



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE EXETER HISTORIC DISTRICT COMMISSION AGENDA

The Exeter Historic District Commission will meet on Thursday, August 17, 2023 at 7:00 P.M. in the Nowak Room located in the Exeter Town Offices at 10 Front Street, Exeter, to consider the following:

NEW BUSINESS: PUBLIC HEARINGS

Continued public hearing on the application of Geoffrey Pendexter for changes to the existing structure located at 107 Water Street. The proposed changes include the removal of existing garage doors at the rear of the building and replacement with windows and a door. The subject property is located in the WC-Waterfront Commercial zoning district. Tax Map Parcel #72-26. HDC Case #23-3.

The application of Phillips Exeter Academy for the replacement of windows in the Woodbridge House located at 63 Front Street. The subject property is located in the R-2, Single Family Residential zoning district. Tax Map Parcel #72-209. HDC Case #23-6.

The application of Mario Ponte for changes to the existing structure located at 85 Water Street. The Applicant proposes to restore the structure to original appearance. The subject property is located in the WC-Waterfront Commercial zoning district. Tax Map Parcel #72-29. HDC Case #23-7.

OTHER BUSINESS

- Approval of Minutes: July 20, 2023

EXETER HISTORIC DISTRICT COMMISSION

Grayson Shephard, Chairman

Posted 08/04/23: Exeter Town Office and Town of Exeter website

Historic District Commission
Draft Minutes
July 20, 2023

Call Meeting to Order: Kevin Kahn, Vice Chair, called meeting to order at 7:00 pm in the Novak Room of the Exeter Town Office Building.

Members Present: Kevin Kahn, Vice Chair, Julie Gilman, Select Board Rep., Pam Gjettum, Clerk, Gwen English, Planning Board Rep.

New Business: Public Hearings: The application of Geoffrey Pendexter for changes to the existing structure located at 107 Water Street. The proposed changes include the removal of existing garage doors at the rear of the building and replacement with windows and a door. Case # 23-3.

Elizabeth Pendexter spoke and said she lives at 107 Water Street. She stated that she and her husband have owned the building for a while now. There are two garage doors that they prefer to change to windows and a door. She personally thinks it will look a lot nicer. The members had a packet with pictures to view.

Julie said that it is interesting to change a garage space to a more traditional looking storefront. What I find interesting about this is the detail on top of the windows and only because it is reflective of a sign panel.

Elizabeth said she hears what Julie is saying and there is no plan to have a sign there. We don't currently have a plan. We are going to change the garage doors and the garage bays are too small to actually fit a car in there.

Kevin asked about the PVC shown and said in the Guidelines, it is not encouraged. Is there a reason where there is trimming it has to be PVC?

Elizabeth said that she does not know if it has to be PVC. She then said she thinks it could be changed to wood. It was chosen because of a rotting issue.

Pam asked what brand of window they would be using and Elizabeth said she thinks it is Pella.

Kevin then asked if there were anyone from the public in support of or opposed. There were none.

Julie then made a motion to accept the application as complete. Pam seconded. All were in favor and the application accepted.

The members then discussed the application.

Julie is torn about the treatment. Every building is different and it is not the same material. She said her recommendation would be to use a simple trim. Elizabeth said they will take a look at doing this.

All were in favor of the application being tabled until next month's meeting when the applicant will return with a revised drawing as discussed.

Next on the agenda is the application of Brayden Tuscher for the proposed demolition of the existing barn, covered porch, entry and stairs on the property at 87 Front Street; and proposed new construction of a two-car garage with living space above. Case #23-4.

Brayden Tuscher spoke and said his clients recently purchased the house at 87 Front Street from Phillips Exeter Academy over a year ago and they are looking to take down the barn in the rear. There is a side entrance on the lower foundation level that they want to take out and there is a rear screen porch they want to remove in order to put in an attached two car garage with living space above it. The members had a packet with pictures.

Brayden then said that he just received a letter from the Heritage Commission today giving their blessing to do this. He said he was actually taken back because he thought for sure they would say that the barn had to stay. They want us to keep the screen porch in the rear which the practicality of what the clients want to do, does not seem feasible.

Brayden said he spoke with the Building Inspector regarding their role and it is more of an advisory capacity.

Julie said the Heritage Commission took a really good look at the barn and did not find anything special architecturally. Pam said she wanted to save it, but got out voted.

Brayden said they have a local builder in Newton, NH and he is going to dismantle the barn and use a lot of it.

Brayden said his client's primary need is to have a garage and it will have living space above which will be a dining room and office/den. No plumbing, just heating and electrical. The garage will be right where the porch is. He does not see any other way to do it without removing the porch.

Brayden said the house is a single family and the owners are both physicians and their oldest son goes to Phillips Exeter.

Gwen asked about the main material that would be used for the garage. Brayden said they are going for a simple look and have thought about keeping the clap boards everywhere. They are going for a raised panel, painted wood with raised flat trim. Brayden said the whole foundation is brick and there is a skirt of granite all around the exterior.

Gwen said that she loves the detail of the garage door and they are beautiful. She is struggling a little bit in how they fit in the house.

Julie said, when you look at the elevation of the garage door her impression is that it looks too heavy but it might just be the drawing. Julie said her struggling with it really does not matter in the end.

Pam said it is an 1850 house and it is not going to have garage doors that are contemporary.

Ken said there was no one present from the public to speak so he asked for a motion.

Julie made a motion to accept the application as complete. Pam seconded. All were in favor and the application was accepted.

With no further discussion, Ken asked for a motion of approval. Pam made a motion to approve the application. Julie seconded. All were in favor and the application was approved.

Other Business: Hampshire Development Corporation. Request for preliminary discussion of proposed redevelopment of property at 81 Front Street. Case #23-5.

Steve Wilson spoke and said he lives in Kensington, NH. Steve said he is a contractor and a converter of buildings since 1984.

Steve said that 81 Front Street was built in 1826. In 1980, a fellow by the name of Dingham purchased the property in its original form. Steve gave a summary of the history of the house. The property itself is 1.8 acres and it has 236 feet of frontage on Front Street. It is a 272 foot long building which the architecture is super high quality. It has additional living quarters for support personnel. It also has four kitchens and eleven bathrooms. There is 16,088 square feet finished on the first and second floor living space. There is an additional 6,000 square feet in a finished and unfinished basement and attic. It is just shy of 25,000 feet.

Steve said there are two opportunities and are both based on doing a multi-family property with separate entrances. They would eliminate the outdoor pool.

Steve said his plan is to go to the ZBA and ask that they allow eight units on the property which would result in each unit being around 1,600 feet.

Steve said another plan would be to subdivide the property in half and ask for a four unit conversion on each lot. You would not be able to tell because I would manage it as an income property. His daughter would occupy the rear portion of the house.

Steve said what they would be doing and it is illustrated in the packet and this covers either sinariel. This is just a discussion to find out what is important to the commission so not to go down the wrong track. Steve said he would like the members to go by the property.

Pam thanked Steve for doing this and she is glad that someone is doing something constructive. Steve said he was glad to hear that,

Next is the approval of the June 15, 2023 Minutes. After review and a few corrections, Pam made a motion to approve. Julie seconded. All were in favor and minutes approved.

With no further business, Julie made a motion to adjourn. All were in favor and the meeting was adjourned at 8:30 pm.

Respectfully submitted,

Elizabeth Herrick
Recording Secretary



Town of Exeter Historic District Commission

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CERTIFICATE OF APPROPRIATENESS For erection and display of CHANGE TO EXISTING STRUCTURE



Official Use Only

Application No. HDC# 23-3 Fee Paid _____ Date Paid _____
(mm/dd/yyyy)

Application is hereby made for the issuance of a Certificate of Appropriateness under Zoning Ordinance Article 8.0 Historic District Regulations.

To be completed by Applicant	To be completed by Town Staff		
	Yes	Yes	No
Completed Renovation Application	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Architectural Details (as applicable): including but not limited to window/door/ cornerboard trim, eave, railings, cupolas, brackets, shutters	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Materials (specification sheets and/or samples): including but not limited to windows, doors, siding, trim, masonry, exterior lighting	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photographs: existing site, existing structure, proposed ideas	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Application Fee	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Project Property Address: 107 Water Street Exeter NH 03833
The following information can be obtained from the Assessor's Office or Planning Department

Tax Map: 72 Lot No.: 26 Unit: _____

Please check the category which is appropriate to this application

- Move an existing structure to, from or within the Districts
- Demolition of all or part of an existing structure
- Change appearance (including but not limited to roofing, chimney, doors, fence, landscaping)
- Window Replacement
- Restore to original or appropriate style or period

RECEIVED

JUN 29 2023

EXETER PLANNING OFFICE

If known, list the architect, designer and/or contractor who are or will be involved with the design and execution of the work proposed in the application: Chinburg Properties

The described work is scheduled to begin on 9/1/23 and to be completed by 12/1/23
(mm/dd/yyyy) (mm/dd/yyyy)

Other comments: Rear of building facing the river - replace garage doors with 1 door and 4 windows.



Town of Exeter Historic District Commission

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See Exeter Zoning Ordinance Section 8.0

Each application for a certificate of appropriateness shall be submitted on forms provided by the Historic District Commission (HDC). The application shall be presented to the Building Department of the town of Exeter, who shall record the date and receipt of the complete application. The Building Department will forward all applications to the HDC Chairperson.

Geoffrey Pendexter Applicant Name 18 Cherry Road Applicant's Mailing Address North Hampton, NH 03862 City, State, Zip 603-997-2077 Applicant's Phone Number pendexter5400@comcast.net Applicant's Email	same Property Owner (if different than applicant) Property Owner's Mailing Address City, State, Zip Property Owner's Phone Number Property Owner's Email
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Signature: _____ Date: _____
(Applicant, if different from Property Owner) (mm/dd/yyyy)

I attest that I represent the owner(s) of the above named property to be modified, and I authorize the applicant to represent me/us before the Exeter Historic District Commission in all matters concerning this application.

Signature:  Date: 7/1/23
(Property Owner) (mm/dd/yyyy)

The above named owner and applicant recognize that the property is situated in the Historic District of Exeter, New Hampshire. We certify that the information contained in the application is true to the best of our knowledge and request that the Exeter Historic District Commission consider the following proposal for said property.

END OF APPLICATION



Town of Exeter
Historic District Commission

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www.exeternh.gov

Certificate of Appropriateness

Official Use Only

Application No. HDC #23-3

Date Application received by the Building Department Office 6/29/23 (mm/dd/yyyy)

Date Application accepted by Historic District Commission _____ (mm/dd/yyyy)

Date Public Hearing held by Historic District Commission _____ (mm/dd/yyyy)

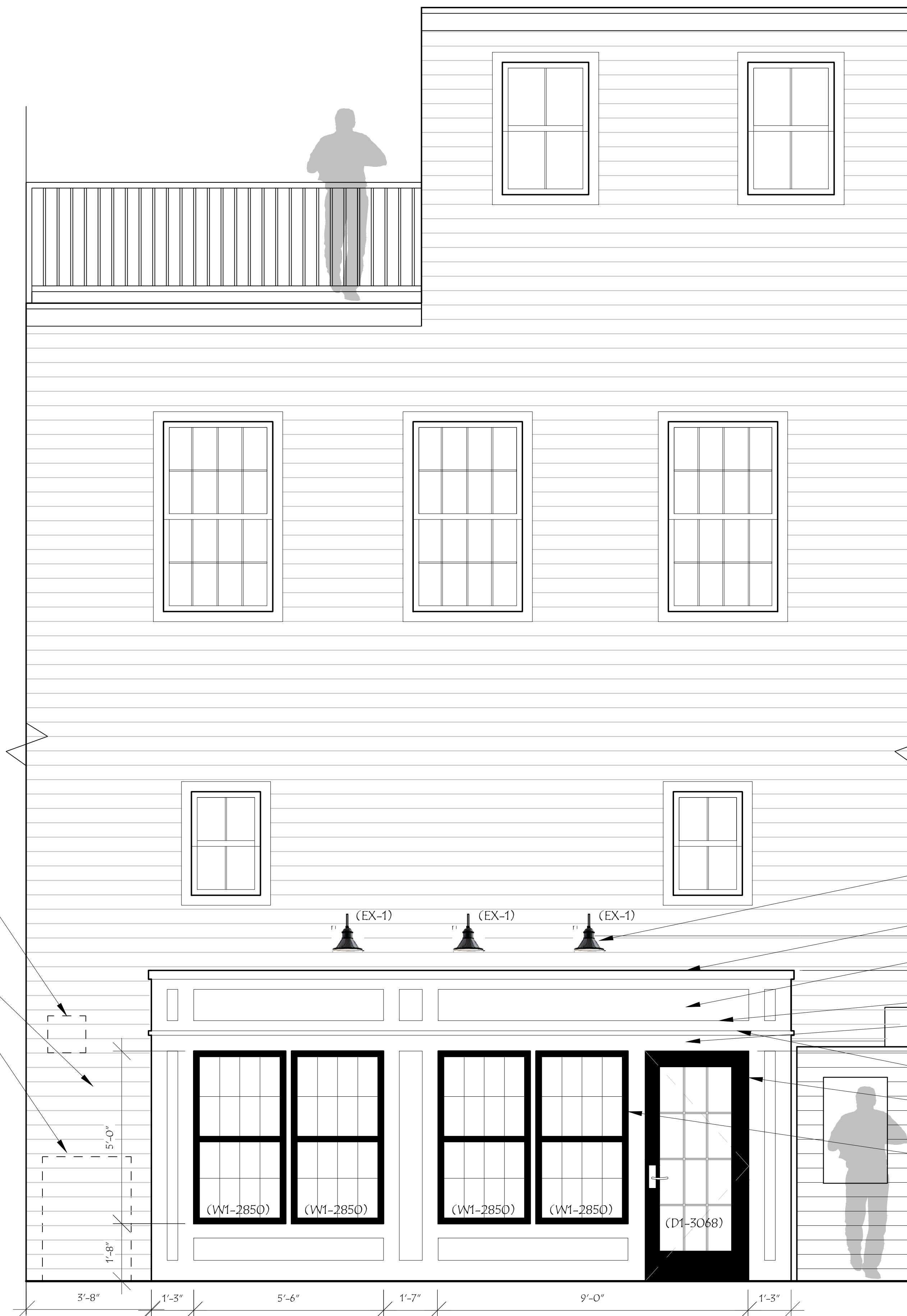
Disposition of Application:

- Disapproved
- Approved as submitted
- Approved with conditions listed below

Authorized Signature: _____

Date of Authorization: _____

Conditions of Approval:



1 EXTERIOR ELEVATION - OPTION 1
SCALE: 1/2" = 1'-0"

KITCHEN & BATHROOM VENT

FILL IN WALL & MATCH
HARDPLANK SIDING

CONDENSER UNIT



2 EXISTING CONDITIONS PHOTO
SCALE: NONE

- (3) KICHLER 10" NORTHLAND OUTDOOR WALL SCONCE BLACK FINISH KCH720109
- CROWN MOLDING TOP
- WHITE PVC PANELS
- 1X4 WHITE PVC TRIM
- 1X6 WHITE PVC TRIM
- 1X2 WHITE PVC TRIM
- PELLA ARCH. SERIES TRADITIONAL OUTSWING DOOR - BLACK ALUM. CLAD EXTERIOR W/ 12 SPL GRILLES & BRSHD NKL HDWR
- PELLA WOOD ALUMINUM CLAD DOUBLE HUNG WINDOWS 8/8 GRILLES W/ BRSHD NKL HDWR (BLACK EXTERIOR)

Northland™ 12" 1 Light Wall Light Black 4975BK
©2023 Kichler Lighting LLC. All Rights Reserved.

SPECIFICATIONS

Certifications/Qualifications
Dark Sky Compliant: Yes
www.kichler.com/northland

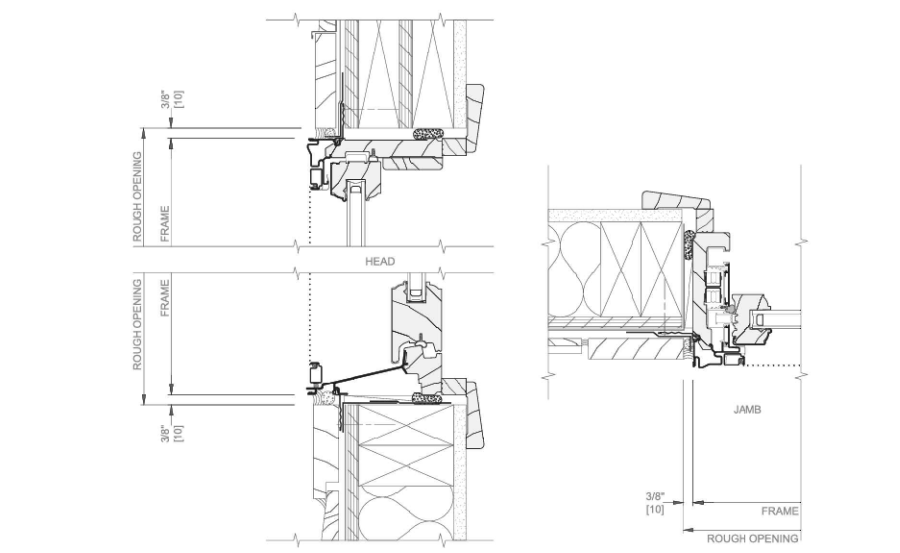
Dimensions
Base Diameter: 6.00 DIA.
Extension: 17.00"
Weight: 2.20 LBS
Height from center of Wall opening (Spec Sheet): 3.00"
Height: 12.00"
Width: 10.00"

Light Source
Lamps Included: N/A Included
Lamp Type: A19
Light Source: Incandescent
Max or Nominal Watt: 100W
of Bulb/LED Modules: 1
Socket Type: Medium
Socket Wire: 150"

Mounting/Installation
Interior/Exterior: Exterior
Wall Location Rating: Wall Mount
Mounting Style: Wall Mount
Mounting Weight: 2.20 LBS

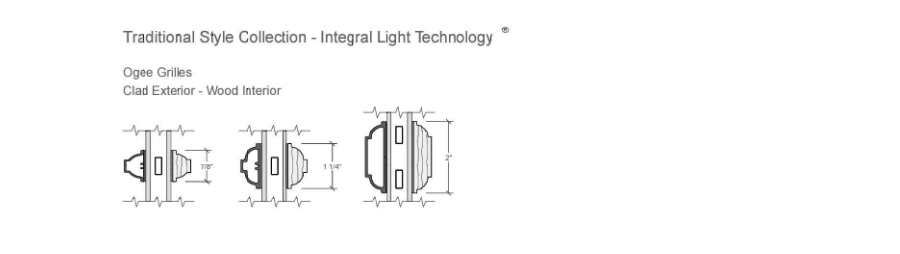
6 ENTRY DOOR SECTION
SCALE: NONE

Installation Details - Wood and Aluminum-Clad Wood Exterior
Fin Installation - Double Hung with Wood Trim / Siding



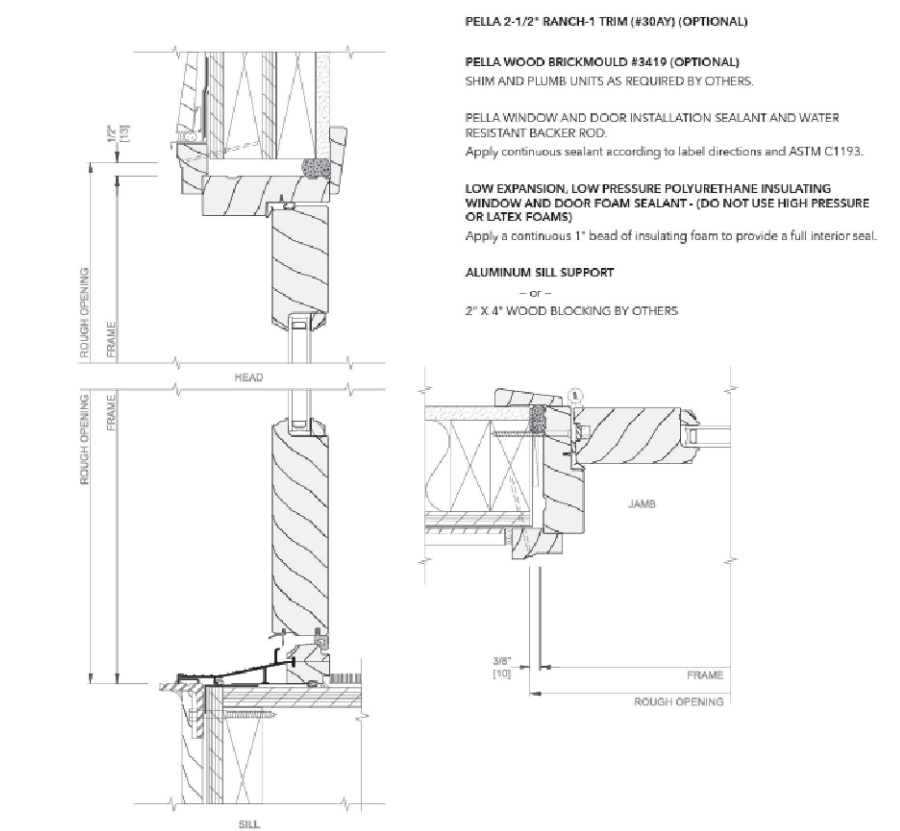
4 WINDOW DETAIL
SCALE: NONE

PELLA Architect Series™ Traditional Hung Window
Grille Profiles



5 WINDOW GRILLE DETAIL
SCALE: NONE

Installation Details - Wood and Aluminum-Clad Wood Exterior
Brickmould Installation Details - Wood Exterior Hinged Door with Wood Siding



6 ENTRY DOOR SECTION
SCALE: NONE



PROJECT ADDRESS: **THE RIVER CLUB**
107 WATER ST. EXETER, NH

PROPOSED EXTERIOR ELEVATION
PERMIT SET - NOT FOR CONSTRUCTION

DATE: 06/27/23
DRAWN: KL
sheet no.
A 1.0



Town of Exeter Historic District Commission

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CERTIFICATE OF APPROPRIATENESS For erection and display of CHANGE TO EXISTING STRUCTURE



Official Use Only

Application No. HDC # 23-6 Fee Paid N/A Date Paid _____
(mm/dd/yyyy)

Application is hereby made for the issuance of a Certificate of Appropriateness under Zoning Ordinance Article 8.0 Historic District Regulations.

To be completed by Applicant	To be completed by Town Staff		
	Yes	Yes	No
Completed Renovation Application	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Architectural Details (as applicable): including but not limited to window/door/ cornerboard trim, eave, railings, cupolas, brackets, shutters	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Materials (specification sheets and/or samples): including but not limited to windows, doors, siding, trim, masonry, exterior lighting	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photographs: existing site, existing structure, proposed ideas	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Application Fee N/A	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project Property Address: 63 Front Street

The following information can be obtained from the Assessor's Office or Planning Department

Tax Map: 72 Lot No.: 209 Unit: 63-65

Please check the category which is appropriate to this application

- Move an existing structure to, from or within the Districts
- Demolition of all or part of an existing structure
- Change appearance (including but not limited to roofing, chimney, doors, fence, landscaping)
- Window Replacement
- Restore to original or appropriate style or period

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JUL 13 2023

EXETER PLANNING OFFICE

If known, list the architect, designer and/or contractor who are or will be involved with the design and execution of the work proposed in the application: Pella Windows of New England

The described work is scheduled to begin on 10 01 2023 and to be completed by 10 3 2023
(mm/dd/yyyy) (mm/dd/yyyy)

Other comments: The storm windows would not be re-installed.



Town of Exeter Historic District Commission

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See Exeter Zoning Ordinance Section 8.0

Each application for a certificate of appropriateness shall be submitted on forms provided by the Historic District Commission (HDC). The application shall be presented to the Building Department of the town of Exeter, who shall record the date and receipt of the complete application. The Building Department will forward all applications to the HDC Chairperson.

Applicant Name <i>Jeff Plimpton</i>	Property Owner (if different than applicant) <i>PEA</i>
Applicant's Mailing Address <i>20 MAIN ST</i>	Property Owner's Mailing Address
City, State, Zip <i>Exeter, NH 03833</i>	City, State, Zip
Applicant's Phone Number <i>603-395-0128</i>	Property Owner's Phone Number
Applicant's Email <i>jplimpton@exeter.edu</i>	Property Owner's Email

Signature: *[Signature]* **Date:** *07 12 2023*
 (Applicant, if different from Property Owner) (mm/dd/yyyy)

I attest that I represent the owner(s) of the above named property to be modified, and I authorize the applicant to represent me/us before the Exeter Historic District Commission in all matters concerning this application.

Signature: *[Signature]* **Date:** *07 12 2023*
 (Property Owner) (mm/dd/yyyy)

The above named owner and applicant recognize that the property is situated in the Historic District of Exeter, New Hampshire. We certify that the information contained in the application is true to the best of our knowledge and request that the Exeter Historic District Commission consider the following proposal for said property.

END OF APPLICATION



Town of Exeter Historic District Commission

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Certificate of Appropriateness

Official Use Only

Application No. HDC # 23-6

Date Application received by the Building Department Office 7/13/23 (mm/dd/yyyy)

Date Application accepted by Historic District Commission _____ (mm/dd/yyyy)

Date Public Hearing held by Historic District Commission _____ (mm/dd/yyyy)

Disposition of Application:

- Disapproved
- Approved as submitted
- Approved with conditions listed below

Authorized Signature: _____

Date of Authorization: _____

Conditions of Approval:







Proposal - Detailed

Pella Window and Door Showroom of Bedford
 384 Route 101 Unit 2
 Bedford, NH 03110
 Phone: (603) 725-4670 Fax:

Sales Rep Name: Wessels, Stephanie
Sales Rep Phone: 603-923-7966
Sales Rep E-Mail: WesselsSA@pellanewengland.com
Sales Rep Fax:

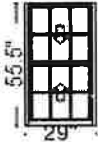
Customer Information	Project/Delivery Address	Order Information
Phillips Exeter Academy 20 Main St Exeter, NH 03833 Primary Phone: (603) 7774433 Mobile Phone: Fax Number: E-Mail: Contact Name: Great Plains #: Customer Number: 1001471409 Customer Account:	63 Front St 63 Front St Lot # Exeter, NH County: Owner Name: Owner Phone:	Quote Name: 63 Front St Order Number: 180 Quote Number: 16957830 Order Type: Non-Installed Sales Wall-Depth: Payment Terms: Tax Code: NHEXEMPT Cust Delivery Date: None Quoted Date: 6/14/2023 Contracted Date: Booked Date: Customer PO #:

Customer Notes: PELLA RESERVE TRADITIONAL REPLACEMENT DOUBLE HUNG UNITS
 EXTERIOR PELLA STANDARD WHITE ENDURACLAD/ INTERIOR PELLA FACTORY PRIMED
 EXTERIOR SASH PANEL- PUTTY GLAZE
 ADVANCED LOW-E ARGON FILLED DUAL PANE GLAZING
 PELLA STANDARD WHITE CAM ACTION LOCK
 RESERVE DH WHITE STANDARD SASH LIFT PROVIDED
 FULL INVIEW SCREEN WITH WHITE FRAME
 5/8" GRILLES, EXTERIOR PUTTY GLAZE/ INTERIOR OGEE PROFILE

 ALL SIZING MUST BE CONFIRMED FROM INTERIOR PRIOR TO ORDERING**

 QUOTE VALID FOR 30 DAYS**

Line #	Location:	Attributes	Qty
10	Front St Elevation	<p>Pella® Reserve, Traditional, Replacement Double Hung, 29 X 55.5, White</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 29 X 55 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard EnduraClad, White Interior Color / Finish: Primed Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Standard, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11, Clear Opening Width 25.625, Clear Opening Height 23.687, Clear Opening Area 4.215135, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 169".</p>	10



Viewed From Exterior
 Rough Opening: 29 - 1/2" X 56"

PK #
2135

Line #	Location:	Attributes	Qty
15	Removal/Installation	<p>For 10 Windows- To Include RRP Certificate Removal, Fastening, Shimming, Caulking</p>	1

Thank You For Your Interest In Pella® Products

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com



Product Selection Guide

- Size and Performance Data..... PFH-2
- Features and Options PFH-3
- Glazing Performance..... PFH-4
- Grilles PFH-6
 - Grille Patterns..... PFH-7
- Size and Measurement Guidelines PFH-8
- Design Data..... PFH-9
- Detailed Product Descriptions
 - Clad.....PFH-10
 - WoodPFH-11
- Unit Sections/Installation Details
 - Clad.....PFH-12
 - WoodPFH-15

Precision-Fit windows are intended for pocket installation into an existing old window frame still in place. The existing sashes of the old double- or single-hung window are removed by cutting the balance chords and removing the interior stop and parting stops. The new window is placed against the exterior stop from the interior. The interior stops can then be re-installed.

See installation instructions for details

For masonry installation, see the standard Double-Hung product section.

The information published in this document is believed to be accurate at the time of publication. However, because we are constantly working to improve our products, specifications are subject to change without notice. Consult your local Pella representative for up-to-date product information.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Size and Performance Data

	Clad LX	Wood LX	Clad SE
Sizes			
Made to order in 1/4" increments	●	●	●
Cottage Sash or Equal Sash Split	●	●	●
Variable sash split	●	●	●
Performance			
Meets or Exceeds AAMA/WDMA Ratings	H-CW40 - CW50 Hallmark Certified	H-CW40 - CW-50 Hallmark Certified	H-CW40 - CW50 Hallmark Certified
Air Infiltration (cfm/ft ² of frame @ 1.57 psf wind pressure)	0.11	0.11	0.11
Water Resistance	6.0-6.9 psf	6.0-6.9 psf	6.0-6.9 psf
Design Pressure	40-50 psf	40-50 psf	40-50 psf

Sound Transmission Class / Outdoor-Indoor Transmission Class

Product	Frame Size Tested ¹	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Clad LX or SE Double-Hung	With Integral Grilles						
	45" x 65"	11/16"	2.5mm	2.5mm	—	27	25
	45" x 65"	11/16"	3mm	3mm	—	30	26
	Without Grilles						
	45" x 65"	11/16"	2.5mm	2.5mm	—	26	22
	45" x 65"	11/16"	3mm	3mm	—	28	24

(—) = Not Available

(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values.

(2) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Features and Options

Standard	Options / Upgrades
Glazing	
Glazing Type	
Dual-Pane Insulating Glass	–
Insulated Glass Options/Low-E Types	
	SunDefense™ Low-E
	AdvancedComfort Low-E
Advanced Low-E	NaturalSun Low-E
	Clear (no Low-E coating)
Additional Glass Options	
	Tempered Glass
Annealed Glass	Obscure Glass ¹
	Tinted Glass (Bronze, Gray and Green)
Gas Fill/High Altitude	
Argon	High altitude
Exterior¹	
EnduraClad® protective finish	EnduraClad Plus protective finish
Factory Primed Wood Sash (pine, Aluminum-clad frame)	Unfinished Mahogany Wood (LX only)
Interior	
Wood Types	
Pine	Mahogany (clad and wood LX only), Douglas Fir (clad LX only)
Interior Finish¹	
Unfinished Wood	Factory primed ¹ , Factory prefinished paint ¹ , Factory prefinished stain ¹
Hardware	
Hardware Finish	
Champagne, White, Brown or Matte Black	Satin Brass, Satin Nickel, Oil-Rubbed Bronze
Sash Locks	
Cam-action lock	Historical spoon-style lock (surface mounted)
Tilt-Wash Cleaning	
Tilt to interior on both sashes	–
Other Hardware	
–	Sash lifts
Grilles	
Integral Light Technology® Grilles	
–	Traditional, Prairie, Top Row, Cross, New England, Victorian, Diamond, Custom
Grilles-Between-the-Glass	
–	Traditional, Prairie, Top Row ¹ , Cross or Custom-Equally Divided
Screens	
–	Full-Height or Half-height InView™ screens

(1) Contact your local Pella sales representative for current color options.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Glazing Performance - Total unit

Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values 1				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown					
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada 2	
										Zone				ER	Zone
Vent - Aluminum-Clad Exteriors										N	NC	SC	S	CA	
11/16"	Clear IG	PEL-N-233-00601-00001	2.5	2.5	air	0.46	0.61	0.63	44						
	with grilles-between-the-glass	PEL-N-233-00602-00001				0.46	0.54	0.56	44						
	with integral grilles	PEL-N-233-00603-00001				0.46	0.54	0.56	44						
11/16"	Clear IG	PEL-N-233-00605-00001	3	3	air	0.47	0.59	0.62	43						
	with grilles-between-the-glass	PEL-N-233-00606-00001				0.47	0.53	0.55	43						
	with integral grilles	PEL-N-233-00607-00001				0.47	0.53	0.55	43						
11/16"	Advanced Low-E IG	PEL-N-233-00637-00001	2.5	2.5	argon	0.29	0.28	0.54	59		NC				
	with grilles-between-the-glass	PEL-N-233-00638-00001				0.29	0.26	0.48	59		NC				
	with integral grilles	PEL-N-233-00639-00001				0.30	0.26	0.48	59		NC				
11/16"	Advanced Low-E IG	PEL-N-233-00641-00001	3	3	argon	0.29	0.28	0.53	58		NC				
	with grilles-between-the-glass	PEL-N-233-00642-00001				0.29	0.26	0.47	58		NC				
	with integral grilles	PEL-N-233-00643-00001				0.30	0.26	0.47	58		NC				
11/16"	SunDefense™ Low-E IG	PEL-N-233-00685-00001	2.5	2.5	argon	0.29	0.21	0.50	59		NC	SC	S		
	with grilles-between-the-glass	PEL-N-233-00686-00001				0.29	0.19	0.44	59		NC	SC	S		
	with integral grilles	PEL-N-233-00687-00001				0.29	0.19	0.44	59		NC	SC	S		
11/16"	SunDefense™ Low-E IG	PEL-N-233-00689-00001	3	3	argon	0.29	0.21	0.49	58		NC	SC	S		
	with grilles-between-the-glass	PEL-N-233-00690-00001				0.29	0.19	0.43	58		NC	SC	S		
	with integral grilles	PEL-N-233-00691-00001				0.29	0.19	0.43	58		NC	SC	S		
11/16"	AdvancedComfort Low-E IG	PEL-N-233-00661-00001	2.5	2.5	argon	0.25	0.28	0.52	48	N	NC				
	with grilles-between-the-glass	PEL-N-233-00662-00001				0.25	0.25	0.47	48	N	NC	SC	S		
	with integral grilles	PEL-N-233-00663-00001				0.26	0.25	0.47	48	N	NC	SC	S		
11/16"	AdvancedComfort Low-E IG	PEL-N-233-00665-00001	3	3	argon	0.25	0.28	0.52	47	N	NC				
	with grilles-between-the-glass	PEL-N-233-00666-00001				0.25	0.25	0.46	47	N	NC	SC	S		
	with integral grilles	PEL-N-233-00667-00001				0.26	0.25	0.46	47	N	NC	SC	S		
11/16"	NaturalSun Low-E IG	PEL-N-233-00613-00001	2.5	2.5	argon	0.30	0.53	0.61	58	N					
	with grilles-between-the-glass	PEL-N-233-00614-00001				0.30	0.48	0.54	58	N					
	with integral grilles	PEL-N-233-00615-00001				0.31	0.48	0.54	58						
11/16"	NaturalSun Low-E IG	PEL-N-233-00617-00001	3	3	argon	0.30	0.52	0.60	57	N					
	with grilles-between-the-glass	PEL-N-233-00618-00001				0.30	0.47	0.53	57	N					
	with integral grilles	PEL-N-233-00619-00001				0.31	0.47	0.53	57						
Tinted Glazing															
11/16"	Bronze Advanced Low-E IG	PEL-N-233-00721-00002	5	3	argon	0.30	0.25	0.34	57		NC	SC	S		
	with grilles-between-the-glass	PEL-N-233-00722-00002				0.31	0.23	0.30	57						
	with integral grilles	PEL-N-233-00723-00002				0.31	0.23	0.30	57						
11/16"	Gray Advanced Low-E IG	PEL-N-233-00721-00003	5	3	argon	0.30	0.23	0.30	57		NC	SC	S		
	with grilles-between-the-glass	PEL-N-233-00722-00003				0.31	0.21	0.26	57						
	with integral grilles	PEL-N-233-00723-00003				0.31	0.21	0.26	57						
11/16"	Green Advanced Low-E IG	PEL-N-233-00721-00004	5	3	argon	0.30	0.29	0.47	57		NC				
	with grilles-between-the-glass	PEL-N-233-00722-00004				0.31	0.26	0.41	57						
	with integral grilles	PEL-N-233-00723-00004				0.31	0.26	0.41	57						

R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

Climate Zones



(1) Glazing performance values are calculated for Pine using NFRC 100, NFRC 200 and NFRC 500. Thermal performance of other wood species may vary. ENERGY STAR® values are updated to 2016 (Version 6) criteria.

(2) The values shown are based on Canada's updated ENERGY STAR® 2020 initiative.

See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Glazing Performance - Total unit

Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values 1				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown						
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada 2		
										Zone				ER	Zone	
High Altitude Glazing										N	NC	SC	S	CA		
11/16"	Advanced Low-E IG	PEL-N-233-00649-00001	2.5	2.5	air	0.33	0.29	0.54	55							
	with grilles-between-the-glass	PEL-N-233-00650-00001				0.33	0.26	0.48	55							
	with integral grilles	PEL-N-233-00651-00001				0.33	0.26	0.48	55							
11/16"	Advanced Low-E IG	PEL-N-233-00653-00001	3	3	air	0.33	0.29	0.53	54							
	with grilles-between-the-glass	PEL-N-233-00654-00001				0.33	0.26	0.47	54							
	with integral grilles	PEL-N-233-00655-00001				0.34	0.26	0.47	54							
11/16"	SunDefense™ Low-E IG	PEL-N-233-00697-00001	2.5	2.5	air	0.32	0.21	0.50	56				S			
	with grilles-between-the-glass	PEL-N-233-00698-00001				0.32	0.19	0.44	56				S			
	with integral grilles	PEL-N-233-00699-00001				0.33	0.19	0.44	56				S			
11/16"	SunDefense™ Low-E IG	PEL-N-233-00701-00001	3	3	air	0.32	0.21	0.49	55				S			
	with grilles-between-the-glass	PEL-N-233-00702-00001				0.32	0.19	0.44	55				S			
	with integral grilles	PEL-N-233-00703-00001				0.33	0.19	0.44	55				S			
11/16"	AdvancedComfort Low-E IG	PEL-N-233-00673-00001	2.5	2.5	air	0.28	0.28	0.52	44		NC					
	with grilles-between-the-glass	PEL-N-233-00674-00001				0.28	0.25	0.47	44		NC	SC	S			
	with integral grilles	PEL-N-233-00675-00001				0.28	0.25	0.47	44		NC	SC	S			
11/16"	AdvancedComfort Low-E IG	PEL-N-233-00677-00001	3	3	air	0.28	0.28	0.52	43		NC					
	with grilles-between-the-glass	PEL-N-233-00678-00001				0.28	0.25	0.46	43		NC	SC	S			
	with integral grilles	PEL-N-233-00679-00001				0.29	0.25	0.46	43		NC	SC	S			
11/16"	NaturalSun Low-E IG	PEL-N-233-00625-00001	2.5	2.5	air	0.33	0.53	0.61	55							
	with grilles-between-the-glass	PEL-N-233-00626-00001				0.33	0.48	0.54	55							
	with integral grilles	PEL-N-233-00627-00001				0.34	0.48	0.54	55							
11/16"	NaturalSun Low-E IG	PEL-N-233-00629-00001	3	3	air	0.34	0.52	0.60	54							
	with grilles-between-the-glass	PEL-N-233-00630-00001				0.34	0.47	0.53	54							
	with integral grilles	PEL-N-233-00631-00001				0.34	0.47	0.53	54							

R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

(1) Glazing performance values are calculated for Pine using NFRC 100, NFRC 200 and NFRC 500. Thermal performance of other wood species may vary. ENERGY STAR® values are updated to 2016 (Version 6) criteria.

(2) The values shown are based on Canada's updated ENERGY STAR® 2020 initiative.

See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.

Climate Zones



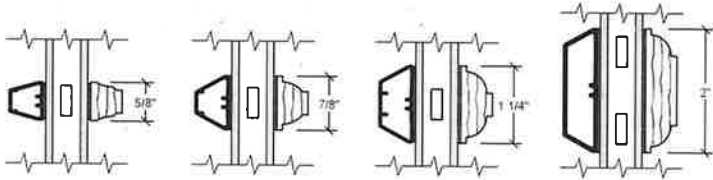


Pella® Reserve™ Traditional Precision-Fit Hung Window

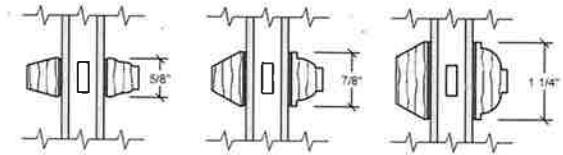
Grille Profiles

Traditional Style Collection - Integral Light Technology®

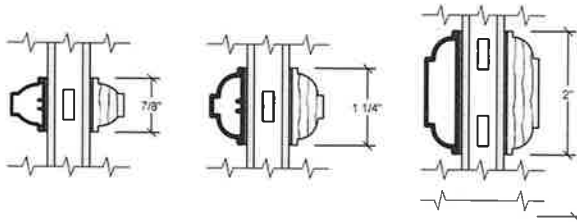
Putty Glaze and Ogee Grilles Clad Exterior - Wood Interior



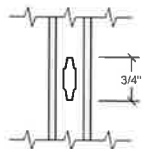
Putty Glaze and Ogee Grilles Wood Exterior - Wood Interior



Ogee Grilles Clad Exterior - Wood Interior



Grilles-Between-the-Glass



3/4"
Contoured

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.



Grille Patterns

Integral Light Technology® Grilles

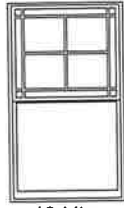
Prairie Lite Patterns



9-Lite
(Fixed Units)



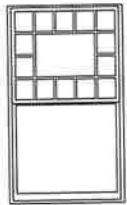
9-Lite



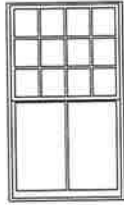
12-Lite

Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
Available in transoms ≥ 1'3" height and width.
Available in all standard and special sizes.

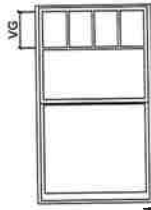
Other Available Patterns



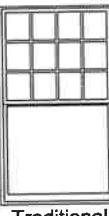
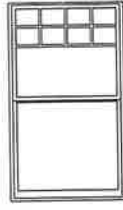
Victorian



New England



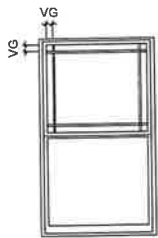
Top Row



Traditional

VG = Visible Glass
Lite dimensions noted can vary.
For size and pattern availability contact your local Pella sales representative.

Grilles-Between-the-Glass



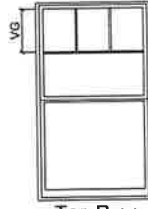
9-Lite
Prairie



12-Lite
Prairie



Cross



Top Row

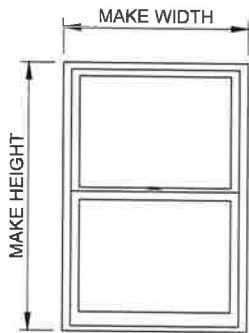
- Prairie**
- Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
 - Available in transoms ≥ 1'3" height and width.
- Cross**
- Minimum DH frame height 35".
 - Horizontal bar will be at 1/2" of the VG height of the top sash.
- Top Row**
- Minimum DH frame height 35".
 - Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Size and Measurement Guidelines



Interior view shown.
Refer to unit cross sections in this section for Make Width and Make Height dimensions.

Make Dimensions

Minimum

13-1/2" W x 23-3/4" H
(343 x 603)

Maximum

48" W x 84" H
(1 219 x 2 134)

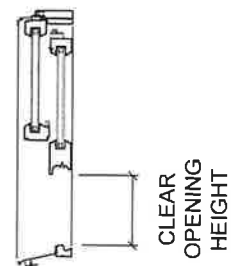
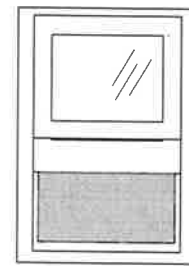
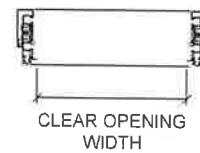
Make Width (MW) = A - 1/2" (rounded to the nearest 1/4")

Make Height (MH) = B - 1/2" (rounded to the nearest 1/4")

Cottage Sash windows must be between $\geq 40\text{-}1/2"$ and $\leq 71\text{-}1/2"$ make height.

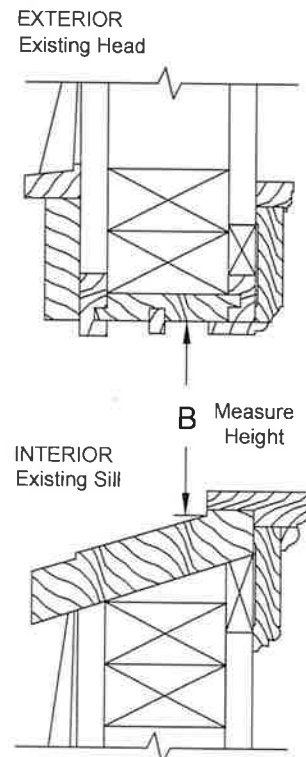
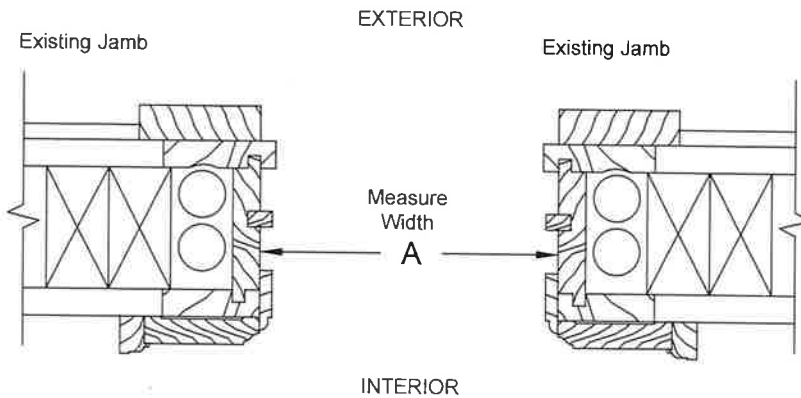
Standard DH - Equal Sash Only - Standard Rail/Stile widths

Vent Units	
Visible Glass	Width = Frame - 5.647"
	Height = ((Frame - 8.6875) ÷ 2) - .75"
Actual Glass	Width = Frame - 4.375"
	Height = ((Frame - 5.983) ÷ 2) - .75"
Clear Opening	COW = Frame Width - 3.6875"
	(Frame Height ÷ 2) - 5.1875"
Vent Area	(COW x COH) ÷ 144



Shaded portion shows vent area.

Measurement guidelines

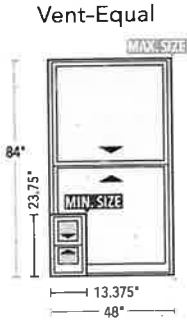




Pella® Reserve™ Traditional Precision-Fit Hung Window

Design Data

Make Size Ranges



Make Width = Opening width - 1/2" (rounded to the nearest 1/4")
 Make Height = Opening width - 1/2" (rounded to the nearest 1/4")

Cottage and custom sash splits also available.
 Cottage Sash windows must be between $\geq 40\text{-}1/2"$ and $\leq 71\text{-}1/2"$ make height.
 Companion fixed windows available. See Precision Fit Casement window offering for matching glass sight-lines, or see the Fixed Frame Direct Set offering.

- CW40
- CW45
- CW50-Clad / CW45-Wood

Check all applicable local codes for emergency egress requirements.
 E Meets min. clear opening 24" H x 20" W and 5.7 ft².
 E1 Meets min. clear opening 24" H x 20" W and 5.0 ft².

Standard Sizes

Vent - Equal Sash	84			E1	E1	E	E	E	E	E	E	E	E	E	E	E	E
	77			E1	E1	E	E	E	E	E	E	E	E	E	E	E	E
	71.5				E1	E1	E	E	E	E	E	E	E	E	E	E	E
	71					E1	E1	E	E	E	E	E	E	E	E	E	E
	65.5						E1	E1	E	E	E	E	E	E	E	E	E
	65							E1	E1	E	E	E	E	E	E	E	E
	61.5								E1	E	E	E	E	E	E	E	E
	59.5									E1	E	E	E	E	E	E	E
	59										E1	E	E	E	E	E	E
	57.5											E1	E	E	E	E	E
	57																
	53.5																
	53																
	51.5																
	47.5																
	47																
45.5																	
41.5																	
41																	
37.5																	
35.5																	
35																	
		21	23.5	25	27.5	29	29.5	31.5	33	35.5	37	39.5	41	41.5	45	48	

Standard sizes shown, unless noted otherwise. Special sizes are available in 1/4" increments.
 Maximum performance when glazed with the appropriate glass. For special size units, use the performance class and grade for the next larger standard size unit.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Detailed Product Description - Aluminum-Clad Exterior

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir].
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Pocket depth is 3-1/4" (83mm).
- Vinyl jamb liner, includes wood/clad inserts.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [LX: [clear pine] [mahogany] [douglas fir]] [SE: clear pine].
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Sash thickness is 1-7/8" (47mm).
- Sash exterior profile is [ogee] [putty glaze], interior profile is ogee.
- [Double-Hung: Upper sash has surface-mounted wash locks].
- Lower sash has concealed wash locks in lower check rail.
- Sashes tilt for easy cleaning.

Weatherstripping

- Water-stop Santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 1 1/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort Low-E] [NaturalSun Low-E with argon]] [[bronze] [gray] [green] Advanced Low-E with argon].

Exterior

- Aluminum clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [standard] [feature] [custom]₂
 - or -
- Aluminum clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - Color is [standard] [feature] [custom]₂

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished] [paint] [stain]₂.

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard] [historic spoon-style]. Two sash locks on units with make width 37" and greater.
- Optional Sash lift furnished for field installation. Two lifts on units with make width 37" and greater.
- Hardware finish is [baked enamel] [Champagne] [White] [Brown] [Matte Black] [Satin Brass] [Satin Nickel] [Oil-rubbed Bronze] [Distressed Bronze] [Distressed Nickel].

Optional Products

Grilles

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [LX: [pine] [mahogany] [douglas fir]] [SE: pine]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished] [White] [Linen White] [Bright White] [stain]₂.
 - Exterior grilles are [5/8" putty glaze profile] [7/8" [putty glaze] [ogee] profile] [1-1/4" [putty glaze] [ogee] profile] that are extruded aluminum.
 - Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.
 - or -
- Grilles-Between-the-Glass₃
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
 - Interior color is [White] [Tan₄] [Brown₄] [Putty₄] [Black] [Ivory] [Harvest] [Cordovan] [Brickstone].
 - Exterior colors is [standard]₂.

Screens

- InView™ Screens
 - [Half-Size] [Full-Size] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [extruded] [standard] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Spreader bar placed on units > 37" width or 64-1/4" make height.
 - Screen frame finish is baked enamel, color to match window cladding.

Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

(1) Low-E coated insulating glass is argon-filled (except high altitude). All other insulating glass (including high altitude Low-E) is air-filled.

(2) Contact your local Pella sales representative for current color options.

(3) Available in clear or Low-E insulating glass only.

(4) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Detailed Product Description - Wood Exterior Sash

Frame

- Select **softwood, water-repellent, preservative-treated with EnduraGuard® triple wood protection in accordance with WDMA I.S.-4. EnduraGuard triple protection formula includes water-repellency, three active fungicides and an insecticide applied to the frame.**
- Interior exposed surfaces are [pine] [mahogany].
- Exterior surfaces are clad with aluminum.
- Pocket depth is 3-1/4" (83mm).
- Vinyl Jamb liner includes wood / clad inserts.

Sash

- Select **softwood, water-repellent, preservative-treated with EnduraGuard triple wood protection in accordance with WDMA I.S.-4. EnduraGuard triple protection formula includes water-repellency, three active fungicides and an insecticide applied to the sash.**
- Interior exposed surfaces are [pine] [mahogany].
- Exterior surfaces are [pine] [mahogany].
- Sash thickness is 1-13/16" (46mm).
- Sash exterior profile is putty glaze, interior profile is ogee.
- Upper sash has surface-mounted wash locks.
- Lower sash has concealed wash locks in lower check rail.
- Sashes tilt for easy cleaning.

Weatherstripping

- Water-stop Santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner or jamb liner components to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 11/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [Advanced Comfort Low-E] [Natural Sun Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E with argon].

Exterior

- [Pine: factory primed with one coat acrylic latex] [Mahogany: [factory primed with one coat acrylic latex] [Unfinished, ready for site finishing]].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished [White] [Linen White] [Bright White] [stainz]].

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard] [historic spoon-style]. Two sash locks on units with make width 37" and greater.
- Optional Sash lift furnished for field installation. Two lifts on units with make width 37" and greater.
- Hardware finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [satin brass] [satin nickel] [oil-rubbed bronze] [distressed bronze] [distressed nickel].

Optional Products

Grilles

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [pine] [mahogany]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stainz]].
 - Exterior grilles are [5/8"] [7/8"] [1-1/4"] putty glaze profile [pine] [mahogany], water repellent, preservative-treated in accordance with WDMA I.S.-4, and are factory primed.
 - Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.
- or -

Grilles-Between-the-Glass³

- Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
- Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
- Interior color is [White] [Tan 4] [Brown 4] [Putty 4] [Black] [Ivory] [Harvest] [Cordovan] [Brickstone].
- Exterior colors is [standard²].

Screens

- InView™ Screens
 - [Half-Size] [Full-Size] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [extruded] [standard] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Spreader bar placed on units > 37" width or 64-1/4" make height.
 - Screen frame finish is baked enamel, color to match window cladding.

Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

(1) Low-E coated insulating glass is argon-filled (except high altitude). All other insulating glass (including high altitude Low-E) is air-filled.

(2) Contact your local Pella sales representative for current color options.

(3) Available in clear or Low-E insulating glass only.

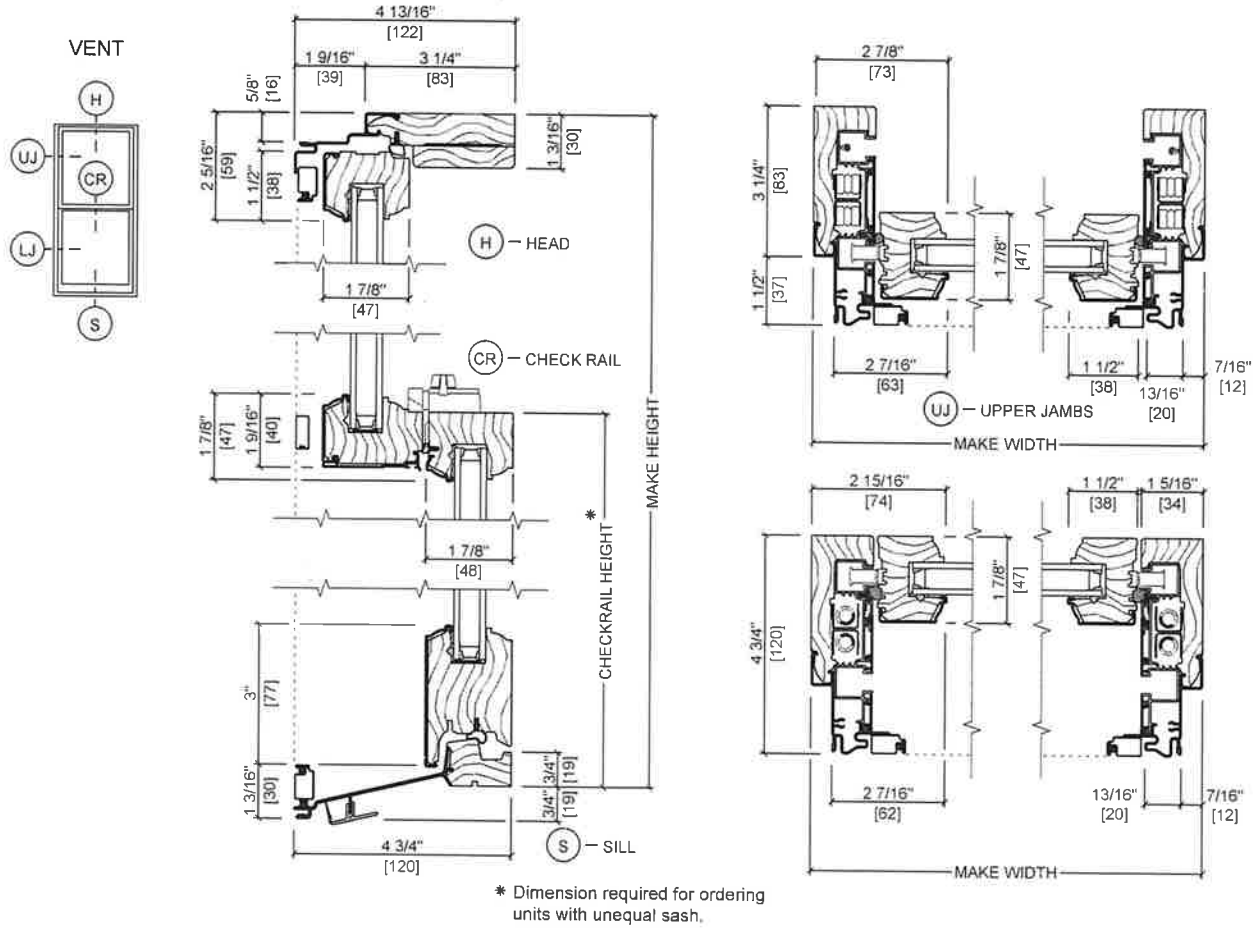
(4) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile



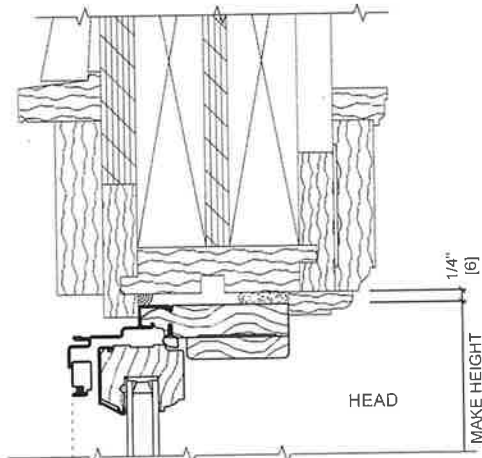
Scale 3" = 1' 0"

All dimensions are approximate.

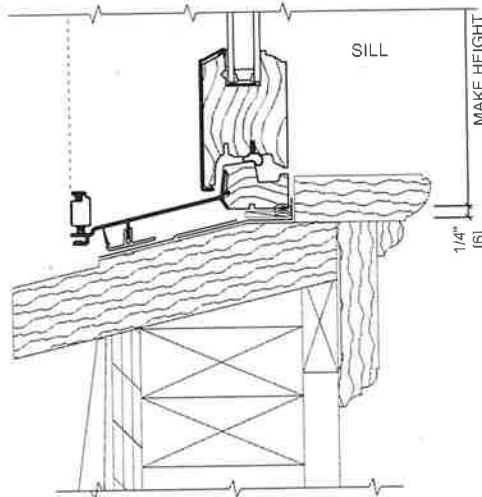


Pella® Reserve™ Traditional Precision-Fit Hung Window

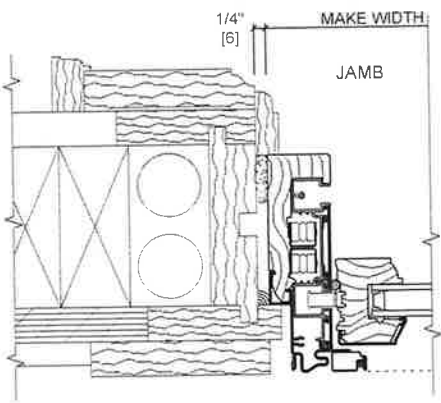
Installation Details - Aluminum-Clad Exterior



NOTE:
WALL CONSTRUCTION AND OLD DOUBLE-HUNG FRAME SHOWN ARE EXISTING; OLD DOUBLE-HUNG SASH HAS BEEN REMOVED. REFER TO THE APPROPRIATE PELLA INSTALLATION INSTRUCTION FOR COMPLETE STEP BY STEP INSTRUCTIONS. SHIM AND PLUMB UNITS AS REQUIRED. SEAL UNIT TO EXTERIOR / BLIND STOP.



SEAL THE UNIT TO EXISTING STOOL AND WINDOW SILL. SEAL ADJUSTABLE SILL ADAPTER TO EXISTING WOOD SILL. LEVEL UNITS AS REQUIRED.



NOTE:
THE ADJUSTABLE SILL ADAPTER MAY BE REMOVED WHEN THE EXISTING WINDOW SILL HAS A SLOPE OF 12 DEGREES OR LESS.

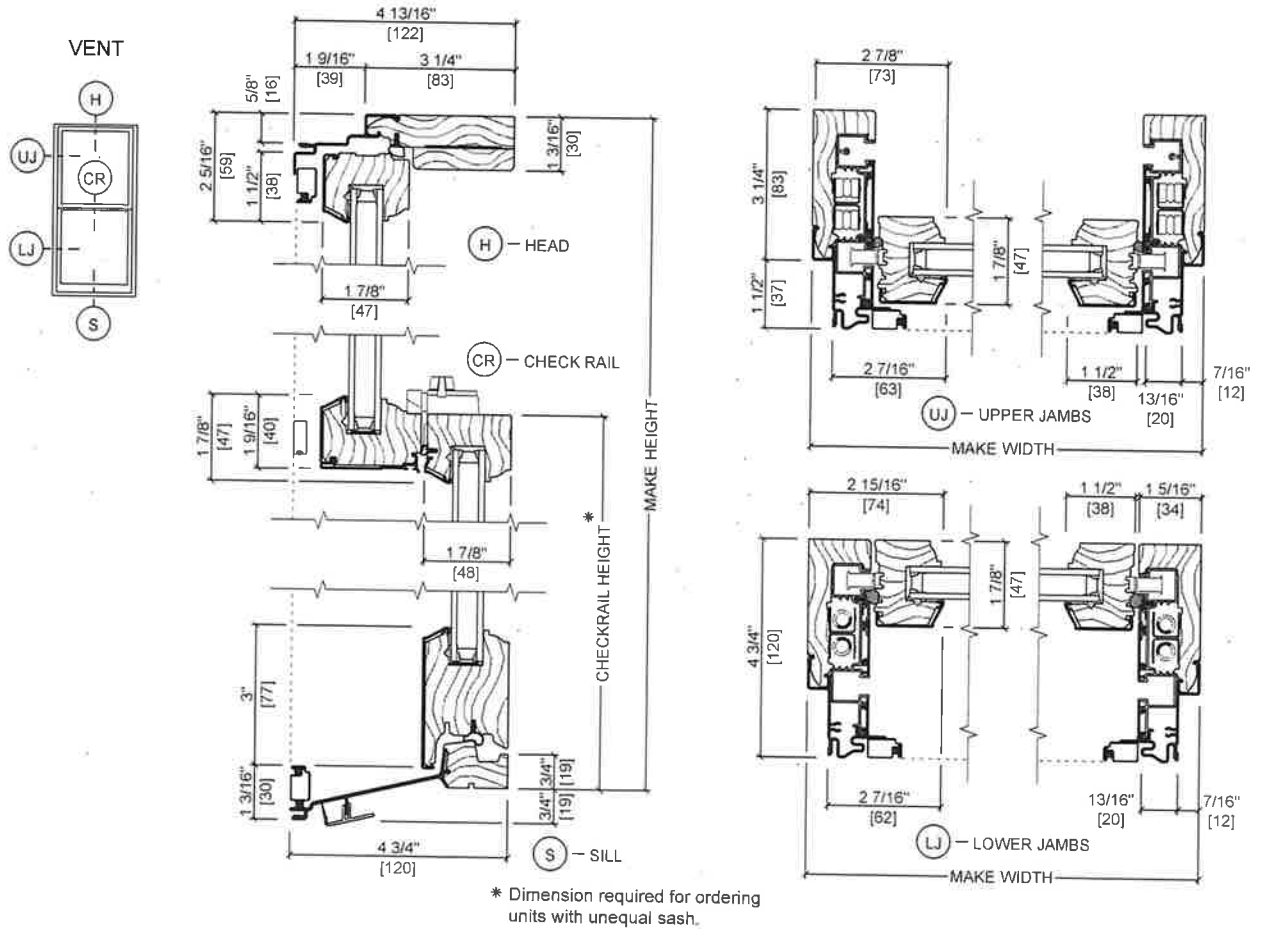
INSULATE ALL VOIDS AT WINDOW PERIMETER (BY OTHERS). SEAL UNIT TO EXTERIOR / BLIND STOP.

Scale 3" = 1' 0"
All dimensions are approximate.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Putty Exterior Glazing Profile

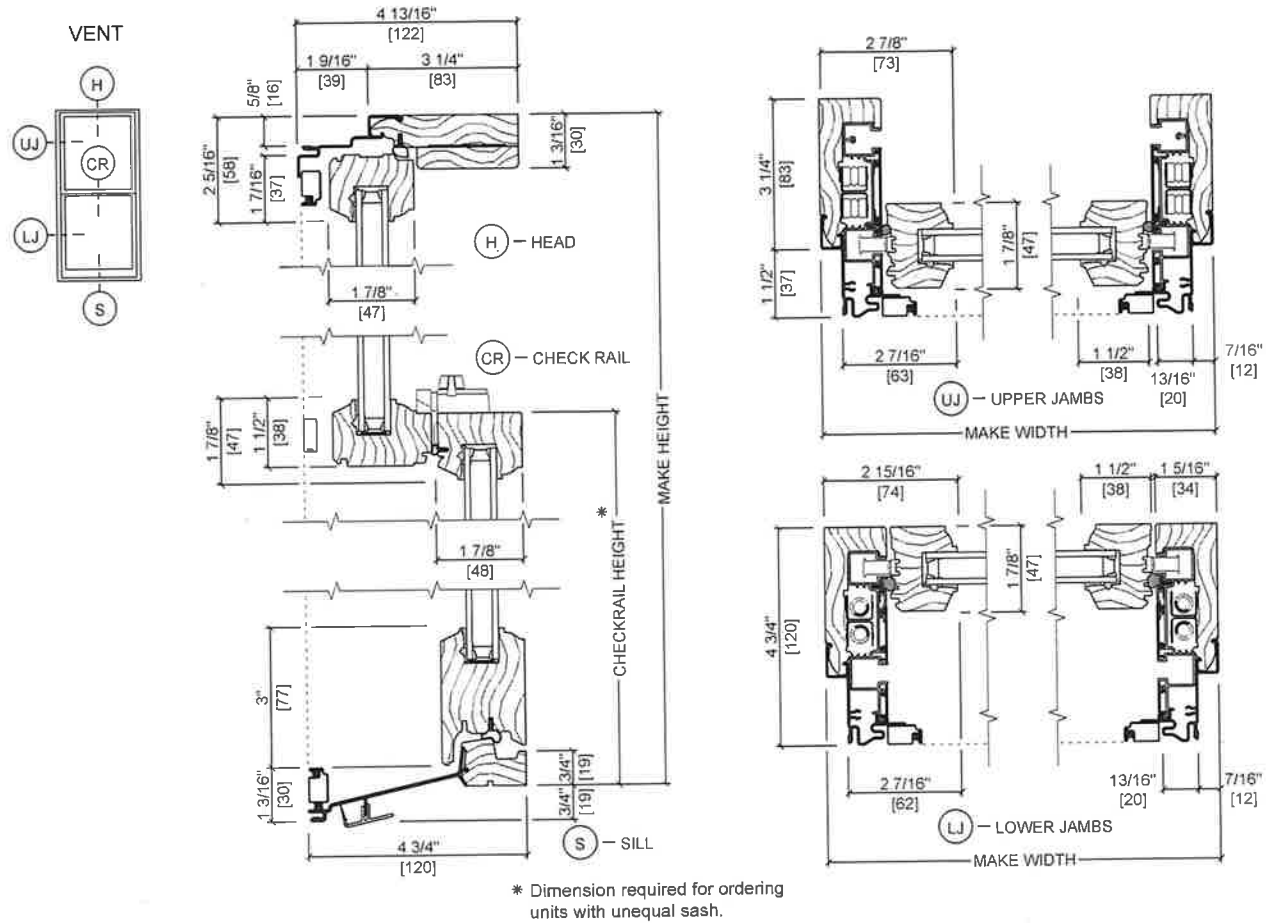


Scale 3" = 1' 0"
 All dimensions are approximate.



Pella® Reserve™ Traditional Precision-Fit Hung Window

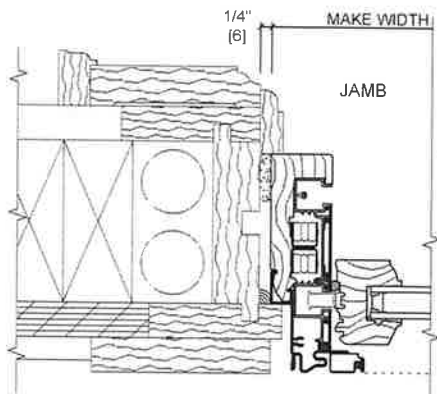
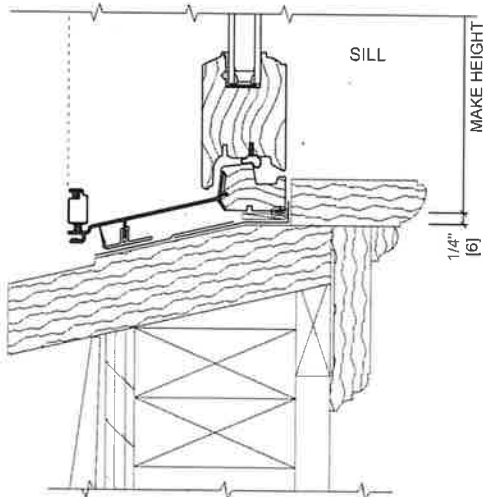
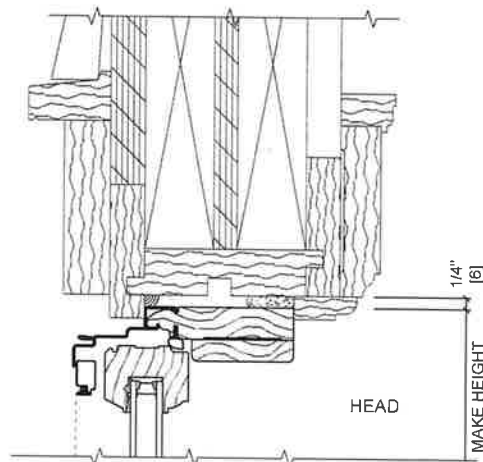
Unit Section - Wood Exterior Sash Putty Exterior Glazing Profile





Pella® Reserve™ Traditional Precision-Fit Hung Window

Installation Details - Wood Exterior Sash



NOTE:

WALL CONSTRUCTION AND OLD DOUBLE-HUNG FRAME SHOWN ARE EXISTING; OLD DOUBLE-HUNG SASH HAS BEEN REMOVED. REFER TO THE APPROPRIATE PELLA INSTALLATION INSTRUCTION FOR COMPLETE STEP BY STEP INSTRUCTIONS. SHIM AND PLUMB UNITS AS REQUIRED. SEAL UNIT TO EXTERIOR / BLIND STOP.

SEAL THE UNIT TO EXISTING STUOL AND WINDOW SILL. SEAL ADJUSTABLE SILL ADAPTER TO EXISTING WOOD SILL. LEVEL UNITS AS REQUIRED.

NOTE:

THE ADJUSTABLE SILL ADAPTER MAY BE REMOVED WHEN THE EXISTING WINDOW SILL HAS A SLOPE OF 12 DEGREES OR LESS.

INSULATE ALL VOIDS AT WINDOW PERIMETER (BY OTHERS). SEAL UNIT TO EXTERIOR / BLIND STOP.

Scale 3" = 1' 0"

All dimensions are approximate.



Town of Exeter Historic District Commission

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www.exeternh.gov

CERTIFICATE OF APPROPRIATENESS For erection and display of CHANGE TO EXISTING STRUCTURE



Official Use Only

Application No. HDC# 23-7 Fee Paid N/A Date Paid _____
(mm/dd/yyyy)

Application is hereby made for the issuance of a Certificate of Appropriateness under Zoning Ordinance Article 8.0 Historic District Regulations.

To be completed by Applicant	To be completed by Town Staff		
	Yes	Yes	No
Completed Renovation Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Architectural Details (as applicable): including but not limited to window/door/ cornerboard trim, eave, railings, cupolas, brackets, shutters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Description of Materials (specification sheets and/or samples): including but not limited to windows, doors, siding, trim, masonry, exterior lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photographs: existing site, existing structure, proposed ideas <u>will provide @ meeting</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Application Fee <u>N/A</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Project Property Address: 85 Water Street
The following information can be obtained from the Assessor's Office or Planning Department

Tax Map: 72-29 Lot No.: _____ Unit: _____

Please check the category which is appropriate to this application

- Move an existing structure to, from or within the Districts
- Demolition of all or part of an existing structure
- Change appearance (including but not limited to roofing, chimney, doors, fence, landscaping)
- Window Replacement
- Restore to original or appropriate style or period

RECEIVED

JUL 25 2023

EXETER PLANNING OFFICE

If known, list the architect, designer and/or contractor who are or will be involved with the design and execution of the work proposed in the application: John P. DeStefano & Associates

The described work is scheduled to begin on October 1, 2023 and to be completed by October 30, 2024
(mm/dd/yyyy) (mm/dd/yyyy)

Other comments: _____



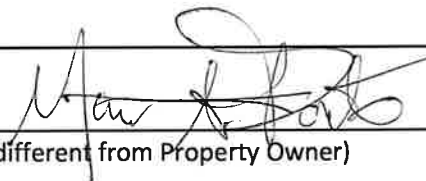
Town of Exeter Historic District Commission

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www.exeternh.gov

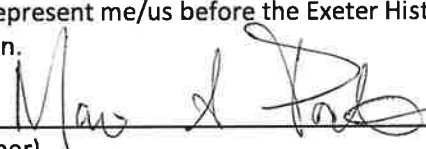
See Exeter Zoning Ordinance Section 8.0

Each application for a certificate of appropriateness shall be submitted on forms provided by the Historic District Commission (HDC). The application shall be presented to the Building Department of the town of Exeter, who shall record the date and receipt of the complete application. The Building Department will forward all applications to the HDC Chairperson.

Applicant Name <u>MARIO A POUTE REV TAXI</u>	Property Owner (if different than applicant)
Applicant's Mailing Address <u>101 WATER STREET</u>	Property Owner's Mailing Address
City, State, Zip <u>EXETER, N.H 03833</u>	City, State, Zip
Applicant's Phone Number <u>603-772-4511</u>	Property Owner's Phone Number
Applicant's Email <u>mario-poute@comcast.net</u>	Property Owner's Email

Signature:  **Date:** 7/22/2023
(Applicant, if different from Property Owner) (mm/dd/yyyy)

I attest that I represent the owner(s) of the above named property to be modified, and I authorize the applicant to represent me/us before the Exeter Historic District Commission in all matters concerning this application.

Signature:  **Date:** 7/22/2023
(Property Owner) (mm/dd/yyyy)

The above named owner and applicant recognize that the property is situated in the Historic District of Exeter, New Hampshire. We certify that the information contained in the application is true to the best of our knowledge and request that the Exeter Historic District Commission consider the following proposal for said property.

END OF APPLICATION



Town of Exeter Historic District Commission

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www.exeternh.gov

Certificate of Appropriateness

Official Use Only

Application No. HDC # 237

Date Application received by the Building Department Office 7/25/23 (mm/dd/yyyy) *adm*

Date Application accepted by Historic District Commission _____ (mm/dd/yyyy)

Date Public Hearing held by Historic District Commission _____ (mm/dd/yyyy)

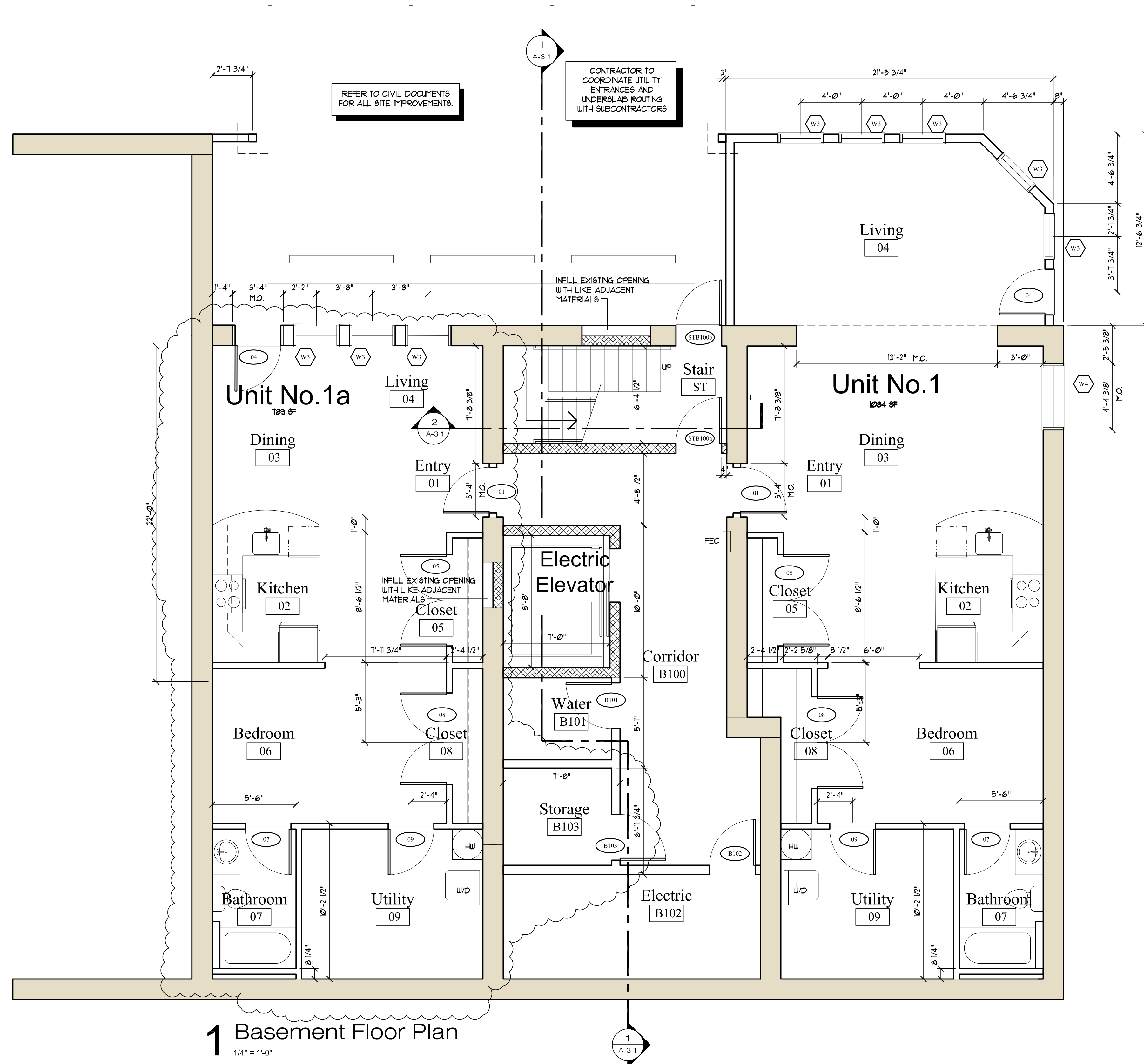
Disposition of Application:

- Disapproved
- Approved as submitted
- Approved with conditions listed below

Authorized Signature: _____

Date of Authorization: _____

Conditions of Approval:



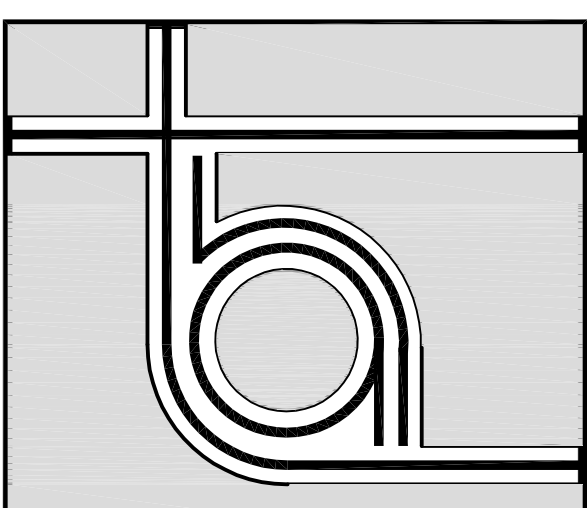
C.O. DET LOCATION

CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 15 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS

NOTE:
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NOTE:
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- GENERAL
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE STATE BUILDING CODE (2015 INTERNATIONAL BUILDING CODE) SHOULD LOCAL CODES AND/OR ORDINANCES DIFFER FROM THESE PLANS, A DETERMINATION SHALL BE MADE BY THE CONTRACTOR AND/OR LOCAL CODE ENFORCEMENT OFFICER AS TO WHICH IS MOST STRINGENT. THE MOST STRINGENT REQUIREMENT SHALL RULE.
 3. ALL SECTIONS, DETAILS, NOTES, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
 4. TESTING AND INSPECTION AGENCIES SELECTED BY THE OWNER. ALL WORK SHALL REQUIRE ADHERENCE TO THE REQUIREMENTS OF ASTM DESIGNATION E-309 ENTITLED "RECOMMENDED PRACTICE FOR INSPECTION AND TESTING AGENCIES FOR CONCRETE AND STEEL USED IN CONSTRUCTION."
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 13. FRAMING PLANS ARE SCHEMATIC IN NATURE AND SHOULD NOT BE SCALED. INSTALL ALL BLOCKING, BRACING, STIFFBACKS, ETC. AS REQUIRED BY THE BUILDING CODE AND IN ACCORDANCE WITH GOOD FRAMING PRACTICES AND STANDARDS.
 14. ALL ROOF RAFTERS SHALL HAVE HURRICANE TIE DOUGNS.
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 16. RAILINGS AT DECKS, BALCONIES AND RAISED PLATFORMS ARE TO BE A MINIMUM OF 42" ABOVE FINISHED FLOOR. RAILINGS ARE TO SUPPORT A CONCENTRATED LOAD OF 200 LBS. ACTING IN ANY DIRECTION.
 - PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM AREA.
 - PROVIDE NOT LESS THAN ONE SMOKE DETECTOR FOR EVERY 1200 SF OF FLOOR SPACE.
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 20. TEMPERED GLASS TO BE PROVIDED WHEN THE BOTTOM EDGE OF THE GLASS IS LESS THAN 24" ABOVE FINISHED FLOOR PLAIN.
 21. REFER TO OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 22. ALL INTERIOR WALLS ARE 13/16" UNLESS OTHERWISE NOTED.



THA ARCHITECTS, LLC
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P.O. Box 88
STRATHAM, NEW HAMPSHIRE 03885
Tel: (603) 770-2491
www.thaarc.com

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Mario Ponte
101 Water Street
Exeter, NH

Janvrin's Block
85 Water Street
Exeter, NH

Basement Floor Plan Notes

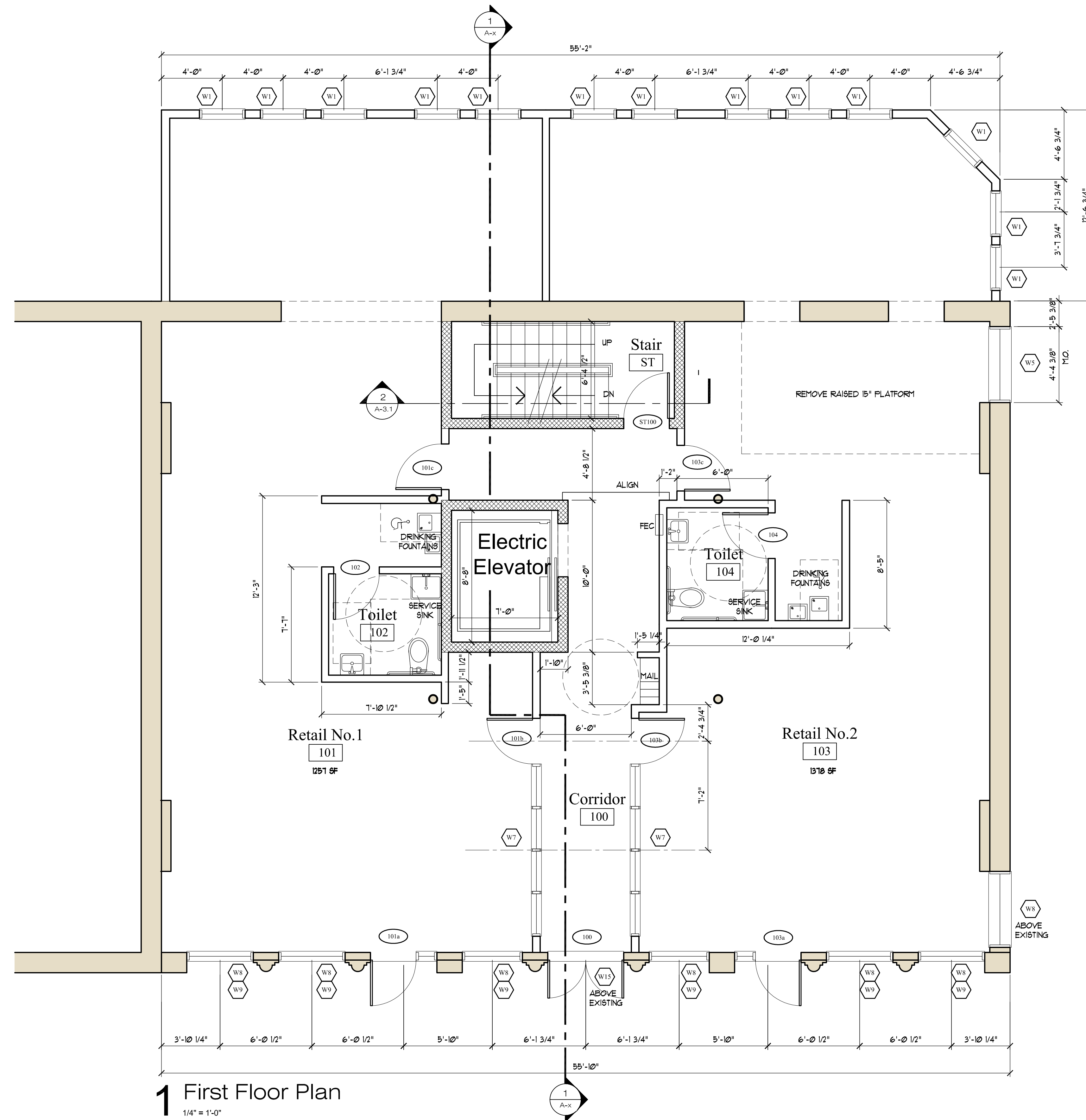
Structural Engineer:
Emanuel Engineering

Progress Set
June 2, 2023

SCALE:	
ISSUED / DRAWN BY	
REVISER / REVISED BY	

JOB NO: 21006

SHEET NUMBER
A-1.1B



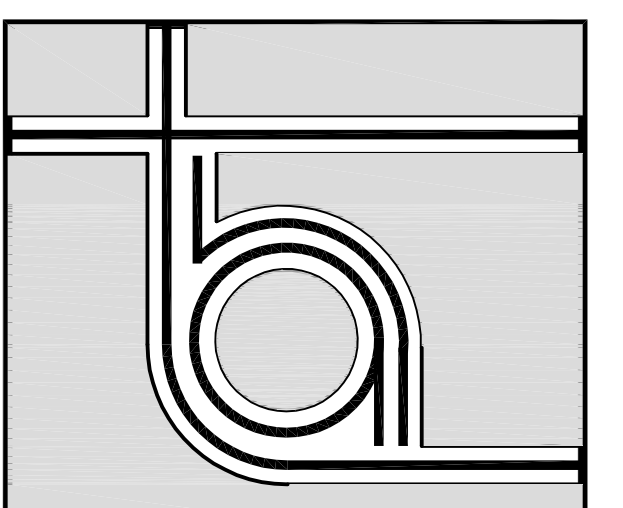
1 First Floor Plan
1/4" = 1'-0"

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Janvrin's Block
85 Water Street
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First Floor Plan Notes

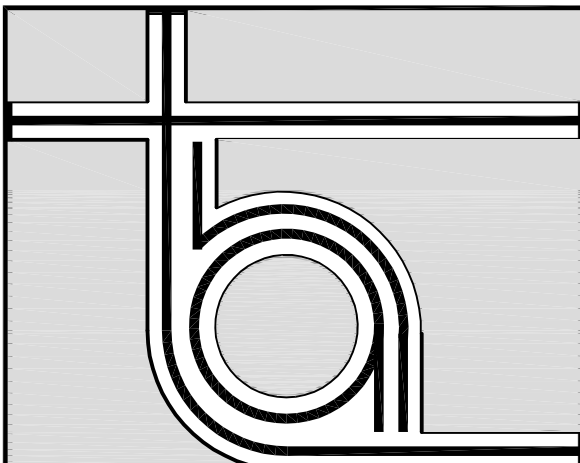
Structural Engineer:
Emanuel Engineering

Progress Set
July 13, 2022

SCALE:	
ISSUED / DRAWN BY	
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SHEET NUMBER
A-1.1



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ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN

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Mario Ponte
101 Water Street
Exeter, NH

Janvrin's Block
85 Water Street
Exeter, NH

Second
Floor Plan
Notes

Structural Engineer:
Emanuel Engineering

Progress Set
July 13, 2022

SCALE:

ISSUED / DRAWN BY

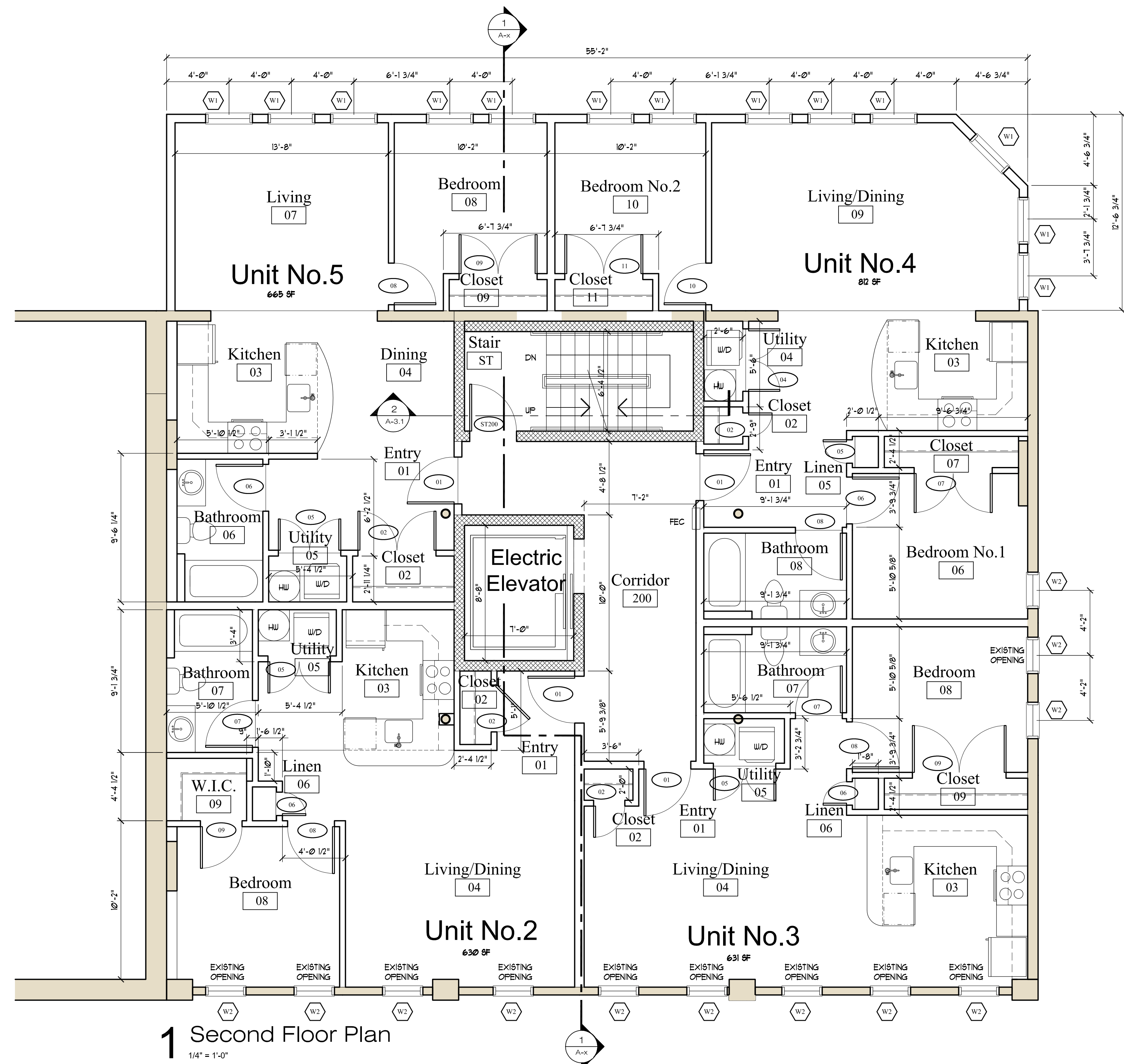
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1 Second Floor Plan
1/4" = 1'-0"

C.O. DET LOCATION

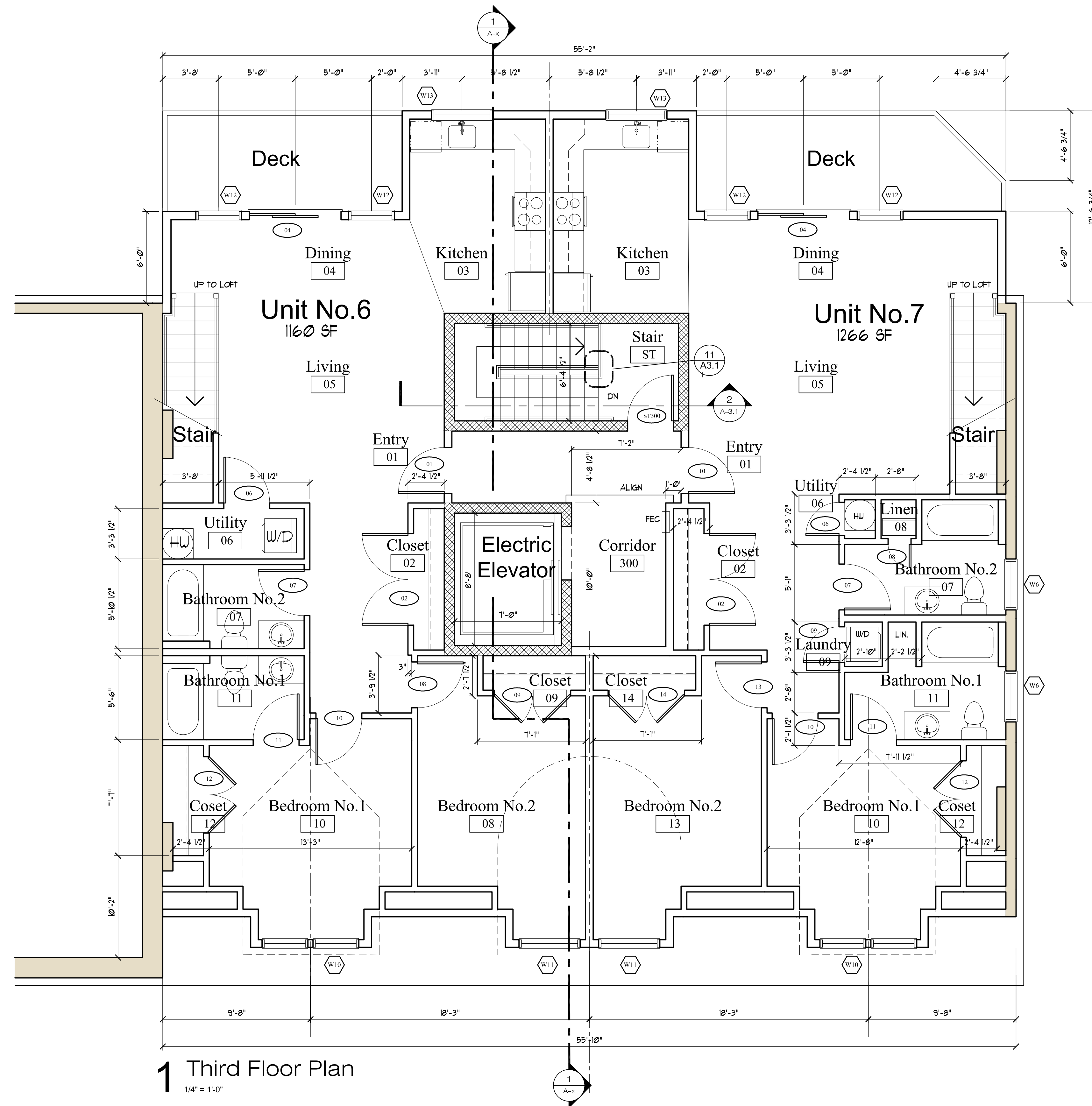
CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS

NOTE:
COORDINATE AND VERIFY ALL BOTTOM OF FOOTING, TOP OF WALL AND SLAB ELEVATIONS WITH THE CIVIL ENGINEER PRIOR TO EXCAVATION AND LAYING OUT CONCRETE REINFORCING. BOTTOM OF CONCRETE FOOTINGS TO BE MINIMUM 4'-0" BELOW FINISH GRADE. TOP OF CONCRETE WALL TO BE 8" MINIMUM ABOVE FINISH GRADE. REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION

NOTE:
CONCRETE FOUNDATIONS SHALL NOT BE POURED IN FREEZING TEMPERATURES AND NOT ON FROZEN GROUND.

GENERAL

- 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
- 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE STATE BUILDING CODE, 2015 INTERNATIONAL BUILDING CODE/ SHOULD LOCAL CODES AND/OR ORDINANCES DIFFER FROM THESE PLANS, A DETERMINATION SHALL BE MADE BY THE CONTRACTOR AND/OR LOCAL CODE ENFORCEMENT OFFICER AS TO WHICH IS MOST STRINGENT. THE MOST STRINGENT REQUIREMENT SHALL RULE.
- 3. ALL SECTIONS, DETAILS, NOTES, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
- 4. TESTING AND INSPECTION AGENCIES SELECTED BY THE OWNER ALL WORK SHALL REQUIRE ADHERENCE TO THE REQUIREMENTS OF ASTM DESIGNATION E-329 ENTITLED "RECOMMENDED PRACTICE FOR INSPECTION AND TESTING AGENCIES FOR CONCRETE AND STEEL USED IN CONSTRUCTION."
- 5. FOOTINGS SHALL REST ON FIRM STRUCTURAL FILL. REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION.
- 6. THE CONTRACTOR SHALL RETAIN A PROFESSIONAL SOILS ENGINEER TO VERIFY SOIL BEARING CAPACITY.
- 7. ALL GRANULAR FILL MATERIAL UNDER SLABS SHALL BE PLACED TO 95% RELATIVE DENSITY.
- 8. ALL FOOTING EXCAVATIONS TO BE FINISHED BY HAND AND INSPECTED AND APPROVED BY THE TESTING ENGINEER BEFORE ANY CONCRETE IS PLACED.
- 9. BACKFILL SHALL BE PLACED TO EQUAL ELEVATIONS ON BOTH SIDES OF FOUNDATION WALLS. WHERE BACKFILL IS ON ONE SIDE ONLY, WORK SHALL BE SHORED OR HAVE PERMANENT ADJACENT CONSTRUCTION IN PLACE BEFORE BACKFILLING.
- 10. THE SIDES OF ALL BEAMS, WALLS, FOOTINGS, ETC. SHALL BE FORMED AND CONCRETE SHALL NOT BE PLACED AGAINST EARTH CUTS.
- 11. FOOTINGS SHALL NOT BEAR ON FROZEN SOIL AND ALL EXTERIOR FOOTINGS SHALL BE NOT LESS THAN 4'-0" BELOW ADJACENT FINISH GRADE.
- 12. ALL SLABS ON GRADE SHALL HAVE A 15 MIL. VAPOR BARRIER UNDERNEATH.
- 13. FRAMING PLANS ARE SCHEMATIC IN NATURE AND SHOULD NOT BE SCALED. INSTALL ALL BLOCKING, BRACING, STIFFBACKS, ETC., AS REQUIRED BY THE BUILDING CODE AND IN ACCORDANCE WITH GOOD FRAMING PRACTICES AND STANDARDS.
- 14. ALL ROOF RAFTERS SHALL HAVE HURRICANE TIE DOUGS.
- 15. GARAGE SHALL BE SEPARATED FROM RESIDENTIAL USE GROUP BY FIRE RATED WALLS AND CEILING. REFER TO BASEMENT FLOOR PLAN.
- 16. RAILINGS AT DECKS, BALCONIES AND RAISED PLATFORMS ARE TO BE A MINIMUM OF 42" ABOVE FINISHED FLOOR. RAILINGS ARE TO SUPPORT A CONCENTRATED LOAD OF 200 LBS. ACTING IN ANY DIRECTION.
- 17. PROVIDE SMOKE DETECTORS IN SUFFICIENT QUANTITIES AND LOCATIONS TO MEET REQUIREMENTS OF THE BUILDING CODE. PROVIDE NOT LESS THAN ONE SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT AND ATTICS CAPABLE OF BEING INHABITED.
 - PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM AREA.
 - PROVIDE NOT LESS THAN ONE SMOKE DETECTOR FOR EVERY 1200 SF OF FLOOR SPACE.
 - PROVIDE PHOTO ELECTRIC SMOKE DETECTOR IF LOCATED LESS THAN 20 FEET FROM EITHER A KITCHEN OR A BATHROOM WITH A TUB OR SHOWER.
- 18. PROVIDE FIRE ALARMS PER BUILDING CODE.
- 19. EACH BEDROOM ABOVE THE FIRST FLOOR SHALL BE EQUIPPED WITH AN EMERGENCY EGRESS WINDOW OF NOT LESS THAN A NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM CLEAR OPENING OF THE WINDOW SHALL NOT BE LESS THAN 20 INCHES IN WIDTH AND 24 INCHES IN HEIGHT.
- 20. TEMPERED GLASS TO BE PROVIDED WHEN THE BOTTOM EDGE OF THE GLASS IS LESS THAN 24" ABOVE FINISHED FLOOR PLAN.
- 21. REFER TO OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



1 Third Floor Plan
1/4" = 1'-0"

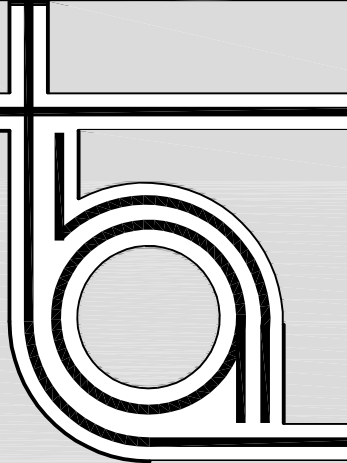
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20. TEMPERED GLASS TO BE PROVIDED WHEN THE BOTTOM EDGE OF THE GLASS IS LESS THAN 24" ABOVE FINISHED FLOOR PLAN.
21. REFER TO OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
22. ALL INTERIOR WALLS ARE 1/2" UNLESS OTHERWISE NOTED.



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Mario Ponte
101 Water Street
Exeter, NH

Janvrin's Block
85 Water Street
Exeter, NH

Third Floor Plan Notes

Structural Engineer:
Emanuel Engineering

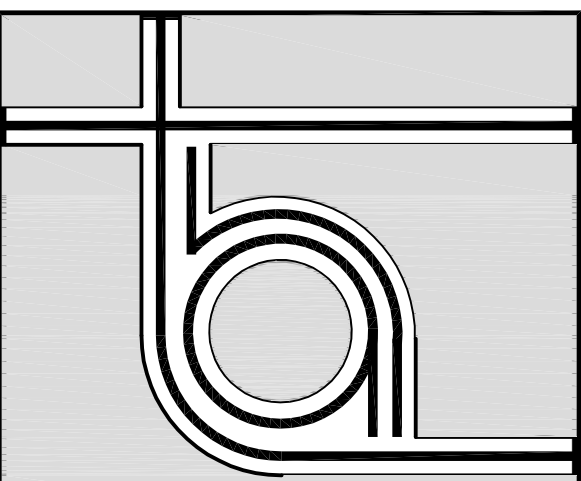
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Mario Ponte
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Exeter, NH

Janvrin's Block
85 Water Street
Exeter, NH

Roof
Plan
Notes

Structural Engineer:
Emanuel Engineering

Progress Set
July 13, 2022

SCALE:

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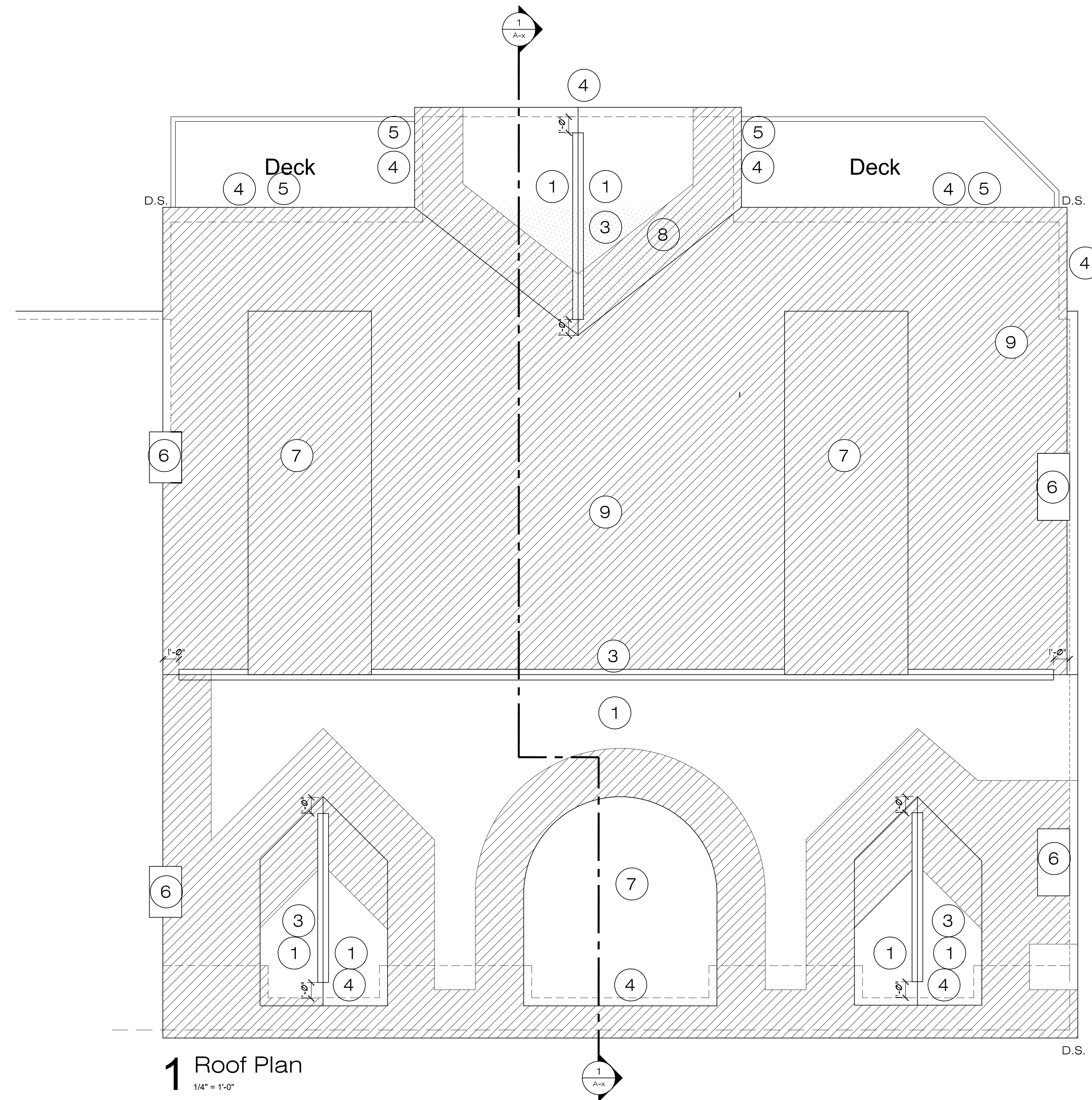
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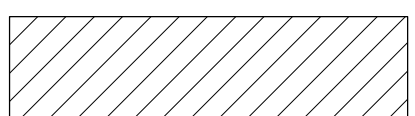

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LEGEND

1	ARCHITECTURAL GRADE ROOF SHINGLES	
2	ICE AND WATER SHIELD	
3	CONTINUOUS RIDGE VENT WITH SHINGLE COVER	
4	PREFINISHED METAL DRIP EDGE	
5	GUTTER SYSTEM	
6	EXISTING CHIMNEYS, REPOINT.	
7	EPDM ROOFING MEMBRANE	
8	SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW	
9	METAL ROOF SYSTEM	
D.S.	DENOTES DOWNSPOUT	

1 Roof Plan
1/4" = 1'-0"



1 Front Elevation
1/8" = 1'-0"

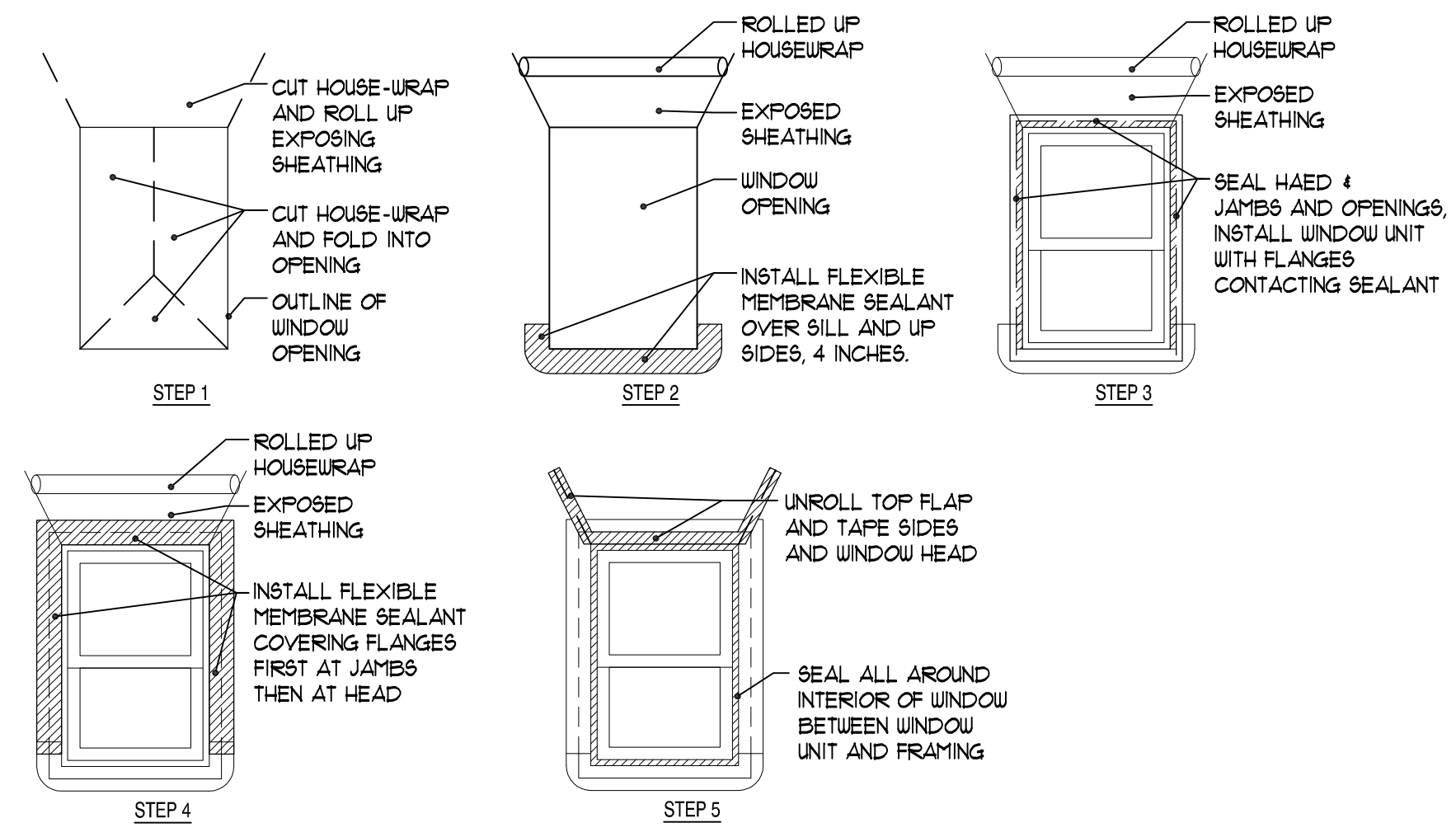


2 Side Elevation
1/8" = 1'-0"

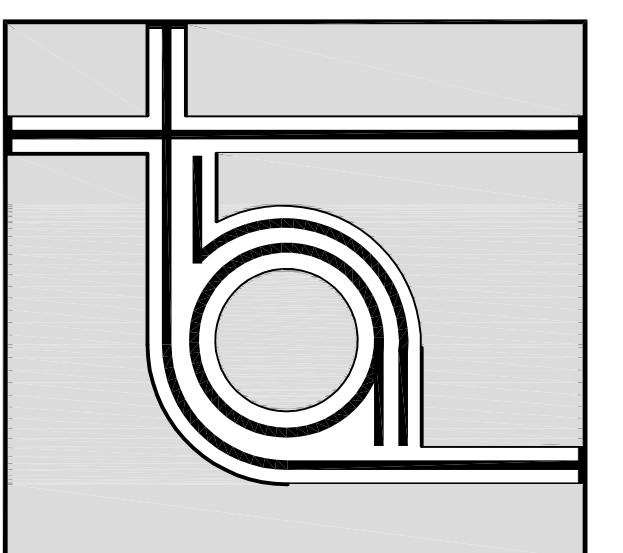
CONTRACTOR TO CONFIRM ALL FLOOR TO FLOOR DIMENSIONS. COORDINATE WITH ARCHITECT WITH ANY DISCREPANCIES.



3 Rear Elevation
1/8" = 1'-0"



Window Installation
NO SCALE



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Exterior
Elevations
Notes

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