been increased by 15% per AoT regulation Env-Wq 1503.08.
Response:	Rainfall amounts have been added to the stormwater report to confirm this.
<i>Comment 57:</i>	Provide a narrative confirming compliance with the Pollutant Loading removal requirements per the Town of Exeter stormwater treatment regulations
Response:	A narrative has been added to the stormwater report.
<i>Comment 58:</i>	UE defers further review of the drainage study until a completed grading plan and architectural plans including roof lines and locations of gutter downspouts, if applicable, are received per the comments above.
Response:	Noted.
<i>Comment 59:</i>	PTAP Database: The Applicant is requested to enter project related stormwater tracking information contained in the site plan application documents using the Great Bay Pollution



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	Tracking and Accounting Program (PTAP) database (www.unh.edu/unhsc/ptapp) and submit the entry for review.
Response:	Project will be added to the PTAP database.

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Town of Exeter

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Planning Board Application for Site Plan Review

October 2019



Town of Exeter Planning Board Application for Site Plan Review

Date: October 2019

Memo To: Applicants for Site Plan Review

From: Planning Department

Re: Site Plan Review Application Process

The goal of the Planning Department is to process site plan review applications as quickly and efficiently as possible, in preparation for review by the Planning Board. To this end, we have designed an application form that is simple and easy to follow (see attached). If some of the information being requested does not seem to be applicable, please check with the Planning Department office, it may be that your particular proposal does not warrant such information.

It is recommended that you schedule a meeting with the Town Planner prior to formally submitting your application. The Town Planner will review your proposal for conformance with all applicable Town regulations and advise you regarding the procedure for obtaining Planning Board approval. Please contact the Planning Department office at (603) 773-6112 to schedule an appointment.

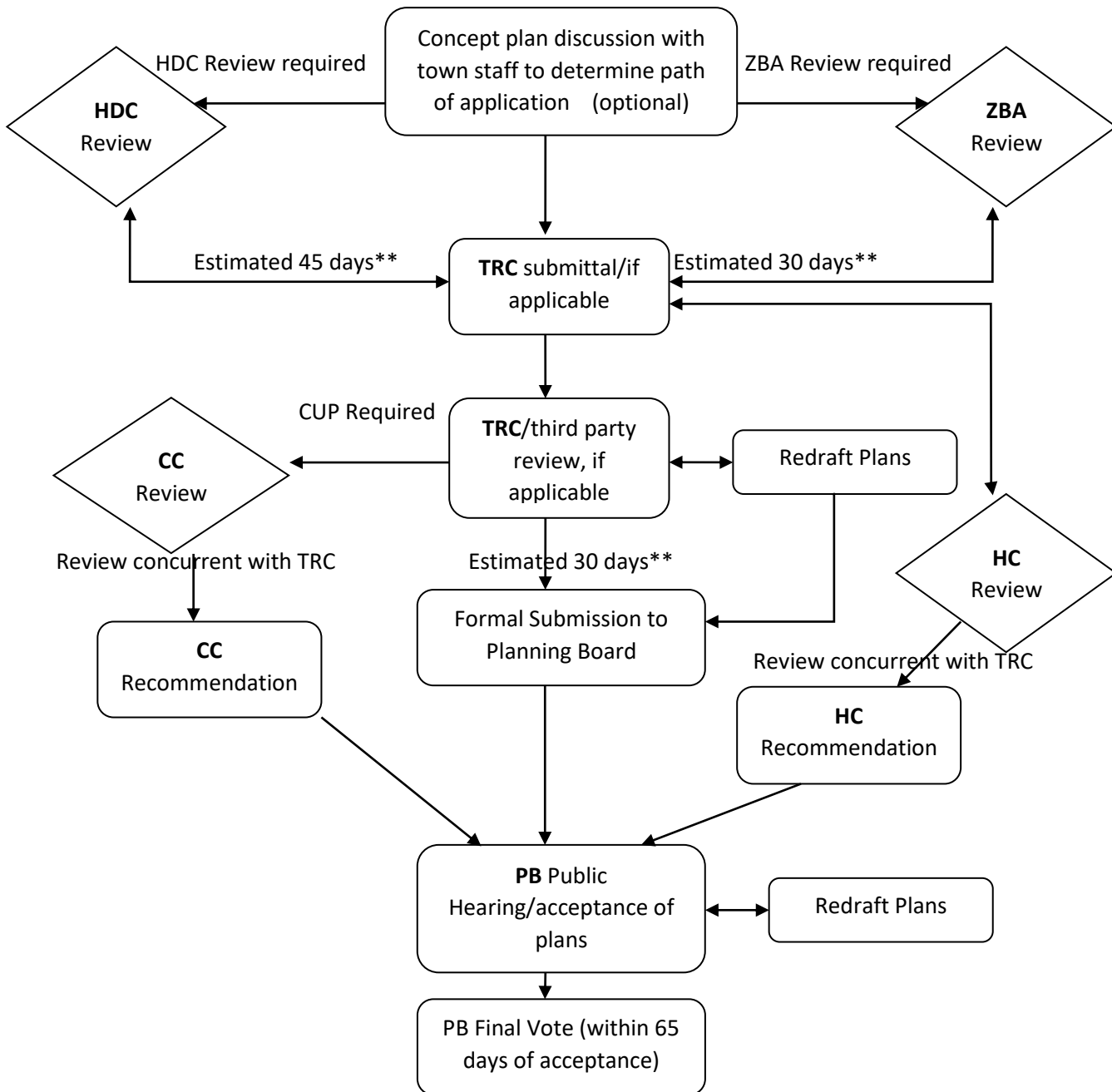
The key to receiving a prompt decision from the Planning Board is to adhere closely to the Board's procedures. A chart outlining the "Planning Board Review Procedure" is attached for your information. Please be aware that a technical review of your proposal by the Technical Review Committee (TRC) must precede Planning board consideration of your application. The Town Planner will only schedule you for a public hearing with the Planning Board after your application has gone through technical review and any required changes have been incorporated.

Copies of the applicable "Site Plan Review and Subdivision Regulations" are available for your review or purchase at the Planning Department office on the second floor of the Town Office Building located at 10 Front Street and are also on the Town's website at www.exeternh.gov

It is strongly recommended that you become familiar with these regulations, as they are the basis for review and approval of all site plans.



Exeter Planning Review Process Flow Chart*



ZBA – Zoning board of Adjustment **PB** – Planning Board **HDC** – Historic District Commission

HC – Heritage Commission **CC** – Conservation Commission **TRC** – Technical Review Committee

CUP – Conditional Use Permit

*This chart shows the local process only. State permits (Wetlands, Shoreland, etc. are not shown)

**All time estimates are approximate and can vary considerably. However, it is generally expected to take between 90 and 180 days to complete local review in the event review from all boards is required.



SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing ()
2. Abutter's List Keyed to Tax Map ()
(including the name and business address of every engineer, architect, land surveyor, or soils scientist whose professional seal appears on any plan submitted to the Board)
3. Completed- "Checklist for Site Plan Review" ()
4. Letter of Explanation ()
5. Written Request for Waiver (s) from "Site Plan Review and Subdivision Regulations" ()
(if applicable)
6. Completed "Preliminary Application to Connect and /or Discharge to Town of Exeter- Sewer, Water or Storm Water Drainage System(s)"(if applicable) ()
7. Planning Board Fees ()
8. Seven (7) full-sized copies of Site Plan ()
9. Fifteen (15) 11"x17" copies of the final plan to be submitted **TEN DAYS PRIOR** to the public hearing date. ()
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. ()

NOTES: All required submittals must be presented to the Planning Department office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- () COMMERCIAL SITE PLAN REVIEW
- () INDUSTRIAL SITE PLAN REVIEW
- () MULTI-FAMILY SITE PLAN REVIEW
- () MINOR SITE PLAN REVIEW
- () INSTITUTIONAL/NON-PROFIT SPR

APPLICATION #

DATE RECEIVED

APPLICATION FEE

PLAN REVIEW FEE

ABUTTERS FEE

LEGAL NOTICE FEE

TOTAL FEES

INSPECTION FEE

INSPECTION COST

REFUND (IF ANY)

1. NAME OF LEGAL OWNER OF RECORD: CKT Associates

158 Shattuck Way, Newington, NH 03801 TELEPHONE: (603)-431-3170

ADDRESS: _____

2. NAME OF APPLICANT: Willey Creek Company

ADDRESS: 158 Shattuck Way, Newington, NH 03801

TELEPHONE: (603) - 431-3170

3. RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER: _____

same

(Written permission from Owner is required, please attach.)

4. DESCRIPTION OF PROPERTY: _____

ADDRESS: off Ray Farmstead Road

TAX MAP: 47 PARCEL #: 8-1,9 ZONING DISTRICT: C3, I

AREA OF ENTIRE TRACT: 15.75 PORTION BEING DEVELOPED: 2.55 acres



5. **ESTIMATED TOTAL SITE DEVELOPMENT COST \$** _____

6. **EXPLANATION OF PROPOSAL:** _____ add land to existing Ray Farm project area to
_____ relocated Building D _____

7. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** _____ Yes _____

If yes, Water and Sewer Superintendent must grant written approval for connection.

If no, septic system must comply with W.S.P.C.C. requirements.

8. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. <u>See Cover letter included with new resubmission</u>	_____
B. _____	_____
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9. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** _____ IF YES, ATTACH COPY.

10. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**

NAME: Henry Boyd, JR. LLS and Eric Botterman, PE of Millennium Engineering

ADDRESS: 62 Elm Street, Salisbury, MA 01952

PROFESSION: Survey / Engineer **TELEPHONE:** (978) 463-8980

11. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:**

water, gas, sewer, underground electric, underground communications, new stormwater management



12. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

IF YES, DESCRIBE BELOW. (Please check with the Planning Department Office to verify)

Variance from ZBA to allow 32 Unit Residential building in the C3 district.

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NOTICE: I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE REGULATIONS; INCLUDING BUT NOT LIMITED TO THE “SITE PLAN REVIEW AND SUBDIVISION REGULATIONS” AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 15.2 OF THE “SITE PLAN REVIEW AND SUBDIVISION REGULATIONS”, I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE _____ OWNER’S SIGNATURE _____

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SITE PLAN REQUIREMENTS

7.4 Existing Site Conditions Plan to relocated

Submission of this plan will not be applicable in all cases. The applicability of such a plan will be considered by the TRC during its review process as outlined in Section 6.5 Technical Review Committee (TRC) of these regulations. The purpose of this plan is to provide general information on the site, its existing conditions, and to provide the base data from which the site plan or subdivision will be designed. The plan shall show the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.1 Names, addresses, and telephone numbers of the owner, applicant, and person(s) or firm(s) preparing the plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.2 Location of the site under consideration, together with the current names and addresses of owners of record, of abutting properties and their existing land use.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.3 Title, date, north arrow, scale, and Planning Board Case Number.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.4 Tax map reference for the site under consideration, together with those of abutting properties.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.5 Zoning (including overlay) district references.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.6 A vicinity sketch or aerial photo showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 2,000-feet, or larger area if deemed necessary by the Town Planner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.7 Natural features including watercourses and water bodies, tree lines, significant trees (20-inches or greater in diameter at breast height) and other significant vegetative cover, topographic features, and any other environmental features that are important to the site design process.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.8 Man-made features such as, but not limited to, existing roads, structures, and stone walls. The plan shall also indicate which features are to be retained and which are to be removed or altered.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.9 Existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.10 A High Intensity Soil Survey (HISS) of the entire site, or appropriate portion thereof. Such soil surveys shall be prepared by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.11 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.12 Surveyed property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.13 The lines of existing abutting streets and driveway locations within 200-feet of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.14 The location, elevation, and layout of existing catch basins and other surface drainage features.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.15 The shape, size, height, location, and use of all existing structures on the site and approximate location of structures within 200-feet of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.16 The size and location of all existing public and private utilities, including off-site utilities to which connection is planned.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.17 The location of all existing easements, rights-of-way, and other encumbrances.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.18 All floodplain information, including the contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated May 17, 1982.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.19 All other features which would fully explain the existing conditions of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.20 Name of the site plan or subdivision.



7.5 Proposed Site Conditions Plan (Pertains to Site Plans Only)

The purpose of this plan is to illustrate and fully explain the proposed changes taking place within the site. The proposed site conditions plan shall depict the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.1 Proposed grades and topographic contours at intervals not to exceed 2-feet with spot elevations where grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.2 The location and layout of proposed drainage systems and structures including elevations for catch basins.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.3 The shape, size, height, and location of all proposed structures, including expansion of existing structures on the site and first floor elevation(s). Building elevation(s) and a rendering of the proposed structure(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.4 High Intensity Soil Survey (HISS) information for the site, including the total area of wetlands proposed to be filled.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.5 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input type="checkbox"/>	<input type="checkbox"/> n/a	7.5.6 Location and timing patterns of proposed traffic control devices.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.7 The location, width, curbing and paving of all existing and proposed streets, street rights-of-way, easements, alleys, driveways, sidewalks and other public ways. The plan shall indicate the direction of travel for one-way streets. See Section 9.14 – Roadways, Access Points, and Fire Lanes for further guidance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.8 The location, size and layout of off-street parking, including loading zones. The plan shall indicate the calculations used to determine the number of parking spaces required and provided. See Section 9.13 – Parking Areas for further guidance.
<input type="checkbox"/>	<input type="checkbox"/> partial	7.5.9 The size and location of all proposed public and private utilities, including but not limited to: water lines, sewage disposal facilities, gas lines, power lines, telephone lines, cable lines, fire alarm connection, and other utilities.
<input type="checkbox"/>	<input type="checkbox"/>	7.5.10 The location, type, and size of all proposed landscaping, screening, green space, and open space areas.
<input type="checkbox"/> to be provided.	<input type="checkbox"/>	7.5.11 The location and type of all site lighting, including the cone(s) of illumination to a measurement of 0.5-foot-candle.
<input type="checkbox"/>	<input type="checkbox"/> n/a	7.5.12 The location, size, and exterior design of all proposed signs to be located on the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.13 The type and location of all solid waste disposal facilities and accompanying screening.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.14 Location of proposed on-site snow storage. add land to existing Ray Farm project area to
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.15 Location and description of all existing and proposed easement(s) and/or right-of-way.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.16 A note indicating that: "All water, sewer, road (including parking lot), and drainage work shall be constructed in accordance with Section 9.5 Grading, Drainage, and Erosion & Sediment Control and the Standard Specifications for Construction of Public Utilities in Exeter, New Hampshire". See Section 9.14 Roadways, Access Points, and Fire Lanes and Section 9.13 Parking Areas for exceptions.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.17 Signature block for Board approval

OTHER PLAN REQUIREMENTS (See Section indicated)

- ☐ 7.7 Construction plan
- ☒ 7.8 Utilities plan
- ☒ 7.9 Grading, drainage and erosion & sediment control plan
- ☒ 7.10 Landscape plan
- ☒ 7.11 Drainage Improvements and Storm Water Management Plan
- ☐ 7.12 Natural Resources Plan
- ☐ 7.13 Yield Plan

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Planning Board Application for Site Plan Review

October 2019



Town of Exeter Planning Board Application for Site Plan Review

Date: October 2019

Memo To: Applicants for Site Plan Review

From: Planning Department

Re: Site Plan Review Application Process

The goal of the Planning Department is to process site plan review applications as quickly and efficiently as possible, in preparation for review by the Planning Board. To this end, we have designed an application form that is simple and easy to follow (see attached). If some of the information being requested does not seem to be applicable, please check with the Planning Department office, it may be that your particular proposal does not warrant such information.

It is recommended that you schedule a meeting with the Town Planner prior to formally submitting your application. The Town Planner will review your proposal for conformance with all applicable Town regulations and advise you regarding the procedure for obtaining Planning Board approval. Please contact the Planning Department office at (603) 773-6112 to schedule an appointment.

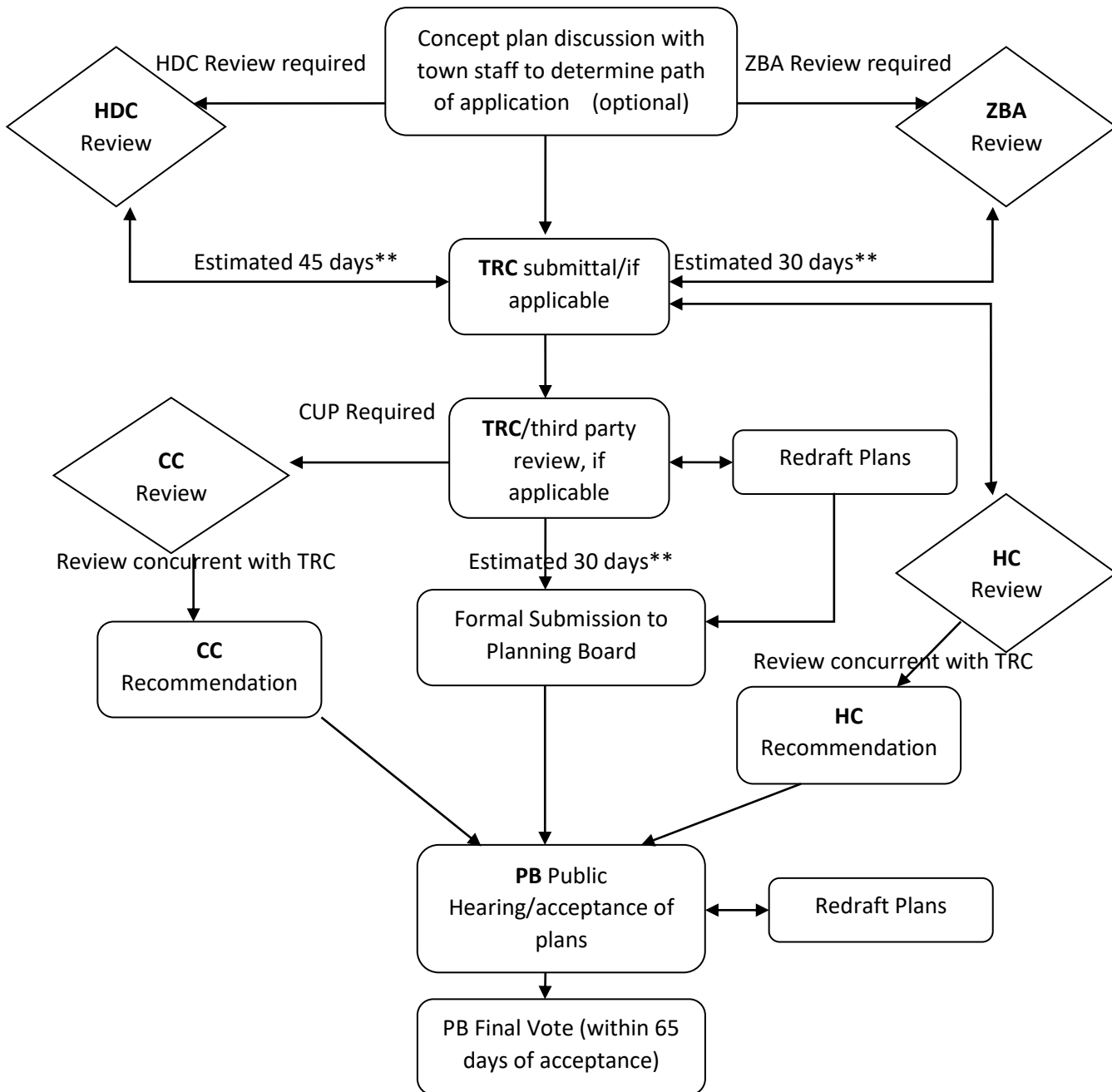
The key to receiving a prompt decision from the Planning Board is to adhere closely to the Board's procedures. A chart outlining the "Planning Board Review Procedure" is attached for your information. Please be aware that a technical review of your proposal by the Technical Review Committee (TRC) must precede Planning board consideration of your application. The Town Planner will only schedule you for a public hearing with the Planning Board after your application has gone through technical review and any required changes have been incorporated.

Copies of the applicable "Site Plan Review and Subdivision Regulations" are available for your review or purchase at the Planning Department office on the second floor of the Town Office Building located at 10 Front Street and are also on the Town's website at www.exeternh.gov

It is strongly recommended that you become familiar with these regulations, as they are the basis for review and approval of all site plans.



Exeter Planning Review Process Flow Chart*



ZBA – Zoning board of Adjustment **PB** – Planning Board **HDC** – Historic District Commission
HC – Heritage Commission **CC** – Conservation Commission **TRC** – Technical Review Committee
CUP – Conditional Use Permit

*This chart shows the local process only. State permits (Wetlands, Shoreland, etc. are not shown)

**All time estimates are approximate and can vary considerably. However, it is generally expected to take between 90 and 180 days to complete local review in the event review from all boards is required.



SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing ()
2. Abutter's List Keyed to Tax Map ()
(including the name and business address of every engineer, architect, land surveyor, or soils scientist whose professional seal appears on any plan submitted to the Board)
3. Completed- "Checklist for Site Plan Review" ()
4. Letter of Explanation ()
5. Written Request for Waiver (s) from "Site Plan Review and Subdivision Regulations" (if applicable) ()
6. Completed "Preliminary Application to Connect and /or Discharge to Town of Exeter- Sewer, Water or Storm Water Drainage System(s)"(if applicable) ()
7. Planning Board Fees ()
8. Seven (7) full-sized copies of Site Plan ()
9. Fifteen (15) 11"x17" copies of the final plan to be submitted **TEN DAYS PRIOR** to the public hearing date. ()
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. ()

NOTES: All required submittals must be presented to the Planning Department office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- () COMMERCIAL SITE PLAN REVIEW
- () INDUSTRIAL SITE PLAN REVIEW
- () MULTI-FAMILY SITE PLAN REVIEW
- () MINOR SITE PLAN REVIEW
- () INSTITUTIONAL/NON-PROFIT SPR

APPLICATION #

DATE RECEIVED

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.8 Man-made features such as, but not limited to, existing roads, structures, and stone walls. The plan shall also indicate which features are to be retained and which are to be removed or altered.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.9 Existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.10 A High Intensity Soil Survey (HISS) of the entire site, or appropriate portion thereof. Such soil surveys shall be prepared by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.11 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.12 Surveyed property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.13 The lines of existing abutting streets and driveway locations within 200-feet of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.14 The location, elevation, and layout of existing catch basins and other surface drainage features.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.15 The shape, size, height, location, and use of all existing structures on the site and approximate location of structures within 200-feet of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.16 The size and location of all existing public and private utilities, including off-site utilities to which connection is planned.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.17 The location of all existing easements, rights-of-way, and other encumbrances.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.18 All floodplain information, including the contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated May 17, 1982.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.19 All other features which would fully explain the existing conditions of the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.4.20 Name of the site plan or subdivision.



7.5 Proposed Site Conditions Plan (Pertains to Site Plans Only)

The purpose of this plan is to illustrate and fully explain the proposed changes taking place within the site. The proposed site conditions plan shall depict the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.1 Proposed grades and topographic contours at intervals not to exceed 2-feet with spot elevations where grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.2 The location and layout of proposed drainage systems and structures including elevations for catch basins.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.3 The shape, size, height, and location of all proposed structures, including expansion of existing structures on the site and first floor elevation(s). Building elevation(s) and a rendering of the proposed structure(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.4 High Intensity Soil Survey (HISS) information for the site, including the total area of wetlands proposed to be filled.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.5 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input type="checkbox"/>	<input type="checkbox"/> n/a	7.5.6 Location and timing patterns of proposed traffic control devices.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.7 The location, width, curbing and paving of all existing and proposed streets, street rights-of-way, easements, alleys, driveways, sidewalks and other public ways. The plan shall indicate the direction of travel for one-way streets. See Section 9.14 – Roadways, Access Points, and Fire Lanes for further guidance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.8 The location, size and layout of off-street parking, including loading zones. The plan shall indicate the calculations used to determine the number of parking spaces required and provided. See Section 9.13 – Parking Areas for further guidance.
<input type="checkbox"/>	<input type="checkbox"/> partial	7.5.9 The size and location of all proposed public and private utilities, including but not limited to: water lines, sewage disposal facilities, gas lines, power lines, telephone lines, cable lines, fire alarm connection, and other utilities.
<input type="checkbox"/>	<input type="checkbox"/>	7.5.10 The location, type, and size of all proposed landscaping, screening, green space, and open space areas.
<input type="checkbox"/> to be provided.	<input type="checkbox"/>	7.5.11 The location and type of all site lighting, including the cone(s) of illumination to a measurement of 0.5-foot-candle.
<input type="checkbox"/>	<input type="checkbox"/> n/a	7.5.12 The location, size, and exterior design of all proposed signs to be located on the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.13 The type and location of all solid waste disposal facilities and accompanying screening.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.14 Location of proposed on-site snow storage. add land to existing Ray Farm project area to
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.15 Location and description of all existing and proposed easement(s) and/or right-of-way.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.16 A note indicating that: "All water, sewer, road (including parking lot), and drainage work shall be constructed in accordance with Section 9.5 Grading, Drainage, and Erosion & Sediment Control and the Standard Specifications for Construction of Public Utilities in Exeter, New Hampshire". See Section 9.14 Roadways, Access Points, and Fire Lanes and Section 9.13 Parking Areas for exceptions.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7.5.17 Signature block for Board approval

OTHER PLAN REQUIREMENTS (See Section indicated)

- ☐ 7.7 Construction plan
- ☒ 7.8 Utilities plan
- ☒ 7.9 Grading, drainage and erosion & sediment control plan
- ☒ 7.10 Landscape plan
- ☒ 7.11 Drainage Improvements and Storm Water Management Plan
- ☐ 7.12 Natural Resources Plan
- ☐ 7.13 Yield Plan

Town of Exeter



Planning Board Application for Conditional Use Permit: Shoreland Protection District

July 2023

**Town of Exeter
Planning Board Application
Conditional Use Permit: Shoreland Protection District**

SUBMITTAL REQUIREMENTS:

1. Refer to the Land Use Board Meeting Schedule and Deadlines for Submission Requirements.
2. Plans Must Include:

Existing Conditions

- a. Property Boundaries
- b. Exeter Shoreland Protection District (ESPD): Edge of seasonal high-water mark (HWM) including contiguous wetlands and associated buffer as described in 9.3.3 A-C.

--Exeter, Fresh, Squamscott River and Major Tributaries: 300'	--Upland Extent of Tidal Marsh adj. to Squamscott River: 150'
--Mean High Water Level of Perennial Brooks and Streams in the Exeter, Fresh and Squamscott River Watersheds: 150'	-- Building Setbacks as defined in 9.3.4.C: 300', 150', or 100'
	--Vegetative Buffer: 75'
- c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements

Proposed Conditions

- a. Edge of Shoreland and Shoreland Buffers and distances to the following:
 - i. Edge of Disturbance
 - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
- b. Percent of impervious surface in ESPD
- c. Name and phone number of all individuals whose professional seal appears on the plan
3. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
4. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
5. A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:

Planning Board Fee: **\$50.00** Abutter Fee: **\$10.00** Recording Fee (if applicable): **\$25.00**

The Planning Office must receive the completed application, plans and fees NO LATER THAN 4:00 PM on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: CKT Associates Address: 158 Shattuck Way, Newington, NH 03801 Email Address: Phone: 603-431-3170
PROPOSAL	Address: Ray Farmstead Road Tax Map # <u>47</u> Lot# <u>8.1</u> Zoning District: <u>c-3</u> Owner of Record: CKT Associates
Person/Business performing work outlined in proposal	Name: TBD Address: Phone:
Professional that delineated wetlands	Name: Brendan Quigley, Gove Environmental Address: 8 Continental Drive, Unit H, Exeter, NH 03801 Phone: 603-778-0654

**Town of Exeter
Planning Board Application**

Conditional Use Permit: Shoreland Protection District

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)
This conditional use permit is to allow permitting and construction of a new active adult community that is a part of the existing development known as Willey Creek.

This permit requests conditional use of the shoreland buffers in order to gain access to the upland area.

A more formal description will be provided upon revision.

The complete extent of impacts has yet to be finalized.

Shoreland Protection District Impact (in square footage):

District Impacted: Exeter River ☐ Fresh River ☐ Squamscott River ☐

Buffer Impact	Temporary:	(SQ FT.)	Permanent:	(SQ FT.)
	<input type="checkbox"/> 300' Buffer	_____	<input type="checkbox"/> 300' Buffer	_____
<input type="checkbox"/> 150 Buffer	_____	<input checked="" type="checkbox"/> 150 Buffer	_____	
<input type="checkbox"/> Building Setback	_____	<input checked="" type="checkbox"/> Building Setback	_____	
<input type="checkbox"/> Veg Buffer	_____	<input type="checkbox"/> Veg Buffer	_____	
		<input type="checkbox"/> % Impervious Cover PRE _____ POST _____		

Project Proposal Does Not Include Any Prohibited Uses as Defined By 9.3.4.F.

☒ No Prohibited Uses Proposed

Is a State Shoreland Permit Required? ☐ Yes ☒ No

If YES, include filing date or expected filing date:

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

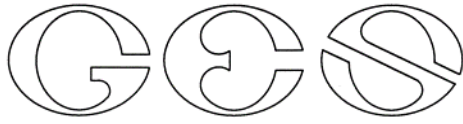
Variance to allow age restricted residential use granted Nov. 17, 2021

Indicate whether your proposal meets the conditions of Article 9.3.4.G.2 of the Town of Exeter Zoning Ordinance.

Note: Written justification for each criterion must be provided to be deemed administratively complete.

- | | | |
|------------------------------|--|---|
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> No | a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions. |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> No | b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined. |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> No | c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat. |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> No | d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article. |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> No | e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose. |

written justification to be provided once complete impacts are realized.



GOVE ENVIRONMENTAL SERVICES, INC

REPORT ON WETLANDS & CONDITIONAL USE PERMIT ANALYSIS

For

Ray Farm Condominiums Revised "Building D"

Ray Farmstead Road

Exeter, NH

May 27, 2025



This wetland report is being submitted in connection with a proposal to relocate the remaining unconstructed building within the Ray Farm Condominium development (Building D) from its approved location along the northern property line to a location in the southwest corner of the property. This is a revision of the similar proposal made in 2022 using the same building location but involving different access, now proposed to extend from the current end of Ray Farmstead Drive. This report has been revised accordingly from my 2022. It documents the delineation and functional assessment of wetland resources in the vicinity of the proposed work as well as an evaluation of the proposed work within the context Section 9.1 and 9.3 of the Zoning Ordinance (Wetland Conservation and Shoreland Protection Districts).

WETLAND DELINEATION

Resource areas on this property were initially delineated in 2014 and 2015 during the early planning stages of the original project. In accordance with state standards which limit the effective lifespan of delineations to five (5) years, the resource areas in proximity to the proposed relocated Building D were re-delineated in the fall of 2021 by Brendan Quigley, NHCWS #249. Wetland boundaries were evaluated utilizing the following standards:

1. *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, (Version 2.0) January 2012, U.S. Army Corps of Engineers.
2. *Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils*, Version 8.2. United States Department of Agriculture (2018).
3. *New England Hydric Soils Technical Committee. 2019 Version 4, Field Indicators for Identifying Hydric Soils in New England*. New England Interstate Water Pollution Control Commission, Lowell, MA.
4. *National Wetland Plant List*, Version 3.2 (2016).
5. *Classification of Wetlands and Deepwater Habitats of the United States*. USFW Manual FWS/OBS-79/31 (1979).

The updated wetland boundaries were surveyed by GM2, Inc. and remain valid as of the date of this report. The boundaries did not exhibit appreciable changes from the 2014 delineation but were extended to cover additional areas not detailed in the initial project. The vegetated wetland in the vicinity of the proposed new location of Building D is very similar to the forested wetland within the rest of the project site and the surrounding area in general. The dominant wetland type is saturated and seasonally flooded forested wetland dominated by red maple and highbush blueberry (PFO1E). The main portion of wetland in this area of the property lies southwest of the proposed Building D and is directly associated with Watson Brook. This area was largely flooded in 2015 due to downstream beaver activity but is currently free of standing water except within the Watson Brook stream channel which is now clearly visible. The soils in this wetland are very poorly drained. Two narrow fingers of forested wetland located north and east of the proposed building extend from wetland areas located outside the project area and connect to Watson Brook. The soil in these connecting wetlands is poorly drained and both areas contain intermittent streams.

All the wetland in the project area drains to Watson Brook which flows south to Norris Brook and eventually to the Squamscott River. The section of Watson Brook downstream of the existing trail crossing and easement extending from Ray Farmstead Road is perennial, as depicted on the most recent USGS map. Upstream from this location the stream is depicted as intermittent. Subsequently, the downstream section of the stream falls within the Exeter Shoreland Protection District.

FUNCTION & VALUE ASSESSMENT

A wetland function and value assessment was conducted using the US Army Corps Highway Methodology guidelines. Functions are self-sustaining properties of wetlands, which exist in the absence of human involvement. Values refers to the benefits gained by human society from a given wetland or ecosystem and their inherit functions. Functions and values identified as "primary" have been determined to be significant features of the wetland being evaluated. An important distinction is that the primary functions and values of a particular wetland does not necessarily indicating the wetland supports them at a significant *level* in comparison to other wetlands in the region or even near the site.

The Highway Methodology considers 13 functions and values:

1. **Groundwater recharge/discharge:** This function considers the potential for a wetland to serve as a groundwater recharge and/or discharge area. Recharge should relate to the potential for the wetland to contribute water to an aquifer. Discharge should relate to the potential for the wetland to serve as an area where ground water can be discharged to the surface.
2. **Floodflow Alteration:** This function considers the effectiveness of the wetland in reducing flood damage by attenuation of floodwaters for prolonged periods following precipitation events.
3. **Fish and Shellfish Habitat:** This function considers the effectiveness of seasonal or permanent water bodies associated with the wetland in question for fish and shellfish habitat.
4. **Sediment/Toxicant/Pathogen Retention:** This function reduces or prevents degradation of water quality. It relates to the effectiveness of the wetland as a trap for sediments, toxicants or pathogens.
5. **Nutrient Removal/Retention/Transformation:** This function relates to the effectiveness of the wetland to prevent adverse effects of excess nutrients entering aquifers or surface waters such as ponds, lakes, streams, rivers or estuaries.
6. **Production Export:** This function relates to the effectiveness of the wetland to produce food or usable products for human, or other living organisms.
7. **Sediment/Shoreline Stabilization:** This function relates to the effectiveness of a wetland to stabilize stream banks and shorelines against erosion.



- 8. Wildlife Habitat:** This function considers the effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and the wetland edge. Both resident and or migrating species must be considered.
- 9. Recreation:** This value considers the effectiveness of the wetland and associated watercourses to provide recreational opportunities such as canoeing, boating, fishing, hunting and other active or passive recreational activities. Consumptive opportunities consume or diminish the plants, animals or other resources that are intrinsic to the wetland, whereas non-consumptive opportunities do not.
- 10. Educational/Scientific Value:** This value considers the effectiveness of the wetland as a site for an "outdoor classroom" or as a location for scientific study or research.
- 11. Uniqueness/Heritage:** This value relates to the effectiveness of the wetland or its associated water bodies to produce certain special values. Special values may include such things as archeological sites, unusual aesthetic quality, historical events, or unique plants, animals, or geological features.
- 12. Visual Quality/Aesthetics:** This value relates to the visual and aesthetic qualities of the wetland.
- 13. Threatened or Endangered Species Habitat:** This value relates to the effectiveness of the wetland or associated water bodies to support threatened or endangered species.

Watson Brook and its associated wetland is the predominant resource area associated with the site. The combination of perennial stream flowing through a large wetland area creates conditions which support a number of functions and values, at least at some level. Groundwater discharge and production export for wildlife food sources are functions that are likely supported but not at a level at which they can be considered the wetlands primary functions. Similarly, recreation and aesthetic value can be assigned to these wetlands by virtue of their setting and presence of recreational trails in the vicinity. Support for these values is more general however, and mainly related to the value of open space, in this case mostly upland forest. In the context of wetland values, these are traditionally expressed by wetland specific characteristics such as suitability for boating or fishing, and aesthetically, as more diverse, and observable open wetland area such as a marsh, lake, or river. Although Watson Brook is perennial and may have the potential to support fish habitat, this function is severely limited by downstream crossings that very likely represent a barrier to fish passage.

The most significant functions of the Watson Brook resources are related to water quality, flood attenuation, and wildlife habitat. The wetland and upland buffer adjacent to the stream play an important water quality role for Watson Brook itself and downstream within Norris Brook and the Squamscott River. Though this stream can be characterized as a low energy system, the densely vegetated wetland provides stability to the channel, especially during higher flow events and flooding. The broad wetland area directly adjacent to the stream (the "Contiguous Wetlands") is able to store water during these events, therefore providing flood attenuation function within the watershed. The stream and wetland also provide wildlife habitat and serve as wildlife corridor within the block of forest generally between Industrial Drive and Route 101. Broader wildlife connectivity is, however, hampered by these roadways, particularly the highway.

The two narrow wetlands and intermittent streams north and east of the proposed building are part of the same interconnected wetland system and therefore support the same set of functions to some degree. Specifically, however, their role is limited to connectivity between the larger wetlands outside the project area and Watson Brook. In this regard connectivity for wildlife is likely the most significant function of these two areas.

RELATION TO THE PROPOSED DEVELOPMENT

Conditional Use Permits (CUP) are being sought for proposed impacts within the Wetlands Conservation and Shoreland Protection Overlay Districts. These impacts are associated with the construction of Building D and with the construction of an access driveway to the building. Building D makes use of a large area of upland which accommodates the building, its associated paved areas, stormwater management, and grading without the need for wetland or wetland buffer impacts. A proposed pedestrian path between Building D and Building C will require a small buffer impact but wetland and wetland buffer impacts are primarily associated with the access. Access to the building is proposed via an extension of Ray Farmstead Road following the original TIF road alignment. This alignment crosses a wetland finger and an existing crossing over Watson Brook requiring a total of 1,703 SF of wetland impact and 9,650 SF of buffer impact.

Impacts within the Shoreland Protection District (SPD) are associated with grading stormwater management, parking, and a portion of the access road. A total of 19,893 SF of grading for stormwater management and a portion of the access road are proposed within the 100-foot SPD "Building Setback" with another 19,642 SF (39,535 SF total) of grading and small area or pavement extending to the edge of the SPD at 150-Feet.

The following sections provide an analysis of these impacts in the context of the CUP criteria contained within Article 9.1.6.B (Wetlands) and Article 9.3.4.G.2 (Shoreland) of Town of Exeter Zoning Ordinance.

Wetland Conservation District CUP Criteria--Article 9.1.6.B

No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;

The alternative access to this location that was proposed in 2022 and involved a driveway extending from the existing Building C did involve less impact than the current proposal. However, this alternative was proven to be unfeasible due to life and safety concerns related to the length of access from Epping Road. The applicant sought relief from this requirement but was denied. Though greater in terms of overall impact area, the proposed access via the originally planned TIF road alignment has additional benefits. First, this access alternative will greatly improve the existing crossing of Watson Brook which is comprised of two badly deteriorated metal culverts. A 14-foot wide open bottom box structure will be used for the new crossing, greatly improving connectivity. Access directly from Ray Farmstead Road also negates the need for an alternate construction access from Commerce Way avoiding additional wetland buffer and vernal pool buffer. In light of these considerations, no alternative design which does not impact a wetland or wetland buffer, or which has less detrimental impact on the wetland or wetland buffer is feasible.

A wetland scientist has provided an impact evaluation that includes the "functions and values" of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.



A functional evaluation of the wetlands is provided in the previous sections of this letter. The primary functions of the resource areas were determined to be related to water quality, flood attenuation, and wildlife habitat. By limiting wetland impact to a single location for access and locating the remainder of project outside the buffer, the majority of the potential impact to these functions have been avoided. An intact vegetated buffer will continue to provide water quality benefits adjacent to wetland areas while the proposed stormwater management system will ensure that no greater pressure is placed on the wetlands to perform this function. Flood attenuation function should be unaffected by inclusion of an very large open bottom structure and very minimal additional impact to the brook or its associated wetland. The large proposed open bottom crossing structure should also offset potential wildlife habitat impacts from segmentation. The upgraded crossing may actually improve connectivity given that the existing crossing is likely a barrier to movement for some species. These impacts should therefore only result in minor impacts to wetland function and not negatively affect the greater hydrologic system overall.

That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;

The design of the project minimizes impact first by locating all elements of the project, other than that which is needed for access outside the wetland buffer. The proposed pedestrian trail will utilize a wooded trail bridge to span the narrow area of wetland in this area. The required impacts for access have been minimized by utilizing an existing crossing and narrowest point of the Watson Brook wetland complex and by utilizing retaining wall through the two crossings. A large 5' x14' open bottom box culvert is also proposed to cross Watson Brook, significantly improving existing conditions and maintaining optimal connectivity. The previously proposed temporary access and associated buffer impacts will also no longer be necessary.

That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;

At this location the most relevant example of a use that could negatively impact public health, safety or welfare would likely involve extensive impact to Watson Brook or uncontrolled stormwater runoff, which could increase flooding or impact water quality downstream. The project avoids extensive impacts to Watson Brook and utilizes an optimal crossing structure to replace the existing deteriorating pipes. The project also proposes comprehensive stormwater management. The project does not involve any other uses that would be expected to negatively affect these public interests.

In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.

Side slope grading in the buffer will be seeded to achieve a naturally vegetated buffer.

The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland.

The project only involves buffer impacts in the immediate vicinity of the wetland crossing and maintains intact wetland buffers in all other areas. The proposed new location of Building D will, however, avoid approximately 5,000 SF of wetland buffer impact originally approved for the construction of the building in its previous location. This includes approximately 1,300 SF of the building within the 75-foot building setback. The wetland in that location contains a unique semi-permanent pond which supports wetland specific wildlife habitat. The habitat supported in this wetland will benefit from an intact buffer.

Shoreland Protection District CUP Criteria--Article 9.3.4.G.2

The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.

The proposed impacts within 150 feet of Watson Brook are necessary for the construction of a stormwater management system and a portions of pavement for access. The water quality in Watson Brook will be protected by adherence to the 100 foot building setback, the comprehensive treatment of all stormwater runoff in a state of the art stormwater management system, and the restoration of graded slopes with native seed mix where feasible. Construction term impacts will be mitigated through best management practices and erosion control as specified on the plans.

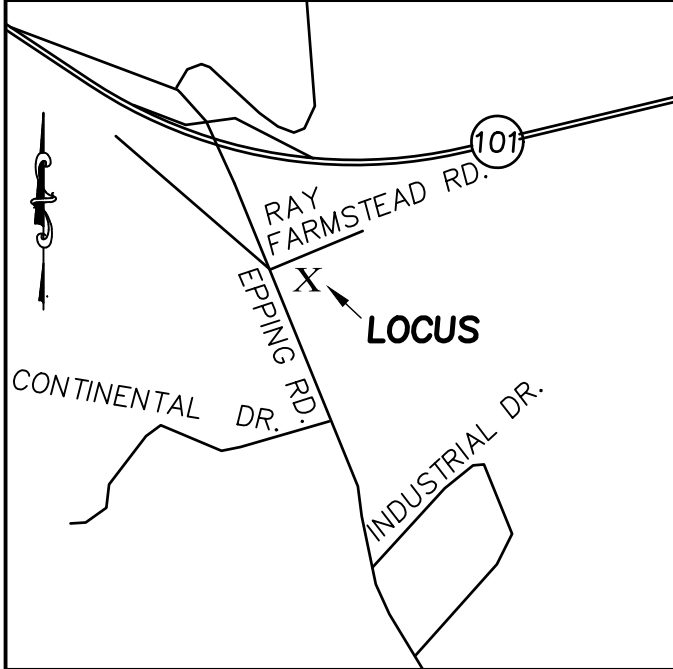
The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined.

The proposed project will be serviced by sanitary sewer and will not discharge wastewater on site. The proposed residential condominium use will not involve the storage or onsite disposal of hazardous or toxic waste as defined in the Ordinance.

The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.

The wildlife habitat associated with Watson Brook concentrated in the stream and the associated wetland areas. This habitat will be preserved intact by avoiding impacts beyond what is required for the crossing, which itself has been limited in scope to the maximum extent practicable. Spawning habitat, to the extent it exists, and other wildlife habitat associated with the stream channel will be preserved, and likely improved, by the use of a large open bottom box structure. The proposed impacts within the SPD for grading will be vegetated by using a native seed mix. This will create a largely natural condition while also allowing for future access to the basin for maintenance. For these reasons, and considering the minimal nature of the proposed disturbance, the proposed use will not result in undue damage to spawning grounds and other wildlife habitat





LOCUS MAP
NOT TO SCALE
LOCUS NOTES:

1. PARCEL:
- ASSESSORS MAP 47, LOT 8, 8-1, & 9.
LOT 8 DEED: RCRD BK. 5912 PG. 0132
LOT 8-1 DEED: RCRD BK. 3231 PG. 2722
LOT 9 DEED: RCRD BK. 3231 PG. 2722
THIS PLAN SET INCLUDES A MINOR SUBDIVISION. SEE SHEET X
2. ZONING: C-3 DISTRICT
- | | |
|---------------------------|-----------|
| MINIMUM LOT AREA | 40,000 SF |
| MINIMUM LOT WIDTH | 175 FEET |
| MINIMUM LOT DEPTH | 225 FEET |
| MINIMUM YARD SETBACKS | |
| FRONT | 50 FEET |
| SIDE | 30 FEET |
| REAR | 25 FEET |
| MAXIMUM BUILDING COVERAGE | 40 % |
| MINIMUM OPEN SPACE | 20 % |
| MAXIMUM HEIGHT | 50 FEET |
3. TOTAL SITE DENSITY
- TOTAL PARCEL AREA
15.75 ACRES (686,146 SF)
TOTAL NUMBER OF UNITS - 128
DENSITY = 5,380.5 SF PER UNIT
4. VERTICAL DATUM IS BASED ON NAVD 88.
5. THIS PARCEL DOES NOT LIE WITH IN A FLOOD ZONE. SEE F.I.R.M. COMMUNITY PANELS 33015C 401 E AND 33015C 402 E EFFECTIVE DATE MAY 17, 2005.
6. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
7. THE EXETER ZONING BOARD OF ADJUSTMENTS HAS GRANTED THE FOLLOWING VARIANCES:
1. ARTICLE 4.1.1 - LOT AREA PER DWELLING UNIT WHERE 2,500 SF IS REQUIRED AND 1723.5 SF IS PROPOSED
8. THIS PROJECT WILL REQUIRE A NEW HAMPSHIRE HERITAGE BUREAU DATACHECK AND COORDINATION WITH NEW HAMPSHIRE FISH AND GAME.

BUILDING D SITE DATA

PROPOSED USE (BLDG 'D') - ACTIVE ADULT COMMUNITY (VARIANCE GRANTED)
FOUR STORY 32 UNIT BUILDING, WITH INSIDE PARKING AT BASEMENT LEVEL

PARKING REQUIRED - 32 UNITS x 2 SPACES PER UNIT +
1 SPACE PER 4 UNITS = 72 SPACES REQUIRED

PARKING PROVIDED - 72 TOTAL. 36 IN PARKING GARAGE BELOW BUILDING 36
SURFACE PARKING

WAIVERS REQUIRED

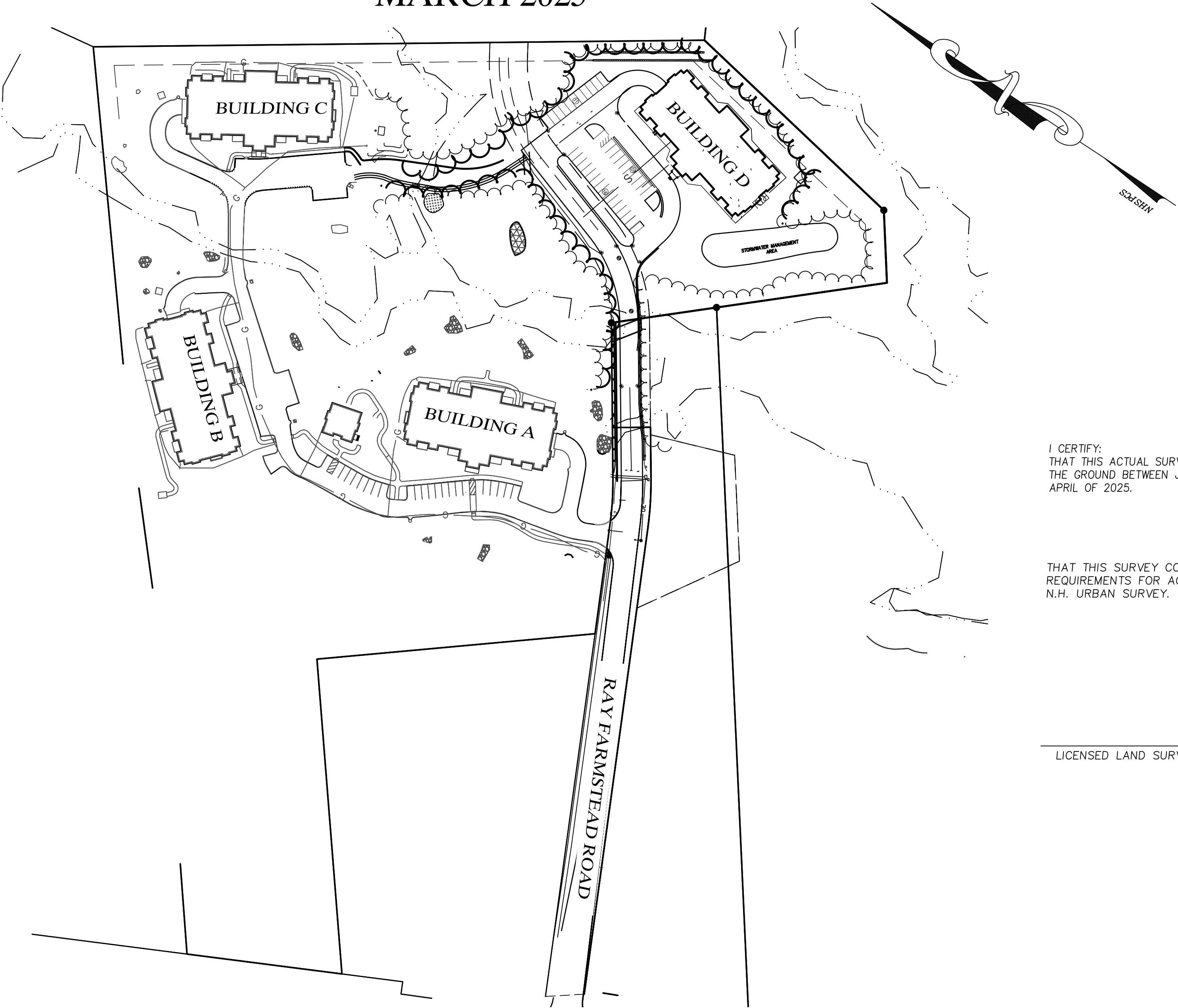
1. WAIVER FOR WETLAND IMPACTS - 9.9.2 SITE PLAN REVIEW REGULATIONS
2. WAIVER FOR ROADWAY DESIGN PLANS - 7.5.7 AND 7.7 SITE PLAN REVIEW REGULATIONS
3. WAIVER FOR RECREATIONAL AREAS - 11.3.4 SITE PLAN REVIEW REGULATIONS

PERMITS REQUIRED

ALTERATION OF TERRAIN - AoT 1335 (PREVIOUSLY APPROVED)
ALTERATION OF TERRAIN - AoT XXXX (FOR BUILDING D)
DREDGE AND FILL - FILE NO. 2017-01530 (PREVIOUSLY APPROVED)
DREDGE AND FILL - FILE NO. XXXX-XXX (ASSOCIATED WITH BUILDING D)
NHDES SEWER CONNECTION PERMIT -
EPA CONSTRUCTION GENERAL PERMIT -

RAY FARM "BUILDING D"
SITE DEVELOPMENT PLANS
FOR AN ACTIVE ADULT COMMUNITY
OFF RAY FARMSTEAD ROAD
EXETER, NH

MARCH 2025



I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND BETWEEN JUNE OF 2023 AND
APRIL OF 2025.

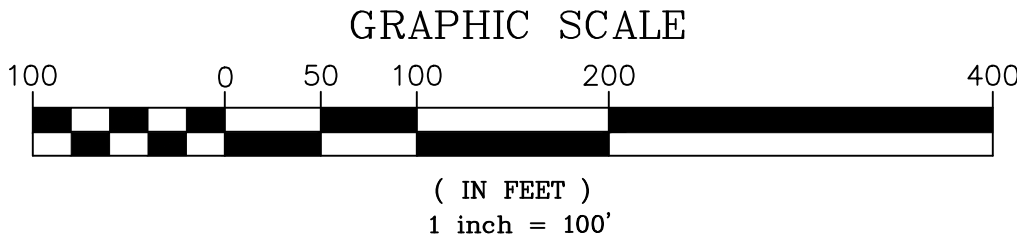
THAT THIS SURVEY CONFORMS TO THE
REQUIREMENTS FOR ACCURACY FOR
N.H. URBAN SURVEY.

LICENSED LAND SURVEYOR DATE

TOWN OF EXETER PLANNING BOARD

CHAIRMAN DATE

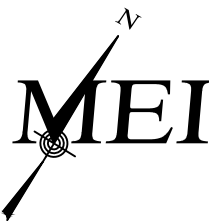
GRAPHIC SCALE:



RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	ADDRESS	PRG COMMENTS	K.I.M.	BY
1	5-29-25				



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=100'	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**TITLE
SHEET**

SHEET: 1 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

GENERAL NOTES

1. ELEVATIONS BASED ON NAVD 1988. PLANS ARE NH STATE PLAIN NAD83 COORDINATE SYSTEM.
2. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR’S MAPS AND DO NOT CONSTITUTE CERTIFICATION TO TITLE OR OWNERSHIP.
3. EXISTING CONDITIONS DATA FROM AN ON THE GROUND SURVEY CONDUCTED BY W.C. CAMMETT ENG., NOVEMBER OF 2016 THROUGH APRIL OF 2017, GM2 ASSOCIATES IN DECEMBER OF 2021 AND MILLENNIUM ENGINEERING, 2023 THROUGH 2025. TOPOGRAPHICAL SURFACES HAVE BEEN GENERATED USING ON THE GROUND SURVEY AND LIDAR COLLECTED BY NOAA.
4. ADDITIONAL ON THE GROUND TOPOGRAPHIC SURVEY IS TO BE COMPLETED IN 2025 TO VERIFY PRIOR TO CONSTRUCTION.
5. WETLANDS AND SOILS INFORMATION PROVIDED BY GOVE ENVIRONMENTAL SERVICES.
6. THERE IS NO FLOOD PLAIN ON THIS SITE ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 330130 0401 E.
7. EXISTING 50’ WIDE RIGHT OF WAY IS FOR THE BENEFIT OF N. SCOTT CARLISLE. SEE BOOK 3794 PAGE 1963 FOR NOTICE OF EASEMENT.
8. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR’S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, WATER AND ANY OTHER PRIVATE OR MUNICIPAL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
9. WHERE EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER OF RECORD FOR RESOLUTION OF THE CONFLICT.
10. EXISTING UTILITY POLES, WILL BE RELOCATED BY OTHERS, IF NECESSARY.
11. EXCAVATION SHALL ONLY OCCUR WITHIN THE LIMIT OF WORK, AS SHOWN.
12. IF AREAS OUTSIDE THE LIMIT OF PROPOSED WORK IS DISTURBED BY THE CONTRACTOR’S OPERATIONS, THE AREAS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR’S EXPENSE.
13. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAW CUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN, INFRARED SEAL, AND BACK SANDED.
14. EXISTING SIGNS AND/OR MAILBOXES WITHIN THE PROJECT LIMITS THAT ARE DISTURBED SHALL BE REMOVED AND RELOCATED AS APPLICABLE.
15. ALL DISTURBED AREAS OUTSIDE OF THE NEW PAVEMENT LIMITS SHALL BE LOAMED (4” MINIMUM DEPTH) AND SEEDED.
16. A MINIMUM OF 10’ HORIZONTAL AND 18” VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER MAINS AND SEWER LINES.
17. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE EXETER WATER AND SEWER DEPARTMENT WHEN MAKING THE CONNECTIONS.
18. ALL WORK SHALL COMPLY WITH EXETER’S “STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER” NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
19. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE “STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE”

MATERIAL NOTES

1. CRUSHED GRAVEL – NHDOT 304.3
2. GRAVEL – NHDOT 304.2
3. SAND – NHDOT 304.1
4. BACKFILL MATERIAL – EARTH MATERIAL FREE FROM ROCKS LARGER THAN 3”, DEBRIS, STUMPS, CLAY, ORGANIC MATTER, ICE, FROZEN SOIL, AND EXCESSIVE MOISTURE.
5. LOAM – NHDOT 641.2.1
6. CRUSHED STONE – GRADED CRUSHED ROCK TO THE SIZE SPECIFIED, WITH LESS THAN 2% FINES PASSING THE #200 SIEVE.
7. PLACING AND COMPACTION OF FILL MATERIALS SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 304.3.4, 304.3.5, AND 304.3.6.
8. PAVEMENTS SHALL COMPLY WITH SECTIONS 401, 403, AND 410 OF NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
1. PRIOR TO ANY EXCAVATION, DIG-SAFE AND EXETER DPW (603–773–6157) SHALL BE NOTIFIED TO LOCATE ALL PERTINENT UTILITIES INCLUDING WATER, SEWER, AND DRAINAGE.
2. THIS PROJECT IS BE TO MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF rsa 430:53 AND CHAPTER Agr 3800 RELATIVE TO INVASIVE SPECIES.
3. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL OF ONE HALF INCH OR MORE.
4. DO NOT CLEAR AND STRIP THE ENTIRE SITE AT ONE TIME. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. IN NO CASE SHALL MORE THAN 3 ACRES BE DISTURBED AT ONE TIME. STABILIZE THE AREA BEFORE MOVING ON TO THE NEXT AREA. DISTURBED AREAS REMAINING OPEN FOR MORE THAN 30 DAYS, SHALL BE STABILIZED.
5. WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3 INCH OF NON EROISIVE MATERIAL SUCH AS RIP–RAP HAS BEEN INSTALLED
 - OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
7. ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE SEEDING SPECIFICATIONS ARE AS FOLLOWS:

TEMPORARY SEEDING FOR EROSION CONTROL DURING CONSTRUCTION:		
SPECIES	POUNDS/1000 SF	REMARKS
WINTER RYE	2.5	BEST FOR FALL SEEDING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 1”
OATS	2.0	BEST FOR SPRING SEEDING. NO LATER THAN MAY 15. SEED TO A DEPTH OF 1”
ANNUAL RYEGRASS	1.0	SEED EARLY SPRING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 0.25”
PERINAL RYEGRASS	0.7	SEED BETWEEN APRIL 1 TO AUG. 15. SEED TO A DEPTH OF 0.5”

PERMANENT VEGETATION SEED MIXTURE:		
SPECIES	POUNDS/1000 SF	
TALL FESCUE	0.45	
CREEPING RED FESCUE	0.45	
BIRDSFOOT TREFOIL	0.20	
TOTAL	1.10	

8. ALL RE–VEGETATED AREAS THAT DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS (ON 3:1 SLOPES OR GREATER), SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, OR SECURING WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER SNOW OR FROZEN GROUND AND SHALL BE COMPLETED PRIOR TO AN ACCUMULATION OF SNOW AND/OR FROST.
9. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
10. AFTER NOVEMBER 15, INCOMPLETE ROADS OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
11. CONCRETE WASH OUT SHALL BE CONDUCTED IN THE AREAS SHOWN ON SHEET C1.51 AND USE THE CONCRETE WASH OUT DETAIL SHOWN ON SHEET C5.11.
12. NO STUMPS OR DEBRIS SHALL BE BURIED ONSITE. ALL STUMPS AND CONSTRUCTION DEBRIS SHALL BE STORED ONSITE UNTIL THEY CAN BE DISPOSED OFF OFFSITE IN A FACILITY CAPABLE OF HANDLING SUCH MATERIALS.
13. TEMPORARY PORTABLE TOILETS SHALL BE PROVIDED AND PROPERLY MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT.
14. VEHICLE MAINTENANCE SHALL BE PERFORMED OFF SITE. ANY VEHICLE LEAKING OIL OR GREASE SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. FUEL AND OILS SHALL BE STORED IN AN APPROVED LOCATION AND COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IN NO CASE SHALL THEY BE STORED WITHIN 100’ OF WETLAND AREAS.

LEGEND

EXISTING	PROPOSED	
		CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
		CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) – TYPE NOTED
		EDGE OF ROAD
		CONTOUR
		SPOT GRADE
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		HYDRANT
		FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		CABLE, BURIED
		DRAIN PIPE
		GAS SERVICE
		GUARDRAIL
		SEWER MAIN
		SEWER FORCE MAIN
		ROOF DRAIN
		UNDERGROUND ELECTRIC
		WATER MAIN
		ELECTRIC/TELEPHONE DUCT
		MAIL BOX
		HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		TEST PIT
		SILTATION BARRIER/LIMIT OF WORK
		WETLAND

SURVEY

	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOW OR FORMERLY
	ASSESSORS MAP AND PARCEL

CONTRUCTION LAYOUT CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VERTICAL AND HORIZONTAL LOCATIONS OF SITE ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITIES, ROADS, AND GRADING. THE OWNER WILL PROVIDE HORIZONTAL AND VERTICAL CONTROL POINT DESCRIPTIONS AND LOCATIONS TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN, PROTECT, AND ESTABLISH NEW IF NECESSARY, ALL CONTROL POINTS DURING THE DURATION OF THE PROJECT.

GEOTECHNICAL TESTING

THE OWNER MAY RETAIN A GEOTECHNICAL ENGINEER TO PERFORM TESTING OF COMPLETED SITE WORK INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF: GRAVEL, CRUSHED STONE, SAND, COMMON FILL, COMPACTION, AND CONCRETE. THE CONTRACTOR SHALL COOPERATE WITH THE HIRED GEOTECHNICAL ENGINEER AND ALLOW FULL ACCESS TO THE SITE AND DELIVERY RECEIPTS OF MATERIALS DELIVERED. WHEN TESTING RESULTS INDICATE NON–COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR STANDARD CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO COST TO THE OWNER.

ABBREVIATIONS

UTILITIES

RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYLCHLORIDE PIPE
C.I.	CAST IRON PIPE
COND	CONDUIT
D.I.	DUCTILE IRON PIPE
HYD.	HYDRANT
INV.	INVERT ELEVATION
UP	UTILITY POLE
TSV & B	TAPPING SLEEVE, VALVE AND BOX

GENERAL

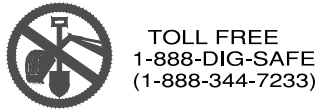
PROP.	PROPOSED
MIN.	MINIMUM
MAX.	MAXIMUM
EXIST.	EXISTING
STA	STATION
GRAN.	GRANITE
DRIVE	DRIVEWAY
ELEV	ELEVATION
N.T.S.	NOT TO SCALE
TYP.	TYPICAL
APPROX.	APPROXIMATE
CEM. CONC.	CEMENT CONCRETE
BIT. CONC.	BITUMINOUS CONCRETE
ROW	RIGHT OF WAY
℄	CENTERLINE
WALK	SIDEWALK
TBM	TEMPORARY BENCH MARK
SGE	SLOPED GRANITE EDGING

TREES

12” B	12” BIRCH
12” C	12” CEDAR
12” M	12” MAPLE
12” O	12” OAK
12” P	12” PINE

ROADWAY

H.P.	HIGH POINT
L.P.	LOW POINT
A.D.	ALGEBRAIC DIFFERENCE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
CC	CENTER OF CURVE
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
PVRC	POINT OF VERTICAL REVERSE CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
OD	OUTSIDE DIAMETER
ID	INSIDE DIAMETER
DIA. Ø	DIAMETER
R	RADIUS
TYP.	TYPICAL
L	LENGTH
DP.	DEPTH
EQ.	EQUIVALENT



TOWN OF EXETER PLANNING BOARD

CHAIRMAN

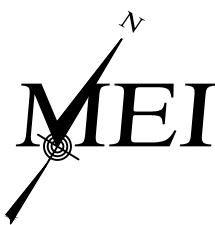
DATE

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5–29–25	ADDRESS PRC COMMENTS	K.I.M.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463–8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778–0528

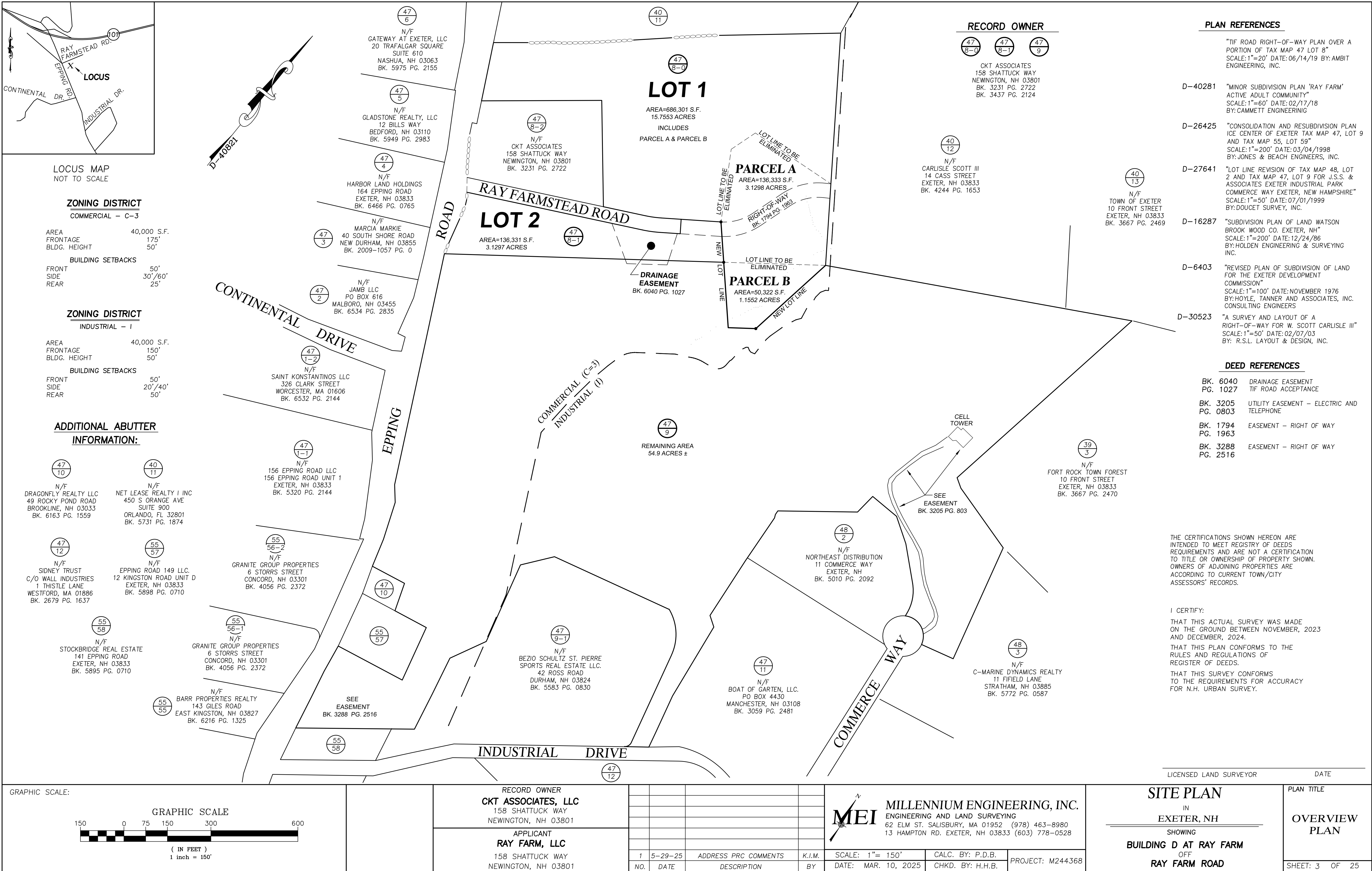
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DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

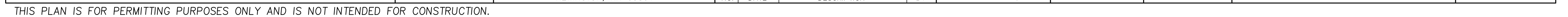
PLAN TITLE
GENERAL
NOTES

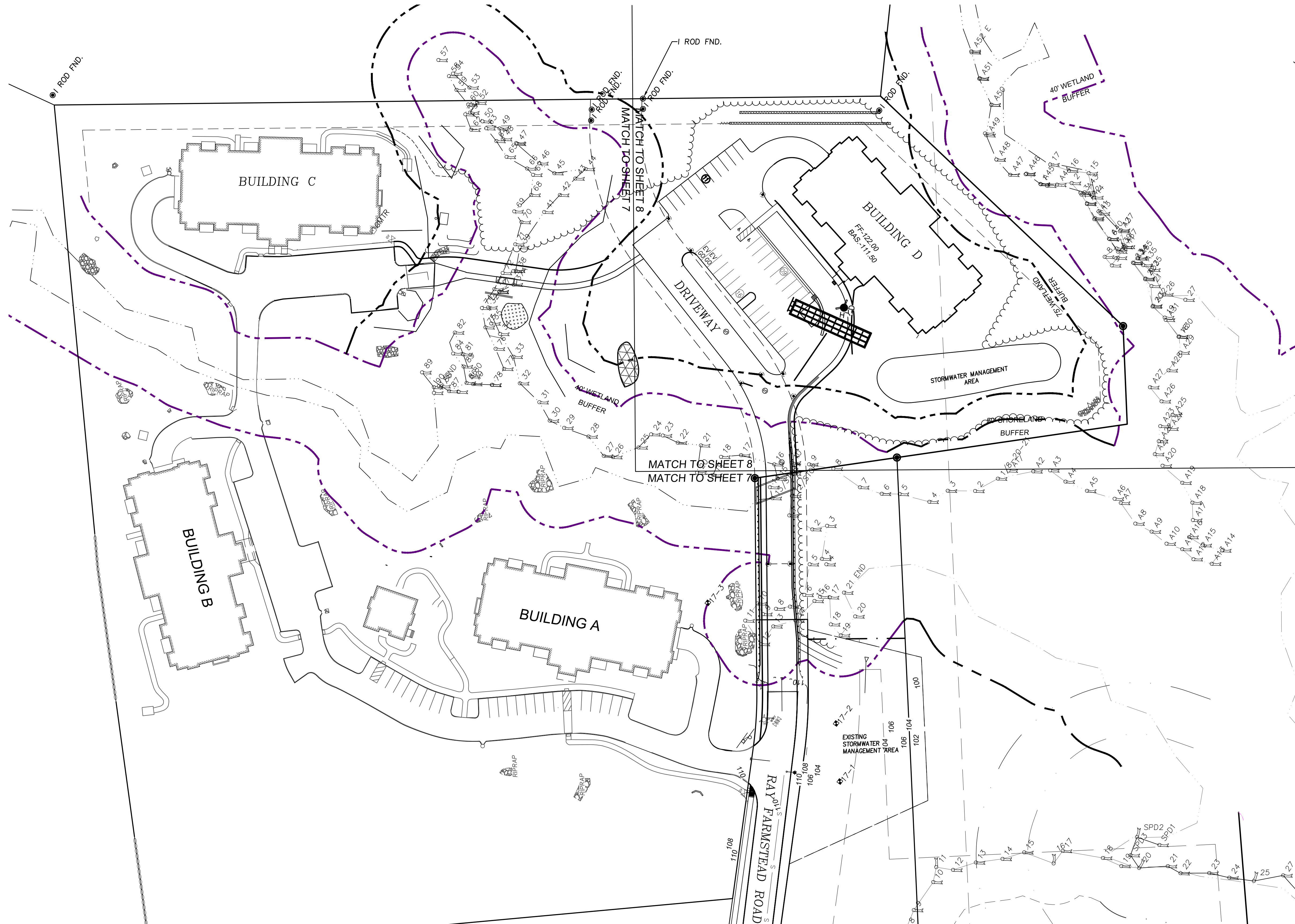
SHEET: 2 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



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GRAPHIC SCALE:

(IN FEET)
1 inch = 50'

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

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NO.	DATE	DESCRIPTION	BY
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=50'
DATE: MAR. 10, 2025

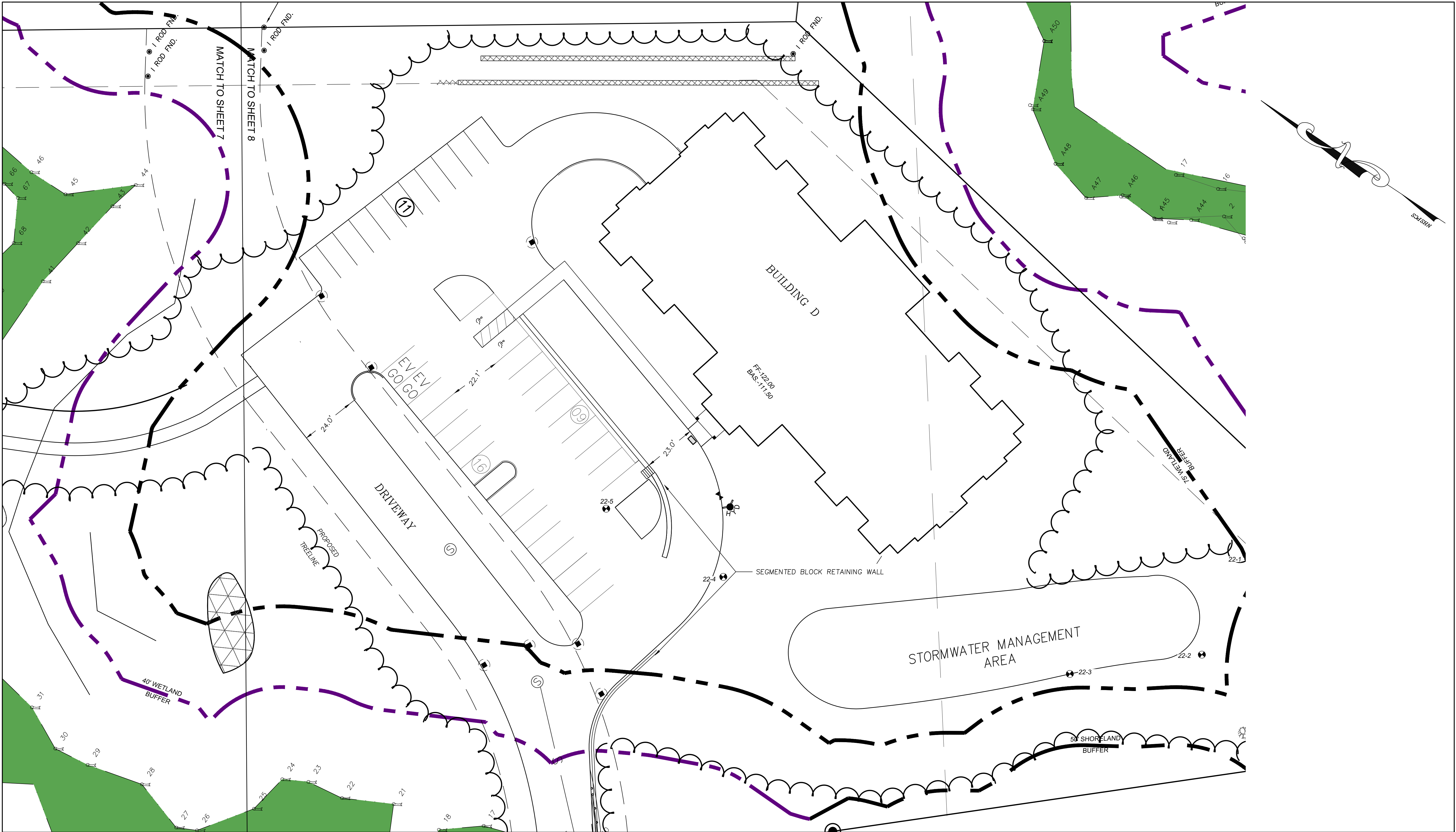
CALC. BY: K.I.M.
CHKD. BY: J.T.M.

PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
SITE OVERVIEW PLAN
SHEET: 6 OF 25

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GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)

1 inch = 20'

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**BUILDING
SITE
PLAN**

SHEET: 7 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

The site plan illustrates the proposed wetland crossing and associated infrastructure. Key features include:

- Wetland Areas:** Shaded in green, with numerous numbered points (e.g., 22-6, 22-7, 23, 24, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100) indicating specific locations or measurements.
- Bog Bridge:** A proposed crossing structure labeled "BOG BRIDGE TO BE PLACED TO CREATE WETLAND CROSSING".
- Walkway:** A "6' PAVED WALKWAY" is shown crossing the wetland area.
- Infrastructure:** Includes "BUILDING C", "RD" (road), "W" (waterway), and "G" (gas line).
- Other Features:** A "6' PAVED WALKWAY" is also shown, and a "WETLAND CROSSING" is indicated.


GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20'

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.
NO.	DATE	DESCRIPTION	BY



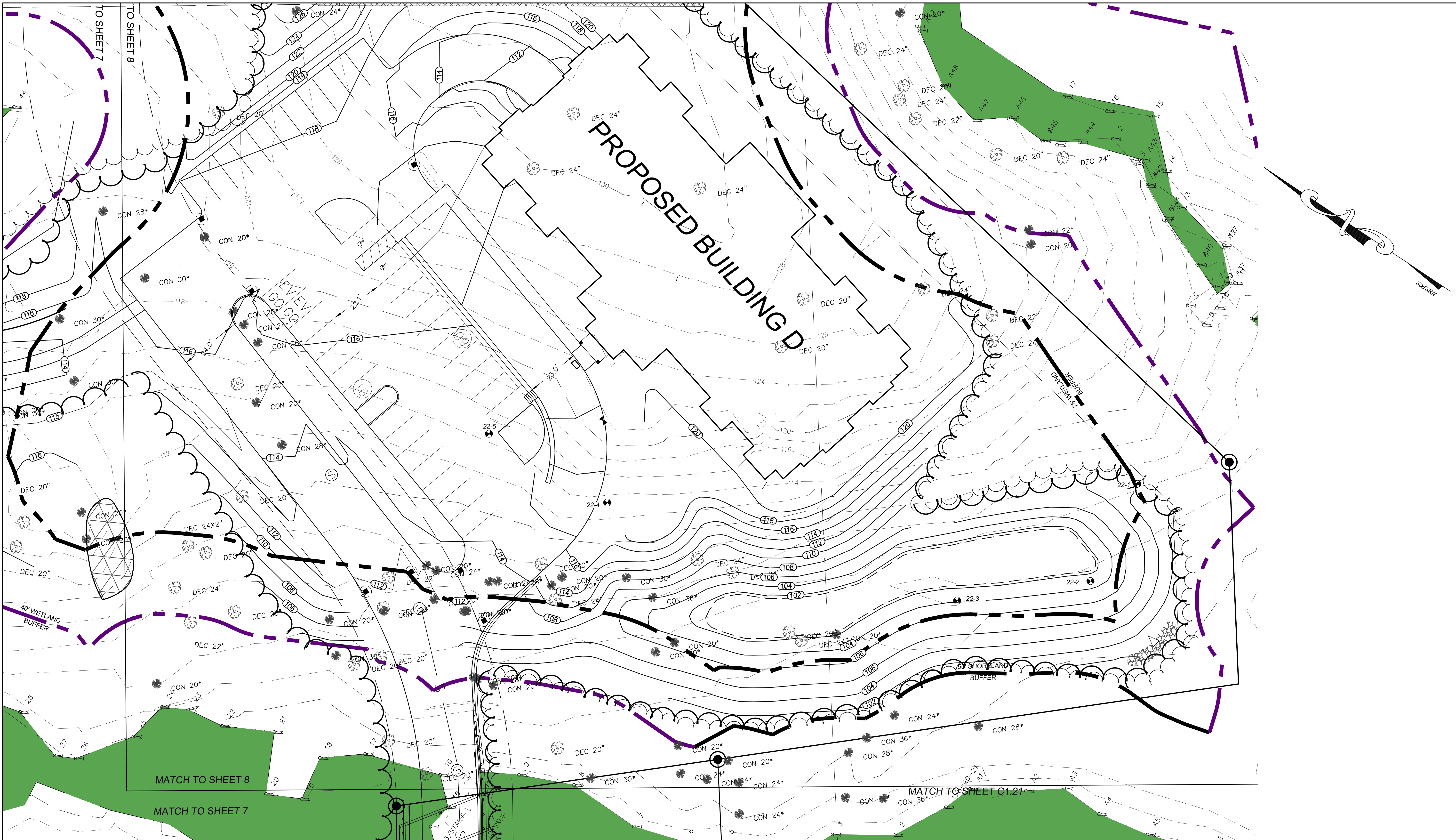
MILLENNIUM ENGINEERING, INC.
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528
1"=20' K.I.M.

SCALE:	CALC. BY:	J.T.M. PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY:	

BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

SHEET: 8 OF 25

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GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)

1 inch = 20'

RECORD OWNER
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NEWINGTON, NH 03801

APPLICANT
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1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.	SCALE: 1"=20'	CALC. BY: K.I.M.	PROJECT: M244368
NO.	DATE	DESCRIPTION	BY	DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

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SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**BUILDING
SITE
PLAN**

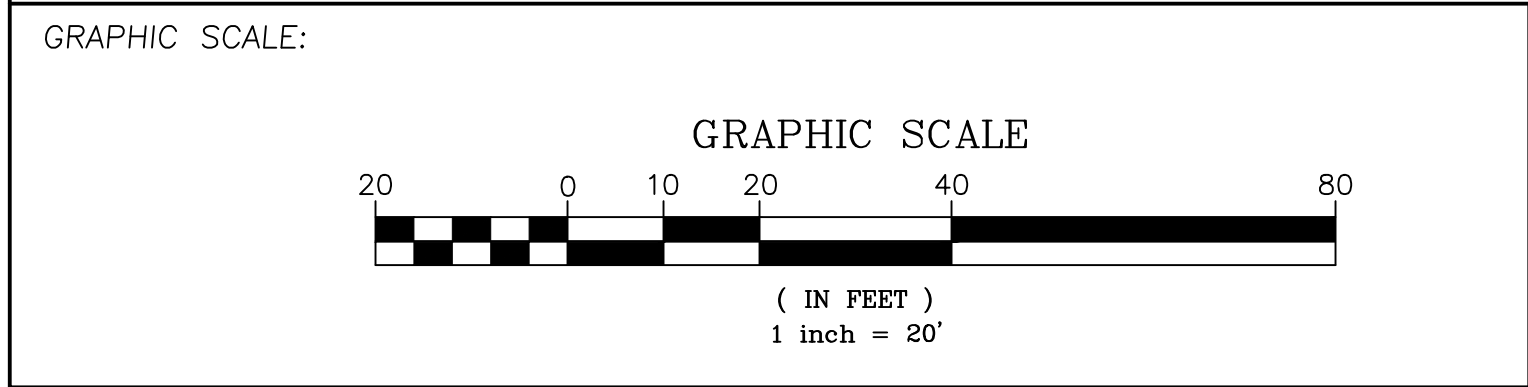
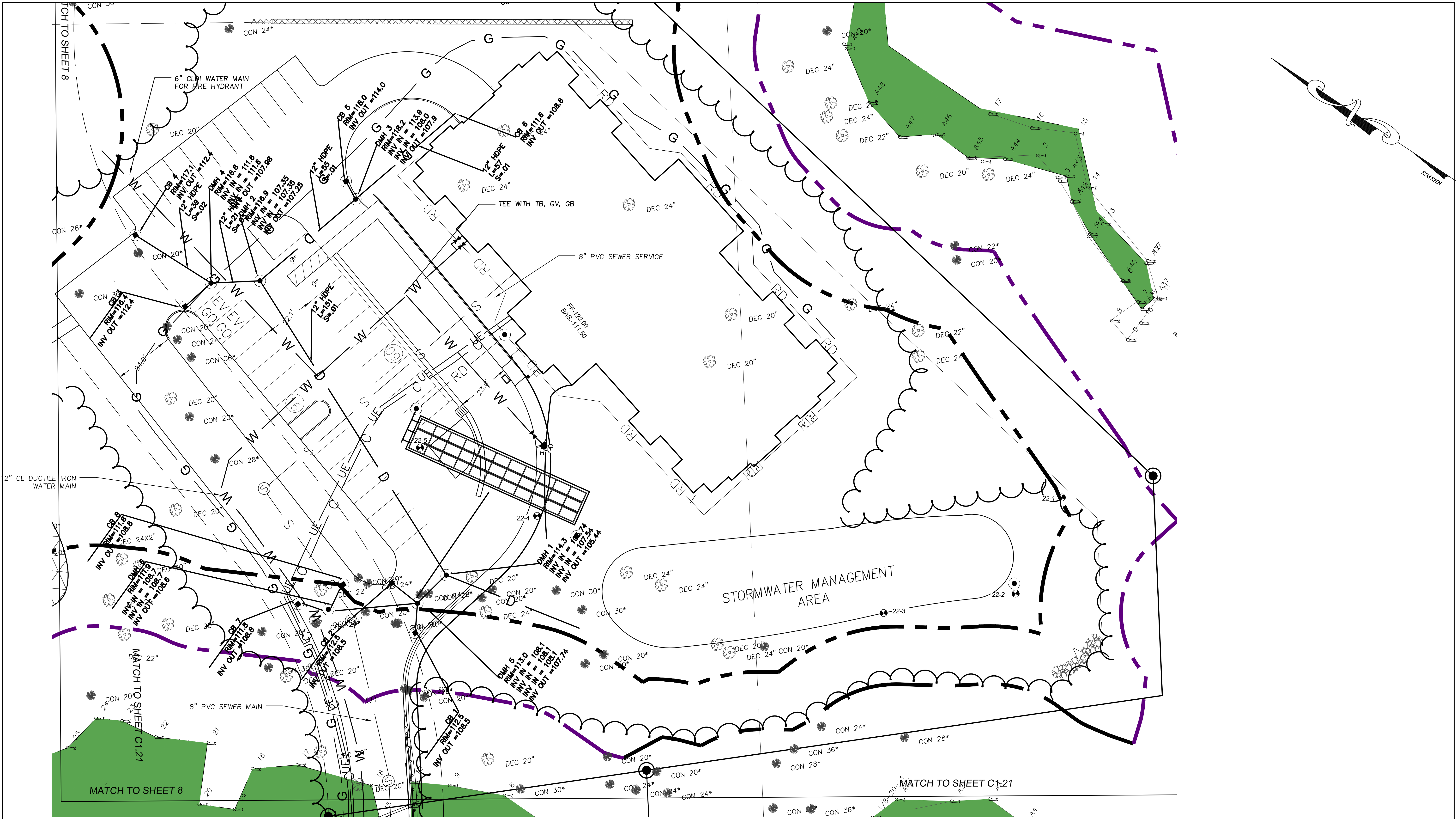
SHEET: 9 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

[illegible]

PLAN TITLE ACCESS ROAD AND FOOT PATH GRADING AND DRAINAGE PLAN
SHEET: 10 OF 25

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APPLICANT RAY FARM, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801

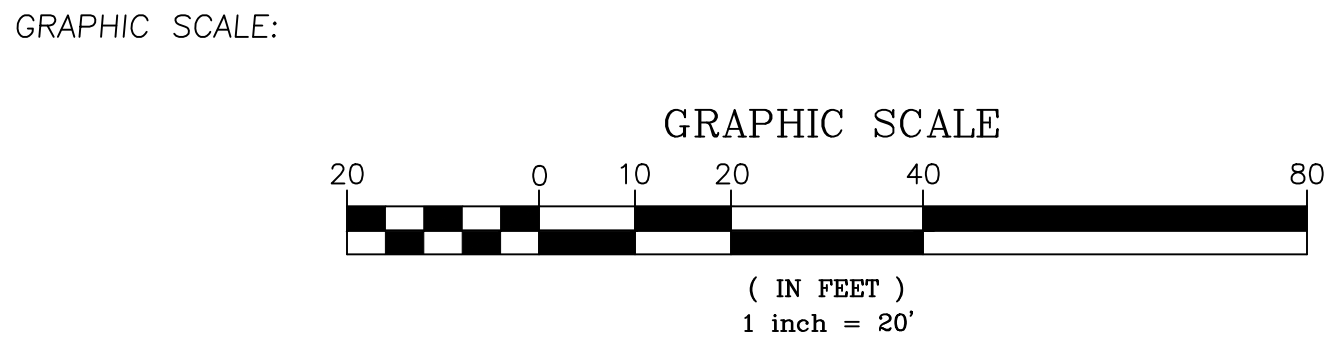
NO.	DATE	DESCRIPTION	K.I.M. BY
1	5-29-25	ADDRESS PRC COMMENTS	

MEI MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SCALE: 1"=20'	CALC. BY: K.I.M.	PROJECT: M244368
	DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN IN EXETER, NH SHOWING BUILDING D AT RAY FARM OFF RAY FARM ROAD
--

PLAN TITLE BUILDING UTILITY PLAN
SHEET: 11 OF 25

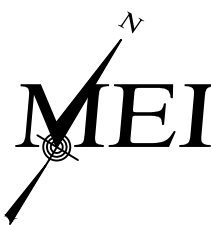
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

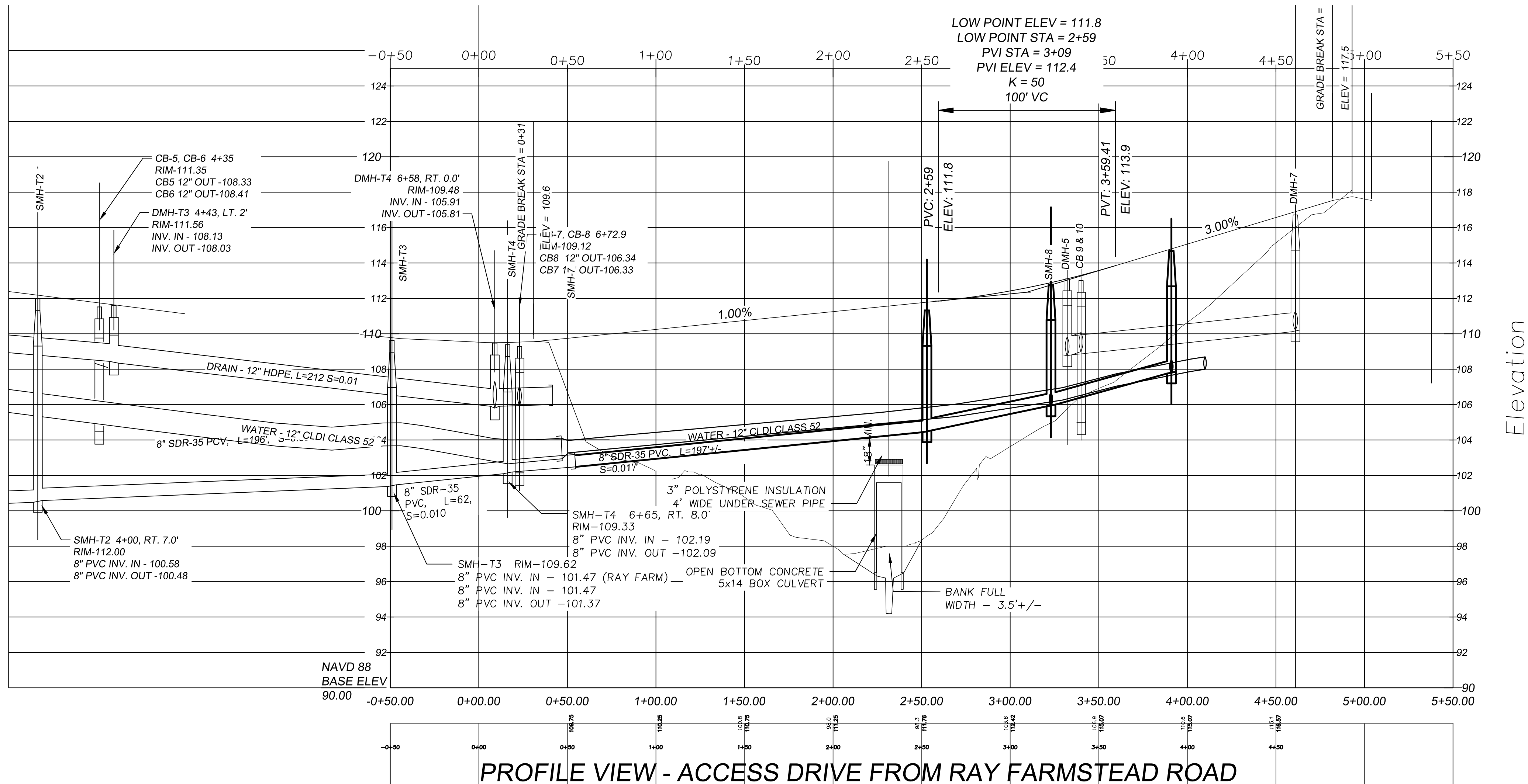
SCALE: 1"=20'	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
ACCESS ROAD
UTILITY
PLAN
SHEET: 12 OF 25

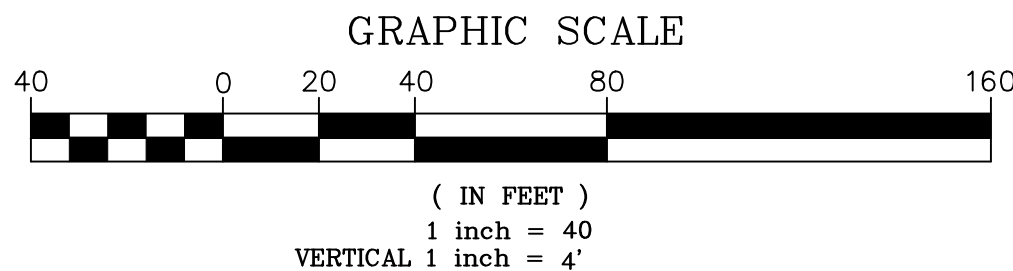


PLAN VIEW - ACCESS DRIVE FROM RAY FARMSTEAD ROAD



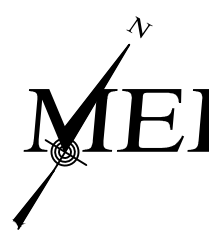
PROFILE VIEW - ACCESS DRIVE FROM RAY FARMSTEAD ROAD

GRAPHIC SCALE:



RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801



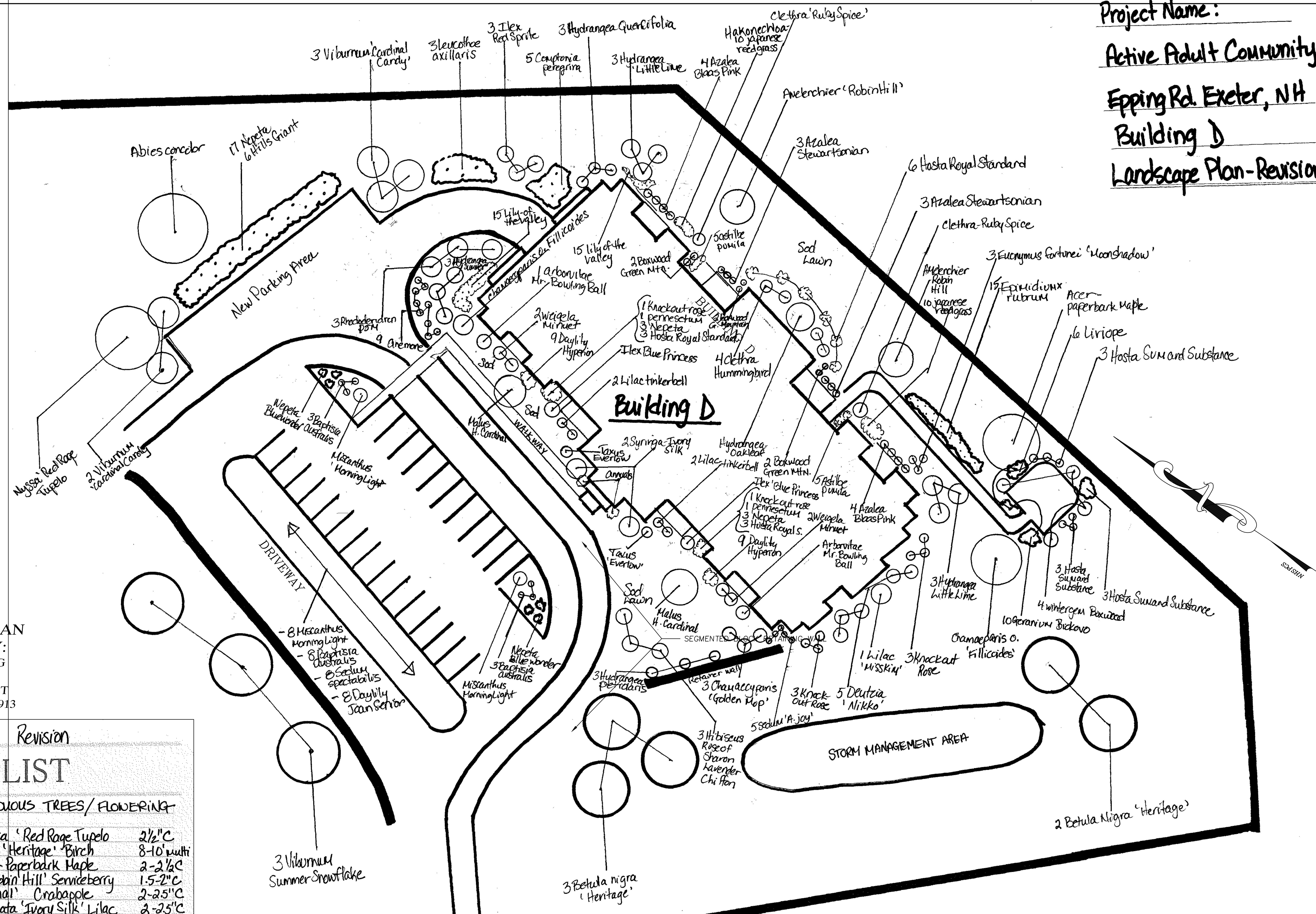
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**ACCESS
ROAD
PLAN AND
PROFILE**
SHEET: 13 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

Landscape Plan-Revision- 4/2025



Building "D" Revision


PLANT LIST

LARGE DECIDUOUS TREES / FLOWERING		
1	Nyssa Sylvatica 'Red Rage' Tupelo	2 1/2" C
5	Betula Nigra 'Heritage' Birch	8-10" width
1	Acer griseum 'Paperbark' Maple	2-2 1/2" C
2	Anelechiarg 'Robin Hill' Serviceberry	1.5-2" C
2	Malus 'Cardinal' Crabapple	2-2.5" C
2	Syringa reticulata 'Tvoru Silk' Lilac	2-2.5" C

GRAPHIC SCALE

(IN FEET)
1 inch = 20'

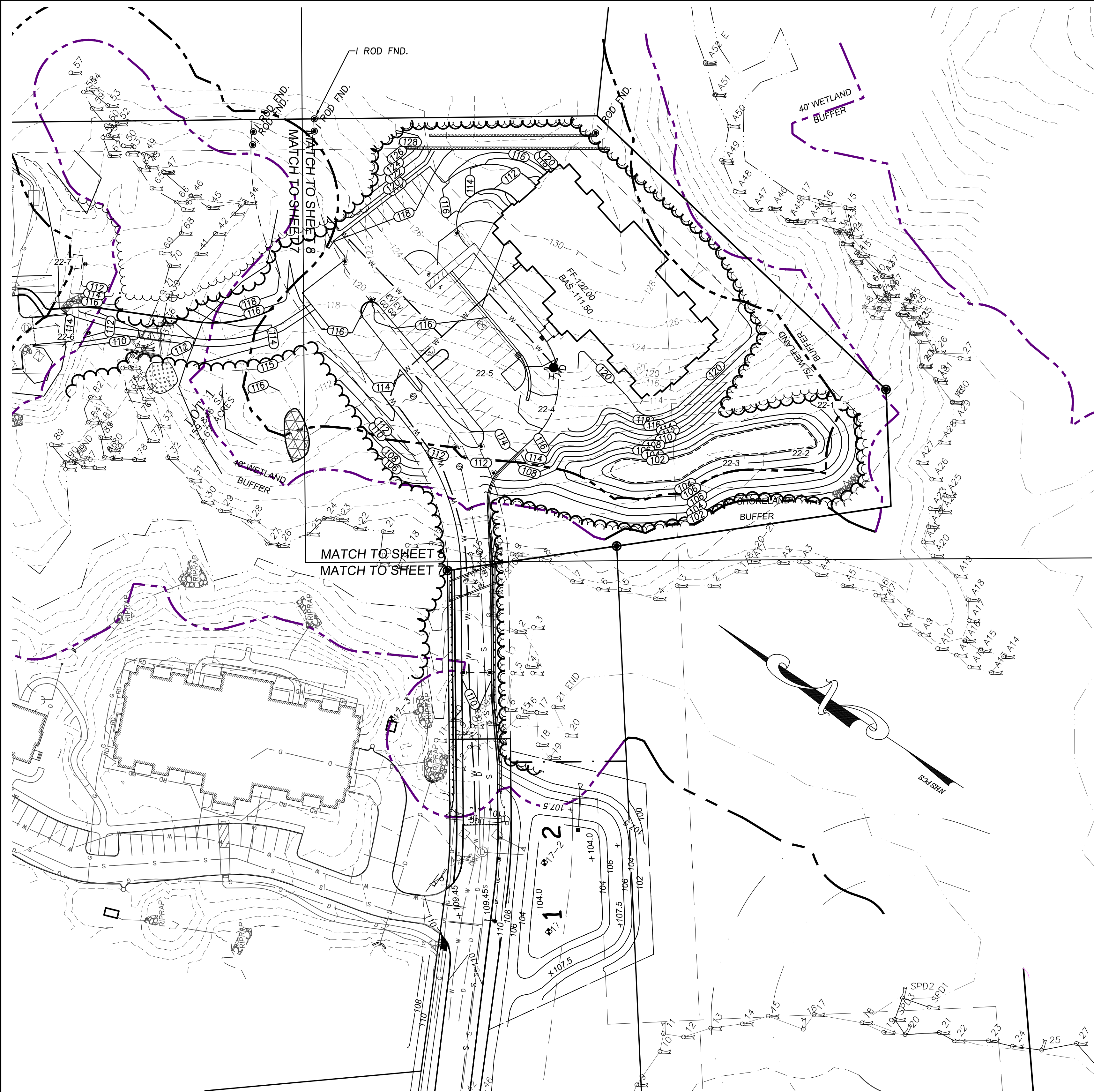
158 SHATTUCK WAY
NEWINGTON, NH 03801

						MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.	SCALE:	CALC. BY:	PROJECT:
NO.	DATE	DESCRIPTION	BY	"1"=20' DATE: MAR. 10, 2025	K.I.M. CHKD. BY: J.T.M.	M244368

SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

SHEET: 14 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



Construction Notes

1. PRIOR TO ANY EXCAVATION, DIG-SAFE AND EXETER DPW (603-773-6157) SHALL BE NOTIFIED TO LOCATE ALL PERTINENT UTILITIES INCLUDING WATER, SEWER, AND DRAINAGE.
2. THIS PROJECT IS BE TO MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF rsa 430:53 AND CHAPTER Agr 3800 RELATIVE TO INVASIVE SPECIES.
3. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL OF ONE HALF INCH OR MORE.
4. DO NOT CLEAR AND STRIP THE ENTIRE SITE AT ONE TIME. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. IN NO CASE SHALL MORE THAN 3 ACRES BE DISTURBED AT ONE TIME. STABILIZE THE AREA BEFORE MOVING ON TO THE NEXT AREA. DISTURBED AREAS REMAINING OPEN FOR MORE THAN 30 DAYS, SHALL BE STABILIZED.
5. WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3 INCH OF NON EROISIVE MATERIAL SUCH AS RIP-RAP HAS BEEN INSTALLED
 - OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
7. ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE

SEEDING SPECIFICATIONS ARE AS FOLLOWS:

TEMPORARY SEEDING FOR EROSION CONTROL DURING CONSTRUCTION:		
SPECIES	POUNDS/1000 SF	REMARKS
WINTER RYE	2.5	BEST FOR FALL SEEDING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 1"
OATS	2.0	BEST FOR SPRING SEEDING. NO LATER THAN MAY 15. SEED TO A DEPTH OF 1"
ANNUAL RYEGRASS	1.0	SEED EARLY SPRING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 0.25"
PERINAL RYEGRASS	0.7	SEED BETWEEN APRIL 1 TO AUG. 15. SEED TO A DEPTH OF 0.5"

PERMANENT VEGETATION SEED MIXTURE:

SPECIES	POUNDS/1000 SF
TALL FESCUE	0.45
CREeping RED FESCUE	0.45
BIRDSFOOT TREFOIL	0.20
TOTAL	1.10

8. ALL RE-VEGETATED AREAS THAT DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS (ON 3:1 SLOPES OR STEEPER), SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, OR SECURING WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER SNOW OR FROZEN GROUND AND SHALL BE COMPLETED PRIOR TO AN ACCUMULATION OF OF SNOW AND/OR FROST.
9. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
10. AFTER NOVEMBER 15, INCOMPLETE ROADS OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
11. CONCRETE WASH OUT SHALL BE CONDUCTED IN THE AREAS SHOWN ON SHEETS C1.51 AND C1.52. AND USE THE CONCRETE WASH OUT DETAIL SHOWN ON SHEET C5.11.
12. NO STUMPS OR DEBRIS SHALL BE BURIED ONSITE. ALL STUMPS AND CONSTRUCTION DEBRIS SHALL BE STORED ONSITE UNTIL THEY CAN BE DISPOSED OFF OFFSITE IN A FACILITY CAPABLE OF HANDLING SUCH MATERIALS.
13. TEMPORARY PORTABLE TOILETS SHALL BE PROVIDED AND PROPERLY MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT.
14. VEHICLE MAINTENANCE SHALL BE PERFORMED OFF SITE. ANY VEHICLE LEAKING OIL OR GREASE SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. FUEL AND OILS SHALL BE STORED IN AN APPROVED LOCATION AND COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IN NO CASE SHALL THEY BE STORED WITHIN 100' OF WETLAND AREAS.

Construction Sequence

PRIOR TO CLEARING, OR EARTH MOVING ACTIVITIES, INSTALL TEMPORARY EROSION CONTROLS AS SHOWN. SEE SHEET C5.11 FOR EROSION CONTROL DETAILS AND TECHNIQUES.

INSTALL CONSTRUCTION ENTRANCE.

STRIP TOPSOIL AND STOCKPILE IN DESIGNATED AREA. INSTALL TEMPORARY EROSION CONTROLS AROUND STOCKPILE. BOULDERS AND LARGE ROCKS GREATER THAN TWO FEET IN DIAMETER SHALL BE STOCKPILED SEPARATELY IN A DESIGNATED AREA.

CONSTRUCT TEMPORARY SEDIMENT BASINS AND OUTLET SWALES IN SAME LOCATION AS THE FINAL BASINS AS SHOWN ON THE PLANS. ADDITIONAL TEMPORARY ROWS OF COMPOST SOCK MAY BE REQUIRED IN THE SWALES. INSTALL OUTLET PROTECTION RIP-RAP AS SHOWN PRIOR TO DIRECTING ANY STORMWATER TO THE BASINS. THE FORE-BAYS WILL SERVE AS CONSTRUCTION PERIOD SEDIMENT SETTLING AREAS BUT MUST BE CLEANED AFTER PARKING/LOADING AREAS ARE PAVED, BUILDINGS CONSTRUCTED, AND UTILITIES INSTALLED.

CREATE SWALES TO DIRECT STORMWATER FROM THE DEVELOPED PORTION OF THE SITE TO THE TEMPORARY BASINS. IMMEDIATELY STABILIZE THE SLOPES OF THE BASINS BY SEEDING AND MULCHING WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALTERNATE METHODS OF SLOPE STABILIZATION MAY BE REQUIRED IF WORK IS PERFORMED OUTSIDE THE GROWING SEASON.

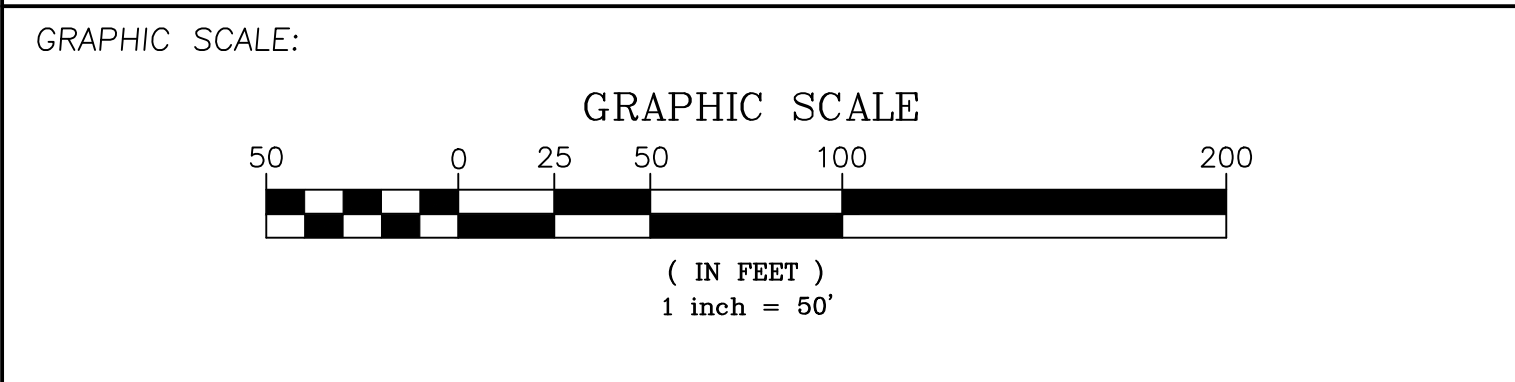
PREPARE BUILDING SITE TO BE CONSTRUCTED. INSTALL THE BUILDING FOUNDATION AND IMMEDIATELY BRING THE FILL UP TO DESIGN GRADES. CONSTRUCT THE SLOPES IN THE AREAS SHOWN ON THE GRADING PLANS. STABILIZE THE SLOPE WITH SELECTED PLANT MATERIALS AND SEED IMMEDIATELY.

ROUGH GRADE PARKING AREAS TO SUBBASE ELEVATIONS. FILL WILL BE REQUIRED TO BRING PARKING AREAS TO THE DESIGN GRADES. IMPORTED FILL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY. WATER MAY BE REQUIRED TO BRING THE FILL TO THE APPROPRIATE MOISTURE CONTENT FOR PROPER COMPACTION. DO NOT OVER WATER AND CREATE RUNOFF. DO NOT CONTINUE THE FILLING OPERATION DURING INTENSE RAINFALL OR IF RAINFALL IS ANTICIPATED. INSTALL ADDITIONAL EROSION CONTROL AT THE BASE OF SLOPES WHEN RAIN IS ANTICIPATED, AND LEAVE IT IN PLACE UNTIL SLOPES ARE STABILIZED OR ADDITIONAL FILL IS INSTALLED.

INSTALL PERMANENT STORMWATER TREATMENT DEVICES INCLUDING THE "FOCAL POINT" BIO-RETENTION SYSTEMS AS SHOWN ON THE PLANS. DO NOT ALLOW STORMWATER FLOW TO THE DEVICES FROM UNSTABILIZED AREAS. IF STORMWATER FLOWS ARE ANTICIPATED TO REACH THE TREATMENT DEVICES PRIOR TO FINAL STABILIZATION, ENCASE THE DEVICES WITH FILTER FABRIC.

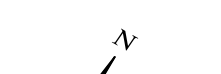
INSTALL UNDERGROUND UTILITIES. BACKFILL AND COMPACT TRENCHES. IF DEWATERING IS REQUIRED TO INSTALL UTILITIES OR STRUCTURES, CONSTRUCT THE DEWATERING AREA AS PER THE DETAIL ON SHEET C 5.11 AND PLACE IN THE DESIGNATED AREA. ADDITIONAL ROWS OF COMPOST SOCK MAY BE REQUIRED AT THE DISCHARGE POINT IF THE WATER IS NOT CLEAR. INSTALL AND COMPACT PARKING AREA GRAVEL. INSTALL THE BINDER COURSE IN PARKING AREAS WITHIN 72 HOURS OF PLACING GRAVEL.

INSTALL UTILITY CONNECTIONS. SPREAD TOPSOIL IN GRASS AND LANDSCAPED AREAS AND IMMEDIATELY SEED AND MULCH IF NEEDED. ADDITIONAL EROSION CONTROL MAY BE NEEDED TO CONTROL EROSION AND SILTS FROM ENTERING THE TEMPORARY SETTLEMENT BASIN.



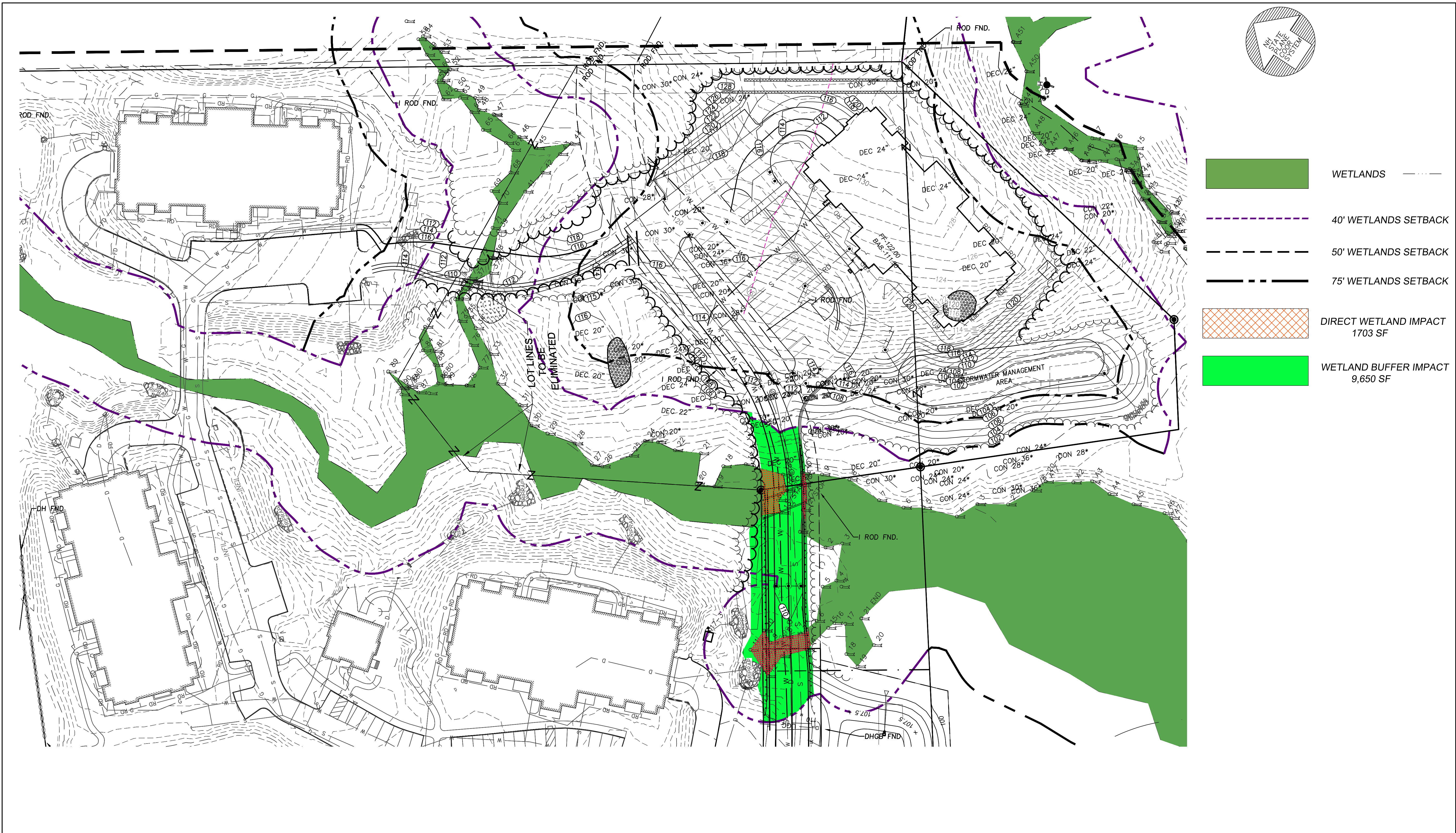
RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801
APPLICANT RAY FARM, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801

1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.	
NO.	DATE	DESCRIPTION	BY	

	MILLENNIUM ENGINEERING, INC.		
	ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528		
SCALE: 1"=50'	CALC. BY: K.I.M.	PROJECT: M244368	
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.		

<div>SITE PLAN</div> <div>IN</div> <div>EXETER, NH</div> <div>SHOWING</div> <div>BUILDING D AT RAY FARM</div> <div>OFF</div> <div>RAY FARM ROAD</div>	PLAN TITLE
	EROSION AND SEDIMENT CONTROL
	SHEET: 15 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)

1 inch = 40'

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

SCALE: 1"=40'

DATE: MAR. 10, 2025

CALC. BY: K.I.M.

CHKD. BY: J.T.M.

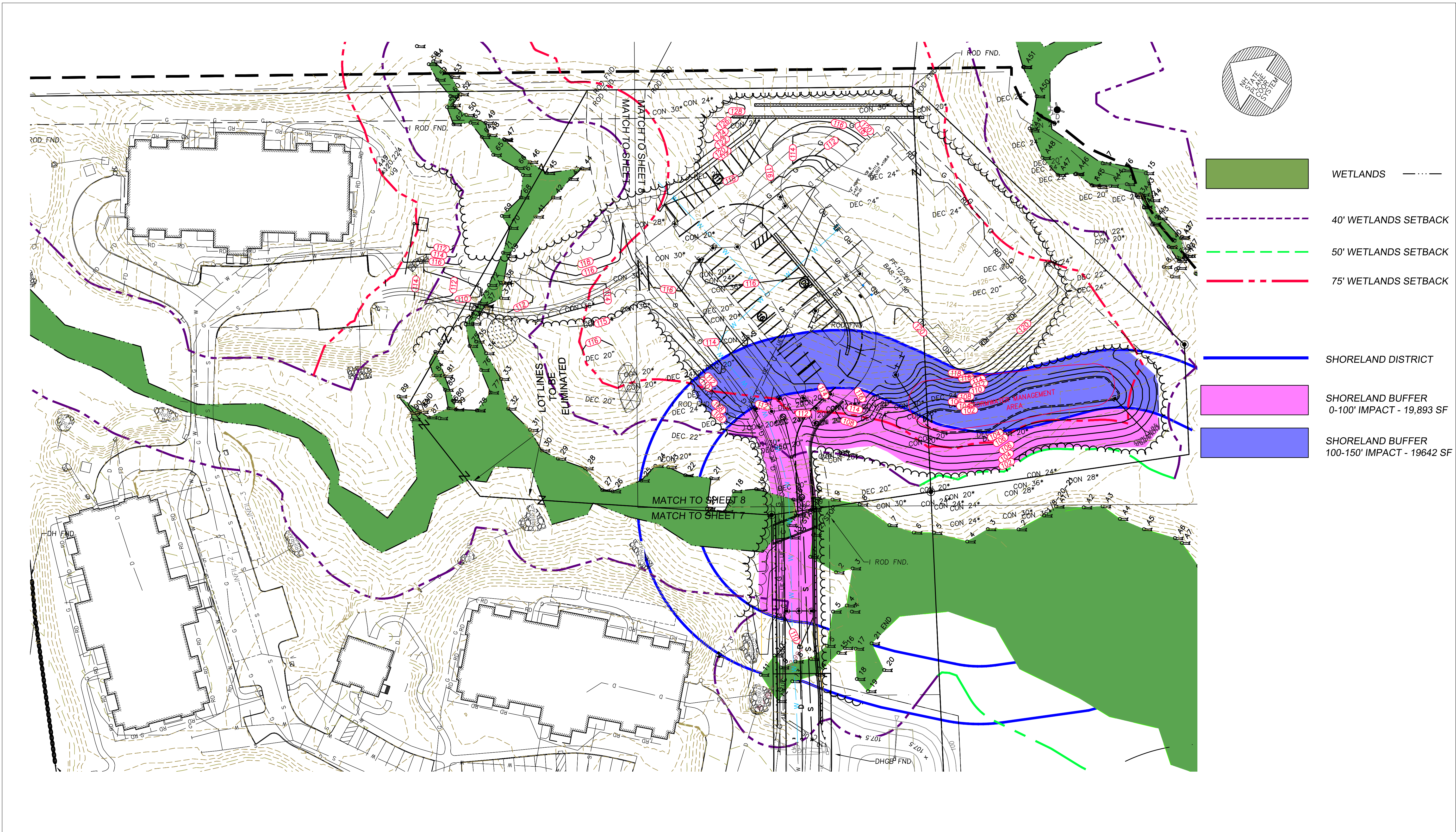
PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**WETLAND
BUFFER
PLAN**

SHEET: 15 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)
1 inch = 40'

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

SCALE: 1"=40'
DATE: MAR. 10, 2025

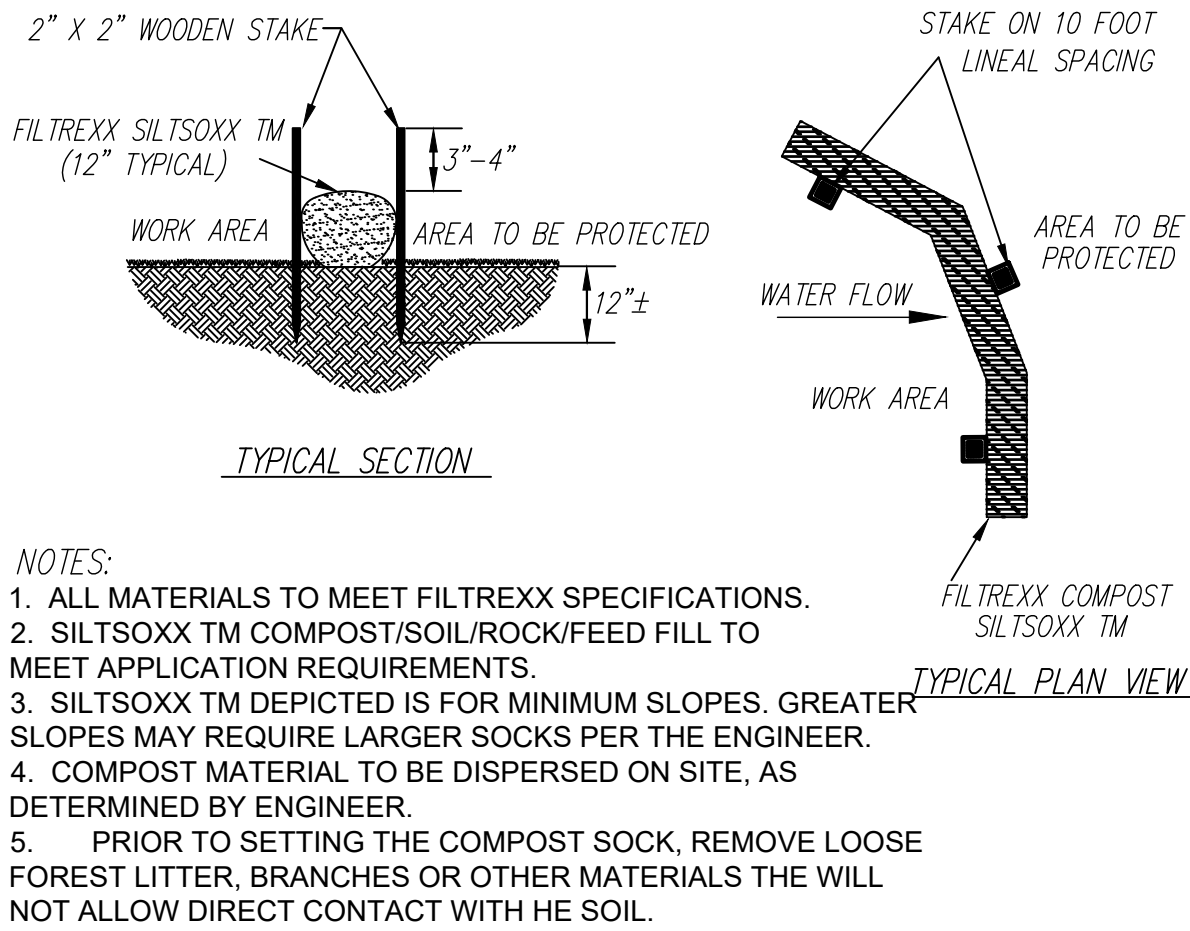
CALC. BY: K.I.M.
CHKD. BY: J.T.M.

PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**SHORELAND
IMPACTS
PLAN**
SHEET: 16 OF 25

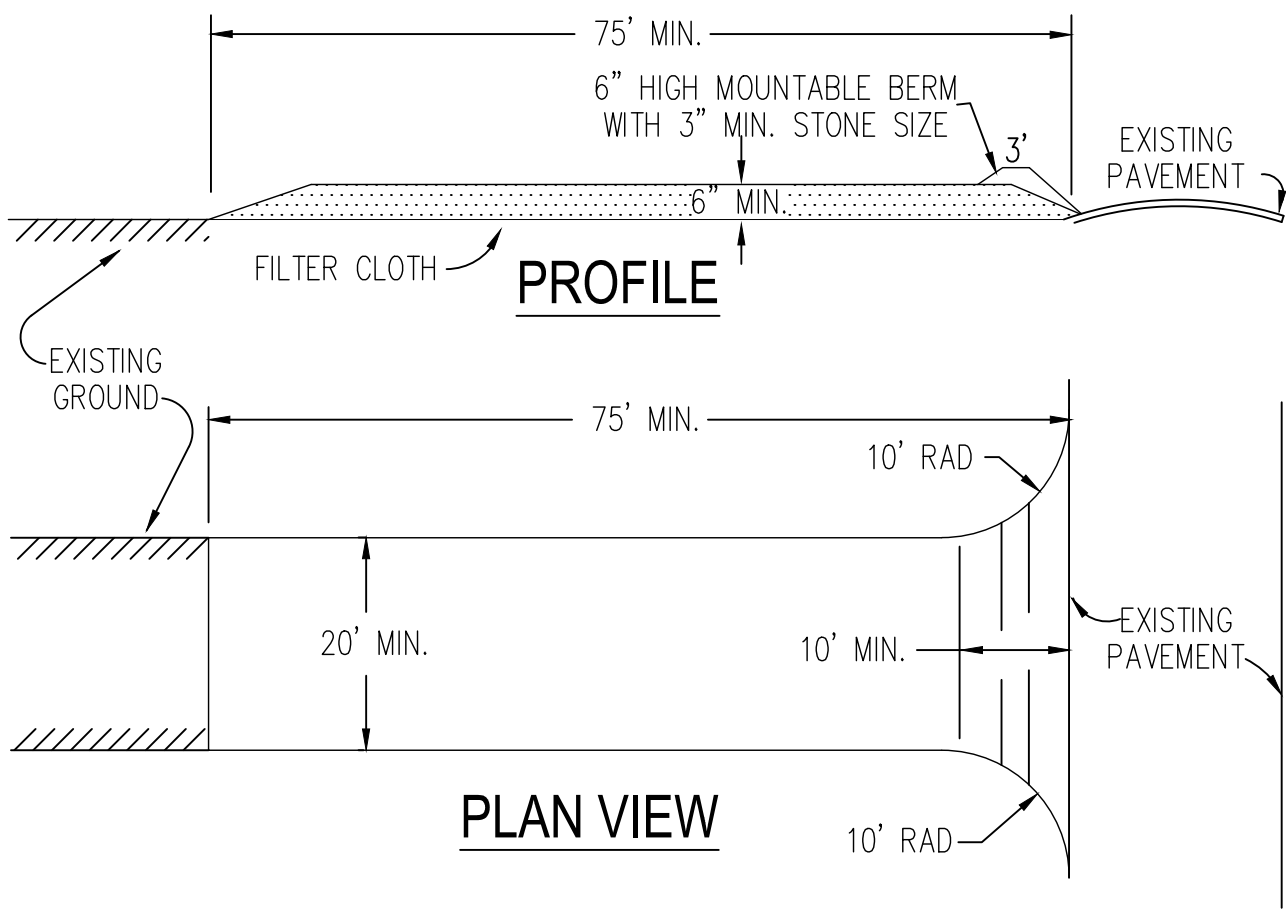
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS.
2. SILTSOXX TM COMPOST/SOIL/ROCK/FEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTSOXX TM DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
5. PRIOR TO SETTING THE COMPOST SOCK, REMOVE LOOSE FOREST LITTER, BRANCHES OR OTHER MATERIALS THE WILL NOT ALLOW DIRECT CONTACT WITH HE SOIL.

COMPOST SOCK – EROSION CONTROL

NOT TO SCALE



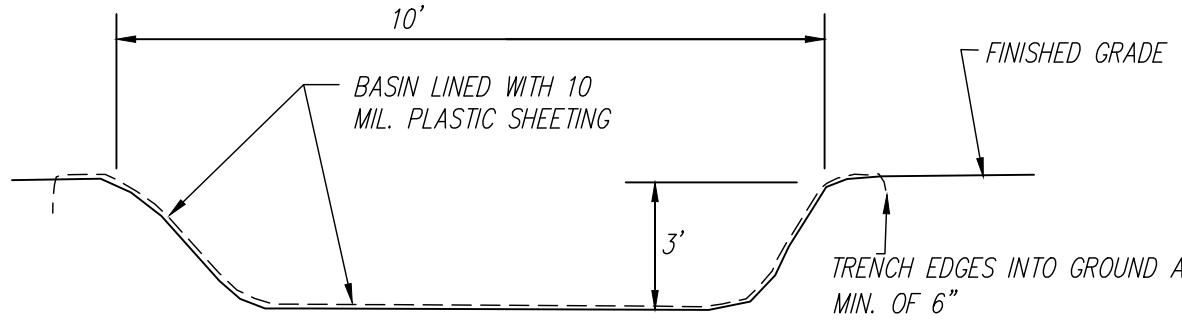
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

Construction Specifications

1. STONE SIZE – USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 75 FEET
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL EVENT.



TEMPORARY CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AT LOCATIONS IDENTIFIED ON THE SITE PLAN. THE AREA WILL BE CONSTRUCTED BELOW GRADE APPROXIMATELY 10'x10'x3' DEEP. THE AREA WILL BE LINED WITH 10 MILS THICK PLASTIC SHEETING. SIGNAGE SHALL BE PROVIDED IDENTIFYING THE WASHOUT AREA.

EXCESS CONCRETE AND/OR WASHOUT MATERIAL FROM THE CONCRETE TRUCKS SHALL BE DISCHARGED TO THE WASHOUT AREA OR DISPOSED OF OFF-SITE.

UPON COMPLETION, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF OFF-SITE. THE AREA WILL BE FILLED, GRADED, AND STABILIZED.

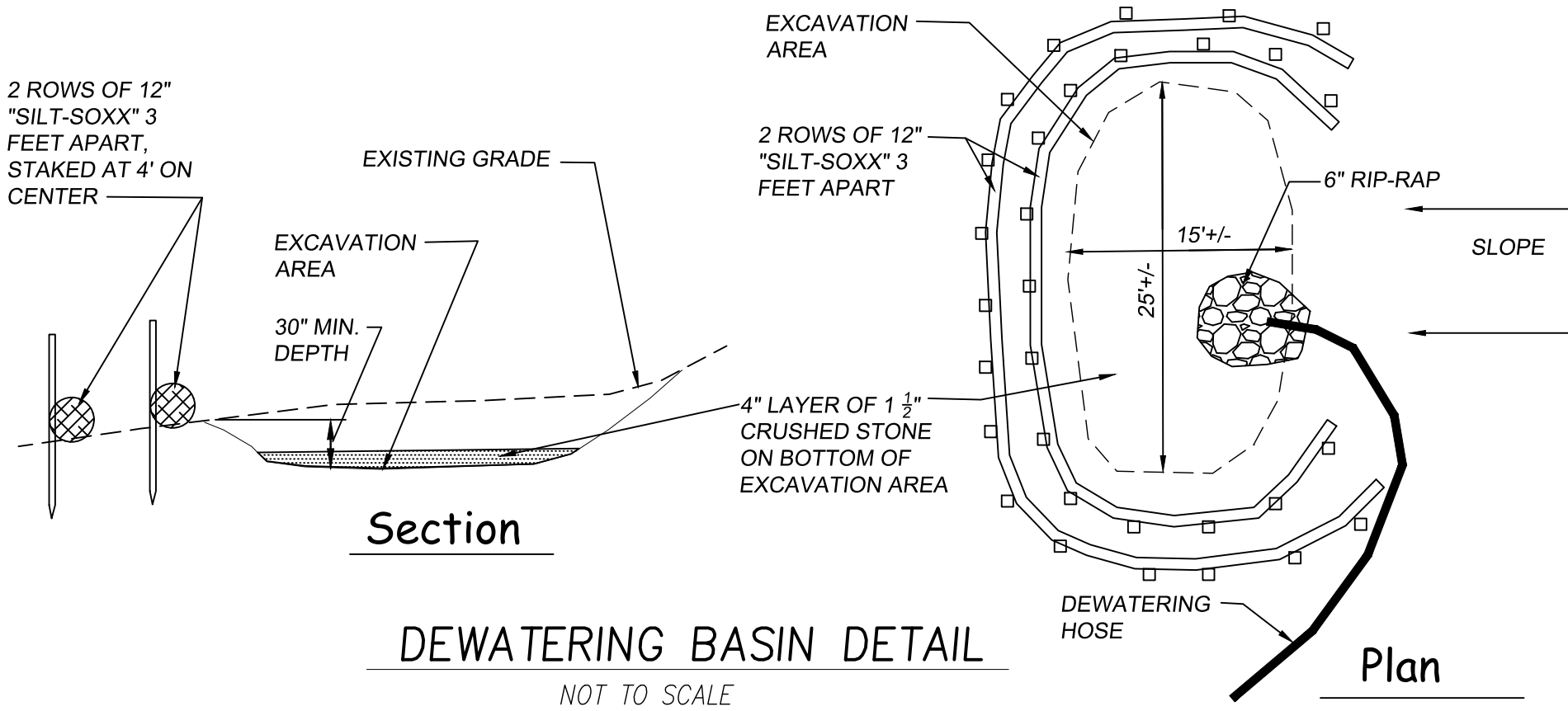
THE WASHOUT AREA WILL BE CONSTRUCTED PRIOR TO THE USE OF CONCRETE MATERIALS.

THE WASHOUT AREA WILL BE INSPECTED ON A DAILY BASIS BY THE GENERAL CONTRACTOR DURING CONCRETE OPERATIONS TO ENSURE NO TEARS IN THE PLASTIC. THE WASHOUT AREA MUST BE CLEANED OUT WHEN THE CAPACITY OF THE AREA IS REDUCED TO 25% OF AVAILABLE CAPACITY.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE.

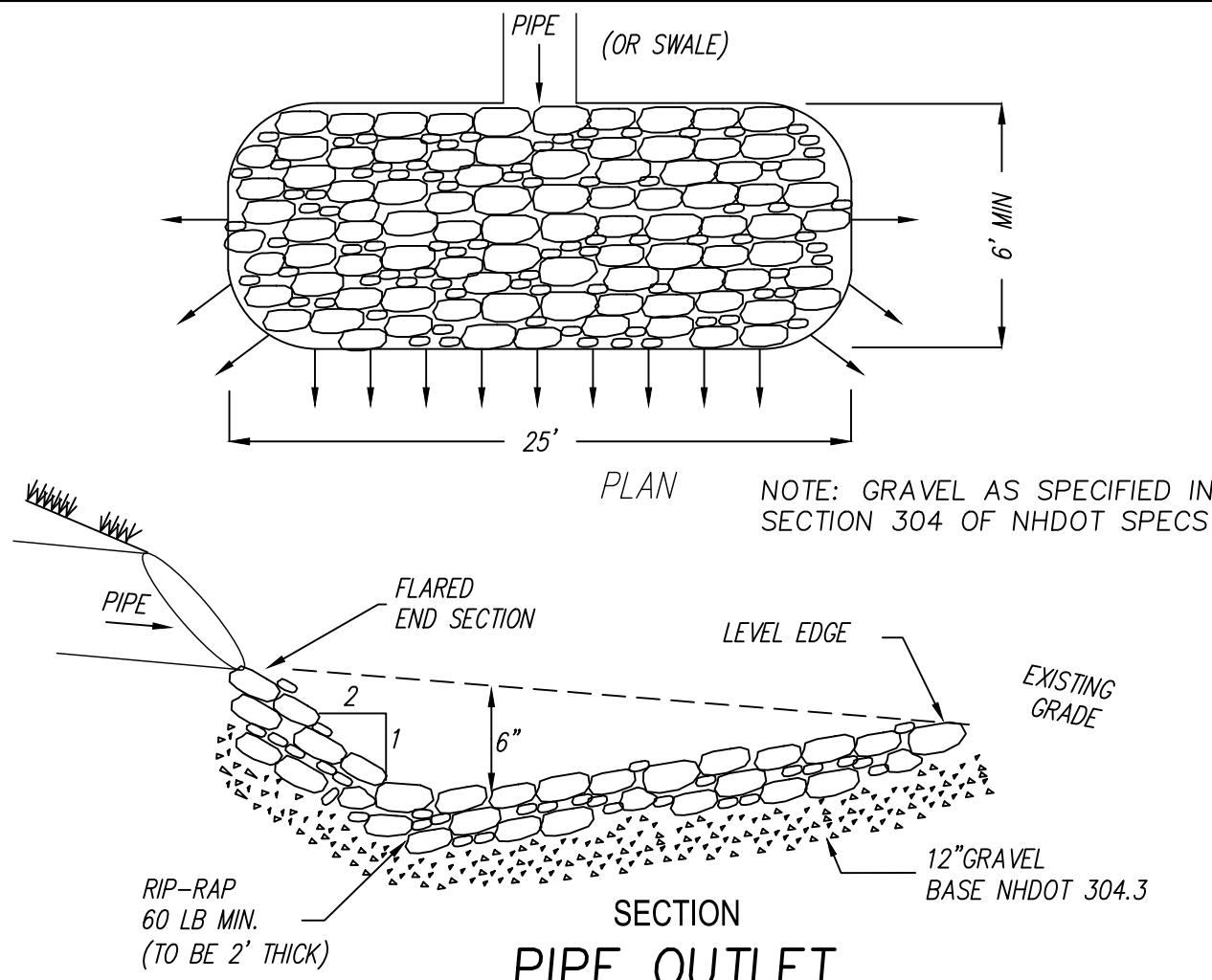
CONCRETE WASH

NOT TO SCALE



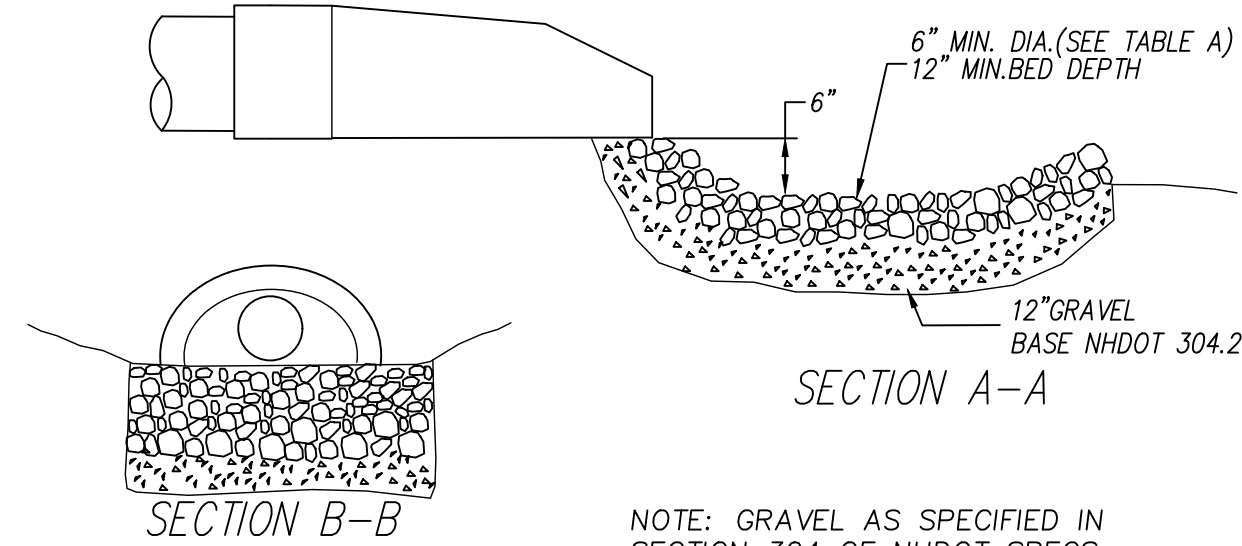
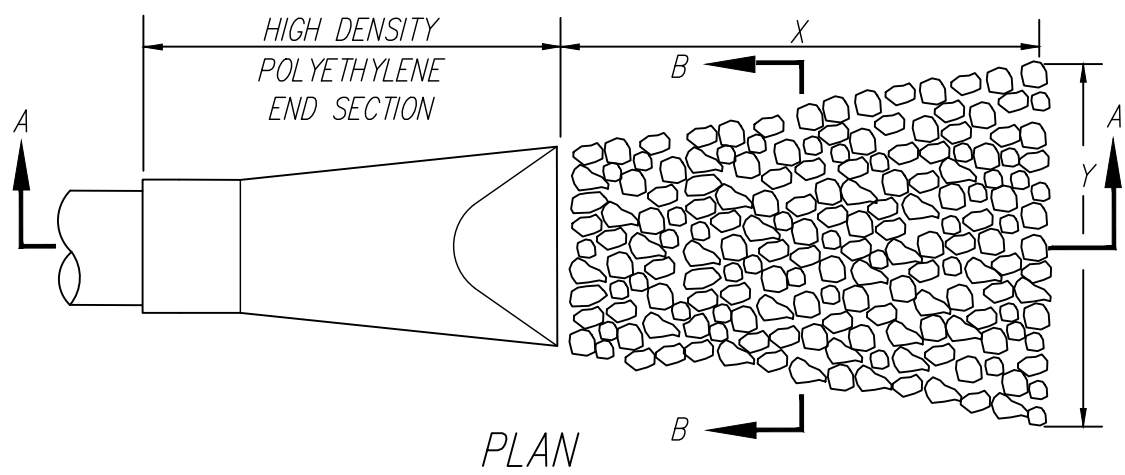
DEWATERING BASIN DETAIL

NOT TO SCALE



PIPE OUTLET LEVEL SPREADER DETAIL

NOT TO SCALE



NOTE: GRAVEL AS SPECIFIED IN SECTION 304 OF NHDOT SPECS

FLARED END SECTION

NOT TO SCALE

TABLE 'A'				
OUTLET	PIPE DIA.	X	Y	D50 STONE
FES-5	18"	7'	25'	6"
FES-6	12"	7'	7'	6"
FES-7	12"	12'	12'	6"
FES-8	18"	10'	10'	6"

NOTES:

1. REFER TO SHEET 2 FOR LEGEND, ABBREVIATIONS, AND GENERAL NOTES.

TOWN OF EXETER PLANNING BOARD

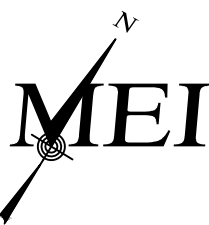
CHAIRMAN

DATE

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: NO SCALE
DATE: MAR. 10, 2025

CALC. BY: K.I.M.
CHKD. BY: J.T.M.

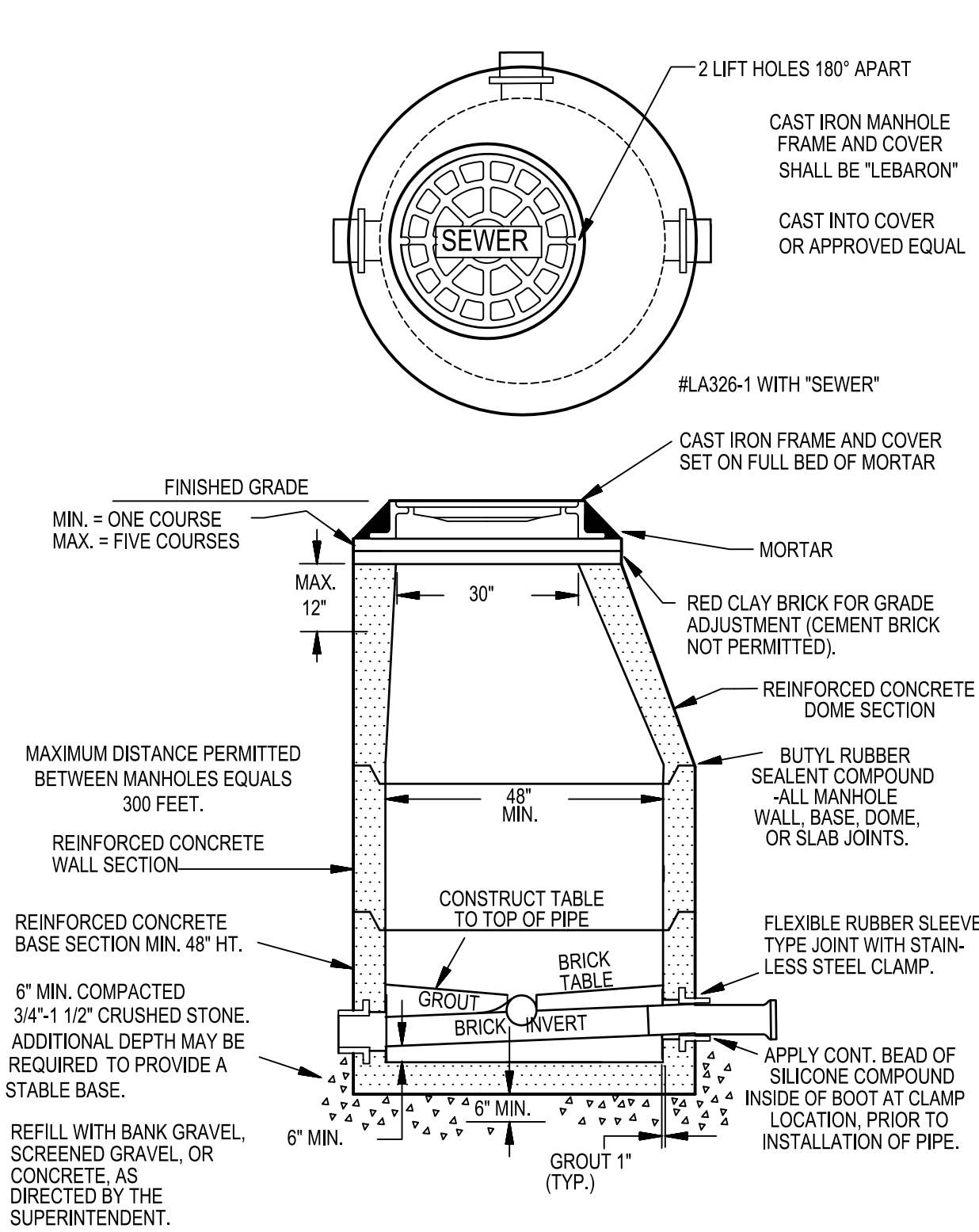
PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
DETAILS

SHEET: 19 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

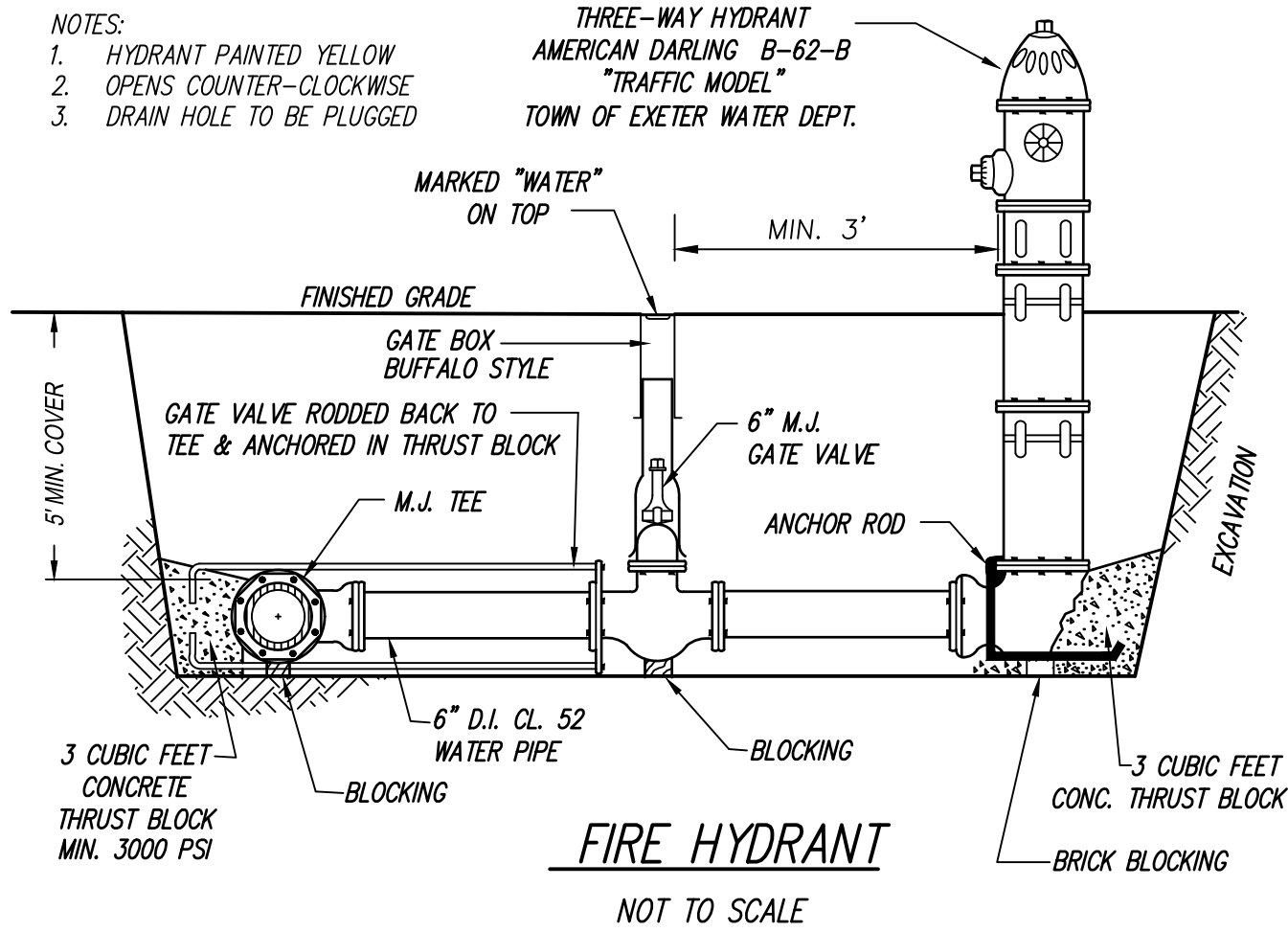


MANHOLE TESTING: VACUUM TEST MANHOLE FOR LEAKAGE
THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg. THE MINIMUM TEST HOLD FOR A 1 INCH DROP TO 9 INCHES Hg SHALL BE NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP, 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP, AND NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.

- NOTES:
1. GRAVEL AS SPECIFIED IN SECTION 304 OF NHDOT SPECS
 2. SEWER MANHOLE SHALL BE RATED FOR H-20 LOADING
 3. BRICK INVERTS TO BE INSTALLED AFTER TESTING
 4. NO STEPS IN MANHOLE
 5. BRICKS FOR GRADE ADJUSTMENTS ARE A MAXIMUM OF 5 COURSES

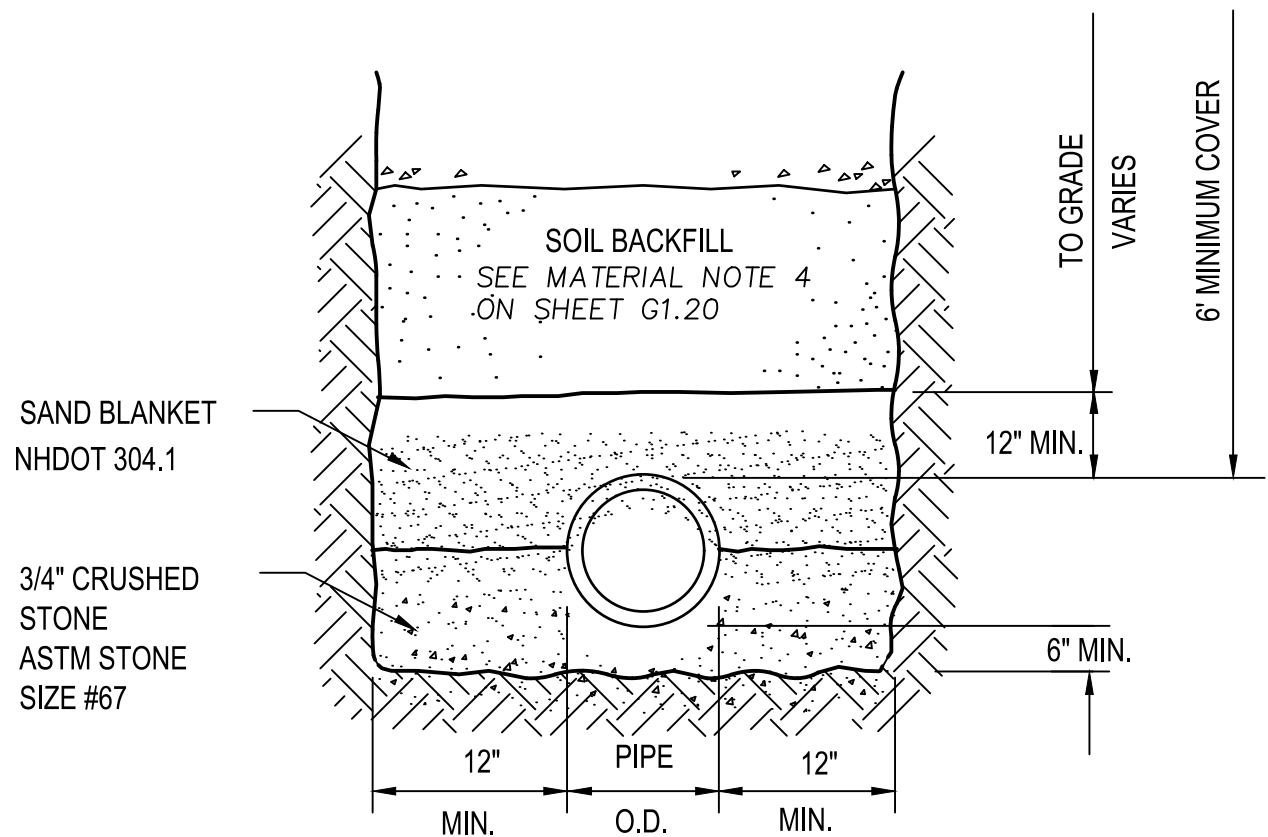
SEWER MANHOLE

NOT TO SCALE



FIRE HYDRANT

NOT TO SCALE



- NOTES:
1. GRAVITY SEWER TO BE PVC SDR 35 CONFORMING TO ASTM D3034-04a
 2. PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5% PIPE DIAMETER AS MEASURED WITH ASTM D2412-02 DURING MANUFACTURE.
 3. JOINT SEALS OF PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212-96(a) AND BE PUSH-ON, BELL-AND-SPIGOT TYPE.
 4. SAND BLANKET SHALL BE FREE OF ORGANIC MATERIALS, 100% PASSING 1/2" SIEVE, AND MAXIMUM 15% PASSING #200 SIEVE.
 5. COMPACT BEDDING AND SAND BLANKET IN MAXIMUM OF 12" LIFTS.
 6. COMPACT BACKFILL MATERIAL IN MAXIMUM OF 12" LIFTS.

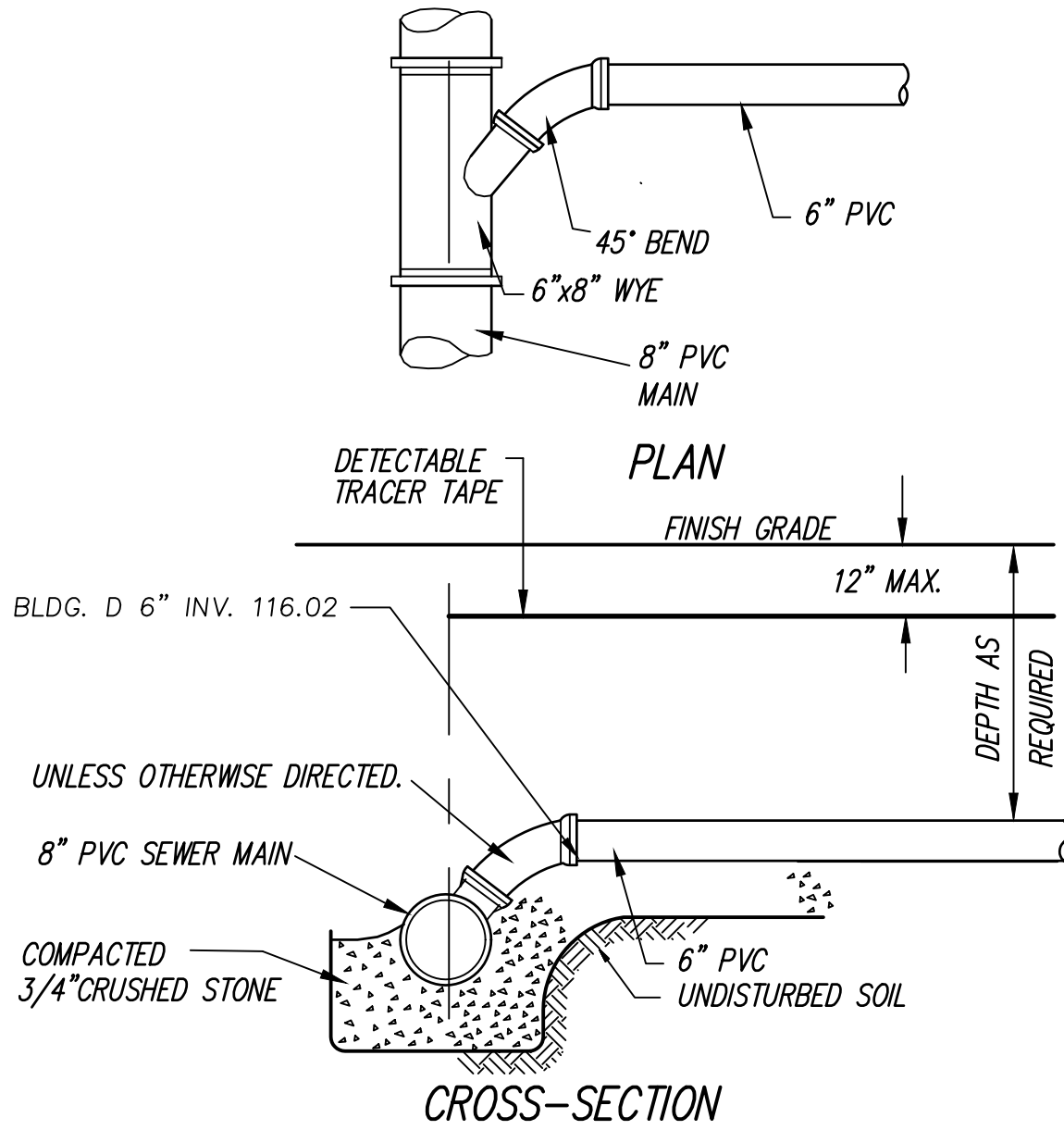
GRAVITY SEWER PIPE TESTING

LOW PRESSURE AIR TESTS SHALL BE USED FOR ALL NEW GRAVITY SEWERS CONFORMING TO ASTM F1417 "STANDARD TEST METHOD OF INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR" OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE (1998).

DEFLECTION TEST ALL PLASTIC SEWER PIPE NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION. MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 1/2% OF AVERAGE INSIDE DIAMETER.

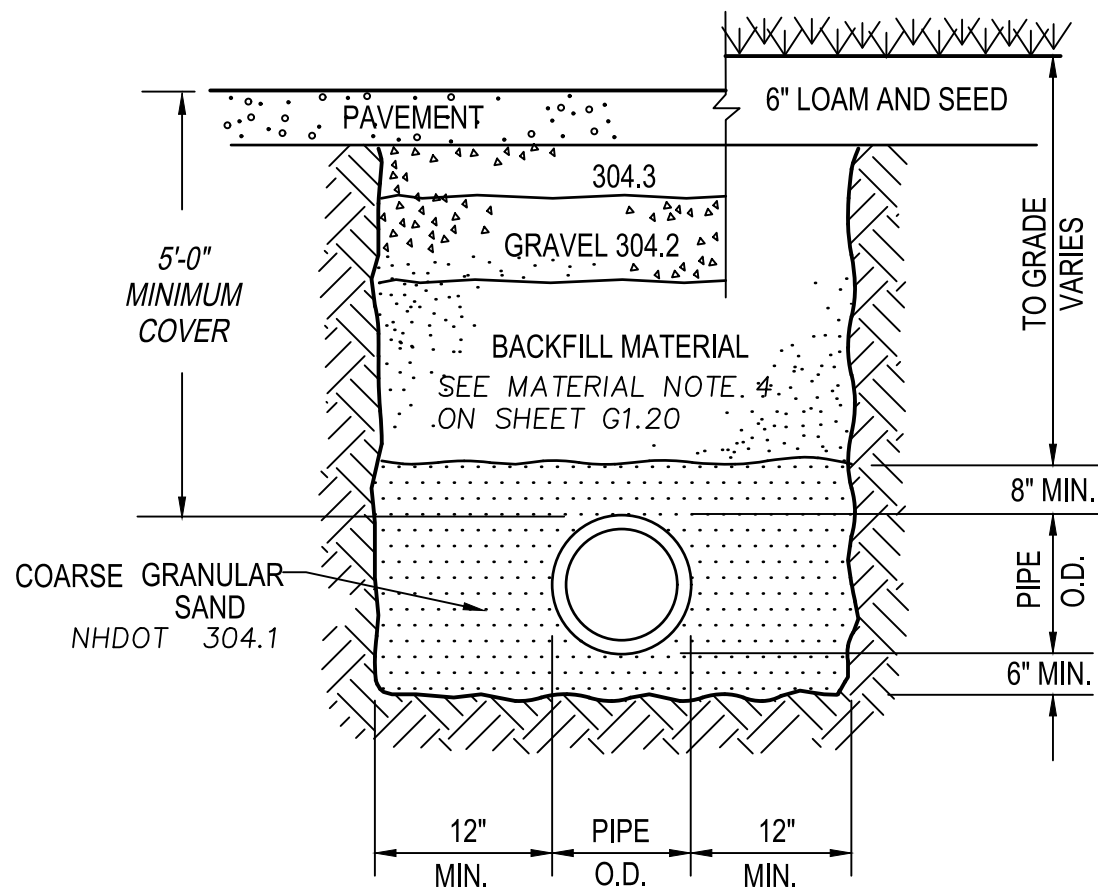
SEWER TRENCH

NOT TO SCALE



BUILDING CONNECTION DETAIL

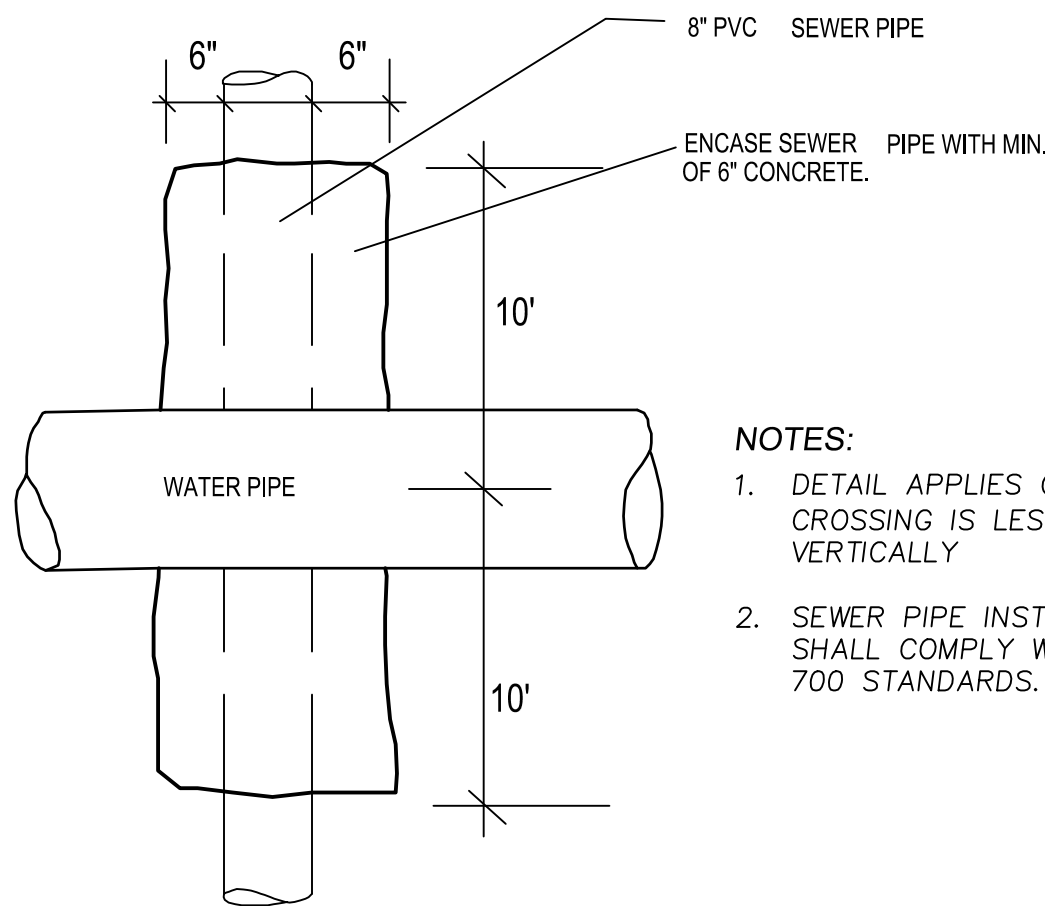
NOT TO SCALE



- NOTE:
1. SEE SITE PLAN FOR PIPE SIZES AND SERVICE.
 2. WATER PIPE TO BE DUCTILE IRON (D.I.) CLASS 52
 3. GRAVEL AS SPECIFIED IN SECTION 304 OF NHDOT SPECS

WATER TRENCH

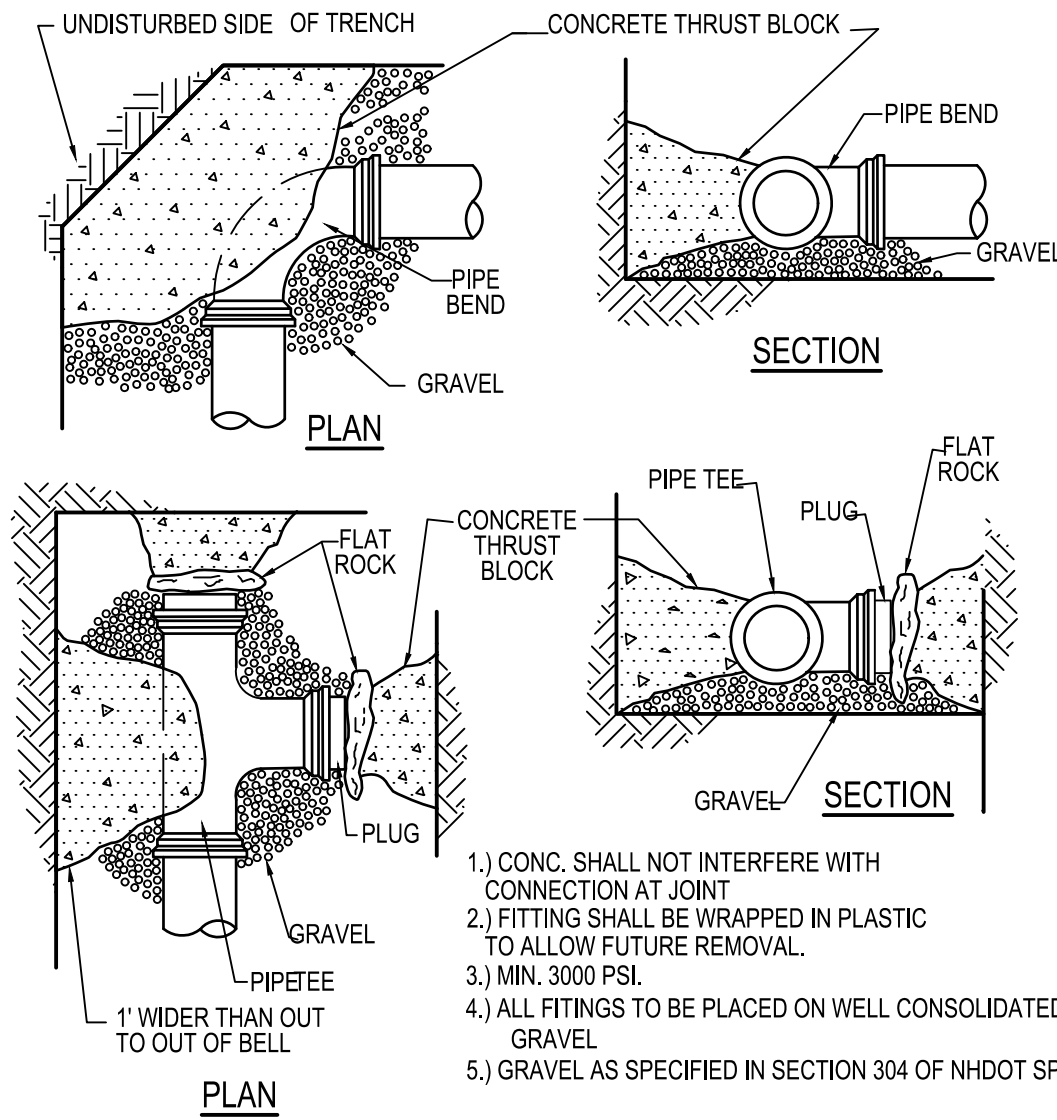
NOT TO SCALE



- NOTES:
1. DETAIL APPLIES ONLY IF PIPE CROSSING IS LESS THAN 18" VERTICALLY
 2. SEWER PIPE INSTALLATION SHALL COMPLY WITH ENV.Wq 700 STANDARDS.

SEWER / WATER CROSSING

NOT TO SCALE



- 1.) CONC. SHALL NOT INTERFERE WITH CONNECTION AT JOINT
- 2.) FITTING SHALL BE WRAPPED IN PLASTIC TO ALLOW FUTURE REMOVAL.
- 3.) MIN. 3000 PSI.
- 4.) ALL FITTINGS TO BE PLACED ON WELL CONSOLIDATED GRAVEL
- 5.) GRAVEL AS SPECIFIED IN SECTION 304 OF NHDOT SPECS

THRUST BLOCK PLACEMENT ON BENDS, TEES AND PLUGS

NOT TO SCALE

- NOTES:
1. REFER TO SHEET 2 FOR LEGEND, ABBREVIATIONS, AND GENERAL NOTES.

TOWN OF EXETER PLANNING BOARD

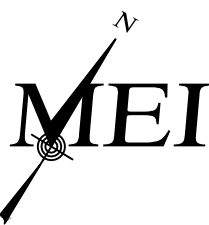
CHAIRMAN

DATE

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

SCALE: NO SCALE	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

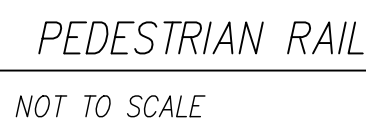
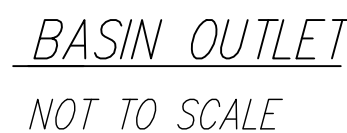
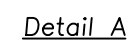
SITE PLAN
IN
EXETER, NH

SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
DETAILS

SHEET: 20 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

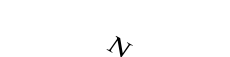


TOWN OF EXETER PLANNING BOARD

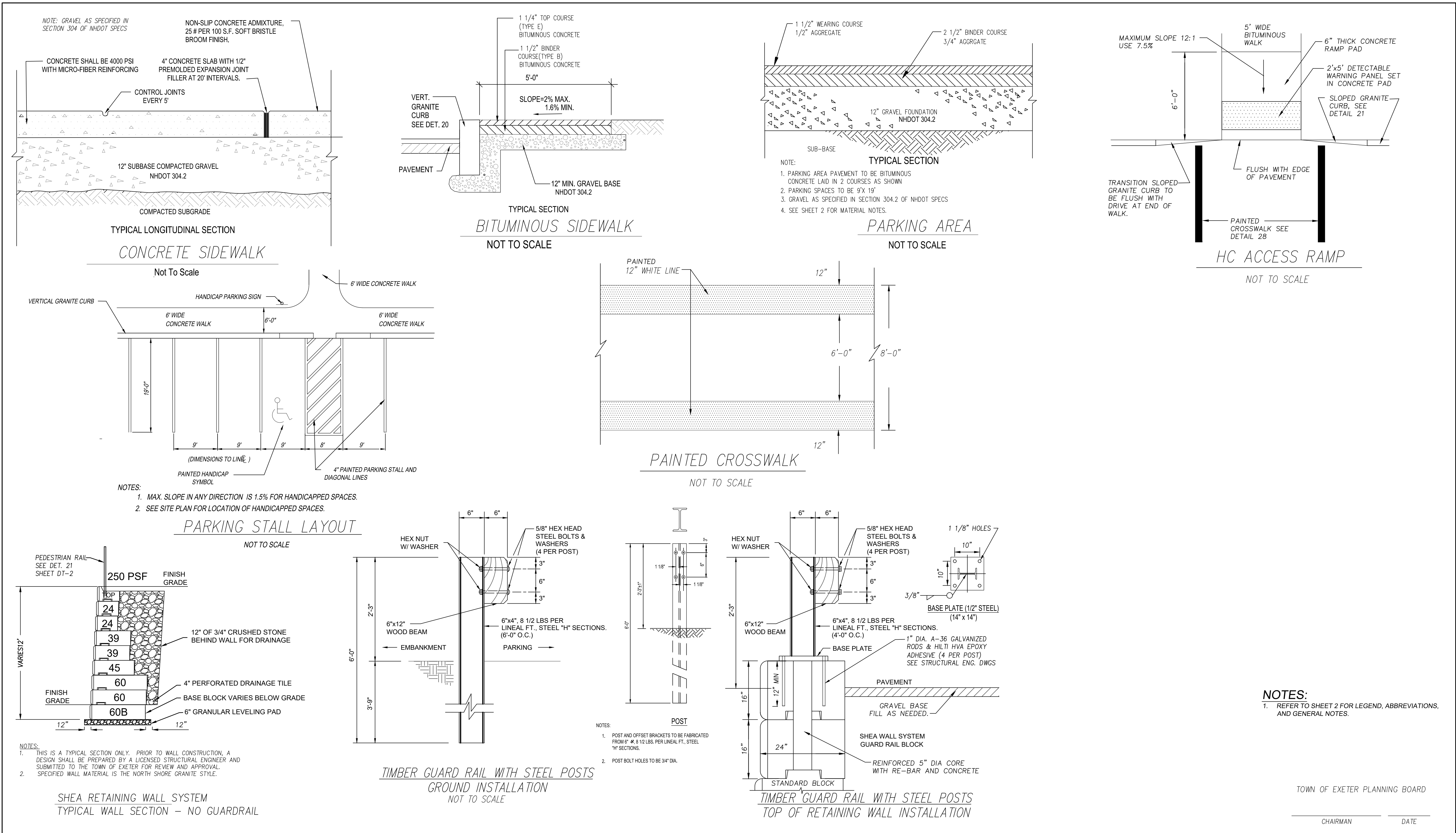
CHAIRMAN

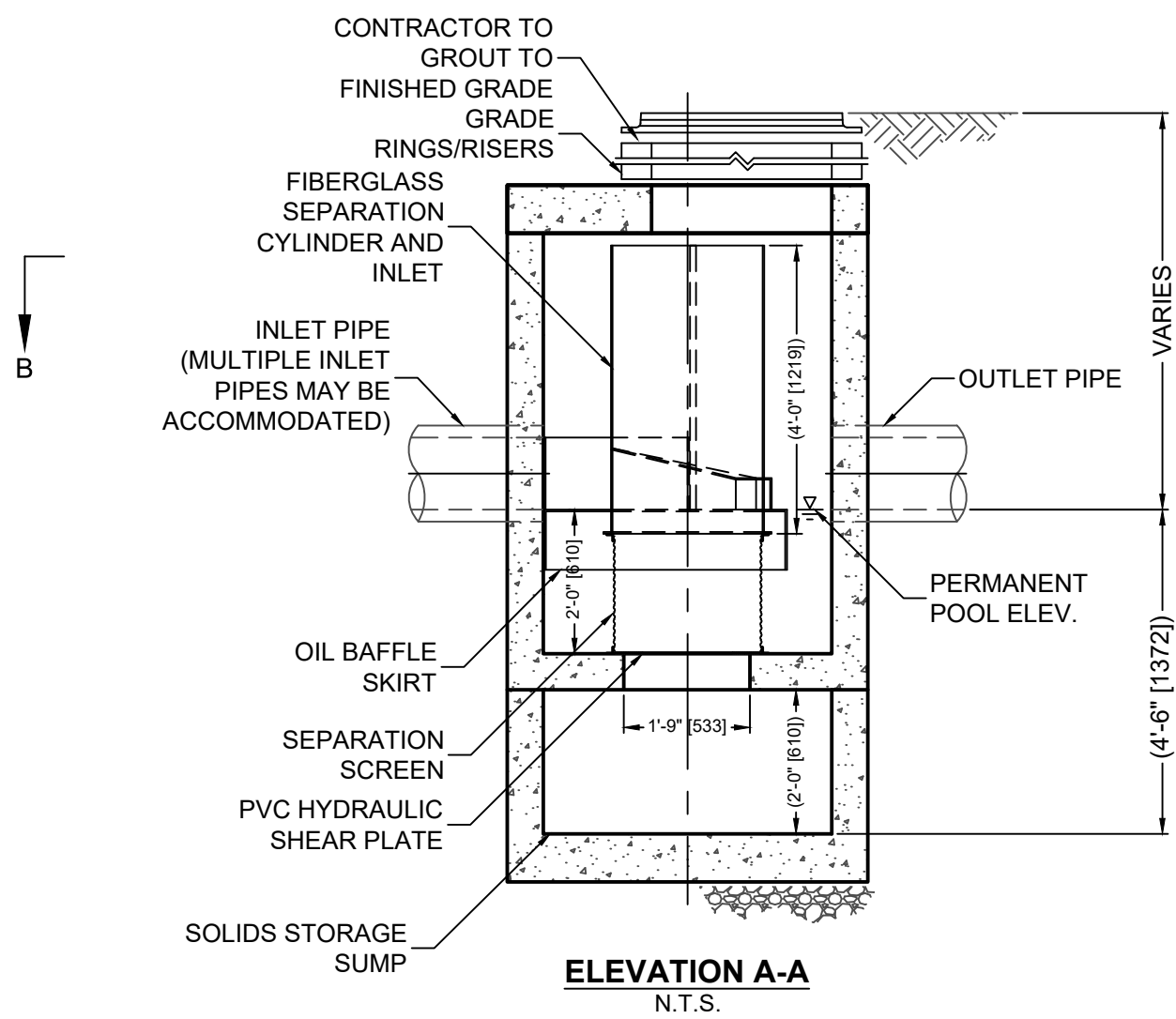
DATE

DETENTION BASIN OUTLETS STRUCTURE						
		A-BOTTOM	B	C	D-RIM	E-OUTLET
BASIN E	OS-6	101.75	103.75-3.0"	104.35-6"	106.50	100.00-18"

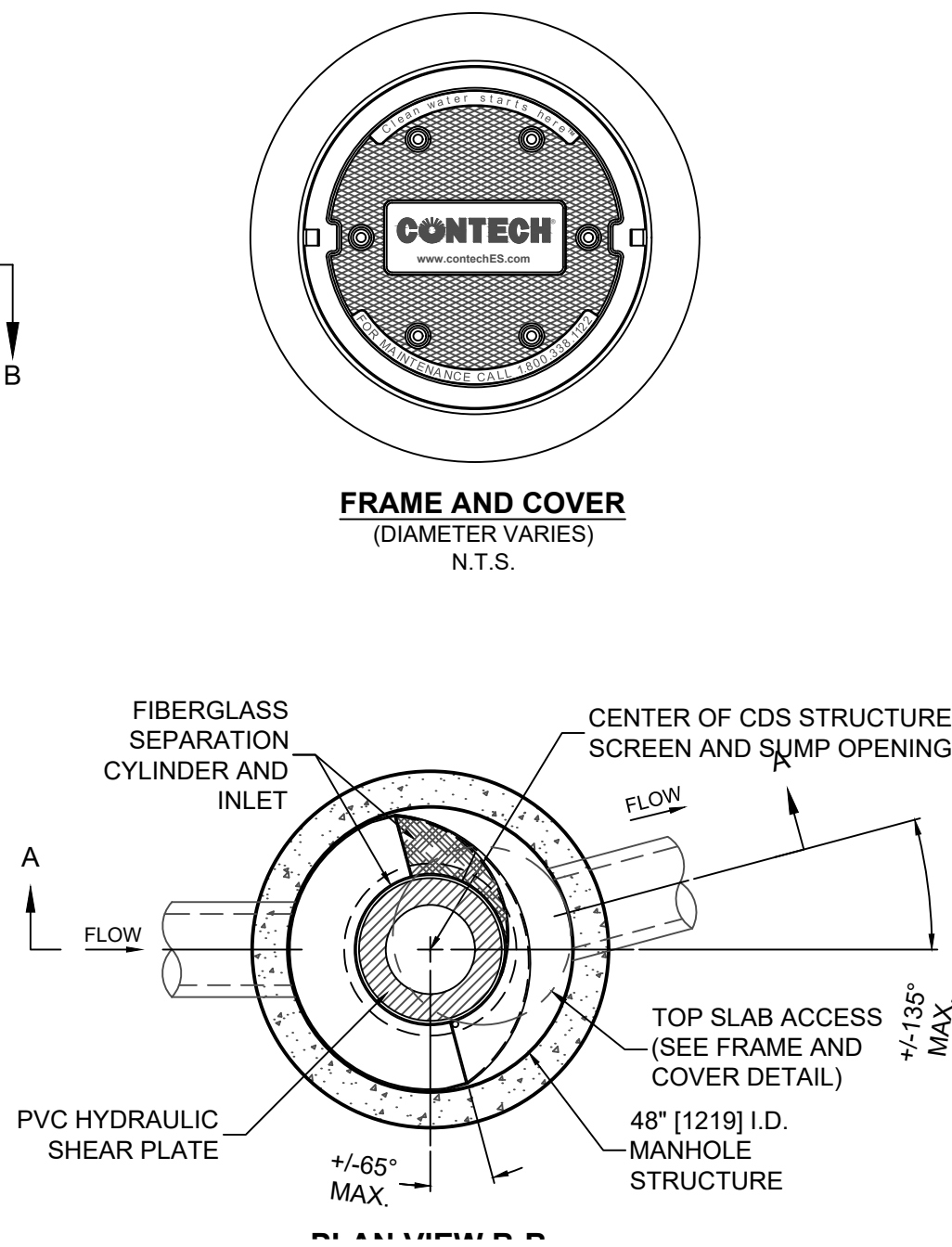
GRAPHIC SCALE:			RECORD OWNER						 <div>MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528</div>	<div>SITE PLAN IN EXETER, NH</div> <hr/> <div>SHOWING BUILDING D AT RAY FARM OFF RAY FARM ROAD</div>		PLAN TITLE
			CKT ASSOCIATES, LLC									DETAILS
			158 SHATTUCK WAY									
			NEWINGTON, NH 03801									
			APPLICANT									
			RAY FARM, LLC									
			158 SHATTUCK WAY									
NEWINGTON, NH 03801								SHEET: 21 OF 25				
		1	5-29-25	ADDRESS	PRC	COMMENTS	K.I.M.	SCALE: NO SCALE	CALC. BY: K.I.M.	PROJECT: M244368		
		NO.	DATE			DESCRIPTION	BY	DATE: MAR. 10, 2025	CHKD. BY: J.T.M.			

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





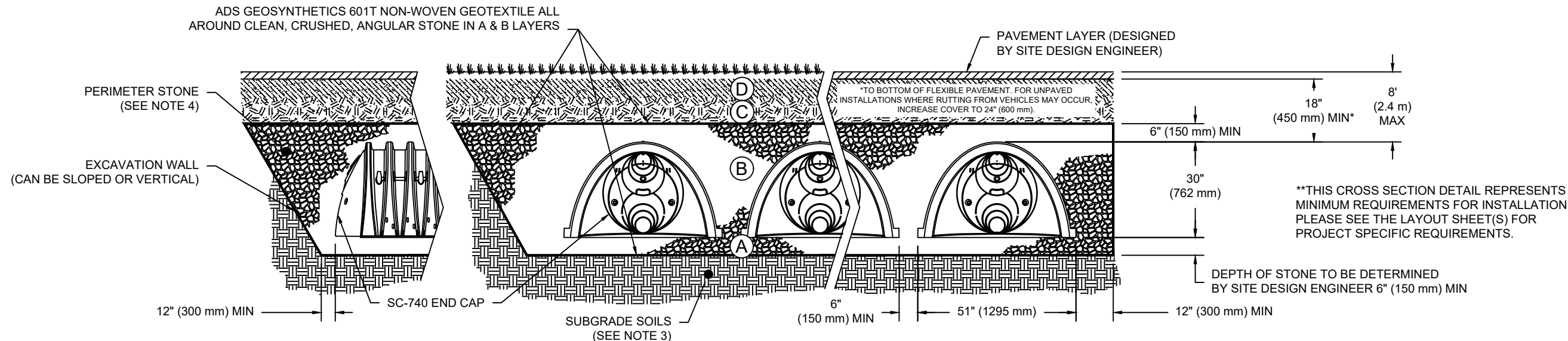
DMH-1 CONTECH CDS2015-4-C-DTL
DETAIL N.T.S.



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

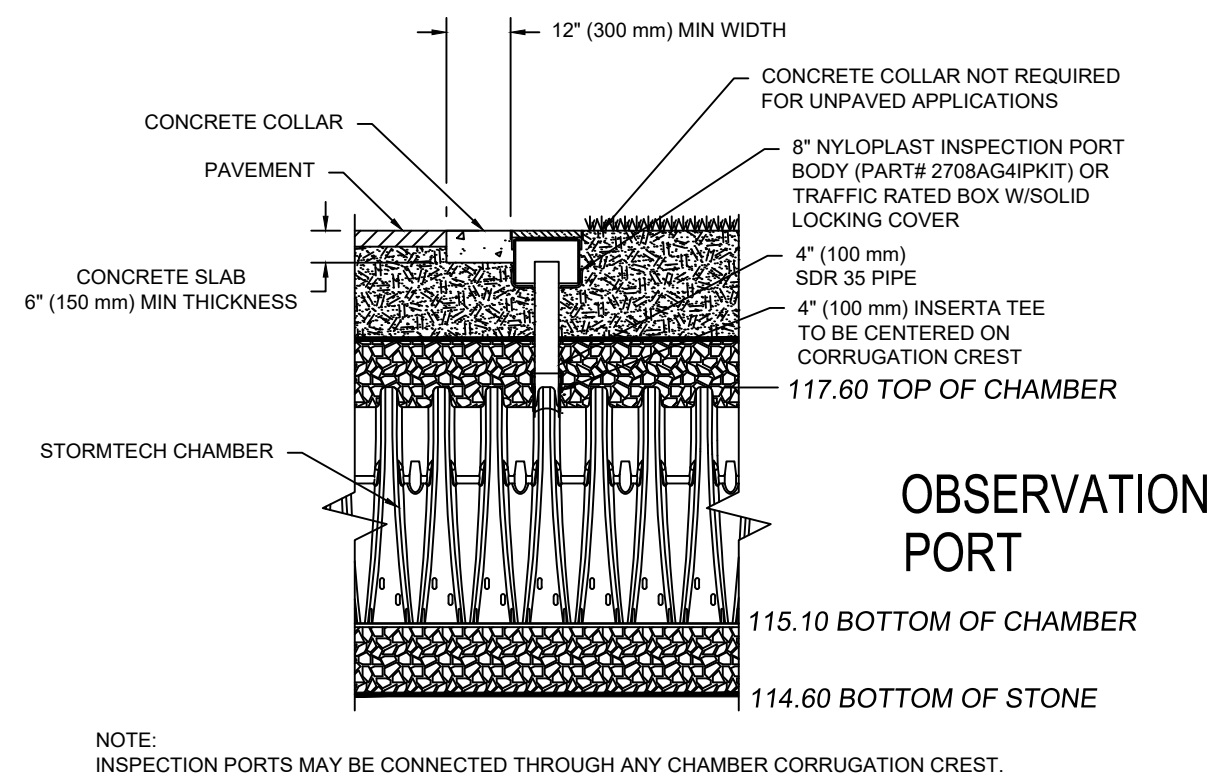


NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-18a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

1

SC-740 CROSS SECTION DETAIL



"STORMTECH 740" INFILTRATION SYSTEM

NOTES:

- REFER TO SHEET 2 FOR LEGEND, ABBREVIATIONS, AND GENERAL NOTES.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN

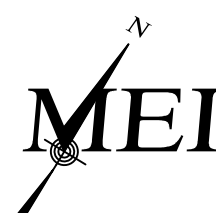
DATE

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
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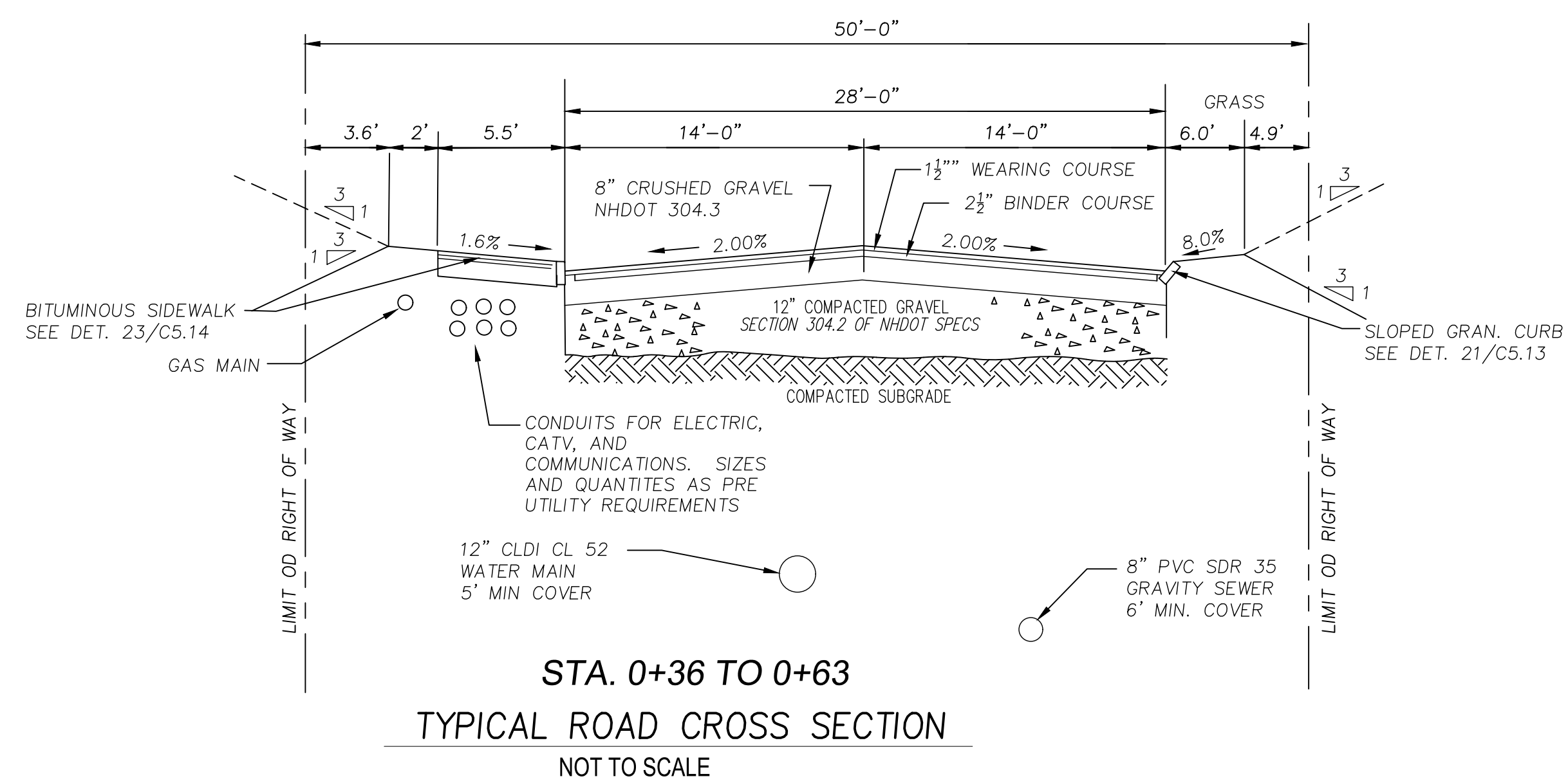
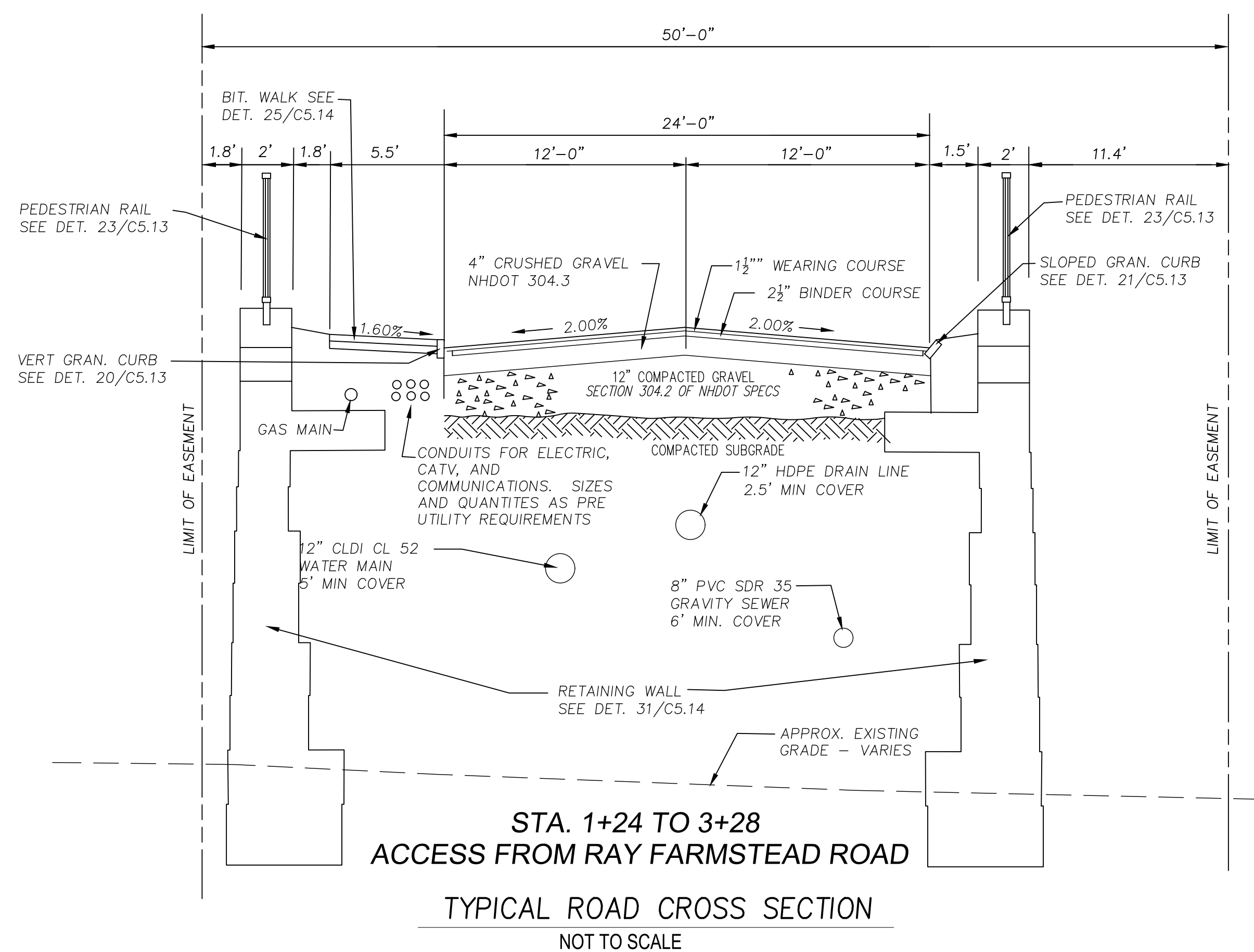
SCALE: NO SCALE	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
DETAILS

SHEET: 23 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



NOTES:

1. REFER TO SHEET 2 FOR LEGEND, ABBREVIATIONS,
AND GENERAL NOTES.

TOWN OF EXETER PLANNING BOARD


CHAIRMAN

DATE _____

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

[illegible]

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: NO SCALE
DATE: MAR. 10, 2

CALC. BY: K.I.M.
CHKD. BY: J.T.M.

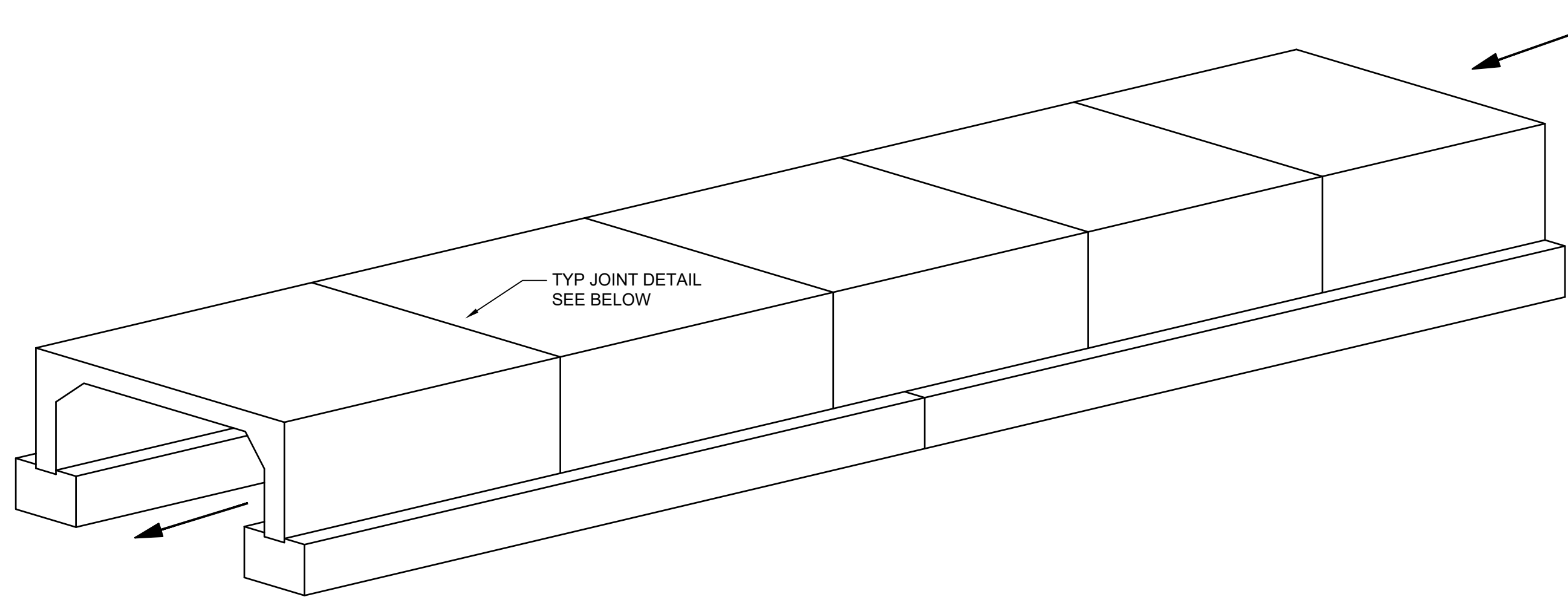
PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

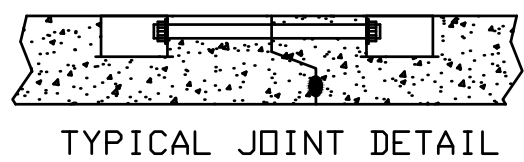
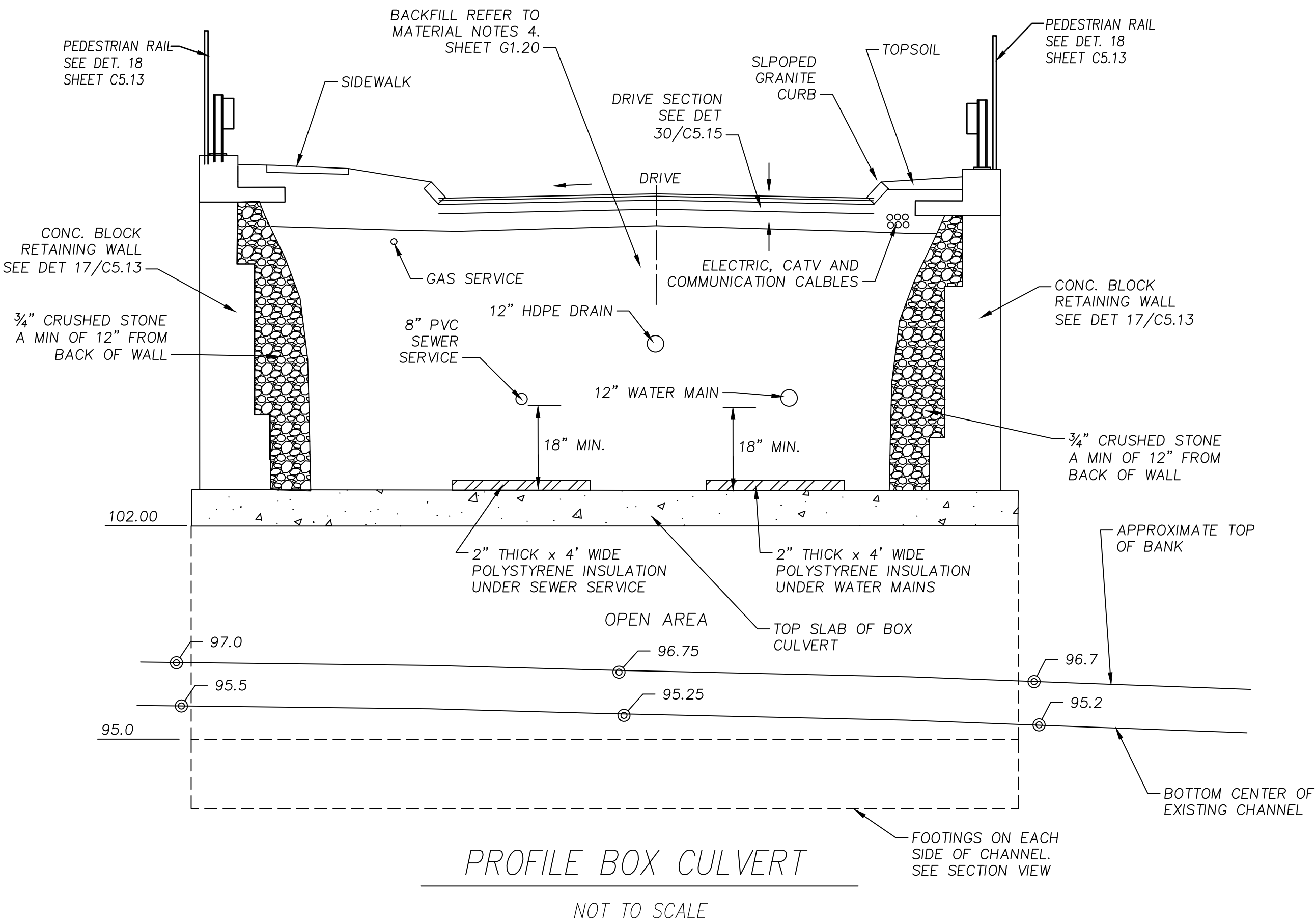
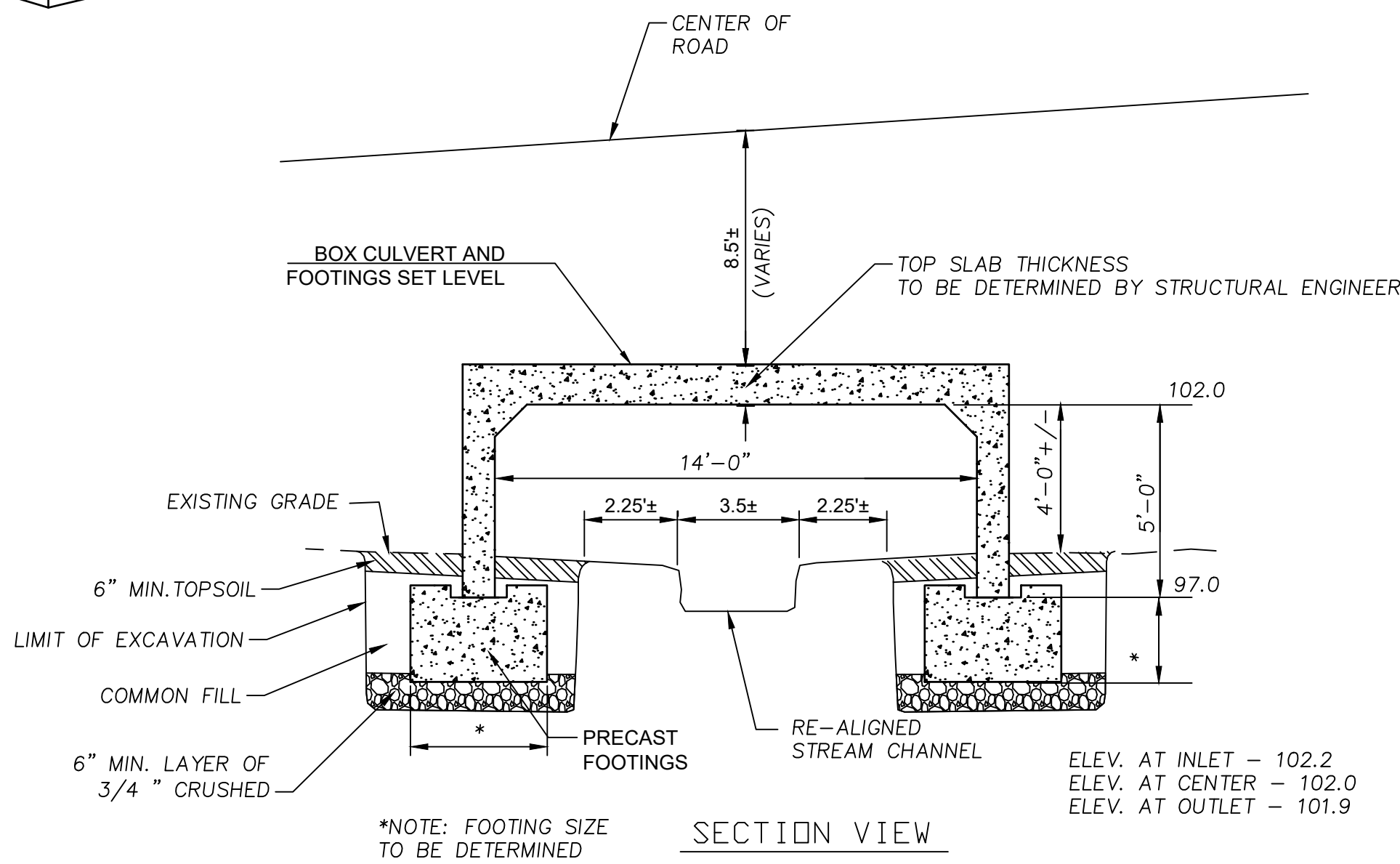
PLAN TITLE
DETAILS

SHEET: 24 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



NOTES:
1. REFER TO SHEET G1.20 FOR LEGEND,
GENERAL NOTES, AND ABBREVIATIONS.



BOX CULVERT 3-SIDED

DESIGN NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN PER ASTM C1504 SPECIFICATION FOR 3-SIDED CULVERT.
3. ALL REINFORCEMENT PER ASTM A-615-75
4. DESIGN FOR AASHTO H-20 LOADING (FOR VEHICULAR AND TRUCK TRAFFIC).
COVER OVER TOP OF BOX CULVERT WILL BE BETWEEN 8 TO 10 FEET.
A CONCRETE BLOCK RETAINING WALL WILL BE AT EACH END OF THE CULVERT.
5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
6. BORINGS TO DETERMINE BEARING CAPACITY AND SOIL SUITABILITY SHALL BE CONDUCTED BY A GEOTECHNICAL ENGINEER PRIOR TO DESIGN.
7. INSTALLATION OF BACKFILL AND STRUCTURE SHALL BE UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER.

NOTE: CULVERT DESIGN TO BE PREPARED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE ENGINEER OF RECORD AND SUBMITTED TO TOWN OF EXETER ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.

NOTES:
1. REFER TO SHEET 2 FOR LEGEND, ABBREVIATIONS,
AND GENERAL NOTES.

BOX CULVERT
NOT TO SCALE

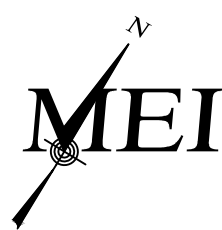
TOWN OF EXETER PLANNING BOARD

CHAIRMAN DATE

GRAPHIC SCALE:

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: NO SCALE
DATE: MAR. 10, 2025
CALC. BY: K.I.M.
CHKD. BY: J.T.M.
PROJECT: M244368

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
DETAILS
SHEET: 25 OF 25



Kristen Murphy <kmurphy@exeternh.gov>

CUP Supplemental Documents

1 message

Kat Morrill <KMorrill@mei-ma.com>

Thu, Jun 5, 2025 at 4:57 PM

To: David Sharples <dsharples@exeternh.gov>, "kmurphy@exeternh.gov" <kmurphy@exeternh.gov>, Barbara McEvoy <bmcvoy@exeternh.gov>, Kathleen Croteau <kcroteau@exeternh.gov>

Cc: "Jon & Amy Shafmaster (jshafmaster@littlebaylobster.com)" <jshafmaster@littlebaylobster.com>, "Eric Botterman, P.E." <ebotterman@mei-ma.com>, "Edmond J. Ford" <eford@fordlaw.com>, Christopher Hilson <chilson@dtclawyers.com>, Tim Phoenix <tphoenix@hpgrlaw.com>

Dave and Kristen,

Enclosed are the documents for the Shoreland and Wetland CUPs that you requested.

I am hoping this is a sufficient improvement for the meetings next week. I find it important to note that while the new impacts sheets are close to what we believe will be final they are not completely representative of the final impacts. I am hoping to reduce some of the shoreland buffer impacts once we finish evaluating the potential reduction in parking.

I apologize that this is so late in the day. I've been having persistent technical issues.

Please let me know if there is anything else I can provide. I will try and draft an explanatory cover letter and send over ASAP, but I wanted you to have the plan references.

Kat

Katharena Morrill



Millennium Engineering, Inc.

62 Elm Street

Salisbury, MA 01952

Tel: (978) 463-8980

Fax: (978) 499-0029

5 attachments



Original Building D Wetland Impacts.pdf

918K



Building C to Building D Buffer Impact.pdf

917K



Building C to Building D Direct Impacts.pdf

1004K



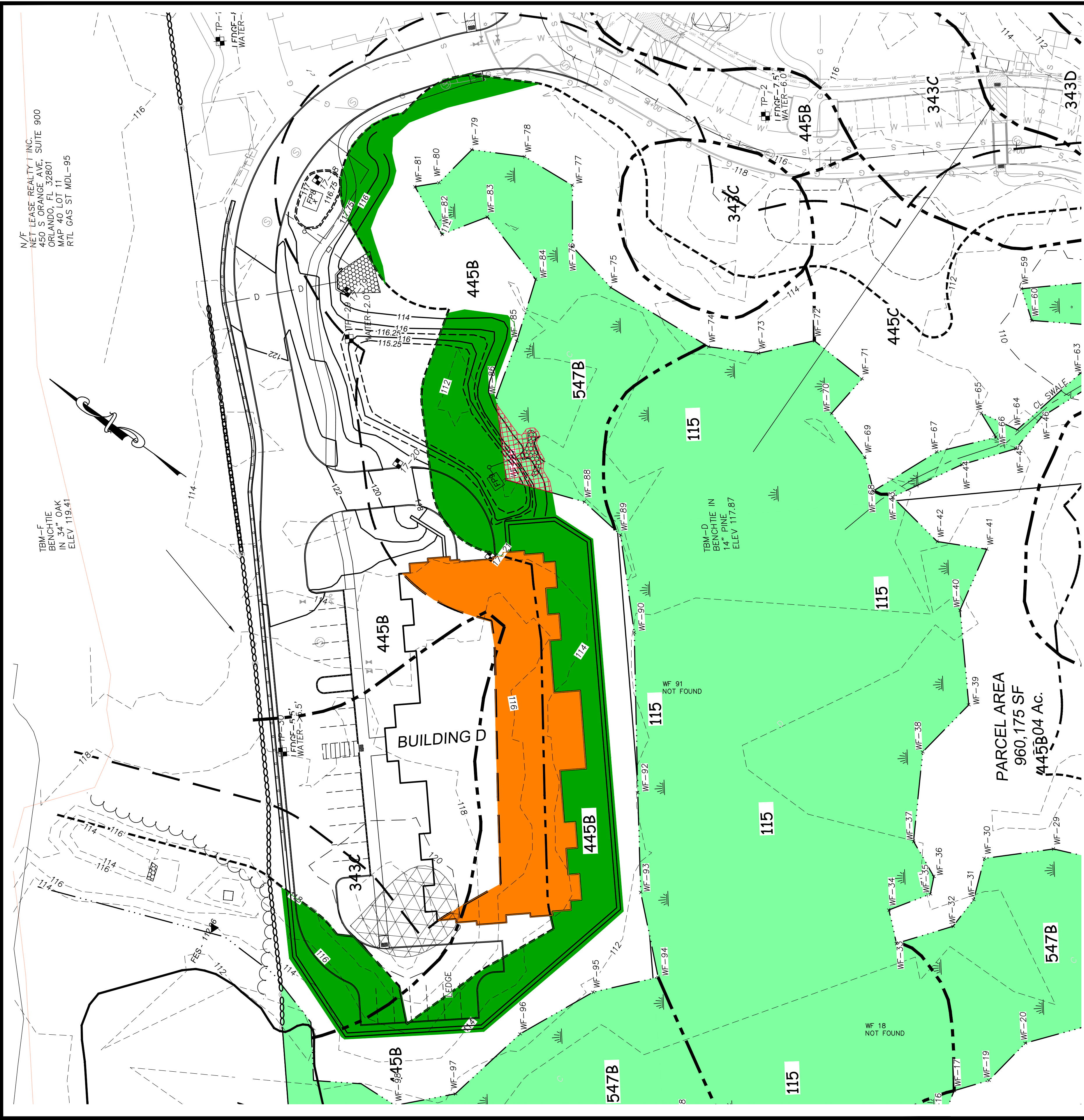
Building D to TIF Road GM2 initial.pdf

1275K



MEI Impact Plans.pdf

2279K



WETLAND IMPACTS

DIRECT WETLAND IMPACTS

WETLAND IMPACT - AREA 1 680 SF
TOTAL WETLAND IMPACT 680 SF

BUFFER ZONE IMPACTS

40-50 FOOT WETLAND BUFFER IMPACT - GRADING 17,869 SF
75 FOOT WETLAND BUFFER IMPACT 8,710 SF
TOTAL WETLAND BUFFER IMPACTS 26,579 SF

SCALE: 1"=30'
30 20 10 0 30 60 90 FEET
5 0 10 20 METERS



6 CHESTNUT STREET, AMESBURY, MA.
Phone: (978) 388-2157
CONSULTING ENGINEERS &
LAND SURVEYORS SINCE 1988
www.gm2inc.com

Sheet Title:

ALTERNATE 1 Wetland Impacts for New Building D at old Location

Project Title:

Ray Farm Condominium

Ray Farmstead Road
Exeter, NH 03833
Rockingham County

Applicant/Owner:

Ray Farm, LLC
158 Shattuck Way
Newington, NH 03801

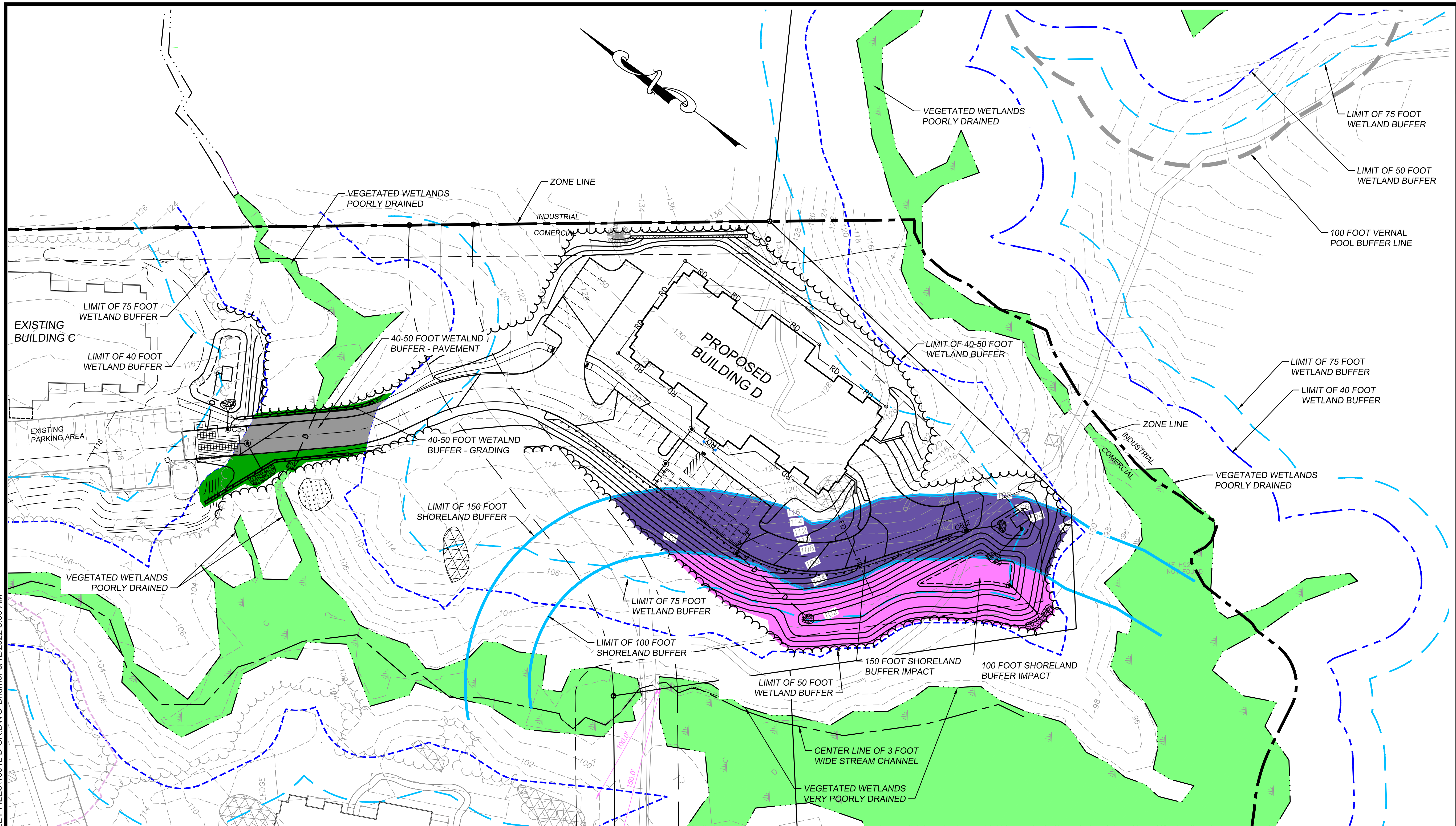
REVISION BLOCK

NO.	DATE	DESC	BY





PROJ. MGR.: D. HAMEL
FIELD: J. SALVAGGIO / R. SMITH
DESIGN: D. HAMEL
DRAWN: D. HAMEL
CHECKED: D. GIANGRANDE
DATE: 04-26-2022
FILE: 16042-D CGR MITIGATION.DWG
FBK:
JOB #: 16042 D

SHEET C1.01

K:\PROJ CIVIL_3D\2016\16042 BLDG D\1.0 SHEET FILES\16042 D GR.DWG D:\1.0 SHEET FILES\16042 D GR.DWG D:\1.0 SHEET FILES\16042 D GR.DWG 5/12/2022 8:00 AM

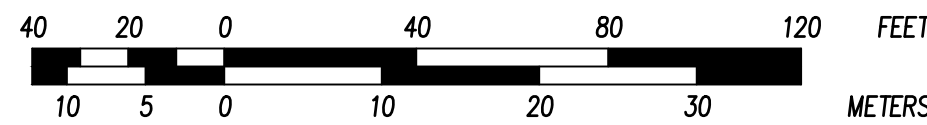


WETLAND BUFFER IMPACTS



	40-50 FOOT WETLAND BUFFER IMPACT - PAVEMENT	2858 SF
	40-50 FOOT WETLAND BUFFER IMPACT - GRAVEL	0 SF
	40-50 FOOT WETLAND BUFFER IMPACT - GRADING	2489 SF
	75 FOOT WETLAND BUFFER IMPACT	0 SF

TOTAL WETLAND BUFFER IMPACTS 5,347 SF

SCALE: 1"=40'



SHORELAND BUFFER IMPACTS

	100 FOOT SHORELAND BUFFER IMPACT	9128 SF
	150 FOOT SHORELAND BUFFER IMPACT	16,560 SF

TOTAL SHORELAND BUFFER IMPACT 25,688 SF SF

NOTES:

- REFER TO G1.20 FOR LEGEND, ABBREVIATIONS, AND GENERAL NOTES.
- ACCESS ROAD SHOWN DEPICTS DESIGN INTENT ONLY. FINAL DESIGN TO BE COORDINATED WITH RESULTS OF THE TIF PROGRAM DESIGN.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN DATE



6 CHESTNUT STREET, AMESBURY, MA.

Phone: (978) 388-2157
CONSULTING ENGINEERS &
LAND SURVEYORS SINCE 1988
www.gm2inc.com

WETLAND AND SHORELAND BUFFER IMPACT PLAN

Ray Farm Condominium

Ray Farmstead Road
Exeter, NH 03833
Rockingham County

Applicant/Owner:

Ray Farm, LLC
158 Shattuck Way
Newington, NH 03801

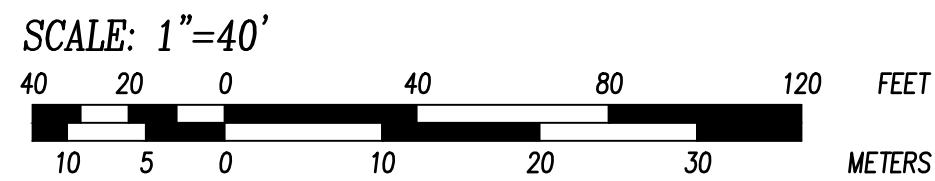
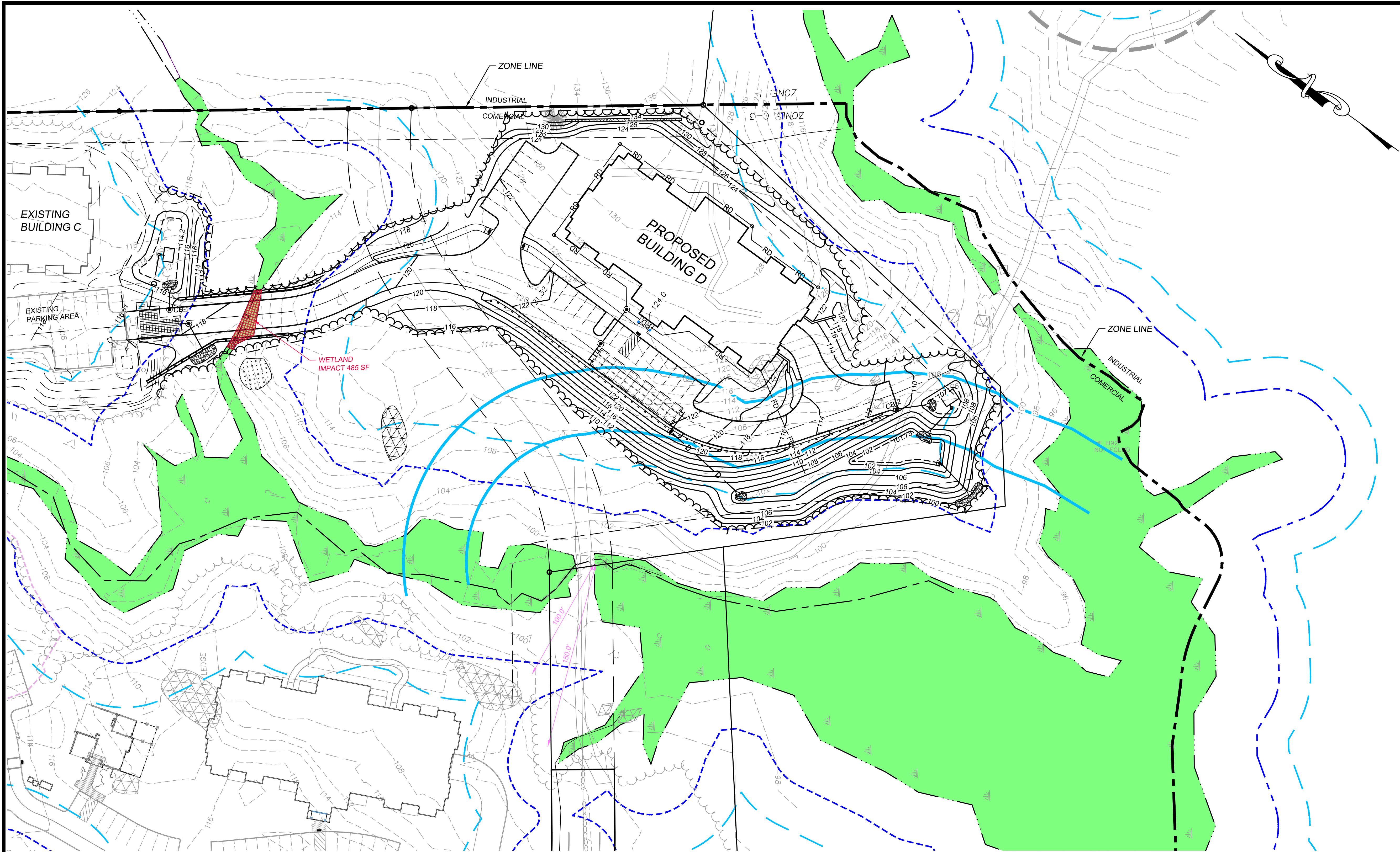
REVISION BLOCK

NO.	DATE	DESC	BY
1	4.26-22	REVISE WET IMPACTS	DH

PROJ. MGR: D. HAMEL
FIELD: J. SALVAGGIO / R. SMITH
DESIGN: D. HAMEL
DRAWN: D. HAMEL
CHECKED: D. GIANGRANDE
DATE: 01-11-2022
FILE: 16042 D GR.DWG
FBK:
JOB #: 16042 D

SHEET C1.25

K:\PROJ CIVIL_3D\2016\16042 BLDG D\1.0 SHEET FILES\16042 D GR.DWG D:\1.0 SHEET FILES\16042 D GR.DWG D:\1.0 SHEET FILES\16042 D GR.DWG 5/12/2022 7:59 AM



DIRECT WETLAND IMPACTS

WETLAND IMPACT - AREA 1 485 SF

TOTAL WETLAND IMPACT 485 SF

NOTES:

1. REFER TO G1.20 FOR LEGEND, ABBREVIATIONS, AND GENERAL NOTES.
2. ACCESS ROAD SHOWN DEPICTS DESIGN INTENT ONLY.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN

DATE



6 CHESTNUT STREET, AMESBURY, MA.

Phone: (978) 388-2157

CONSULTING ENGINEERS &

LAND SURVEYORS SINCE 1988

www.gm2inc.com

Sheet Title:

WETLAND IMPACT PLAN

Project Title:

Ray Farm Condominium

Ray Farmstead Road

Exeter, NH 03833

Rockingham County

Applicant/Owner:

Ray Farm, LLC

158 Shattuck Way

Newington, NH 03801

REVISION BLOCK

NO.	DATE	DESC	BY
1	4.26-22	REVISE WET IMPACTS	DH

PROJ. MGR: D. HAMEL

FIELD: J. SALVAGGIO / R. SMITH

DESIGN: D. HAMEL

DRAWN: D. HAMEL

CHECKED: D. GIANGRANDE

DATE: 01-11-2022

FILE: 16042 D GR.DWG

FBK:

JOB #: 16042 D

SHEET C1.24



6 CHESTNUT STREET, AMESBURY, MA.
Phone: (978) 388-2157
CONSULTING ENGINEERS &
LAND SURVEYORS SINCE 1988
www.gm2inc.com

Sheet Title:

ALTERNATE 2

Wetland Impacts for TIF Road Phase II

Project Title:

Ray Farm Condominium

Ray Farmstead Road
Exeter, NH 03833
Rockingham County

Applicant/Owner:

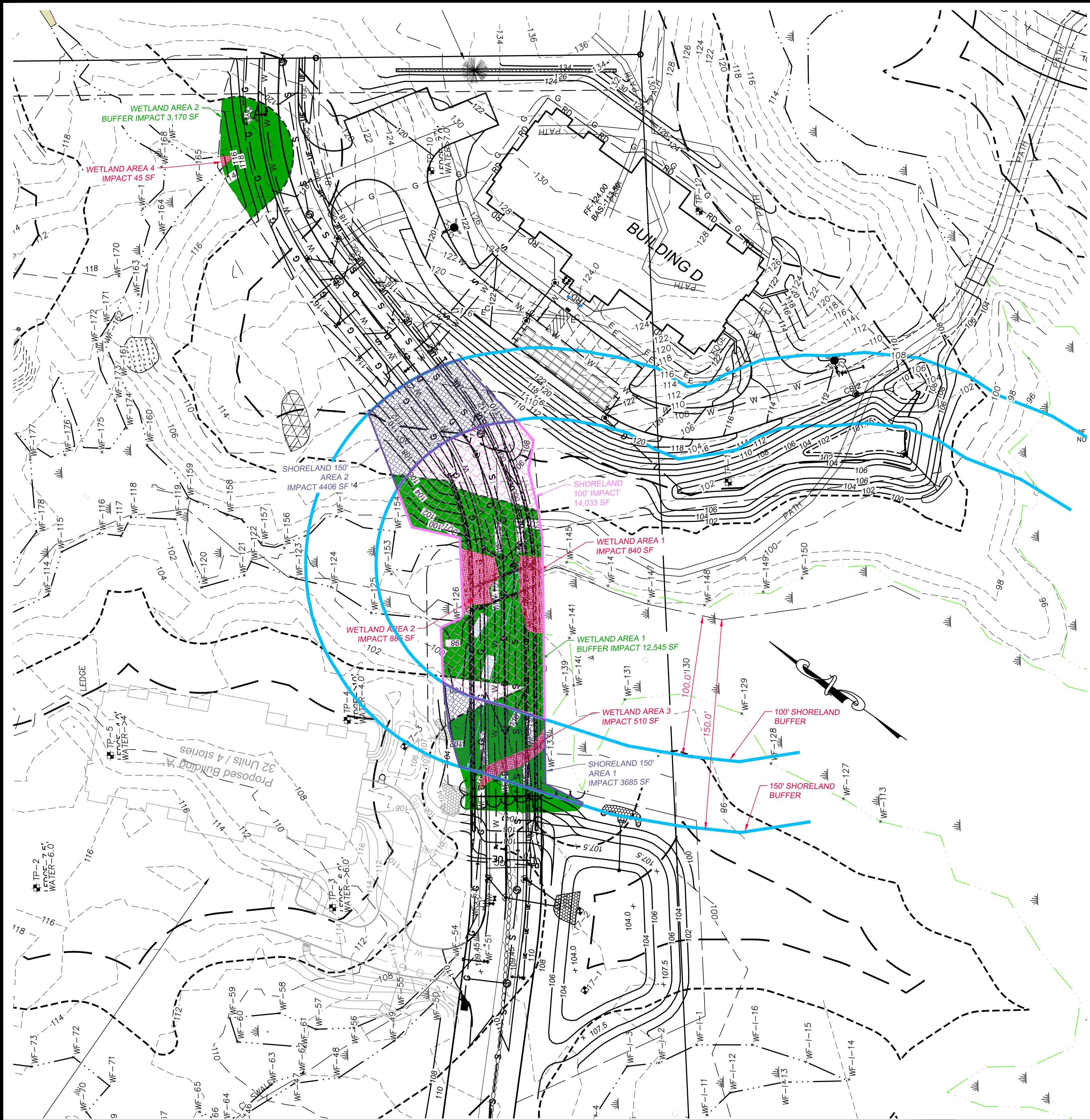
Ray Farm, LLC
158 Shattuck Way
Newington, NH 03801

REVISION BLOCK

NO.	DATE	DESC	BY

PROJ. MGR.: D. HAMEL
FIELD: J. SALVAGGIO / R. SMITH
DESIGN: D. HAMEL
DRAWN: D. HAMEL
CHECKED: D. GIANGRANDE
DATE: 04-26-2022
FILE: I 6042-D CGR - TIF RD
FBK: MITIGATION.DWG
JOB #: I 6042 D

SHEET C1.02



WETLAND IMPACTS

DIRECT WETLAND IMPACTS

	WETLAND IMPACT - AREA 1	840 SF
	WETLAND IMPACT - AREA 2	885 SF
	WETLAND IMPACT - AREA 3	510 SF
	WETLAND IMPACT - AREA 4	45 SF
TOTAL WETLAND IMPACT		2,280 SF

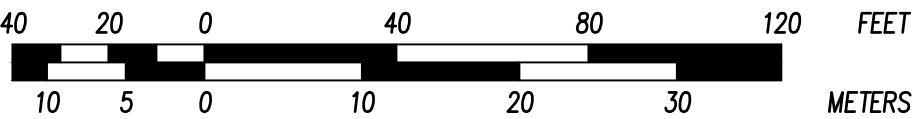
BUFFER ZONE IMPACTS

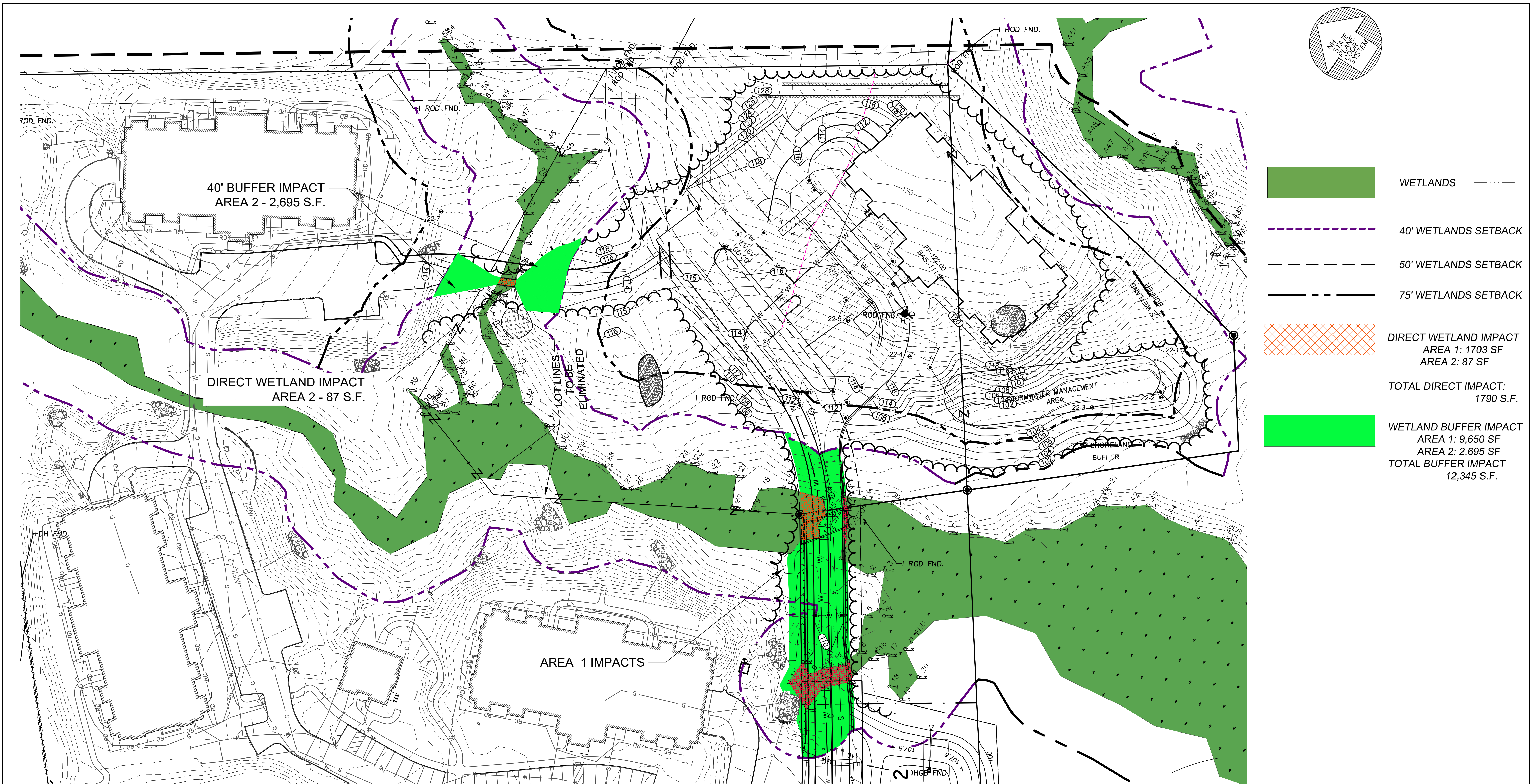
	40-50 FOOT WETLAND BUFFER IMPACT - AREA 1	12,545 SF
	40-50 FOOT WETLAND BUFFER IMPACT - AREA 2	3,170 SF
	75 FOOT WETLAND BUFFER IMPACT	0 SF
TOTAL WETLAND BUFFER IMPACTS		15,715 SF

SHORELAND IMPACTS

	SHORELAND 100' IMPACT	14,033 SF
	SHORELAND 150' IMPACT - AREA 1	3,685 SF
	SHORELAND 150' IMPACT - AREA 2	4,406 SF
TOTAL SHORELAND IMPACT		232,124 SF

SCALE: 1"=40'

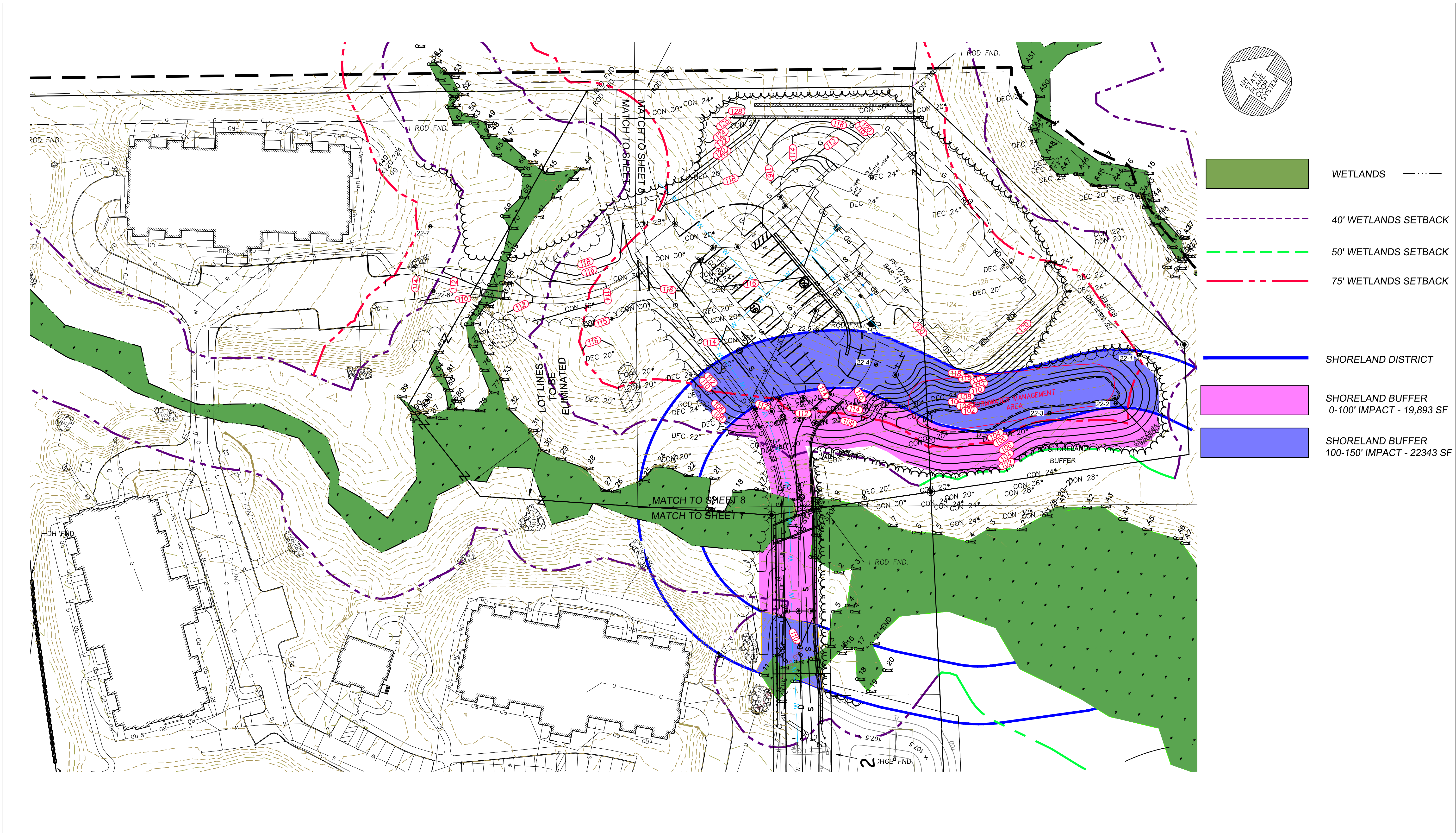




- WETLANDS
- 40' WETLANDS SETBACK
- 50' WETLANDS SETBACK
- 75' WETLANDS SETBACK
- DIRECT WETLAND IMPACT
AREA 1: 1703 SF
AREA 2: 87 SF
TOTAL DIRECT IMPACT:
1790 S.F.
- WETLAND BUFFER IMPACT
AREA 1: 9,650 SF
AREA 2: 2,695 SF
TOTAL BUFFER IMPACT
12,345 S.F.

GRAPHIC SCALE: <div><div>GRAPHIC SCALE</div><div><div>400204080160</div><div>(IN FEET)</div><div>1 inch = 40'</div></div></div>	DRAFT 06-05-25	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801			<div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div>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THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



GRAPHIC SCALE:

(IN FEET)
1 inch = 40'

DRAFT
06-05-25

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
RAY FARM, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING D AT RAY FARM
OFF
RAY FARM ROAD

PLAN TITLE
**SHORELAND
IMPACTS
PLAN**
SHEET: 16 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

Exeter Conservation Commission
May 13, 2025
Nowak Room
10 Front Street
7:00 PM
Draft Minutes

Call to Order

1. Introduction of Members Present (by Roll Call)

Present at tonight's meeting were: Vice-Chair Conor Madison, Andrew Koff, Trevor Mattera, Keith Whitehouse, Valorie Fanger, Nick Campion, Alternate Kyle Welch, Alternate Michele Crepeau, Alternate Bill Campbell (remotely), Alternate Sean Torrez, and Dave Chartrand – Select Board Representative (non-voting).

Staff Present: Kristen Murphy, Conservation and Sustainability Planner

Vice-Chair Madison called the meeting to order at 7:00 PM and introduced the members.

2. Public Comment

Vice-Chair Madison asked if there were any public comments, outside of agenda items.

Action Items

1. 2025 Trail Project Discussion

Mr. Torres gave a presentation on trail work for Henderson Swasey and the Oaklands. He noted that he hasn't had a chance to meet with Kyle, Dave and Toby yet. He posted maps showing the parcels and where some work could be done by volunteers. He asked where town roads stop and start and what DPW could help with. He noted that the hemlock planks had rotted away at Henderson Swasey and would be quite an effort. Mr. Torres indicated that Sig Sauer had offered to volunteer to repair and replace one. Ms. Murphy noted there was a structure put together with tarp and zip ties that should be considered being removed and the Police Department should be notified if someone is camping in it. Mr. Torres reviewed some areas on the north side of Oaklands and noted that the entrances affect the most people and there is poor drainage. Ms. Murphy noted a lot of negative comments when larger stones were used.

Ms. Fangor recommended having a site walk. The Commission agreed that 5:30 PM was a good time for the site walk and Ms. Murphy will send out a poll to select a date before the next meeting.

Ms. Murphy reviewed some of the private easements. Mr. Koff recommended focus on conservation land and permitting that might be required from NH DES as well as considering wildlife presence and vernal pools.

Mr. Torres noted both parking lots need some work.

Ms. Murphy noted that the parking area from Newfields Road to Oaklands should be expanded and recommended the Commission look at that when they are out there.

Mr. Torres indicated he would get a couple of work dates set up in July/August and develop a list.

Ms. Murphy noted that a grant could be targeted. There is a land and water conservation grant opening and that application is open until June 27th. The Commission agreed that one may be too soon to be ready for. Great Bay will have one in the fall.

2. \$850 NHACC Dues Request

Ms. Murphy noted that every year the Commission has funded NHACC and this year dues are \$850 down from \$900 last year. She noted that she serves on the Board of Directors and NHACC offers a lot of lunch and learns and training sessions. Vice-Chair Madison agreed that they have stepped up with workshops. Mr. Koff noted that they are helpful with understanding changes to legislation.

MOTION: Mr. Whitehouse motioned to authorize the dues to be paid this year. Mr. Koff seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

3. Intern Planning

Ms. Murphy noted that she will be interviewing interns for the two parti-time positions to help with monitoring and trail projects. There has been approximately four years since interns were hired. The pay is approximately \$17/hr. and 15 hrs. per week for approximately five weeks. She indicated that the position would be ideal for a candidate pursuing a degree in conservation or natural resource, and even recreation. She noted the degree would be optional. There would be a lot of boundary walking, and the candidate should have compass skills. Mr. Koff noted there is \$10,000 in the budget for interns. Ms. Murphy asked if anyone was interested in sitting on the interview panel to let her know.

4. Committee Reports

a. Property Management

i. McDonnell Gate. Ms. Murphy noted that volunteers are helping with the gate.

ii. Raynes Farm. Ms. Murphy noted that Steven will be back to work soon. He requested to have the perimeter of the barn mowed regularly. Mr. Whitehouse offered to help with that and recommended purchasing a mower.

Ms. Murphy will contact the Word Barn to see the status of their event.

Ms. Murphy reported that she applied for the Great Bay Protection Stewardship Grant which was due on April 15th.

iii. Drinkwater Road/Smith Paige

Mr. Whitehouse reported that Smith Paige is in pretty good shape but there is parking issue on Drinkwater Road that is coming before the Select Board to have an ordinance passed to ban parking from 25 Drinkwater Road to the Kensington town line. Mr. Chartrand noted the third reading is on June 2nd at 7 PM.

Mr. Koff noted the town just finalized the Bike & Pedestrian Master Plan and it is worth looking at that report. Ms. Murphy noted it can be found on the town's website.

iv. Swasey/Resiliency Grant

Ms. Murphy reported that the community is developing a climate resiliency plan for Swasey Parkway to see what can be done about inundation. They will be interviewing candidates.

b. Outreach Events

i. 60-Year Anniversary of the Exeter Conservation Commission – Celebration Ideas

Ms. Murphy noted the Commission has existed for 60 years and recommended planning a celebration that would line up with the dedication bench at Raynes and tree donation from the Tree Committee. She asked that those who wish to volunteer to help plan the event let her know.

iii. 5/31 Great Bay Trout Unlimited River Festival at the YMA (9 AM to 12 PM Clean up Little River/Morrisette (12 PM to 4 PM Table Volunteers

Ms. Murphy noted that the clean up will be taking place in the morning and tables will be there in the afternoon if anyone would like to assist her. The Commission had agreed to partner with event at its last meeting.

iii. Alewife Festival

Ms. Murphy noted that the festival was moved to town hall due to rain and was well attended.

c. Other Committee Reports (River Study, Sustainability, Energy/CPAC, Tree, CC Roundtable)

5. Approval of Minutes

129 April 8, 2025 Minutes

130

131 MOTION: Mr. Mattera motioned to approve the April 8, 2025 meeting minutes. Mr. Whitehouse
132 seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

133

134 Next Meeting: 6/10/25, Submission Deadline: 5/30/25

135

136 6. Correspondence

137

138 Ms. Murphy reported that a resident notified her that her hiking group got lost at Henderson Swasey.

139 Ms. Murphy is hoping that the interns can work on blazing some of the side trails that normally are not
140 blazed. She recommended hikers use openstreetmap.org.

141

142 Ms. Murphy noted that the NH Turtle Rescue Group of Epping NH is having educational Zoom meetings
143 and looking for volunteers to transport.

144

145 7. Adjournment

146

147 MOTION: Mr. Koff motioned to adjourn the meeting at 8:57 PM. Vice-Chair Madison seconded the
148 motion. A vote was taken, all were in favor, the motion passed unanimously.

149

150 Respectfully submitted,

151 Daniel Hoijer, Recording Secretary

152 Via Exeter TV

153

154 Zoom Webinar ID: 868 3014 0309