



# TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

[www.exeternh.gov](http://www.exeternh.gov)

## **PUBLIC NOTICE** **EXETER CONSERVATION COMMISSION** **MONTHLY MEETING**

The Exeter Conservation Commission will meet in the Nowak Room at 10 Front Street, Exeter on  
**Tuesday, January 13<sup>th</sup>, 2026 at 7:00 P.M.**

### **Call to Order:**

1. Introduction of Members Present
2. Public Comment

### **Action Items:**

1. SnoRaiders Snowmobile Landowner Permission Request
2. Minimum Impact Dredge and Fill application and Revised Wetland Conditional Use Permit Application and Shoreland Conditional Use Permit Update for impacts associated with an Amended Site Plan for the Relocation of Building "D" at the Ray Farm Condos located at Tax Map 47-8 and 47-8.2 (*Brendan Quigley, GES; Katharena Morrill, MEI*)
3. Trail for People and Wildlife Evaluation Follow Up from Dec. Meeting
4. Committee Reports
  - a. Property Management
  - b. Outreach Events
    - i. Raynes Barn Winter Solstice Event Report
    - ii. Art in the Barn Event Planning
    - iii. Rain Barrel Program – coupon cost offset \$200, Distribution April? May?
  - c. Other Committee Reports (River Study, Sustainability, Energy, Tree, CC Roundtable)
5. Approval of Minutes: 12/9/25 Meeting
6. Correspondence

### **Other Business**

7. Next Meeting: 2/10/26, Submission Deadline 1/30/26

*Dave Short*

*Exeter Conservation Commission*

*Posted January 9<sup>th</sup>, 2026 Exeter Town Website and Town Office kiosk.*

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### **ZOOM Public Access Information:**

Virtual Meetings can be watched on Ch 22 or Ch 6 and YouTube.

To access the meeting, click this link: <https://us02web.zoom.us/j/851874410889>

To access the meeting via telephone, call: +1 646 558 8656 and enter the Webinar ID: 851 8744 1088

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press \*9.

More instructions for how to access the meeting can be found here:

<https://www.exeternh.gov/townmanager/virtual-town-meetings>

**Contact us at [extvg@exeternh.gov](mailto:extvg@exeternh.gov) or 603-418-6425 with any technical issues.**

**TOWN OF EXETER  
PLANNING DEPARTMENT MEMORANDUM**

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Date: January 9<sup>th</sup>, 2026  
To: Conservation Commission Board Members  
From: Kristen Murphy, Conservation & Sustainability Planner  
Subject: January 13<sup>th</sup> Meeting

**1. SnowRaiders Trail Use Permission**

The former Exeter Snowhounds used to file this previously but decided to stop pursuing the use due to a closure through the Bunker Easement. I have confirmed with Laura Barker (Bunker property owner) and she is supportive of their use under these conditions and recommend you include this in your motion:

*Suggested Motion:*

*Move to authorize the Chair to sign the snowmobile landowner permission request for a period of \_\_\_\_\_ years, with the following conditions specific to the Bunker Easement:*

- *Trail stays out of the paddock and avoids the Paws Way driveway*
- *Newfields SnoRaiders President, Thomas Bassett is responsible for addressing any concerns that may occur as a result of use of the trails*
- *The property owner, Laura Barker, retains the right to rescind permission of use within this section should riders not adhere to these restrictions, upon notification to the SnoRaiders President*

**2. Ray Farm Building D Revision**

At the June 2025 meeting you had voted in support of both the Wetland and Shoreland Conditional Use permits. Since that time, the applicant has revised the layout for the building. Review of both submissions is that there have been no changes to the wetland buffer impacts and the redesign results in a slight increase to the Shoreland impacts. As a result, you only need to take action on the Shoreland CUP. The Planning Board voted in support of this project last night contingent on a positive recommendation from the Conservation Commission. The applicant has also filed for a minimum impact wetland permit.

***Suggested Motions:***

*Wetland CUP – Concur with the error noted and reaffirm our prior action.*

*Shoreland CUP*

\_\_\_\_\_ *We have reviewed the Shoreland Conditional Use Permit application and ARE IN SUPPORT of the application (as proposed) (with the following amendments/conditions):*

\_\_\_\_\_ *We have reviewed the Wetland Conditional Use Permit application and ARE NOT IN SUPPORT of the application as noted below:*

*Move to send a memo to the State indicating:*

\_\_\_\_\_ *We have reviewed this application and have no objection to the application as proposed.*

\_\_\_\_\_ *We have reviewed this application and recommend that the application be (approved)(denied) as noted below:*

# SNOWMOBILE TRAIL PERMISSION

I give WRITTEN ☐ VERBAL ☐ permission to \_\_\_\_\_  
(Name of Snowmobile Club)

to provide public **snowmobile** access on my property. It is understood that use of my property, for said purpose, in no way holds me liable or responsible for accidents that may occur as a result of others using my property as provided for in Chapter 212, Section 34, Laws of the State of New Hampshire (RSA 212:34 Duty of Care).

There shall be **no fee** for the **use** of this property. The above named Club agrees to mark, sign, and maintain the property in a proper and safe manner. The club also agrees to obtain my permission prior to any project work done on the trail system located on my property.

The State of New Hampshire, Department of Natural and Cultural Resources, Division of Parks and Recreation, Bureau of Trails, shall also provide a landowner liability insurance policy with coverage of \$2,000,000.00 for trails within the Grant-In-Aid Program.

This agreement shall have a **term** of:

- ☐ Indefinite
- ☐ 1 year from landowner approval
- ☐ 5 years from landowner approval

**\*\*THIS AGREEMENT MAY BE TERMINATED FOR ANY CAUSE, BY EITHER PARTY,  
UPON THIRTY (30) DAYS WRITTEN NOTIFICATION.\*\***

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Landowner (Print Name)

\_\_\_\_\_  
Name of Snowmobile Club

\_\_\_\_\_  
Landowner Signature (If Not Verbal)

\_\_\_\_\_  
Club Address

\_\_\_\_\_  
Address

\_\_\_\_\_  
Town/City

\_\_\_\_\_  
State

\_\_\_\_\_  
Zip Code

\_\_\_\_\_  
Town/City

\_\_\_\_\_  
State

\_\_\_\_\_  
Zip Code


\_\_\_\_\_  
Club Officer (Print Name)

\_\_\_\_\_  
Telephone #

\_\_\_\_\_  
Email

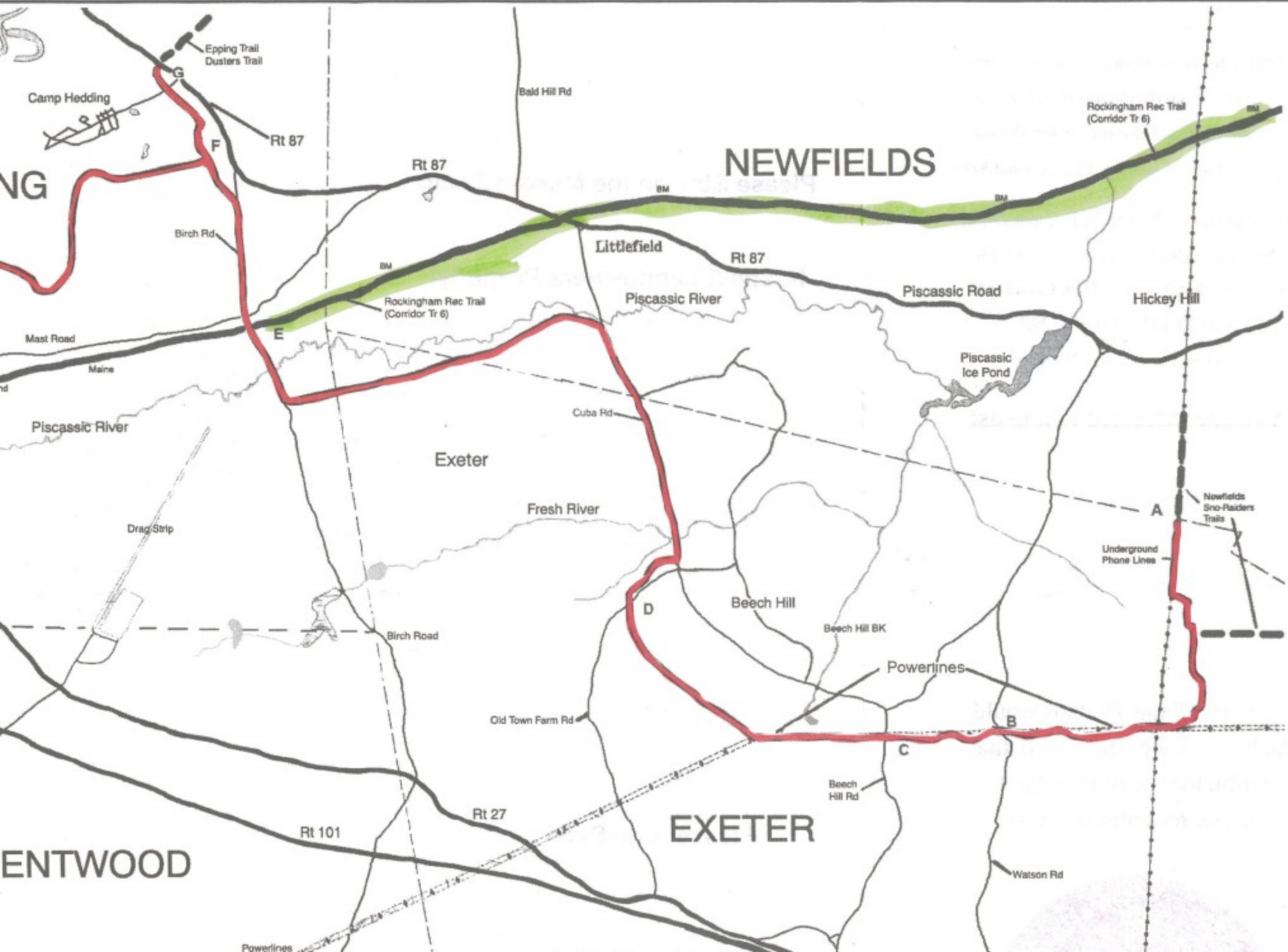
\_\_\_\_\_  
Officer's Title (President, Trail Administrator, etc.)

\_\_\_\_\_  
Town/City Tax Map #, Lot #, Club Trail Name/Number

  
\_\_\_\_\_  
Club Officer's Signature

\_\_\_\_\_  
Officer's Telephone #

\_\_\_\_\_  
Officer's Email







# Oaklands Town Forest Region

Scan QR code for a copy of this and other trail maps or visit [openstreetmap.org](https://openstreetmap.org)



### Natural Resources

The Oaklands Town Forest is a 230-acre area of conservation lands managed by the Exeter Conservation Commission. The property was originally conserved in the 1990s with 137 acres of additional parcels conserved adjacent to the town forest over the years. In 1991, by vote of the residents of Exeter, the land was officially designated as a Town Forest, giving it special allowances under NH Revised Statutes 31:112. The forest spans the area north of Route 101 between Watson and Newfields Roads (Rte. 85). Several trails cross onto private property, lands managed by home ownerships and conservation easements and rely on permission from the landowners.

The large unfragmented block of deciduous and conifer forests is important for wildlife diversity, quality habitat and movement corridors. This makes it an excellent spot for viewing wildlife including beavers, deer, coyote, fox, rodents, reptiles, amphibians and many bird species. The land is characterized by numerous boulder and ledge outcrops, hummocky terrain, and a number of vernal pools and wetlands. Forestry management is guided by a long term forest management plan which includes occasional selective harvesting.

### Trail Information

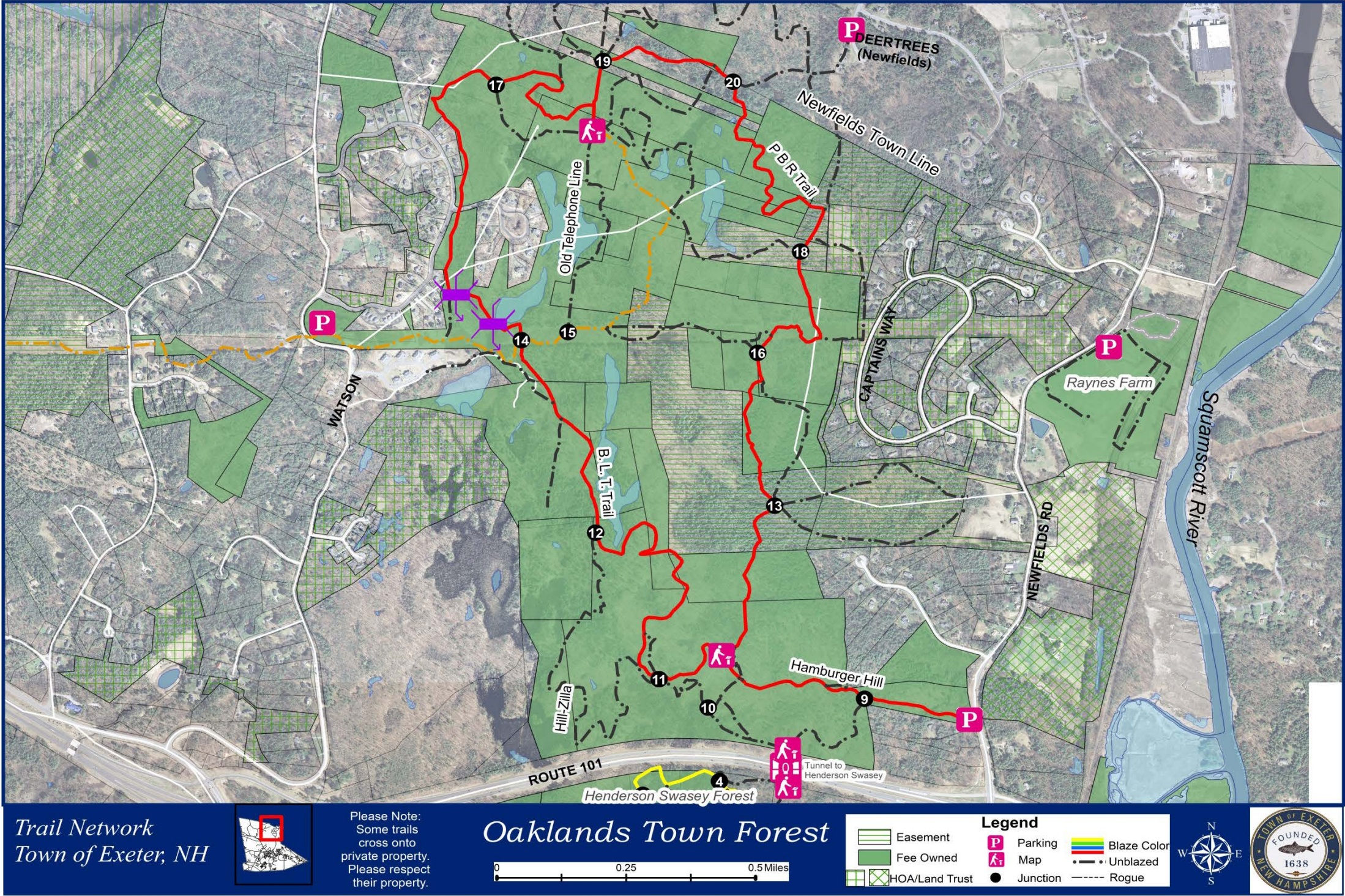
The area has a well-established trail system that provides a number of outdoor opportunities, including cross-country skiing, running and jogging, hiking, orienteering and mountain biking. The trail connects to the Henderson Swasey Town Forest trail network to the south through a large culvert that runs beneath Route 101. The trails extend into Newfields to a parking lot on Deertrees Ln. Though the main trailhead is west of Newfields Road, additional access points occur at Watson Road, and intercept private land within the Forest Ridge and Captains Meadow land.

Temporary closures may occur during very muddy or wet conditions. Closures will be posted at entrance kiosks and the Town of Exeter website. Private landowners have the right to limit access. Please respect closures for the benefit of all users.

### Compatible Uses

The property is open year round for passive recreation such as hiking, wildlife viewing, biking, winter snowshoeing and cross-country skiing, and hunting in season. Users should wear blaze orange during hunting seasons.

Leashed dogs under their owners control are permitted. As a courtesy to others and out of respect to your trail system, please carry-in-carry out all trash and clean up dog waste.



### First Time to Our Trails?

This is a complex network of trails. Only our colored trails have painted blazes, with double blazes indicating direction changes. Though we attempt to keep blazes maintained, a forest is a dynamic system and markers may or may not always be visible. Always follow safe hiking standards, let others know your hike plan, be adequately dressed and carry food and water, be aware of sunset times, pay attention to your surroundings, weather and trail conditions. Staying safe is YOUR responsibility.

### Compatible Uses:

- Hiking
- Snowshoeing/XC Skiing
- Wildlife Viewing
- Other passive recreation
- Hunting is permitted

### Distances:

5.1 mi. Red Loop



YOU ARE  
HERE



REMEMBER  
Please take only pictures  
and leave only footprints.







**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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December 11, 2025

Ms. Kristen Murphy  
Conservation and Sustainability Planner  
10 Front Street  
Exeter, NH 03833

Re: Shoreland Conditional Use Permit  
Building D of the Active Adult Community off Ray Farmstead Road  
Assessors Map 47 Lot 8

Dear Ms. Murphy

The purpose of this memo is to clarify the submitted documentation for Building D at Ray Farm Road. On June 8<sup>th</sup>, 2025 myself and Mr. Brendan Quigley of Gove Environmental Services presented to you and the Conservation Commission two Conditional Use permits – one for Wetland and one for Shoreland.

During the course of the meeting with the committee we discussed limiting the shoreland impact due to the probably relocation and redesign of the on the ground parking lot.

On June 12<sup>th</sup>, we discussed the CUP's with the planning board. The conversation was of similar nature – we would attempt to reduce the impact to the Shoreland buffer and the planning board memorialized the same criteria as the Conservation Commission.

During the June meetings several things were confirmed or noted:

- A calculation in the MEI plan set which overlooked an approximately 2,000 s.f. impact in the Shoreland buffer produced from the access extension off of Ray Farm Road.
- The new design should, to the best of its ability reduce the impacts with in the Shoreland district.

The final impacts – produced for the June meeting for the Shoreland Conditional use permit are as follows:

Shoreland Buffer Area	June Plan	Amended Total
0-100' Buffer	19,893 s.f.	19,893 s.f.
100-150' Buffer	19,642 s.f.	19,642 s.f + 2,701 s.f.
Total	39,535 s.f.	42,236 s.f.

The May submission and the revised submission have been included as 11x17's for consideration.

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Massachusetts: 62 Elm Street-Salisbury, MA 01952  
New Hampshire: 13 Hampton Road- Exeter, NH 03833

Phone: 978-463-8980 Fax: 978-499-0029  
603-778-0528 603-772-0689

[www.Mei-MA.com](http://www.Mei-MA.com)

[www.Mei-NH.com](http://www.Mei-NH.com)



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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In late November a revised site plan was provided to the town by MEI. This plan was technically implemented by Emmanuel Engineering Inc. (EEI.) The EEI site plan shows a mirrored building footprint which relocates the driveway to the garage from the left side of the building to the right side of the building.

Produces the impacts as shown below:

Shoreland Buffer Area	November Plan
0-100' Buffer	20,175 s.f.
100-150' Buffer	20,470 s.f.
Total	40,645 s.f.

These impacts are slightly less than what the June amended totals provided. The impacts did not change significantly because the then probable change to the driveway and parking lot was abandoned. This was unforeseen but implemented to assist in the constructability of the project.

For this reason we do not believe that a return to the Conservation Commission to discuss the Shoreland Conditional Use Permit is applicable.

Thank you for your consideration,

Katharena Morrill  
Millennium Engineering, Inc.



LEGEND

WETLANDS

SHORELAND BUFFER  
0-100' IMPACT = 20,115 SF

SHORELAND BUFFER  
100-150' IMPACT = 20,410 SF

**WETLAND NOTES:**

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING 'D' WERE DELINEATED ON 8/20/21 AND 11/20/21 BY BRENDAN GUILLET, NRCS #248. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST REGION, NORTH-CENTRAL REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A FIELD GUIDE FOR FIELD IDENTIFICATION OF HYDRIC SOILS, VERSION 3.0, U.S. ARMY CORPS OF ENGINEERS, 2006.
- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2014 VERSION 3.0, U.S. ARMY CORPS OF ENGINEERS, 2014.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, U.S. ARMY CORPS OF ENGINEERS, 2014.
- NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.

GRAPHIC SCALE: <div><div>400</div><div>0 20 40 60 80 100</div><div>GRAPHIC SCALE</div><div>( IN FEET )</div><div>1 inch = 40 ft.</div></div>	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801			
		APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	NO.	DATE
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.				

MEI

MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING

62 ELM ST. SALISBURY, MA 01952 (978) 463-8980

13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS

100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801

603-772-4400 | EMANUELEENGINEERING.COM ©2025

SCALE: 1" = 40'

DATE: NOV. 10, 2025

CALC. BY: JJM

CHKD. BY: BDS

PROJECT: 25-1019

SITE PLAN

IN

EXETER, NH

SHOWING

BUILDING "D" AT RAY FARM

OFF

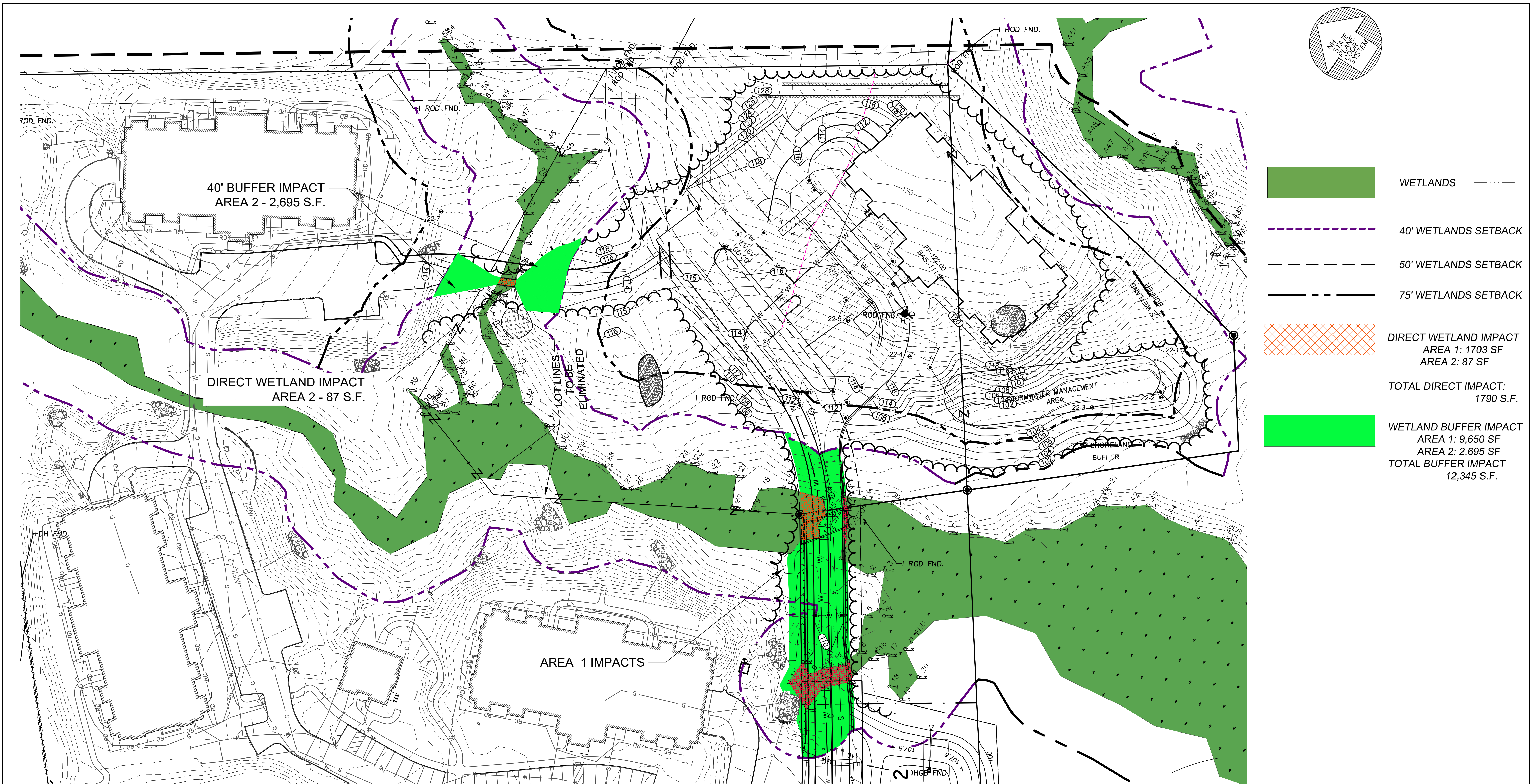
RAY FARMSTEAD ROAD

PLAN TITLE

SHORELAND IMPACT PLAN

SHEET: 12.1



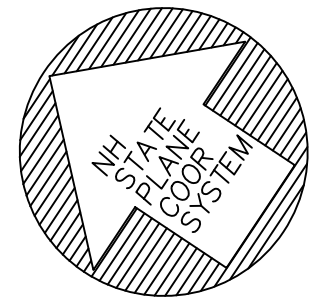
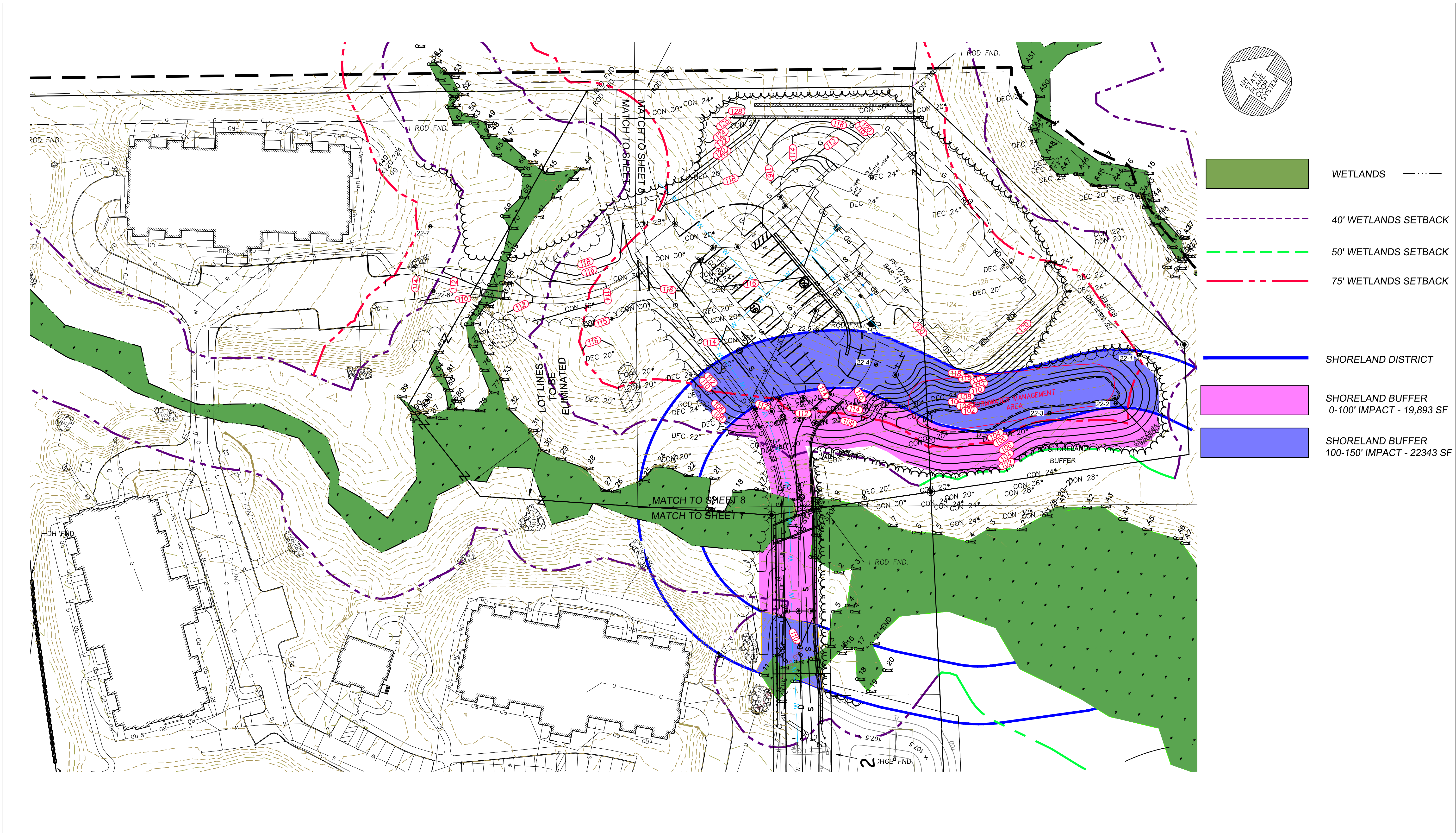


- WETLANDS
- 40' WETLANDS SETBACK
- 50' WETLANDS SETBACK
- 75' WETLANDS SETBACK
- DIRECT WETLAND IMPACT  
AREA 1: 1703 SF  
AREA 2: 87 SF  
TOTAL DIRECT IMPACT:  
1790 S.F.
- WETLAND BUFFER IMPACT  
AREA 1: 9,650 SF  
AREA 2: 2,695 SF  
TOTAL BUFFER IMPACT  
12,345 S.F.

GRAPHIC SCALE: <div><div>GRAPHIC SCALE</div><div><div>400204080160</div><div>( IN FEET )</div><div>1 inch = 40'</div></div></div>	DRAFT 06-05-25	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801			MEI MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528			SITE PLAN IN EXETER, NH SHOWING BUILDING D AT RAY FARM OFF RAY FARM ROAD		PLAN TITLE WETLAND BUFFER PLAN
		APPLICANT RAY FARM, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.	SCALE: 1"=40'	CALC. BY: K.I.M.	PROJECT: M244368	SHEET: 15 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





- WETLANDS
- 40' WETLANDS SETBACK
- 50' WETLANDS SETBACK
- 75' WETLANDS SETBACK
- SHORELAND DISTRICT
- SHORELAND BUFFER  
0-100' IMPACT - 19,893 SF
- SHORELAND BUFFER  
100-150' IMPACT - 22343 SF

GRAPHIC SCALE:

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40'

**DRAFT**  
06-05-25

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
RAY FARM, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
1	5-29-25	ADDRESS PRC COMMENTS	K.I.M.

**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: K.I.M.	PROJECT: M244368
DATE: MAR. 10, 2025	CHKD. BY: J.T.M.	

**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
BUILDING D AT RAY FARM  
OFF  
RAY FARM ROAD

PLAN TITLE  
**SHORELAND  
IMPACTS  
PLAN**  
SHEET: 16 OF 25

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.









GOVE ENVIRONMENTAL SERVICES, INC.

NH DES WETLANDS BUREAU  
MINIMUM IMPACT  
DREDGE & FILL APPLICATION  
For  
BUILDING D OF RAY FARM  
CONDOMINIUM DEVELOPMENT

Ray Farmstead Road  
Exeter, NH

November 20, 2025

Prepared By

Gove Environmental Services, Inc.  
8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526  
*Ph* (603) 778 0644 / *Fax* (603) 778 0654  
[info@gesinc.biz](mailto:info@gesinc.biz) / [www.gesinc.biz](http://www.gesinc.biz)

## **Table of Contents**

### **NH DES Standard Dredge and Fill Application Forms**

Standard Application Form

Avoidance and Minimization Narrative

### **Figures**

USGS Locus Map

Aerial Photo

LRMPPT Results

### **Attachments**

Attachment A	Impact Area Photos
Attachment B	Abutter Information
Attachment C	NHDES Ecological Review
Attachment D	Stream Crossing Form and Information
Attachment E	ACOE Supplemental Information Secondary Impacts Checklist, SHPO Inquiry, IPaC Report
Attachment F	Site Plans (under separate cover)

## **NH DES Dredge & Fill Application Forms**





# STANDARD DREDGE AND FILL WETLANDS PERMIT APPLICATION

Water Division / Land Resources Management  
[Check the Status of your Application](#)



**RSA/Rule:** RSA 482-A/Env-Wt 100-900

**APPLICANT'S NAME:**

**TOWN NAME:**

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

A person may request a waiver of the requirements in Rules Env-Wt 100-900 to accommodate situations where strict adherence to the requirements would not be in the best interest of the public or the environment but is still in compliance with RSA 482-A. A person may also request a waiver of the standards for existing dwellings over water pursuant to RSA 482-A:26, III(b). For more information, please consult the [Waiver Request Form](#).

## SECTION 1 - REQUIRED PLANNING FOR ALL PROJECTS (Env-Wt 306.05; RSA 482-A:3, I(d)(2))

Please use the [Wetland Permit Planning Tool \(WPPT\)](#), the Natural Heritage Bureau (NHB) [DataCheck Tool](#), the [Aquatic Restoration Mapper](#), or other sources to assist in identifying key features such as: [Priority Resource Areas \(PRAs\)](#), [protected species or habitats](#), coastal areas, designated rivers, or designated prime wetlands.

Has the required planning been completed?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the property contain a PRA? If yes, provide the following information: <ul style="list-style-type: none"> <li>• Does the project qualify for an Impact Classification Adjustment (e.g. NH Fish and Game Department (NHFG) and NHB agreement for a classification downgrade) or a Project-Type Exception (e.g. Maintenance or Statutory Permit-by-Notification (SPN) project)? See Env-Wt 407.02 and Env-Wt 407.04.</li> <li>• Protected species or habitat?             <ul style="list-style-type: none"> <li>○ If yes, species or habitat name(s):</li> <li>○ NHB Project ID #:</li> </ul> </li> <li>• Bog?</li> <li>• Floodplain wetland contiguous to a tier 3 or higher watercourse?</li> <li>• Designated prime wetland or duly-established 100-foot buffer?</li> <li>• Sand dune, tidal wetland, tidal water, or undeveloped tidal buffer zone?</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No
Is the property within a Designated River corridor? If yes, provide the following information: <ul style="list-style-type: none"> <li>• Name of Local River Management Advisory Committee (LAC):</li> <li>• A copy of the application was sent to the LAC on Month:      Day:      Year:</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No

[lrn@des.nh.gov](mailto:lrn@des.nh.gov) or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

[des.nh.gov](http://des.nh.gov)

For dredging projects, is the subject property contaminated? • If yes, list contaminant:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is there potential to impact impaired waters, class A waters, or outstanding resource waters?	<input type="checkbox"/> Yes <input type="checkbox"/> No
For stream crossing projects, provide watershed size (see <a href="#">WPPT</a> or Stream Stats):	
<b>SECTION 2 - PROJECT DESCRIPTION (Env-Wt 311.04(i))</b> Provide a description of the project and the purpose of the project, the need for the proposed impacts to jurisdictional areas, an outline of the scope of work to be performed, and whether impacts are temporary or permanent.	
<b>SECTION 3 - PROJECT LOCATION</b> Separate wetland permit applications must be submitted for each municipality within which wetland impacts occur.	
ADDRESS:	
TOWN/CITY:	
TAX MAP/BLOCK/LOT/UNIT:	
US GEOLOGICAL SURVEY (USGS) TOPO MAP WATERBODY NAME: <input type="checkbox"/> N/A	
(Optional) LATITUDE/LONGITUDE in decimal degrees (to five decimal places):	



**SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER) INFORMATION (Env-Wt 311.04(a))**

If the applicant is a trust or a company, then complete with the trust or company information.

NAME:

MAILING ADDRESS:

TOWN/CITY:

STATE:

ZIP CODE:

EMAIL ADDRESS:

FAX:

PHONE:

ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.

**SECTION 5 - AUTHORIZED AGENT INFORMATION (Env-Wt 311.04(c))**
☐ N/A

LAST NAME, FIRST NAME, M.I.:

COMPANY NAME:

MAILING ADDRESS:

TOWN/CITY:

STATE:

ZIP CODE:

EMAIL ADDRESS:

FAX:

PHONE:

ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.

**SECTION 6 - PROPERTY OWNER INFORMATION (IF DIFFERENT THAN APPLICANT) (Env-Wt 311.04(b))**

If the owner is a trust or a company, then complete with the trust or company information.

☐ Same as applicant

NAME:

MAILING ADDRESS:

TOWN/CITY:

STATE:

ZIP CODE:

EMAIL ADDRESS:

FAX:

PHONE:

ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.

**SECTION 7 - RESOURCE-SPECIFIC CRITERIA ESTABLISHED IN Env-Wt 400, Env-Wt 500, Env-Wt 600, Env-Wt 700, OR Env-Wt 900 HAVE BEEN MET (Env-Wt 313.01(a)(3))**

Describe how the resource-specific criteria have been met for each chapter listed above (please attach information about stream crossings, coastal resources, prime wetlands, or non-tidal wetlands and surface waters):

**SECTION 8 - AVOIDANCE AND MINIMIZATION**

Impacts within wetland jurisdiction must be avoided to the maximum extent practicable (Env-Wt 313.03(a)).\* Any project with unavoidable jurisdictional impacts must then be minimized as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization](#) and the [Wetlands Permitting: Avoidance, Minimization and Mitigation fact sheet](#). For minor or major projects, a functional assessment of all wetlands on the project site is required (Env-Wt 311.03(b)(10)).\*

Please refer to the application checklist to ensure you have attached all documents related to avoidance and minimization, as well as functional assessment (where applicable). Use the [Avoidance and Minimization Checklist](#), the [Avoidance and Minimization Narrative](#), or your own avoidance and minimization narrative.

*\*See Env-Wt 311.03(b)(6) and Env-Wt 311.03(b)(10) for shoreline structure exemptions.*

**SECTION 9 - MITIGATION REQUIREMENT (Env-Wt 311.02)**

If unavoidable jurisdictional impacts require mitigation, a mitigation [pre-application meeting](#) must occur at least 30 days but not more than 90 days prior to submitting this Standard Dredge and Fill Permit Application.

Mitigation Pre-Application Meeting Date: Month: Day: Year:

(☐ N/A - Mitigation is not required)

**SECTION 10 - THE PROJECT MEETS COMPENSATORY MITIGATION REQUIREMENTS (Env-Wt 313.01(a)(1)c)**

Confirm that you have submitted a compensatory mitigation proposal that meets the requirements of Env-Wt 800 for all permanent unavoidable impacts that will remain after avoidance and minimization techniques have been exercised to the maximum extent practicable: ☐ I confirm submittal.

(☐ N/A – Compensatory mitigation is not required)

**SECTION 11 - IMPACT AREA (Env-Wt 311.04(g))**

For each jurisdictional area that will be/has been impacted, provide square feet (SF) and, if applicable, linear feet (LF) of impact, and note whether the impact is after-the-fact (ATF; i.e., work was started or completed without a permit).

For intermittent and ephemeral streams, the linear footage of impact is measured along the thread of the channel. *Please note, installation of a stream crossing in an ephemeral stream may be undertaken without a permit per Rule Env-Wt 309.02(d), however other dredge or fill impacts should be included below.*

For perennial streams/ivers, the linear footage of impact is calculated by summing the lengths of disturbances to the channel and banks.

Permanent (PERM.) impacts are impacts that will remain after the project is complete (e.g., changes in grade or surface materials).

Temporary (TEMP.) impacts are impacts not intended to remain (and will be restored to pre-construction conditions) after the project is completed.

JURISDICTIONAL AREA		PERM. SF	PERM. LF	PERM. ATF	TEMP. SF	TEMP. LF	TEMP. ATF
Wetlands	Forested Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Scrub-shrub Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Emergent Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Wet Meadow			<input type="checkbox"/>			<input type="checkbox"/>
	Vernal Pool			<input type="checkbox"/>			<input type="checkbox"/>
	Designated Prime Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Duly-established 100-foot Prime Wetland Buffer			<input type="checkbox"/>			<input type="checkbox"/>
Surface	Intermittent / Ephemeral Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Perennial Stream or River			<input type="checkbox"/>			<input type="checkbox"/>
	Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - River			<input type="checkbox"/>			<input type="checkbox"/>
Banks	Bank - Intermittent Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Bank - Perennial Stream / River			<input type="checkbox"/>			<input type="checkbox"/>
	Bank / Shoreline - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
Tidal	Tidal Waters			<input type="checkbox"/>			<input type="checkbox"/>
	Tidal Marsh			<input type="checkbox"/>			<input type="checkbox"/>
	Sand Dune			<input type="checkbox"/>			<input type="checkbox"/>
	Undeveloped Tidal Buffer Zone (TBZ)			<input type="checkbox"/>			<input type="checkbox"/>
	Previously-developed TBZ			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Tidal Water			<input type="checkbox"/>			<input type="checkbox"/>
<b>TOTAL</b>							

#### SECTION 12 - APPLICATION FEE (RSA 482-A:3, I)

<input type="checkbox"/> <b>MINIMUM IMPACT FEE:</b> Flat fee of \$400.	<b>\$600 per revised fee schedule effective 7/1/25</b>
<input type="checkbox"/> <b>NON-ENFORCEMENT RELATED, PUBLICLY-FUNDED AND SUPERVISED RESTORATION PROJECTS, REGARDLESS OF IMPACT CLASSIFICATION:</b> Flat fee of \$400 (refer to RSA 482-A:3, 1(c) for restrictions).	
<input type="checkbox"/> <b>MINOR OR MAJOR IMPACT FEE:</b> Calculate using the table below:	
Permanent and temporary (non-docking):	SF × \$0.40 = \$
Seasonal docking structure:	SF × \$2.00 = \$
Permanent docking structure:	SF × \$4.00 = \$
Projects proposing shoreline structures (including docks) add \$400 = \$	
Total = \$	
<i>The application fee for minor or major impact is the above calculated total or \$400, whichever is greater = \$</i>	

[lrn@des.nh.gov](mailto:lrn@des.nh.gov) or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

[des.nh.gov](http://des.nh.gov)

<b>SECTION 13 - PROJECT CLASSIFICATION (Env-Wt 306.05)</b>		
Indicate the project classification.		
<input checked="" type="checkbox"/> Minimum Impact Project	<input type="checkbox"/> Minor Project	<input type="checkbox"/> Major Project
<b>SECTION 14 - REQUIRED CERTIFICATIONS (Env-Wt 311.11)</b>		
Initial each box below to certify:		
Initials: BQ	To the best of the signer's knowledge and belief, all required notifications have been provided.	
Initials: BQ	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.	
Initials: BQ	The signer understands that: <ul style="list-style-type: none"> <li>The submission of false, incomplete, or misleading information constitutes grounds for NHDES to:             <ol style="list-style-type: none"> <li>Deny the application.</li> <li>Revoke any approval that is granted based on the information.</li> <li>If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the joint board of licensure and certification established by RSA 310-A:1.</li> </ol> </li> </ul>	
Initials: BQ	If the applicant is not the owner of the property, each property owner signature shall constitute certification by the signer that he or she is aware of the application being filed and does not object to the filing.	
<b>SECTION 15 - REQUIRED SIGNATURES (Env-Wt 311.04(d); Env-Wt 311.11)</b>		
SIGNATURE (OWNER): 	PRINT NAME LEGIBLY: Jonathan Shabmaster	DATE: 11/18/2025
SIGNATURE (APPLICANT, IF DIFFERENT FROM OWNER): 	PRINT NAME LEGIBLY:	DATE:
SIGNATURE (AGENT, IF APPLICABLE): 	PRINT NAME LEGIBLY: Brandon Quigley Gove Env. Serv. Inc.	DATE: 11-19-25
<b>SECTION 16 - TOWN / CITY CLERK SIGNATURE (Env-Wt 311.04(f))</b>		
As required by RSA 482-A:3, I(a)(1), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.		
TOWN/CITY CLERK SIGNATURE:	PRINT NAME LEGIBLY:	
TOWN/CITY:	DATE:	

DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3, I(a)(1)

1. IMMEDIATELY sign the original application form and four copies in the signature space provided above.
2. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
3. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board.
4. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

Submit the original permit application form bearing the signature of the Town/City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery at the address at the bottom of this page. Make check or money order payable to "Treasurer – State of NH".



**AVOIDANCE AND MINIMIZATION  
WRITTEN NARRATIVE**  
Water Division/Land Resources Management  
Wetlands Bureau



[Check the Status of your Application](#)

**RSA/ Rule:** RSA 482-A/ Env-Wt 311.04(j); Env-Wt 311.07; Env-Wt 313.01(a)(1)b; Env-Wt 313.01(c)

**APPLICANT'S NAME:** Willey Creek Co., LLC

**TOWN NAME:** Exeter

An applicant for a standard permit shall submit with the permit application a written narrative that explains how all impacts to functions and values of all jurisdictional areas have been avoided and minimized to the maximum extent practicable. This attachment can be used to guide the narrative (attach additional pages if needed). Alternatively, the applicant may attach a completed [Avoidance and Minimization Checklist \(NHDES-W-06-050\)](#) to the permit application.

**SECTION 1 - WATER ACCESS STRUCTURES (Env-Wt 311.07(b)(1))**

Is the primary purpose of the proposed project to construct a water access structure?

The primary purpose of the proposed project is not to construct a water access structure.

**SECTION 2 - BUILDABLE LOT (Env-Wt 311.07(b)(1))**

Does the proposed project require access through wetlands to reach a buildable lot or portion thereof?

Yes the proposed project does require access through wetlands to reach a buildable portion of the lot.

**SECTION 3 - AVAILABLE PROPERTY (Env-Wt 311.07(b)(2))\***

For any project that proposes permanent impacts of more than one acre, or that proposes permanent impacts to a PRA, or both, are any other properties reasonably available to the applicant, whether already owned or controlled by the applicant or not, that could be used to achieve the project's purpose without altering the functions and values of any jurisdictional area, in particular wetlands, streams, and PRAs?

*\*Except as provided in any project-specific criteria and except for NH Department of Transportation projects that qualify for a categorical exclusion under the National Environmental Policy Act.*

This project does not not propose permanent impacts of more than one acre or permanent impacts to a PRA.



**SECTION 4 - ALTERNATIVES (Env-Wt 311.07(b)(3))**

Could alternative designs or techniques, such as different layouts, different construction sequencing, or alternative technologies be used to avoid impacts to jurisdictional areas or their functions and values as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization?](#)

The project has been designed to largely avoid wetland impacts. A significant portion of the parking will be located under the building, thereby reducing the need for expansive parking areas and associated stormwater management requirements. All proposed impacts are associated with access to the building which has been aligned to follow the existing Right-of-Way extending from the current end of Ray Farmstead Road and through the site. This ROW provides right of access to property north of the site which is not owned by the applicant. Utilizing the existing ROW for this project avoids redundant impacts that would result if a different access were to be established for the currently proposed building and the abutting property owner.

Both of the two proposed impact areas have been minimized by utilizing retaining walls through the wetland areas. The main crossing also utilizes an existing woods road crossing and replaces a failing metal culvert with a 5'x14' open bottom box culvert. The proposed pedestrian trail shown on the plans will utilize a small wooden trail bridge to span the narrow area of wetland in this area.

**SECTION 5 - CONFORMANCE WITH Env-Wt 311.10(c) (Env-Wt 311.07(b)(4))\*\***

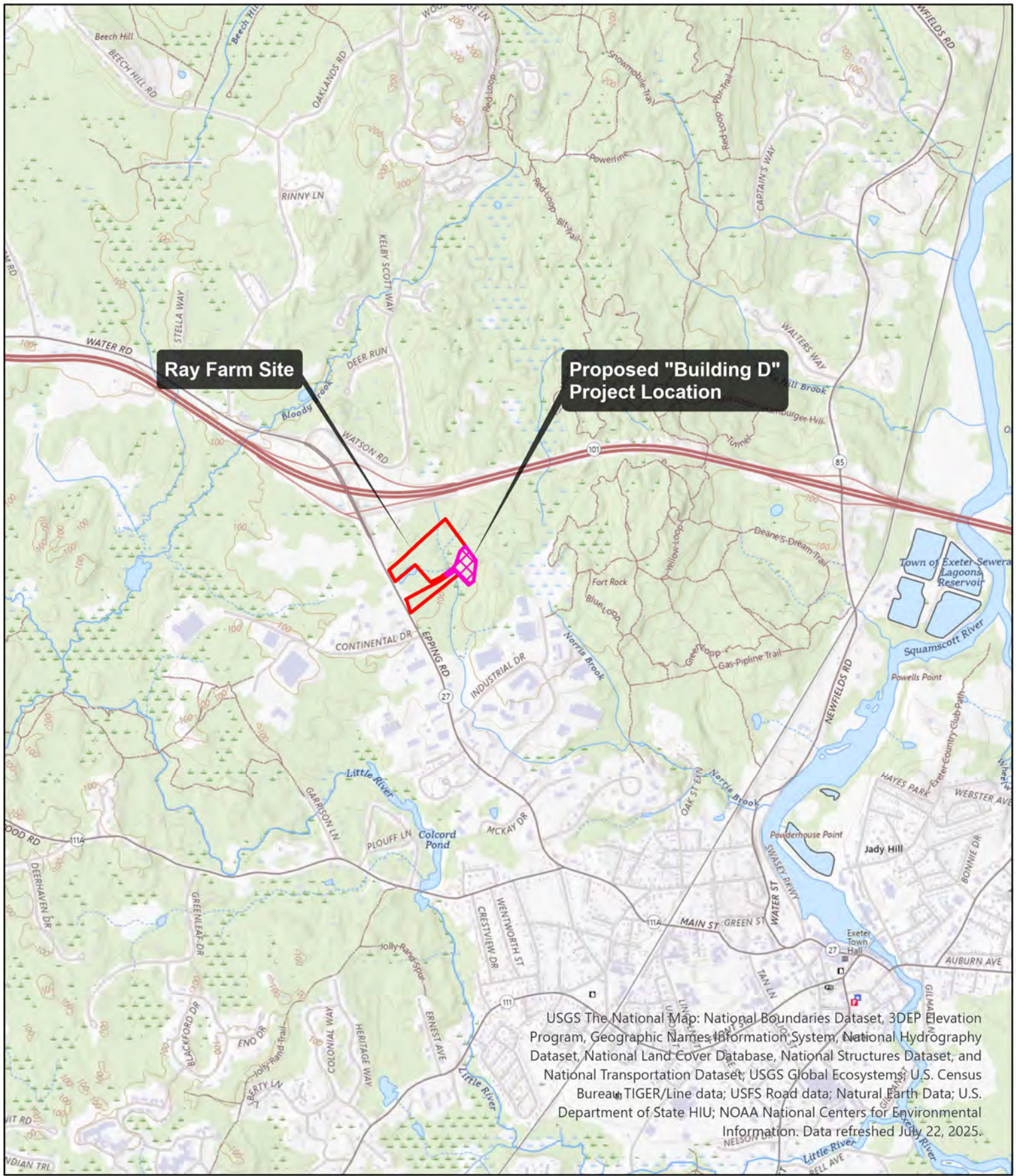
How does the project conform to Env-Wt 311.10(c)?

*\*\*Except for projects solely limited to construction or modification of non-tidal shoreline structures only need to complete relevant sections of Attachment A.*

A function and value assessment was not required for this minimum impact project per Env-Wt 311.03(b)(10). However, similar information developed for Exeter approvals indicated that the primary functions of the wetland areas were related to water quality, flood attenuation, and wildlife habitat. The project was designed to minimize impact to these functions by: 1) limiting impacts only to what was necessary to access the proposed building which is entirely located in uplands, 2) utilizing an existing ROW thus avoiding potential duplicative impacts, 3) Improving an existing stream crossing with a large open bottom box culvert, significantly improving stream connectivity for hydrological and wildlife habitat purposes.

## Figures





1:24,000

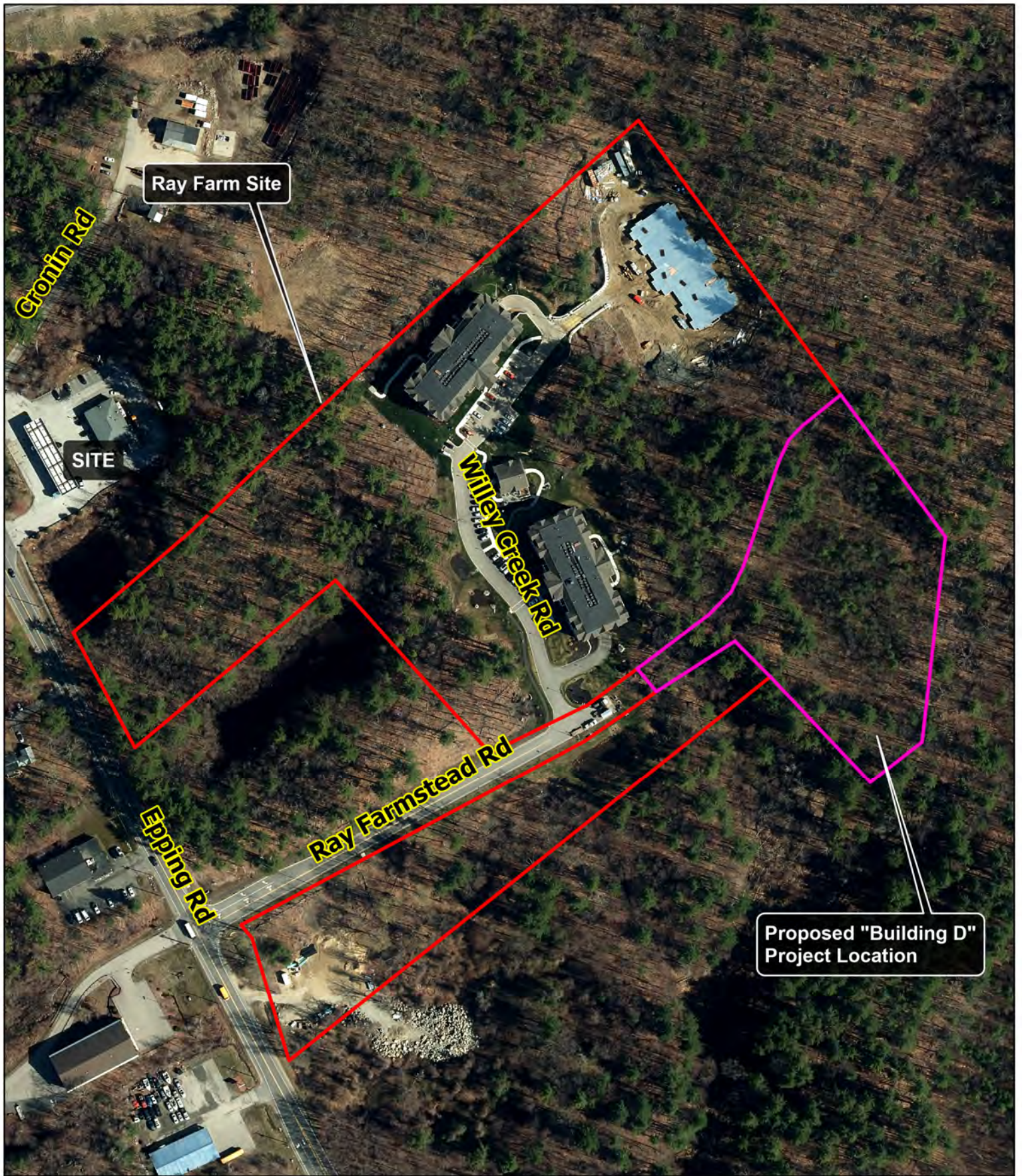


Gove Environmental Services, Inc.  
8 Continental Drive, Bldg 2 Unit H, Exeter NH 03833 603.778.0644

## Locus Map

Proposed "Building D"  
Ray Farm Active Adult Community  
Exeter, NH





1:2,400



Gove Environmental Services, Inc.  
8 Continental Drive Bldg 2 Unit H, Exeter NH 03833 603.778.0644

2022 Aerial Photo  
Proposed "Building D"  
Ray Farm Active Adult Community  
Exeter, NH

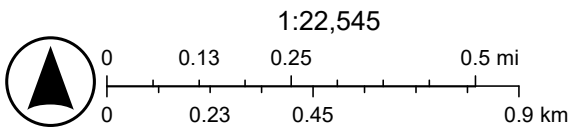


Map by NH DES OneStop Data Mapper



11/19/2025, 3:52:48 PM

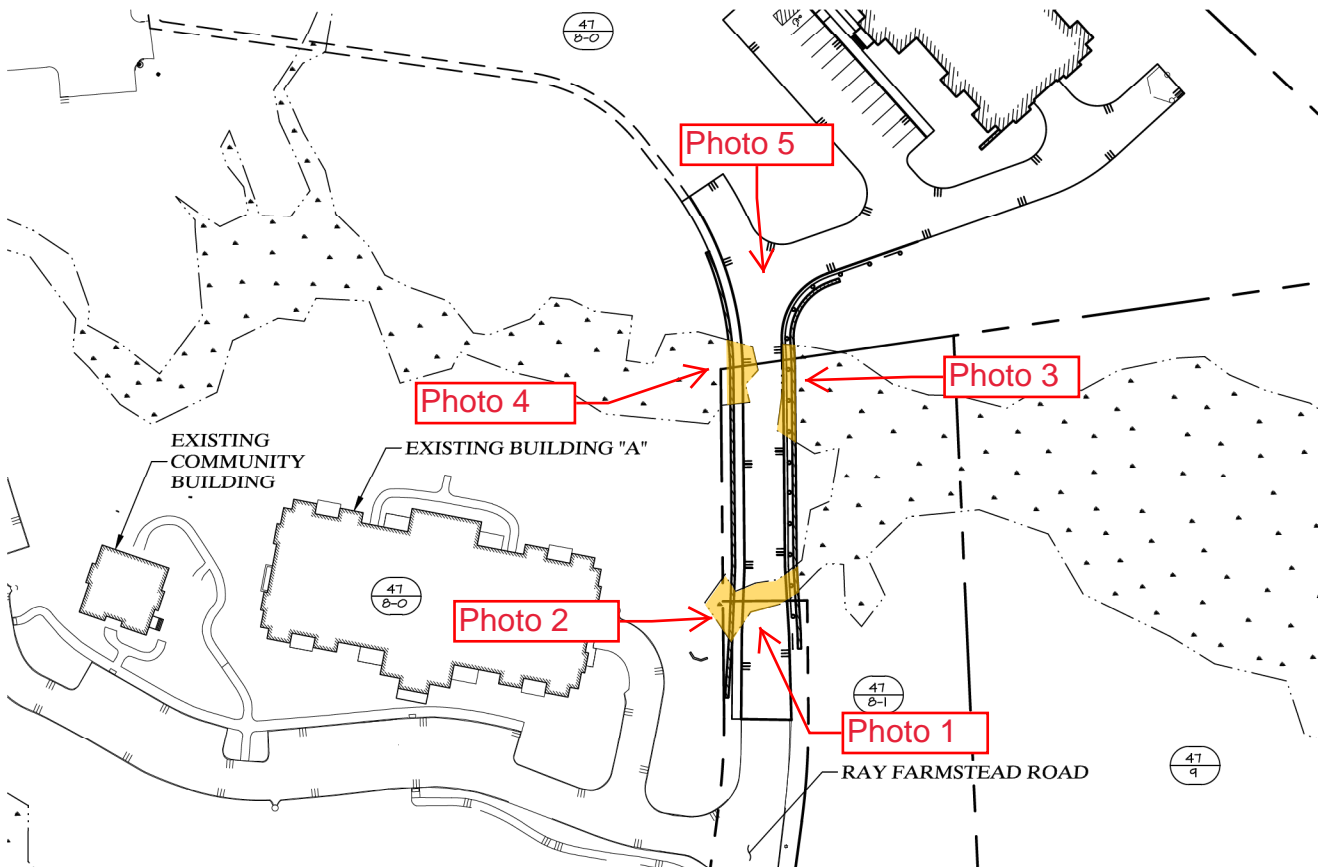
- City/Town
- Parcels
- Streams and Rivers
- 4
- Prime Wetlands
- Peatlands
- Flood Plain Wetlands Adjacent to Tier 3 Streams
- Designated Rivers Quartermile Buffer



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, NHDRA, Axiomatic, Inc.

**Attachment A**  
**Impact Area Photos**





I CERTIFY:  
THAT THIS ACTUAL SURV  
THE GROUND BETWEEN JU  
APRIL OF 2025.

THAT THIS SURVEY CO  
REQUIREMENTS FOR AC  
N.H. URBAN SURVEY.

LICENSED LAND SURV

IMPACT AREA PHOTO  
LOCATIONS

All Photos Taken 9/5/2025



**Photo 1.** Wetland impact area taken from southeast of bike trail, facing east.



**Photo 2.** Wetland impact area taken from the bike trail facing northwest.





**Photo 3.** Downstream end of existing crossing



**Photo 4.** Upstream end of existing crossing





**Photo 5.** Trail along the existing crossing

**Attachment B**  
**Abutter Information**



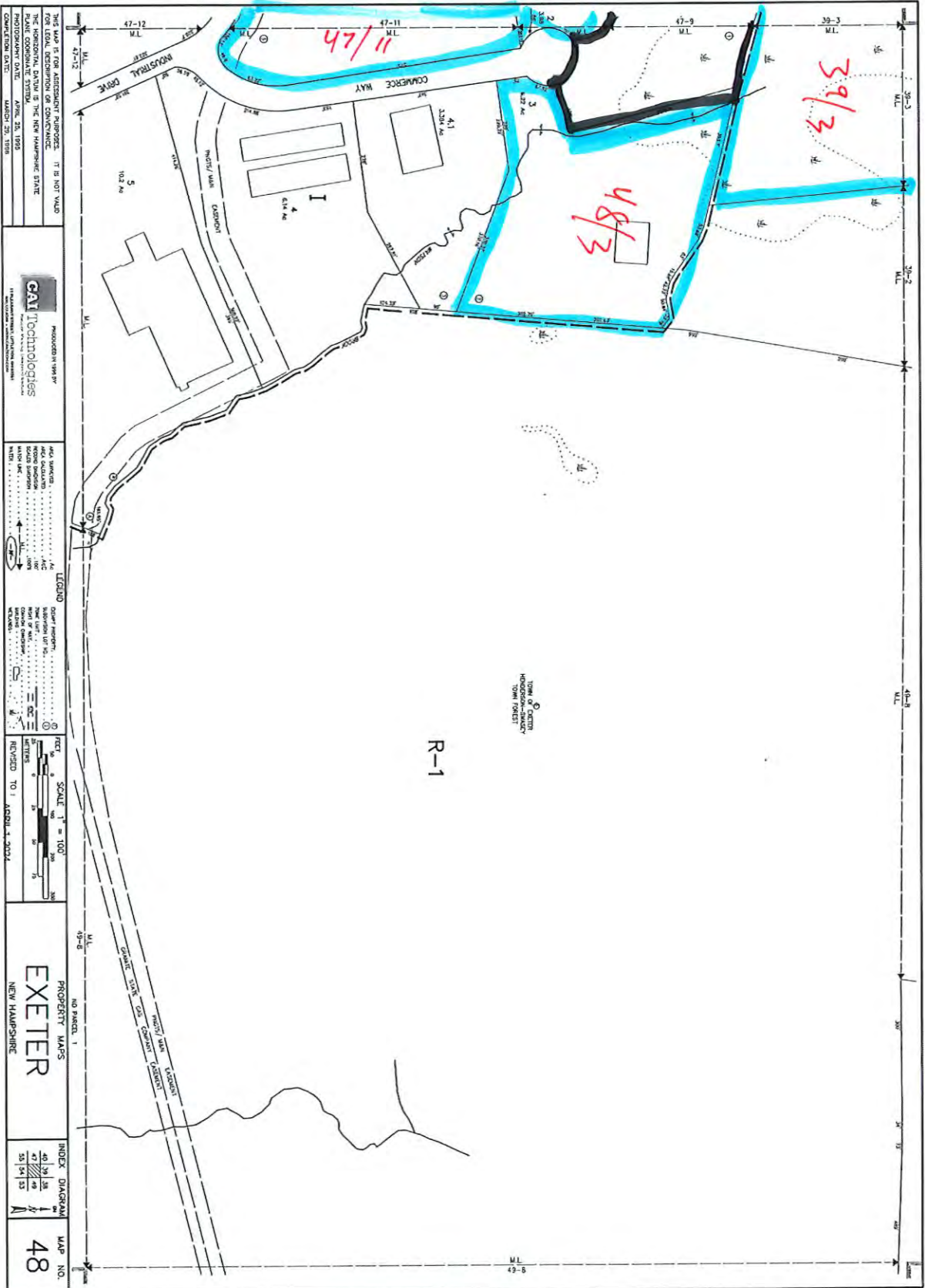




↓ 8 h d + w



MAP 47 ↑



**Direct Abutters to Tax Map 47, Lots 8, 8-1 & 9**

<b>Tax Map</b>	<b>Lot</b>	<b>Owner</b>
39	3	Town of Exeter 10 Front Street Exeter, NH 03833
40	11	Net Lease Realty I Inc ATTN: Ingrid Irving 450 S Orange Ave Suite 900 Orlando, FL 32801
40	12	Scott W. Carlisle III 14 Cass Street Exeter, NH 03833
40	13	Town of Exeter 10 Front Street Exeter, NH 03833
47	8	CKT Associates 158 Shattuck Way Newington, NH 03801
47	9-1	Bezio Schultz St Pierre 40 Industrial Drive Exeter, NH 03833
47	10	Dragonfly Realty LLC 49 Rocky Pond Rd Brookline, NH 03033
47	11	Boat of Garten LLC PO Box 4430 Manchester, NH 03108
48	2	Northeast Distribution 11 Commerce Way Exeter, NH 03833
48	3	C Marine Dynamics Realty 11 Fifield Ln Stratham, NH 03885
55	57	Epping Rd 149 LLC 12 Kingston Rd Unit D Exeter, NH 03833
55	58	Stockbridge Real Estate 141 Epping Road Exeter, NH 03833



<<DATE>>

«NAME»

«STREET ADDRESS»

«CITY, ST ZIP»

Re: Map 47, Lots 8, 8-1, and 9  
Ray Farmstead Road  
Exeter, NH

Dear Abutter:

The purpose of this letter is to inform you that the Willey Creek Company, LLC has submitted a Dredge and Fill Application to the NH Department of Environmental Services (NHDES) for approximately 1,665 square feet of wetland impact to extend Ray Farm Road and construct a fourth building within the Ray Farm Condominium development. After filing, a copy of the final application, including plans, will be made available for your review at the Exeter Town Hall and at the NH Department of Environmental Services Wetlands Bureau, 29 Hazen Drive, in Concord.

If you have any questions that we might be able to answer, please feel free to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read "Brendan Quigley", with a stylized flourish at the end.

Brendan Quigley, CWS  
Gove Environmental Services, Inc.

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Epping Rd 149 LLC  
12 Kingston Rd Unit D  
Exeter, NH 03833

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Stockbridge Real Estate  
141 Epping Road  
Exeter, NH 03833

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Northeast Distribution  
11 Commerce Way  
Exeter, NH 03833

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C Marine Dynamics Realty  
11 Fifield Ln  
Stratham, NH 03885

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Dragonfly Realty LLC  
49 Rocky Pond Rd  
Brookline, NH 03033

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Boat of Garten LLC  
PO Box 4430  
Manchester, NH 03108

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CKT Associates  
158 Shattuck Way  
Newington, NH 03801

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Exeter, NH 03833

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Scott W. Carlisle III  
14 Cass Street  
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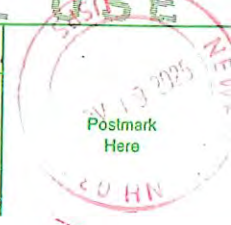
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Net Lease Realty I Inc  
Attn: Ingrid Irving  
450 S. Orange Ave Suite 900  
Orlando, FL 32801

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**Attachment C**  
**NHDES Ecological Review**



**DataCheck Results Letter**  
For NHDES Ecological Review

To: Brenden Walden, Gove Environmental Services, Inc.  
8 Continental Drive Bldg 2 Unit H  
Exeter, NH 03833  
info@gesinc.biz

From: Ecological Review Section  
NH Department of Environmental Services  
Main Contact: Maddie Severance - [EcologicalReviews@des.nh.gov](mailto:EcologicalReviews@des.nh.gov)

cc: NHFG Review

Date: 09/04/2025 (valid until 09/04/2026)

Re: DataCheck Review by NHDES Ecological Review Section and NH Fish & Game

Permits: NHDES - Alteration of Terrain Permit, NHDES - Standard Dredge & Fill - Minimum; or Expedited, USACE - General Permit, USEPA - Stormwater Pollution Prevention

**DCT ID: DCT25-2473**

Town: Exeter  
Location: Ray Farmstead Road

**Project Description:** The project involves relocation of the final unreconstructed building within the Ray Farm active adult community approved by the Exeter Planning Board in 2017. The approved 20 unit building will be relocated to an area on the property able to accommodate a 32 unit building matching the other buildings in the development. The new proposed location is accessible directly off Ray Farmstead Road which will be extended as part of the project. This involves upgrading of the existing crossing over Watson Brook from failing CMP to 5'x14' open bottom box culvert.

**Next Steps for Applicant:**

NHDES's Ecological Review Section has searched the Natural Heritage Bureau's (NHB) database of rare species and exemplary natural communities. Please carefully read the comments below and the consultation requirements on the following page.

**Plant and Natural**

**Community Comments:** Please send proposed plans and photos during the growing season of the wetlands proposed to be impacted.

**Wildlife Comments:** Please refer to NHFG consultation requirements below.



## DataCheck Results Letter For NHDES Ecological Review

### **Plant and Natural Community Consultation**

If this DataCheck letter includes records of rare plants and/or natural communities/systems, please contact the Ecological Review Section and provide any requested supplementary materials by emailing [EcologicalReviews@des.nh.gov](mailto:EcologicalReviews@des.nh.gov).

If this DataCheck letter DOES NOT include any records of rare plants and/or natural communities/systems, no further consultation with the Ecological Review Section regarding rare plants and/or natural communities/systems is required.

### **Wildlife Consultation**

If this DataCheck letter DOES NOT include ANY wildlife species records, then, based on the information submitted, no further consultation with the NH Fish and Game Department (NHFG) pursuant to Fis 1004 is required.

If this DataCheck letter includes a record for a threatened (T) or endangered (E) wildlife species, consultation with the New Hampshire Fish and Game Department under Fis 1004 may be required. To review the Fis 1000 rules (effective February 3, 2022), please go to <https://www.wildlife.nh.gov/wildlife-and-habitat/nongame-and-endangered-species/environmental-review>. All requests for consultation and submittals should be sent via email to [NHFGreview@wildlife.nh.gov](mailto:NHFGreview@wildlife.nh.gov) or can be sent by mail, and must include the DataCheck results letter number and "Fis 1004 consultation request" in the subject line.

If the DataCheck response letter does not include a threatened or endangered wildlife species but includes other wildlife species (e.g., Species of Special Concern), consultation under Fis 1004 is not required; however, some species are protected under other state laws or rules, so coordination with NH Fish & Game is highly recommended or may be required for certain permits. While some permitting processes are exempt from required consultation under Fis 1004 (e.g., *statutory permit by notification*, *permit by rule*, *permit by notification*, *routine roadway registration*, *docking structure registration*, or *conditional authorization by rule*), coordination with NH Fish & Game may still be required under the rules governing those specific permitting processes, and it is recommended you contact the applicable permitting agency. For projects not requiring consultation under Fis 1004, but where additional coordination with NH Fish and Game is requested, please email [NHFGreview@wildlife.nh.gov](mailto:NHFGreview@wildlife.nh.gov), and include the DataCheck results letter number and "review request" in the email subject line.

**Contact NH Fish & Game at (603) 271-0467 with questions.**

### **Federal ESA Compliance**

This letter does not constitute compliance with the federal Endangered Species Act (ESA). There may be occurrences of federally listed species in New Hampshire that are not included on the NH DataCheck Letter. For compliance with the federal Endangered Species Act (ESA), please visit the US Fish and Wildlife Service's (USFWS) Information for Planning and Consultation website (<https://ipac.ecosphere.fws.gov/>; IPaC) for an official list of federally listed species that may be present in your project area. If a federal agency is involved in your project through funding, permit, or other authorization, coordinate your IPaC results with your point of contact at the agency for further ESA review. If there is no federal agency nexus to your project, and you determine through IPaC, habitat evaluations, etc. that a project may cause take of a federally listed species, we recommend coordinating with the USFWS' New England Field Office ([newengland@fws.gov](mailto:newengland@fws.gov); 603-223-2541).





## DataCheck Results Letter

For NHDES Ecological Review

### NHB Database Records:

The following record(s) have been documented in the vicinity of the proposed project. Please refer to this list when coordinating.

Plant species	State <sup>1</sup>	Federal	Notes
sharp-flowered manna grass ( <i>Glyceria acutiflora</i> )*	E	--	Primarily vulnerable to changes to the hydrology of its habitat, especially alterations that change water levels. It may also be susceptible to increased pollutants and nutrients carried in stormwater runoff.
slender blue beardless-iris ( <i>Limniris prismatica</i> )*	E	--	Since this plant grows at wetland edges (marshes, wet meadows, seashore), it would be threatened by changes in local water levels or shoreside development.

Vertebrate species	State <sup>1</sup>	Federal	Notes
Blanding's Turtle ( <i>Emydoidea blandingii</i> )*	E	--	Contact the NH Fish & Game Dept (see above).
Northern Black Racer ( <i>Coluber constrictor constrictor</i> )*	T	--	Contact the NH Fish & Game Dept (see above).

<sup>1</sup>Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

An asterisk (\*) indicates that the most recent report for that occurrence was 20 or more years ago.

*For all animal reviews, refer to 'Wildlife Consultation' section above.*

**Disclaimer:** NHB's database can only tell you of known occurrences that have been reported to NHFG/NHB. Known occurrences are based on information gathered by qualified biologists or members of the public, reported to our offices, and verified by NHB/NHFG.

However, many areas have never been surveyed, or have only been surveyed for certain species.

Surveys are recommended to determine what species/natural communities are present onsite.



## DataCheck Results Letter

For NHDES Ecological Review

**Please note:** Effective June 10th, 2025, DataCheck letters will no longer include specific locations of rare species and exemplary natural communities. Changes to the map have been made to reflect this update.

**Important:** The list of rare species and exemplary natural communities that may be impacted by the project is included. Please refer to that list when coordinating.

**DCT25-2473**



**From:** [DES: Ecological Reviews](#)  
**To:** [Brendan Quigley](#)  
**Subject:** RE: NHDES Ecological Review: DCT25-2473  
**Date:** Wednesday, November 5, 2025 9:11:28 AM

---

Hi Brendan,

Thank you for providing plans, photos, and an indication that surveys were completed for sharp-flowered mannagrass (*Glyceria acutiflora*) and slender blue iris (*Limniris prismatica*). After looking at the project materials I believe you have referenced the wrong DCT ID number and the actual project you are referring to is DCT25-2473. I have changed the subject line of this email to reflect that.

Based on the provided survey information, surveys were completed by a qualified botanist, at a time of year when these species are identifiable, within potentially suitable habitat proposed to be impacted. Because neither species were found, and the lack of tall grass species made it easier for you to be confident these species are absent from the project area, I agree that sharp-flowered mannagrass and slender blue iris are likely not present within the proposed project area.

Because of this, I have no further concerns regarding impacts to rare plants under DCT25-2473.

Best,

Madeline (Maddie) Severance (*she/her/hers*)  
Environmental Reviewer  
Ecological Review Section  
Land Resources Management Program  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
(603)-271-6261 (**note the new number**)  
[EcologicalReviews@des.nh.gov](mailto:EcologicalReviews@des.nh.gov)  
[DataCheck Tool](#)

*NHDES would greatly appreciate your feedback and wants to hear from you. Please take a moment to fill out our short (5-question) [NHDES Customer Service Satisfaction Survey](#).*

**Please note as of July 29, 2025,** the email [ecologicalreviews@des.nh.gov](mailto:ecologicalreviews@des.nh.gov) is the primary contact for DataCheck Tool questions and rare plant and exemplary natural community coordination. Please do not email [nhbreview@dnrcr.nh.gov](mailto:nhbreview@dnrcr.nh.gov) going forward, NHDES Ecological



Review staff will not be monitoring this inbox and if you email this inbox your review may be delayed.

**Please note as of July 1, 2025,** processing DataCheck Tool requests and conducting ecological reviews for threatened and endangered species is the responsibility of the NH Department of Environmental Services. Existing rare species consultation processes and contacts will remain the same. The DataCheck Fee has also increased to \$50 for all users. Payment is only required if given a notice of "potential impacts" when submitting a project, or if you choose to send maps by email or mail rather than using the mapping tool. These changes are part of the state budget for FY2026-27 passed by the Legislature. Our goal is to keep you informed and supported through this change and we welcome any questions or feedback.

---

**From:** Brendan Quigley <bquigley@gesinc.biz>

**Sent:** Monday, November 3, 2025 4:16 PM

**To:** DES: Ecological Reviews <EcologicalReviews@des.nh.gov>

**Subject:** RE: NHDES Ecological Review: DCT25-2724

**EXTERNAL EMAIL WARNING!** This email originated outside of the New Hampshire Executive Branch network. Do not open attachments or click on links unless you recognize the sender and are expecting the email. Do not enter your username and password on sites that you have reached through an email link. Forward suspicious and unexpected messages by clicking the Phish Alert button in your Outlook and if you did click or enter credentials by mistake, report it immediately to [helpdesk@doit.nh.gov](mailto:helpdesk@doit.nh.gov)!

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Dear Reviewer,

I am pleased to provide additional information regarding rare threatened and endangered plant species as requested in data check letter DCT25-2724. The attached photos depict the proposed impact areas which all of which occur in a forested wetland and stream system. Two of the three impact areas lie to either side of an existing woods road crossing which will be improved for access to the proposed project. The other consist of a small finger of the large wetland. I have also attached several plan sheets depicting the proposed work.

A survey was conducted on 9/5/25 for both sharp-flowered manna grass and slender blue beardless-iris. Neither species was identified in the proposed Impact areas. I have experience with both of these species, the latter of which has been investigated in connection with number of projects the in the immediate vicinity, including for the first three buildings of the Ray Farm project. In the wooded setting, slender blue beardless-iris is very conspicuous and easy to identify. While sharp-flowered manna grass may be more difficult to distinguish from other similar grasses, the overall lack of tall grass species in the forested wetlands on this site greatly simplifies the search. I am therefore confident that neither of these species exist in the proposed impact areas. Please don't hesitate to reach out if you have any questions.

Brendan Quigley

Vice President/Wetland Scientist

**GOVE ENVIRONMENTAL SERVICES, INC.**

8 Continental Dr, Bldg 2, Unit H,

Exeter, NH 03833-7507

Ph (603) 778-0644 / Cell (603) 686-0086 / Fax (603) 778-0654

[bquigley@gesinc.biz](mailto:bquigley@gesinc.biz)

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**From:** Info <[info@gesinc.biz](mailto:info@gesinc.biz)>

**Sent:** Tuesday, October 14, 2025 9:44 AM

**To:** Brenden Walden <[bwalden@gesinc.biz](mailto:bwalden@gesinc.biz)>; Brendan Quigley <[bquigley@gesinc.biz](mailto:bquigley@gesinc.biz)>

**Subject:** FW: NHDES Ecological Review: DCT25-2724

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**From:** DES: Ecological Reviews <[EcologicalReviews@des.nh.gov](mailto:EcologicalReviews@des.nh.gov)>

**Sent:** Thursday, October 9, 2025 3:54 PM

**To:** Info <[info@gesinc.biz](mailto:info@gesinc.biz)>

**Cc:** FGC: NHFG review <[NHFGreview@wildlife.nh.gov](mailto:NHFGreview@wildlife.nh.gov)>; [David\\_Simmons@fws.gov](mailto:David_Simmons@fws.gov);

[silversm33@yahoo.com](mailto:silversm33@yahoo.com)

**Subject:** NHDES Ecological Review: DCT25-2724

Please note as of July 29, 2025, the email [ecologicalreviews@des.nh.gov](mailto:ecologicalreviews@des.nh.gov) is the primary contact for DataCheck Tool questions and rare plant and exemplary natural community coordination. Please do not email [nhbreview@dnr.nh.gov](mailto:nhbreview@dnr.nh.gov) going forward, NHDES Ecological Review staff will not be monitoring this inbox and if you email this inbox your review may be delayed.

Attached, please find the NHDES Ecological Review Section's report on whether the proposed project could impact rare species and exemplary natural communities. This report is based on the NH Natural Heritage Bureau database.

If you received a comment on the DataCheck Letter about a rare plant or exemplary natural community, please reply to this email with any documents, photos, or information requested or contact Maddie Severance with any questions: (603) 271-6261.

If you received a comment on the DataCheck Letter about a rare wildlife species, please follow the consultation requirements listed on the DataCheck Letter and coordinate with [NHFGreview@wildlife.nh.gov](mailto:NHFGreview@wildlife.nh.gov) or call Hayley Gray: (603) 271-0467.

If you have any further questions or problems with the attachments, contact me by replying to this email or calling: (603) 271-7972.

Best,  
Ryan

Ryan Esch (he/him)  
Ecological Information Specialist

Ecological Review Section  
Land Resources Management Program  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
603-271-7972

Effective July 1, 2025, processing DataCheck Tool requests and conducting ecological reviews for threatened and endangered species will be the responsibility of the NH Department of Environmental Services. This change is part of the state budget for FY2026-27 passed by the Legislature. Existing rare species consultation processes and contacts will remain the same. Our goal is to keep you informed and supported through this change and we welcome any questions or feedback.



**Attachment D**  
**Stream Crossing Form and Information**



### **Tier 1 Stream Crossings Design Requirements—Env-Wt 904.03**

- (1) Meet the general design considerations specified in Env-Wt 904.01;***

See following section

- (2) Be sized so as to accommodate the greater of: a. The 50-year design storm; or Applicable federal, state, or local requirements; and***

The proposed structure exceeds the requirement and will accommodate a 100-year storm (see stream crossing form and structure section on plans)

- (3) Be a span structure, pipe arch, open-bottom culvert, or closed-bottom culvert, with or without being embedded with stream simulation.***

The proposed structure is an open bottom box culvert in which the natural stream channel will be restored.

### **Stream Crossing General Design Considerations—Env-Wt 904.01**

- (1) Not be a barrier to sediment transport;***

The proposed crossing will replace a partially collapsed 24" pipe with a 5-foot by 14-foot open bottom box culvert that will completely span the channel. The project will therefore remove an existing barrier to sediment transport and restore the natural sediment carrying capacity of the stream.

- (2) Not restrict high flows and maintain existing low flows;***

The proposed box culvert will have much greater capacity for high flows. The stream channel will be recreated in natural substrate within open bottom culvert at the same elevation as the existing channel thus maintaining low flow conditions.

- (3) Not obstruct or otherwise substantially disrupt the movement of aquatic organisms indigenous to the waterbody beyond the actual duration of construction;***

Replacing the existing failing metal pipe with a large open bottom box structure will greatly improve connectivity for aquatic organisms

- (4) Not cause an increase in the frequency of flooding or overtopping of banks;***

The proposed structure will have a greater capacity and accommodation for the natural channel resulting in reductions of flood stage elevation and velocity (see stream crossing form)

- (5) Maintain or enhance geomorphic compatibility by: a) Minimizing the potential for inlet obstruction by sediment, wood, or debris; and b) Preserving the natural alignment of the stream channel;***

The proposed large open bottom structure will span the channel plus an additional 8 to 9-feet beyond bank full width, providing ample room to prevent obstruction of flow within this low energy stream. The large open bottom structure will also allow natural stream alignment to be restored.

- (6) Preserve watercourse connectivity where it currently exists;**

See #7

- (7) Restore watercourse connectivity where: a) Connectivity previously was disrupted as a result of human activity(ies); and b) Restoration of connectivity will benefit aquatic organisms upstream or downstream of the crossing, or both;**

Replacing the existing failing metal pipe with a large open bottom box structure will greatly improve connectivity through the stream corridor and should benefit aquatic organisms upstream and downstream, of the crossing.

- (8) Not cause erosion, aggradation, or scouring upstream or downstream of the crossing; and**

The proposed structure is sized to accommodate the entire channel and up to 9-feet beyond bank-full-width at the natural elevation and slope of the channel. This will greatly improve conditions that are currently contributing to these issues.

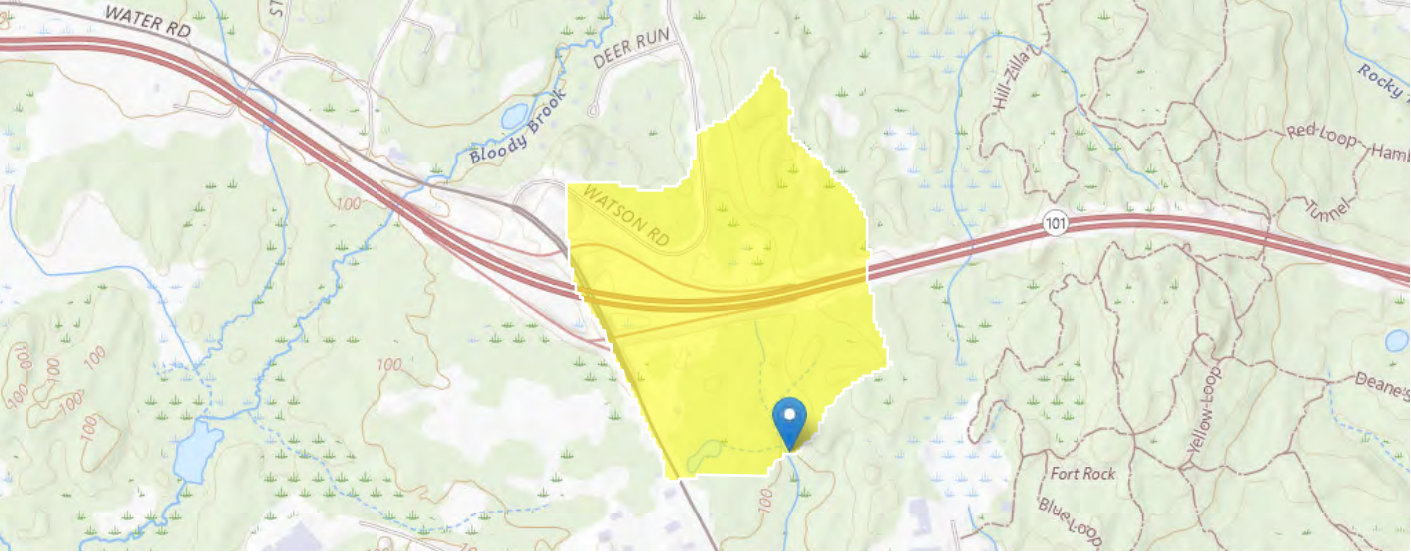
- (9) Not cause water quality degradation.**

The proposed structure will basically restore a natural stream through the crossing and should have positive effects on water quality.



StreamStats Report

Region ID: NH  
Workspace ID: NH20250826183955496000  
Clicked Point (Latitude, Longitude): 42.99796, -70.96983  
NHD Stream GNIS Name of Click Point: Norris Brook  
Time: 2025-08-26 14:40:30 -0400



+ Collapse All

Basin Characteristics

Parameter Code	Parameter Description	Value	Unit
DRNAREA	Area that drains to a point on a stream	0.2	square miles

NHD Features of Delineated Basin

NHD Streams Intersecting Basin Delineation Boundary

This functionality attempts to find the stream name at the delineation point. The name of the nearest intersecting National Hydrography Dataset (NHD) stream is selected by default to appear in the report above. NHD streams do not correspond to the StreamStats stream grid and may not be accurate. If you would like a different stream to appear in the above section, please make a selection below.

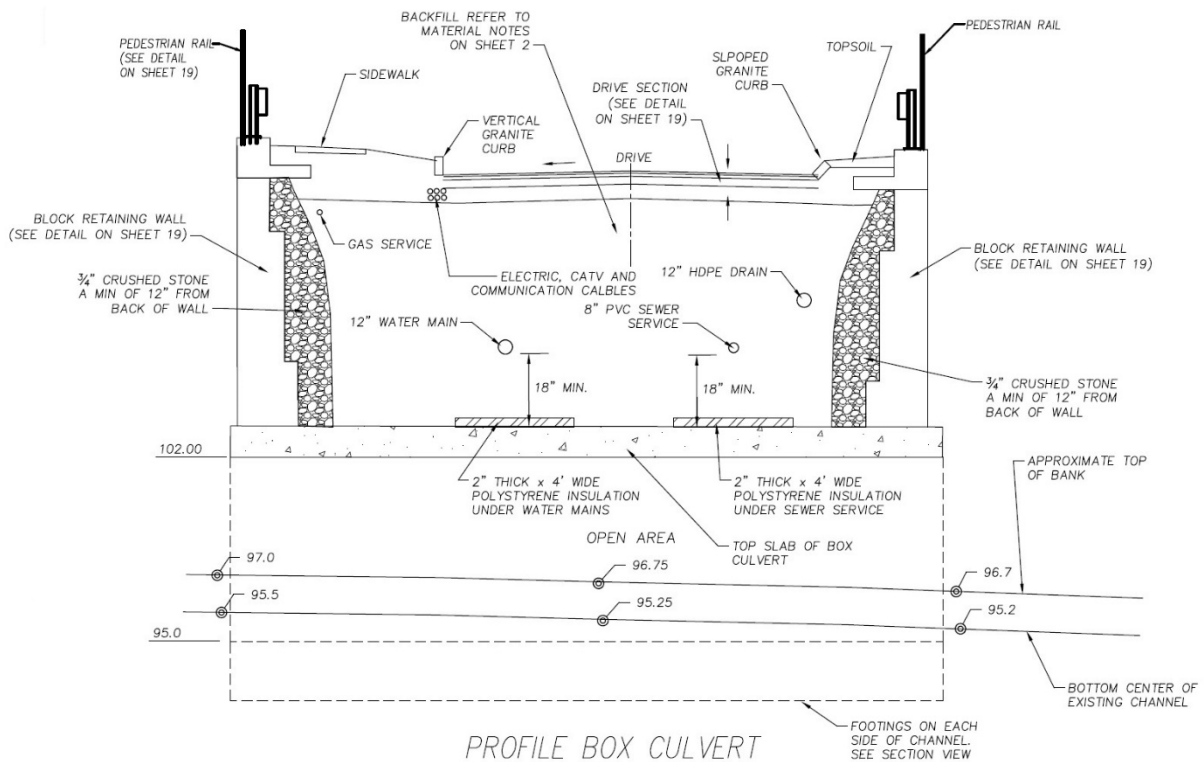
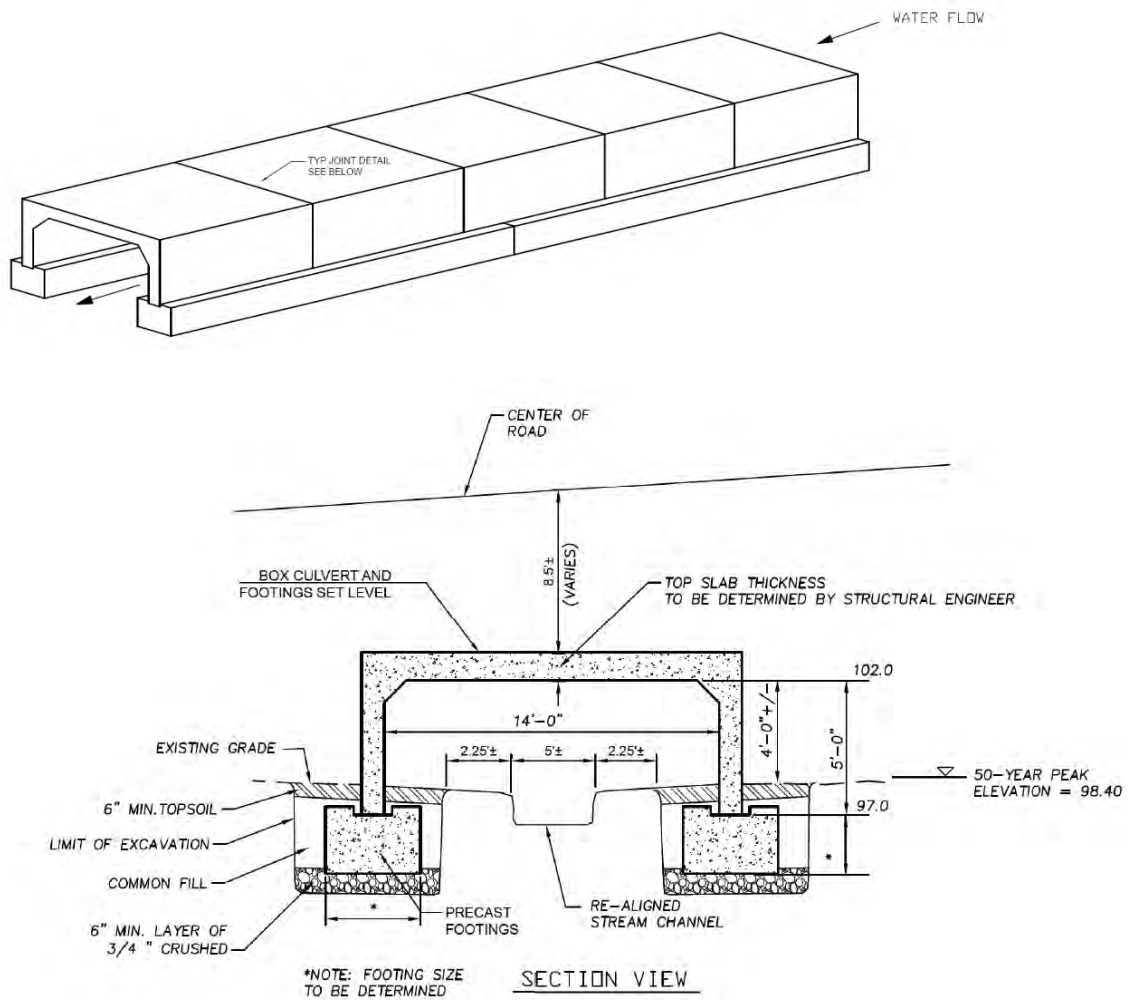
GNIS ID	GNIS Name	Distance from Clicked Point (ft)	Feature Type	Selected Stream Name
868758	Norris Brook	81.56	Intermittent	<input checked="" type="radio"/> Norris Brook

Watershed Boundary Dataset (WBD) HUC 8 Intersecting Basin Delineation Boundary

This functionality attempts to find the intersecting HUC 8 of the delineated watershed. HUC boundaries do not correspond to the StreamStats data and may not be accurate.

HUC 8	Name
01060003	Piscataqua-Salmon Falls

NHD Hydrologic Features Citations



See Sheet 23 of plan set



# WETLANDS PERMIT APPLICATION STREAM CROSSING WORKSHEET

Water Division/Land Resources Management  
Wetlands Bureau



**RSA/Rule** RSA 482-A/ Env-Wt-900

This worksheet can be used to accompany Wetlands Permit Applications when proposing stream crossings.

## SECTION 1 - TIER CLASSIFICATIONS

Determine the contributing watershed size at [USGS StreamStats](#).

Note: Plans for tier 2 and 3 crossings shall be designed and stamped by a professional engineer who is licensed under RSA 310-A to practice in New Hampshire.

Size of contributing watershed at the crossing location:  acres

☒ **Tier 1:** A tier 1 stream crossing is a crossing located on a watercourse where the contributing watershed size is less than or equal to 200 acres.

☐ **Tier 2:** A tier 2 stream crossing is a crossing located on a watercourse where the contributing watershed size is greater than 200 acres and less than 640 acres.

☐ **Tier 3:** A tier 3 stream crossing is a crossing that meets **any** of the following criteria:

- ☐ On a watercourse where the contributing watershed is more than 640 acres.
- ☐ Within a [designated river corridor](#) unless:
  - a. The crossing would be a tier 1 stream based on contributing watershed size, or
  - b. The structure does not create a direct surface water connection to the designated river as depicted on the national hydrography dataset as found on GRANIT.
- ☐ Within a [100-year floodplain](#) (see Section 2 below).
- ☐ In a jurisdictional area having any protected species or habitat ([NHB DataCheck](#)).
- ☐ In a prime wetland or within a duly-established 100-foot buffer, unless a waiver has been granted pursuant to RSA 482-A:11, IV(b) and Env-Wt 706. Review the [Wetlands Permit Planning Tool \(WPPT\)](#) for town prime wetland and prime wetland buffer maps to determine if your project is within these areas.

☐ **Tier 4:** A tier 4 stream crossing is a crossing located on a tidal watercourse.

## SECTION 2 - 100-YEAR FLOODPLAIN

Use the [FEMA Map Service Center](#) to determine if the crossing is located within a 100-year floodplain. Please answer the questions below:

☒ **No:** The proposed stream crossing *is not* within the FEMA 100-year floodplain.

☐ **Yes:** The proposed project *is* within the FEMA 100-year floodplain. Zone =   
Elevation of the 100-year floodplain at the inlet:  feet (FEMA El. or Modeled El.)

## SECTION 3 - CALCULATING PEAK DISCHARGE

Existing 100-year peak discharge (Q) calculated in cubic feet per second (CFS):  CFS

Calculation method:   
Runoff Method: SCS TR-20  
Reach & Pond Routing Method: Dyn-Stor-Ind

Estimated bankfull discharge at the crossing location: +/-  CFS

Calculation method:

(2-year storm event)

[lrn@des.nh.gov](mailto:lrn@des.nh.gov) or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

[www.des.nh.gov](http://www.des.nh.gov)



➡ **Note: If tier 1, then skip to Section 10** ⬅

#### SECTION 4 - PREDICTED CHANNEL GEOMETRY BASED ON REGIONAL HYDRAULIC CURVES

For **tier 2, tier 3 and tier 4** crossings only. N/A

Bankfull Width:  feet      Mean Bankfull Depth:  feet

Bankfull Cross Sectional Area:  square feet (SF)

#### SECTION 5 - CROSS SECTIONAL CHANNEL GEOMETRY: MEASUREMENTS OF THE EXISTING STREAM WITHIN A REFERENCE REACH

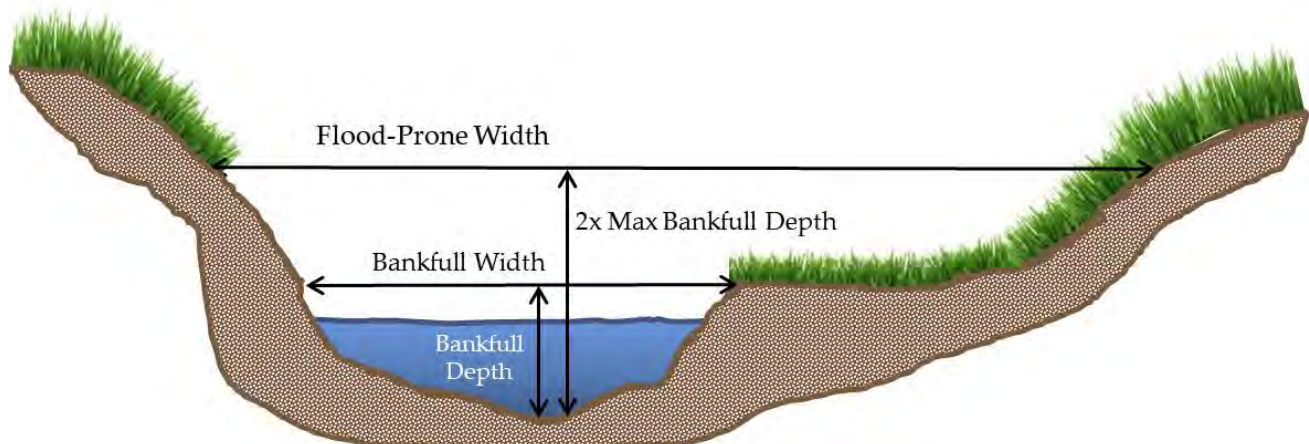
For **tier 2, tier 3 and tier 4** crossings only. N/A

Describe the reference reach location:

Reference reach watershed size:  acres

Parameter	Cross Section 1 Describe bed form <input type="text"/> (e.g. pool, riffle, glide)	Cross Section 2 Describe bed form <input type="text"/> (e.g. pool, riffle, glide)	Cross Section 3 Describe bed form <input type="text"/> (e.g. pool, riffle, glide)	Range
<a href="#">Bankfull Width</a>	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet
<a href="#">Bankfull Cross Sectional Area</a>	<input type="text"/> SF	<input type="text"/> SF	<input type="text"/> SF	<input type="text"/> SF
Mean <a href="#">Bankfull Depth</a>	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet
<a href="#">Width to Depth Ratio</a>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Max <a href="#">Bankfull Depth</a>	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet
<a href="#">Flood Prone Width</a>	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet	<input type="text"/> feet
<a href="#">Entrenchment Ratio</a>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Use **Figure 1** below to determine the measurements of the Reference Reach Attributes



**Figure 1:** Determining the Reference Reach Attributes.

#### SECTION 6 - LONGITUDINAL PARAMETERS OF THE REFERENCE REACH AND CROSSING LOCATION

For **tier 2, tier 3 and tier 4** crossings only. N/A

Average Channel Slope of the Reference Reach:

Average Channel Slope at the Crossing Location:

#### SECTION 7 - PLAN VIEW GEOMETRY

Note: Sinuosity is measured a distance of at least 20 times bankfull width, or 2 meander belt widths.

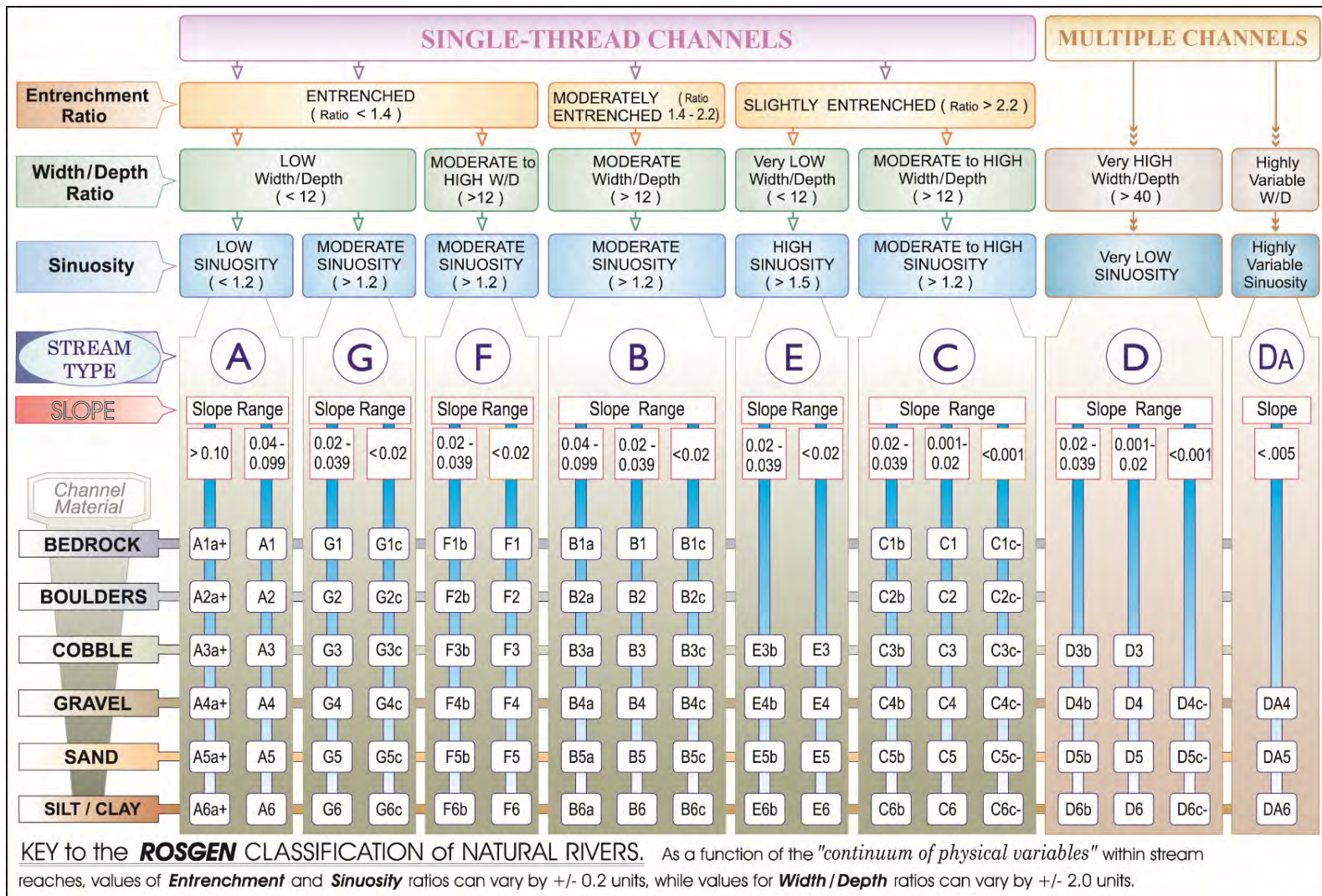
For **tier 2, tier 3 and tier 4** crossings only. N/A

Sinuosity of the Reference Reach:

Sinuosity of the Crossing Location:

**SECTION 8 - SUBSTRATE CLASSIFICATION BASED ON FIELD OBSERVATIONS**For **tier 2**, **tier 3** and **tier 4** crossings only. N/A

% of reach that is bedrock:	<input type="text"/> %
% of reach that is boulder:	<input type="text"/> %
% of reach that is cobble:	<input type="text"/> %
% of reach that is gravel:	<input type="text"/> %
% of reach that is sand:	<input type="text"/> %
% of reach that is silt:	<input type="text"/> %

**SECTION 9 - STREAM TYPE OF REFERENCE REACH**For **tier 2**, **tier 3** and **tier 4** crossings only. N/AStream Type of Reference Reach: Refer to Rosgen Classification Chart (**Figure 2**) below:**Figure 2:** Reference from Applied River Morphology, Rosgen, 1996.[lrn@des.nh.gov](mailto:lrn@des.nh.gov) or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

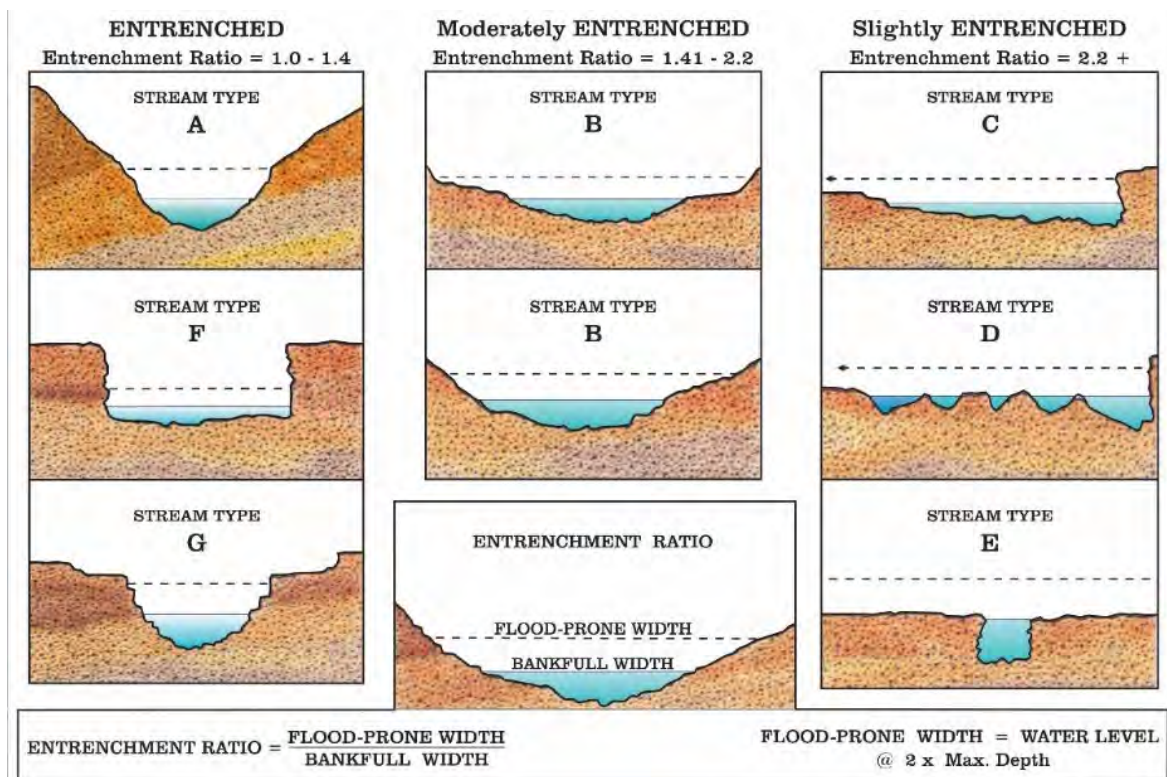
[www.des.nh.gov](http://www.des.nh.gov)



## SECTION 10 - CROSSING STRUCTURE METRICS

Existing Conditions	<b>Existing Structure Type:</b> <input type="checkbox"/> Bridge span <input type="checkbox"/> Pipe arch <input type="checkbox"/> Open-bottom culvert (partially collapsed) <input type="checkbox"/> Closed-bottom culvert <input type="checkbox"/> Closed-bottom culvert with stream simulation <input type="checkbox"/> Other: <input type="text"/>				
	<b>Existing Crossing Span:</b> <input type="text"/> +/-5 feet (perpendicular to flow)		<b>Culvert Diameter:</b> <input type="text"/> 2 feet <b>Inlet Elevation:</b> El. +/-98.0 feet		
	<b>Existing Crossing Length:</b> <input type="text"/> +/-16 feet (parallel to flow)		<b>Outlet Elevation:</b> El. +/-97.75 feet <b>Culvert Slope:</b> +/-1.5%		
Proposed Conditions	<b>Proposed Structure Type:</b>	<b>Tier 1</b>	<b>Tier 2</b>	<b>Tier 3</b>	<b>Alternative Design</b>
	Bridge Span	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Pipe Arch	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
	Closed-bottom Culvert	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
	Open-bottom Culvert	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Closed-bottom Culvert with stream simulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Proposed Structure Span:</b> <input type="text"/> 14 feet (perpendicular to flow)		<b>Culvert Diameter:</b> <input type="text"/> feet box culvert - 14' wide x 5' depth <b>Inlet Elevation:</b> El. +/-98.0 feet		
	<b>Proposed Structure Length:</b> <input type="text"/> +/-44 feet (parallel to flow)		<b>Outlet Elevation:</b> El. +/-97.75 feet <b>Culvert Slope:</b> +/-0.57%		
<b>Proposed Entrenchment Ratio:*</b> <input type="text"/> N/A For <b>Tier 2</b> , <b>Tier 3</b> and <b>Tier 4</b> Crossings Only. To accommodate the entrenchment ratio, floodplain drainage structures may be utilized.					

\* Note: Proposed Entrenchment Ratio must meet the minimum ratio for each stream type listed in **Figure 3**, otherwise the applicant must address the Alternative Design criteria listed in Env-Wt 904.10.



**Figure 3:** Reference from Applied River Morphology, Rosgen, 1996.



SECTION 11 - CROSSING STRUCTURE HYDRAULICS		
	Existing	Proposed
100 year flood stage elevation at inlet:	101.41	100.60
Flow velocity at outlet in feet per second (FPS):	6.59	5.59
Calculated 100 year peak discharge (Q) for the <i>proposed</i> structure in CFS:		152.67
Calculated 50 year peak discharge (Q) for the <i>proposed</i> structure in CFS:		114.33

SECTION 12 - CROSSING STRUCTURE OPENNESS RATIO
<i>For tier 2, tier 3 and tier 4 crossings only.</i>
<b>Crossing Structure Openness Ratio* = N/A</b> * Openness box culvert = (height x width)/length Openness round culvert = (3.14 x radius <sup>2</sup> )/length

SECTION 13 - GENERAL DESIGN CONSIDERATIONS
Env-Wt 904.01 requires all stream crossings to be designed and constructed according to the following requirements. Check each box if the project meets these general design considerations.
All stream crossings shall be designed and constructed so as to: <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Not be a barrier to sediment transport.</li> <li><input checked="" type="checkbox"/> Prevent the restriction of high flows and maintain existing low flows.</li> <li><input checked="" type="checkbox"/> Not obstruct or otherwise substantially disrupt the movement of aquatic life indigenous to the waterbody beyond the actual duration of construction.</li> <li><input checked="" type="checkbox"/> Not cause an increase in the frequency of flooding or overtopping of banks.</li> <li><input checked="" type="checkbox"/> Maintain or enhance geomorphic compatibility by:               <ul style="list-style-type: none"> <li>a. Minimizing the potential for inlet obstruction by sediment, wood, or debris, and</li> <li>b. Preserving the natural alignment of the stream channel.</li> </ul> </li> <li><input checked="" type="checkbox"/> Preserve watercourse connectivity where it currently exists.</li> <li><input checked="" type="checkbox"/> Restore watercourse connectivity where:               <ul style="list-style-type: none"> <li>a. Connectivity previously was disrupted as a result of human activity(ies), and</li> <li>b. Restoration of connectivity will benefit aquatic life upstream or downstream of the crossing, or both.</li> </ul> </li> <li><input checked="" type="checkbox"/> Not cause erosion, aggradation, or scouring upstream or downstream of the crossing.</li> <li><input checked="" type="checkbox"/> Not cause water quality degradation.</li> </ul>

SECTION 14 - TIER-SPECIFIC DESIGN CRITERIA
Stream crossings must be designed in accordance with the tier specific design criteria listed in Part Env-Wt 904.
<input checked="" type="checkbox"/> The proposed project meets the tier specific design criteria listed in Part Env-Wt 904 and each requirement has been addressed in the plans and as part of the wetland application.

SECTION 15 - ALTERNATIVE DESIGN
<b>NOTE:</b> If the proposed crossing does not meet all of the general design considerations, the tier specific design criteria, or the minimum entrenchment ratio for each given stream type listed in <b>Figure 3</b> , then an alternative design plan and associated requirements must be addressed pursuant to Env-Wt 904.10.
<input type="checkbox"/> I have submitted an alternative design and addressed each requirement listed in Env-Wt 904.10.

## **Attachment E**

### **ACOE Supplemental Information**

(Secondary Impacts Checklist, SHPO Inquiry, IPaC Report)





**US Army Corps  
of Engineers®**  
New England District

**Appendix B**  
**New Hampshire General Permits**  
**Required Information and USACE Section 404 Checklist**

**USACE Section 404 Checklist**

1. Attach any explanations to this checklist. Lack of information could delay a USACE permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 3 for information on single and complete projects.
4. Contact USACE at (978) 318-8832 with any questions.
5. The information requested below is generally required in the NHDES Wetland Application. See page 61 for NHDES references and Admin Rules as they relate to the information below.

<b>1. Impaired Waters</b>	<b>Yes</b>	<b>No</b>
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See the following to determine if there is an impaired water in the vicinity of your work area. * <a href="https://nhdes-surface-water-quality-assessment-site-nhdes.hub.arcgis.com/">https://nhdes-surface-water-quality-assessment-site-nhdes.hub.arcgis.com/</a> <a href="https://www.des.nh.gov/water/rivers-and-lakes/water-quality-assessment">https://www.des.nh.gov/water/rivers-and-lakes/water-quality-assessment</a> <a href="https://www4.des.state.nh.us/onestopdatamapper/onestopmapper.aspx">https://www4.des.state.nh.us/onestopdatamapper/onestopmapper.aspx</a>	X	
<b>2. Wetlands</b>	<b>Yes</b>	<b>No</b>
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to tidal SAS, prime wetlands, or priority resource areas? Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at <a href="https://www4.des.state.nh.us/NHB-DataCheck/">https://www4.des.state.nh.us/NHB-DataCheck/</a> .		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?	X	
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	1,763 SF	
2.7 What is the area of the proposed fill in wetlands?	1,665 SF	
2.8 What % of the overall project sire will be previously and proposed filled wetlands?	0.49%	
<b>3. Wildlife</b>	<b>Yes</b>	<b>No</b>
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: <a href="https://www4.des.state.nh.us/NHB-DataCheck/">https://www4.des.state.nh.us/NHB-DataCheck/</a> . USFWS IPAC website: <a href="https://ipac.ecosphere.fws.gov/">https://ipac.ecosphere.fws.gov/</a>	X	



3.2 Would work occur in any area identified as either "Highest Ranked Habitat in N.H." or "Highest Ranked Habitat in Ecological Region"? (These areas are colored magenta and green, respectively, on NH Fish and Game's map, "2010 Highest Ranked Wildlife Habitat by Ecological Condition.") Map information can be found at: <ul style="list-style-type: none"> <li>• PDF: <a href="https://wildlife.state.nh.us/wildlife/wap-high-rank.html">https://wildlife.state.nh.us/wildlife/wap-high-rank.html</a>.</li> <li>• Data Mapper: <a href="http://www.granit.unh.edu">www.granit.unh.edu</a>.</li> <li>• GIS: <a href="http://www.granit.unh.edu/data/downloadfreedata/category/databycategory.html">www.granit.unh.edu/data/downloadfreedata/category/databycategory.html</a>.</li> </ul>	X	
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision. or a commercial or industrial development? <i>Residential Condo</i>	X	
3.5 Are stream crossings designed in accordance with the GC 31?	X	
<b>4. Flooding/Floodplain Values</b>	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?		X
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?		
<b>5. Historic/Archaeological Resources</b>		
For a minimum, minor or major impact project - a copy of the RPR Form ( <a href="http://www.nh.gov/nhdhr/review">www.nh.gov/nhdhr/review</a> ) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 37 GC 14(d) of the GP document** <i># 2025PR01029, Pending</i>	X	
<b>6. Minimal Impact Determination (for projects that exceed 1 acre of permanent impact)</b>	Yes	No
Projects with greater than 1 acre of permanent impact must include the following: <ul style="list-style-type: none"> <li>• Functional assessment for aquatic resources in the project area. <i>NA</i></li> <li>• On and off-site alternative analysis.</li> <li>• Provide additional information and description for how the below criteria are met.</li> </ul>		
6.1 Will there be complete loss of aquatic resources on site?		
6.2 Have the impacts to the aquatic resources been avoided and minimized to the greatest extent practicable?		
6.3 Will all aquatic resource function be lost?		
6.4 Does the aquatic resource (s) have regional significance (watershed or ecoregion)?		
6.5 Is there an on-site alternative with less impact?		
6.6 Is there an off-site alternative with less impact?		
6.7 Will there be a loss to a resource dependent species?		
6.8 Are indirect impacts greater than 1 acre within and adjacent to the project area?		
6.9 Does the proposed mitigation replace aquatic resource function for direct, indirect, and cumulative impacts?		

\*Although this checklist utilizes state information, its submittal to USACE is a federal requirement.

\*\* If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.



## United States Department of the Interior

FISH AND WILDLIFE SERVICE  
New England Ecological Services Field Office  
70 Commercial Street, Suite 300  
Concord, NH 3301-5094  
Phone: (603) 223-2541 Fax: (603) 223-0104



In Reply Refer To:  
Project code: 2026-0018231  
Project Name: Ray Farm Building D

11/20/2025 15:57:28 UTC

Federal Nexus: yes  
Federal Action Agency (if applicable): Army Corps of Engineers

**Subject:** Technical assistance for 'Ray Farm Building D'

Dear Brendan Quigley:

This letter records your determination using the Information for Planning and Consultation (IPaC) system provided to the U.S. Fish and Wildlife Service (Service) on November 20, 2025, for 'Ray Farm Building D' (here forward, Project). This project has been assigned Project Code 2026-0018231 and all future correspondence should clearly reference this number. **Please carefully review this letter. Your Endangered Species Act (Act) requirements are not complete.**

### Ensuring Accurate Determinations When Using IPaC

The Service developed the IPaC system and associated species' determination keys in accordance with the Endangered Species Act of 1973 (ESA; 87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) and based on a standing analysis. All information submitted by the Project proponent into IPaC must accurately represent the full scope and details of the Project. **Failure to accurately represent or implement the Project as detailed in IPaC or the Northern Long-eared Bat and Tricolored Bat Range-wide Determination Key (Dkey), invalidates this letter.**

### Determination for the Northern Long-Eared Bat and Tricolored Bat

Based on your IPaC submission and a standing analysis completed by the Service, you determined the proposed Project will have the following effect determinations:

Species	Listing Status	Determination
Tricolored Bat ( <i>Perimyotis subflavus</i> )	Proposed Endangered	May affect

Federal agencies must consult with U.S. Fish and Wildlife Service under section 7(a)(2) of the Endangered Species Act (ESA) when an action *may affect* a listed species. Tricolored bat is proposed for listing as endangered under the ESA, but not yet listed. For actions that may affect a proposed species, agencies cannot consult, but they can *confer* under the authority of section 7(a)(4) of the ESA. Such conferences can follow the procedures for a consultation and be adopted as such if and when the proposed species is listed. Should the tricolored bat be listed, agencies must review projects that are not yet complete, or projects with ongoing effects within the tricolored bat range that previously received a NE or NLAA determination from the key to confirm that the determination is still accurate. Projects that receive a may affect determination for tricolored bat through the key, should contact the appropriate Ecological Services Field Office if they want to conference on this species.

### **Other Species and Critical Habitat that May be Present in the Action Area**

The IPaC-assisted determination key for the northern long-eared bat and tricolored bat does not apply to the following ESA-protected species and/or critical habitat that also may occur in your Action area:

- Monarch Butterfly *Danaus plexippus* Proposed Threatened
- Small Whorled Pogonia *Isotria medeoloides* Threatened

You may coordinate with our Office to determine whether the Action may cause prohibited take of the species listed above.

### **Conclusion**

Consultation with the Service is not complete. Further consultation or coordination with the Service is necessary for those species or designated critical habitats with a determination of “May Affect.” A “May Affect” determination in this key indicates that the project, as entered, is not consistent with the questions in the key. Not all projects that reach a “May Affect” determination are anticipated to result in adverse impacts to listed species. These projects may result in a “No Effect”, “May Affect, Not Likely to Adversely Affect”, or “May Affect, Likely to Adversely Affect” determination depending on the details of the project. Please contact our New England Ecological Services Field Office to discuss methods to avoid or minimize potential adverse effects to those species or designated critical habitats.



**Action Description**

You provided to IPaC the following name and description for the subject Action.

**1. Name**

Ray Farm Building D

**2. Description**

The following description was provided for the project 'Ray Farm Building D':

The proposed project involves the construction of a fourth, 32-unit residential condominium building (Building D) within the existing Ray Farm Active Adult Community with associated access, paved areas, and stormwater management. A total of 1,665 square feet of wetland fill is proposed to accommodate the for access to the proposed building. This impact includes significant improvement of the existing stream crossing along the proposed access to the project by replacing a failing CMP with a large open bottom box culvert.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@42.99827565,-70.9690687642572,14z>



## DETERMINATION KEY RESULT

Based on the answers provided, the proposed Action is consistent with a determination of “may affect” for a least one species covered by this determination key.

## QUALIFICATION INTERVIEW

1. Does the proposed project include, or is it reasonably certain to cause, intentional take of listed bats or any other listed species?

**Note:** Intentional take is defined as take that is the intended result of a project. Intentional take could refer to research, direct species management, surveys, and/or studies that include intentional handling/encountering, harassment, collection, or capturing of any individual of a federally listed threatened, endangered or proposed species?

*No*

2. Is the action area wholly within Zone 2 of the year-round active area for northern long-eared bat and/or tricolored bat?

**Automatically answered**

*No*

3. Does the action area intersect Zone 1 of the year-round active area for northern long-eared bat and/or tricolored bat?

**Automatically answered**

*No*

4. Does any component of the action involve leasing, construction or operation of wind turbines? Answer 'yes' if the activities considered are conducted with the intention of gathering survey information to inform the leasing, construction, or operation of wind turbines.

*No*

5. Is the proposed action authorized, permitted, licensed, funded, or being carried out by a Federal agency in whole or in part?

**Note for projects in Pennsylvania:** Projects requiring authorization under Section 404 of the Clean Water Act and/or Section 10 of the Rivers and Harbors Act would be considered as having a federal nexus. Since the U.S. Army Corps of Engineers (Corps) has issued the Pennsylvania State Programmatic General Permit (PASPGP), which may be verified by the PA Department of Environmental Protection or certain Conservation Districts, the need to receive a Corps authorization to perform the work under the PASPGP serves as a federal nexus. As such, if proposing to use the PASPGP, you would answer ‘yes’ to this question.

*Yes*

6. Is the Federal Highway Administration (FHWA), Federal Railroad Administration (FRA), or Federal Transit Administration (FTA) funding or authorizing the proposed action, in whole or in part?

*No*

7. Are you an employee of the federal action agency or have you been officially designated in writing by the agency as its designated non-federal representative for the purposes of Endangered Species Act Section 7 informal consultation per 50 CFR § 402.08?

**Note:** This key may be used for federal actions and for non-federal actions to facilitate section 7 consultation and to help determine whether an incidental take permit may be needed, respectively. This question is for information purposes only.

*No*

8. Is the lead federal action agency the Environmental Protection Agency (EPA) or Federal Communications Commission (FCC)? Is the Environmental Protection Agency (EPA) or Federal Communications Commission (FCC) funding or authorizing the proposed action, in whole or in part?

*No*

9. Is the lead federal action agency the Federal Energy Regulatory Commission (FERC)?

*No*

10. [Semantic] Is the action area located within 0.5 miles of a known bat hibernaculum or winter roost? Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your state wildlife agency.

**Automatically answered**

*No*

11. Does the action area contain any winter roosts or caves (or associated sinkholes, fissures, or other karst features), mines, rocky outcroppings, or tunnels that could provide habitat for hibernating bats?

*No*

12. Does the action area contain (1) talus or (2) anthropogenic or naturally formed rock shelters or crevices in rocky outcrops, rock faces or cliffs?

*No*

13. Will the action cause effects to a bridge?

**Note:** Covered bridges should be considered as bridges in this question.

*No*

14. Will the action result in effects to a culvert or tunnel at any time of year?

*No*



15. Are trees present within 1000 feet of the action area?

**Note:** If there are trees within the action area that are of a sufficient size to be potential roosts for bats answer "Yes". If unsure, additional information defining suitable summer habitat for the northern long-eared bat and tricolored bat can be found in Appendix A of the USFWS' Range-wide Indiana Bat and Northern long-eared bat Survey Guidelines at: <https://www.fws.gov/media/range-wide-indiana-bat-and-northern-long-eared-bat-survey-guidelines>.

Yes

16. Does the action include the intentional exclusion of bats from a building or building-like structure? **Note:** Exclusion is conducted to deny bats' entry or reentry into a building. To be effective and to avoid harming bats, it should be done according to established standards. If your action includes bat exclusion and you are unsure whether northern long-eared bats or tricolored bats are present, answer "Yes." Answer "No" if there are no signs of bat use in the building/structure. If unsure, contact your local Ecological Services Field Office to help assess whether northern long-eared bats or tricolored bats may be present. Contact a Nuisance Wildlife Control Operator (NWCO) for help in how to exclude bats from a structure safely without causing harm to the bats (to find a NWCO certified in bat standards, search the Internet using the search term "National Wildlife Control Operators Association bats"). Also see the White-Nose Syndrome Response Team's guide for bat control in structures.

No

17. Does the action involve removal, modification, or maintenance of a human-made building-like structure (barn, house, or other building) **known or suspected to contain roosting bats?**

No

18. Will the action cause construction of one or more new roads open to the public?

For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.).

No

19. Will the action include or cause any construction or other activity that is reasonably certain to increase average night-time traffic permanently or temporarily on one or more existing roads? **Note:** For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.). .

No

20. Will the action include or cause any construction or other activity that is reasonably certain to increase the number of travel lanes on an existing thoroughfare?

For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.).

No

21. Will the proposed Action involve the creation of a new water-borne contaminant source (e.g., leachate pond, pits containing chemicals that are not NSF/ANSI 60 compliant)?

**Note:** For information regarding NSF/ANSI 60 please visit <https://www.nsf.org/knowledge-library/nsf-ansi-standard-60-drinking-water-treatment-chemicals-health-effects>

No

22. Will the proposed action involve the creation of a new point source discharge from a facility other than a water treatment plant or storm water system?

No

23. Will the action include drilling or blasting?

Yes

24. Will the drilling or blasting produce noise or vibrations above existing background levels that will affect suitable summer habitat for northern long-eared bats and/or tricolored bats?

**Note:** Additional information defining suitable summer habitat for the northern long-eared bat and/or tricolored bat, can be found in Appendix A in the USFWS' Range-wide Indiana Bat and Northern long-eared Bat Survey Guidelines at: <https://www.fws.gov/media/range-wide-indiana-bat-and-northern-long-eared-bat-survey-guidelines>

Yes

25. Will the action involve military training (e.g., smoke operations, obscurant operations, exploding munitions, artillery fire, range use, helicopter or fixed wing aircraft use at night)?

No

26. Will the proposed action involve the use of herbicides or pesticides (e.g., fungicides, insecticides, or rodenticides)?

No

27. Will the action include or cause activities that are reasonably certain to cause chronic or intense nighttime noise (above current levels of ambient noise in the area) in suitable summer habitat for the northern long-eared bat or tricolored bat during the active season?

Chronic noise is noise that is continuous or occurs repeatedly again and again for a long time. Sources of chronic or intense noise that could cause adverse effects to bats may include, but are not limited to: road traffic; trains; aircraft; industrial activities; gas compressor stations; loud music; crowds; oil and gas extraction; construction; and mining.

**Note:** Additional information defining suitable summer habitat for the northern long-eared bat and tricolored bat can be found in Appendix A of the USFWS' Range-wide Indiana Bat and Northern long-eared bat Survey Guidelines at: <https://www.fws.gov/media/range-wide-indiana-bat-and-northern-long-eared-bat-survey-guidelines>.

No

28. Does the action include, or is it reasonably certain to cause, the use of permanent or temporary artificial lighting within 1000 feet of suitable northern long-eared bat or tricolored bat roosting habitat?

**Note:** Additional information defining suitable summer habitat for the northern long-eared bat and tricolored bat can be found in Appendix A of the USFWS' Range-wide Indiana Bat and Northern long-eared bat Survey Guidelines at: <https://www.fws.gov/media/range-wide-indiana-bat-and-northern-long-eared-bat-survey-guidelines>.

Yes

29. Will the action cause an increase in the extent of suitable forested habitat exposed to artificial lighting?

Yes

30. Will the action use only downward-facing, full cut-off lens lights (with same intensity or less for replacement lighting) when installing new or replacing existing permanent lights?

Or for those transportation agencies using the Backlight, Uplight, Glare (BUG) system developed by the Illuminating Engineering Society, will all three ratings (backlight, uplight, and glare) be as close to zero as is possible, with a priority of "uplight" of 0?

Yes

31. Will the action direct any temporary lighting away from suitable northern long-eared bat or tricolored bat roosting habitat when bats may be present?

**Note:** Additional information defining suitable summer habitat for the northern long-eared bat and tricolored bat can be found in Appendix A of the USFWS' Range-wide Indiana Bat and Northern long-eared bat Survey Guidelines at: <https://www.fws.gov/media/range-wide-indiana-bat-and-northern-long-eared-bat-survey-guidelines>.

No

32. Does the action area intersect the tricolored bat species list area?

**Automatically answered**

Yes

33. Is the action area located within 0.5-mile of radius of an entrance/opening to any known tricolored bat hibernacula or winter roost?

Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your state wildlife agency.

**Automatically answered**

No



34. [Semantic] Is the action area located within 0.25 miles of a culvert that is known to be occupied by northern long-eared or tricolored bats? **Note:** The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your State wildlife agency.

**Automatically answered**

No

35. Has a presence/probable absence bat survey targeting the [tricolored bat and following the Service's Range-wide Indiana Bat and Northern Long-Eared Bat Survey Guidelines](#) been conducted within the project area?

No

36. Is suitable summer habitat for the tricolored bat present within 1000 feet of project activities?

(If unsure, answer ""Yes."" )

**Note:** If there are trees within the action area that may provide potential roosts for tricolored bats (e.g., clusters of leaves in live and dead deciduous trees, Spanish moss (*Tillandsia usneoides*), clusters of dead pine needles of large live pines) answer ""Yes."" For a complete definition of suitable summer habitat for the tricolored bat, please see Appendix A in the [Service's Range-wide Indiana Bat and Northern long-eared Bat Survey Guidelines](#).

Yes

37. Do you have any documents that you want to include with this submission?

No

## PROJECT QUESTIONNAIRE

**IPAC USER CONTACT INFORMATION**

Agency: Gove Environmental Services Inc  
Name: Brendan Quigley  
Address: 8 Contintental Drive  
Address Line 2: Bldg 2 Unit H  
City: Exeter  
State: NH  
Zip: 03833  
Email: bquigley@gesinc.biz  
Phone: 6037780644

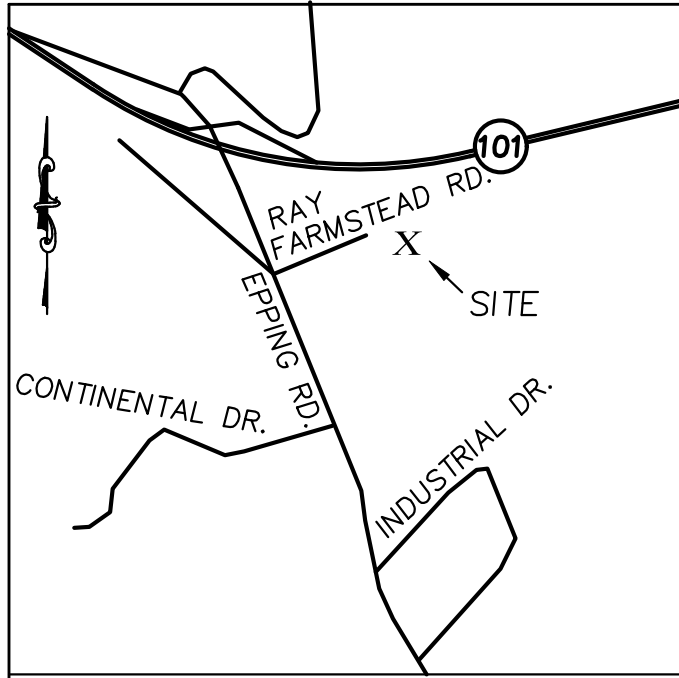
**LEAD AGENCY CONTACT INFORMATION**

Lead Agency: Army Corps of Engineers



**Attachment F**  
**Plans (under separate cover)**





LOCUS MAP  
NOT TO SCALE  
LOCUS NOTES:

1. PARCEL:  
ASSESSORS MAP 47, LOT 8, 8-1, & 9.  
LOT 8 DEED: RCRD BK. 5912 PG. 0132  
LOT 8-1 DEED: RCRD BK. 3231 PG. 2722  
LOT 9 DEED: RCRD BK. 3231 PG. 2722  
THIS PLAN SET INCLUDES A MINOR SUBDIVISION. SEE SHEET 4
2. ZONING: C-3 DISTRICT  
MINIMUM LOT AREA 40,000 SF  
LOT AREA PROVIDED  
MINIMUM LOT WIDTH 175 FEET  
MINIMUM LOT DEPTH 225 FEET  
MINIMUM FRONTAGE ALLOWED 175 FEET  
FRONTAGE PROVIDED 458 FEET  
MINIMUM YARD SETBACKS  
FRONT 50 FEET  
SIDE 30 FEET  
REAR 25 FEET  
MAX. BUILDING COVERAGE ALLOWED 40 %  
BUILDING COVERAGE PROVIDED 9.42 % (±65,320 SF)  
MINIMUM OPEN SPACE ALLOWED 20 %  
OPEN SPACE PROVIDED 78.03 % (±541,000 SF)  
MAXIMUM HEIGHT ALLOWED 50 FEET  
MAXIMUM HEIGHT PROVIDED 49 FEET
3. TOTAL SITE DENSITY  
TOTAL PARCEL AREA 15.9161 ACRES (693,306 SF)  
TOTAL NUMBER OF UNITS - 128 (32 UNITS EACH BUILDING)  
DENSITY = 5,416.45 SF PER UNIT
4. VERTICAL DATUM IS BASED ON NAVD 88.
5. THIS PARCEL DOES NOT LIE WITH IN A FLOOD ZONE. SEE F.I.R.M. COMMUNITY PANELS 33015C401E AND 33015C402E EFFECTIVE DATE MAY 17, 2005.
6. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
7. THE EXETER ZONING BOARD OF ADJUSTMENTS HAVE GRANTED THE FOLLOWING VARIANCES:  
1. ARTICLE 4.1.1 - LOT AREA PER DWELLING UNIT WHERE 2,500 SF IS REQUIRED AND 1,723.5 SF WAS PROPOSED  
2. ARTICLE 11.7.1 - PAYMENT OF SCHOOL IMPACT FEES  
3. ARTICLE 11.7.1 - PAYMENT OF RECREATION IMPACT FEES

BUILDING D SITE DATA

PROPOSED USE (BLDG 'D') - ACTIVE ADULT COMMUNITY (VARIANCE GRANTED)  
FOUR STORY 32 UNIT BUILDING, WITH INSIDE PARKING AT BASEMENT LEVEL.

PARKING REQUIRED (PER THE TOWN OF EXETER) - 32 UNITS x 2 SPACES PER UNIT + 1 SPACE PER 4 UNITS = 72 SPACES REQUIRED.

PARKING PROVIDED - 49 TOTAL (SEE NOTE). 36 IN PARKING GARAGE BELOW BUILDING, 13 SURFACE PARKING.

NOTE - THE PROPOSED PARKING PROVISION OF 49 SPACES FALLS SHORT OF THE TOWN'S REQUIRED 72 SPACES. THIS REDUCTION IS CONSISTENT WITH RSA 674:16, SECTION VII, WHICH LIMITS MUNICIPAL PARKING REQUIREMENTS TO A MAXIMUM OF 1.5 SPACES PER UNIT FOR MULTI-FAMILY DEVELOPMENTS OF 10 OR MORE UNITS. THIS STATUTORY LIMITATION BECAME EFFECTIVE ON JANUARY 1, 2025. 32 UNITS x 1.5 SPACES PER UNIT = 48 SPACES REQUIRED PER RSA 674:16, SECTION VII.

WAIVERS GRANTED

WAIVER FOR RECREATIONAL AREAS - 11.3.4 SITE PLAN REVIEW REGULATIONS

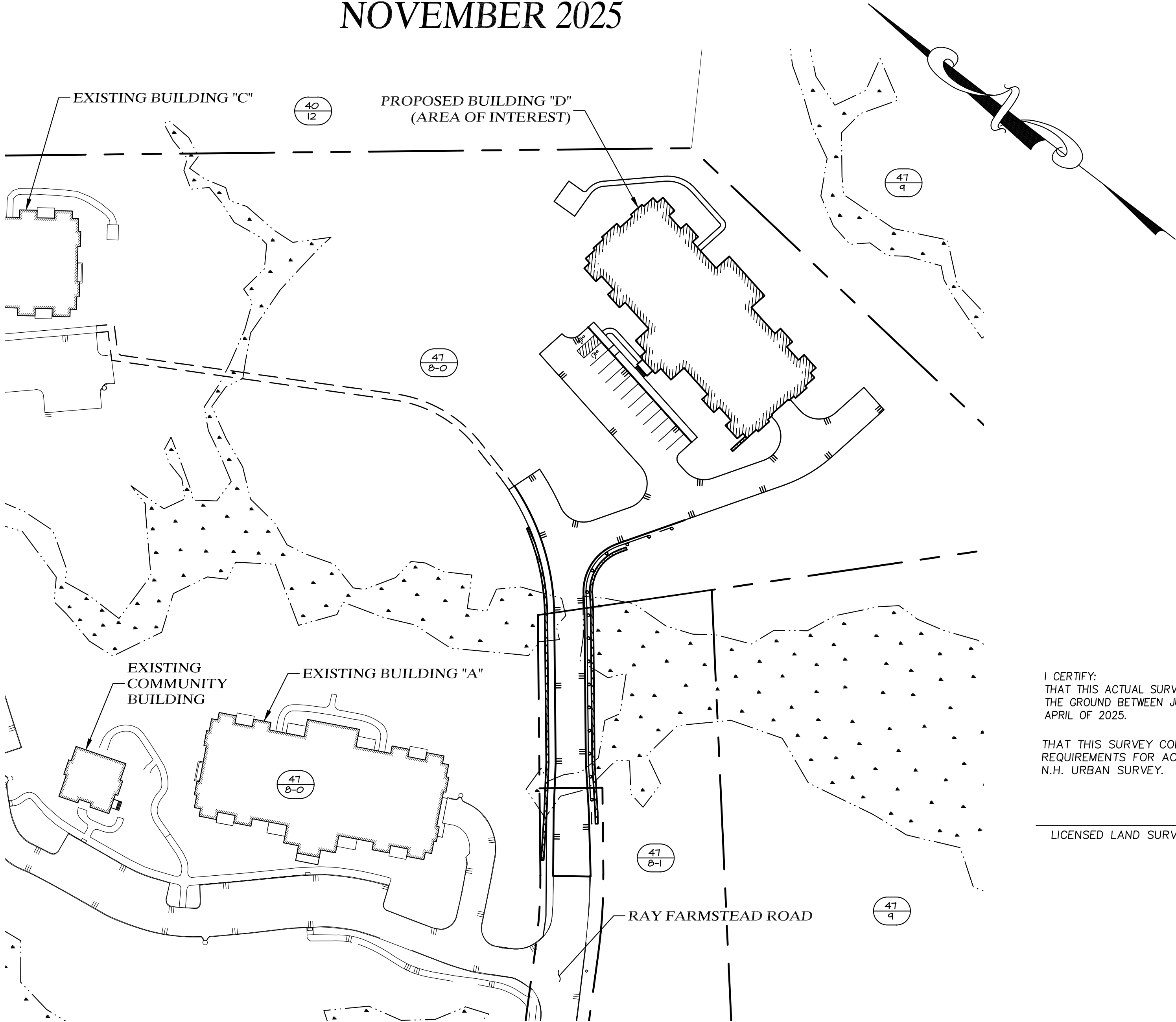
CONDITIONAL USE PERMITS GRANTED

WETLAND & SHORELAND CONDITIONAL USE PERMITS - JUNE 10, 2025

PERMITS REQUIRED

ALTERATION OF TERRAIN - Aot 1335 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")  
ALTERATION OF TERRAIN - PENDING (FOR BUILDING D)  
DREDGE AND FILL - FILE NO. 2017-01530 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")  
DREDGE AND FILL - TO BE ACQUIRED (ASSOCIATED WITH BUILDING D)  
NHDES SEWER CONNECTION PERMIT - TO BE ACQUIRED  
EPA CONSTRUCTION GENERAL PERMIT - TO BE ACQUIRED

RAY FARM "BUILDING D"  
SITE DEVELOPMENT PLANS  
FOR AN ACTIVE ADULT COMMUNITY  
OFF RAY FARMSTEAD ROAD  
EXETER, NH  
NOVEMBER 2025



I CERTIFY:  
THAT THIS ACTUAL SURVEY WAS MADE ON  
THE GROUND BETWEEN JUNE OF 2023 AND  
APRIL OF 2025.

THAT THIS SURVEY CONFORMS TO THE  
REQUIREMENTS FOR ACCURACY FOR  
N.H. URBAN SURVEY.

LICENSED LAND SURVEYOR

DATE

TOWN OF EXETER PLANNING BOARD

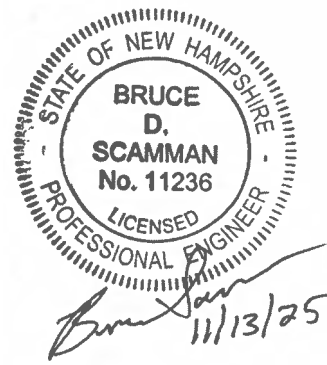
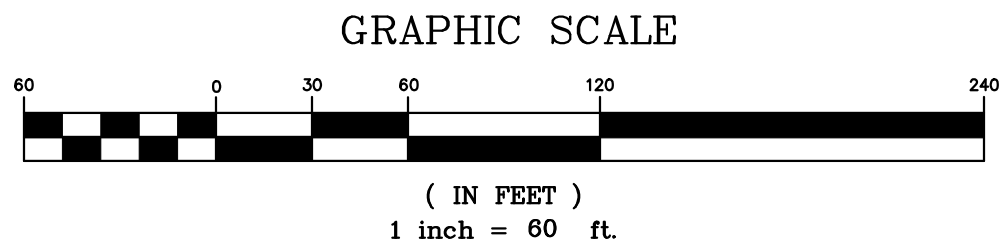
CHAIRMAN

DATE

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	OVERVIEW PLAN
4	LOT LINE ADJUSTMENT PLAN
5	OVERALL EXISTING CONDITIONS PLAN
6	DETAILED EXISTING CONDITIONS PLAN
7	OVERALL SITE PLAN
8	DETAILED SITE PLAN
9	GRADING & DRAINAGE PLAN
<del>10</del>	<del>UTILITIES PLAN</del>
<del>11</del>	<del>PAVING &amp; CURBING PLAN</del>
12	WETLAND IMPACT PLAN
12.1	SHORELAND IMPACT PLAN
13	DRIVEWAY PLAN AND PROFILE
<del>14</del>	<del>PRE-DEVELOPMENT DRAINAGE PLAN</del>
<del>15</del>	<del>POST-DEVELOPMENT DRAINAGE PLAN</del>
<del>16</del>	<del>TURNING TEMPLATE (E-ONE AERIAL)</del>
<del>17</del>	<del>TURNING TEMPLATE (E-ONE HEAVY)</del>
18	CONSTRUCTION NOTES
19	SITE DETAILS
20	UTILITY DETAILS
21	EROSION CONTROL DETAILS
22	DRAINAGE DETAILS
23	BOX CULVERT DETAIL
<del>24</del>	<del>LIGHTING PHOTOMETRICS PLAN</del>
25	LANDSCAPING PLAN

GRAPHIC SCALE:



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 60'

DATE: NOV. 10, 2025

CALC. BY: JJM

CHKD. BY: BDS

PROJECT: 25-1019

SITE PLAN  
IN  
EXETER, NH

SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
COVER  
SHEET

SHEET: 1

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



GENERAL NOTES

- ELEVATIONS BASED ON NAVD 1988. PLANS ARE NH STATE PLAIN NAD83 COORDINATE SYSTEM.
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR'S MAPS AND DO NOT CONSTITUTE CERTIFICATION TO TITLE OR OWNERSHIP.
- EXISTING CONDITIONS DATA FROM AN ON THE GROUND SURVEY CONDUCTED BY W.C. CAMMETT ENG., NOVEMBER OF 2016 THROUGH APRIL OF 2017, GM2 ASSOCIATES IN DECEMBER OF 2021 AND MILLENNIUM ENGINEERING, 2023 THROUGH 2025. TOPOGRAPHICAL SURFACES HAVE BEEN GENERATED USING ON THE GROUND SURVEY AND LIDAR COLLECTED BY NOAA.
- ADDITIONAL ON THE GROUND TOPOGRAPHIC SURVEY IS TO BE COMPLETED IN 2025 TO VERIFY PRIOR TO CONSTRUCTION.
- WETLANDS AND SOILS INFORMATION PROVIDED BY GOVE ENVIRONMENTAL SERVICES.
- THERE IS NO FLOOD PLAIN ON THIS SITE ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3301300401E.
- EXISTING 50' WIDE RIGHT OF WAY IS FOR THE BENEFIT OF N. SCOTT CARLISLE. SEE BOOK 3794 PAGE 1963 FOR NOTICE OF EASEMENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, WATER AND ANY OTHER PRIVATE OR MUNICIPAL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- WHERE EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER OF RECORD FOR RESOLUTION OF THE CONFLICT.
- EXISTING UTILITY POLES, WILL BE RELOCATED BY OTHERS, IF NECESSARY.
- EXCAVATION SHALL ONLY OCCUR WITHIN THE LIMIT OF WORK, AS SHOWN.
- IF AREAS OUTSIDE THE LIMIT OF PROPOSED WORK IS DISTURBED BY THE CONTRACTOR'S OPERATIONS, THE AREAS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAW CUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN, INFRARED SEAL, AND BACK SANDED.
- EXISTING SIGNS AND/OR MAILBOXES WITHIN THE PROJECT LIMITS THAT ARE DISTURBED SHALL BE REMOVED AND RELOCATED AS APPLICABLE.
- ALL DISTURBED AREAS OUTSIDE OF THE NEW PAVEMENT LIMITS SHALL BE LOAMED (4" MINIMUM DEPTH) AND SEEDED.
- A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER MAINS AND SEWER LINES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE EXETER WATER AND SEWER DEPARTMENT WHEN MAKING THE CONNECTIONS.
- ALL WORK SHALL COMPLY WITH EXETER'S "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER" NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE"

MATERIAL NOTES

- CRUSHED GRAVEL – NHDOT 304.3
- GRAVEL – NHDOT 304.2
- SAND – NHDOT 304.1
- BACKFILL MATERIAL – EARTH MATERIAL FREE FROM ROCKS LARGER THAN 3", DEBRIS, STUMPS, CLAY, ORGANIC MATTER, ICE, FROZEN SOIL, AND EXCESSIVE MOISTURE.
- LOAM – NHDOT 641.2.1
- CRUSHED STONE – GRADED CRUSHED ROCK TO THE SIZE SPECIFIED, WITH LESS THAN 2% FINES PASSING THE #200 SIEVE.
- PLACING AND COMPACTION OF FILL MATERIALS SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 304.3.4, 304.3.5, AND 304.3.6.
- PAVEMENTS SHALL COMPLY WITH SECTIONS 401, 403, AND 410 OF NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONSTRUCTION NOTES

- PRIOR TO ANY EXCAVATION, DIG-SAFE (811 OR 1-888-DIG-SAFE) AND EXETER DPW (603-773-6157) SHALL BE NOTIFIED TO LOCATE ALL PERTINENT UTILITIES INCLUDING WATER, SEWER, AND DRAINAGE.
- THIS PROJECT IS BE TO MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL OF ONE HALF INCH OR MORE.
- DO NOT CLEAR AND STRIP THE ENTIRE SITE AT ONE TIME. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. IN NO CASE SHALL MORE THAN 5 ACRES BE DISTURBED AT ONE TIME. STABILIZE THE AREA BEFORE MOVING ON TO THE NEXT AREA. DISTURBED AREAS REMAINING OPEN FOR MORE THAN 45 DAYS, SHALL BE STABILIZED.
- WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3 INCH OF NON EROISIVE MATERIAL SUCH AS RIP-RAP HAS BEEN INSTALLED
  - OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE SEEDING SPECIFICATIONS ARE AS FOLLOWS:

TEMPORARY SEEDING FOR EROSION CONTROL DURING CONSTRUCTION:

SPECIES	POUNDS/1000 SF	REMARKS
WINTER RYE	2.5	BEST FOR FALL SEEDING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 1"
OATS	2.0	BEST FOR SPRING SEEDING. NO LATER THAN MAY 15. SEED TO A DEPTH OF 1"
ANNUAL RYEGRASS	1.0	SEED EARLY SPRING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 0.25"
PERENNIAL RYEGRASS	0.7	SEED BETWEEN APRIL 1 TO AUG. 15. SEED TO A DEPTH OF 0.5"

PERMANENT VEGETATION SEED MIXTURE:

SPECIES	POUNDS/1000 SF
TALL FESCUE	0.45
CREeping RED FESCUE	0.45
BIRDSFOOT TREFoil	0.20
TOTAL	1.10

- ALL RE-VEGETATED AREAS THAT DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS (ON 3:1 SLOPES OR GREATER). SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, OR SECURING WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER SNOW OR FROZEN GROUND AND SHALL BE COMPLETED PRIOR TO AN ACCUMULATION OF SNOW AND/OR FROST.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROADS OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- CONCRETE WASH OUT SHALL BE CONDUCTED IN THE AREAS SHOWN ON SHEET C1.51 AND USE THE CONCRETE WASH OUT DETAIL SHOWN ON SHEET C5.11.
- NO STUMPS OR DEBRIS SHALL BE BURIED ONSITE. ALL STUMPS AND CONSTRUCTION DEBRIS SHALL BE STORED ONSITE UNTIL THEY CAN BE DISPOSED OFF OFFSITE IN A FACILITY CAPABLE OF HANDLING SUCH MATERIALS.
- TEMPORARY PORTABLE TOILETS SHALL BE PROVIDED AND PROPERLY MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT.
- VEHICLE MAINTENANCE SHALL BE PERFORMED OFF SITE. ANY VEHICLE LEAKING OIL OR GREASE SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. FUEL AND OILS SHALL BE STORED IN AN APPROVED LOCATION AND COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IN NO CASE SHALL THEY BE STORED WITHIN 100' OF WETLAND AREAS.

LEGEND

EXISTING	PROPOSED	
		CATCH BASIN (OR DRY WELL)
		CURB (OR BERM) – TYPE NOTED
		EDGE OF ROAD
		CONTOUR
		SPOT GRADE
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS VALVE
		WATER VALVE
		HYDRANT
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		DRAIN PIPE
		GAS SERVICE
		GUARDRAIL
		SEWER MAIN
		UNDERGROUND ELECTRIC
		WATER MAIN
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		TEST PIT
		SILTATION BARRIER/LIMIT OF WORK
		EDGE OF WETLAND
		WETLAND SYMBOL
		RIPRAP OR STONE
		PARKING SPACE COUNT

SURVEY

- 120

C.B.

S.B.

D.H.

PK

I.P.

I ROD

FND.

N/F

WETLAND DELINEATION FLAG

CONCRETE BOUND

STONE BOUND

DRILL HOLE

MASONRY NAIL

IRON PIPE

IRON ROD

FOUND

NOW OR FORMERLY

ASSESSORS MAP AND PARCEL

CONTRUCTION LAYOUT CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VERTICAL AND HORIZONTAL LOCATIONS OF SITE ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITIES, ROADS, AND GRADING. THE OWNER WILL PROVIDE HORIZONTAL AND VERTICAL CONTROL POINT DESCRIPTIONS AND LOCATIONS TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN, PROTECT, AND ESTABLISH NEW IF NECESSARY, ALL CONTROL POINTS DURING THE DURATION OF THE PROJECT.

GEOTECHNICAL TESTING

THE OWNER MAY RETAIN A GEOTECHNICAL ENGINEER TO PERFORM TESTING OF COMPLETED SITE WORK INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF: GRAVEL, CRUSHED STONE, SAND, COMMON FILL, COMPACTION, AND CONCRETE. THE CONTRACTOR SHALL COOPERATE WITH THE HIRED GEOTECHNICAL ENGINEER AND ALLOW FULL ACCESS TO THE SITE AND DELIVERY RECEIPTS OF MATERIALS DELIVERED. WHEN TESTING RESULTS INDICATE NON-COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR STANDARD CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO COST TO THE OWNER.

CONTRACTOR RESPONSIBILITIES

THE OWNER SHALL PROVIDE THE CONTRACTOR COPIES OF ALL PERMITS ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS THAT HAVE BEEN ISSUED FOR THIS PROJECT INCLUDING BUT NOT LIMITED TO: NPDES CONSTRUCTION GENERAL PERMIT ISSUED BY THE EPA, ALTERATION OF TERRAIN PERMIT ISSUED BY NHDES, SITE PLAN REVIEW PERMIT ISSUED BY THE TOWN OF EXETER, AND THE DREDGE AND FILL PERMIT ISSUED BY NHDES WETLANDS BUREAU.

CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY FASHION. ALL CONSTRUCTION EQUIPMENT SHALL BE PROPERLY MAINTAINED AND SECURED WHEN NOT IN USE.

THE CONTRACTOR SHALL MAINTAIN RECORDS OF THE SIZE AND LOCATION (INCLUDING SWING TIES), OF ALL UNDERGROUND UTILITIES INSTALLED. THE RECORDS SHALL BE MADE AVAILABLE TO THE OWNER UPON REQUEST. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE SCHEDULE SHALL BE UPDATED ON A WEEKLY BASIS AT A MINIMUM.

ABBREVIATIONS

UTILITIES

RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYLCHLORIDE PIPE
C.I.	CAST IRON PIPE
COND	CONDUIT
D.I.	DUCTILE IRON PIPE
HYD.	HYDRANT
INV.	INVERT ELEVATION
UP	UTILITY POLE
TSV & B	TAPPING SLEEVE, VALVE AND BOX

GENERAL

PROP.	PROPOSED
MIN.	MINIMUM
MAX.	MAXIMUM
EXIST.	EXISTING
STA	STATION
GRAN.	GRANITE
DRIVE	DRIVEWAY
ELEV	ELEVATION
N.T.S.	NOT TO SCALE
TYP.	TYPICAL
APPROX.	APPROXIMATE
CEM. CONC.	CEMENT CONCRETE
BIT. CONC.	BITUMINOUS CONCRETE
ROW	RIGHT OF WAY
CL	CENTERLINE
WALK	SIDEWALK
TBM	TEMPORARY BENCH MARK
SGE	SLOPED GRANITE EDGING

TREES

CON 12	12" CONIFEROUS TREE
DEC 12	12" DECIDUOUS TREE

ROADWAY

H.P.	HIGH POINT
L.P.	LOW POINT
A.D.	ALGEBRAIC DIFFERENCE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
CC	CENTER OF CURVE
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
PVRC	POINT OF VERTICAL REVERSE CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
OD	OUTSIDE DIAMETER
ID	INSIDE DIAMETER
DIA. Ø	DIAMETER
R	RADIUS
TYP.	TYPICAL
L	LENGTH
DP.	DEPTH
EQ.	EQUIVALENT



TOWN OF EXETER PLANNING BOARD

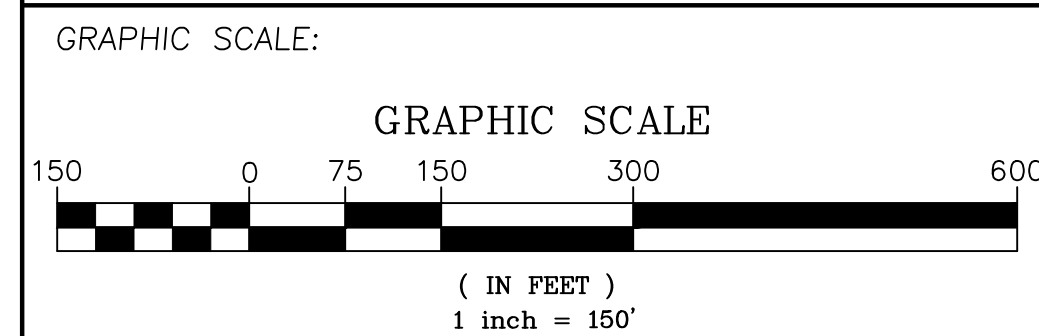
CHAIRMAN

DATE

GRAPHIC SCALE:		RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	NO.	DATE	DESCRIPTION	BY	 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   EMANUELEENGINEERING.COM ©2025	 ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SCALE: 1" = 20' DATE: NOV. 10, 2025	CALC. BY: JJM CHKD. BY: BDS	PROJECT: 25-1019	SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD	PLAN TITLE GENERAL NOTES AND LEGEND

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





ROAD

COMMERCIAL (C=3)  
INDUSTRIAL (I)

LOT LINE TO BE  
ELIMINATED

RECORD OWNER

## PLAN REFERENCES

## DEED REFERENCES

BK. 6040	DRAINAGE EASEMENT
PG. 1027	TIF ROAD ACCEPTANCE
BK. 3205	UTILITY EASEMENT – ELECTRIC AND
PG. 0803	TELEPHONE
BK. 1794	EASEMENT – RIGHT OF WAY
PG. 1963	
BK. 3288	EASEMENT – RIGHT OF WAY
PG. 2516	

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.

I CERTIFY:

THAT THIS ACTUAL SURVEY WAS MADE  
ON THE GROUND BETWEEN NOVEMBER, 2023  
AND DECEMBER, 2024.

THAT THIS PLAN CONFORMS TO THE  
RULES AND REGULATIONS OF  
REGISTER OF DEEDS.

THAT THIS SURVEY CONFORMS  
TO THE REQUIREMENTS FOR ACCURACY  
FOR N.H. LIRAN SURVEY

LICENSED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

## SITE PLAN

EXETER, NH

SHOWING

BUILDING D AT RAY FARM  
OFF  
RAY FARM ROAD


PLAN TITLE
------------

## OVERVIEW PLAN

SHEET: 3 OF 25

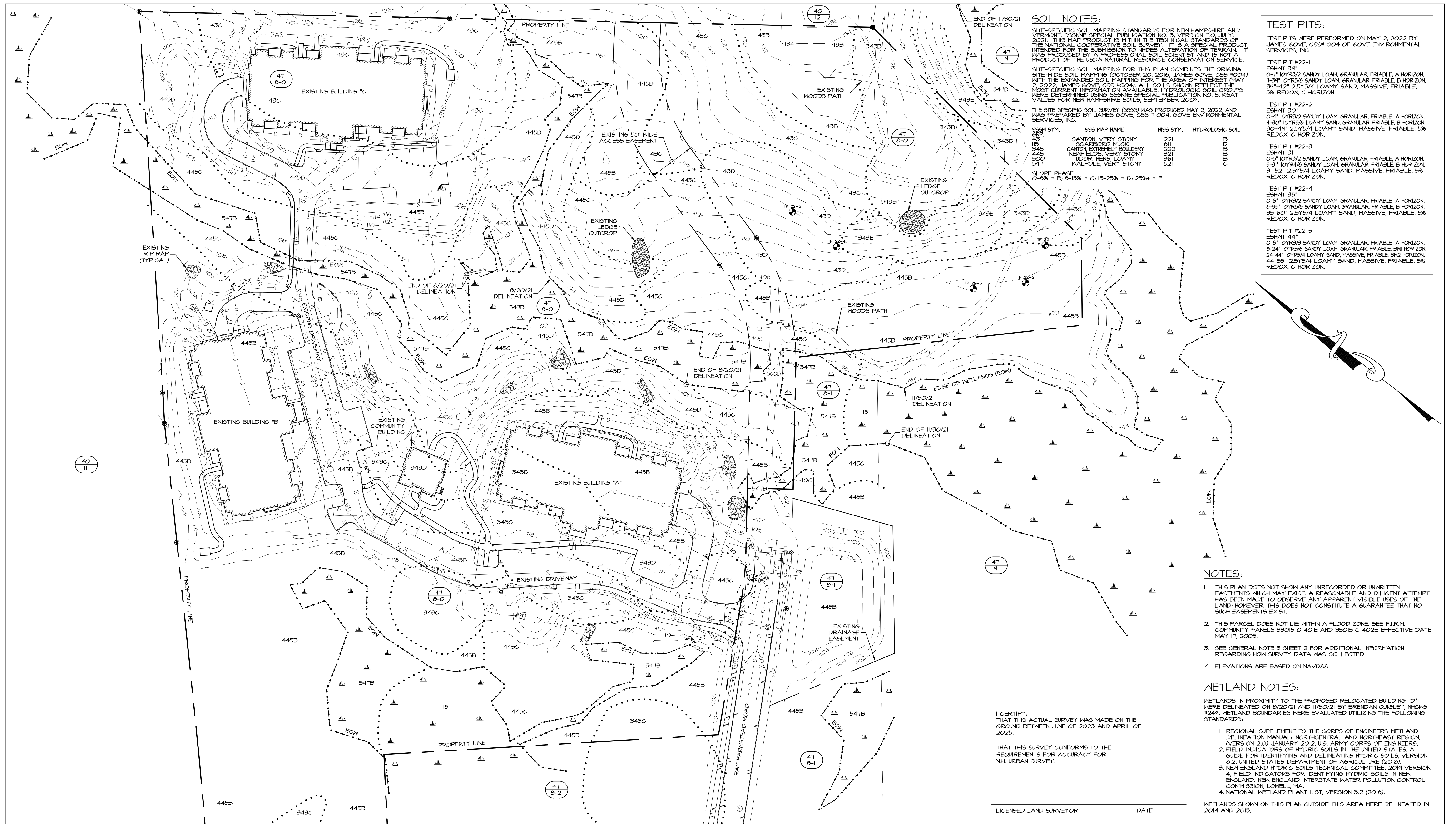
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION

RECORD OWNER <b>CKT ASSOCIATES, LLC</b> 158 SHATTUCK WAY NEWINGTON, NH 03801				
APPLICANT <b>RAY FARM, LLC</b> 158 SHATTUCK WAY NEWINGTON, NH 03801	2	11-10-25	FINAL SUBMISSION	K.I.M.
	1	5-29-25	ADDRESS PRG COMMENTS	K.I.M.
	NO	DATE	DESCRIPTION	BY

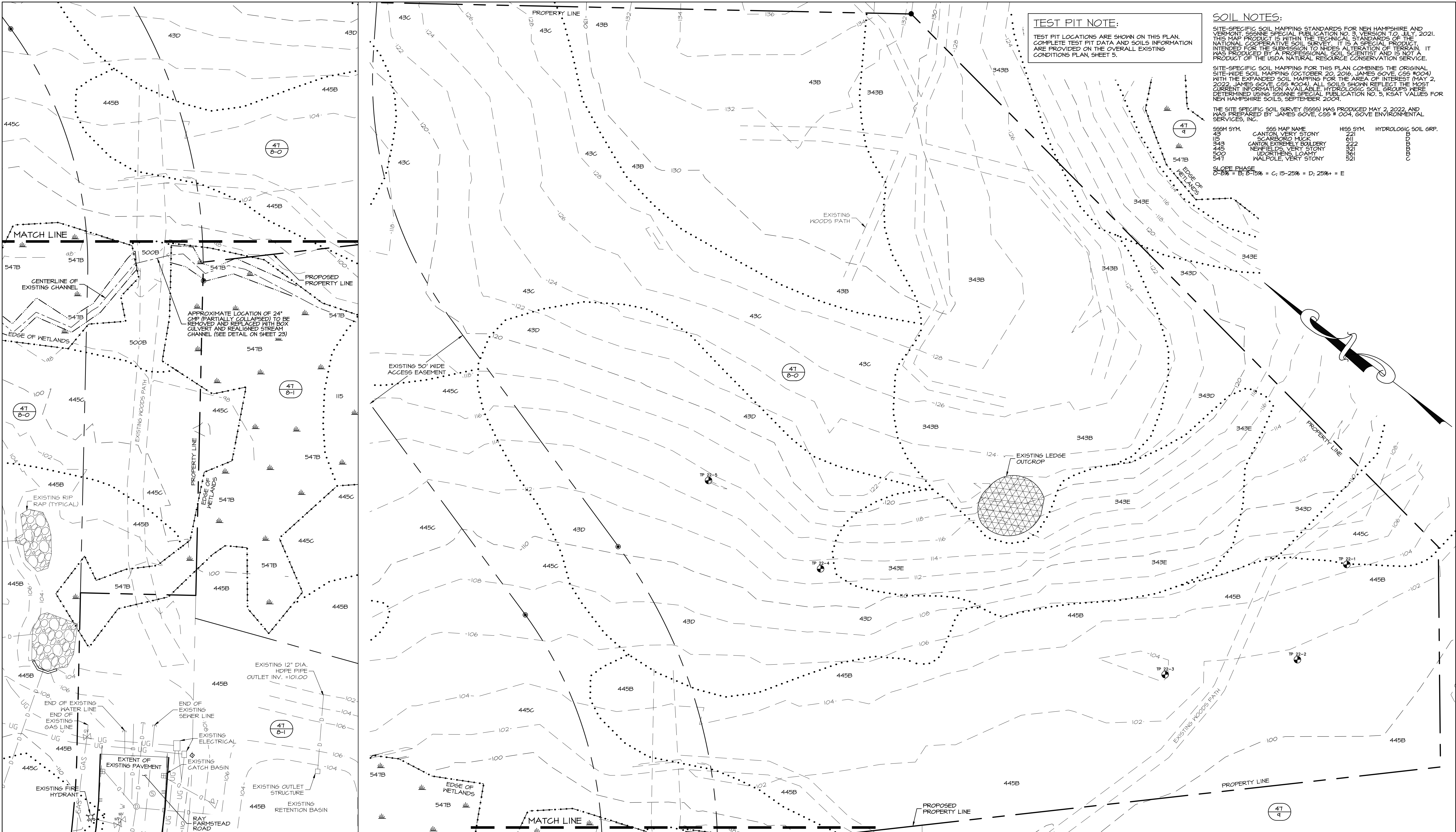
	<b>MILLENNIUM ENGINEERING, INC.</b> ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	
	SCALE: 150' DATE: MAR 10 2025	CALC. BY: B. CHKD BY: B.











GRAPHIC SCALE:  
  
( IN FEET )  
1 inch = 20 ft.

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY

CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
603-772-4400 | EMANUELENGINEERING.COM ©2025

MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'

DATE: NOV. 10, 2025

CALC. BY: JJM

CHKD. BY: BDS

PROJECT: 25-1019

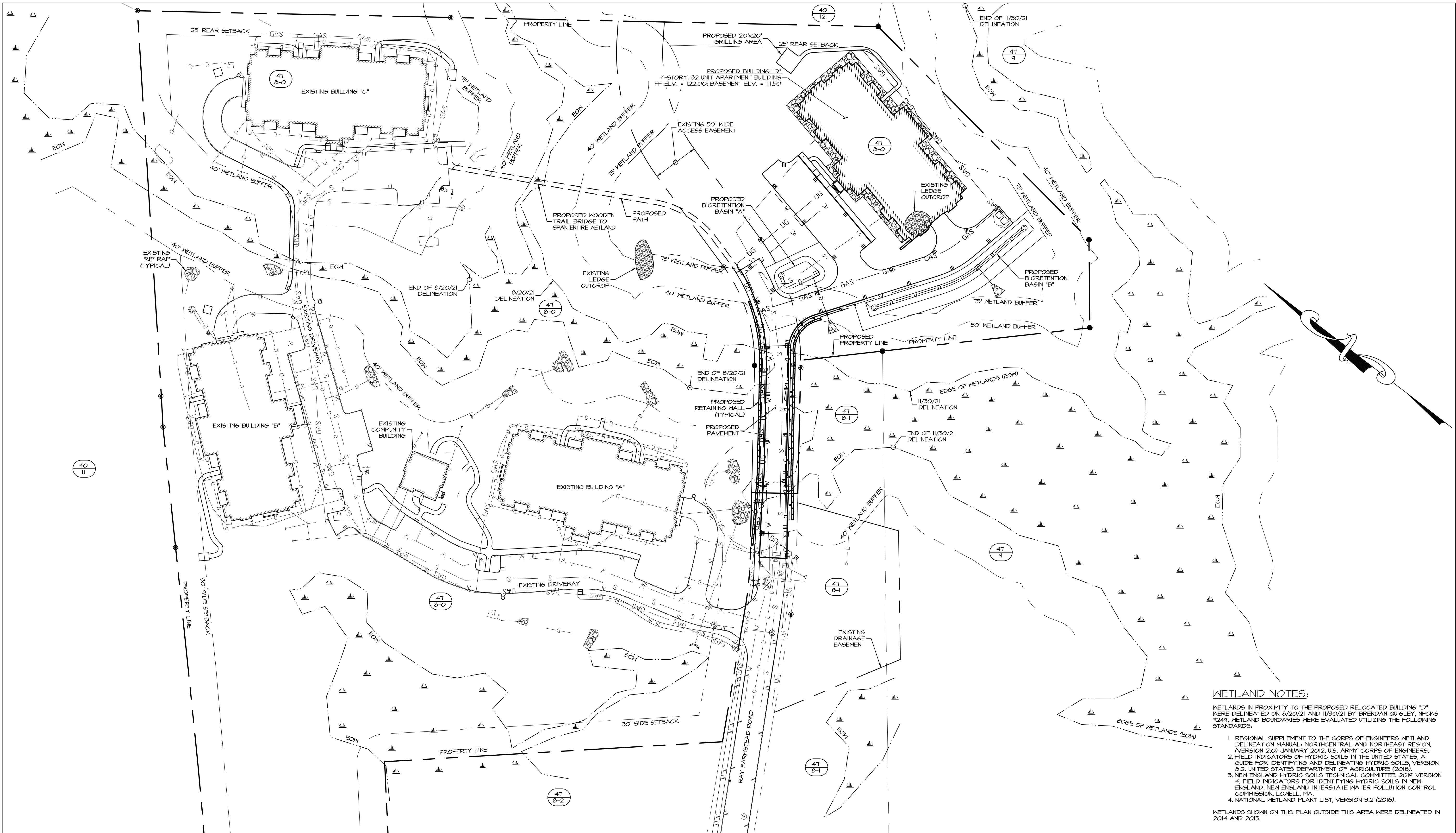
SITE PLAN  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
DETAILED  
EXISTING  
CONDITIONS  
PLAN

SHEET: 6

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





GRAPHIC SCALE:  
  
( IN FEET )  
1 inch = 50 ft.

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY

CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
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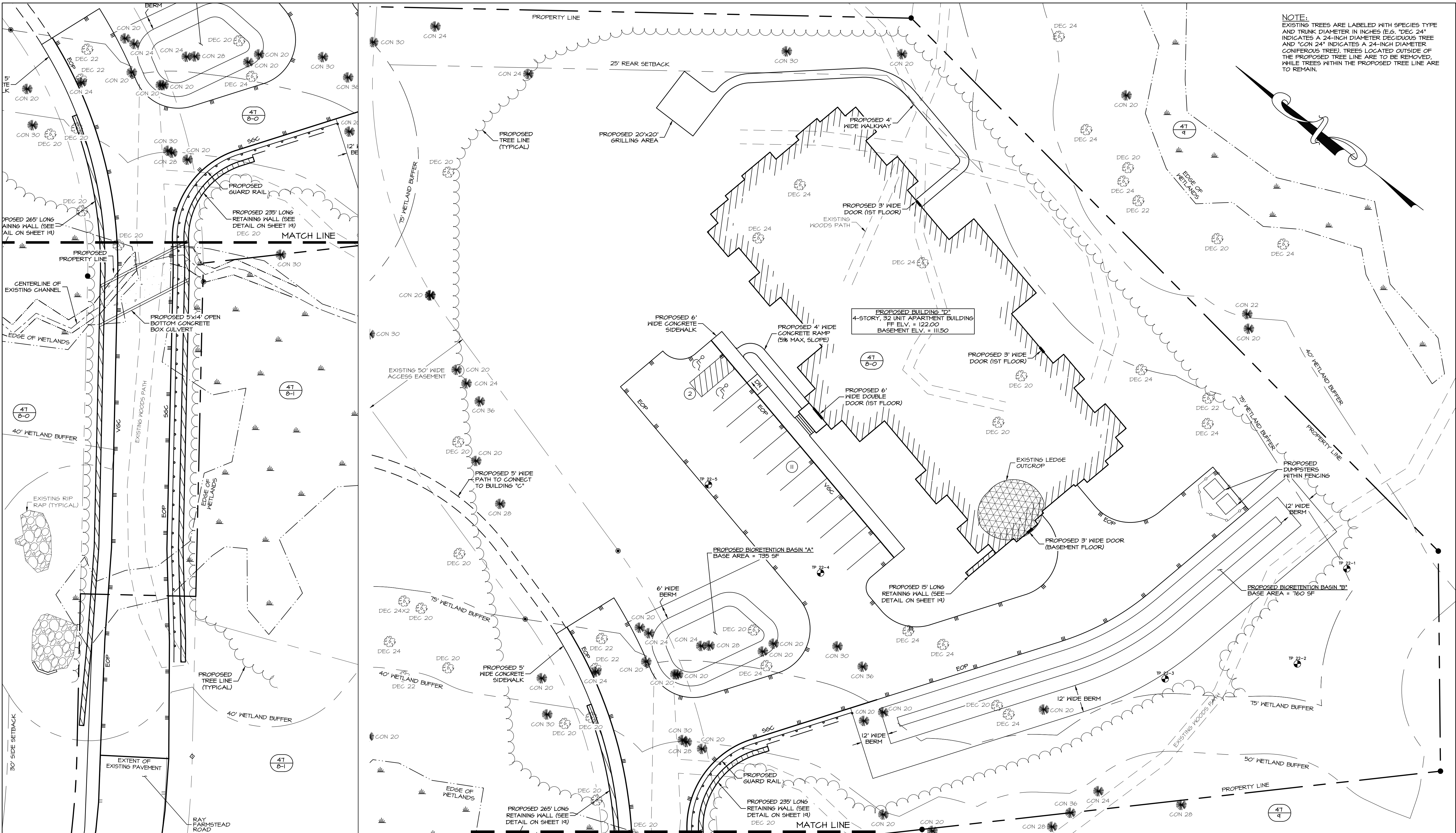
SITE PLAN  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
OVERALL  
SITE PLAN  
SHEET: 7

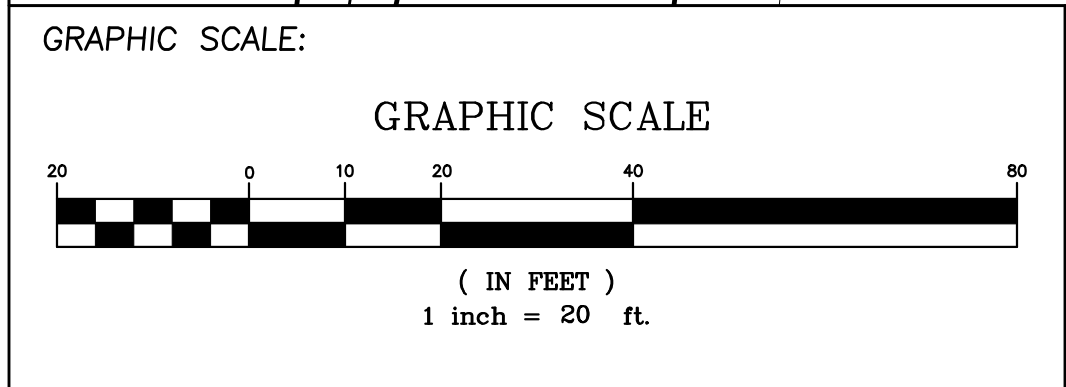
SCALE: 1" = 50'  
DATE: NOV. 10, 2025  
CALC. BY: JJM  
CHKD. BY: BDS  
PROJECT: 25-1019

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





NOTE:  
EXISTING TREES ARE LABELED WITH SPECIES TYPE  
AND TRUNK DIAMETER IN INCHES (E.G. "DEC 24"  
INDICATES A 24-INCH DIAMETER DECIDUOUS TREE  
AND "CON 24" INDICATES A 24-INCH DIAMETER  
CONIFEROUS TREE). TREES LOCATED OUTSIDE OF  
THE PROPOSED TREE LINE ARE TO BE REMOVED,  
WHILE TREES WITHIN THE PROPOSED TREE LINE ARE  
TO REMAIN.



RECORD OWNER			
CKT ASSOCIATES, LLC			
158 SHATTUCK WAY			
NEWINGTON, NH 03801			
APPLICANT			
WILLEY CREEK CO, LLC			
158 SHATTUCK WAY			
NEWINGTON, NH 03801			
NO.	DATE	DESCRIPTION	BY



**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

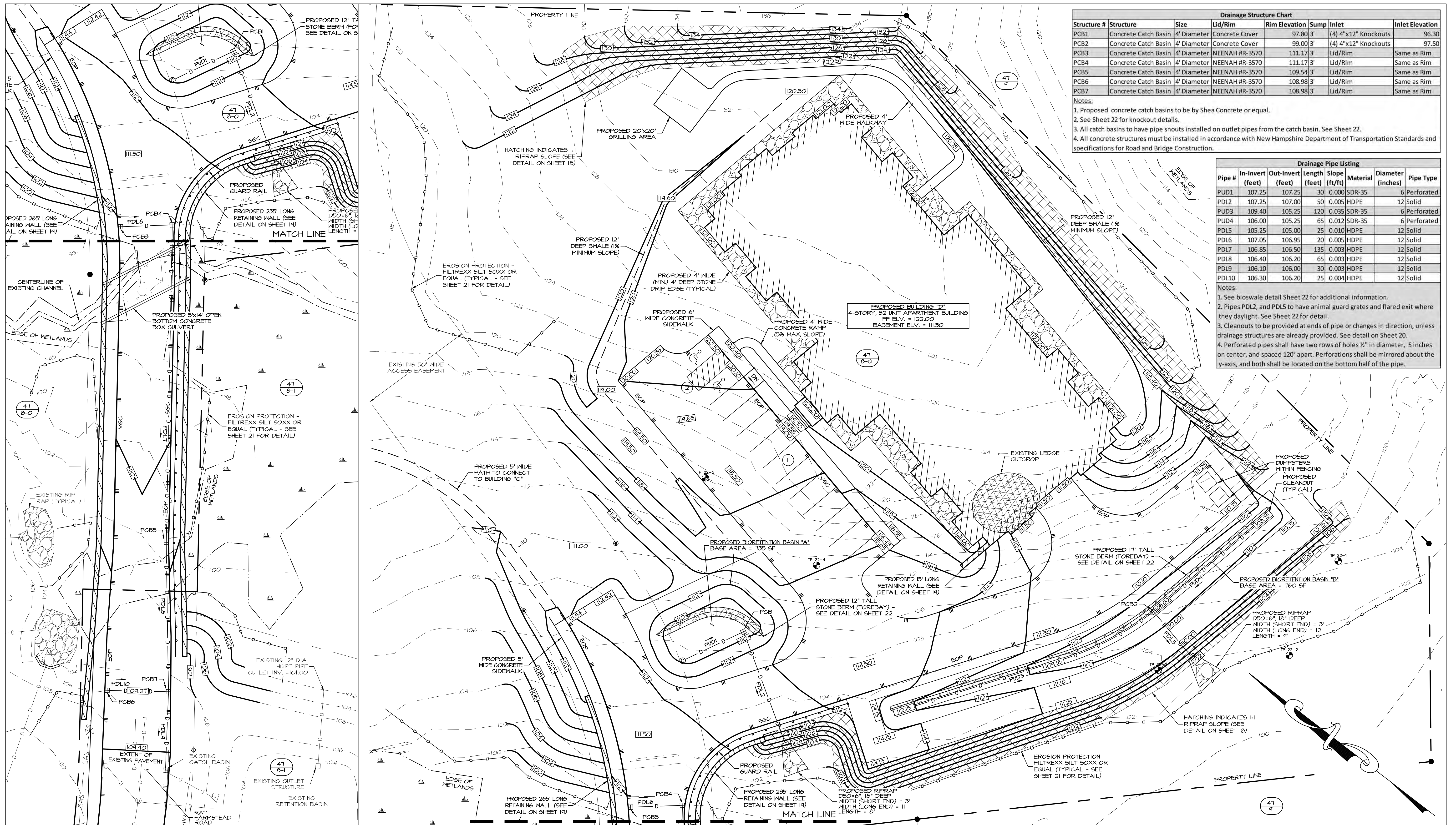
SCALE: 1" = 20'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
**BUILDING "D" AT RAY FARM**  
OFF  
**RAY FARMSTEAD ROAD**

PLAN TITLE  
**SITE PLAN**  
SHEET: 8

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





Drainage Structure Chart							
Structure #	Structure	Size	Lid/Rim	Rim Elevation	Sump	Inlet	Inlet Elevation
PCB1	Concrete Catch Basin	4' Diameter	Concrete Cover	97.80	3'	(4) 4"x12" Knockouts	96.30
PCB2	Concrete Catch Basin	4' Diameter	Concrete Cover	99.00	3'	(4) 4"x12" Knockouts	97.50
PCB3	Concrete Catch Basin	4' Diameter	NEENAH #R-3570	111.17	3'	Lid/Rim	Same as Rim
PCB4	Concrete Catch Basin	4' Diameter	NEENAH #R-3570	111.17	3'	Lid/Rim	Same as Rim
PCB5	Concrete Catch Basin	4' Diameter	NEENAH #R-3570	109.54	3'	Lid/Rim	Same as Rim
PCB6	Concrete Catch Basin	4' Diameter	NEENAH #R-3570	108.98	3'	Lid/Rim	Same as Rim
PCB7	Concrete Catch Basin	4' Diameter	NEENAH #R-3570	108.98	3'	Lid/Rim	Same as Rim

Notes:

1. Proposed concrete catch basins to be by Shea Concrete or equal.
2. See Sheet 22 for knockout details.
3. All catch basins to have pipe snouts installed on outlet pipes from the catch basin. See Sheet 22.
4. All concrete structures must be installed in accordance with New Hampshire Department of Transportation Standards and specifications for Road and Bridge Construction.

Drainage Pipe Listing						
Pipe #	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	Material	Pipe Type
PUD1	107.25	107.25	30	0.005	SDR-35	6 Perforated
PDL2	107.25	107.00	50	0.0005	HDPE	12 Solid
PUD3	109.40	105.25	120	0.035	SDR-35	6 Perforated
PUD4	106.00	105.25	65	0.012	SDR-35	6 Perforated
PDL5	105.25	105.00	25	0.010	HDPE	12 Solid
PDL6	107.05	106.95	20	0.005	HDPE	12 Solid
PDL7	106.85	106.50	135	0.003	HDPE	12 Solid
PDL8	106.40	106.20	65	0.003	HDPE	12 Solid
PDL9	106.10	106.00	30	0.003	HDPE	12 Solid
PDL10	106.30	106.20	25	0.004	HDPE	12 Solid

**Notes:**

1. See bioswale detail Sheet 22 for additional information.
2. Pipes PDL2, and PDL5 to have animal guard grates and flared exit where they daylight. See Sheet 22 for detail.
3. Cleanouts to be provided at ends of pipe or changes in direction, unless drainage structures are already provided. See detail on Sheet 20.
4. Perforated pipes shall have two rows of holes  $\frac{1}{2}$ " in diameter, 5 inches on center, and spaced 120° apart. Perforations shall be mirrored about the y-axis, and both shall be located on the bottom half of the pipe.



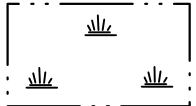


NHDES STANDARD DREDGE AND FILL WETLANDS APPLICATION TABLE					
JURISDICTIONAL AREA	AREA LABEL	PERMANENT IMPACT (SF)	PERMANENT IMPACT (LF)	TEMPORARY IMPACT (SF)	TEMPORARY IMPACT (LF)
FORESTED WETLAND	A & B	735	N/A	408	N/A
PERENNIAL STREAM	A & B	202	132	80	19
FORESTED WETLAND	C	128	N/A	241	N/A
TOTAL	A, B, & C	1665	132	735	19


NOTE: THE PERMANENT LINEAR IMPACT TO THE PERENNIAL STREAM IS CALCULATED AS THREE TIMES THE PROPOSED BOX CULVERT LENGTH. THIS INCLUDES BOTH BANKS AND THE STREAMBED WITHIN THE IMPACT AREA.

PROPOSED WETLAND IMPACT AREAS			
AREA LABEL	AREA (SQUARE FEET)	AREA (ACRES)	IMPACT TYPE
A	465	0.011	WETLAND
B	472	0.011	WETLAND
C	128	0.011	WETLAND
D	219	0.004	BUFFER
E	198	0.005	BUFFER
F	9,462	0.217	BUFFER
G	3,146	0.072	BUFFER
WETLAND TOTAL	1665	0.038	WETLAND
BUFFER TOTAL	12,806	0.294	BUFFER
WETLAND + BUFFER	14,471	0.332	WETLAND + BUFFER

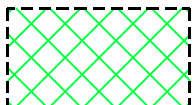
**LEGEND**



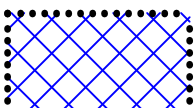
WETLANDS



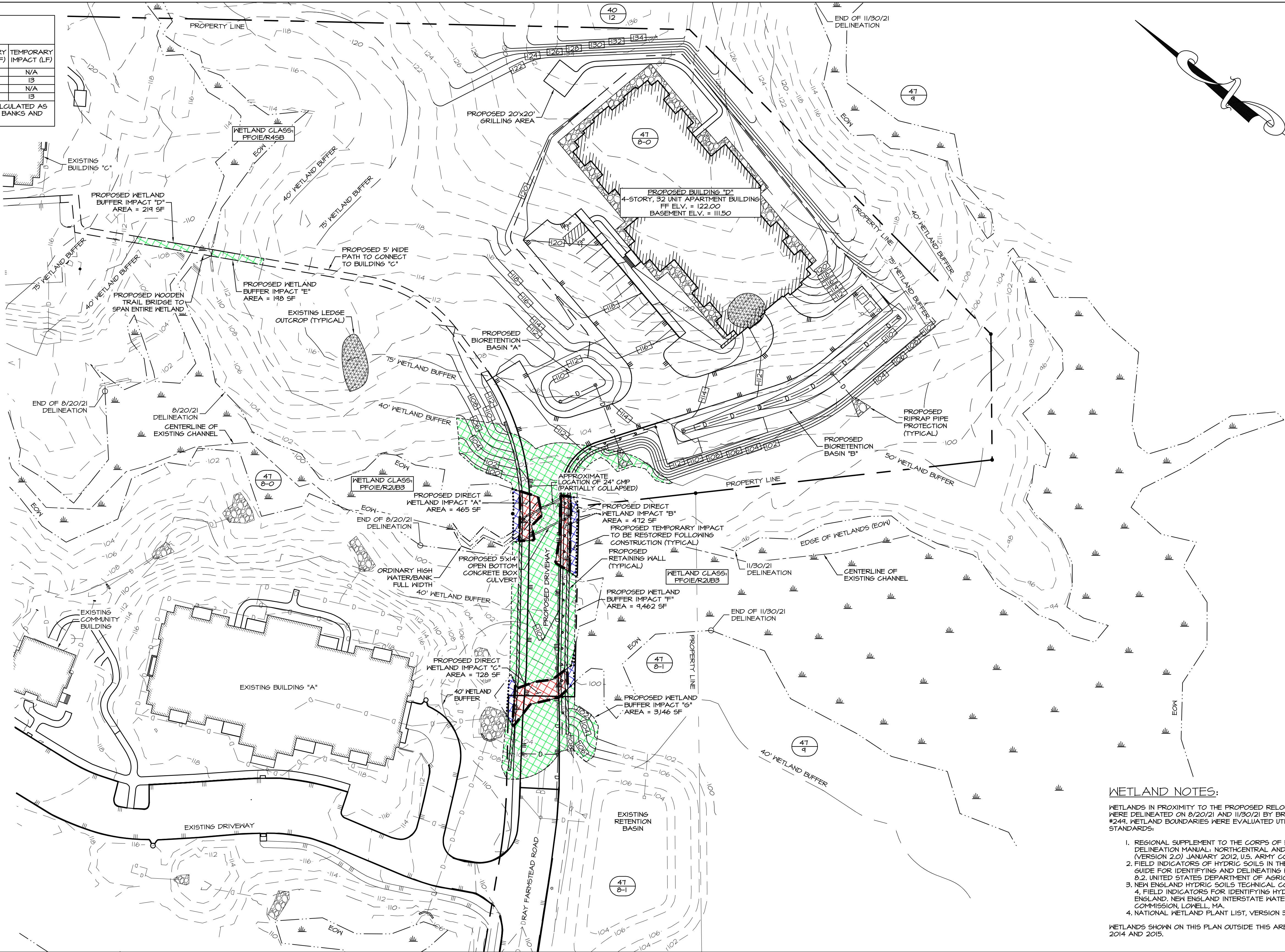
DIRECT WETLAND IMPACT (1665 SQUARE FEET)



WETLAND BUFFER IMPACT (12,806 SQUARE FEET)



TEMPORARY IMPACTS TO BE RESTORED FOLLOWING CONSTRUCTION (735 SF)

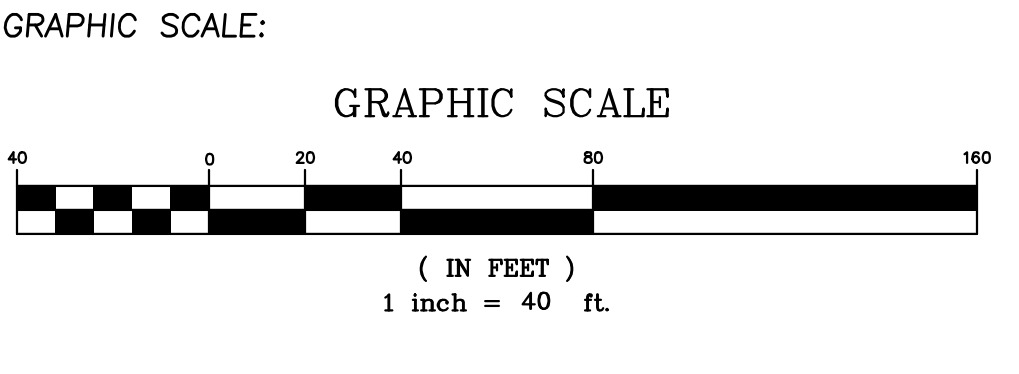


**WETLAND NOTES:**

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHKWS #244. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
3. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2019 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
4. NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.



RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
1	11/18/25	FOR APPROVAL	JJM		
NO.	DATE	DESCRIPTION	BY		

**CEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

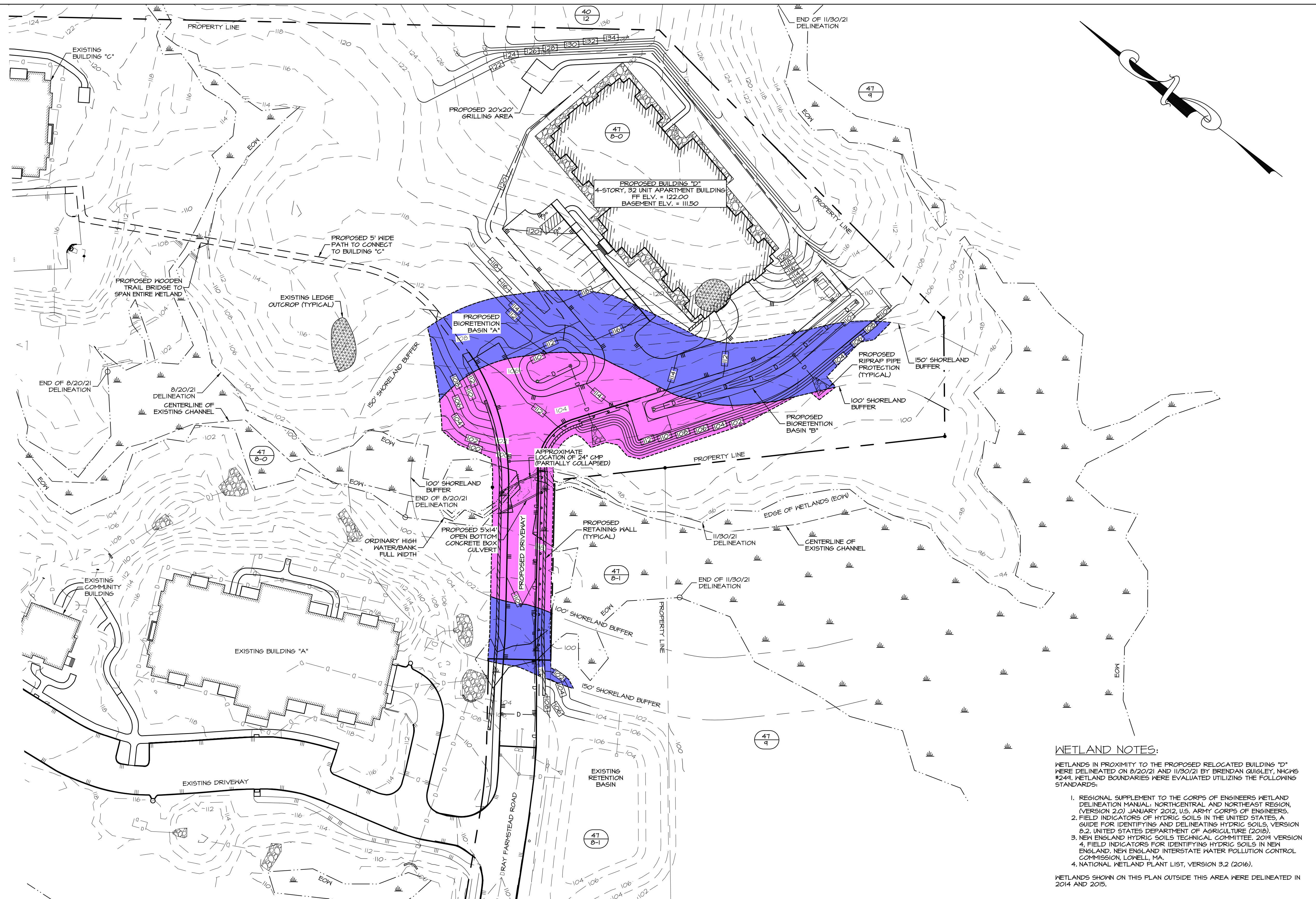
SCALE: 1" = 40'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
**WETLAND  
IMPACT  
PLAN**  
SHEET: 12

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





GRAPHIC SCALE:



GRAPHIC SCALE

40 0 20 40 60 80 160

( IN FEET )

1 inch = 40 ft.

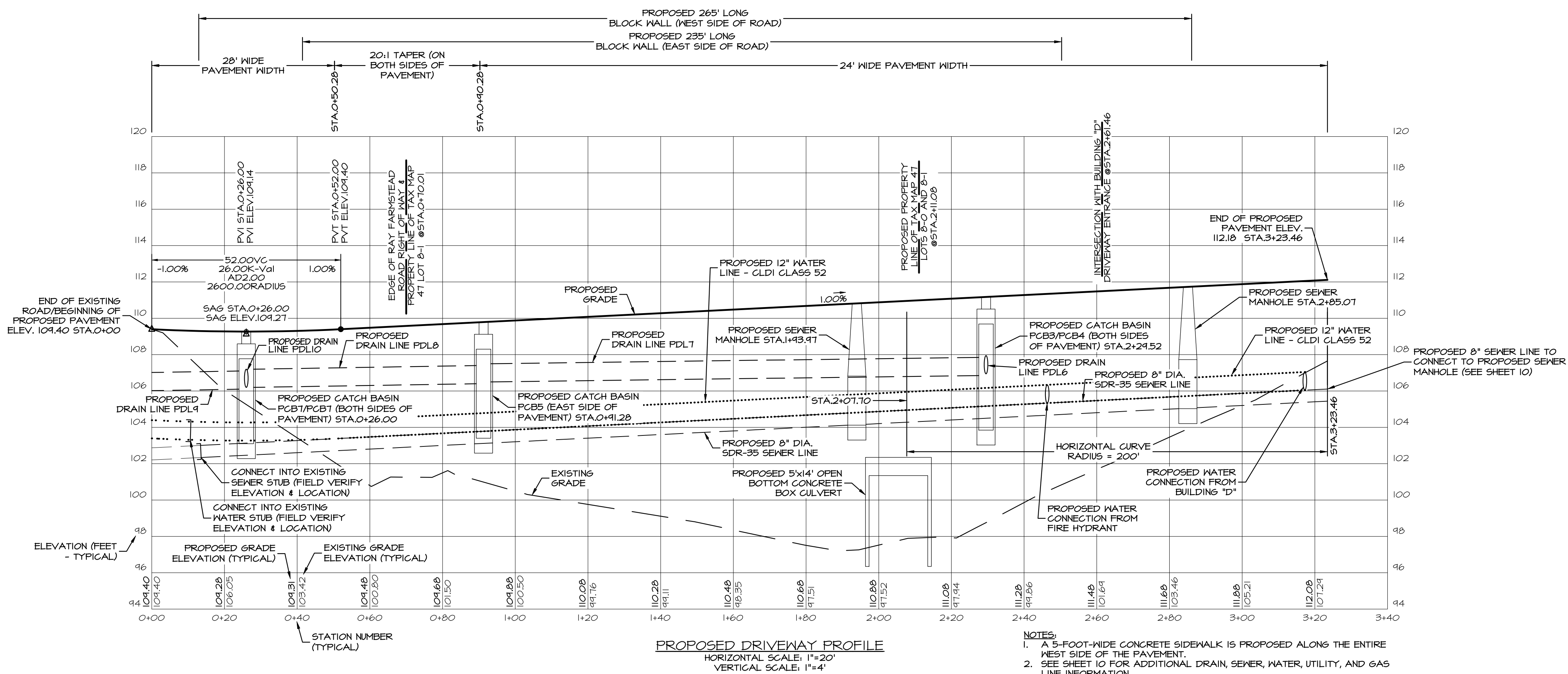
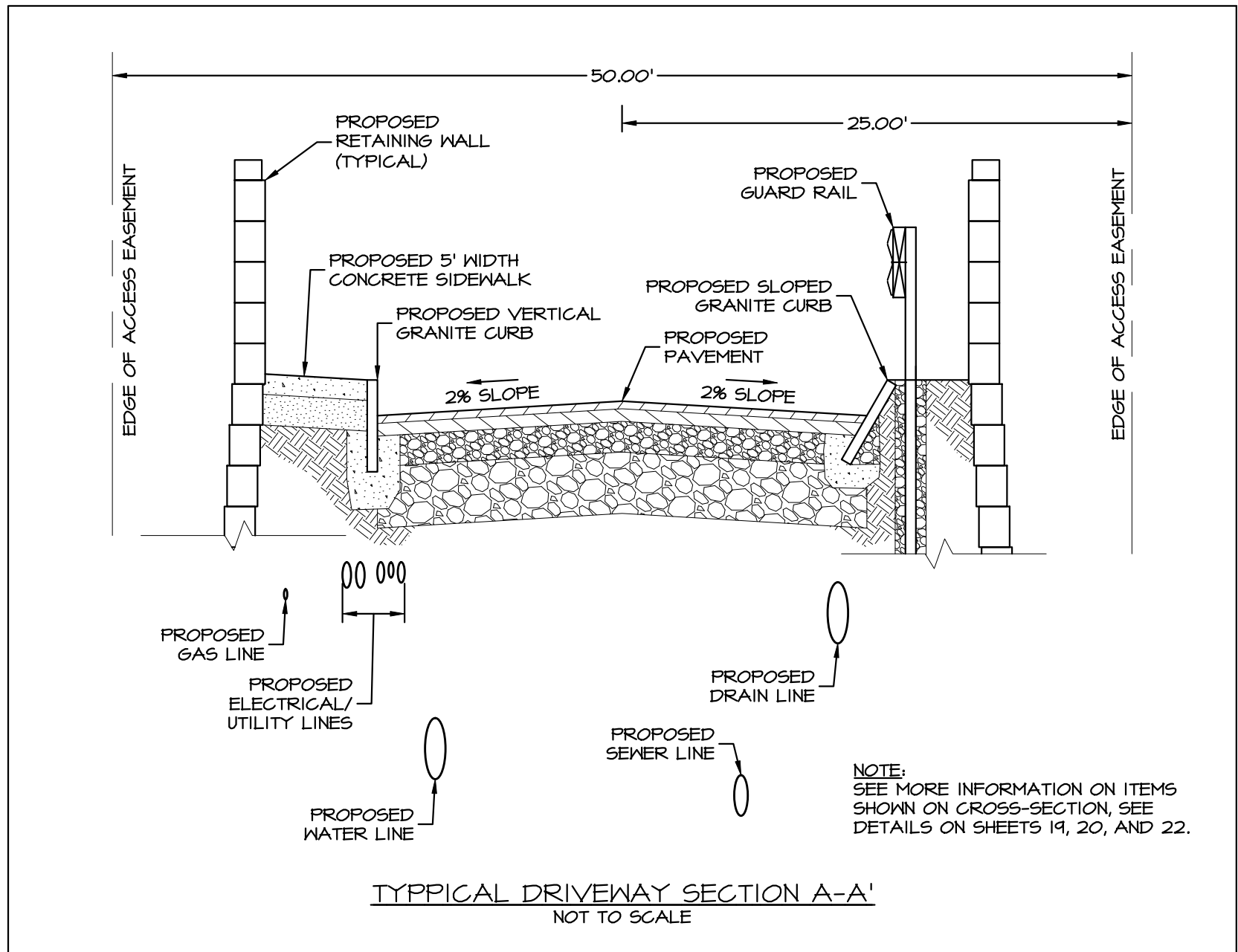
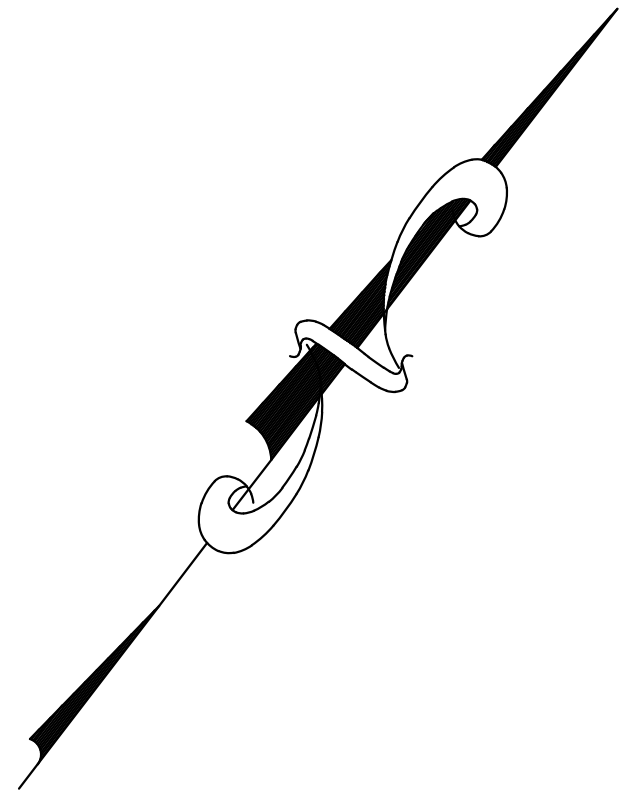
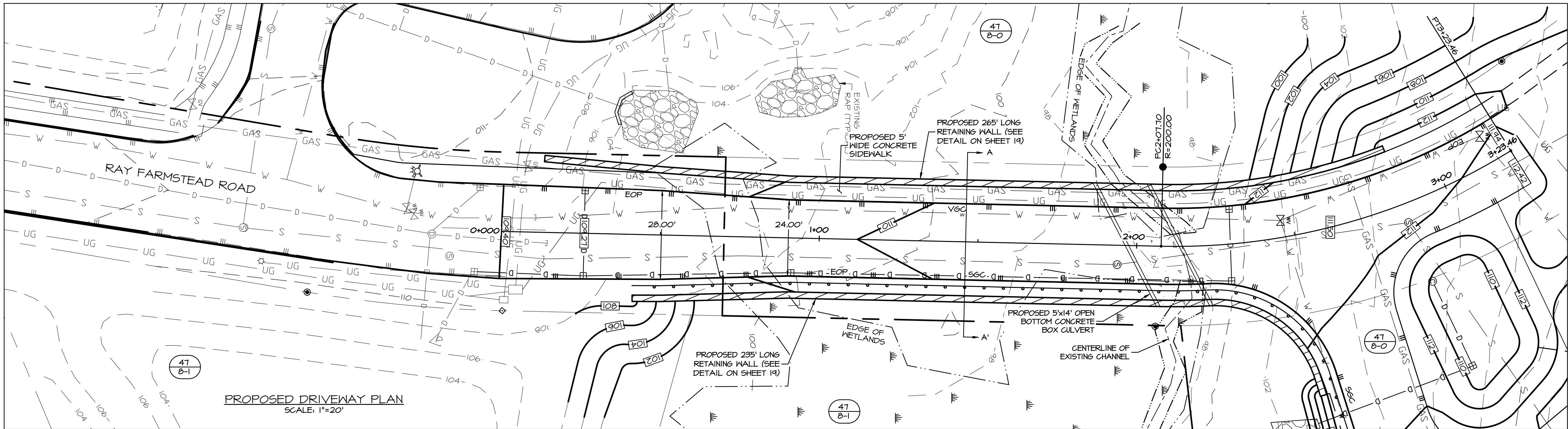
RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				
	NO.	DATE	DESCRIPTION	BY

 <p><b>CIVIL &amp; STRUCTURAL CONSULTANTS, LAND PLANNERS</b></p> <p>100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   EMANUELEENGINEERING.COM ©2025</p>	 <p><b>MILLENNIUM ENGINEERING, INC.</b> ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528</p>		
	SCALE: 1" = 40'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS		

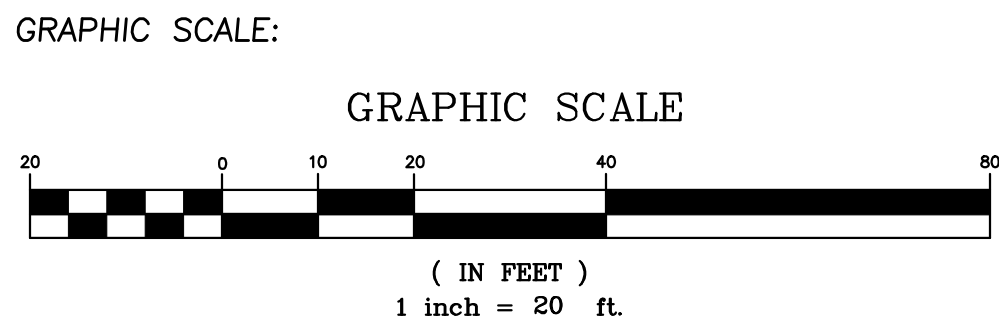
<p style="text-align: center;"><b>SITE PLAN</b></p> <p style="text-align: center;">IN</p> <p style="text-align: center;"><b>EXETER, NH</b></p> <hr/> <p style="text-align: center;">SHOWING</p> <p style="text-align: center;">BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD</p>	<p>PLAN TITLE</p> <p style="text-align: center;"><b>SHORELAND IMPACT PLAN</b></p>
	<p>SHEET: 12.1</p>

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





- NOTES:
1. A 5-FOOT-WIDE CONCRETE SIDEWALK IS PROPOSED ALONG THE ENTIRE WEST SIDE OF THE PAVEMENT.
  2. SEE SHEET 10 FOR ADDITIONAL DRAIN, SEWER, WATER, UTILITY, AND GAS LINE INFORMATION.
  3. PROPOSED PAVEMENT ELEVATIONS ARE SHOWN AT THE DRIVEWAY CENTERLINE. DRAIN, SEWER, AND WATER UTILITIES ARE LOCATED AT SPECIFIC OFFSETS FROM THE CENTERLINE, AS SHOWN ON THE TYPICAL DRIVEWAY CROSS SECTION DETAIL ON THIS SHEET AND ON SHEET 10.
  4. DUE TO THE ANGLED ALIGNMENT OF THE PROPOSED BOX CULVERT, THE PROPOSED SEWER MANHOLE MAY APPEAR CLOSER TO THE BOX CULVERT THAN IT ACTUALLY IS. A MINIMUM HORIZONTAL SEPARATION OF 5 FEET SHALL BE MAINTAINED BETWEEN THE MANHOLE AND THE BOX CULVERT.



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY

**CEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'  
DATE: NOV. 10, 2025

CALC. BY: JJM  
CHKD. BY: BDS

PROJECT: 25-1019

**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
**DRIVEWAY  
PLAN AND  
PROFILE**  
SHEET: 13

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



EROSION AND SEDIMENTATION CONTROL - CONSTRUCTION PHASING AND SEQUENCING:

1. SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
2. INSTALL SILT FENCING AND/OR HAY BALE BARRIERS AS PER DETAILS AND AT SEDIMENT MIGRATION.
3. CONSTRUCT TREATMENT SNAILES , LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
4. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(S) AS PER DETAIL AND AT LOCATIONS SHOWN ON THE DRAWINGS. MAINTAIN (TOP DRESS) REGULARLY TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS.
5. STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL..
6. ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
7. FINISH GRADE AND COMPACT SITE.
8. RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
9. STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDINGS.
10. RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
11. SILT FENCING AND HAY BALES TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO INSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT FENCING, HAY BALES AND TRAPPED SILT ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
12. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
13. PONDS AND SNAILES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
14. ALL DITCHES AND SNAILES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
15. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 12 HOURS OF ACHIEVING FINISH GRADE.
16. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 12 HOURS OF ACHIEVING FINISH GRADE.
17. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
18. BUOYANCY CALCULATIONS HAVE NOT BEEN PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANCHORAGE FOR ALL TANKS WHERE REQUIRED.

WINTER CONSTRUCTION NOTES (OCTOBER 15 TO MAY 1):

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SNAILES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

ROCK INFILTRATION AREA MAINTENANCE:

THE ROCK INFILTRATION AREA SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE ROCK HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW ANY OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS; FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAIL WATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

EROSION AND SEDIMENTATION CONTROL - GENERAL NOTES:

1. CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. SEE ENV-MG 1505.03.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON NEW HAMPSHIRE STORMWATER MANUAL, VOLUMES 1-3; DATED DECEMBER 2008, PREPARED BY NHDES.
3. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. SEE WINTER CONSTRUCTION NOTES IF SCHEDULE AND DATES ARE APPLICABLE.
6. ALL DITCHES, SNAILES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
7. ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED IN THE SHORTEST PRACTICAL TIME. ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE.
8. EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED.
9. TEMPORARY & LONG TERM SEEDING: USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
10. STRAW OR HAY BALE BARRIERS AND SILTATION FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT FENCE AND ANY EDGE OF WET AREA.
11. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
12. SEDIMENT BASIN(S), IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
13. STRAW BALE AND/OR SILT FENCE BARRIERS WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL, NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
14. TREATMENT SNAILES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
15. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 480:55 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
16. TEMPORARY WATER DIVERSION (SNAILES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.

SEEDING AND STABILIZATION FOR LOAMED SITE:

1. FOR TEMPORARY & LONG TERM SEEDINGS (BY SEPTEMBER 15 OF THE SAME YEAR OF DISTURBANCE) USE ASWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL.
2. COMPONENTS: ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE.
3. FERTILIZER & LIME:
  - NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE.
4. MULCH: HAY OR STRAW 1.5-2 TONS/ACRE.
5. GRADING AND SHAPING:
  - SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
6. SEED BED PREPARATION
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

STABILIZATION CONSTRUCTION ENTRANCE SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE (MINIMUM), RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET (OR 50 FEET WITH A 3 TO 6 INCH MOUNTABLE BERM).
3. THE THICKNESS OF THE STONE FOR THE STABILIZATION ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

FILTREXX LAND IMPROVEMENT SYSTEMS INSPECTION & MAINTENANCE:

1. CONSULT FILTREXX SWPP CUT SHEETS FOR ALL FILTREXX PRODUCTS PRIOR TO INSTALLATION AND FOR MAINTENANCE GUIDELINES. [HTTP://WWW.FILTREXX.COM/DESIGN CUT\\_SHEETS.HTM](http://www.filtrex.com/design_cut_sheets.htm)
2. ROUTINE INSPECTION SHOULD BE CONDUCTED WITHIN 24 HRS OF A RUNOFF EVENT OR AS DESIGNATED BY THE REGULATING AUTHORITY. UNITS SHOULD BE REGULARLY INSPECTED TO MAKE SURE THEY MAINTAIN THEIR SHAPE AND ARE PRODUCING ADEQUATE HYDRAULIC FLOW-THROUGH, DITCH/CHANNEL EROSION CONTROL, AND SEDIMENT REMOVAL.
3. IF PONDING BECOMES EXCESSIVE, ADDITIONAL CHECK DAMS, LEVEL SPREADERS, OR SEDIMENT CONTROL UNITS FOR SEDIMENT REMOVAL MAY BE REQUIRED.
4. SEDIMENT ACCUMULATION SHOULD BE REMOVED ONCE IT REACHES THE HEIGHT OF THE CHECK DAM OR UNIT. ALTERNATIVELY, ANOTHER UNIT MAY BE INSTALLED SLIGHTLY UPSLOPE, ON TOP OF THE EXISTING ONE. THIS PROCESS IS NOT CONSIDERED A SOIL DISTURBING ACTIVITY.
5. STORM DEBRIS ACCUMULATION BEHIND CHECK DAMS, LEVEL SPREADER, SEDIMENT CONTROL UNIT, ETC. SHOULD NEVER BE HIGHER THAN THE SIDES OF THE CHECK DAM/UNIT. STORM RUNOFF OVERFLOW SHALL MAINTAIN THE UNITS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
6. IF A UNIT HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR REPLACED IF BEYOND REPAIR.
7. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF UNITS WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SOXX, OR AS DIRECTED BY THE ENGINEER.
8. AS AN ALTERNATIVE, ANOTHER SOXX UNIT MAY BE INSTALLED ADJACENT AND PARALLEL TO THE UPSLOPE SIDE OF THE ORIGINAL TO INCREASE SEDIMENT STORAGE CAPACITY. SOXX SEDIMENT BACKUP IN CENTER OF THE DITCH/CHANNEL SHALL REMAIN LOWER THAN THE SIDES.
9. IF SOXX UNIT BECOMES CLOGGED WITH DEBRIS AND SEDIMENT, IMMEDIATE REMOVAL OF DEBRIS AND SEDIMENT SHOULD BE CONDUCTED TO ASSURE PROPER DRAINAGE AND WATER FLOW THROUGH THE DITCH OR CHANNEL. STORM RUNOFF OVERFLOW OF THE SOXX UNIT IS ACCEPTABLE.
10. SOXX UNITS SHALL BE MAINTAINED UNTIL DISTURBED AREA AROUND THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
11. THE FILTER-MEDIATH MAY BE DISPERSED ON SITE ONCE DISTURBED AREA HAS PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY CEASED, OR DETERMINED BY THE ENGINEER.
12. PERMANENT VEGETATED FILTER STRIPS WILL BE LEFT INTACT.

BLASTING NOTES - BEST MANAGEMENT PRACTICES (Env-Mg 1510)

- 10.03 LOADING PRACTICES:
- A. THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
    - 1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
    - 2) GROUNDWATER CONDITIONS.
  - B. THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER.
  - C. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE THAT THEY ARE:
    - 1) USED IN BOREHOLE.
    - 2) RETURNED TO THE DELIVERY VEHICLE; OR
    - 3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
  - D. SPILLAGE AROUND THE BOREHOLE SHALL BE:
    - 1) PLACED IN BOREHOLE; OR
    - 2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
  - E. LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
  - F. LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
  - G. EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

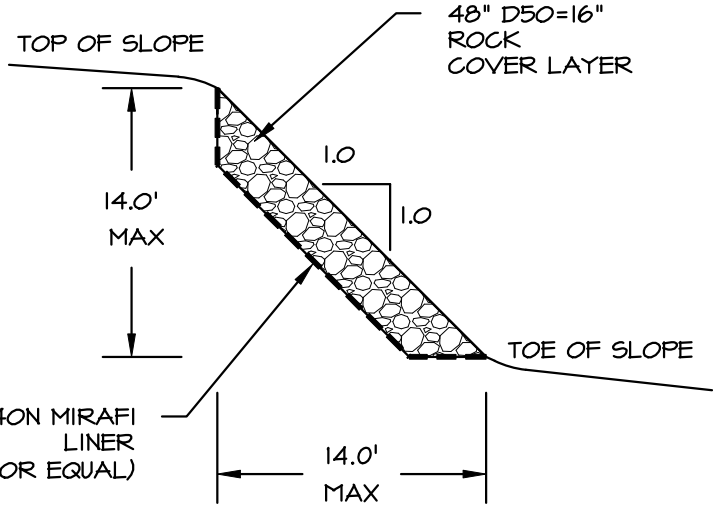
(BLASTING NOTES CONTINUED)

- 10.04 EXPLOSIVE SELECTION:
- A. APPROPRIATE FOR SITE SITE CONDITIONS AND SAFE BLAST EXECUTION; AND
  - B. HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT.
- 10.05 PREVENTION OF MISFIRES:
- A. INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.
- 10.06 MUCK AND ROCK MANAGEMENT:
- A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
    - 1) "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
    - 2) "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
    - 3) "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.
  - B. MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
  - C. ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.
- 10.07 SPILL PREVENTION MEASURES & MITIGATION:
- A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-MG 401.04.
  - B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.

10.08 FUELING & MAINTENANCE OF CONSTRUCTION EQUIPMENT:

- A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
  - 1) PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
  - 2) THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLES THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;
  - 3) THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE DELIVERY TRUCK; AND
  - 4) PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
- B. IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:

- 1) ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
  - IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
  - HAS AN IMPERVIOUS FLOOR.
- 2) SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
- 3) FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETIS;
- 4) THE AREA WHERE FULE IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
  - IS ADJACENT TO THE FUEL CONTAINER(S);
  - EXTENDS BEYOND THE FULL REACH OR LENGTH OF THE FUEL HOSE.
- 5) SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
  - SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
  - LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
  - BACKFILLED WITH AT LEAST 6" OF SAND.

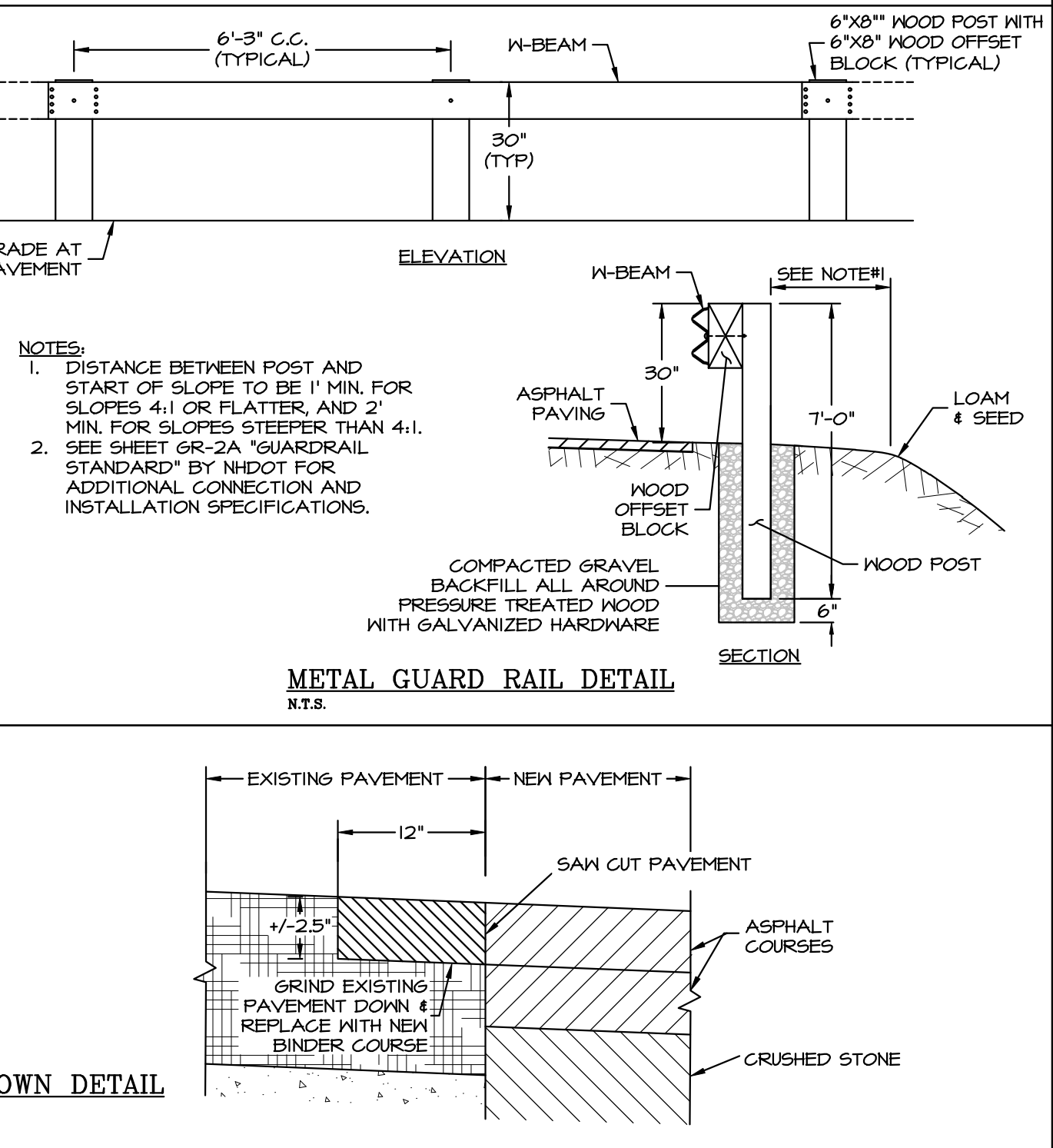
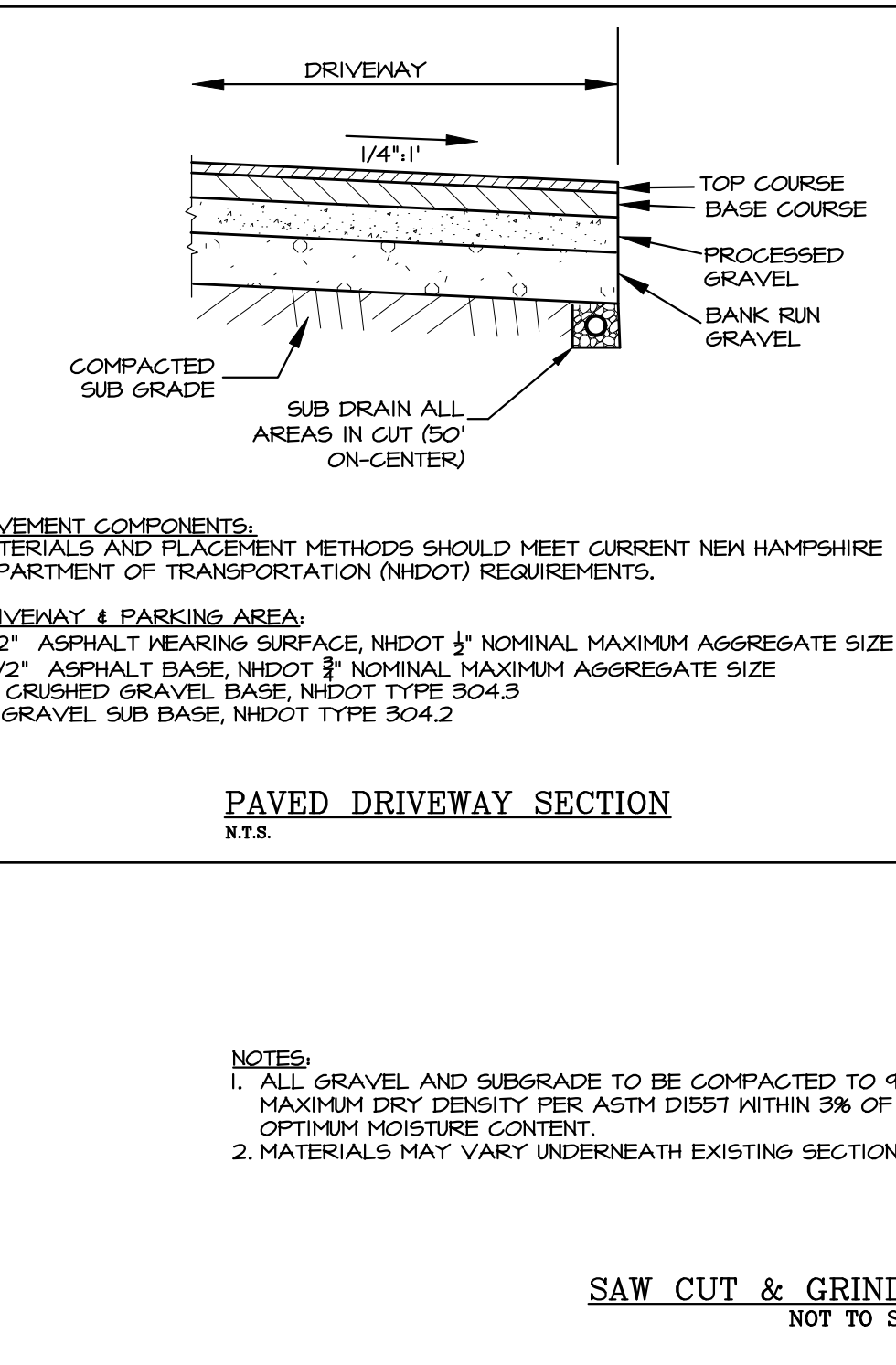
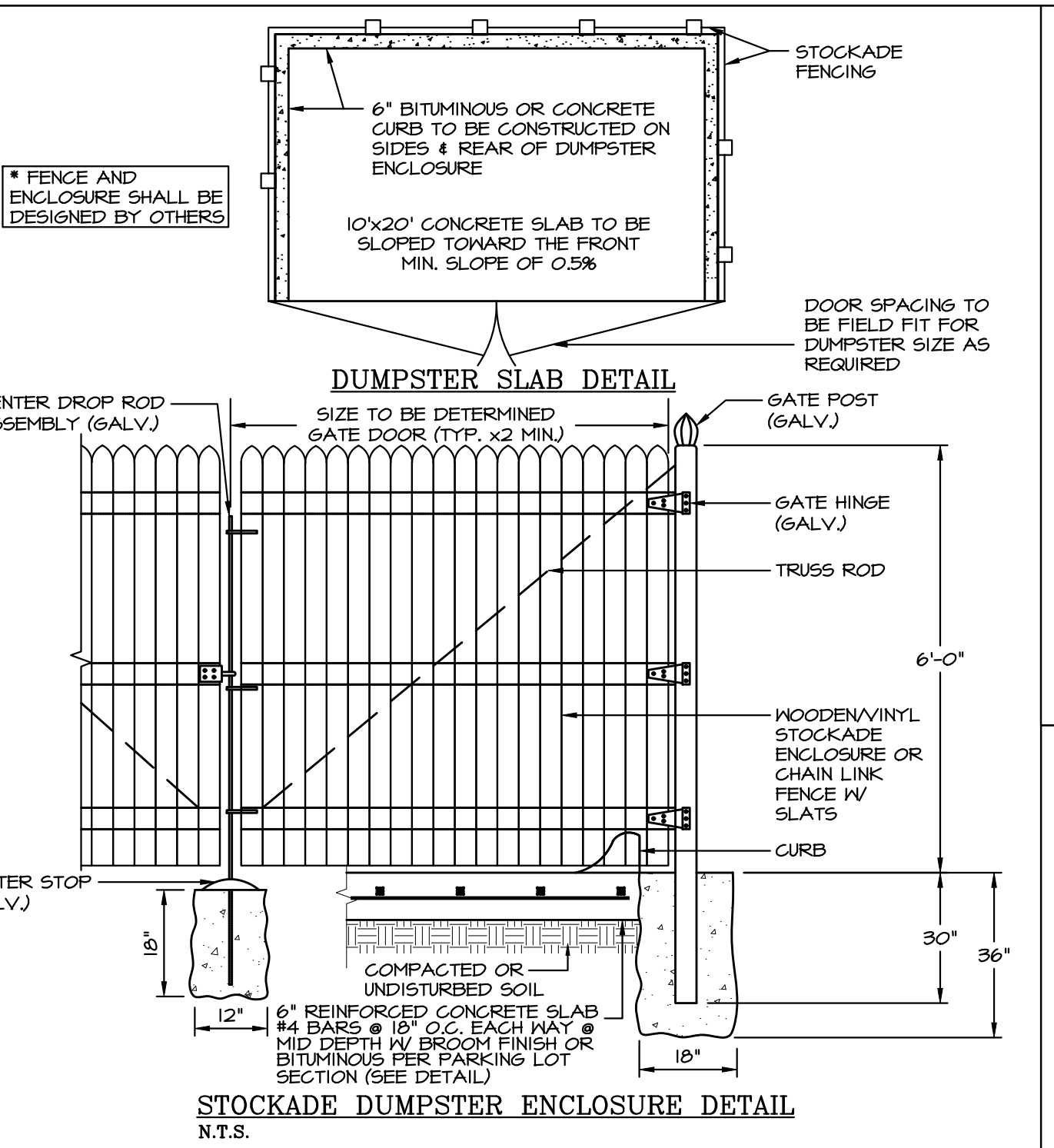
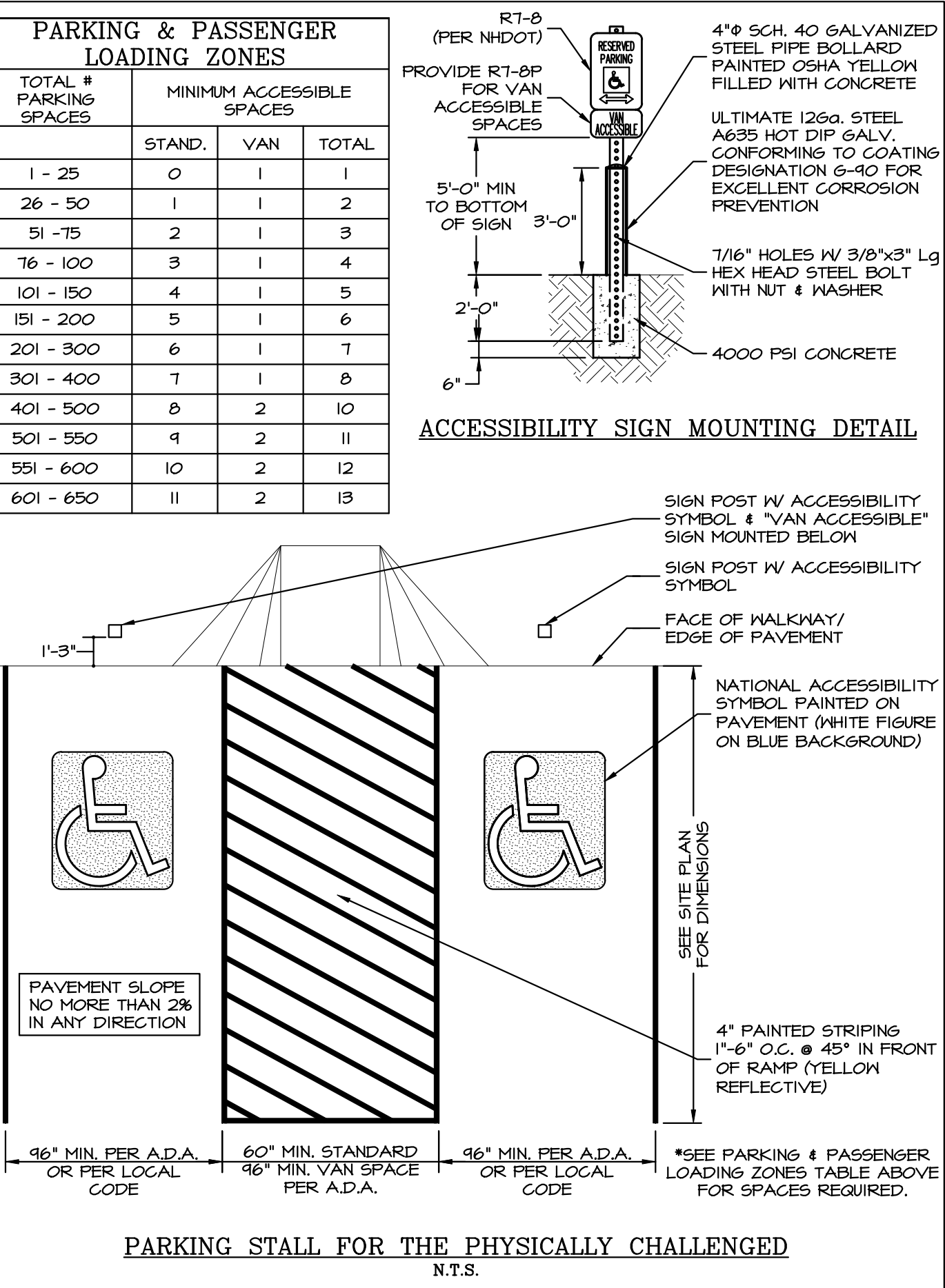
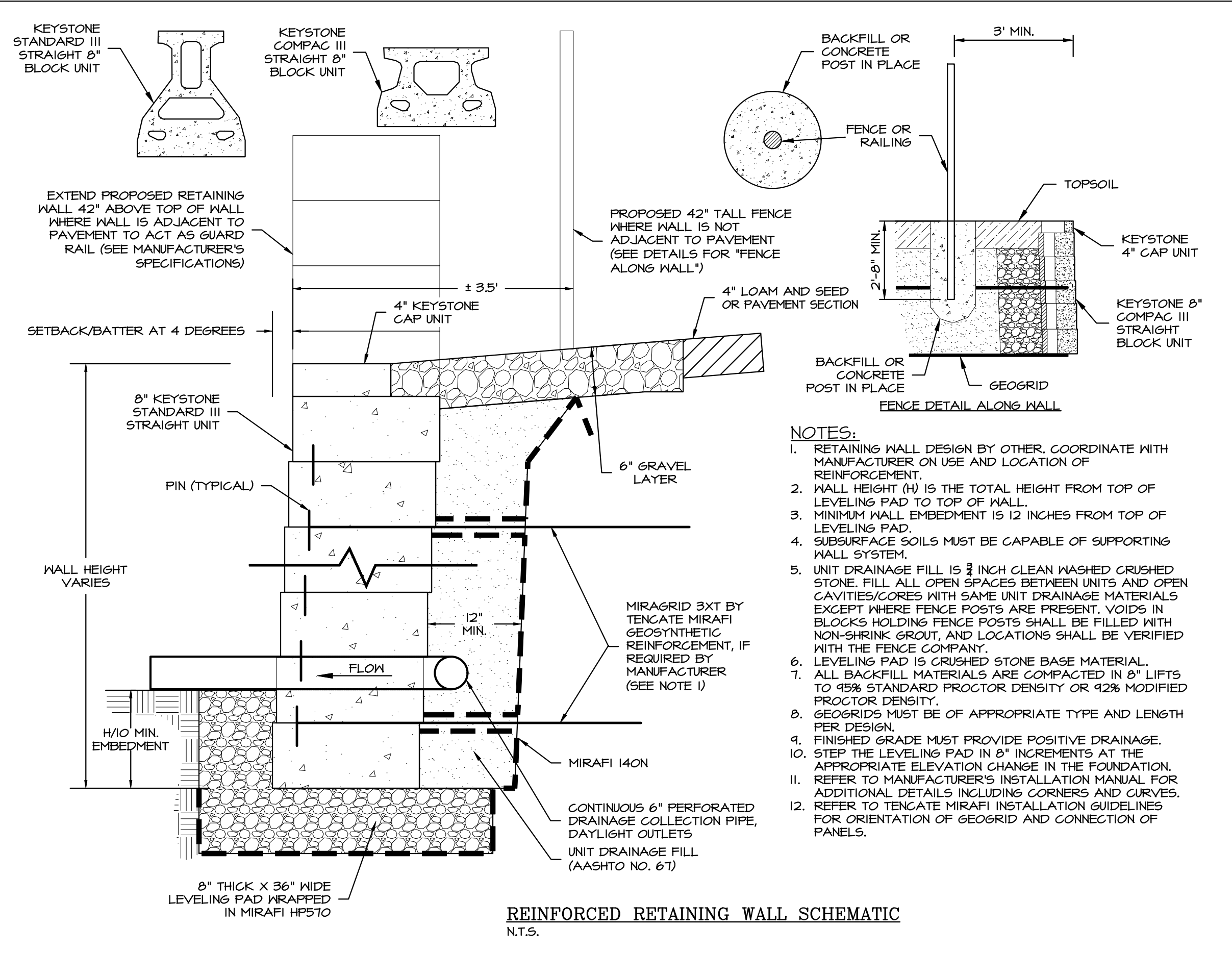
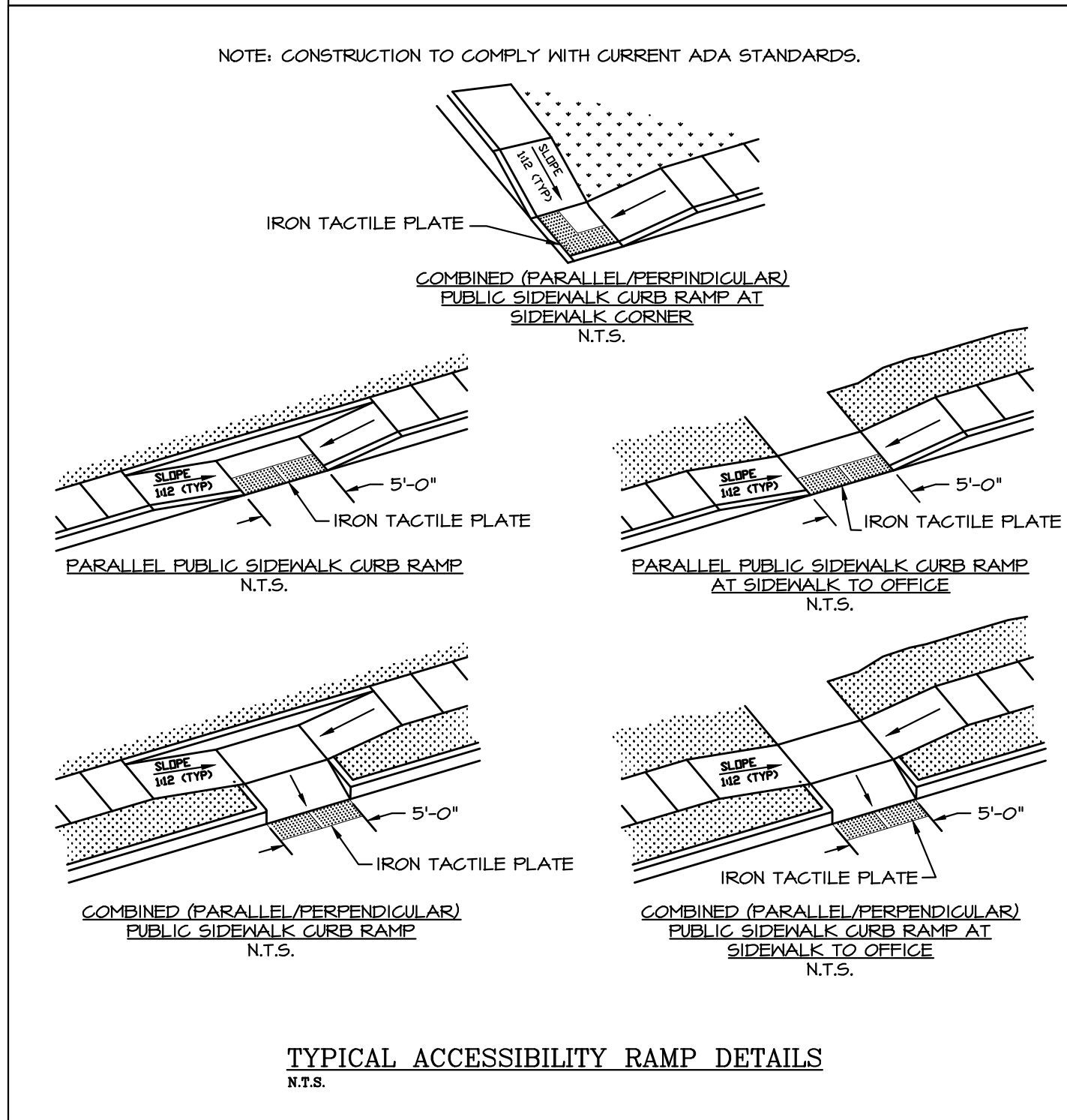
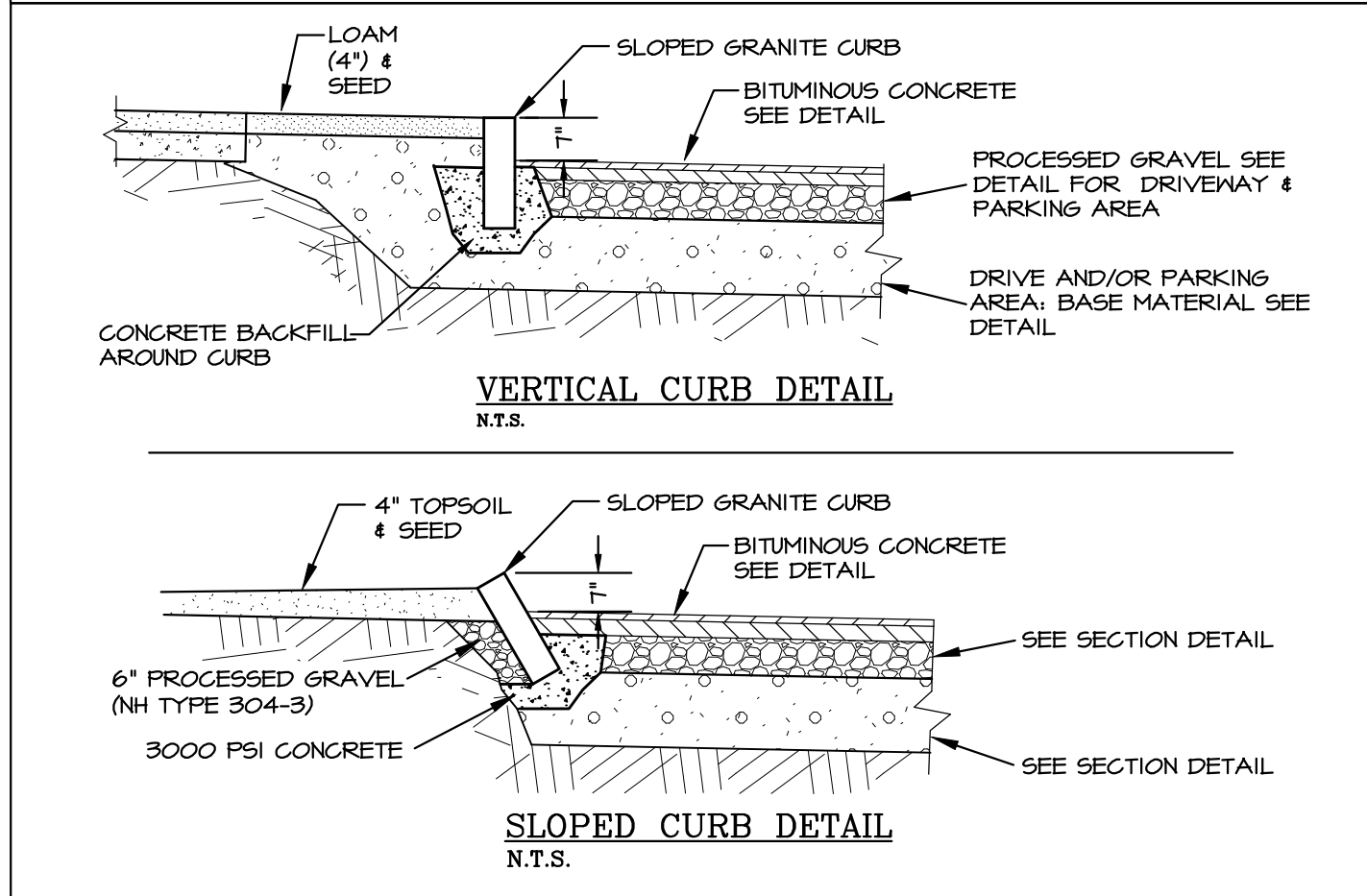
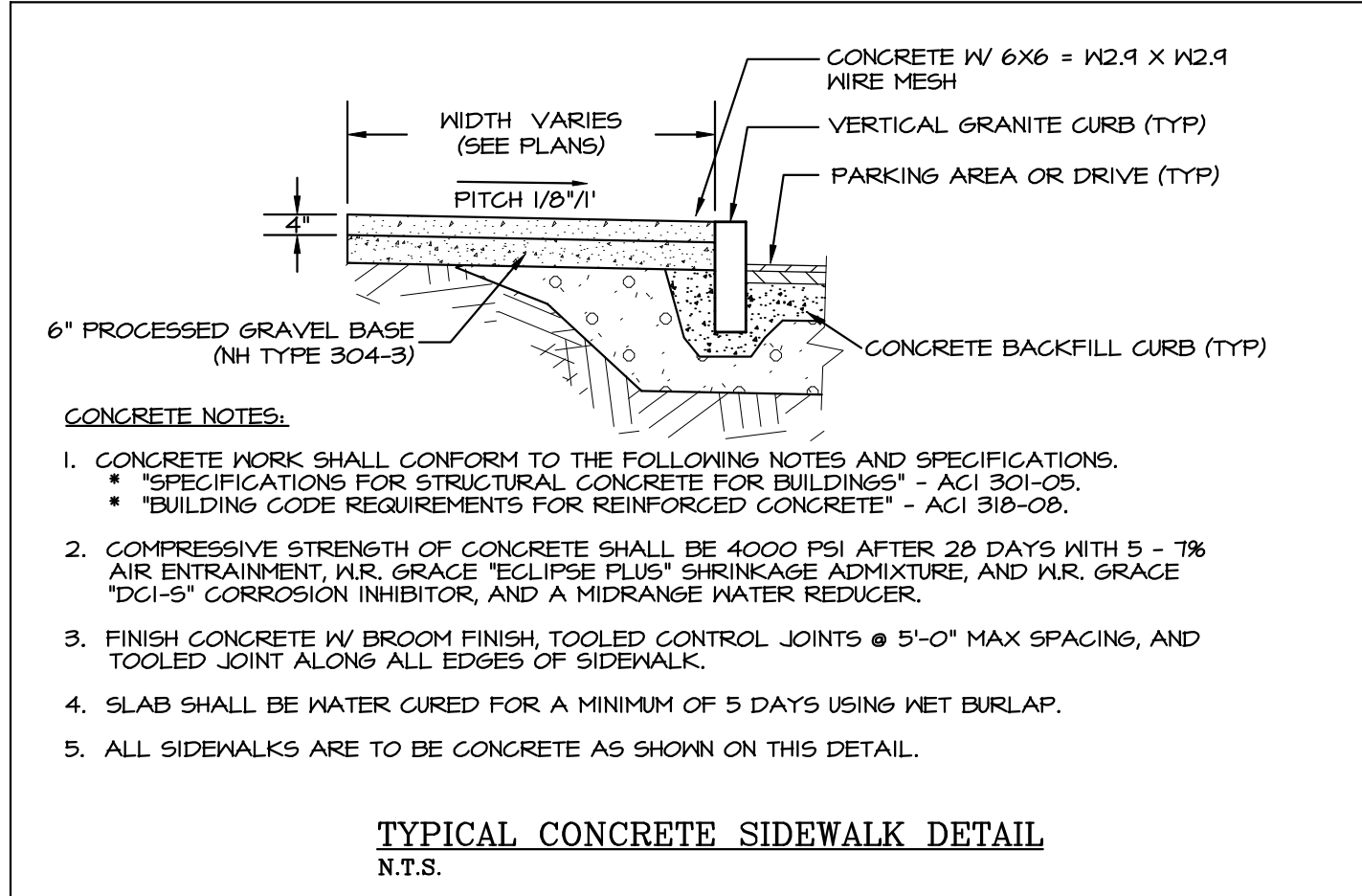


1:1 STEEP SLOPE DETAIL N.T.S.

GRAPHIC SCALE:	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					 CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   <a href="mailto:EMANUELENGINEERING.COM">EMANUELENGINEERING.COM</a> ©2025	 MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD	PLAN TITLE CONSTRUCTION NOTES SHEET: 18
		APPLICANT WILLEY CREEK CO, LLC							
		158 SHATTUCK WAY NEWINGTON, NH 03801	NO.	DATE	DESCRIPTION	BY			

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GRAPHIC SCALE:

RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
	NO.	DATE	DESCRIPTION	BY	

**FEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
603-772-4400 | EMANUELENGINEERING.COM ©2025

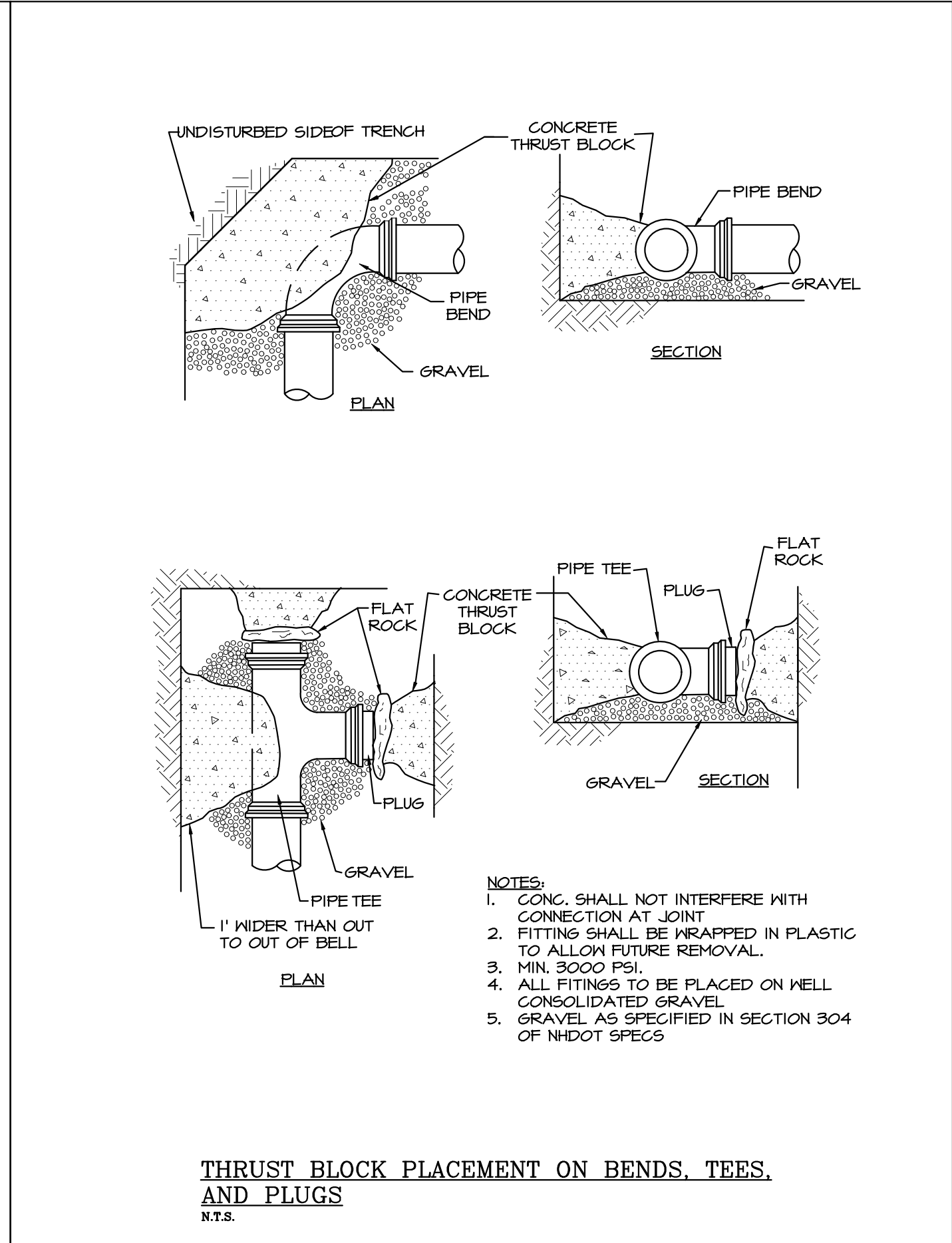
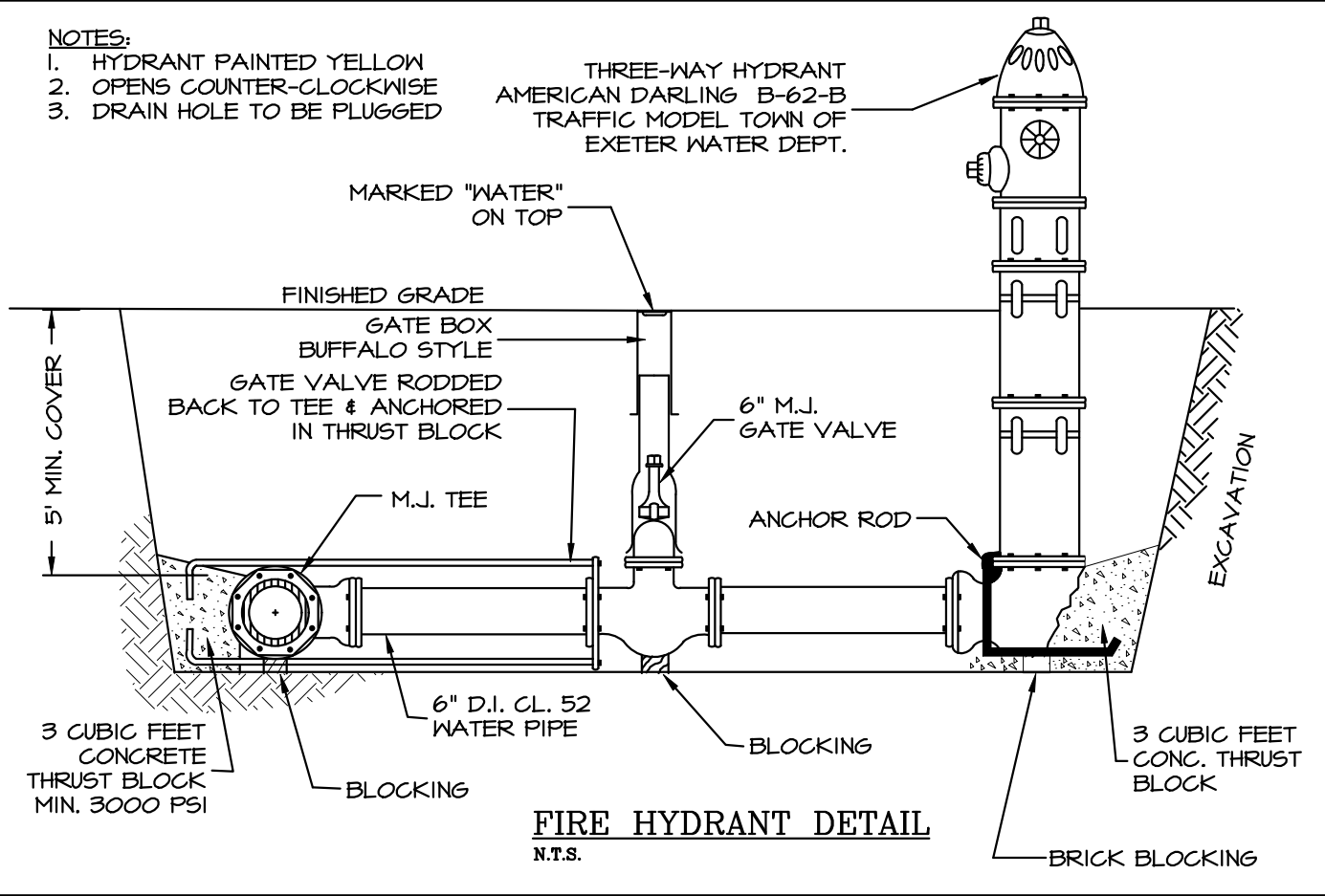
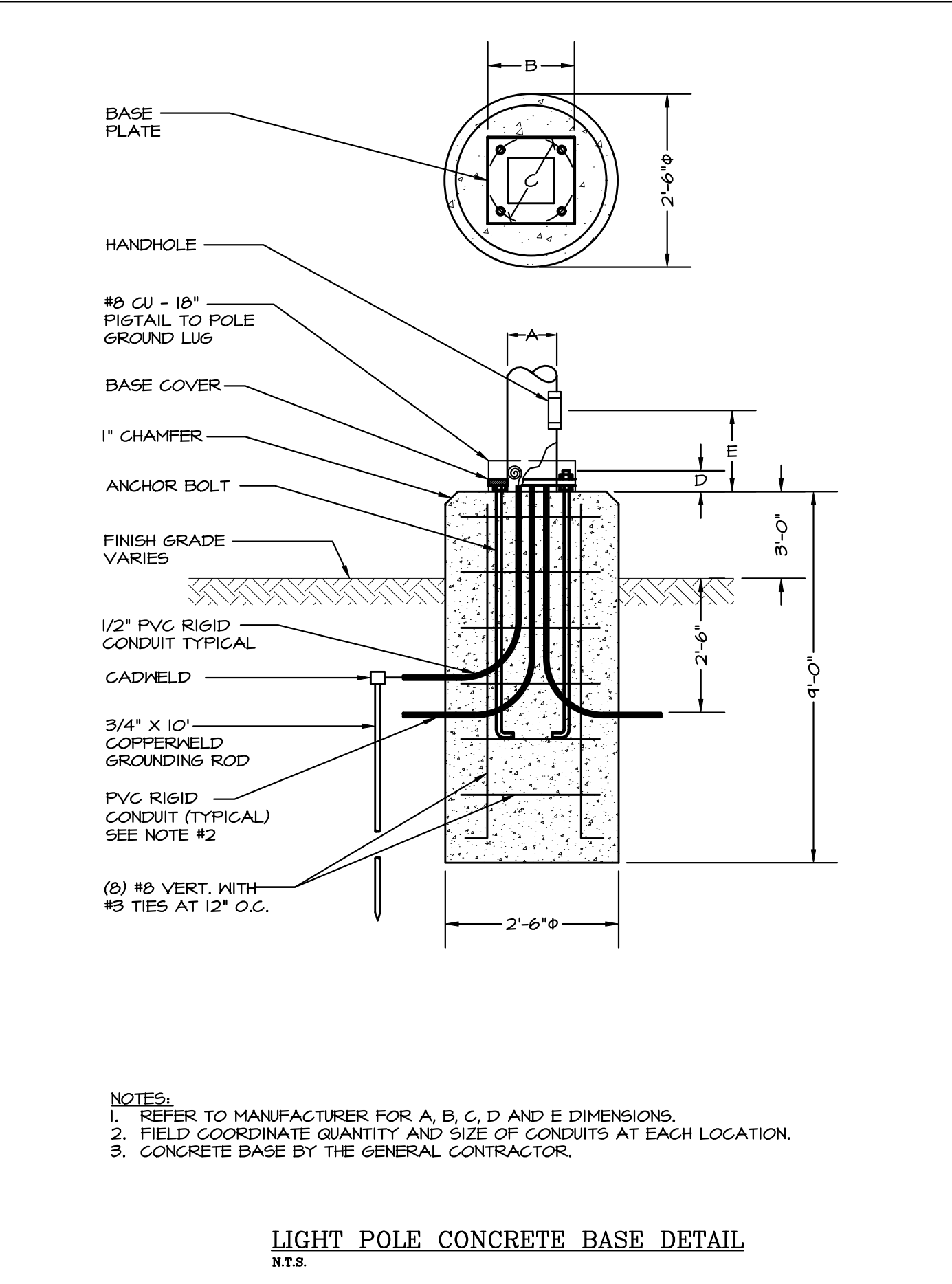
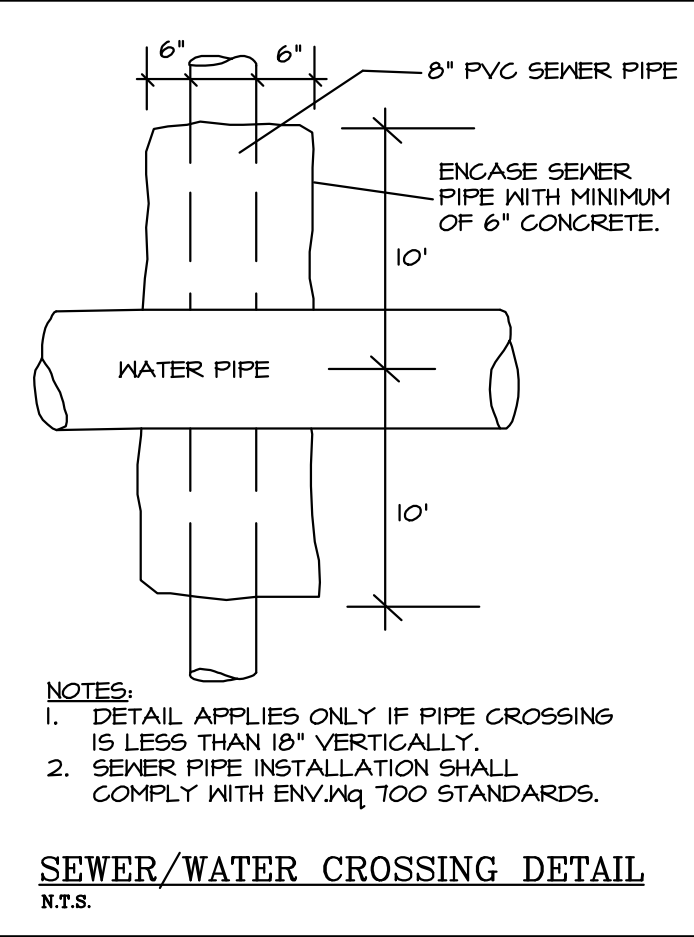
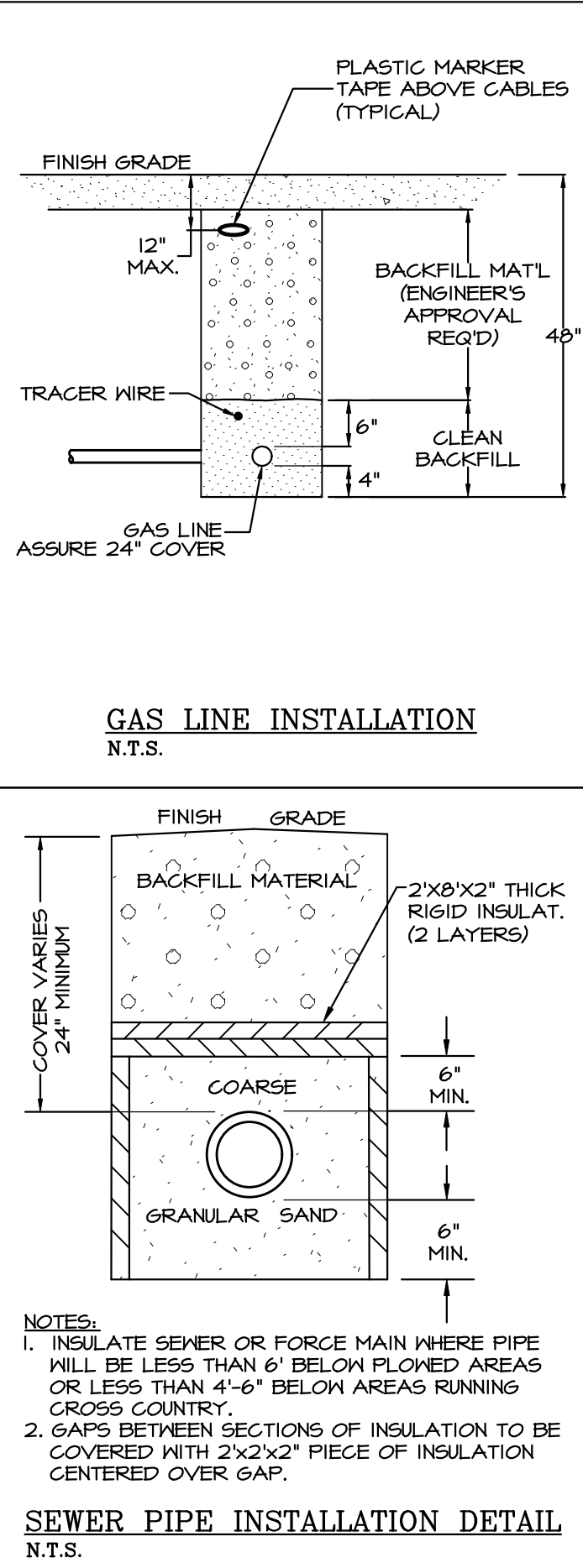
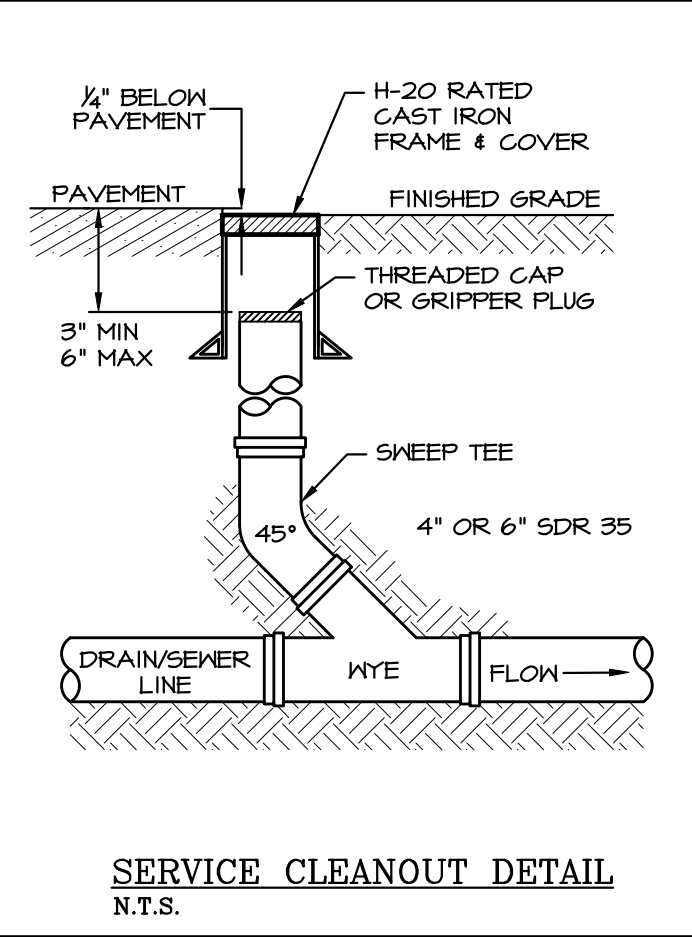
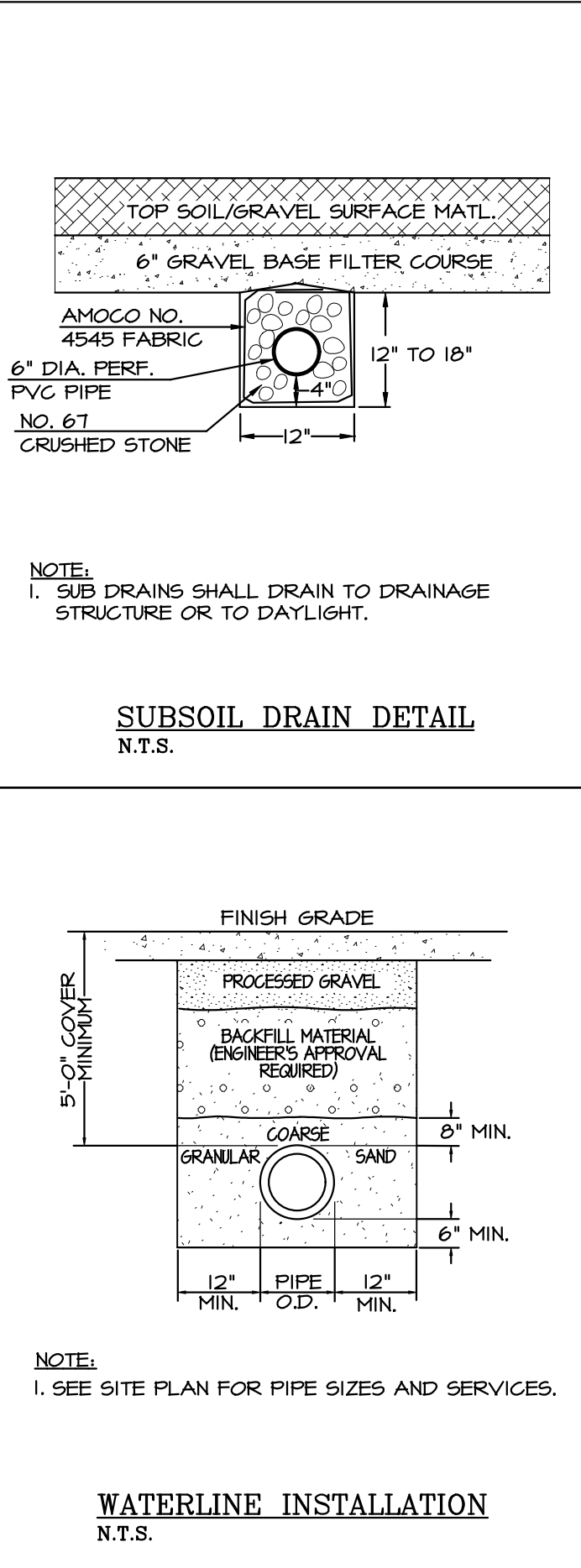
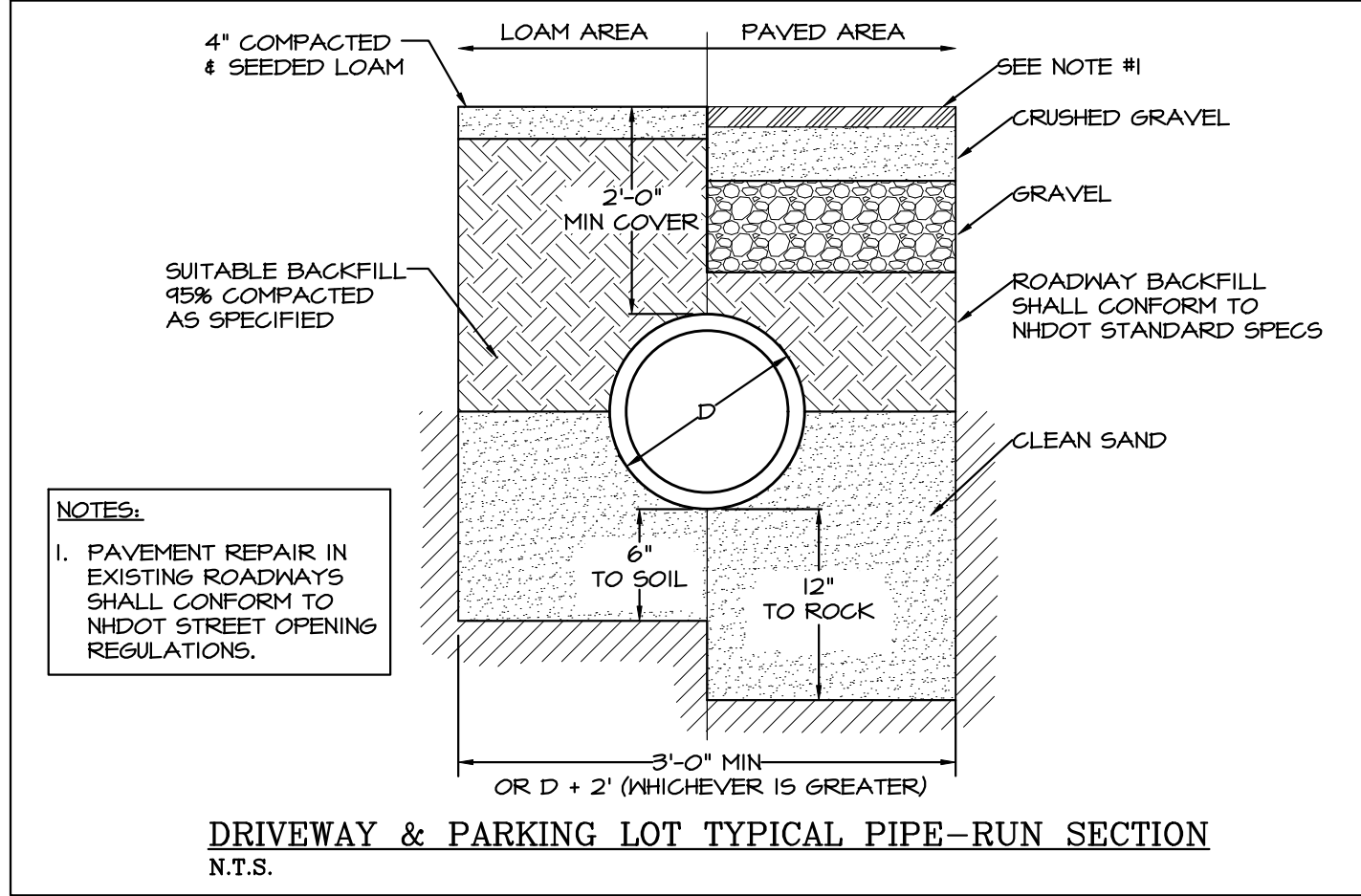
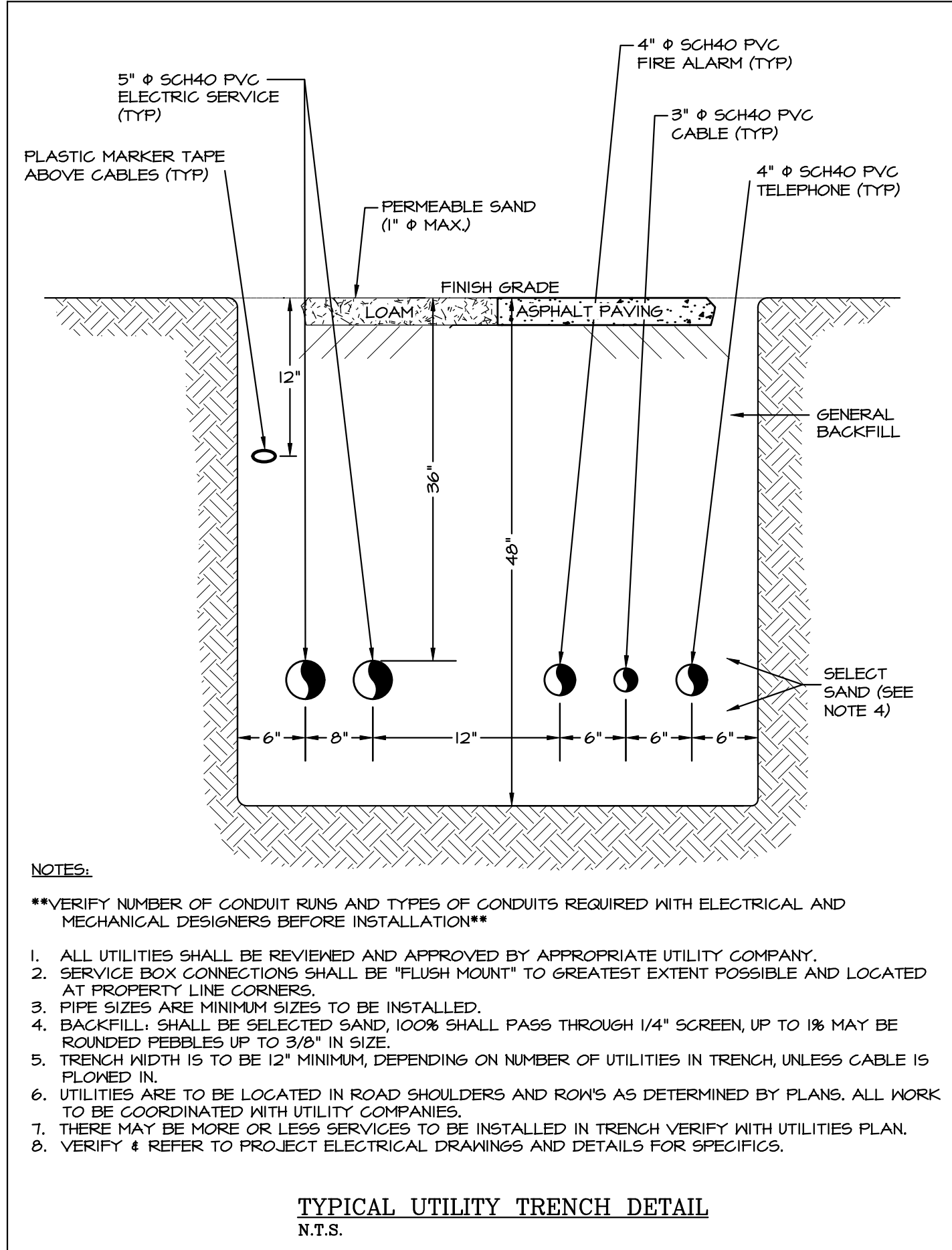
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MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
**SITE DETAILS**  
SHEET: 19

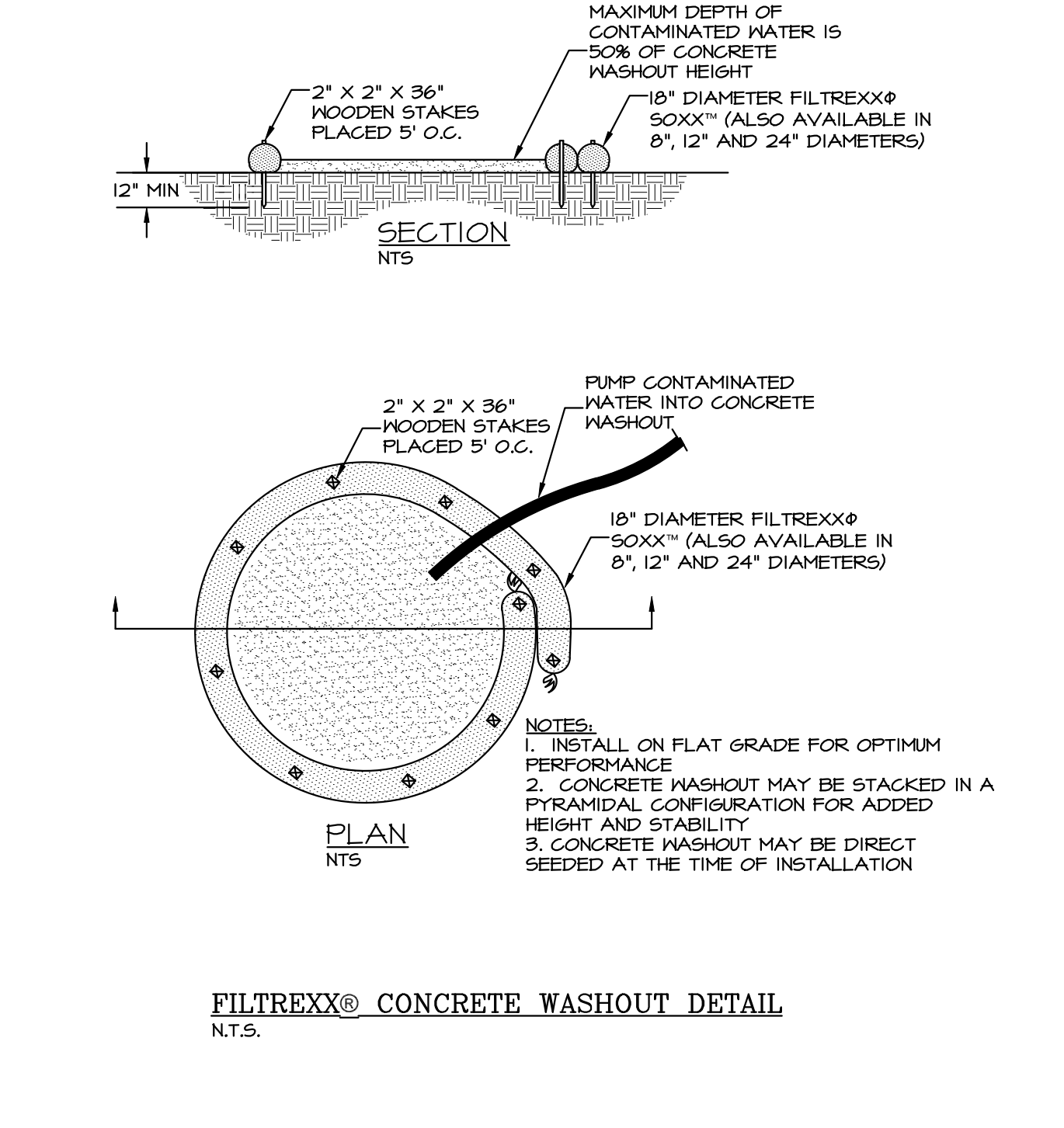
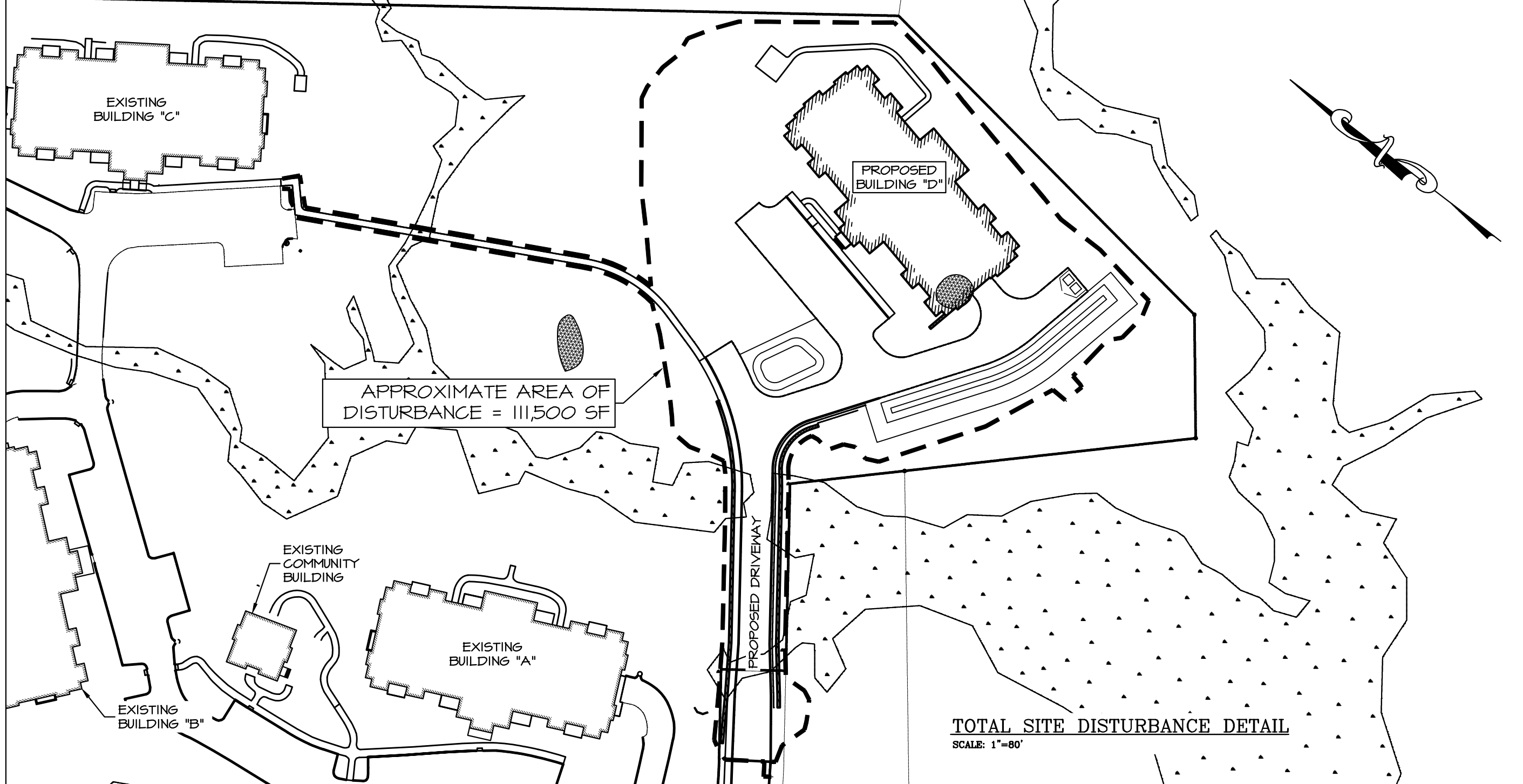
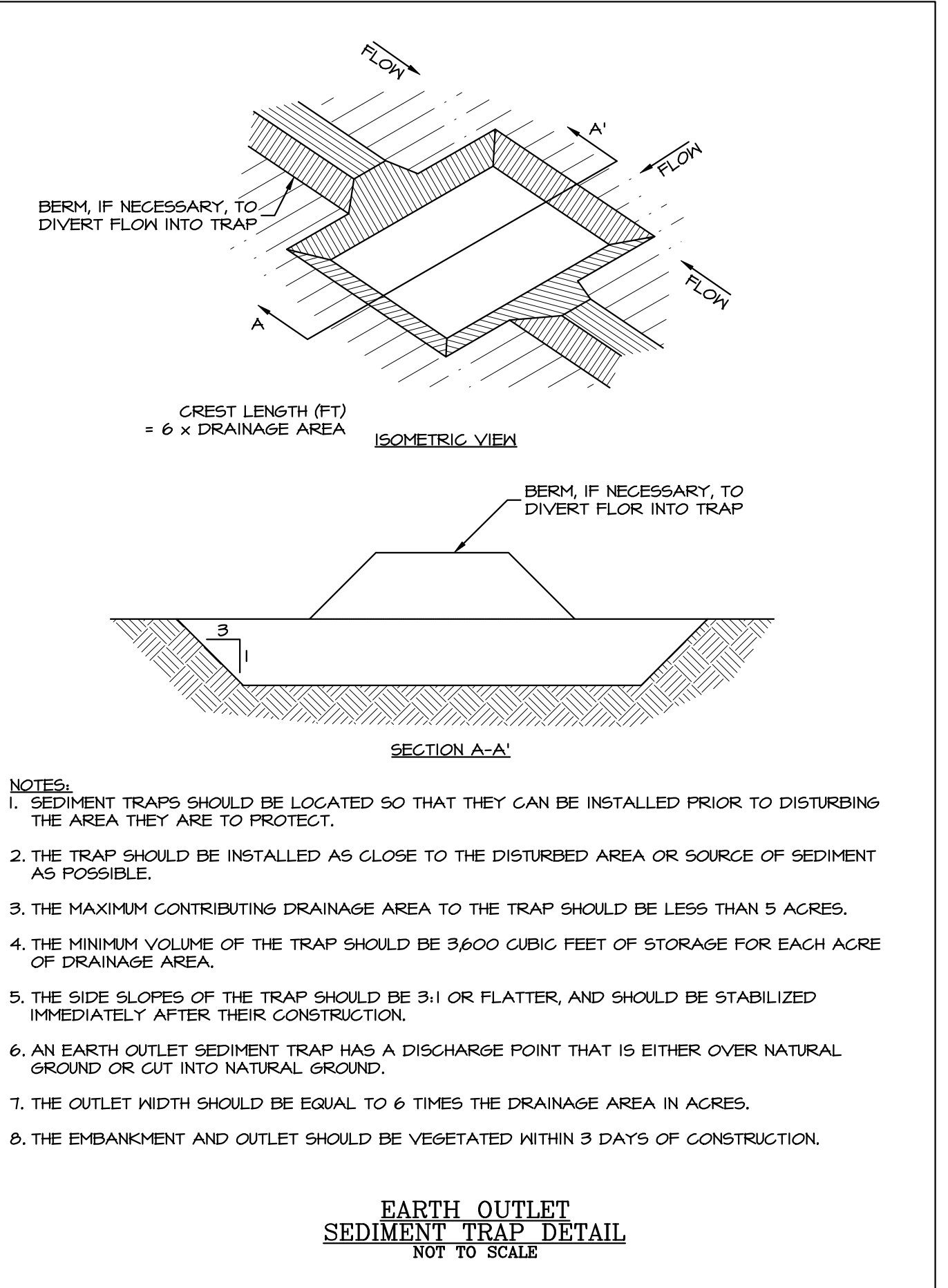
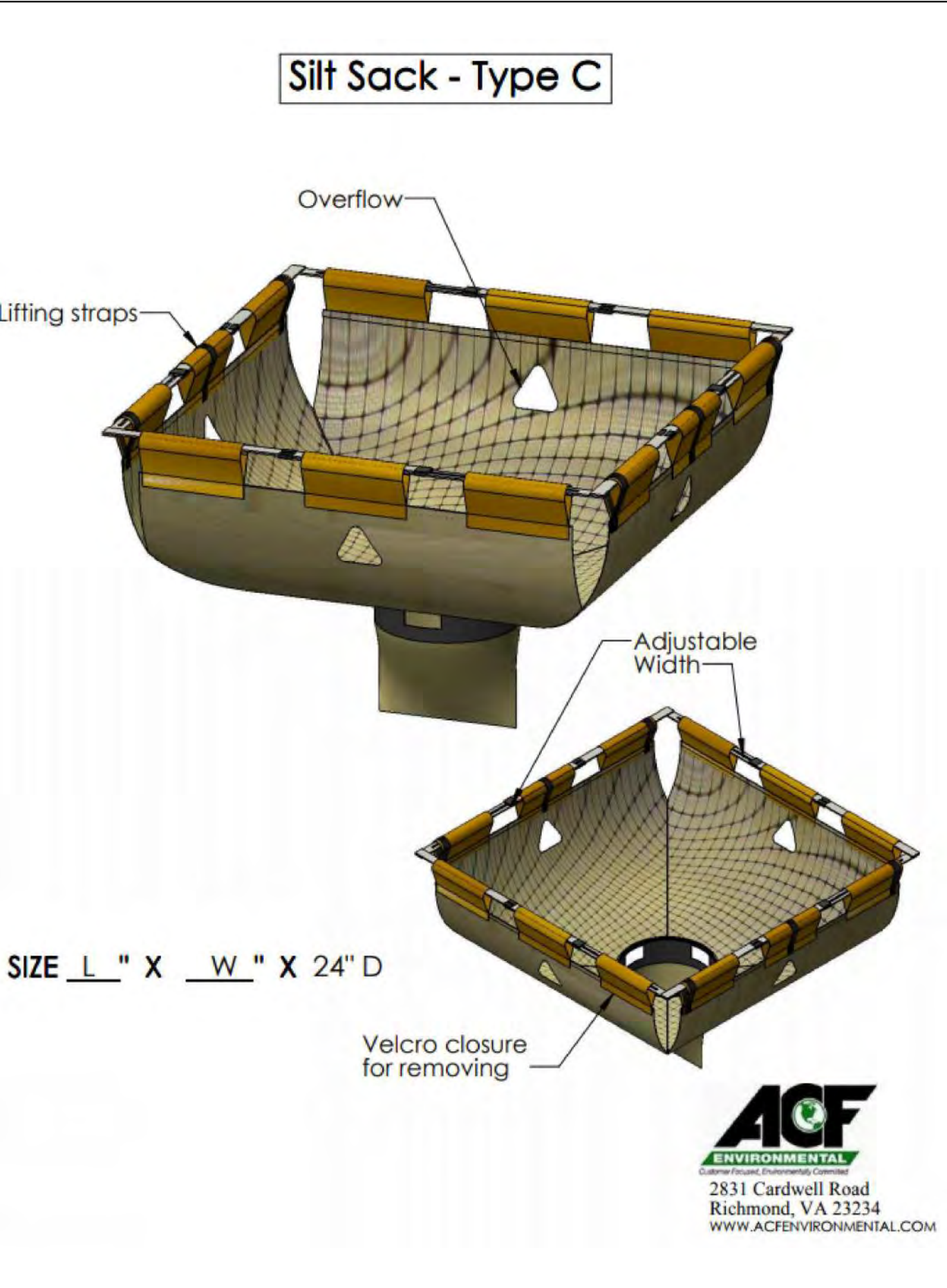
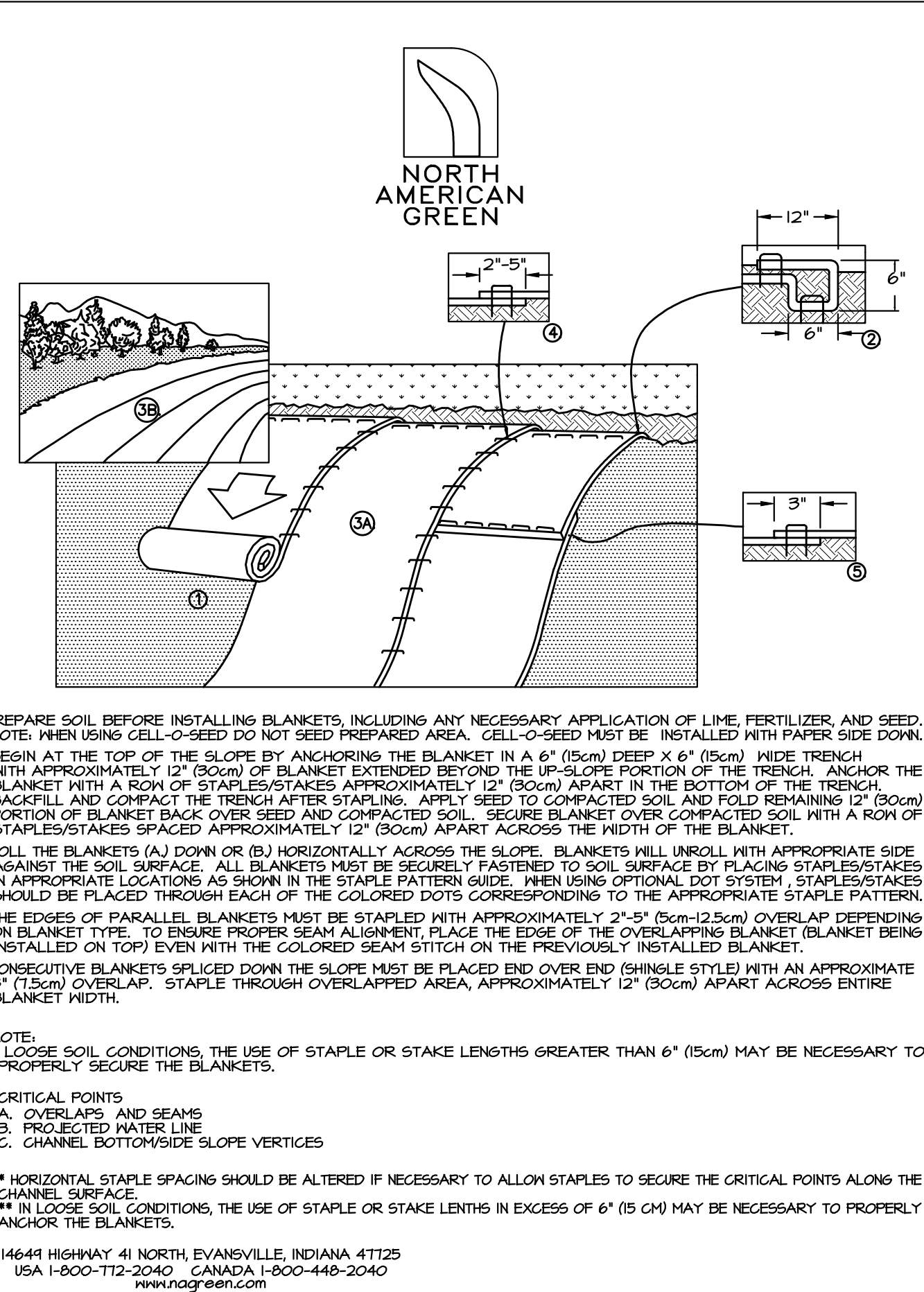
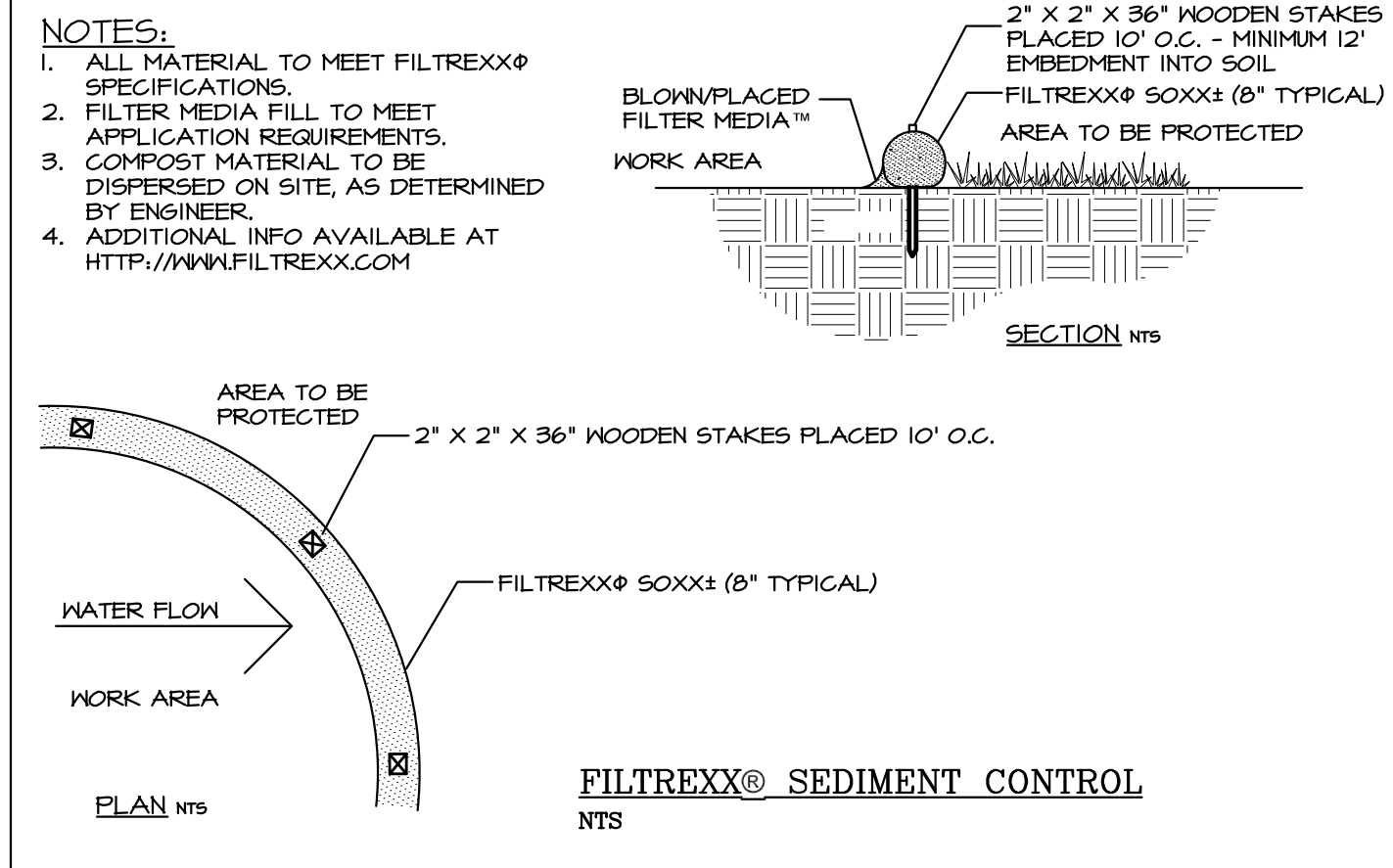
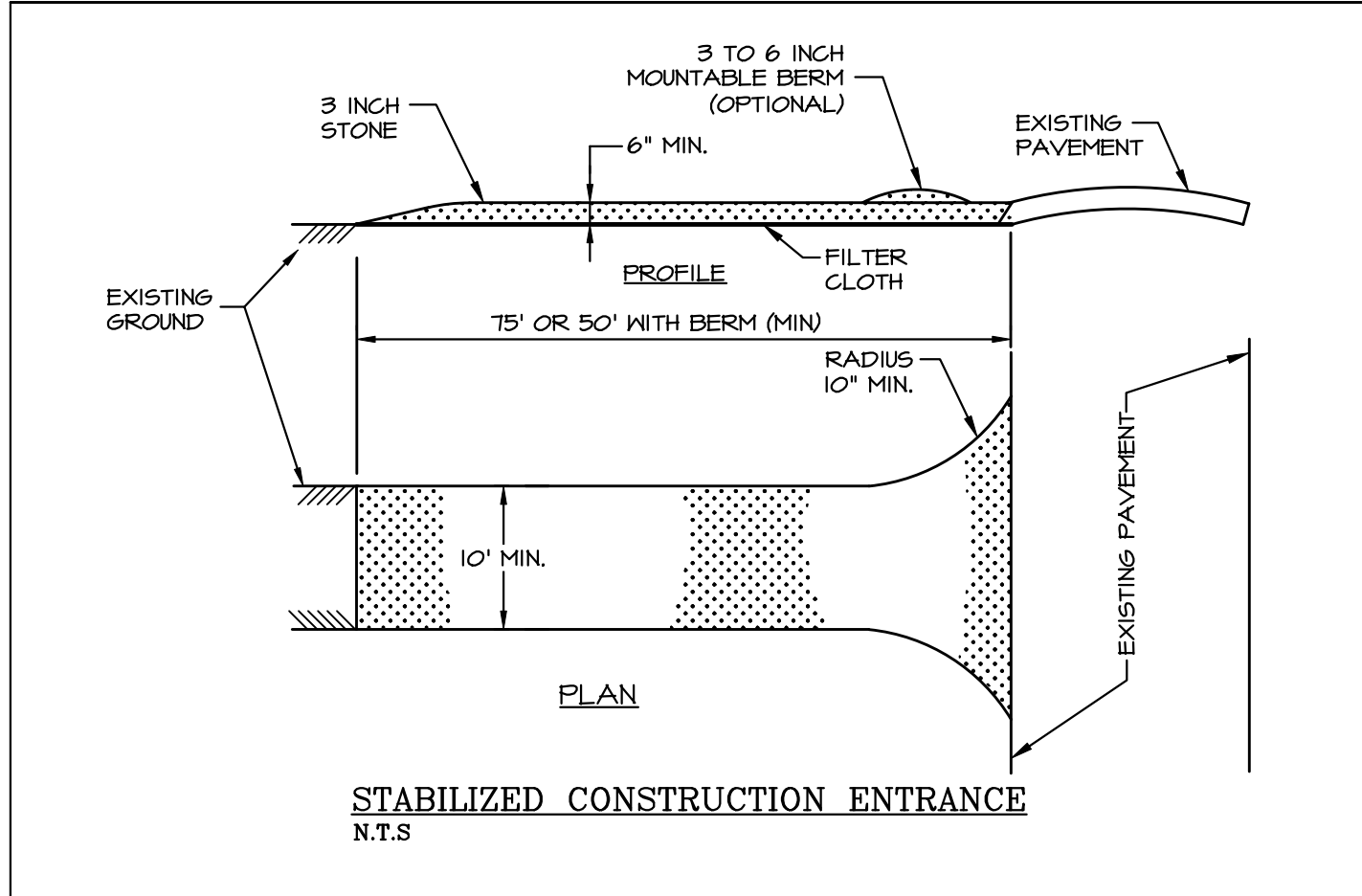




GRAPHIC SCALE:		RECORD OWNER					 CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   EMANUELENGINEERING.COM ©2025	 MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD	PLAN TITLE  UTILITY DETAILS
		CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801								
		APPLICANT								
		WILLEY CREEK CO, LLC								
		158 SHATTUCK WAY NEWINGTON, NH 03801								
		NO.	DATE	DESCRIPTION	BY		SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019	
							DATE: NOV. 10, 2025	CHKD. BY: BDS		
SHEET: 20										

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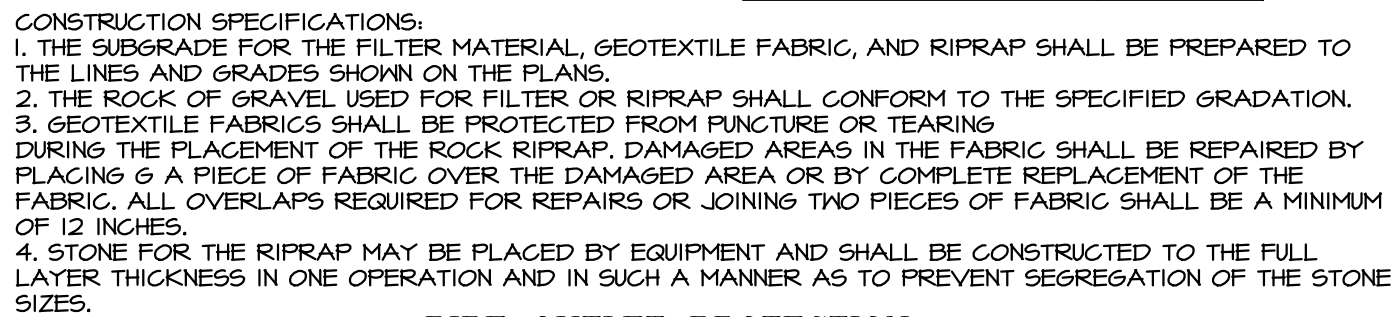




GRAPHIC SCALE:	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	NO.	DATE	DESCRIPTION	BY	CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   <a href="http://EMANUELENGINEERING.COM">EMANUELENGINEERING.COM</a> © 2025	MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SCALE: AS SHOWN DATE: NOV. 10, 2025	CALC. BY: JJM CHKD. BY: BDS	PROJECT: 25-1019	SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD	PLAN TITLE EROSION CONTROL DETAILS

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





PIPE OUTLET PROTECTION  
N.T.S.



1. BIORETENTION SOIL MIX DESIGN:
  - A. 20-30% MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED (SEE GRADATION BELOW)
  - B. 10-20% LOAMY COARSE SAND (SEE GRADATION BELOW)
2. VERIFY THAT THERE IS NO RESTRICTIVE SOIL LAYER AT BOTTOM OF EXCAVATION.
3. DO NOT COMPACT SUBGRADE AT BOTTOM OF EXCAVATION.
4. NO BIORETENTION SOIL MIX SHALL BE PLACED UNTIL ENGINEERING APPROVAL AND INSPECTION OF SUBGRADE HAS BEEN CONDUCTED.
5. ALL FINISH GRASSES AND SURFACES TO BE STABILIZED BY VEGETATION UPON COMPLETION UNLESS NOTED OTHERWISE.
6. SEE LAYOUT PLAN FOR STRUCTURE ELEVATION AND INVERTS, PIPE TYPE, LENGTH, AND SLOPE, AND BIORETENTION AREA DIMENSIONS
7. 6" PERFORATED PIPE IS TO BE SDR-35 WITH 1" DIAMETER PERFORATIONS, 3 HOLES MINIMUM PER FOOT OF LENGTH.
8. ALL STONE TO BE WASHED.

BIORETENTION FILTER MEDIA GRADATION			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	45
LOAMY COARSE SAND	70 TO 80	10 20 60 200	85 TO 100 70 TO 100 15 TO 40 8 TO 15

- NOTES:  
1. GRADATION INFORMATION FROM ENV-WQ 1508.07.k.4.b SHOWN, AS AN ALTERNATIVE GRADATION THE BIORETENTION FILTER MEDIA DESCRIBED IN ENV-WQ 1508.07.k.4.a MAY ALSO BE USED WITH ENGINEER'S APPROVAL.

TYPICAL BIORETENTION BASIN DETAIL  
N.T.S.



- 1.) PRODUCTS SHOWN  
MANUFACTURED BY ADVANCE  
DRAINAGE SYSTEM INC.  
[WWW.ADS-PIPE.COM](http://WWW.ADS-PIPE.COM)
- 2.) USE ADVANCE DRAINAGE  
SYSTEM INC. OR EQUAL
- 3.) FOLLOW MANUFACTURER  
INSTALLATION INSTRUCTIONS

ANIMAL GUARD GRATE  
(FINGER STYLE)

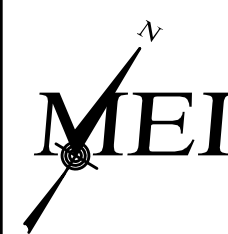
STANDARD SIZES:  
4", 6", 8", 10", 12", 15", 18", 24",  
30", 36" & 42"



FOREBAY RIPRAP BERM DETAIL  
NOT TO SCALE



APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

[illegible]

**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

## SITE PLAN

IN  
EXETER, NH

SHOWING

BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

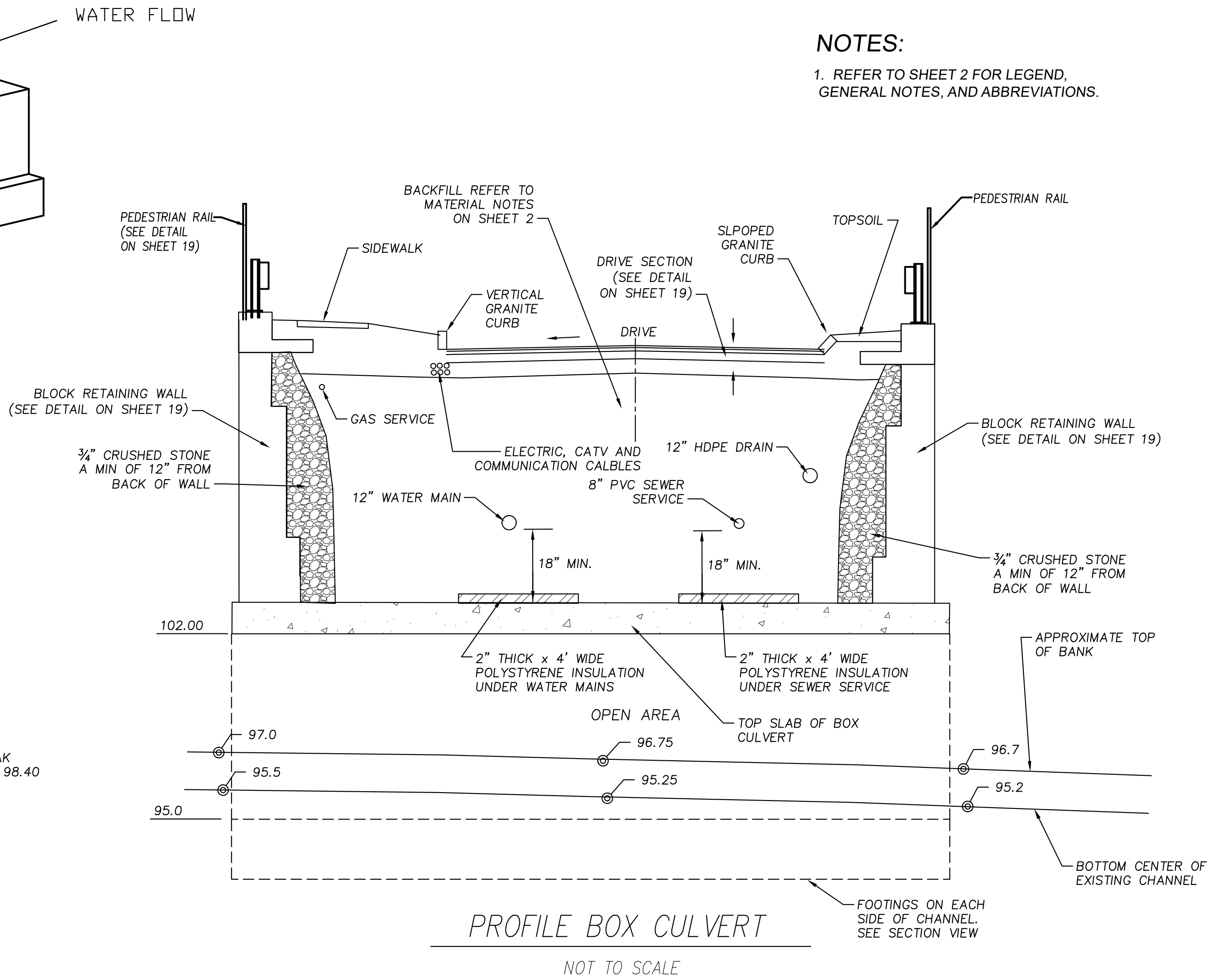
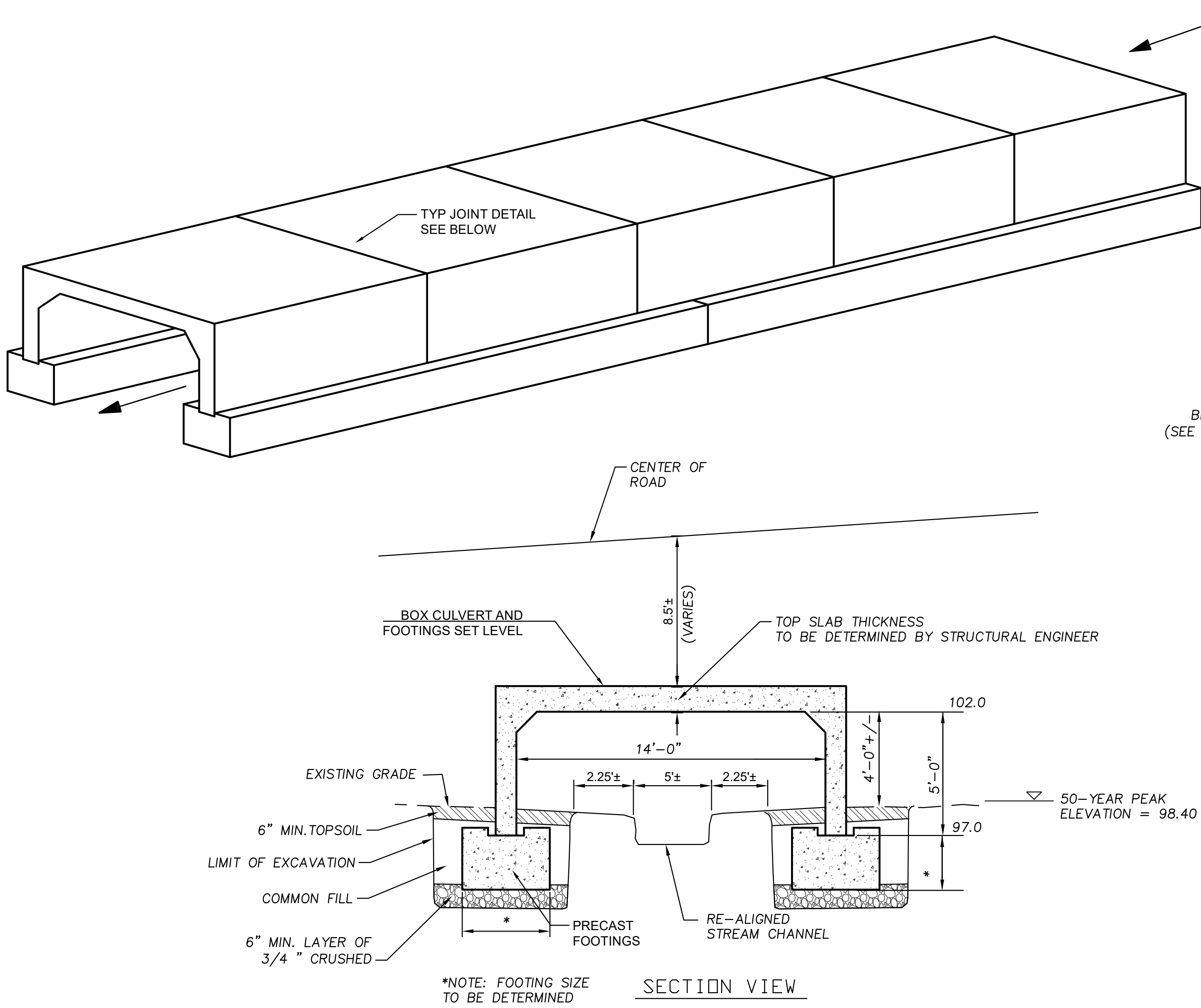
PLAN TITLE

## DRAINAGE DETAILS

SHEET: 22

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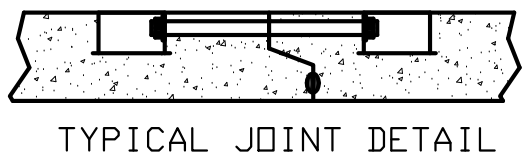




NOTES:  
1. REFER TO SHEET 2 FOR LEGEND, GENERAL NOTES, AND ABBREVIATIONS.

DESIGN NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN PER ASTM C1504 SPECIFICATION FOR 3-SIDED CULVERT.
3. ALL REINFORCEMENT PER ASTM A-615-75
4. DESIGN FOR AASHTO H-20 LOADING (FOR VEHICULAR AND TRUCK TRAFFIC).  
COVER OVER TOP OF BOX CULVERT WILL BE BETWEEN 8 TO 10 FEET.  
A CONCRETE BLOCK RETAINING WALL WILL BE AT EACH END OF THE CULVERT.
5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
6. BORINGS TO DETERMINE BEARING CAPACITY AND SOIL SUITABILITY  
SHALL BE CONDUCTED BY A GEOTECHNICAL ENGINEER PRIOR TO DESIGN.
7. INSTALLATION OF BACKFILL AND STRUCTURE SHALL BE UNDER THE DIRECTION OF  
A LICENSED GEOTECHNICAL ENGINEER.



BOX CULVERT 3-SIDED

BOX CULVERT  
NOT TO SCALE

NOTE: CULVERT DESIGN TO BE PREPARED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE ENGINEER OF RECORD AND SUBMITTED TO TOWN OF EXETER ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN

DATE

GRAPHIC SCALE:

RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
	NO.	DATE	DESCRIPTION	BY	



ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: OCT. 31, 2025	CHKD. BY: BDS	

SITE PLAN  
IN  
EXETER, NH

SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
BOX  
CULVERT  
DETAILS

SHEET: 23



# PLANT LIST

EVERGREEN TREES | SHRUBS

3	<i>Abies concolor</i> 'White Fir'	8-10' BB
3	<i>Picea pungens</i> gl. 'Montgomery' Blue Spruce	10 gal.
3	<i>Thuja occidentalis</i> 'George Peabody' Arborvitae	10 gal.
6	<i>Buxus</i> 'Green Mountain' Boxwood	2-2.5' BB
2	<i>Juniperus virginiana</i> 'Blue Arrow' juniper	6-7' BB
2	<i>Taxus media</i> 'Everlow' Spreading Yew	2.5-3' BB
6	<i>Leucothoe axillaris</i> 'Coast Leucothoe'	15-18"
9	<i>Microbiota decussata</i> 'Russian Cypress'	3 gal.

- DECIDUOUS FLOWERING SHRUBS -

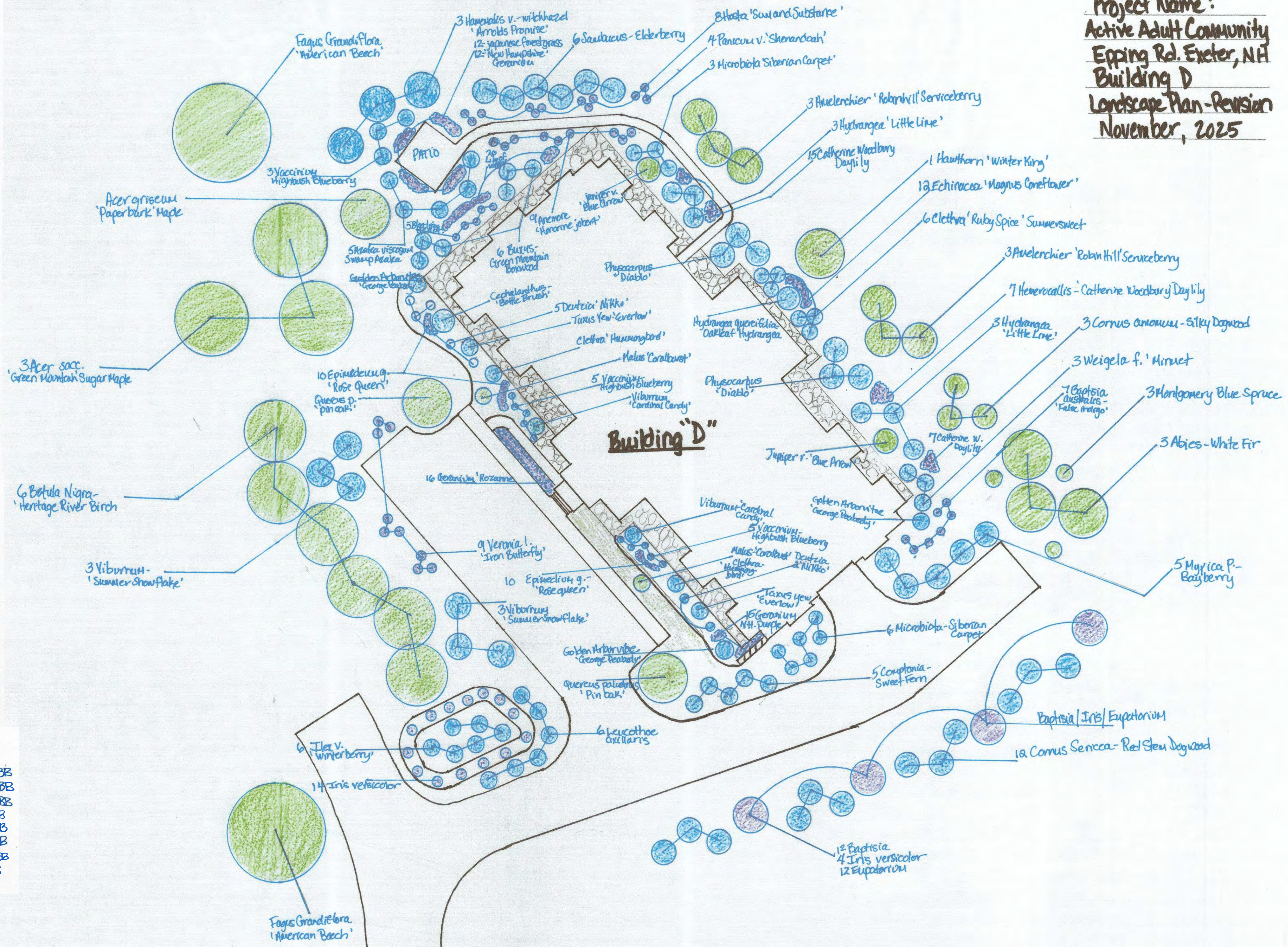
- 5 Myrica pennsylvanica - Northern Bayberry 3gal.
- 3 Weigela minuet - Minuet Weigela 3gal.
- 6 Hydrangea paniculata 'Little Lime' 5 gal.
- 1 Hydrangea quercifolia 'Calkof Hydrangea' 4-5" BB
- 6 Clethra alnifolia 'Ruby Spice' - Summer Sweet 10 gal.
- 2 Clethra alnifolia 'Hummingbird!' - Summer Sweet 5 gal.
- 6 Sambucus racemosa 'Gerda' Elderberry 5 gal.
- 3 Hamamelis in. 'Arnold's Promise' - Witch Hazel 3-4" BB
- 5 Azalea viscosum - Swamp Azalea 5 gal.
- 13 Vaccinium corymbosum 'Northland' HB Blueberry 5gal.
- 6 Physocarpus opulifolius 'Diablo' Ninebark 3gal.
- 1 Cephalanthus - 'Bottlebrush' 3gal.
- 7 Deutzia gracilis - Deutzia 5gal.
- 6 Viburnum sp. - Summer Snowflake Viburnum 3-4" BB
- 2 Viburnum dilatatum 'Cardinal Candy' Viburnum 4-5" BB
- 6 Ilex verticillata 'Red Sprite' Winterberry 5gal.
- 5 Coptodon peregrina - Sweet Fern 3gal.
- 1a Cornus sericea - Red Stem Dogwood 3-4"

- PERENNIALS -

19	Baptisia australis - False Indigo	1 gal.
10	Hebeveracallis 'Joan Senior' Daylily	2 gal.
22	Hebeveracallis 'Catherine Woodbury' Daylily	2 gal.
12	Echinacea purpurea 'Magnus' Coreflower	1 gal.
8	Hosta 'Sun and Substance'	3 gal.
4	Panicum v. 'Shenandoah' Grass	3 gal.
27	Geranium sanguineum 'New Hampshire Purple'	1 gal.
12	Hakonechloa macroa Aurea 'J. Forest' Grass	1 gal.
5	Dicentra spectabilis	
9	Anemone hybrida 'Honorable Sobert' Windflower	
20	Epimedium q. 'Rose Queen' Barrenwort	1 gal.
16	Geranium willichianum 'Rozanne'	1 gal.
12	Eupatorium - Joe Pye Weed	2 gal.
18	Iris versicolor - Blueflag Iris	2 gal.
9	Veronica lettermanii 'Iron Butterfly' Ironweed.	2 gal.

## LARGE DECIDUOUS TREES / FLOWERING

1	<i>Crataegus viridis</i> 'Winter King' Hawthorn	2-5-3" BB
2	<i>Fagus grandiflora</i> 'American Beech'	3-35" BB
3	<i>Acer saccharum</i> 'Green Hantani' Sugar Maple	3-35" BB
1	<i>Acer griseum</i> 'Paperbark Maple'	2-5-3" BB
2	<i>Quercus palustris</i> 'Pin Oak'	3.5-4" BB
2	<i>Malus 'Coralace'</i> Coralburst Flowering Crab	2-5-3" BB
6	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	2-25" BB
3	<i>Cornus avomum</i> 'Silky Dogwood'	6-10 BB



Project Name: Active Adult Community  
Epping Rd. Exeter, NH  
Building D  
Landscape Plan - Revision  
November, 2025