

PRIMROSE SCHOOL OF EXETER COMMERCIAL DEVELOPMENT

TAX MAP 55 LOT 3, LAND UNIT 1 5 MCKAY DRIVE, EXETER, NH



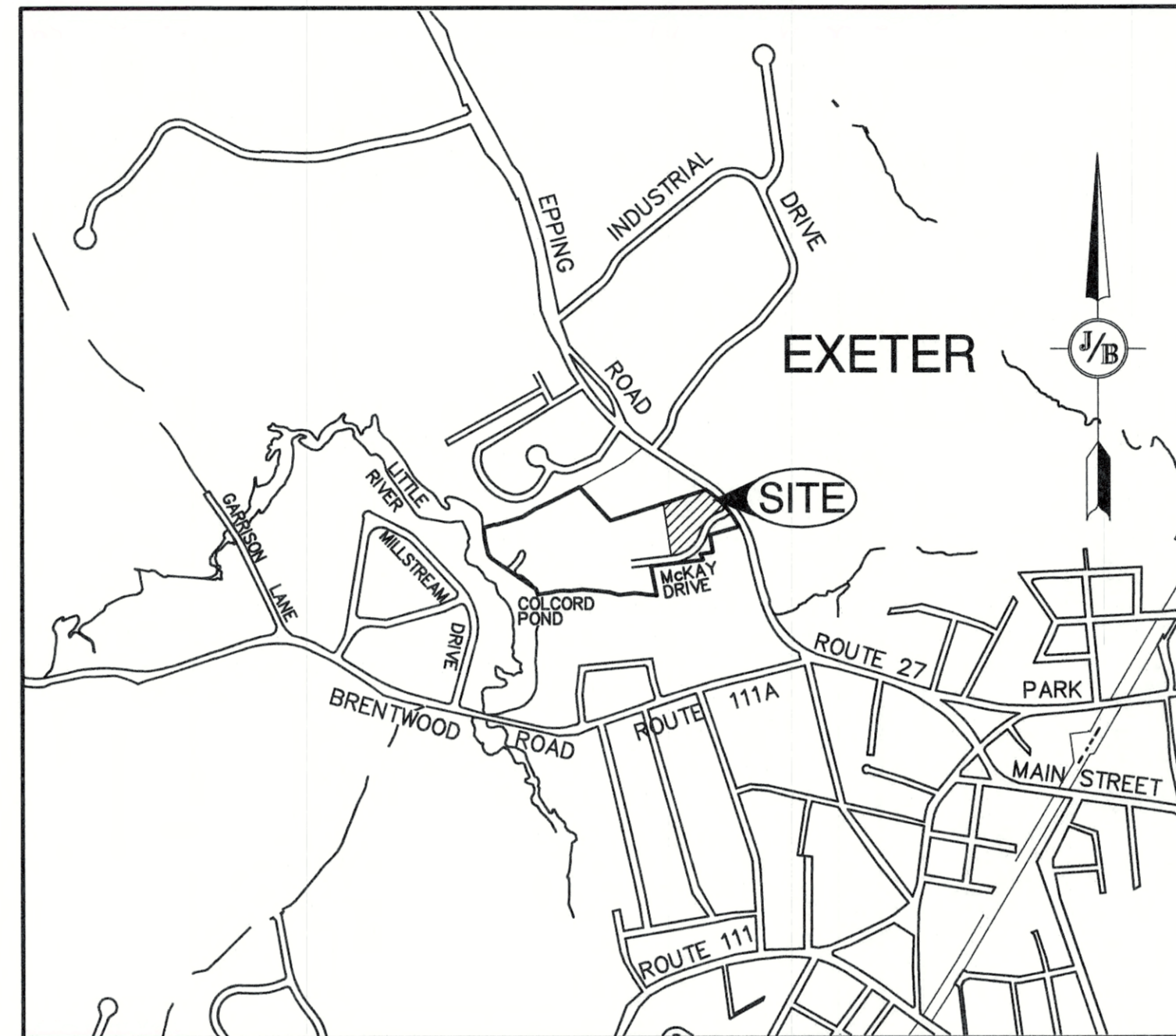
Know what's below
811 before you dig

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	POT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	MONITORING WELL
---	---	TEST PIT
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL
---	---	BORING

ABUTTERS

TAX MAP 55 LOT 16 TOWN OF EXETER 10 FRONT STREET EXETER NH 03833	TAX MAP 55 LOT 9 KERRY ALEXANDER 3 COLCORD POND DRIVE EXETER NH 03833
TAX MAP 55 LOT 1 RICHARD & KIMBERLY LEFAVE 15 COLCORD POND DRIVE EXETER NH 03833	TAX MAP 55 LOT 6 ROCHELLE REALTY, LLC 104 EPPING ROAD, SUITE 2 EXETER NH 03833
TAX MAP 55 LOT 14 RONALD DEFRESNE 114 GARVINS FALLS ROAD CONCORD NH 03301	TAX MAP 55 LOT 4 NICKERSON FAMILY REVOCABLE TRUST WESLEY NICKERSON, JR. GAIL NICKERSON, TRUSTEES 14 CROSS ROAD EXETER, NH 03833
TAX MAP 55 LOT 13 RAOUL & SANDRA MATHIEU 11 COLCORD POND DRIVE EXETER NH 03833	TAX MAP 55 LOT 72 JOHN & GAIL PERKINS 93A EPPING ROAD EXETER NH 03833
TAX MAP 55 LOT 12 ROBERT ROLAND COREY, JR. KEVIN WILLIAM KNEELAND 9 COLCORD POND DRIVE EXETER NH 03833	TAX MAP 55 LOT 114 78 EPPING ROAD, LLC 78 EPPING ROAD EXETER NH 03833
TAX MAP 62 LOT 90 CALVARY BAPTIST CHURCH 12 LITTLE RIVER ROAD EXETER NH 03833	TAX MAP 55 LOT 74 JULIETA & DONALD PETTERSON 150 PICKPOCKET ROAD BRENTWOOD NH 03833
TAX MAP 55 LOT 11 KEITH METCALFE 7 COLCORD POND DRIVE EXETER NH 03833	TAX MAP 62 LOT 112 GREAT BAY KIDS COMPANY 81 NEW HAMPSHIRE AVENUE PORTSMOUTH NH 03801
TAX MAP 55 LOT 10 DIANE MCCAIN JINHYEONG SONG 5 COLCORD POND DRIVE EXETER NH 03833	TAX MAP 55 LOT 75 FELDER KUEHL PROPERTIES, LLC PO BOX 181 BRISTOL NH 03222



LOCUS MAP
SCALE 1" = 1000'

SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
U1	UTILITY PLAN
L1	VILLA LIGHTING PLAN
L2-L3	LANDSCAPE AND DETAIL PLANS
A7.1	CASCO SITE DETAILS
D1-D4	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
A1.1	CASCO FLOOR PLANS
A4.0	CASCO BUILDING ELEVATIONS

OWNER OF RECORD/ APPLICANT

TUCK REALTY CORP.
149 EPPING ROAD, SUITE 2A
EXETER, NH 03833
(603) 778-6894

CIVIL ENGINEER

JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
CONTACT: JONATHAN RING P.E.
(603) 772-4746
EMAIL: JRING@JONESANDBEACH.COM

ARCHITECT

CASCO CORPORATION
12 SUNNEN DR., SUITE 100
ST. LOUIS, MO 63143
CONTACT: AARON BECKER
(314) 238-2031
EMAIL: AARON.BECKER@CASCOCORP.COM

LANDSCAPE ARCHITECT

IRONWOOD DESIGN GROUP, LLC
55 MAIN STREET, SUITE 129
NEWMARKET, NH 03857
CONTACT: JEFFREY HYLAND
(603) 772-0590

WETLAND & SOIL SCIENTIST

GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833
CONTACT: JAMES GOVE, CWS, CSS
(603) 778-0644

TRAFFIC ENGINEER

STEPHEN G. PERNAW & COMPANY, INC.
PO BOX 1721
CONCORD, NH 03302
CONTACT: STEPHEN G. PERNAW, PE, PTOE
(603) 228-5750

LIGHTING DESIGNER

VILLA LIGHTING
2929 CHOTEAU AVE.
ST. LOUIS, MO 63103
CONTACT: ADAM CARRIER
(314) 633-0538

ELECTRIC

UNITIL SERVICE CORPORATION
6 LIBERTY LANE WEST
HAMPTON, NH 03842
CONTACT: TIM NOONIS
(603) 773-6533

TELEPHONE

FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
CONTACT: JOE CONSIDINE
(603) 427-5525

CABLE TV

COMCAST COMMUNICATION CORP.
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

NATURAL GAS

NORTHERN UTILITIES
325 WEST ROAD
PORTSMOUTH, NH 03801
(603) 436-0310

PERMITS

TYPE OF PERMIT	STATUS
EXETER SITE PLAN APPROVAL: TOWN OF EXETER PLANNING BOARD 10 FRONT STREET EXETER, NEW HAMPSHIRE 03833 (603) 778-0591 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 5/5/2020 CASE NO. 20-8 DATED:
NHDES ALTERATION OF TERRAIN PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 7/9/20 PERMIT NO. AoT-1044 DATED: 2/17/2016 EXPIRATION: AMEND
NHDES WASTEWATER CONNECTION PERMIT: NHDES - WASTEWATER ENGINEERING BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. D2015-1202 DATED: 2/5/2016 EXPIRATION: AMEND
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	

PROJECT PARCEL
TAX MAP 55 LOT 3 LAND UNIT 1

TOTAL LAND UNIT 1 AREA
100,199 SF
2.30 ACRES

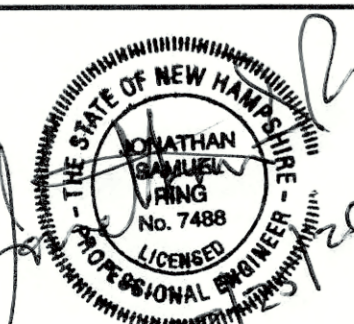
APPLICANT
BOULDERS REALTY CORP.
149 EPPING ROAD, SUITE 2A
EXETER, NH 03833

OWNER OF RECORD
TAX MAP 55 LOT 3 LAND UNIT 1
BOULDERS REALTY CORP.
149 EPPING ROAD, SUITE 2A
EXETER, NEW HAMPSHIRE 03833
R.C.R.D. BK 5704 PG 2433

TOWN OF EXETER PLANNING BOARD CASE NO. 20-8

CHAIRPERSON DATE:

Design: JSR	Draft: LAZ	Date: 3/18/20
Checked: JSR	Scale: AS NOTED	Project No.: 14101
Drawing Name: 14101-PLAN-PRIMROSE.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES AoT SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

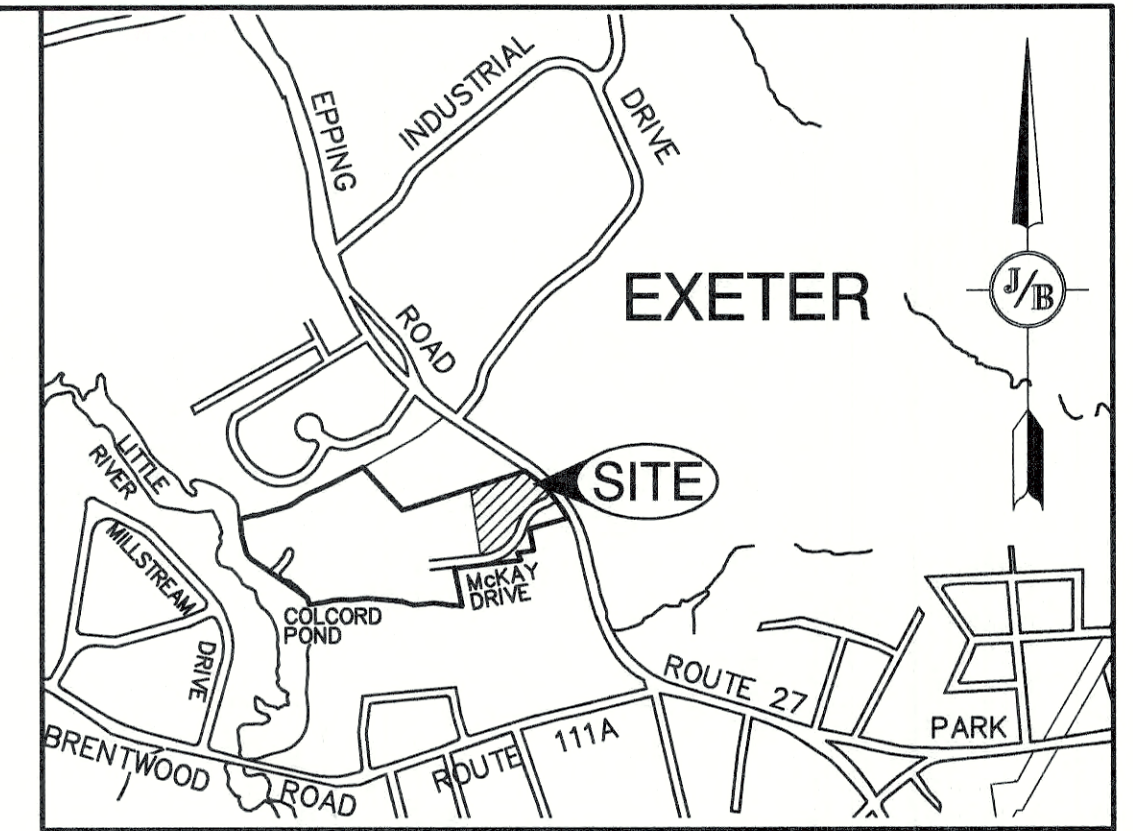
DRAWING NO.	CS
SHEET 1 OF 18	JBE PROJECT NO. 14101

SOIL IDENTIFICATION LEGEND (PER G.E.S.):

MAP UNIT	MAP NAME	HISS CONVERSION	HYDROLOGIC SOIL GROUP
299	UDORTHENTS, SMOOTHED	361	B
500	UDORTHENTS, LOAMY	461	C
600	ENDOQUENTS, LOAMY	561	D
921	NEWFIELDS VARIANT	421	C
546/P	WALPOLE	521	C
115/VP	SCARBORO	621	D

PLAN REFERENCES:

- "LOT LINE ADJUSTMENT PLAN, TAX MAP 55 LOT 3 & TAX MAP 62 LOT 111, 80 EPPING ROAD AND 5 BRENTWOOD ROAD, EXETER, NEW HAMPSHIRE." DATED JANUARY 15, 2014, LAST REVISED MARCH 23, 2016. SCALE 1" = 40'. PREPARED BY JONES & BEACH ENGINEERS, INC. R.C.R.D. 39391.
- "EASEMENT PLAN, TAX MAP 55 LOT 3, COLCORD PROPERTIES CONDOMINIUM, 80 EPPING ROAD, EXETER, NEW HAMPSHIRE." DATED JANUARY 15, 2014, LAST REVISED APRIL 7, 2016. SCALE 1" = 60'. PREPARED BY JONES & BEACH ENGINEERS, INC. R.C.R.D. 39392.
- "CONSERVATION EASEMENT PLAN, TAX MAP 55 LOT 3, COLCORD PROPERTIES CONDOMINIUM, 80 EPPING ROAD, EXETER, NEW HAMPSHIRE." DATED JANUARY 15, 2014, LAST REVISED APRIL 4, 2016. SCALE 1" = 60'. PREPARED BY JONES & BEACH ENGINEERS, INC. R.C.R.D. 39393.
- "CONDOMINIUM SITE AND FLOOR PLAN, TAX MAP 55 LOT 3, COLCORD PROPERTIES CONDOMINIUM, 80 EPPING ROAD, EXETER, NEW HAMPSHIRE." DATED JANUARY 15, 2014, LAST REVISED APRIL 4, 2016. SCALE 1" = 60'. PREPARED BY JONES & BEACH ENGINEERS, INC. R.C.R.D. 39394.



LOCUS SCALE: 1"=1000'

NOTES:

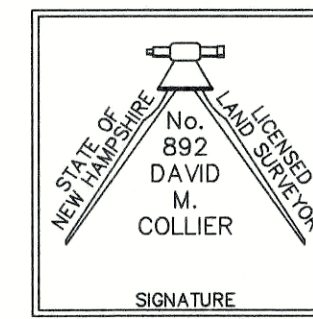
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF LAND UNIT 1, COLCORD PROPERTIES CONDOMINIUM, TAX MAP 55, LOT 3, EXETER, NH.
- ZONING DISTRICT: C2 HIGHWAY COMMERCIAL
LOT AREA MINIMUM = 20,000 SF
LOT WIDTH MINIMUM = 150'
LOT DEPTH MINIMUM = 100'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 50'
SIDE SETBACK = 20'
REAR SETBACK = 50'
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- LAND UNIT 1 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE 'X' UNSHADED) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 33015C0402E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- BASIS OF BEARING: HORIZONTAL - NH GRID, VERTICAL - NGVD 29.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES GOVE OF GOVE ENVIRONMENTAL SERVICES IN OCTOBER 2018 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
A. THE CORPUS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- SEE R.C.R.D. BOOK 5736 PAGE 1403 FOR UTILITY EASEMENT TO UNTIL ENERGY SYSTEMS.
- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 12/21/2018, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.
- TEST PITS PERFORMED BY CHRISTOPHER ALBERT OF JONES & BEACH ENGINEERS, INC., DECEMBER 22, 2014.
- EXISTING MONITORING WELLS (2) SHALL REMAIN IN PLACE FOR PERIODIC TESTING BY NHDES. CONTRACTOR TO LOCATE AND SALVAGE. WELL HEADS SHALL BE ADJUSTED AS NECESSARY TO PROPOSED GRADE. ENGINEER TO BE NOTIFIED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES AS SHOWN HERE, AND AS IDENTIFIED BY THE LOCAL "CALL BEFORE DIGGING" AUTHORITY, DIG-SAFE AND EXETER PUBLIC WORKS DEPARTMENT. ALL UNDERGROUND UTILITIES SHALL BE PROTECTED AT CONTRACTOR'S EXPENSE.
- SEE ALSO "PRELIMINARY GEOTECHNICAL ENGINEERING REPORT" PREPARED BY NORTHEAST GEOTECHNICAL, INC., GEORGETOWN, MA, DATED FEBRUARY 7, 2020.

CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

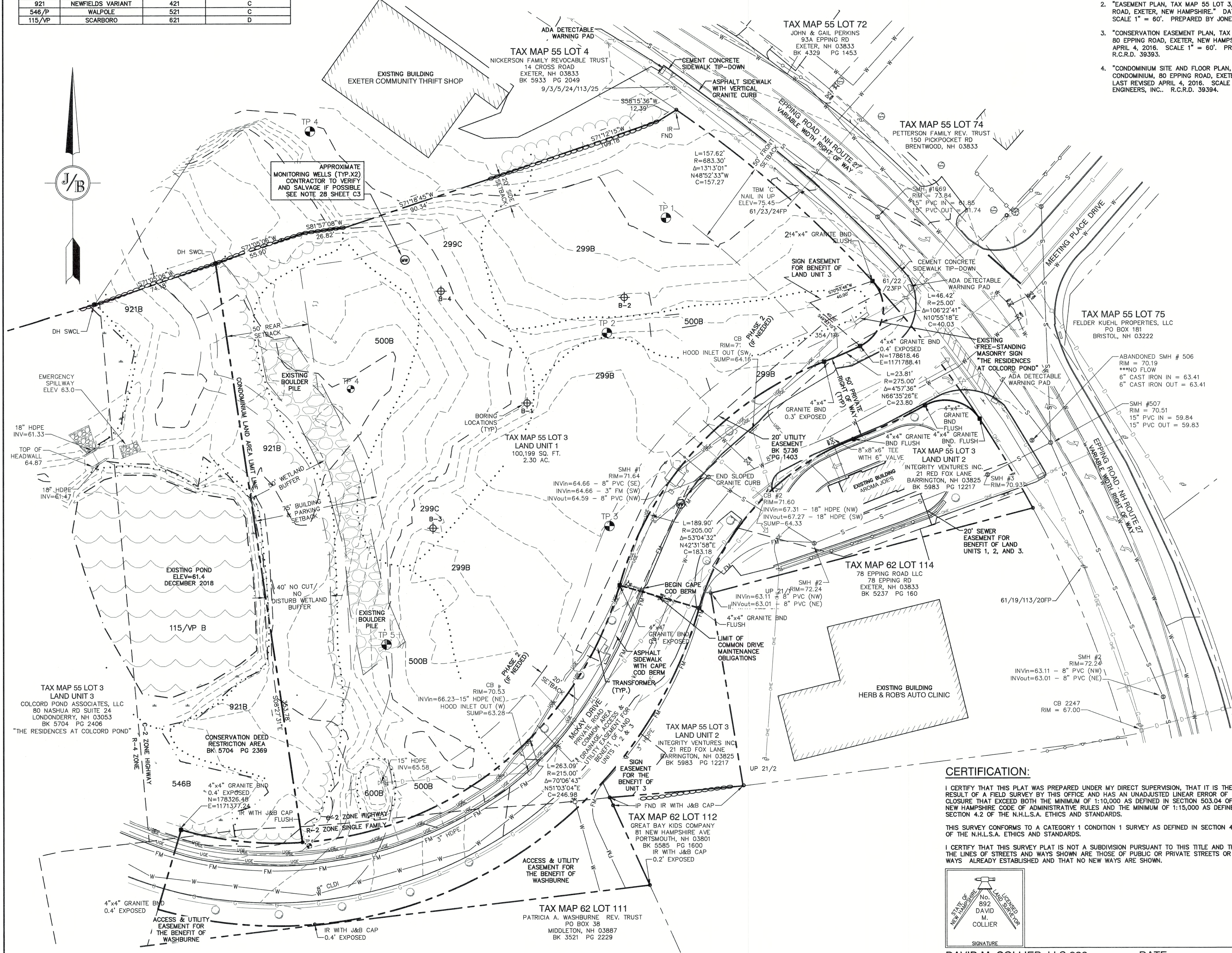
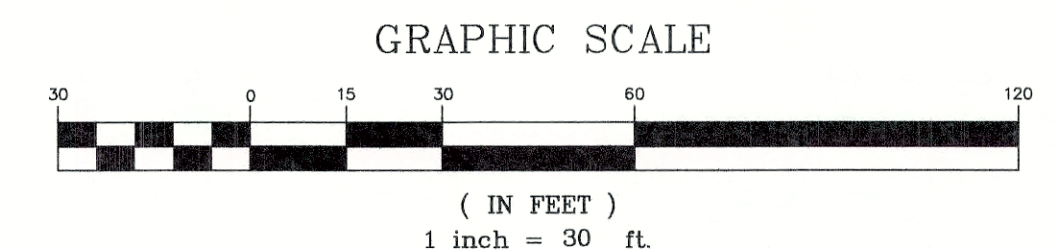
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

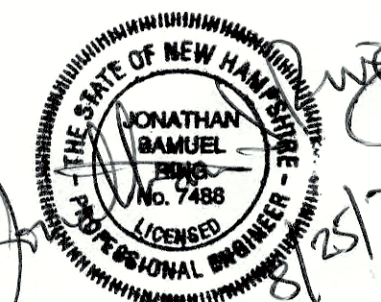


DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:



Design: JSR	Draft: LAZ	Date: 3/18/20
Checked: JSR	Scale: 1"=30'	Project No.: 14101
Drawing Name: 14101-PLAN-PRIMROSE.dwg		
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REV.	DATE	REVISION	BY
4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES Aot SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

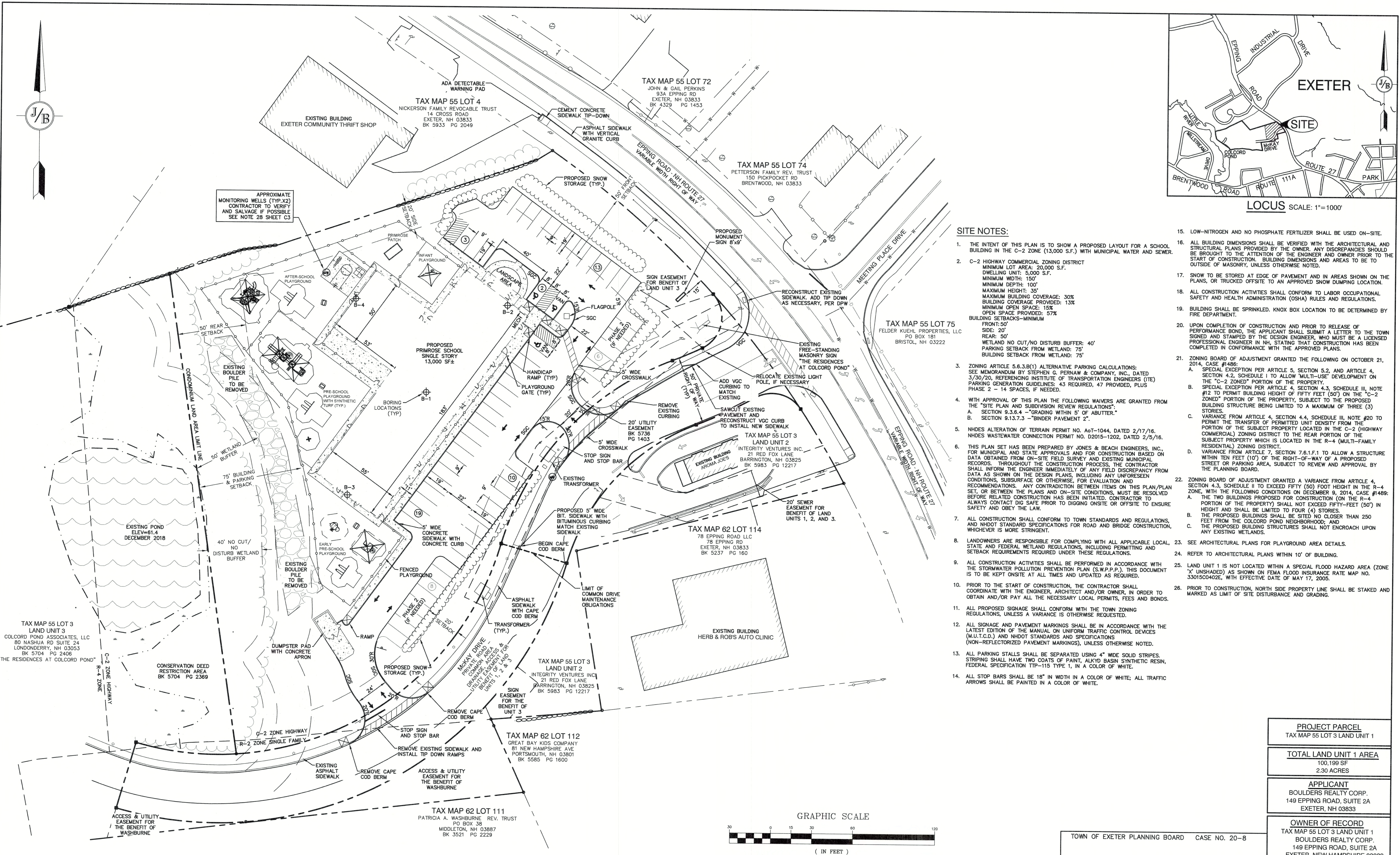
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A EXETER, NEW HAMPSHIRE 03833

DRAWING No.	C1
SHEET 2 OF 18	JBE PROJECT NO. 14101



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED LAYOUT FOR A SCHOOL BUILDING IN THE C-2 ZONE (13,000 S.F.) WITH MUNICIPAL WATER AND SEWER.
- C-2 HIGHWAY COMMERCIAL ZONING DISTRICT
MINIMUM LOT AREA: 20,000 S.F.
DWELLING UNIT: 5,000 S.F.
MINIMUM WIDTH: 150'
MINIMUM DEPTH: 100'
MAXIMUM HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 30%
BUILDING COVERAGE PROVIDED: 13%
MINIMUM OPEN SPACE: 15%
OPEN SPACE PROVIDED: 57%
BUILDING SETBACKS-MINIMUM
FRONT: 50'
SIDE: 20'
REAR: 50'
WETLAND NO CUT/NO DISTURB BUFFER: 40'
PARKING SETBACK FROM WETLAND: 75'
BUILDING SETBACK FROM WETLAND: 75'
- ZONING ARTICLE 5.6.3.B(1) ALTERNATIVE PARKING CALCULATIONS:
SEE MEMORANDUM BY STEPHEN G. PERNAW & COMPANY, INC., DATED 3/30/20, REFERENCING INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION GUIDELINES: 43 REQUIRED, 47 PROVIDED, PLUS PHASE 2 - 14 SPACES, IF NEEDED.
- WITH APPROVAL OF THIS PLAN THE FOLLOWING WAIVERS ARE GRANTED FROM THE "SITE PLAN AND SUBDIVISION REVIEW REGULATIONS":
A. SECTION 9.3.6.4 - "GRADING WITHIN 5' OF ABUTTER."
B. SECTION 9.13.7.3 - "BINDER PAVEMENT 2".
- NHDES ALTERATION OF TERRAIN PERMIT NO. Aot-1044, DATED 2/17/16, NHDES WASTEWATER CONNECTION PERMIT NO. D2015-1202, DATED 2/5/16.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TIP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- LOW-NITROGEN AND NO PHOSPHATE FERTILIZER SHALL BE USED ON-SITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING SHALL BE SPRINKLED. KNOX BOX LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF PERFORMANCE BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN SIGNED AND STAMPED BY THE DESIGN ENGINEER, WHO MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING THAT CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
- ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING ON OCTOBER 21, 2014, CASE #1486:
A. SPECIAL EXCEPTION PER ARTICLE 5, SECTION 5.2, AND ARTICLE 4, SECTION 4.2, SCHEDULE I TO ALLOW "MULTI-USE" DEVELOPMENT ON THE "C-2 ZONED" PORTION OF THE PROPERTY.
B. SPECIAL EXCEPTION PER ARTICLE 4, SECTION 4.3, SCHEDULE III, NOTE #12 TO PERMIT BUILDING HEIGHT OF FIFTY FEET (50') ON THE "C-2 ZONED" PORTION OF THE PROPERTY, SUBJECT TO THE PROPOSED BUILDING STRUCTURE BEING LIMITED TO A MAXIMUM OF THREE (3) STORES.
C. VARIANCE FROM ARTICLE 4, SECTION 4.4, SCHEDULE III, NOTE #20 TO PERMIT THE TRANSFER OF PERMITTED UNIT DENSITY FROM THE PORTION OF THE SUBJECT PROPERTY LOCATED IN THE C-2 (HIGHWAY COMMERCIAL) ZONING DISTRICT TO THE REAR PORTION OF THE SUBJECT PROPERTY WHICH IS LOCATED IN THE R-4 (MULTI-FAMILY RESIDENTIAL) ZONING DISTRICT.
D. VARIANCE FROM ARTICLE 7, SECTION 7.6.1.F.1 TO ALLOW A STRUCTURE WITHIN TEN FEET (10') OF THE RIGHT-OF-WAY OF A PROPOSED STREET OR PARKING AREA, SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD.
- ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE FROM ARTICLE 4, SECTION 4.3, SCHEDULE II TO EXCEED FIFTY (50) FOOT HEIGHT IN THE R-4 ZONE, WITH THE FOLLOWING CONDITIONS ON DECEMBER 9, 2014, CASE #1489:
A. THE TWO BUILDINGS PROPOSED FOR CONSTRUCTION (ON THE R-4 PORTION OF THE PROPERTY) SHALL NOT EXCEED FIFTY-FOOT (50') IN HEIGHT AND SHALL BE LIMITED TO FOUR (4) STORES.
B. THE PROPOSED BUILDINGS SHALL BE SITED NO CLOSER THAN 250 FEET FROM THE COLCORD POND NEIGHBORHOOD; AND THE PROPOSED BUILDING STRUCTURES SHALL NOT ENCRoACH UPON ANY EXISTING WETLANDS.
- SEE ARCHITECTURAL PLANS FOR PLAYGROUND AREA DETAILS.
- REFER TO ARCHITECTURAL PLANS WITHIN 10' OF BUILDING.
- LAND UNIT 1 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE "X" UNSHADED) AS SHOWN ON FEMA FLOOD INSURANCE MAP NO. 33015C0402E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- PRIOR TO CONSTRUCTION, NORTH SIDE PROPERTY LINE SHALL BE STAKED AND MARKED AS LIMIT OF SITE DISTURBANCE AND GRADING.

PROJECT PARCEL TAX MAP 55 LOT 3 LAND UNIT 1
TOTAL LAND UNIT 1 AREA 100,199 SF 2.30 ACRES
APPLICANT BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A EXETER, NH 03833
OWNER OF RECORD TAX MAP 55 LOT 3 LAND UNIT 1 BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A EXETER, NEW HAMPSHIRE 03833 R.C.R.D. BK 5704 PG 2433

TOWN OF EXETER PLANNING BOARD CASE NO. 20-8
CHAIRPERSON _____ DATE: _____

Design: JSR Draft: LAZ Date: 3/18/20
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Drawing Name: 14101-PLAN-PRIMROSE.dwg
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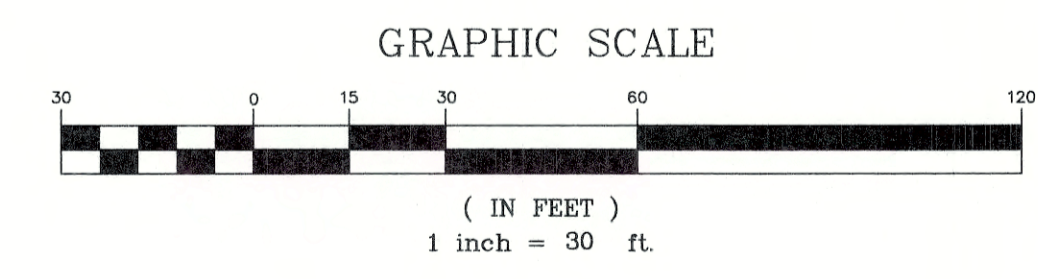
REV.	DATE	REVISION	BY
4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES Aot SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH
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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833
DRAWING No.	C2
SHEET 3 OF 18 JBE PROJECT NO. 14101	

GRADING AND DRAINAGE NOTES:

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233) AND EXETER DPW.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
5. ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
6. PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
7. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
8. ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H2O LOADING AND SHALL BE INSTALLED ACCORDINGLY.
10. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
11. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
12. STONE INLET PROTECTION SHALL BE PLACED AT ON-SITE CATCH BASINS DURING CONSTRUCTION. SEE DETAIL SHEET.
13. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
14. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
15. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
16. SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
17. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
18. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
19. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
20. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
22. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
23. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
24. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
25. SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
26. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL, AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES, IN EXETER, NH."
27. TOTAL SITE DISTURBANCE = 92,000 S.F.
28. CONTRACTOR TO LOCATE AND SALVAGE EXISTING MONITORING WELLS (2) WHICH SHALL REMAIN IN PLACE FOR PERIODIC TESTING BY MHDES. WELL HEADS SHALL BE ADJUSTED AS NECESSARY TO PROPOSED GRADE. ENGINEER TO BE NOTIFIED.



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		REVISION	BY

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J/B Jones & Beach Engineers, Inc.

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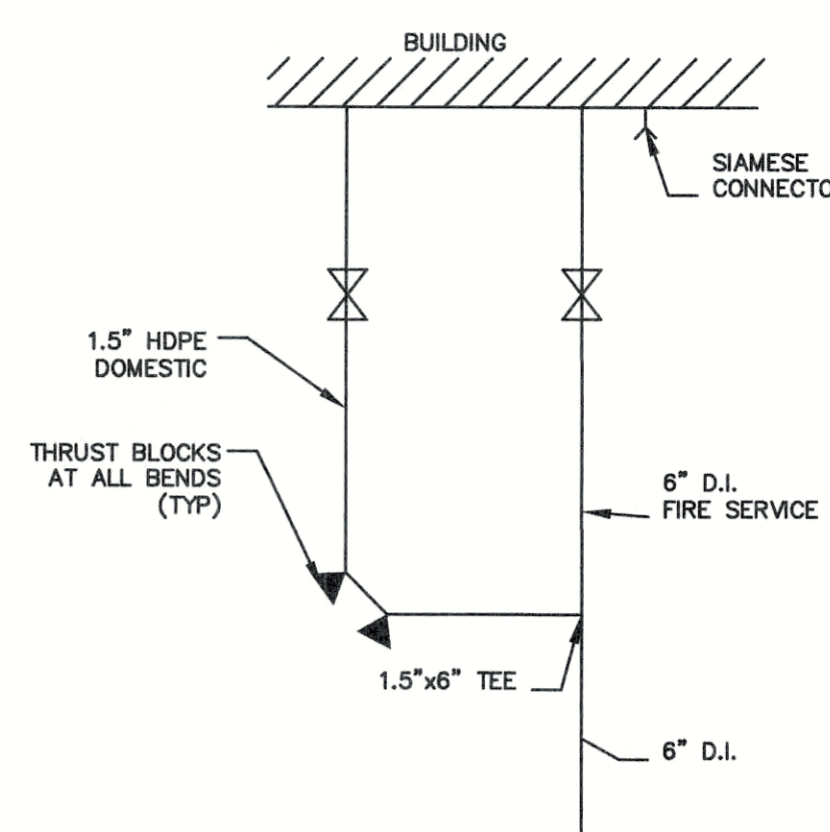
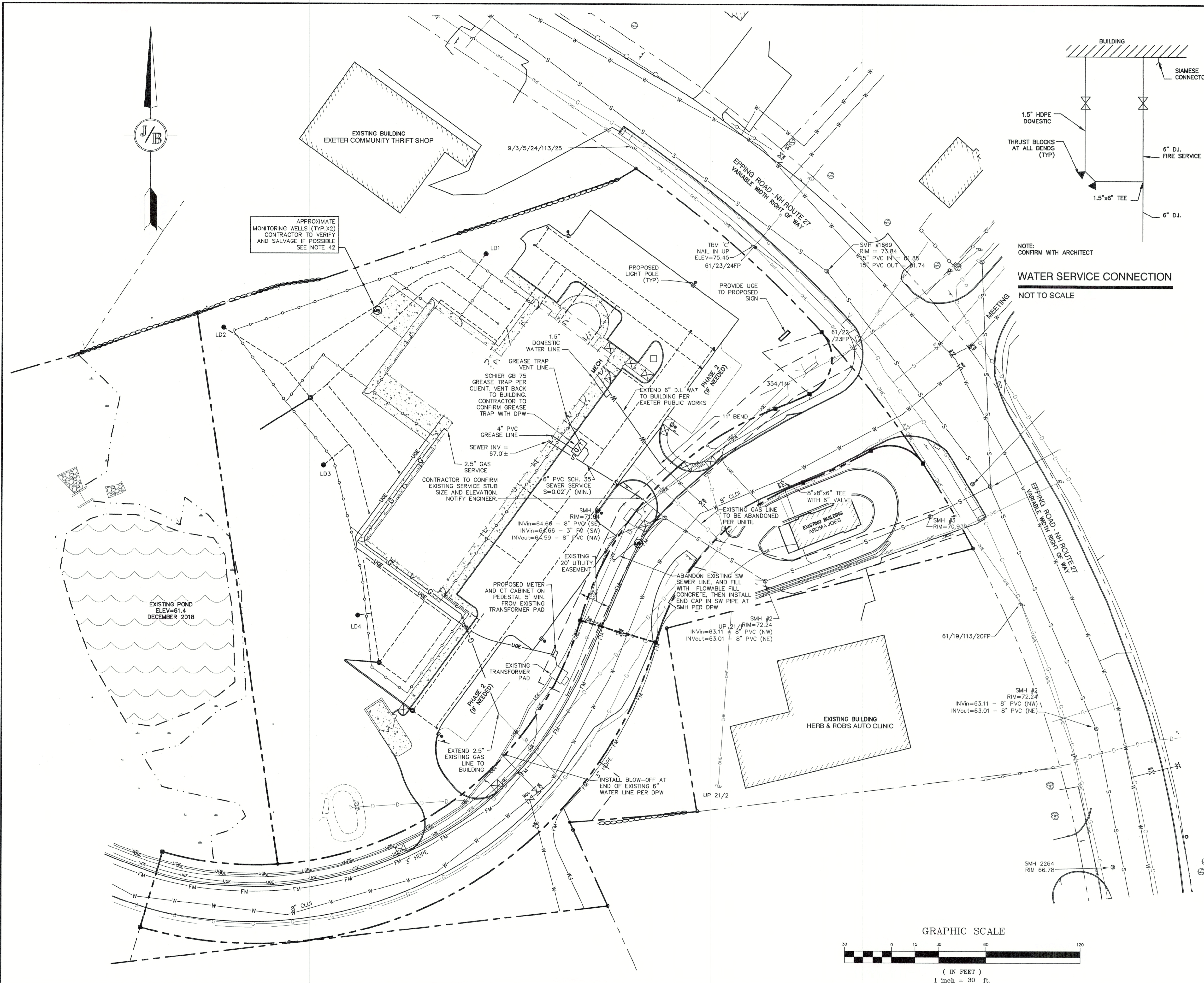
Civil Engineering Services

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Plan Name:	GRADING AND DRAINAGE PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No. **C3**

SHEET 4 OF 18
 JBE PROJECT NO. 14101



- UTILITY NOTES:**
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
 - THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 - A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
 - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 - BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 - AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS AND OWNER.
 - CONTRACTOR TO PROVIDE UNDERDRAIN, AS NECESSARY, AT DISCRETION OF THE PROJECT ENGINEER.
 - INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
 - SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
 - CONTRACTOR SHALL PLACE 2" WIDE METAL DIG-SAFE WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
 - SANITARY SEWER FLOW CALCULATIONS:
A. 194 CHILDREN + 30 STAFF = 224 PEOPLE @ 10 GPD/PERSON = 2,240 GPD
B. TOTAL FLOW = 2,240 GPD (EXETER 80% FLOW = 1,792 GPD)
 - ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
 - PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
 - ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 10' HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION. WHERE MIN. COVER IS NOT MET, 2" RIGID FOAM INSULATION SHALL BE INSTALLED.
 - WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
 - ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
 - A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION OF FIRE PROTECTION SYSTEMS.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
 - DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
 - REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
 - FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
 - AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
 - THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
 - CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPlicate TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - EXISTING UTILITIES SHALL BE DIGSAFED AND CONFIRMED WITH EXETER DPW BEFORE CONSTRUCTION.
 - ALL FIRE AND WATER LINES SHALL HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO BUILDING.
 - ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WO 700.
 - ENV-WO 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-8-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER.
 - ENV-WO 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
 - SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
 - SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
 - SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE. HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE). THIS RIGHT IS TO BE CONVEYED TO THE TOWN IN THE SITE'S DECLARATION OF CONDOMINIUM DOCUMENTS, AND IN ALL INDIVIDUAL DEEDS.
 - THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
 - THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 48 HOURS) AND ALLOWABLE INTERRUPTION DURATION.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - EXETER PIPE INSTALLER LICENSE SHALL BE OBTAINED, AND EXETER EXCAVATION PERMIT FROM DEPT. OF PUBLIC WORKS PRIOR TO WORK IN TOWN RIGHT-OF-WAY. WORK WITHIN TOWN ROW MUST BE COMPLETED BY NOVEMBER 15.
 - WATER TESTING AND DISINFECTION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND NHDES REGULATIONS.
 - CONTRACTOR TO LOCATE AND SALVAGE EXISTING MONITORING WELLS (2) WHICH SHALL REMAIN IN PLACE FOR PERIODIC TESTING BY NHDES. WELL HEADS SHALL BE ADJUSTED AS NECESSARY TO PROPOSED GRADE. ENGINEER TO BE NOTIFIED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES AS SHOWN HERE, AND AS IDENTIFIED BY THE LOCAL "CALL BEFORE DIGGING" AUTHORITY, DIG-SAFE AND EXETER PUBLIC WORKS DEPARTMENT. ALL UNDERGROUND UTILITIES SHALL BE PROTECTED AT CONTRACTOR'S EXPENSE.

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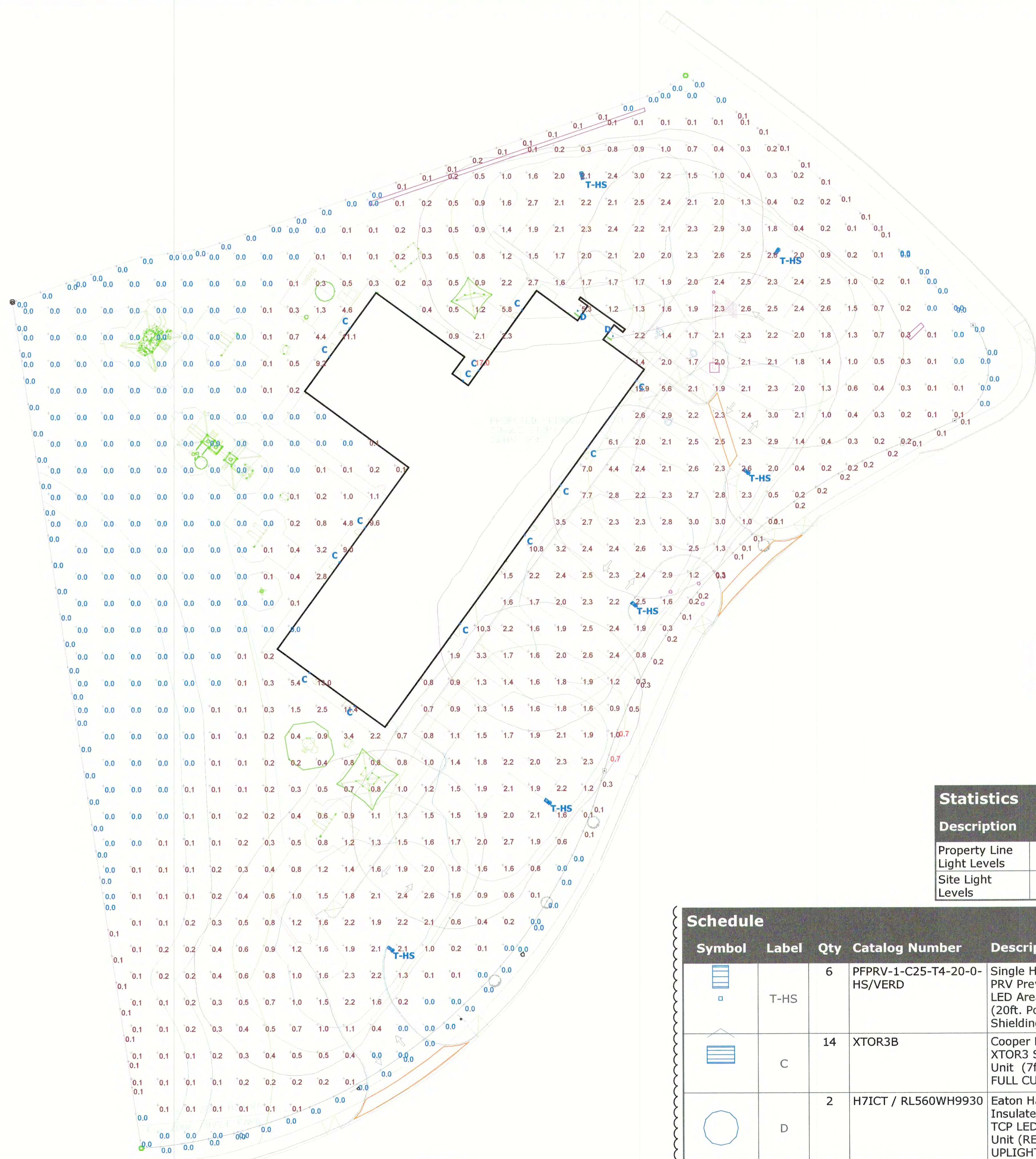
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Plan Name:	UTILITY PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No.

U1

SHEET 5 OF 18
JBE PROJECT NO. 14101



All fixtures are Dark-Sky compliant, Down-Shielded

Plan View
Scale - 1" = 29'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	0.1 fc	0.7 fc	0.0 fc	N/A	N/A
Site Light Levels	+	1.1 fc	17.0 fc	0.0 fc	N/A	N/A

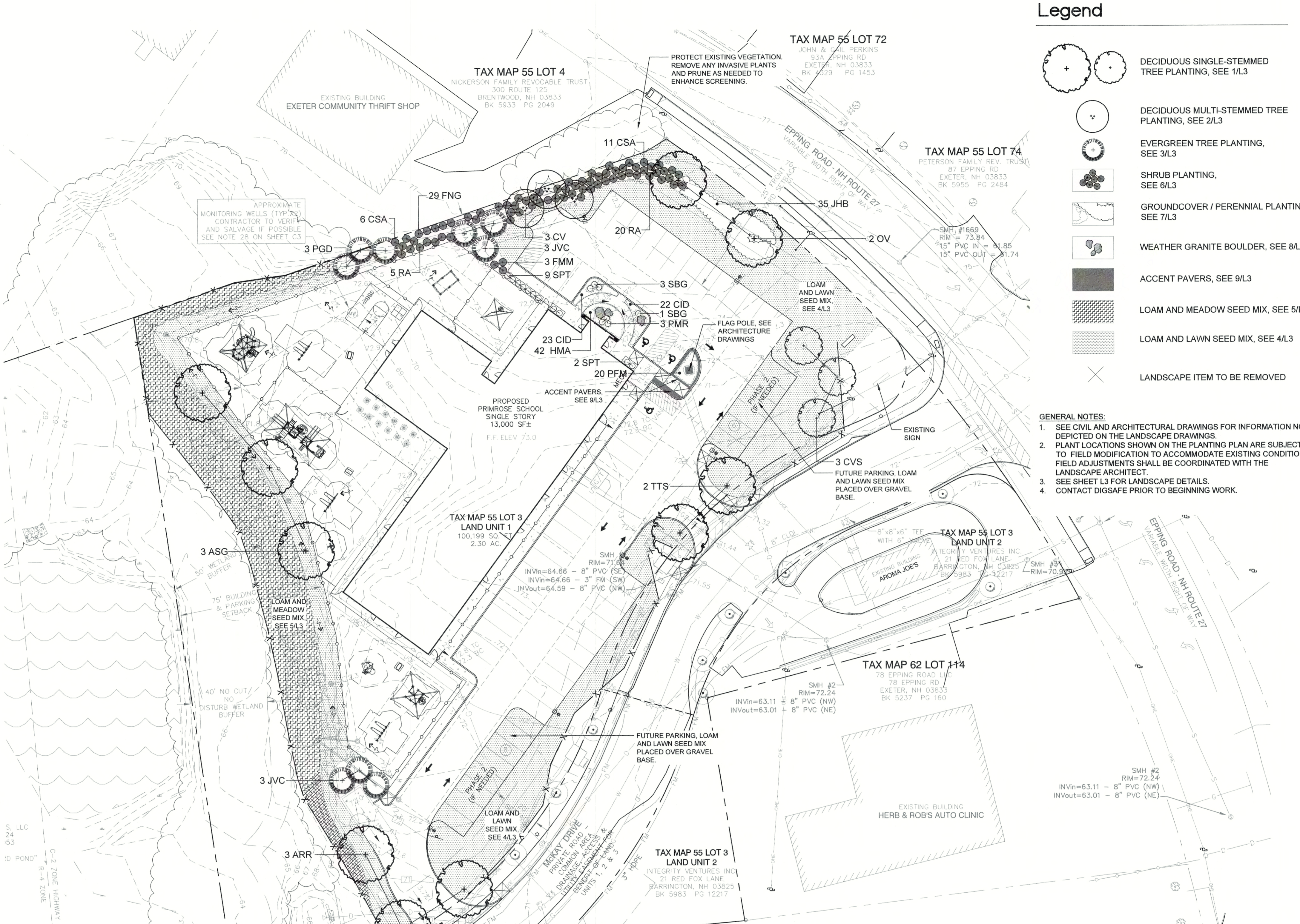
Schedule							
Symbol	Label	Qty	Catalog Number	Description	Lamp	Wattage	
	T-HS	6	PFPRV-1-C25-T4-20-0-HS/VERD	Single Head Cooper Lighting Solutions PRV Prevail Series Pole & Fixture Combo LED Area Unit w/Type 4ME Distribution (20ft. Pole w/2ft. Base) House Side Shielding (FULL CUTOFF DESIGN)	EATON LED 4000K (FULL CUTOFF DESIGN)	96	
	C	14	XTOR3B	Cooper Lighting Solutions Lumark XTOR3 Series Wall Mounted Wallpack Unit (7ft. Fixture Mounting Height) FULL CUTOFF DESIGN	EATON LED 5000K (FULL CUTOFF DESIGN)	25.5	
	D	2	H7ICT / RL560WH9930	Eaton Halo Brand H7ICT Series Insulated Ceiling Recessed Housing w/ TCP LED14 Series Downlight Module Unit (RECESSED IN CEILING - NO UPLIGHTING/FULL CUTOFF)	TC-LED14DR5630K (FULL CUTOFF DESIGN)	13.5	

General Note:
All light fixtures will de-energize from 12:00am to 5:00am.
Flagpole will have light mounted at top of pole, shining down on flag (sample photo included with cut sheets).

Designer
Adam Carrier
Date
8/20/2020
Scale
Not to Scale
Drawing No.
Summary

PLANTING NOTES:

- PLEASE REVIEW AND BECOME FULLY ACQUAINTED WITH THESE NOTES, CONSTRUCTION DETAILS, AND THE PLANTING PLAN.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICT TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN SOCIETY OF NURSERY MEN, INC. LATEST EDITION.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL THE PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING. THE BASE OF THE FLARE OF THE TREE TRUNK SHALL BE EXPOSED, IF NECESSARY, AND PLACED 2" ABOVE FINISH GRADE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY THE LANDSCAPE ARCHITECT.
- EXISTING LOAM: STOCKPILING OF EXISTING LOAM IS SPECIFIED ELSEWHERE. REMOVE CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
- ADDITIONAL LOAM: IF STOCKPILED LOAM QUANTITY IS INSUFFICIENT, PROVIDE LOAM, WHICH IS A "FINE SANDY LOAM", OR A "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE "U.S.D.A. CLASSIFICATION SYSTEM." IT SHALL BE OF UNIFORM COMPOSITION, WITHOUT ADMIXTURE OF SUBSOIL. LOAM SHALL HAVE AN ACIDITY RANGE OF PH 5.8 TO PH 7.0 AND SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 10% ORGANIC MATTER AS DETERMINED BY THE LOSS OF IGNITION OF OVEN-DRIED SAMPLES. PROVIDE LOAM WHICH IS FERTILE, FRIABLE, NATURAL LOAM FREE FROM SUBSOIL, CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND ANY FOREIGN MATERIALS.
- PINE MULCH: PROVIDE PARTIALLY DECOMPOSED MINIMUM SIX MONTH AGED FINELY SHREDDED PINE BARK MULCH WITH DARK BROWN COLOR AND FREE OF WEEDS, EXCESSIVE FINE PARTICLES, STRINGY MATERIAL, AND CHUNKS OF WOOD THICKER THAN 1/4". PROVIDE BARK MULCH APPROVED BY THE LANDSCAPE ARCHITECT. APPLY TACKIFIED MULCH TO ALL SEEDED AREAS. RIVERSTONE MULCH: SMOOTH RIVERSTONE SHALL CONSIST OF 50% 1" TO 2.5" STONES, 25% 3" TO 4" STONES, AND 25% 3/4" TO 1" STONES.
- ALL PLANTS SHALL BE PLUM VERTICALLY AFTER SETTLING.
- ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING.
- LESS OTHERWISE INDICATED, DICTATED BY CONDITIONS AT THE SITE, AND DIRECTED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE, BACKFILL SHALL CONSIST OF UNAMENDED SOIL EXCAVATED FROM THE PLANTING PIT. BACKFILL IN 3-4" LAYERS AND CONSOLIDATE EACH LAYER WITH WATER TO ELIMINATE VOIDS AND ARE POCKETS BEFORE PLACING SUBSEQUENT LAYERS. CONTINUE UNTIL BACKFILL HAS REACHED FINISHED GRADE. WATER THOROUGHLY WHEN EXCAVATION IS BACK FILLED AND CONTINUE WATERING UNTIL SATURATED. IF EXISTING UNAMENDED SOIL IS NOT ACCEPTED, PROVIDE PLANTING SOIL MIXTURE CONSISTING OF 7 PARTS LOAM AND 1 PART HUMUS. MIX QUANTITY OF FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS AND APPROVED BY THE LANDSCAPE ARCHITECT.
- WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
- LOAMING: LOOSEN SUBGRADE AND EXISTING LOAM AREAS BY DISCING OR ROTOTILLING TO MINIMUM DEPTH OF 6". REMOVE STONES GREATER THAN 2" AND ALL RUBBISH AND DEBRIS. PLACE LOAM IN TWO EQUAL LIFTS MIXING FIRST APPLICATION INTO LOOSENED SUBGRADE THEN PLACE SECOND LIFT TO BRING LOAM AFTER SETTLING AND COMPACTING TO THE LINES AND GRADES SHOWN IN THE CONTRACT DOCUMENTS, 6" DEEP MINIMUM. DO NOT HANDLE LOAM OR SUBSOIL IF IT IS WET OR FROZEN.
- AFTER LOAM HAS BEEN SPREAD, IT SHALL BE CAREFULLY PREPARED BY SCARIFYING AND HAND RAKING. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER AND FOREIGN MATTER, AND STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM. LOAM SHALL ALSO BE FREE OF SMALLER STONES IN EXCESSIVE QUANTITIES AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- FINE GRADING: SET SUFFICIENT GRADE STAKES FOR CHECKING THE FINISHED GRADES. STAKES MUST BE SET AT THE BOTTOM AND TOP OF SLOPES. GRADES SHALL BE ESTABLISHED THAT ARE ACCURATE TO 1/10TH OF A FOOT EITHER WAY. CONNECT CONTOURS AND SPOT ELEVATIONS WITH AN EVEN SLOPE. ALL GRADING WILL INSURE DRAINAGE AWAY FROM STRUCTURES.
- FINE GRADE LAWN AREAS TO SMOOTH, FREE DRAINING, EVEN SURFACES WITH FINE TEXTURE. ROLL, RAKE AND DRAW LAWN AREAS TO FLATTEN RIDGES AND FILL DEPRESSIONS, EXCEPT AT SELECT AREAS SHOW ON THE DRAWINGS. CONTROL MOISTURE CONTENT TO MAINTAIN OPTIMUM CONDITIONS, BUT DO NOT CREATE A MUDDY CONDITION.
- ROLLING - TYPICAL: ROLL THE ENTIRE AREA WITH A HAND ROLLER WEIGHTING NOT MORE THAN 100 POUNDS. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM AND THE SURFACE SHALL BE REGARDED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE OR TO THE SHAPES AND CONFIGURATIONS AS SHOWN ON THE DETAILS.
- THE SILT FENCE SHALL BE LIMIT OF SEEDING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE SEEDED AS INDICATED ON THE DRAWINGS.
- IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED BY THE CONTRACTOR.



Legend

- DECIDUOUS SINGLE-STEMMED TREE PLANTING, SEE 1/L3
- DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 2/L3
- EVERGREEN TREE PLANTING, SEE 3/L3
- SHRUB PLANTING, SEE 6/L3
- GROUNDCOVER / PERENNIAL PLANTING, SEE 7/L3
- WEATHER GRANITE BOULDER, SEE 8/L3
- ACCENT PAVERS, SEE 9/L3
- LOAM AND MEADOW SEED MIX, SEE 5/L3
- LOAM AND LAWN SEED MIX, SEE 4/L3
- LANDSCAPE ITEM TO BE REMOVED

- GENERAL NOTES:**
- SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
 - PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
 - SEE SHEET L3 FOR LANDSCAPE DETAILS.
 - CONTACT DIGSAFE PRIOR TO BEGINNING WORK.

Plant Schedule

DECIDUOUS TREES					
QTY.	ABRV.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
3	ARR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3'-3 1/2' CAL.	B&B
3	ASG	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3'-3 1/2' CAL.	B&B
3	CV	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	8-10' HT.	B&B, MULTI-STEMMED
3	CVS	CHIONANTHUS VIRGINICUS 'SPRING FLEECE'	'SPRING FLEECE' WHITE FRINGETREE	2 1/2'-3' CAL.	B&B
2	OV	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3'-3 1/2' CAL.	B&B
2	TTS	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLE-LEAF LINDEN	3'-3 1/2' CALS.	B&B
16					
EVERGREEN TREES					
3	PGD	PICEA GLAUCOA 'DENSATA'	BLACK HILLS SPRUCE	8'-10'	B&B
6	JVC	JUNIPERUS VIRGINIANA 'CANAERTII'	CANAERT EASTERN RED CEDAR	7-8'	B&B
9					
SHRUBS					
17	CSA	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE RED OSIER DOGWOOD	#3	CONTAINER
3	FMM	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	#5	CONTAINER
29	FNG	FORSYTHIA NI GOLA	NI GOLD FORSYTHIA	#3	CONTAINER
20	PFM	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE POTENTILLA	#3	CONTAINER
3	PMR	PINUS MUGO 'ROCK GARDEN'	ROCK GARDEN MUGO PINE	#3	CONTAINER
25	RA	RHUS AROMATICA 'GOLD LOW'	'GROUNDCOVER SUMAC'	#2	CONTAINER
4	SBG	SPIREA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	#3	CONTAINER
11	SPT	SYRINGA PRESTONIAE 'TINKERBELL'	TINKERBELL LILAC	#3	CONTAINER
112					
GROUNDCOVERS / PERENNIALS / GRASSES					
45	CID	CAREX 'ICE DANCE'	ICE DANCE SEDGE	#1	CONTAINER
42	HMA	HAKONECHLOA MACRA 'AUREOLA'	GOLDEN JAPANESE FOREST GRASS	#1	CONTAINER
35	JHB	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	2'-2.5' SPD.	CONTAINER
122					

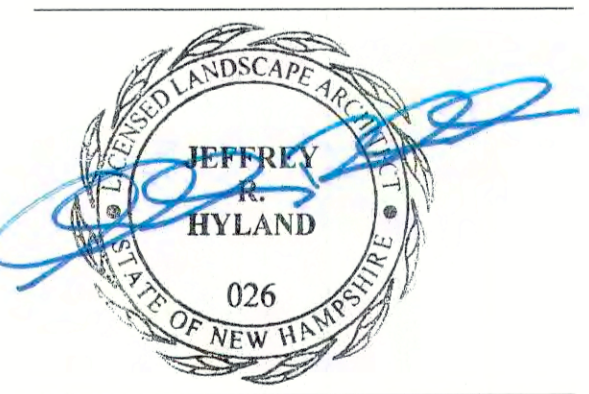


PRIMROSE SCHOOL
 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
 TUCK REALTY CORP
 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

LANDSCAPE PLAN

REV. NO.	REV. DATE	REVISION DESCRIPTION
3	8/25/20	REVISED PER TRC COMMENTS
2	6/23/20	REVISED PER TRC COMMENTS
1	5/27/20	PLANTING & DETAIL UPDATE

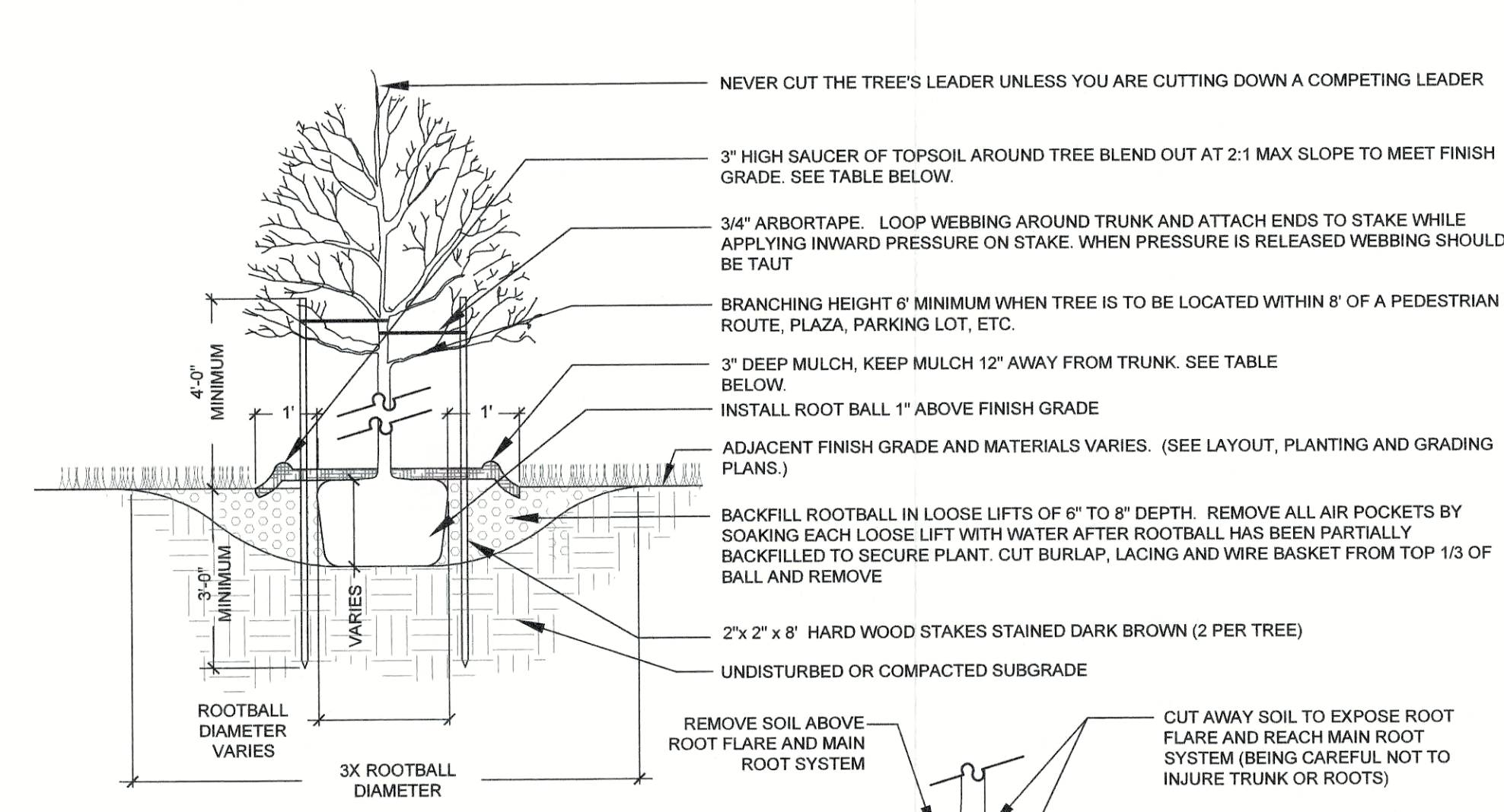
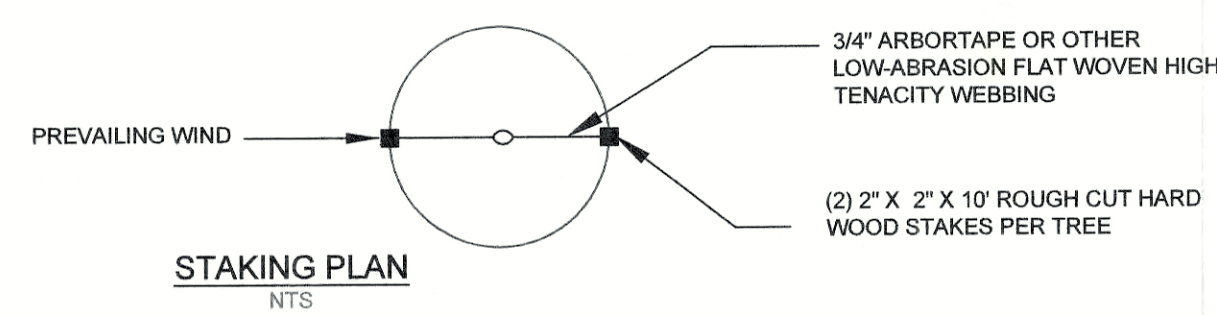
IRONWOOD PROJECT NO. 19078
 Design by J. Hyland
 DRAWN BY D. JENSEN
 CHECKED BY J. HYLAND
 DATE MAY 5, 2020
 SCALE 1"=30'-0"



L2

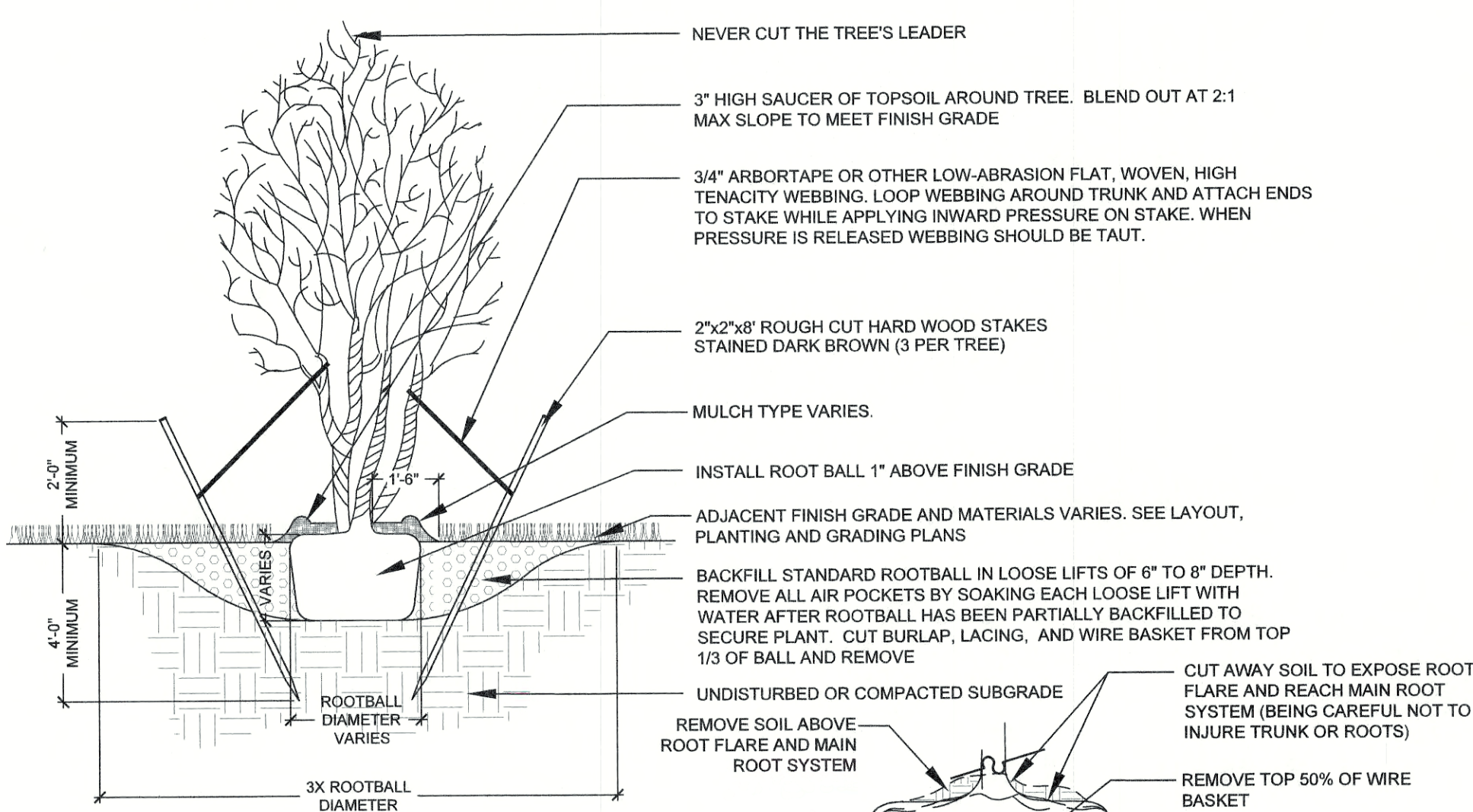
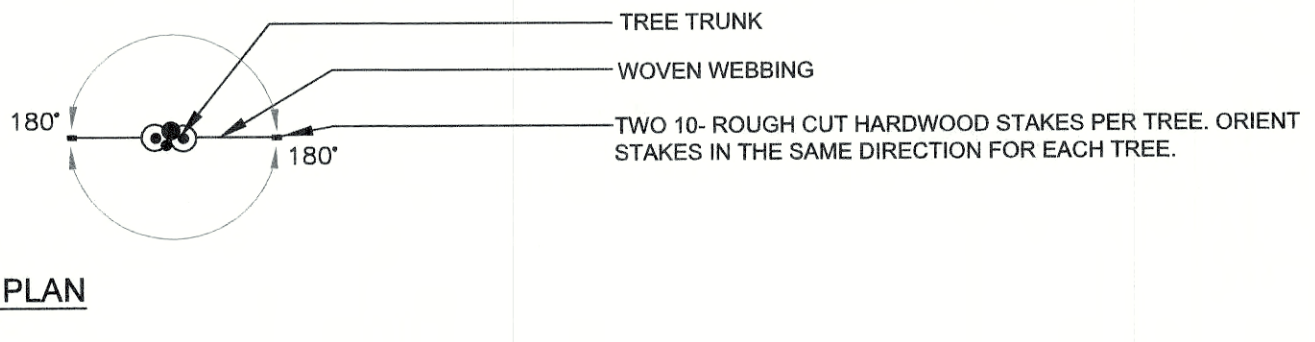
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DRAWING FOR PLANNING BOARD REVIEW



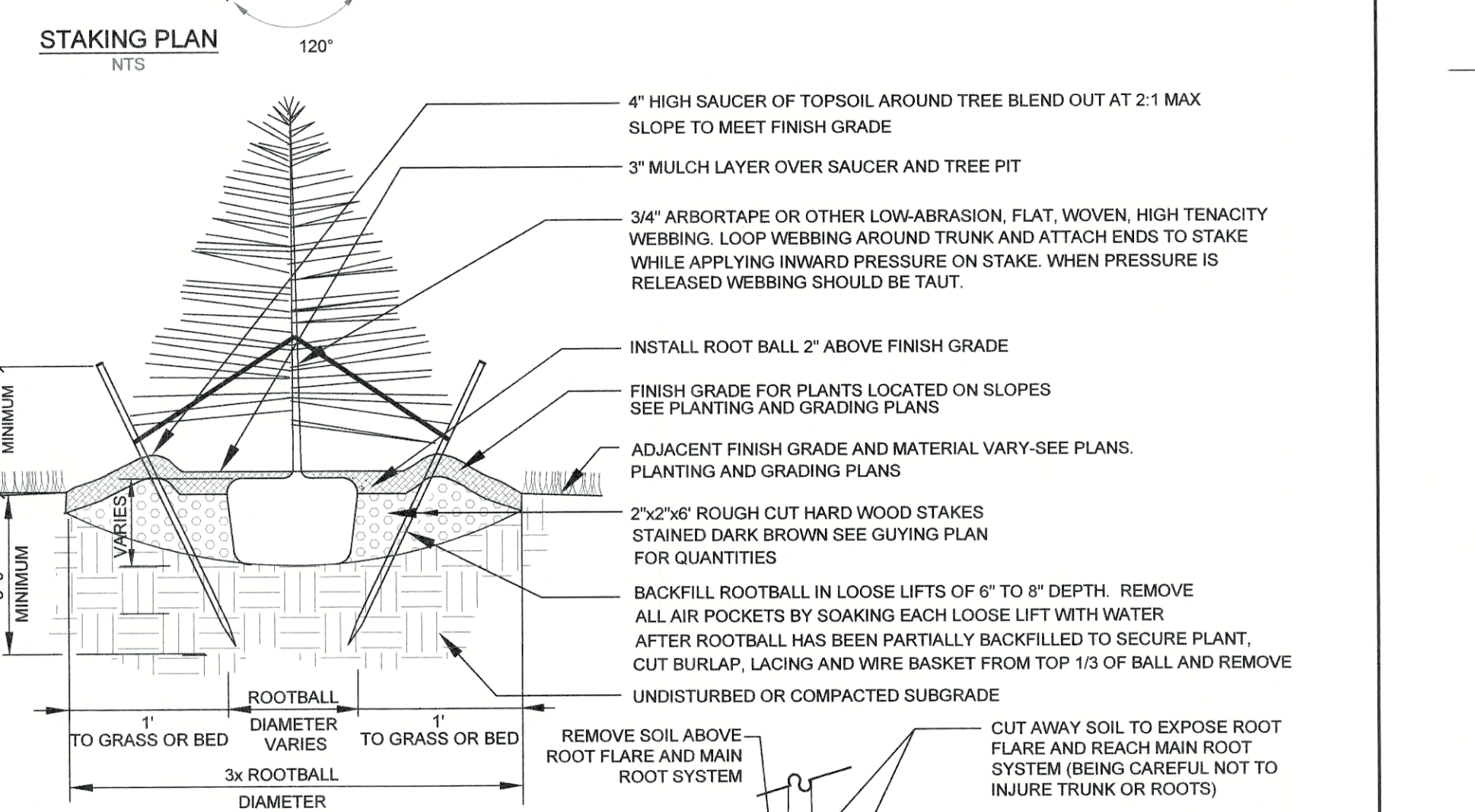
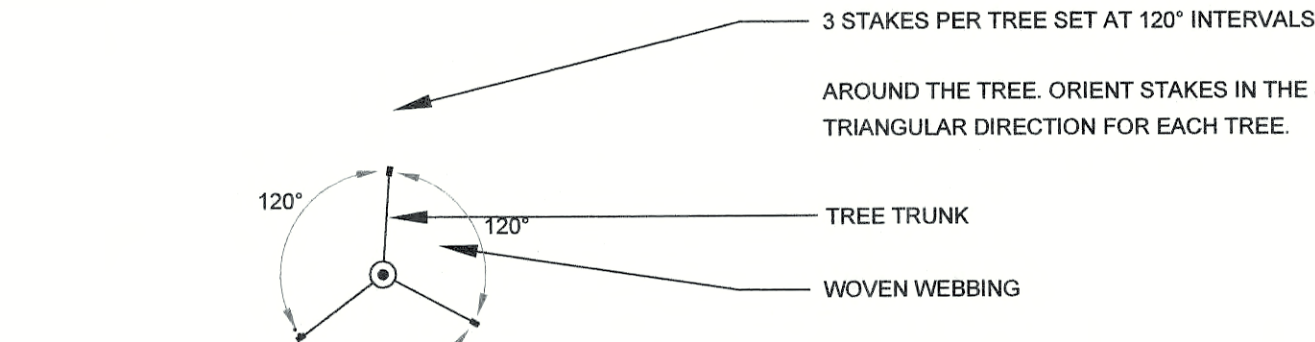
NOTES:
 1. ORIENT TREE IN THE SAME RELATIONSHIP TO NORTH IN WHICH IT WAS GROWN IN THE NURSERY TO MINIMIZE THE POTENTIAL FOR BARK SCALD.
 2. TREES SHALL BE DELIVERED WITH SOME FORM OF NORTH DEMARCATION.

Deciduous Single-Stemmed Tree Planting 1 L3
 Not to Scale ©IRONWOOD 2020



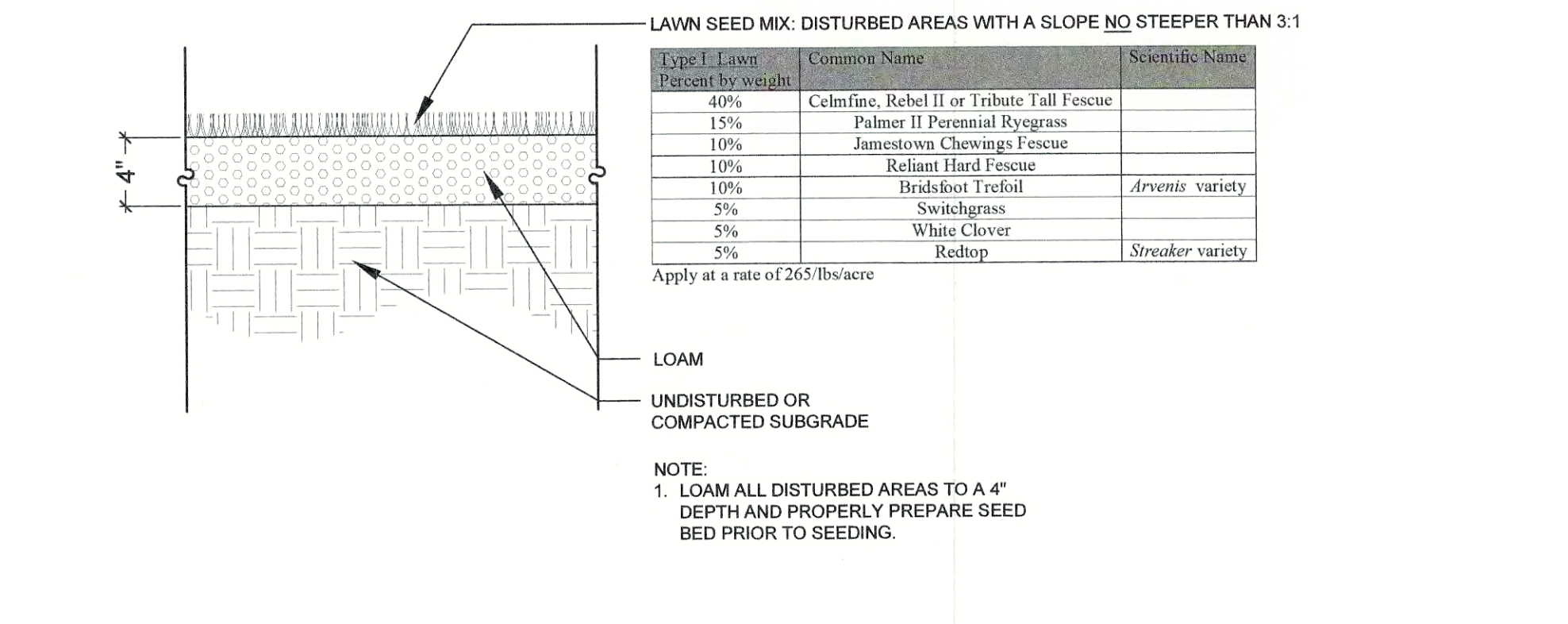
NOTES:
 1. ORIENT TREE IN THE SAME RELATIONSHIP TO NORTH IN WHICH IT WAS GROWN IN THE NURSERY TO MINIMIZE THE POTENTIAL FOR BARK SCALD.
 2. TREES SHALL BE DELIVERED WITH SOME FORM OF NORTH DEMARCATION.

Deciduous Multi-Stemmed Tree Planting 2 L3
 Not to Scale ©IRONWOOD 2020

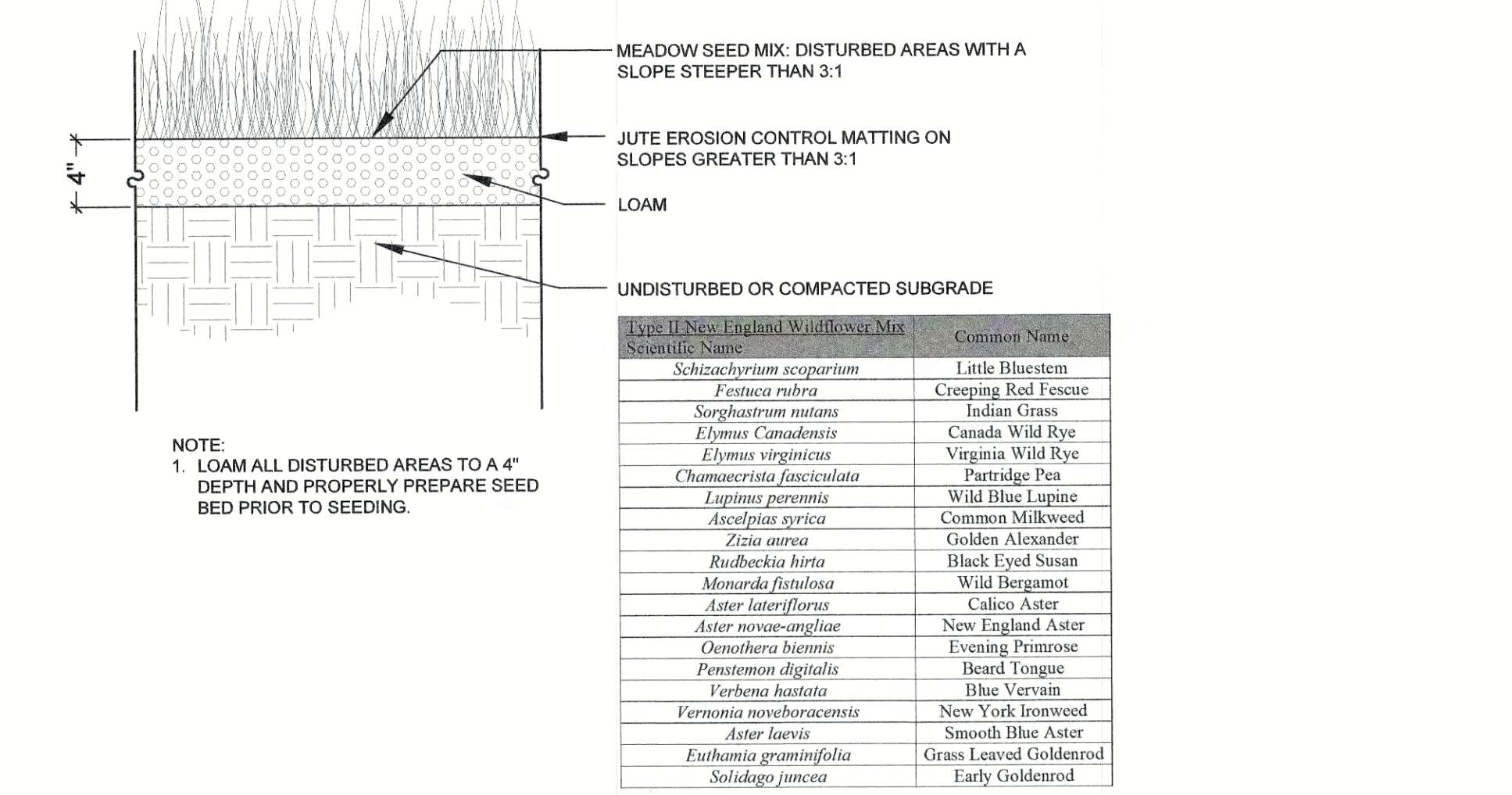


NOTES:
 1. ORIENT TREE IN THE SAME RELATIONSHIP TO NORTH IN WHICH IT WAS GROWN IN THE NURSERY TO MINIMIZE THE POTENTIAL FOR BARK SCALD.
 2. TREES SHALL BE DELIVERED WITH SOME FORM OF NORTH DEMARCATION.

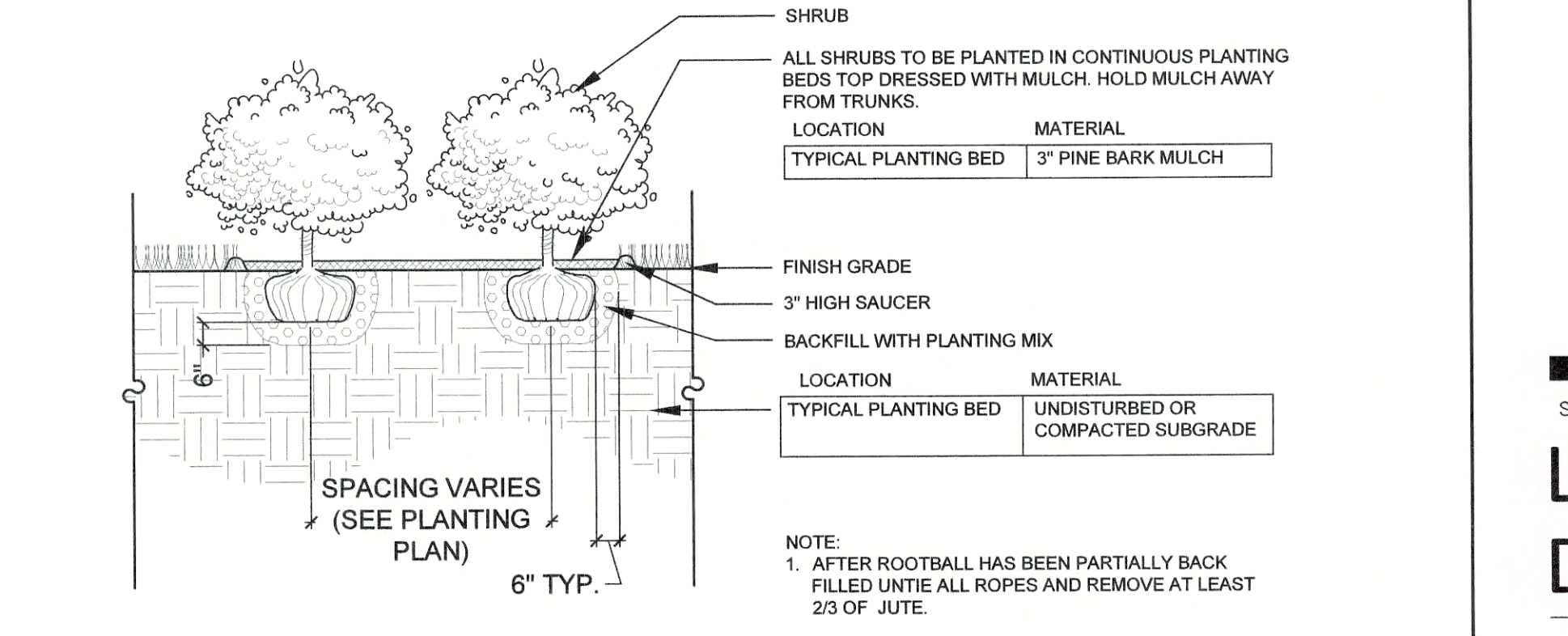
Evergreen Tree Planting 3 L3
 Not to Scale ©IRONWOOD 2020



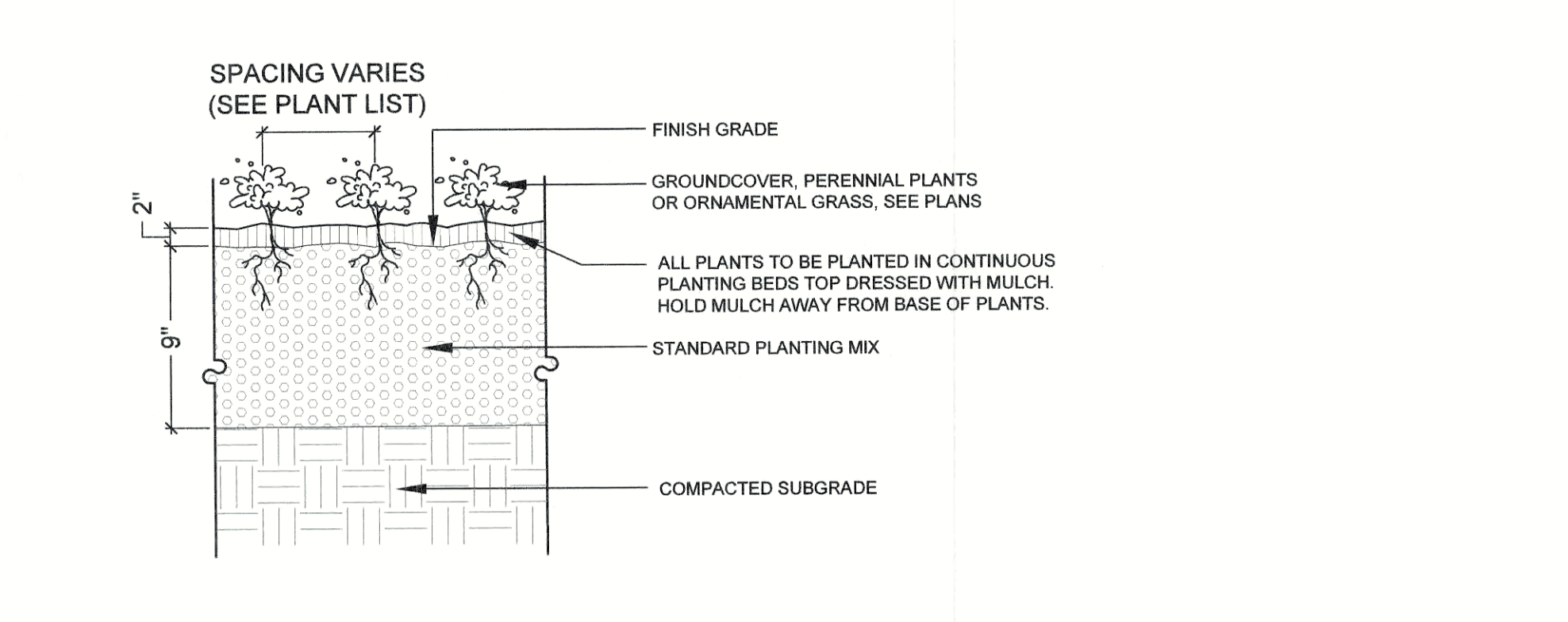
Loam and Lawn Seed Mix 4 L3
 Not to Scale ©IRONWOOD 2020



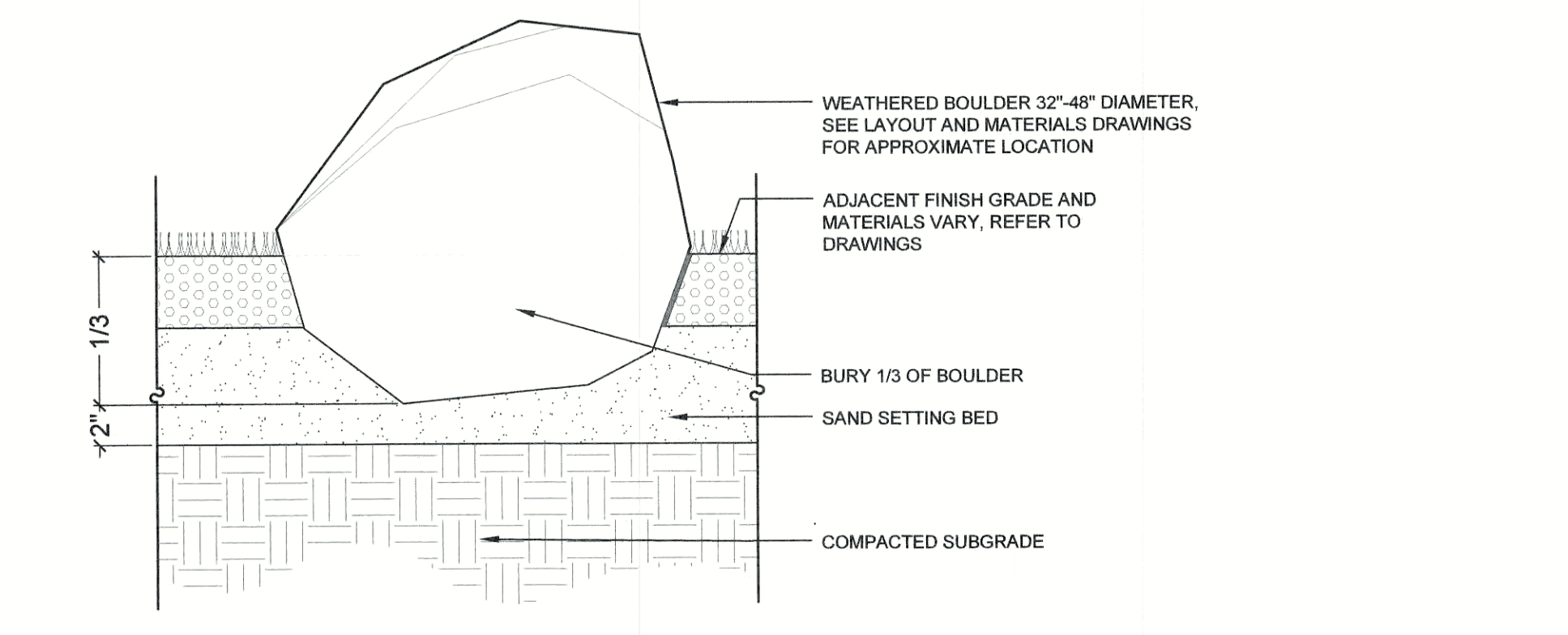
Loam and Meadow Seed Mix 5 L3
 Not to Scale ©IRONWOOD 2020



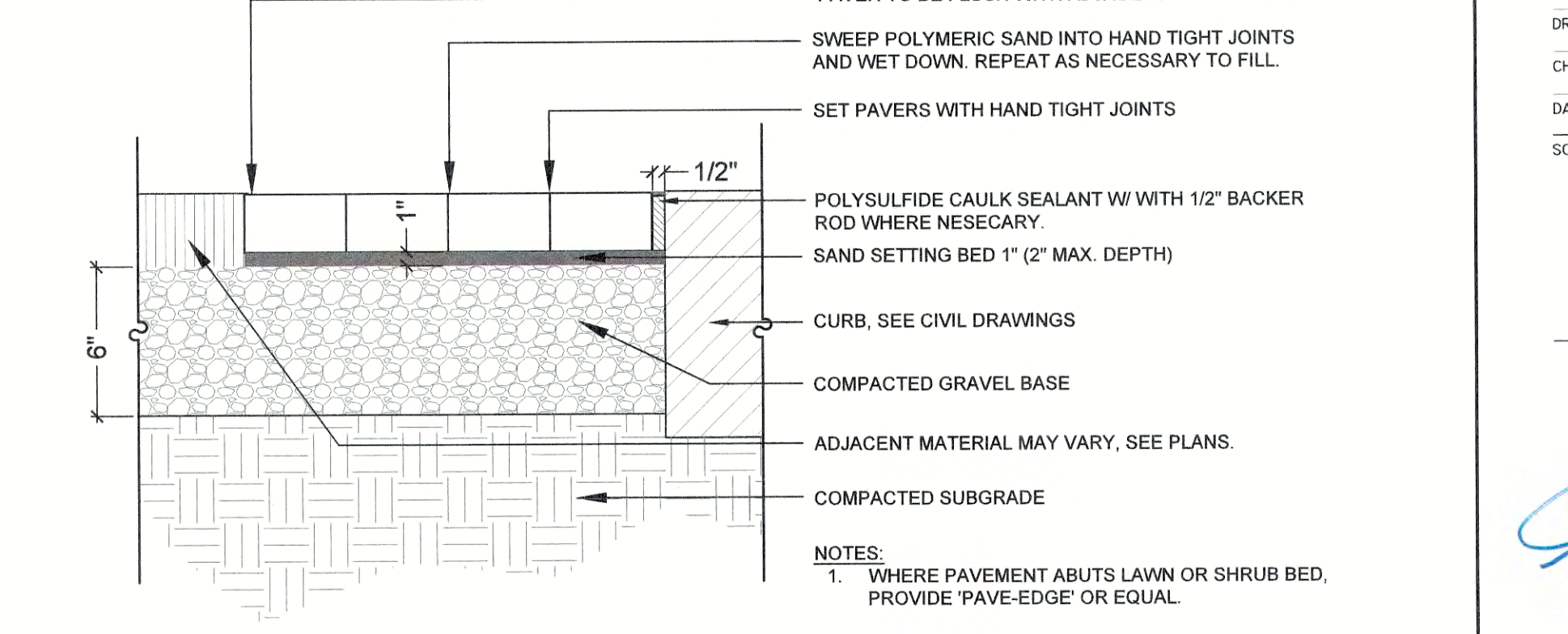
Shrub Planting 6 L3
 Not to Scale ©IRONWOOD 2020



Groundcover / Perennial Planting 7 L3
 Not to Scale ©IRONWOOD 2020



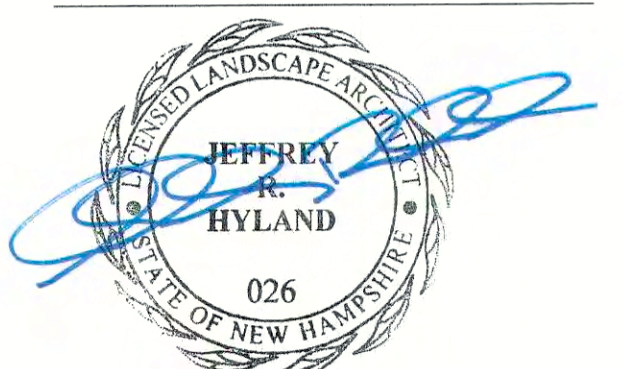
Weathered Granite Boulder 8 L3
 Not to Scale ©IRONWOOD 2020

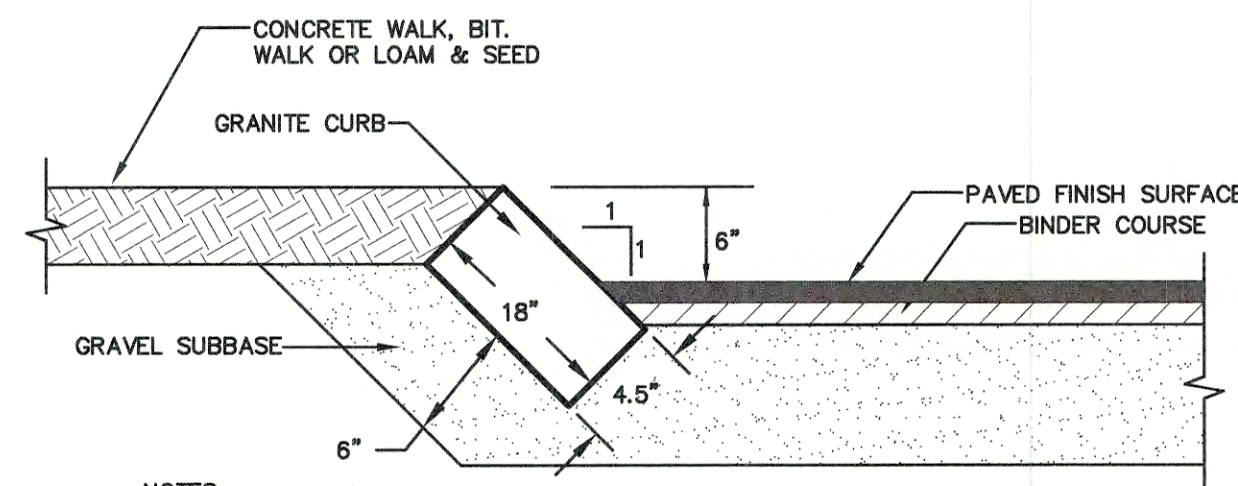


Accent Pavers 9 L3
 Not to Scale ©IRONWOOD 2020

REV. NO.	REV. DATE	REVISION DESCRIPTION
1	5/27/20	PLANTING & DETAIL UPDATE
2	6/23/20	REVISED PER TRC COMMENTS
3	8/25/20	REVISED PER TRC COMMENTS

IRONWOOD PROJECT NO. 19078
 DESIGN BY J. HYLAND
 DRAWN BY D. JENSEN
 CHECKED BY J. HYLAND
 DATE MAY 5, 2020
 SCALE

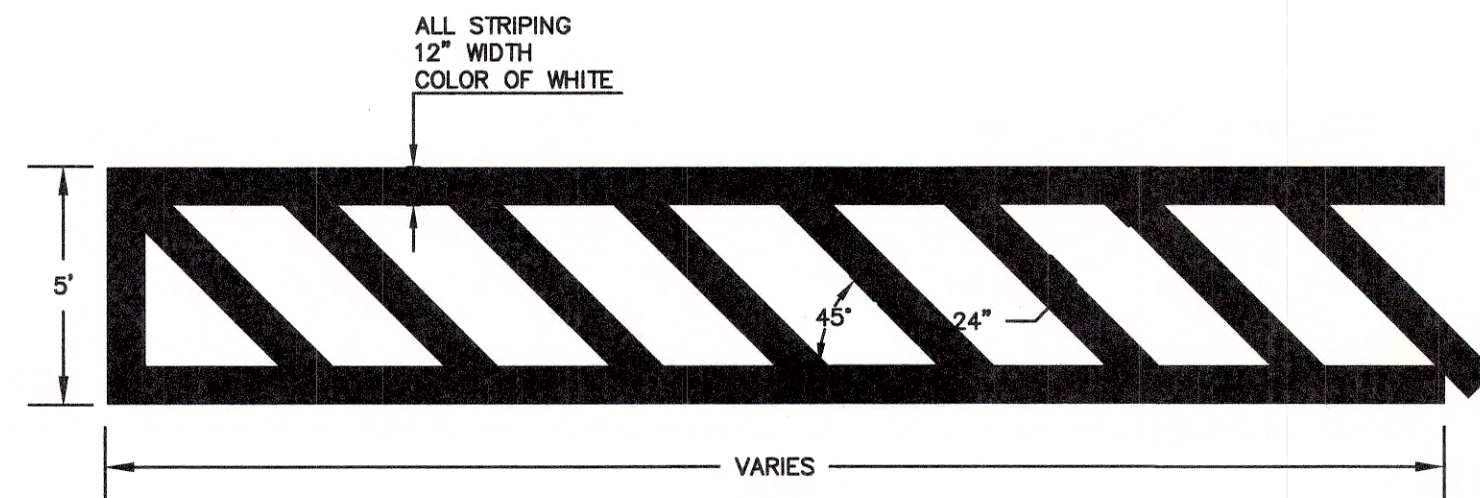




- NOTES:
 1. CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 2. JOINTS BETWEEN STONES SHALL BE MORTARED.

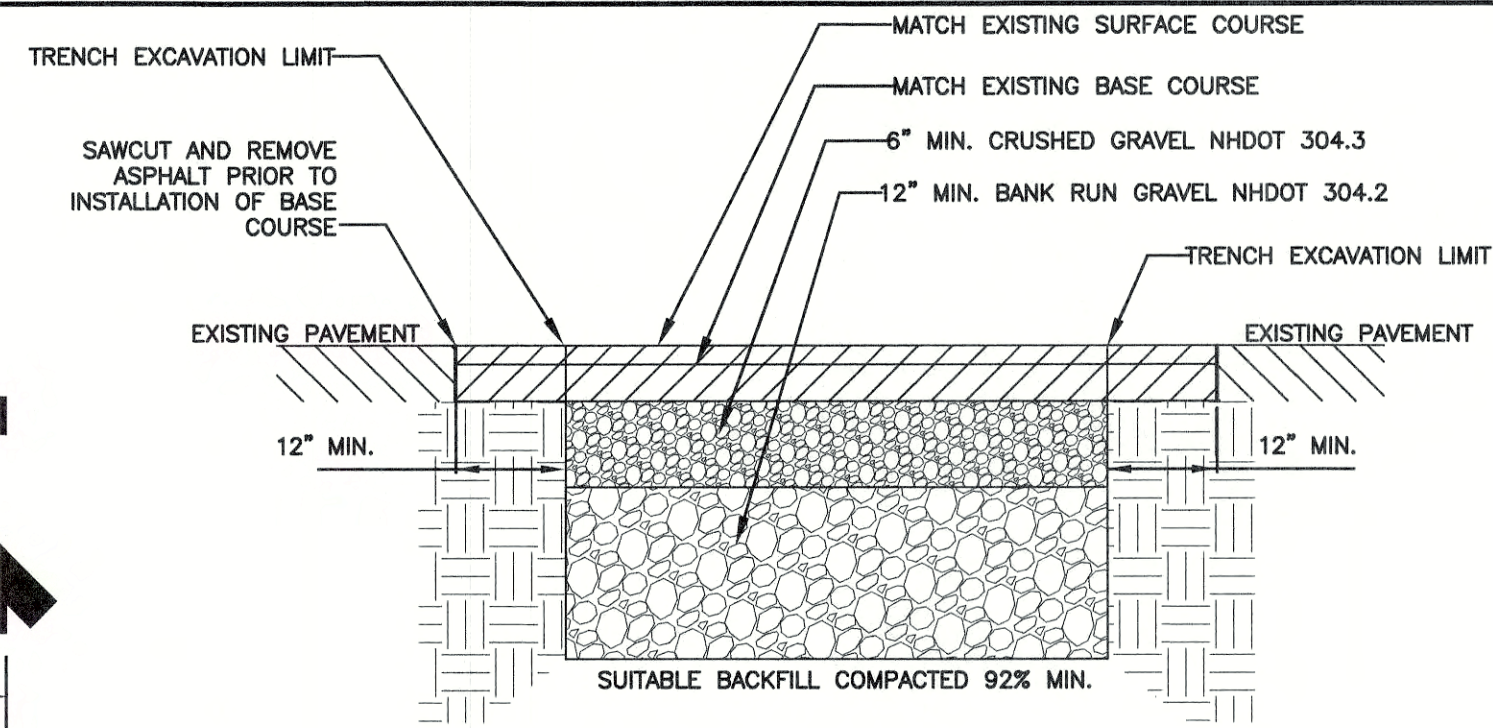
SLOPE GRANITE CURB

NOT TO SCALE



PAINTED CROSSWALK DETAIL

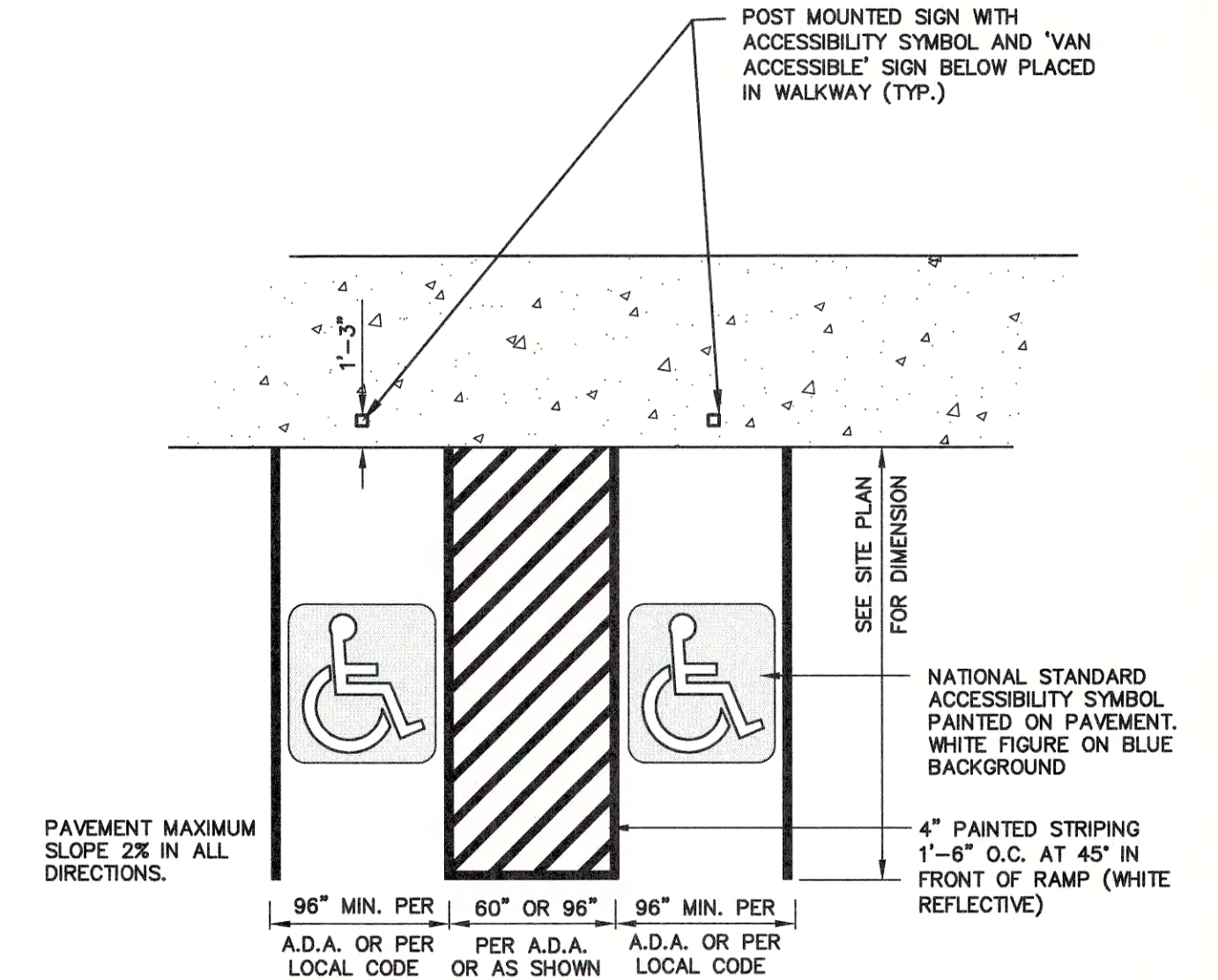
NOT TO SCALE



- NOTES:
 1. AFTER PROPER BACKFILLING AND COMPACTION, ADJACENT PAVEMENT MUST BE "SAW CUT" (STRAIGHT CUTS) A MINIMUM OF ONE FOOT (1') AROUND THE PERIMETER OF THE EXCAVATION. PAVEMENT MUST BE REMOVED.
 2. GRAVEL COMPACTIONS TO MEET 95% MINIMUM.
 3. INSTALL BASE COURSE LEAVING A REVEAL FOR SURFACE COURSE.
 4. APPLY EMULSION SEALANT AT PERIMETER OF JOINT OVERLAPPING BASE COURSE. INSTALL WEARING COURSE OF ASPHALT TO GRADE. APPLY LIGHT SAND TO ABSORB EXCESS JOINT SEALANT.
 5. SAWCUT PAVEMENT AT TRENCH EXCAVATION LIMIT BEFORE EXCAVATION AND 12" OUTSIDE TRENCH REPAIR PRIOR TO FINAL PAVING.

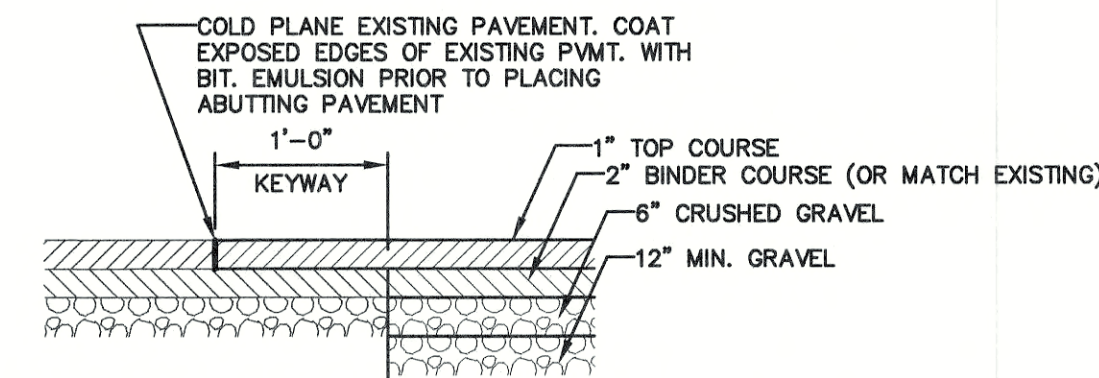
TYPICAL PAVEMENT REPAIR DETAIL

NOT TO SCALE



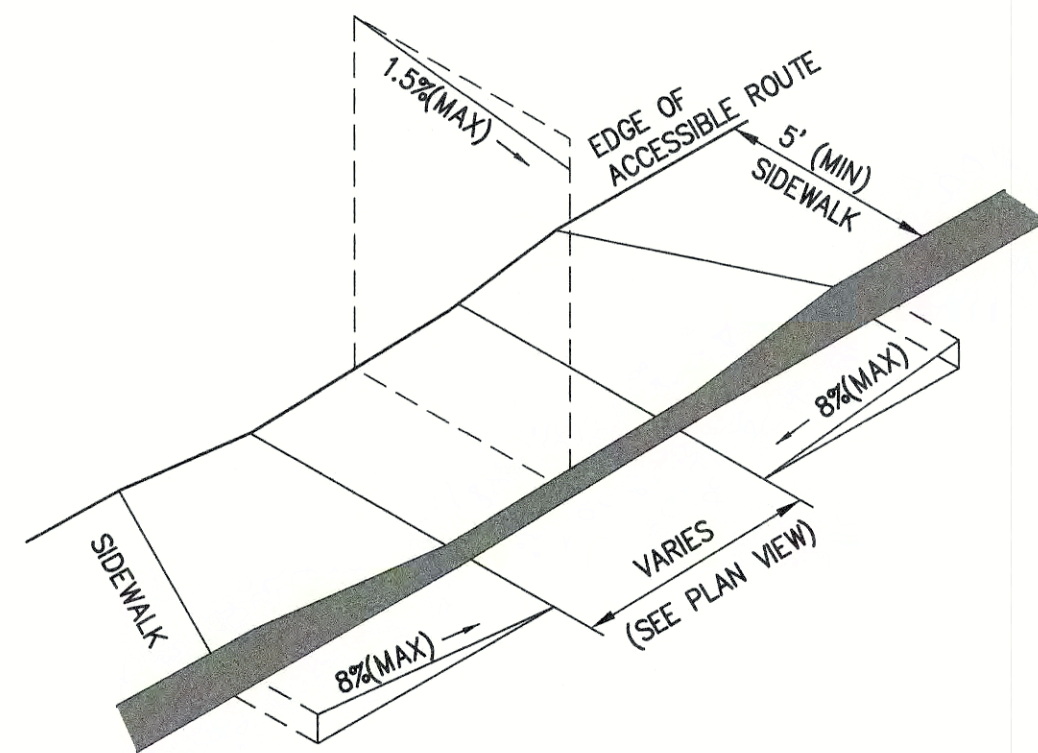
HANDICAP PARKING LAYOUT

NOT TO SCALE



KEYWAY DETAIL FOR CONNECTION TO EXISTING PAVEMENT

NOT TO SCALE

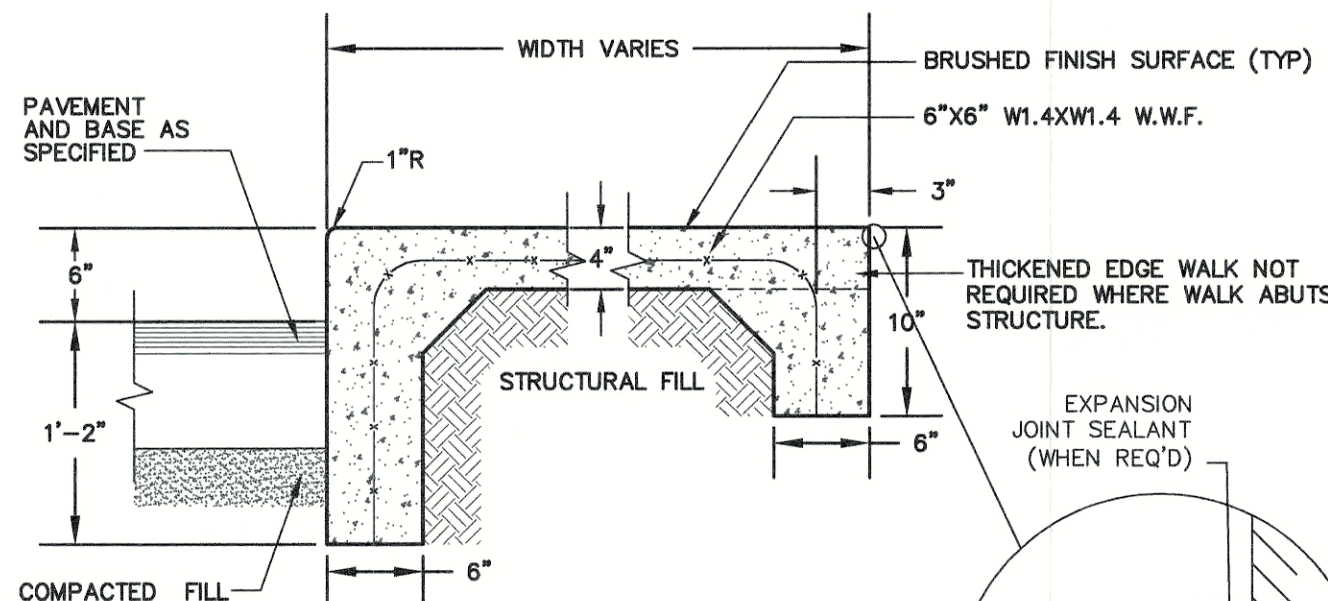


NOTES:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE CURB RAMP (TYPE 'A')

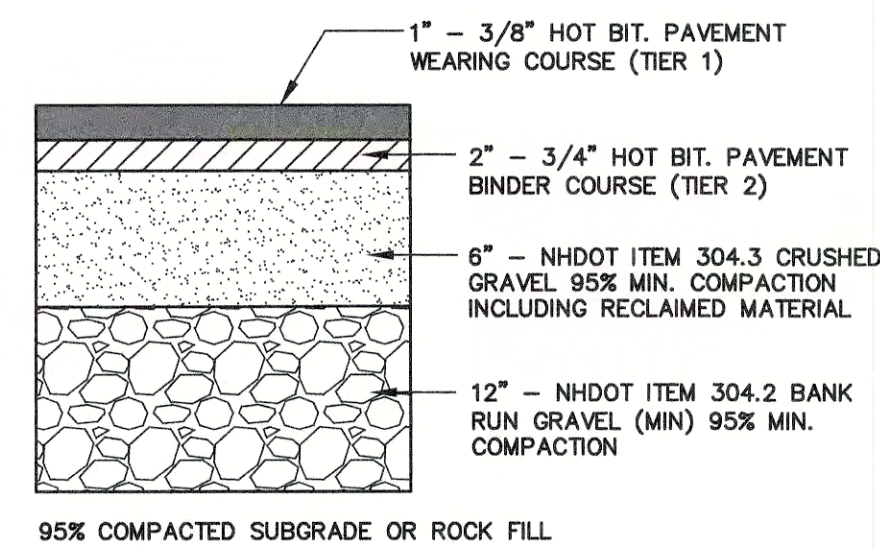
NOT TO SCALE



- NOTES:
 1. CONCRETE TO BE 4000 PSI.
 2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
 3. ALL JOINTS SEALED PER SPECIFICATIONS.
 4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
 5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

MONOLITHIC CONCRETE SIDEWALK

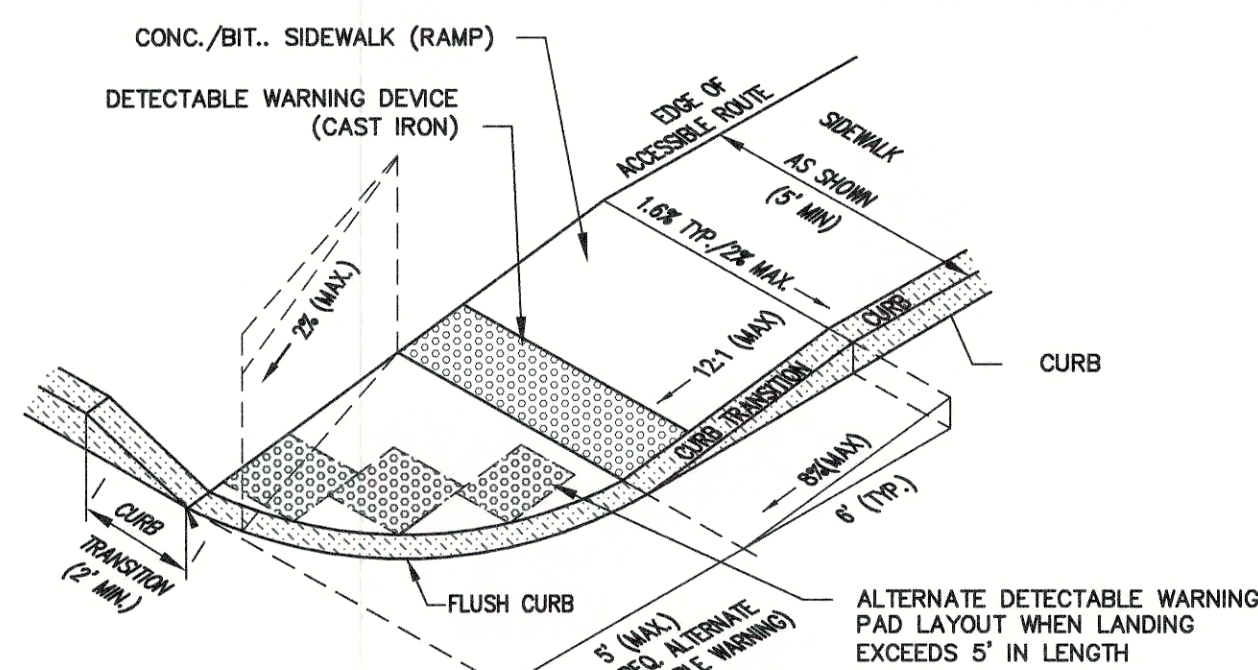
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TYPICAL BITUMINOUS PAVEMENT

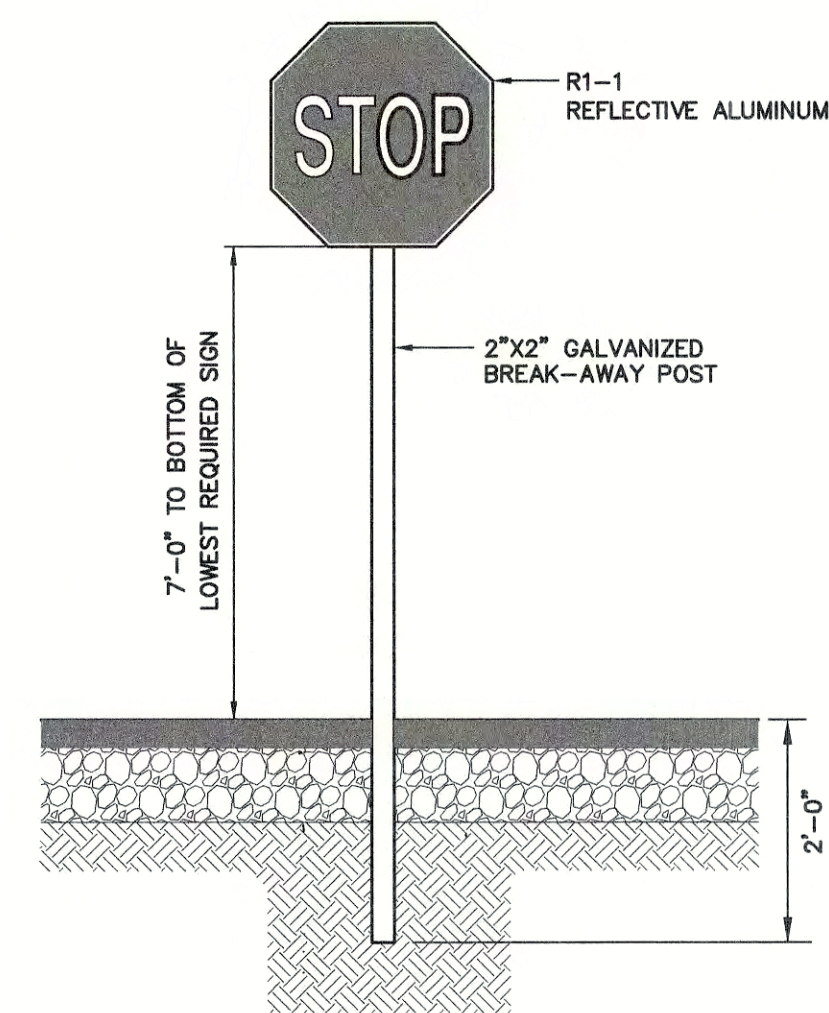
NOT TO SCALE

- NOTES:
 1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
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 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.



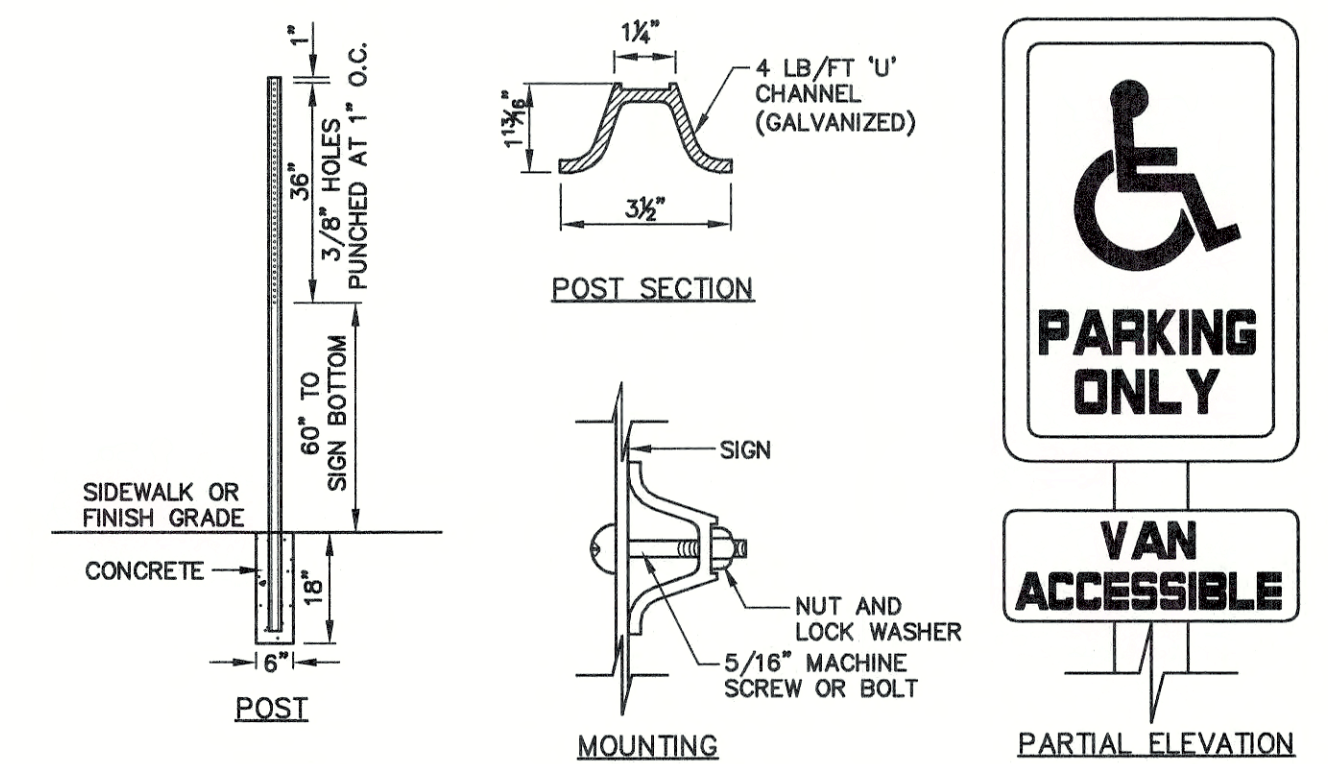
ACCESSIBLE CURB RAMP (TYPE 'B') AT EXETER ROAD (IF NECESSARY PER DPW)

NOT TO SCALE



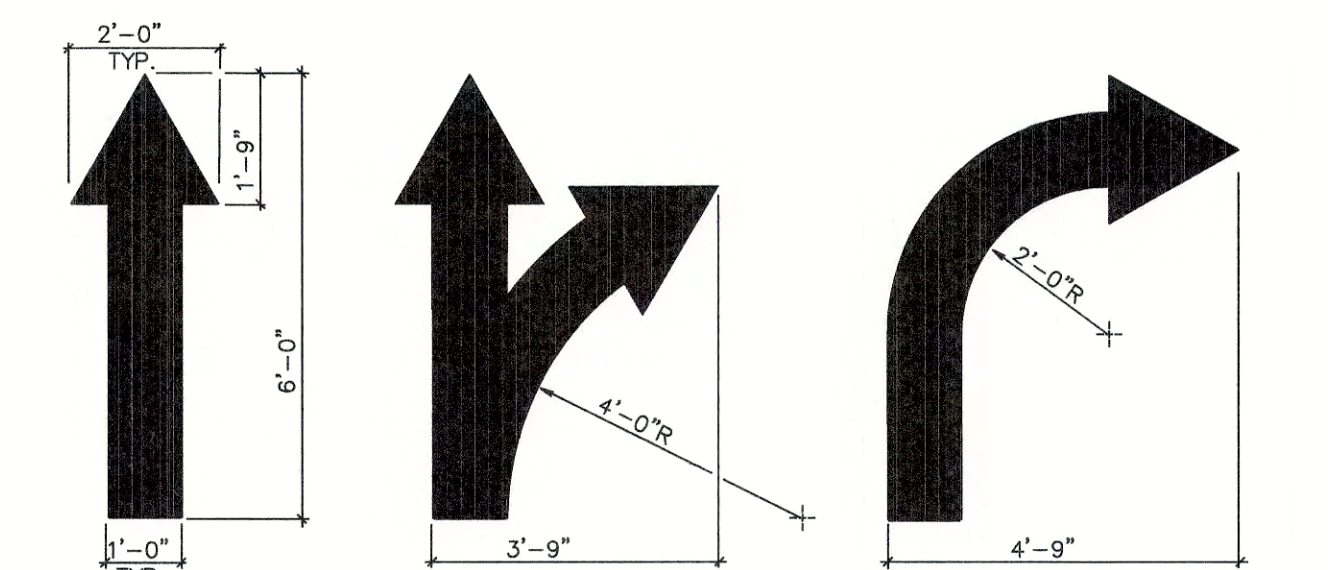
STOP SIGN (R1-1)

NOT TO SCALE



HANDICAP SIGN DETAILS

NOT TO SCALE

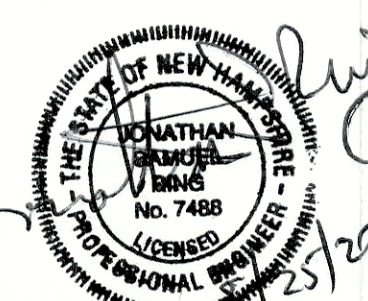


- NOTES:
 1. ALL FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE.
 2. REVERSE ARROWS FOR OPPOSITE DIRECTION OF FLOW.

PAINTED TRAFFIC ARROWS

NOT TO SCALE

Design: JSR	Draft: LAZ	Date: 3/18/20
Checked: JSR	Scale: AS NOTED	Project No.: 14101
Drawing Name: 14101-PLAN-PRIMROSE.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES AOT SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

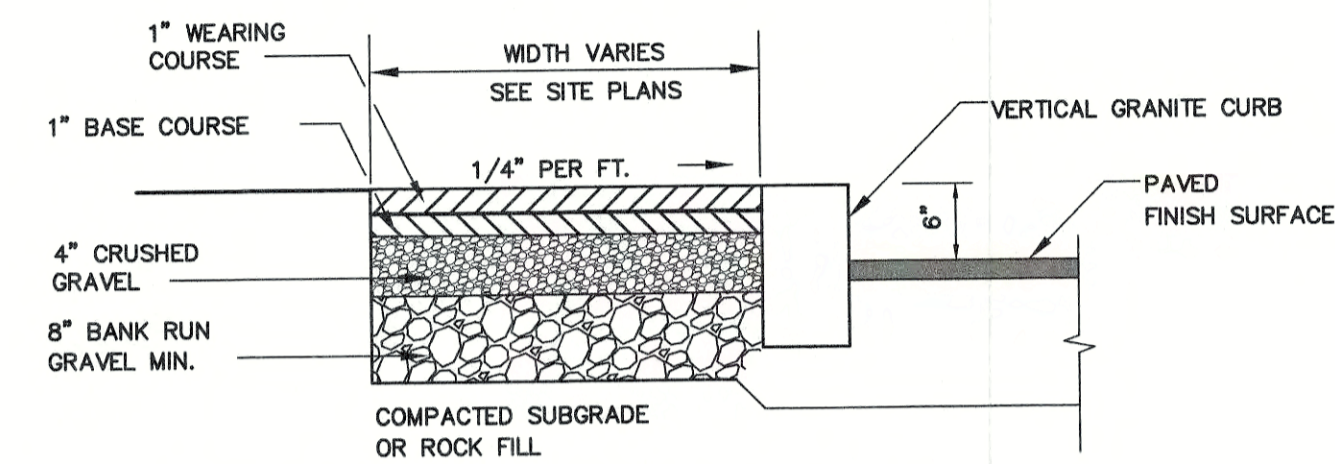
85 Portsmouth Ave. PO Box 219 Stratham, NH 03888

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

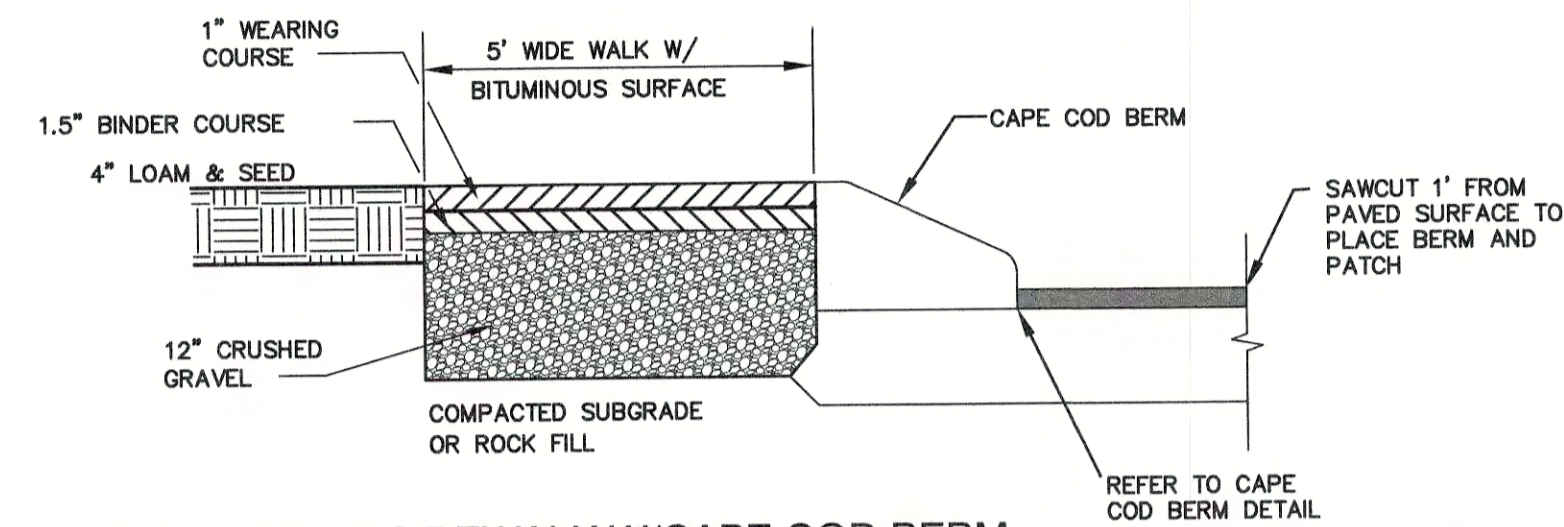
Plan Name:	DETAIL SHEET
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No.	D1
SHEET 10 OF 18 JBE PROJECT NO. 14101	



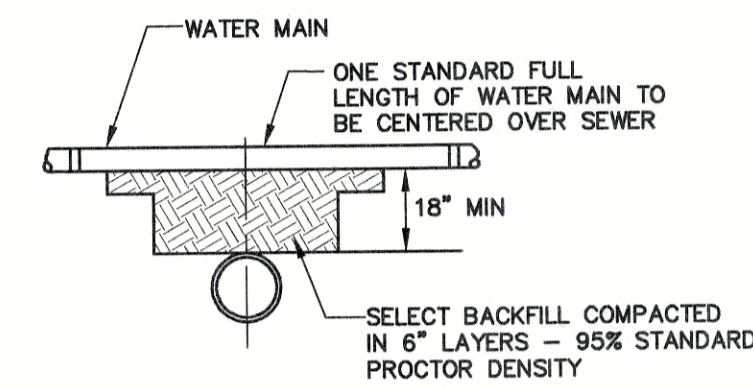
BIT. SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



BITUMINOUS SIDEWALK W/CAPE COD BERM

NOT TO SCALE

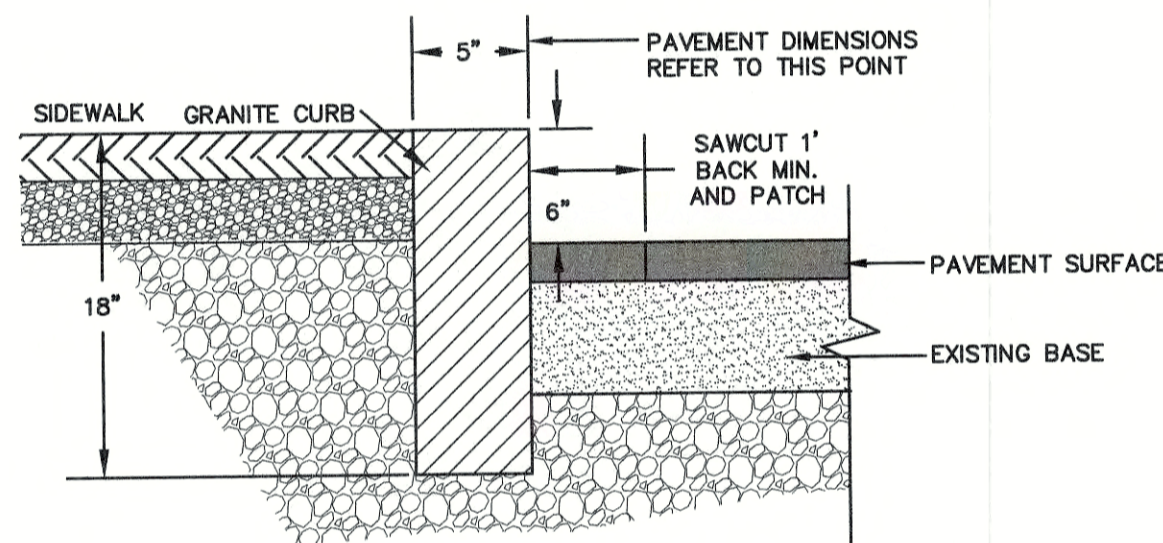


SEPARATION NOTES:

1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
2. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN PIPES. SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.

TYPICAL WATER / SEWER SEPARATION

NOT TO SCALE

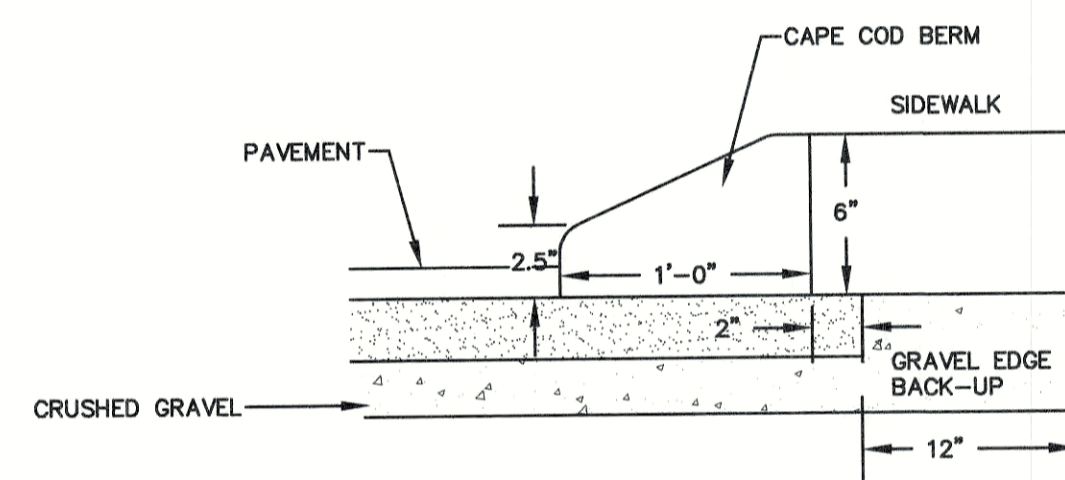


NOTES:

1. JOINTS BETWEEN STONES SHALL BE MORTARED.
2. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.

5" VERTICAL GRANITE CURB

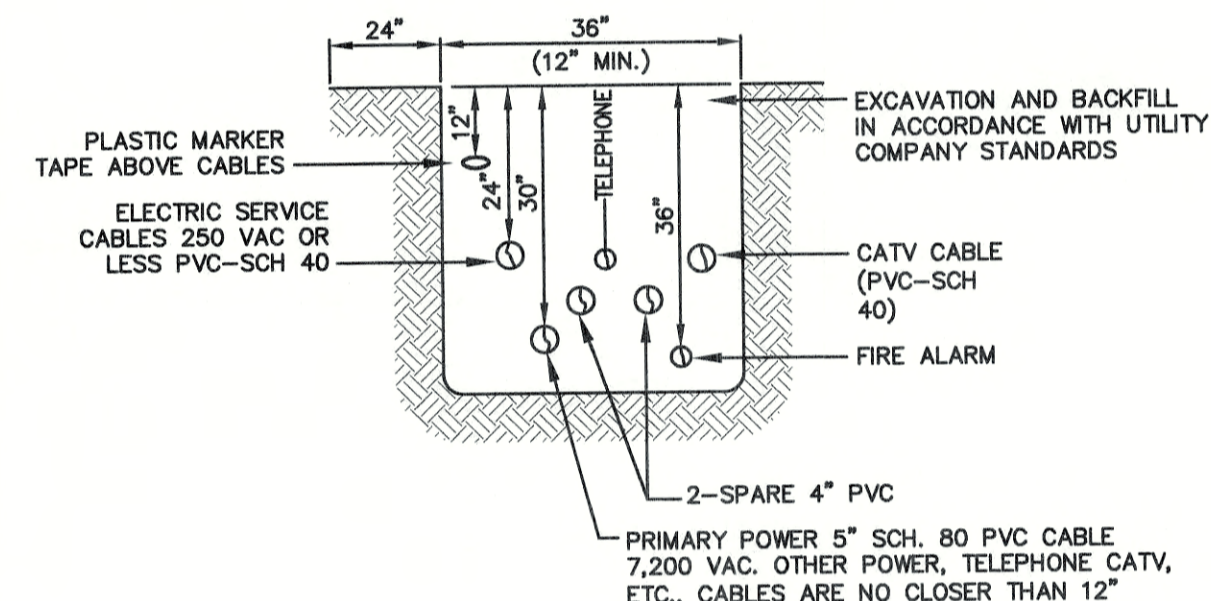
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THE CAPE COD BERM IS TO BE CONSTRUCTED OF A POLYFIBER CURB MIX CONTAINING 59.2% SAND, 27.6% 3/8" STONE, 9.2% 1/2" STONE, 0.3% FIBERS, AND 3.0% ASPHALT.

CAPE COD BERM

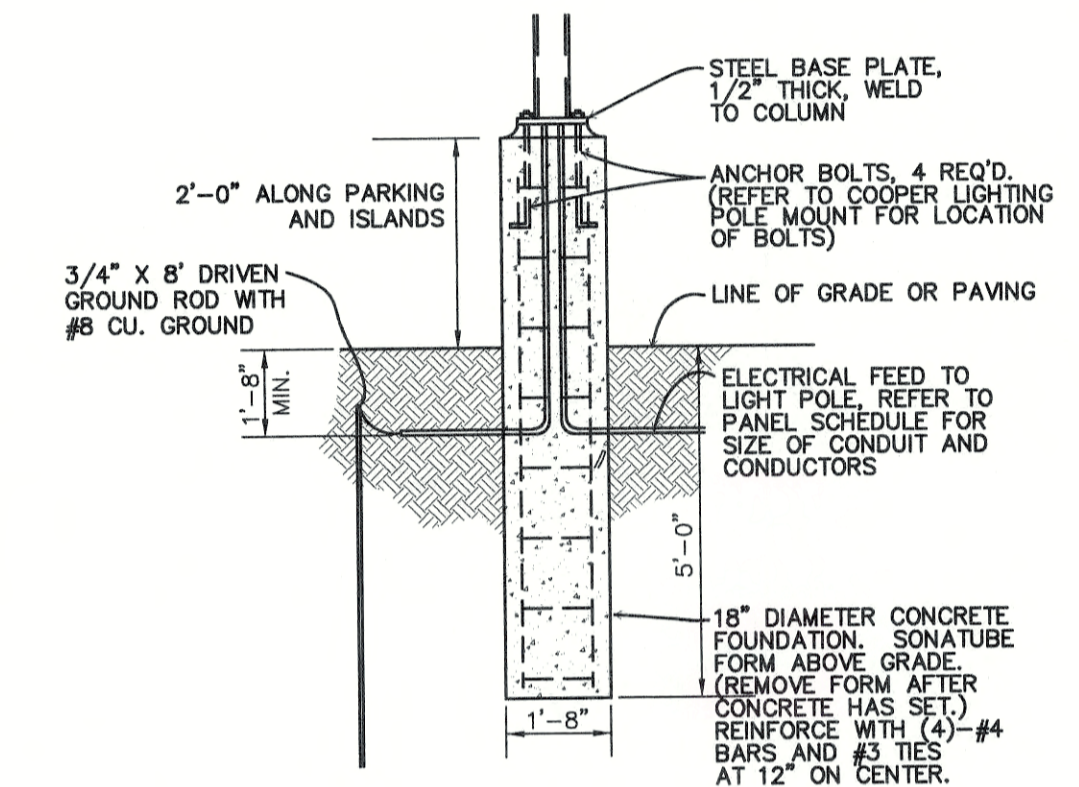
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NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

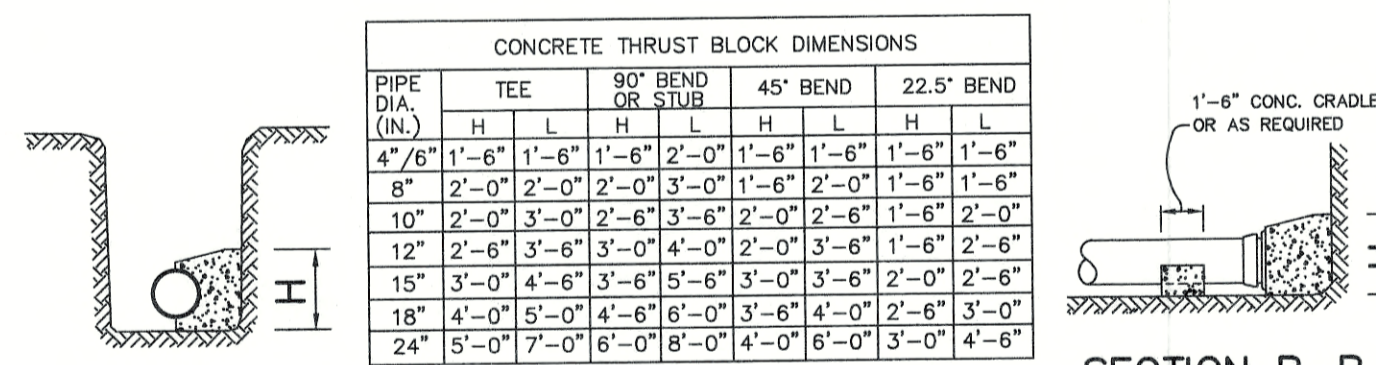
UTILITY TRENCH

NOT TO SCALE

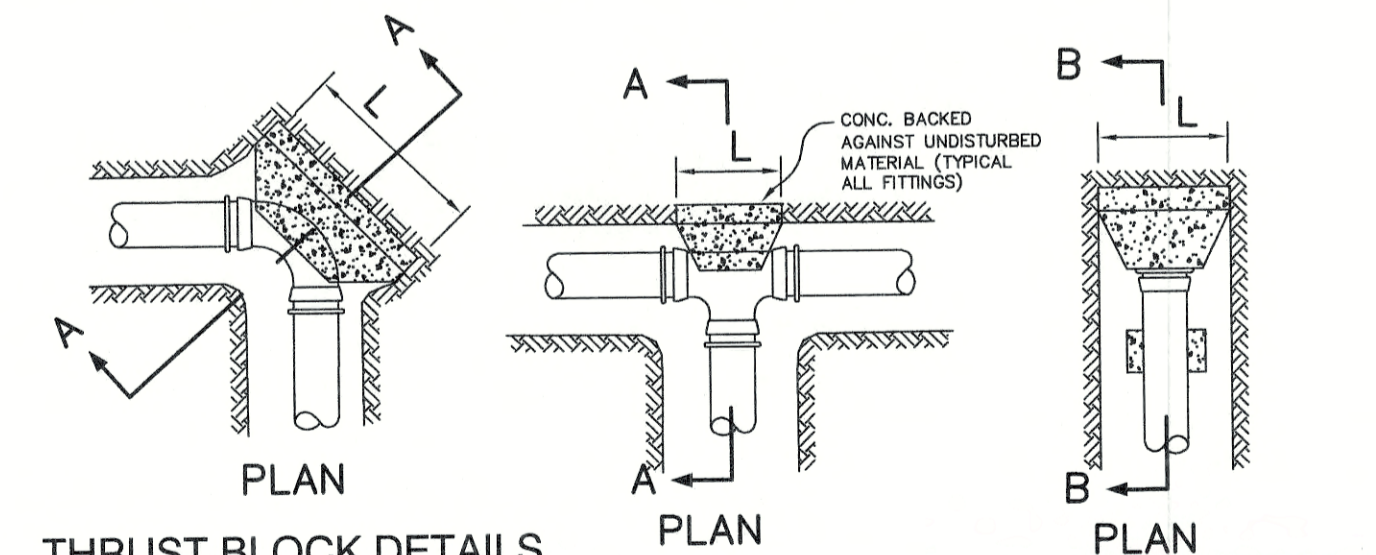


LIGHT POLE FOUNDATION

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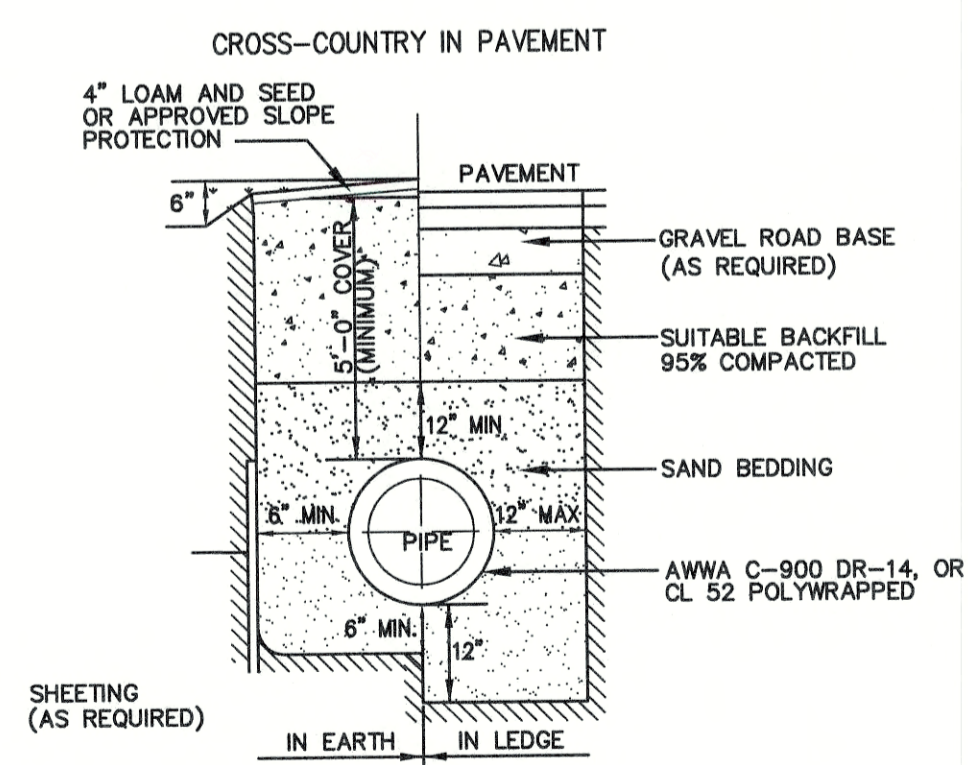


THRUST BLOCK DETAILS



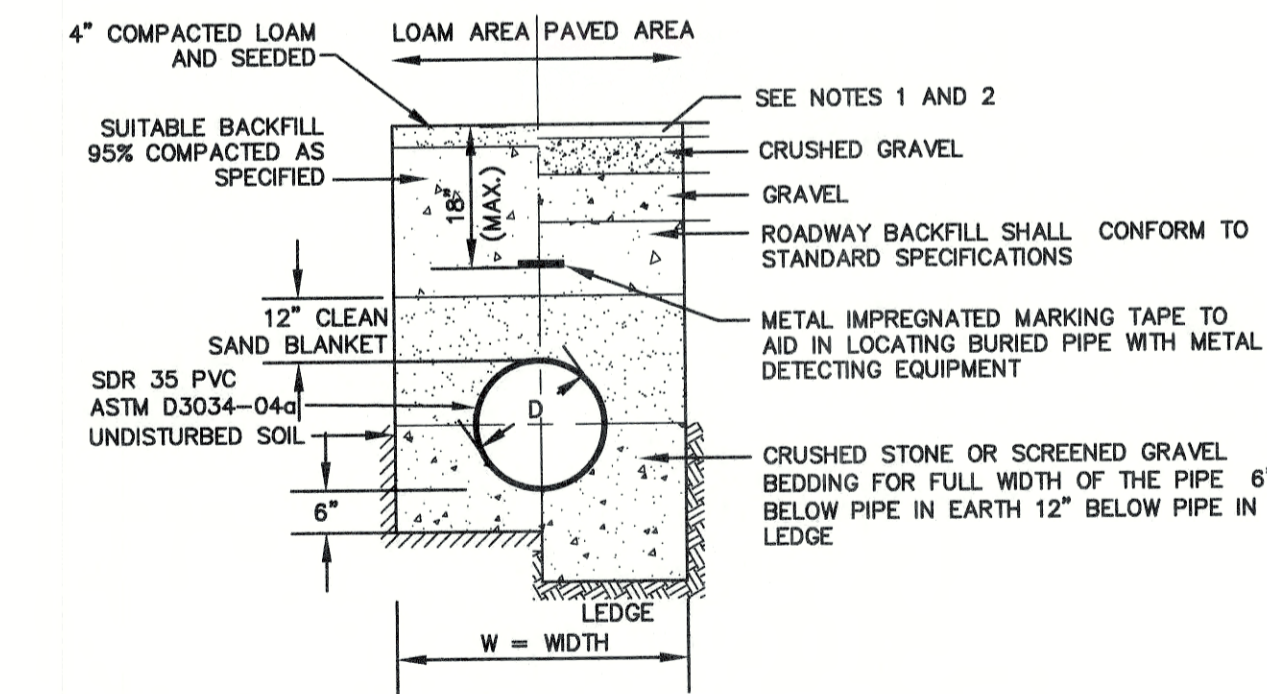
THRUST BLOCK DETAILS

NOT TO SCALE



WATER SYSTEM TRENCH

NOT TO SCALE

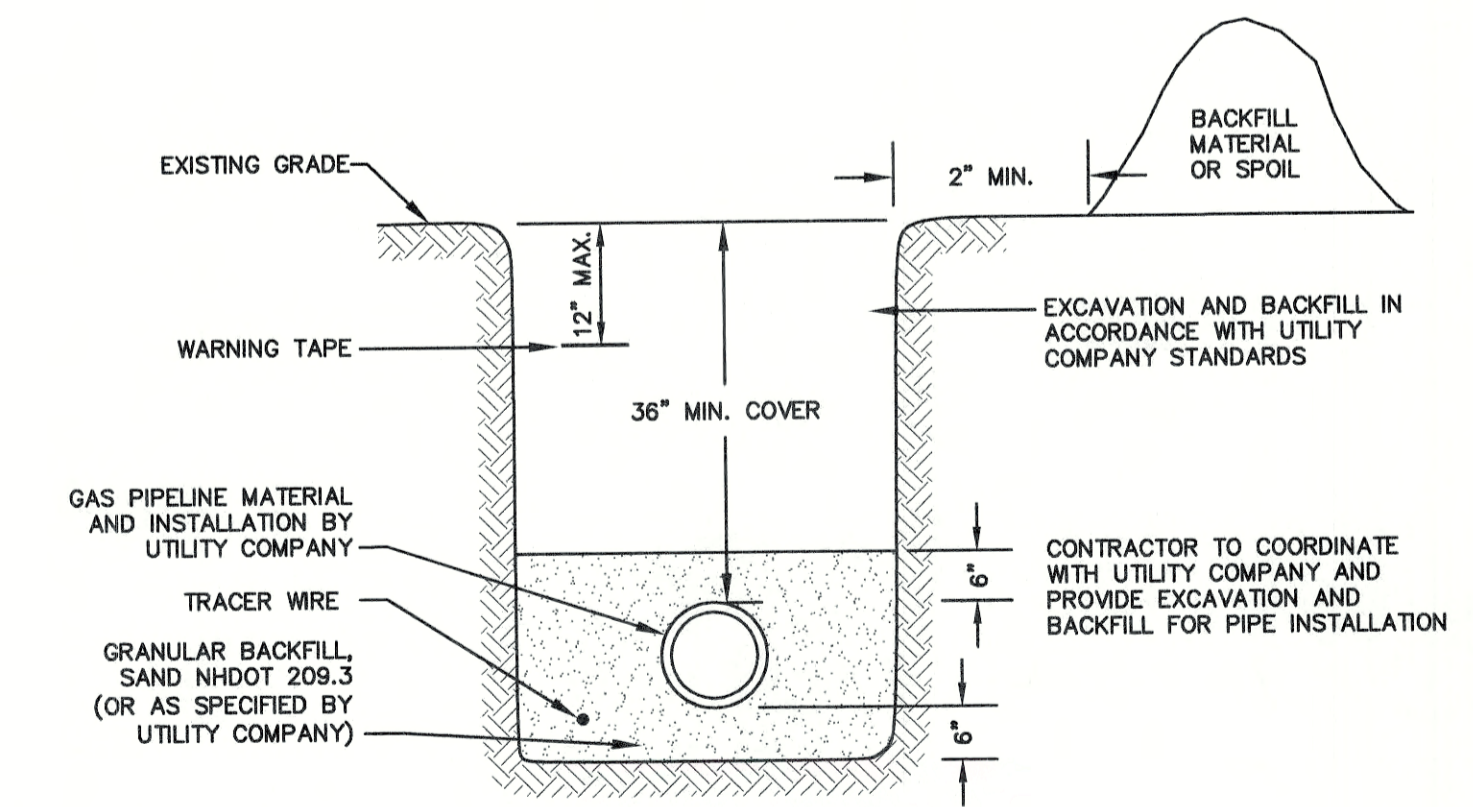


NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
3. W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
4. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4", PURSUANT TO DES WAIVER BEING ISSUED.

SEWER TRENCH

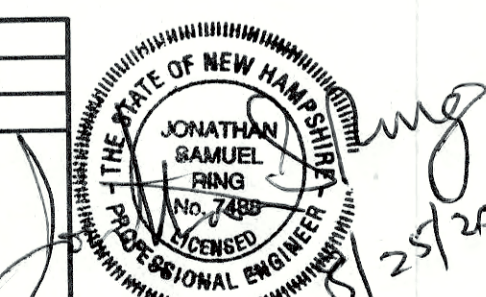
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GAS TRENCH

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Drawing Name: 14101-PLAN-PRIMROSE.dwg		
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4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES AOT SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

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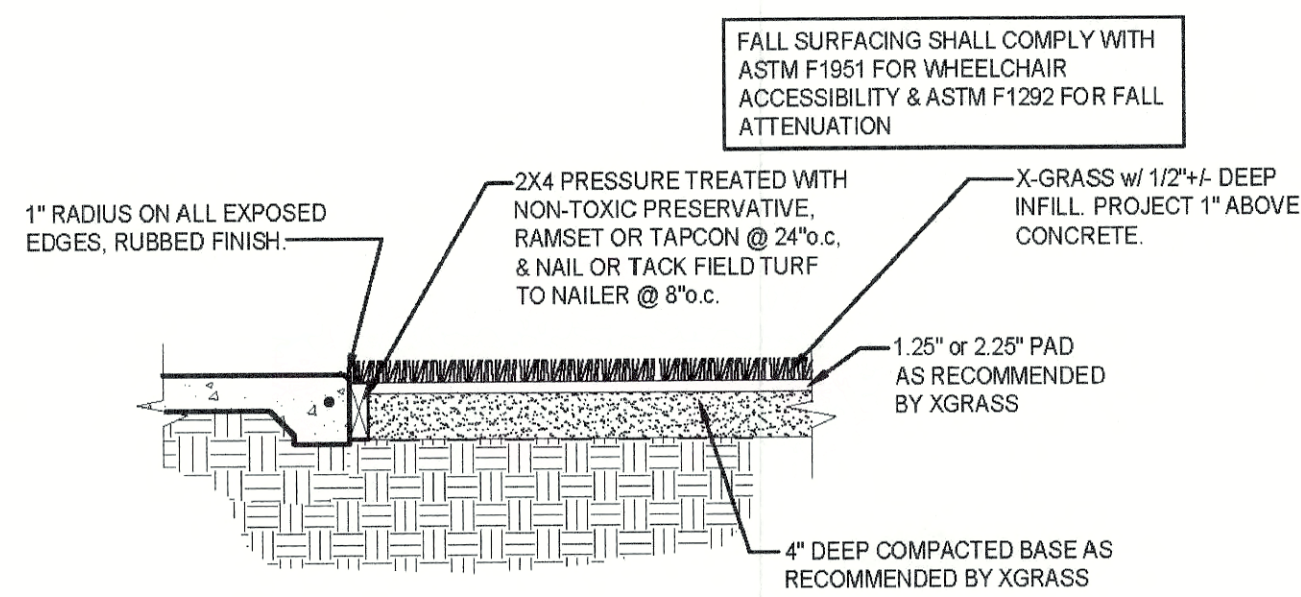
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

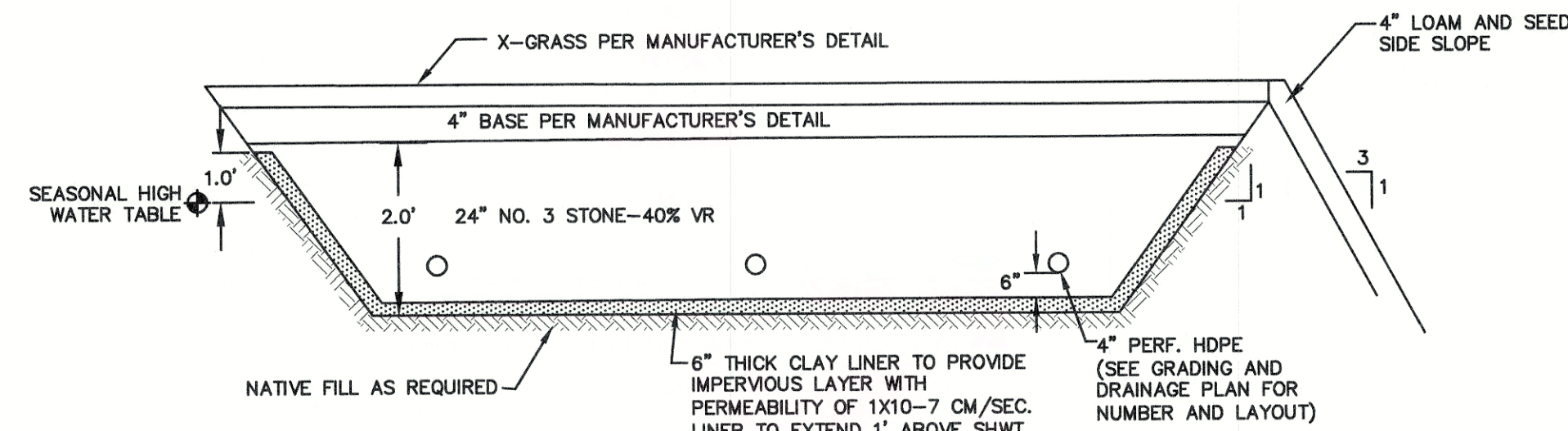
603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No.	D2
SHEET 11 OF 18 JBE PROJECT NO. 14101	



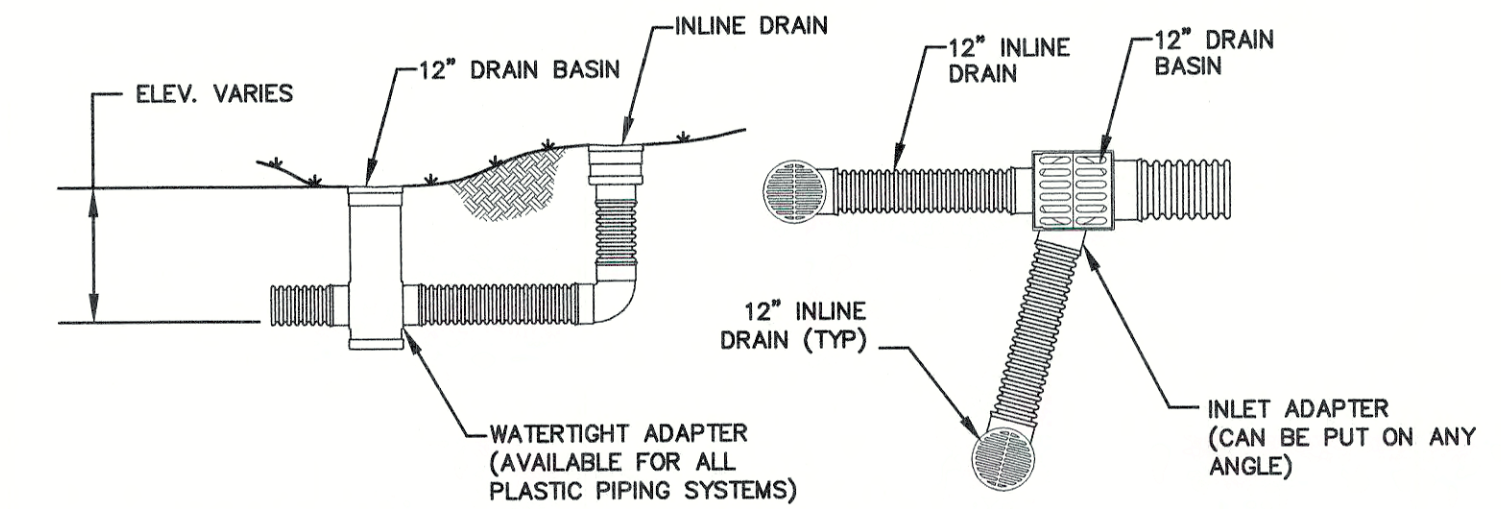
15 ART. TURF DTL @ CONCRETE NTS



- NOTES:
- CONTRACTOR IS TO REMOVE THE EXISTING BURIED LAYER OF ORIGINAL LOAM DURING THE EXCAVATION OF THE GRAVELS.
 - DESIGN ENGINEER TO INSPECT SITE PREPARATION AND INSTALLATION.
 - IN AREAS WHERE THE ESTIMATED SEASONAL HIGH WATER TABLE IS ENCOUNTERED WITHIN THE CONSTRUCTION OF THE SECTION, AN IMPERMEABLE LINER SHALL BE PLACED ALONG THE BOTTOM AND UP THE SIDES TO AN ELEVATION 1' ABOVE THE WATER TABLE.

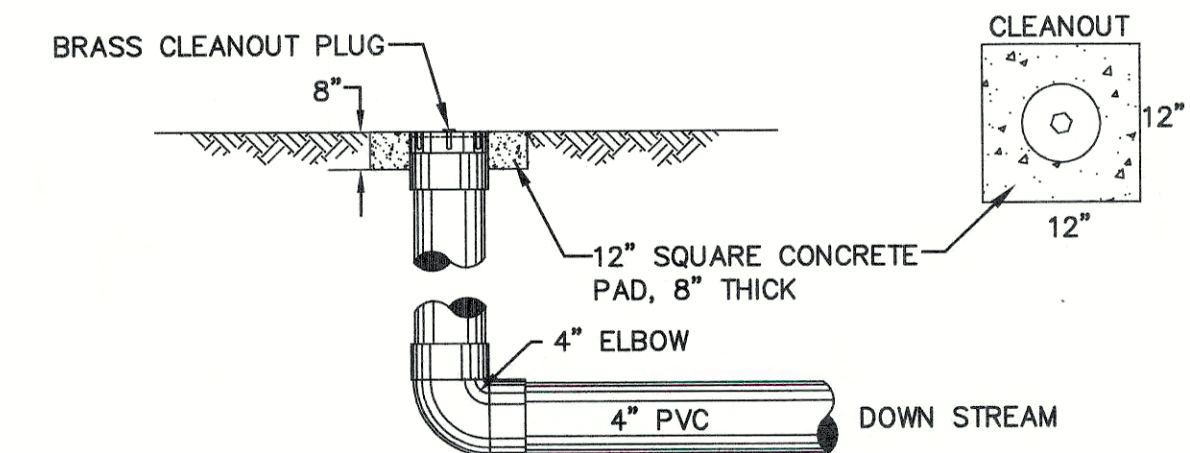
X-GRASS PLAYGROUND SECTION

NOT TO SCALE



NYOPLAST DRAIN BASIN AND INLINE DRAIN

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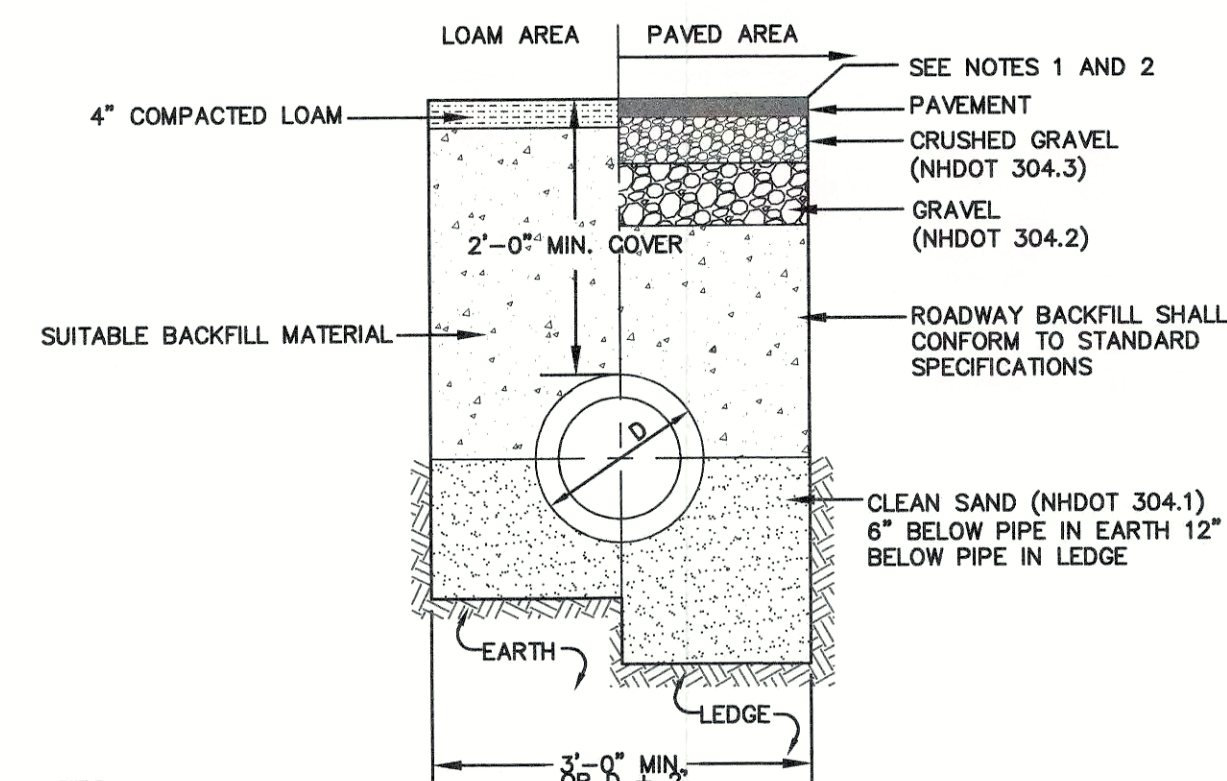


NOTE:

- PLACE CLEANOUT AS SHOWN ON PLAN.
- ALL CLEANOUTS ARE 4" ONLY.

UNDERDRAIN CLEANOUT DETAIL

NOT TO SCALE

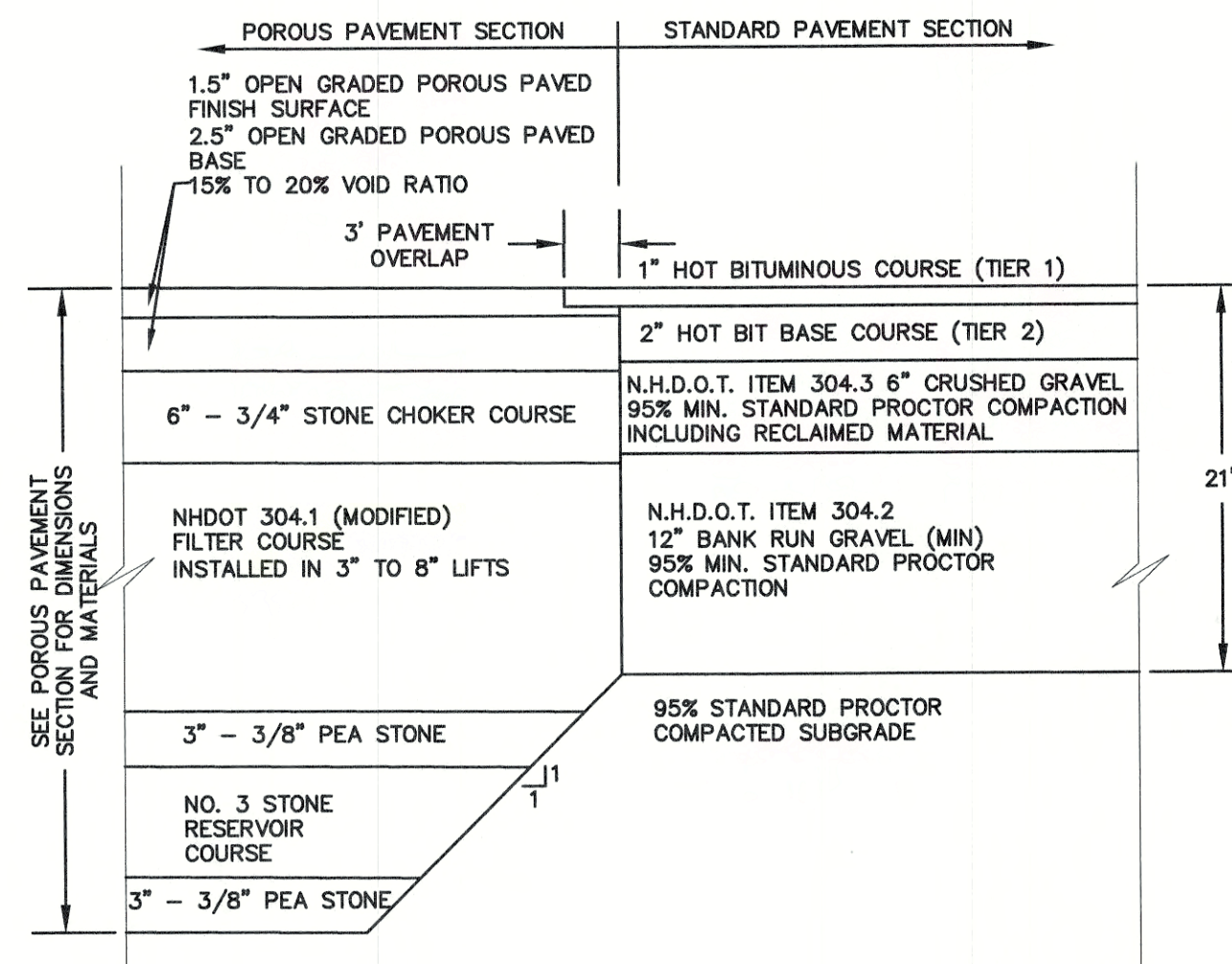


NOTES:

- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
- NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
- ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

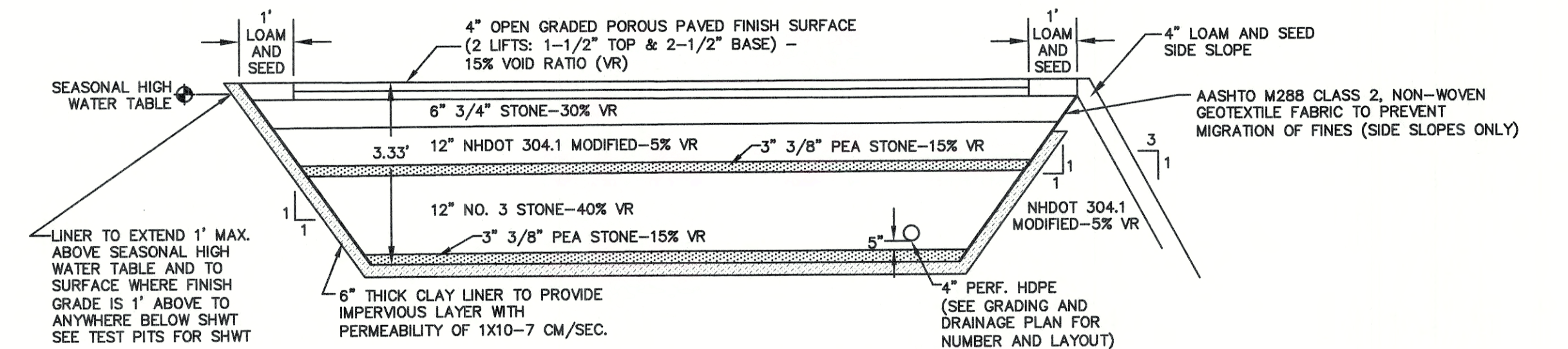
DRAINAGE TRENCH

NOT TO SCALE



POROUS TO STANDARD PAVEMENT INTERFACE DETAIL

NOT TO SCALE



NOTES:

- CONTRACTOR IS TO REMOVE THE EXISTING BURIED LAYER OF ORIGINAL LOAM IF ENCOUNTERED DURING THE EXCAVATION OF THE GRAVELS FOR THE ROADWAY AND WHENEVER ENCOUNTERED IN TRENCHES.
- DESIGN ENGINEER TO INSPECT SITE PREPARATION AND INSTALLATION OF POROUS PAVEMENT.
- IN AREAS WHERE THE ESTIMATED SEASONAL HIGH WATER TABLE IS ENCOUNTERED WITHIN THE CONSTRUCTION OF THE SECTION, AN IMPERMEABLE LINER SHALL BE PLACED ALONG THE BOTTOM AND UP THE SIDES TO AN ELEVATION 1' ABOVE THE WATER TABLE.
- THE TOP LAYER (WEARING COURSE) SHOULD BE PRE-BLENDED PG 76-28 MODIFIED WITH SBS. THE BASE COURSE SHOULD BE, AT A MINIMUM, PG 64-28 WITH 5 POUNDS OF FIBER PER TON OF ASPHALT MIX. IF SUFFICIENT STAGING OR USE OF THE BASE COURSE SECTION WILL BE REQUIRED PRIOR TO THE APPLICATION OF THE WEARING COURSE, THE ENGINEER MAY DECIDE TO USE PRE-BLENDED PG 76-28 MODIFIED WITH SBS ON BOTH COURSES.

TYPICAL POROUS ASPHALT PAVEMENT SECTION

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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

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DRAWING No.

D3

SHEET 12 OF 18
JBE PROJECT NO. 14101

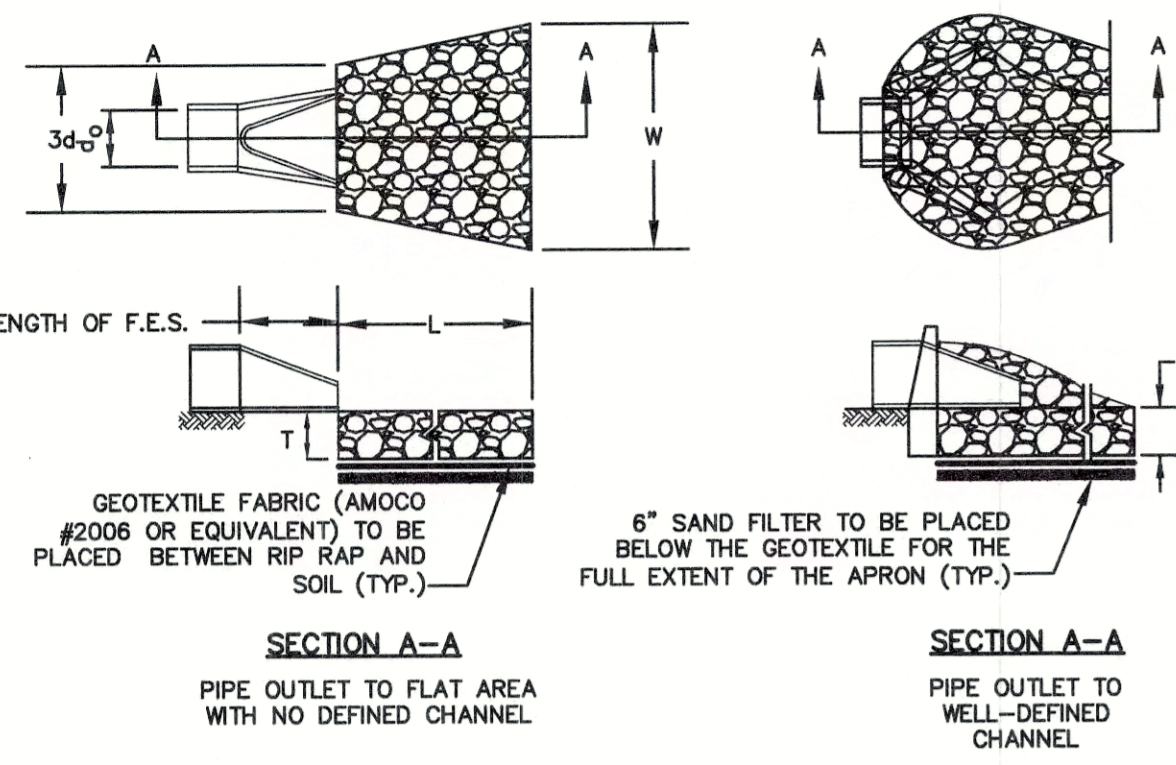


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

THICKNESS OF RIP RAP = 1.0 FEET			
d50 SIZE=	0.25 FEET	3 INCHES	
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO	
100%	5	6	
85%	4	5	
50%	3	5	
15%	1	2	

- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 - MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

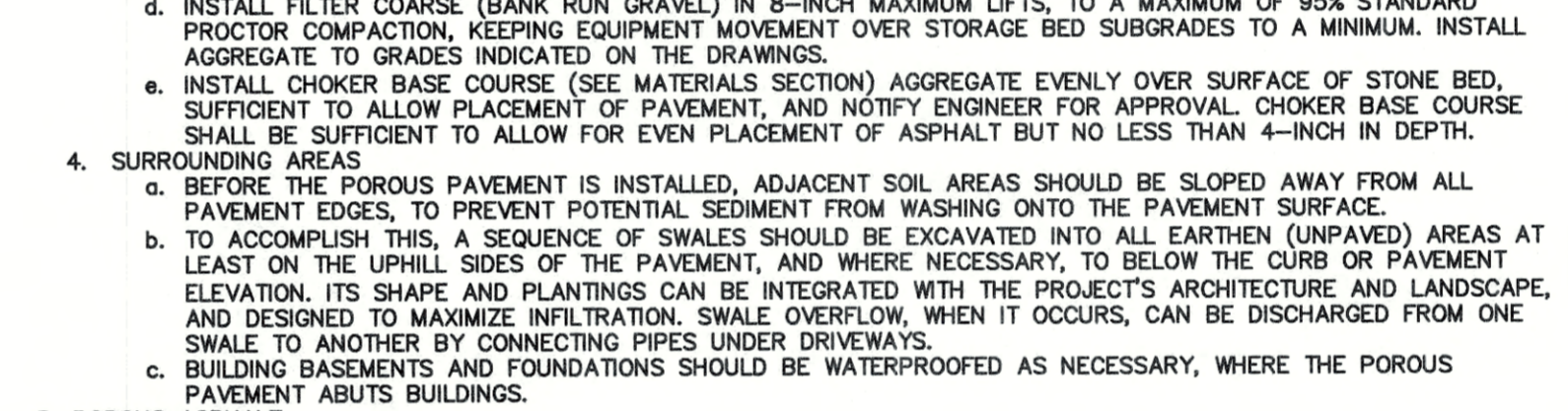
RIP RAP OUTLET PROTECTION APRON

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CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT
 REFERENCE DOCUMENT: THE UNH STORMWATER CENTER
 REVISED OCTOBER, 2009

- INSTALLATION RECOMMENDATIONS**
- THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE POROUS ASPHALT PAVEMENT IS PROPERLY INSTALLED. THE FULL PAVEMENT SPECIFICATION MUST BE FOLLOWED CONSCIENTIOUSLY DURING CONSTRUCTION. IT IS BASED ON UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS. THE UNH SPECIFICATION INCLUDES NUMEROUS VITAL PROVISIONS FOR AGGREGATE AND BITUMINOUS MATERIALS, THEIR PLACEMENT, AND QUALITY CONTROL. AMONG ITS NOTABLE PROVISIONS ARE THE FOLLOWING EXAMPLES:
- OPEN-GRADED AGGREGATE TO MAKE ALL PAVEMENT LAYERS POROUS AND PERMEABLE;
 - STIFF ASPHALT BINDER TO ADHERE TO THE AGGREGATE PARTICLES AND RESIST "DRAINDOWN" THROUGH THE PAVEMENT'S PORES, ENHANCING THE MATERIAL'S PERFORMANCE AND DURABILITY;
 - A SPECIFIC LIMIT ON ALLOWABLE DRAINDOWN, AND ADDITION OF A STYRENE-BUTADIENE-STYRENE (SBS) POLYMER ADDITIVE TO HELP MEET THAT REQUIREMENT;
 - THE POROUS PAVEMENT IS TO BE INSTALLED ONLY AFTER MAJOR CONSTRUCTION IS COMPLETED, SO THAT CONSTRUCTION TRAFFIC WILL NOT TRACK POTENTIALLY CLOGGING SEDIMENT ONTO THE PAVEMENT SURFACE. FOR CONSTRUCTION ACCESS, A TEMPORARY SURFACE WILL BE INSTALLED, SIMILAR IN CONSTRUCTION TO A STANDARD STABILIZED CONSTRUCTION ENTRANCE. THIS TYPE OF SURFACE CAN BEAR CONSTRUCTION TRAFFIC WITHOUT ERODING.
 - PROMINENT AND REPEATED STATEMENTS OF THE SPECIAL NATURE AND PURPOSE OF POROUS PAVEMENT, AND THE NECESSITY OF COMPLYING STRICTLY WITH THESE DISTINCTIVE SPECIFICATIONS.
 - PROTECTION OF THE FINISHED POROUS ASPHALT SURFACE FROM TRACKING OF CONSTRUCTION SEDIMENT.
2. THOROUGH COMMUNICATION WITH THE POROUS ASPHALT SUPPLIER AND PAVEMENT INSTALLER IS ESSENTIAL. THEY MUST UNDERSTAND THE POROUS PAVEMENT'S SPECIAL OBJECTIVES, THE SPECIAL MATERIALS AND PROCEDURES NECESSARY TO MAKE IT EFFECTIVE, AND WHY COMPLIANCE WITH SPECIFICATIONS IS ESSENTIAL. TO THIS END, THE SPECIFICATIONS STATE PROMINENTLY AND REPEATEDLY THE SPECIAL NATURE AND PURPOSE OF THE POROUS MATERIALS. IN ADDITION, THE PROJECT ENGINEER SHOULD MEET WITH CONTRACTORS IN PERSON TO REVIEW THE SPECIFICATIONS AND MAKE SURE THE CONTRACTORS UNDERSTAND THE OBJECTIVES. HE SHOULD OBSERVE THE CONTRACTORS ON-SITE FREQUENTLY, TO MAKE SURE THE OBJECTIVES ARE CARRIED OUT. HE SHOULD MAINTAIN A WRITTEN RECORD DOCUMENTING REVIEW AND APPROVAL AT CRITICAL PROJECT STAGES SUCH AS EXCAVATION OF THE SUB GRADE AND QUALITY CHECKS OF BASE AND SURFACE MATERIALS. HE SHOULD INSPECT THE SITE TO MAKE SURE CONSTRUCTION VEHICLES ARE NOT ALLOWED TO TRAVERSE EXCAVATED SUB GRADE OR THE PAVEMENT STRUCTURE AT ANY INAPPROPRIATE STAGE. HE SHOULD FORBID CONSTRUCTION TRAFFIC FROM TRACKING SOIL ONTO THE FINISHED PAVEMENT SURFACE.

- INSTALLATION**
- A. PERCOLATION BEDS
- OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
 - SUB GRADE PREPARATION
 - EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
 - WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
 - BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC COMPACTION BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
 - WHERE ROAD BASE IS NOT LEVEL, INTERNAL DAMS ARE TO BE INSTALLED EVERY 100 YARDS ALONG CONTOUR LINES IN THE COARSE SUBBASE MATERIALS (CRUSHED STONE). A SUBDRAIN SHOULD BE LOCATED IMMEDIATELY UPSTREAM OF INTERNAL DAMS. DAMS ARE TO BE MADE OF OVERLYING FILTER COARSE OR MEDIUM TO FINE SAND EQUIVALENT.
 - RECHARGE BED INSTALLATION
 - UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE INSTALLATION OF PERCOLATION BEDS.
 - PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
 - INSTALL COARSE AGGREGATE (CRUSHED STONE) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL FILTER COARSE (BANK RUN GRAVEL) IN 2-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL CHOKER BASE COURSE (SEE MATERIALS SECTION) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SURFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO LESS THAN 4-INCH IN DEPTH.



- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
 14649 HIGHWAY 41 NORTH
 EVANSVILLE, INDIANA 47725
 1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
 NORTH AMERICAN GREEN (800) 772-2040

NOT TO SCALE

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT

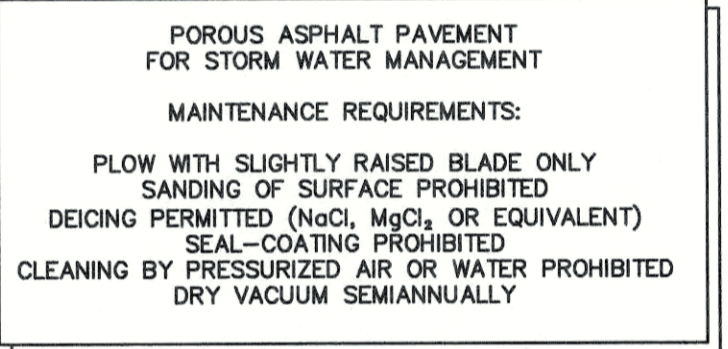
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

- WINTER MAINTENANCE:**
- SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NaCl, MgCl₂, OR EQUIVALENT). REDUCED SALT APPLICATION OF 50% OVER TRADITIONAL PAVEMENT APPLICATION RATES. NONTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRE-TREATED SALT, ARE PREFERRED.
 - FLOWING IS ALLOWED. BLADE SHOULD BE SLIGHTLY RAISED (ALTHOUGH NOT NECESSARY, THIS WILL PREVENT PAVEMENT SCARING). ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED AFTER 2 TO 4 INCHES OF SNOW ACCUMULATION.

- ROUTINE MAINTENANCE:**
- ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
 - THE PAVEMENT SURFACE SHOULD BE VACUUMED 2 TO 4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
 - PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
 - IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
 - DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
 - REPAIRS: POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. CHECK FOR DAMAGE TO POROUS PAVEMENTS FROM NON-DESIGN LOADS. DAMAGED AREAS MAY BE REPAIRED BY USE OF REHEATING WITH INFRARED EQUIPMENT AND RE-ROLLING OF PAVEMENT. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.
 - WRITE AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.
 - A PERMANENT SIGN SHOULD BE ADDED AT THE ENTRANCE AND END OF THE POROUS ASPHALT AREA TO INFORM RESIDENTS AND MAINTENANCE STAFF OF THE SPECIAL NATURE AND PURPOSE OF THE PAVEMENT, AND ITS SPECIAL MAINTENANCE REQUIREMENTS.

MIX SUMMARY

- POROUS ASPHALT PAVEMENT MIX PER THE CURRENT UNH STORM WATER CENTER DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS MANUAL.
- NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA FROM SUCH A COMBINATION. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA WILL BE MADE WITH THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.



TYPICAL POROUS ASPHALT PAVEMENT MAINTENANCE SIGN

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3	7/9/20	NH DES Aot SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

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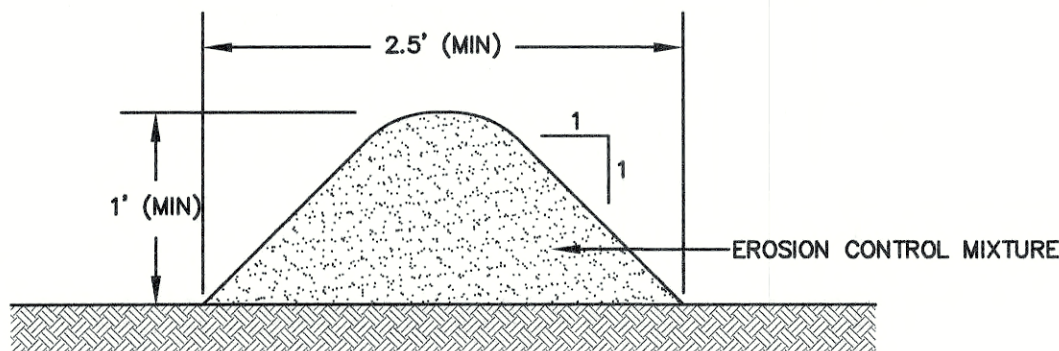
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Plan Name:	DETAIL SHEET
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDER REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

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SHEET 13 OF 18
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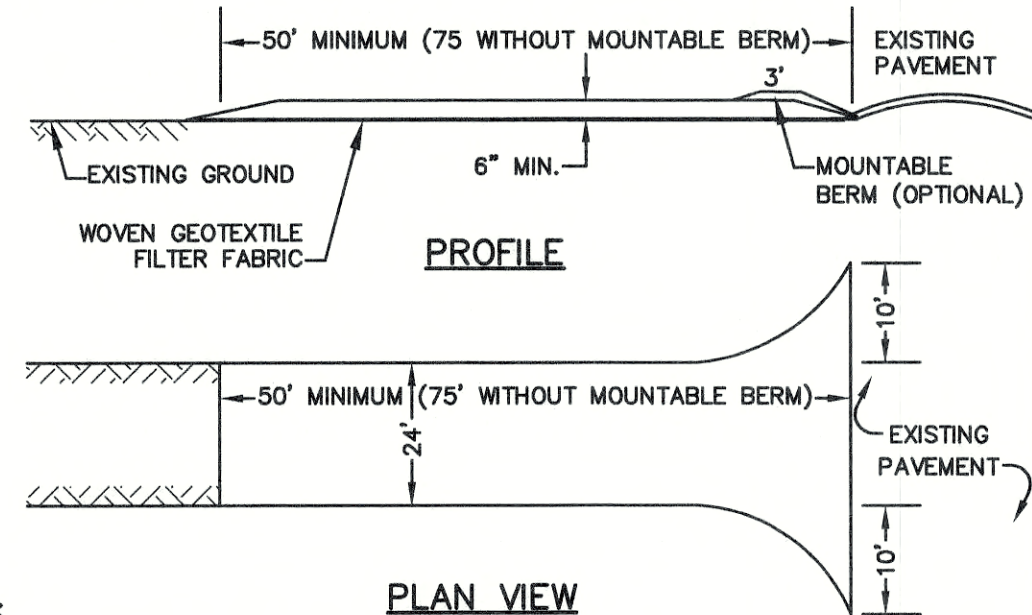


NOTES:

- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - THE pH SHALL BE BETWEEN 5.0 AND 8.0.
- ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
- ON SLOPES LESS THAN 5% OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
- FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC FILTER BERM

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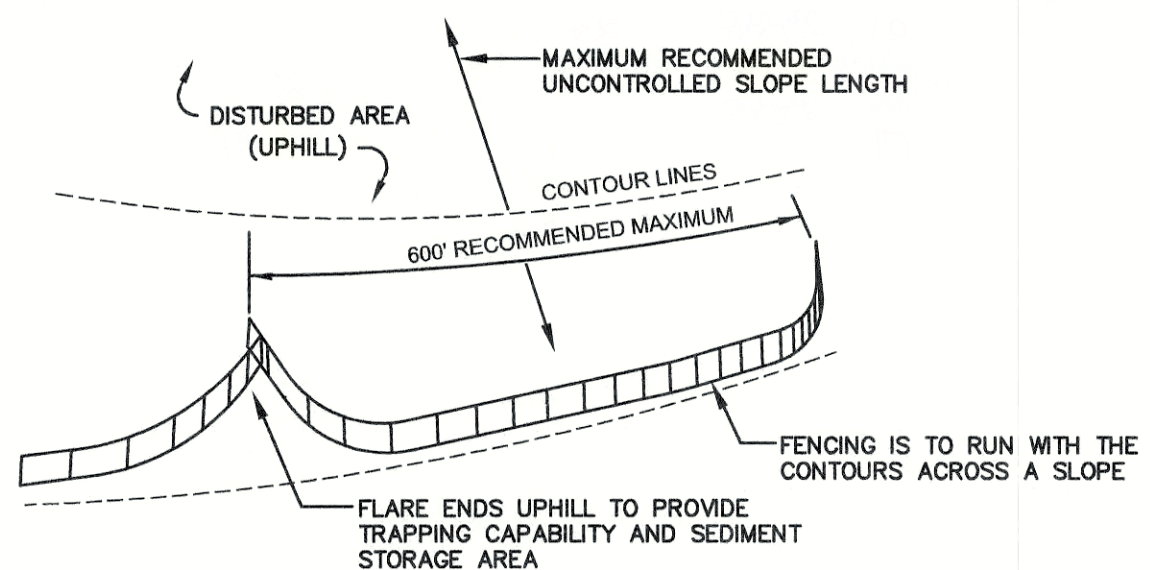


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

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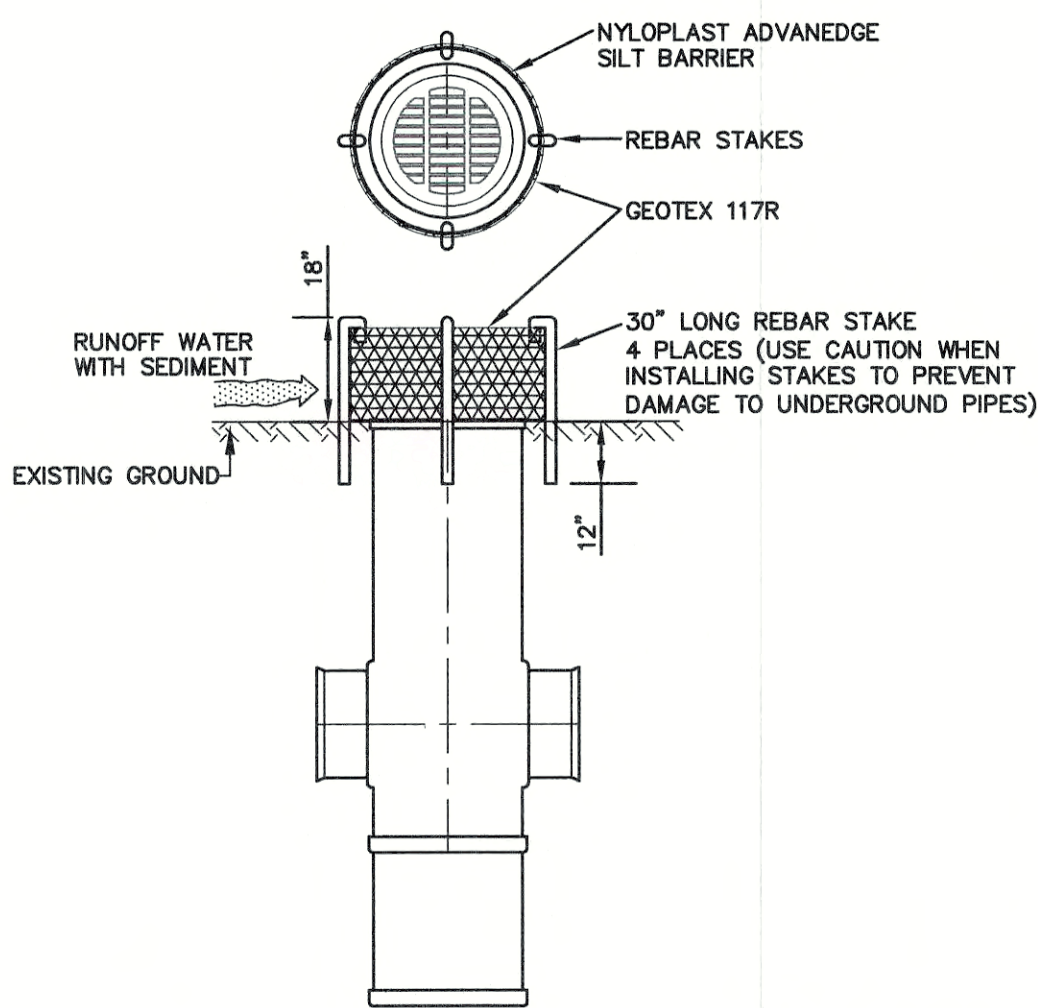
- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

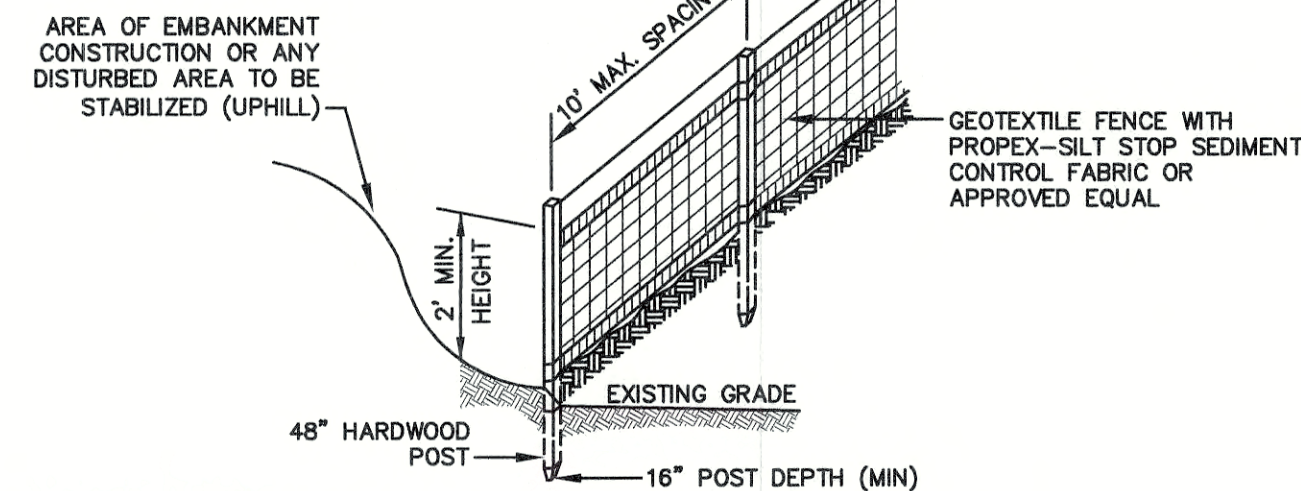
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

"ADVANEDGE" SILT BARRIER

NOT TO SCALE



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CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE "BULGES" DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRD'S FOOT, TREFLOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRD'S FOOT TREFOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

*

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

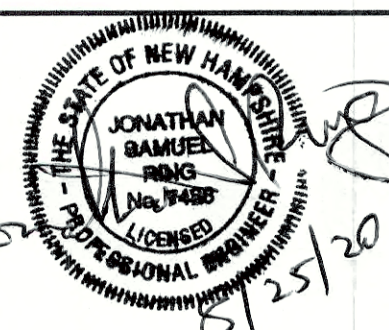
TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF THAT REQUIRED FOR CONSTRUCTION BE EXPOSED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND REVEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE, FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE ALTERATION OF TERRAIN PERMIT ("PERMIT").
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL.
 - THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE ABOVE).
 - PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS.
- PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL LANDSCAPE DRAINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

Design: JSR	Draft: LAZ	Date: 3/18/20
Checked: JSR	Scale: AS NOTED	Project No.: 14101
Drawing Name: 14101-PLAN-PRIMROSE.dwg		
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REV.	DATE	REVISION	BY
4	8/25/20	REVISED PER TOWN COMMENTS	LAZ
3	7/9/20	NH DES AGT SUBMISSION	MJK
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

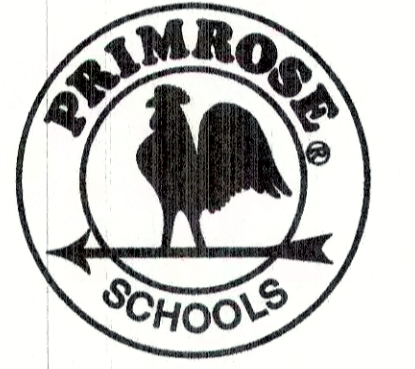
Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No.	E1
SHEET 14 OF 18 JBE PROJECT NO. 14101	

PRIMROSE SCHOOL
 EPPING RD & MCKAY DR
 EXETER, NH 03833



PRIMROSE SCHOOL FRANCHISING COMPANY
 200 WINDY HILL ROAD, SUITE 1000
 ATLANTA, GEORGIA 30339

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No.	Description	Date

Drawn By/Checked By: DSCI/KB
 Project Number: 919179
 For Construction Date: XX-XX-XX
 Bid Date: XX-XX-XX
 Permit Date: XX-XX-XX

EXTERIOR ELEVATIONS

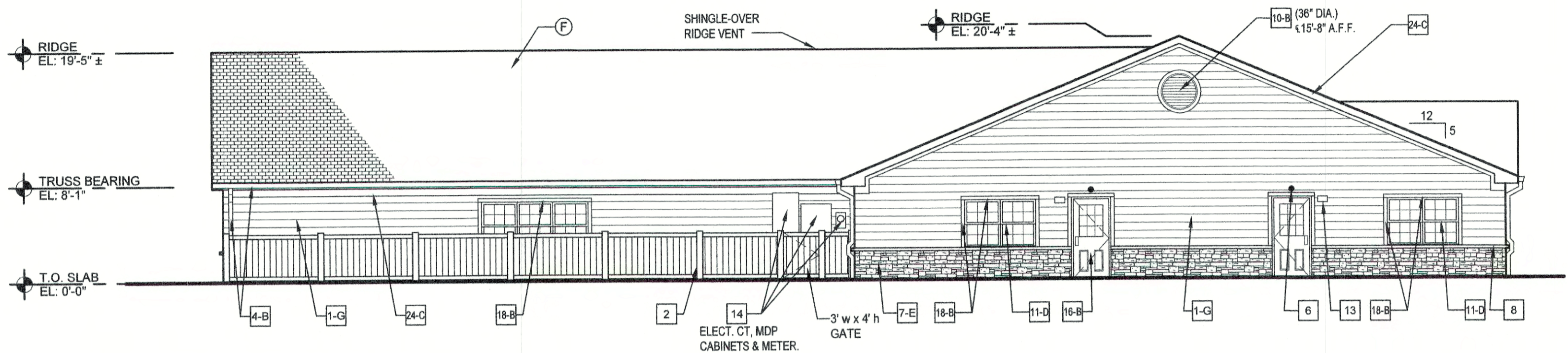
A4.0
 4/21/20

EXTERIOR COLOR SCHEDULE

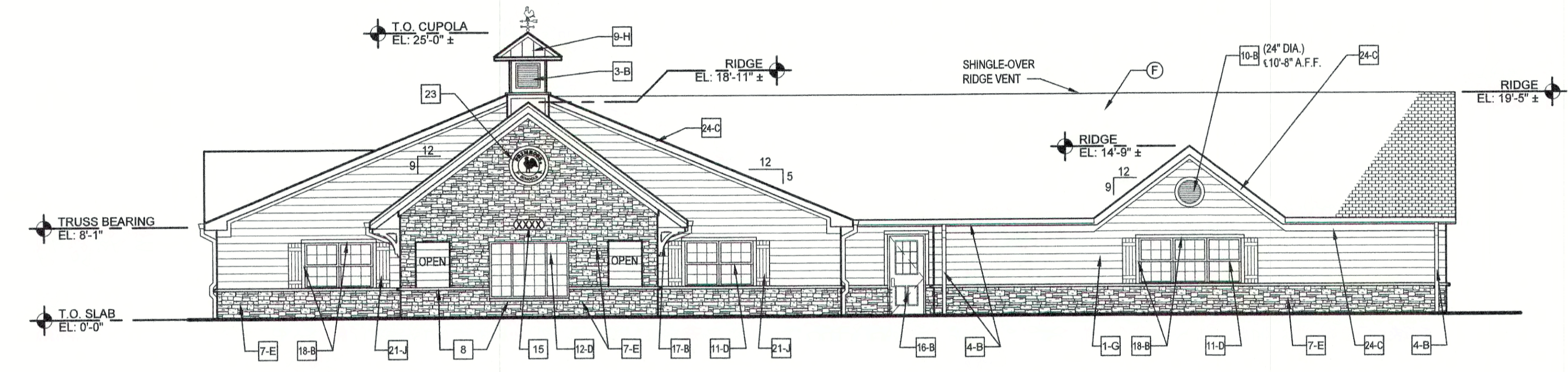
- | | |
|---|--|
| (A) TRASH ENCLOSURE GATES (POST & HINGES) | #814 HC 112 TATE OLIVE (INDUSTRIAL ENAMEL EXTERIOR APPLICATION) |
| (B) EXTERIOR W.D. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS, BRACKETS. | JAMES HARDIE - "MONTEREY TAUPE" SMOOTH FINISH |
| (C) EXTERIOR FASCIA, FRIEZE | JAMES HARDIE - "MONTEREY TAUPE" SMOOTH FINISH |
| (D) WINDOWS | TO MATCH JAMES HARDIE - "MONTEREY TAUPE" |
| (E) STONE | VERSETTA PANELIZED STONE TIGHT CUT - PLUM CREEK |
| (F) FIBERGLASS ASPHALT SHINGLES: | MANUFACTURER: GAF OR (CERTAINTED) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY |
| (G) SIDING: | JAMES HARDIE - "COBBLESTONE" SELECT CEDARMILL |
| (H) STANDING SEAM ROOF: | AEP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE |
| (J) VINYL SHUTTERS | architecturaldepot.com - 14" JOINED SHUTTERS WINSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN |

KEYED NOTES:

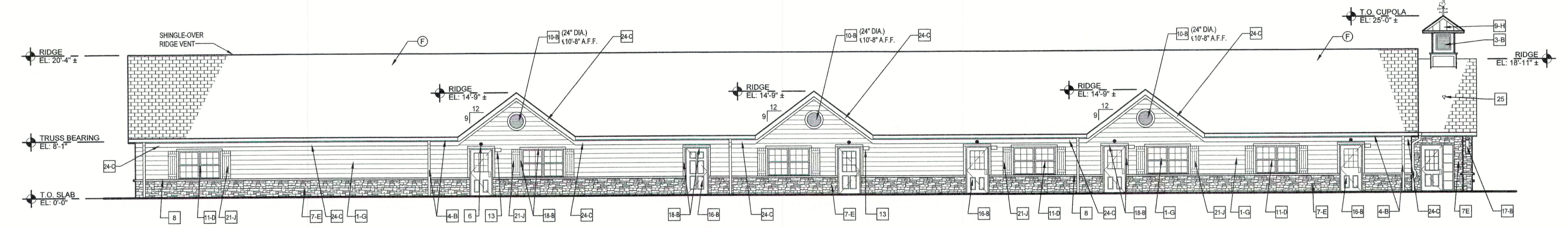
- 1 HARDIE PLANK LAP SIDING
- 2 SOLID VINYL FENCE SCREEN FOR HVAC UNITS. SEE SPECIFICATIONS
- 3 CUPOLA WITH WEATHER VANE. SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
- 4 EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE AND FERRULE AT 36" O.C. OGEE PROFILE. CONNECT 4" DIA. DOWNSPOUTS TO UNDER GROUND STORM SYSTEM.
- 5 NOT USED
- 6 WALL MOUNTED EMERGENCY LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 7 VERSETTA PANELIZED STONE SYSTEM
- 8 VERSETTA WAINSCOT CAP/ SILL. (TAUPE)
- 9 STANDING SEAM ROOF.
- 10 24" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS. SEE 6/A6.2
- 11 VINYL SINGLE HUNG WINDOWS WITH CLEAR GLASS (SEE WINDOW ELEVATIONS SHEET A2.1)
- 12 FIXED WINDOW WITH CLEAR GLASS. (SEE WINDOW ELEVATIONS SHEET A2.1)
- 13 WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. MOUNT 82 1/2" A.F.G. TO CENTER OF FIXTURE
- 14 STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR. PAINT TO MATCH SIDING.
- 15 BEIGE ALUMINUM PLAQUE w/ 6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN.
- 16 H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
- 17 "PYPON" PVC BRACKET, MODEL NO. BKT31X30X5. PAINTED.
- 18 1X4 TRIM BOARD, PAINT
- 19 NOT USED
- 20 1X8 TRIM BOARD, PAINT
- 21 VINYL SHUTTERS
- 22 NOT USED
- 23 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT)
- 24 PREFINISHED FASCIA AND FRIEZE BOARDS
- 25 CUPOLA LIGHT FIXTURE. MOUNT AT MID POINT BETWEEN EAVE & BASE OF CUPOLA. LIGHT CENTERED ON CUPOLA. SEE LIGHT FIXTURE SCHEDULE ON E2.0.



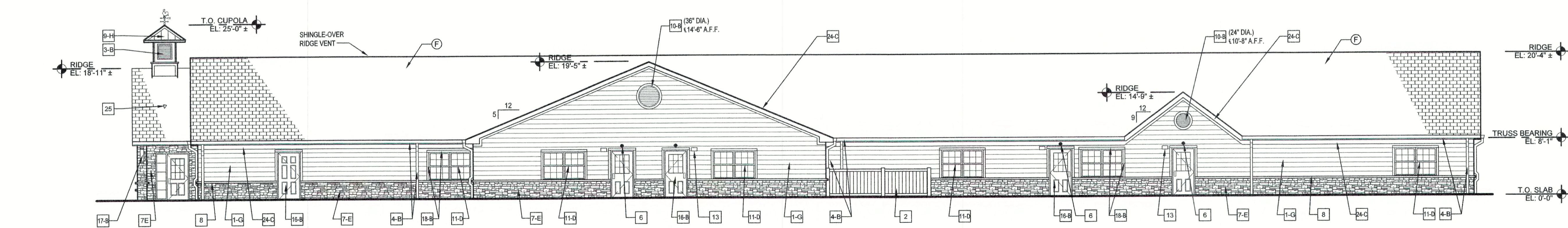
1 SOUTH ELEVATION
 A4.0 SCALE: 1/8" = 1'-0"



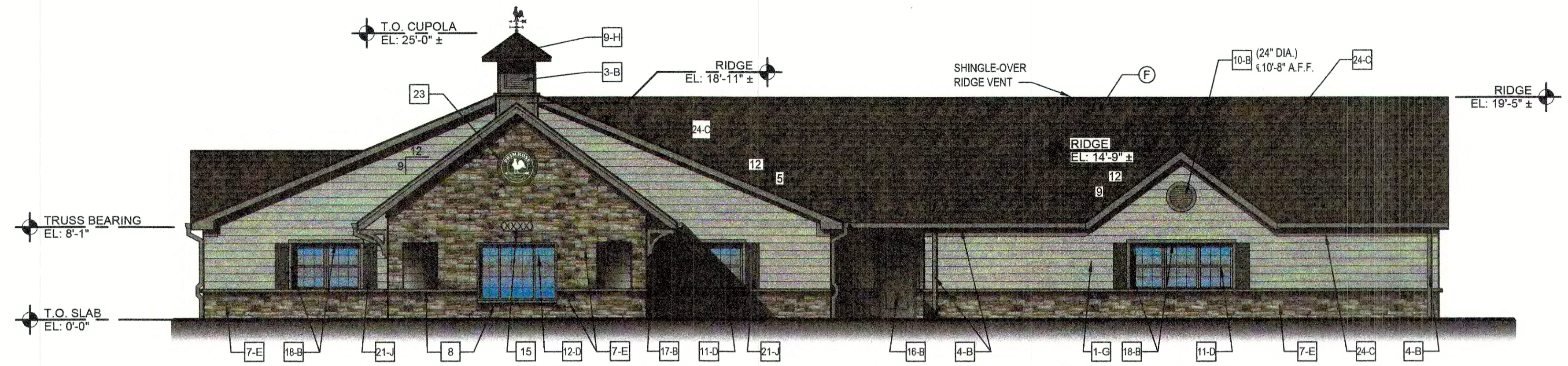
2 NORTH ELEVATION
 A4.0 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
 A4.0 SCALE: 1/8" = 1'-0"



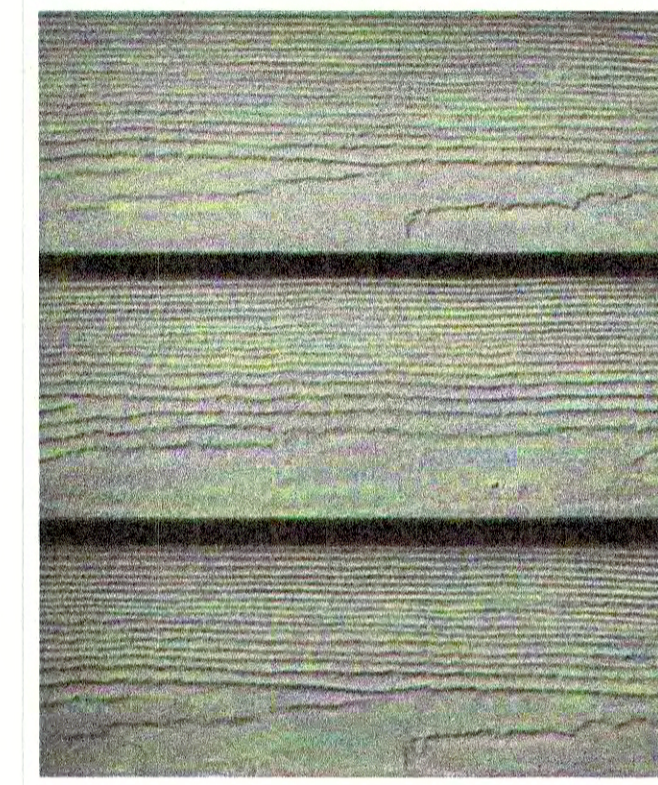
4 WEST ELEVATION
 A4.0 SCALE: 1/8" = 1'-0"



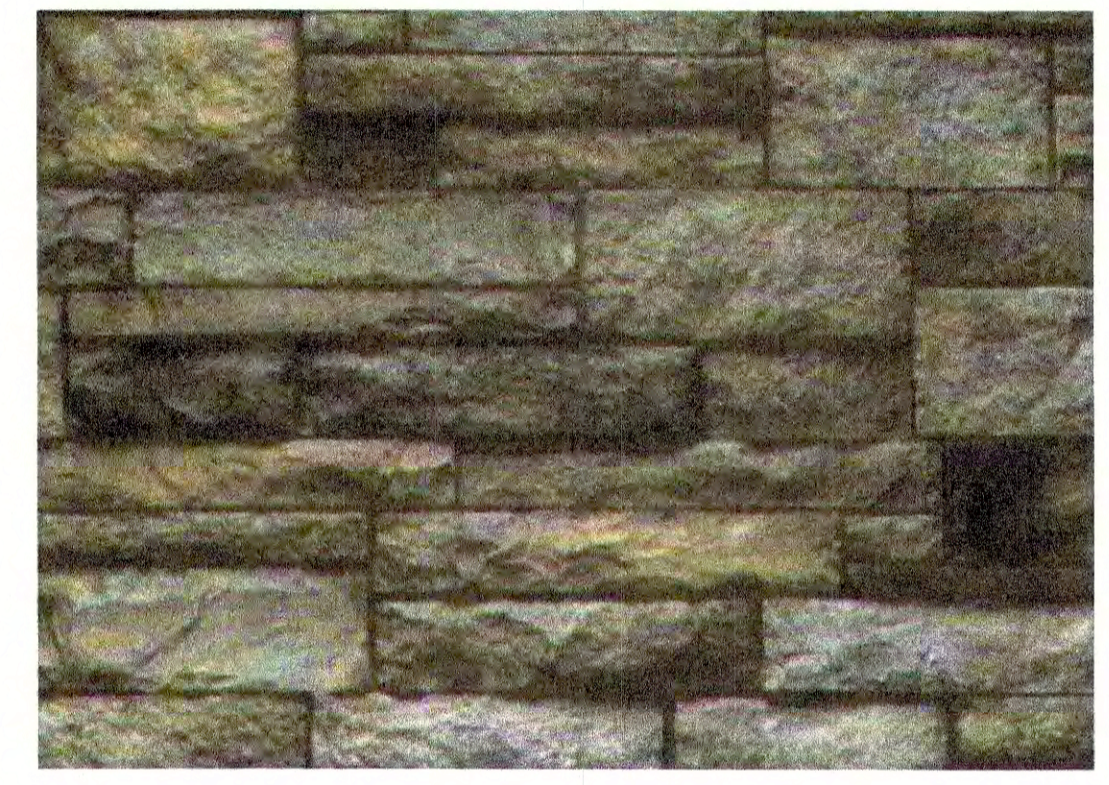
NORTH ELEVATION

KEYED NOTES:

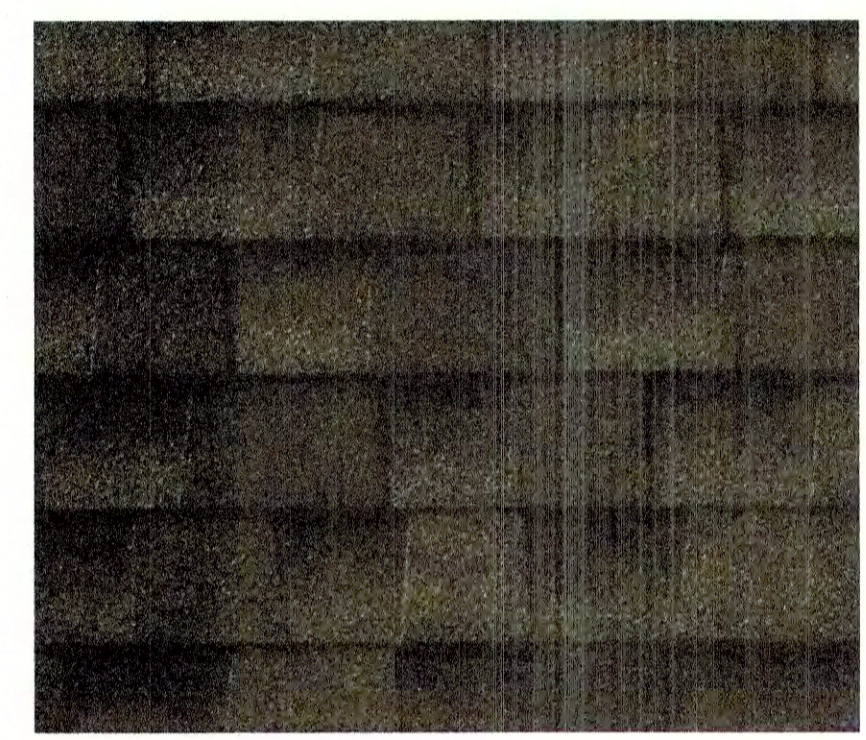
- 1 HARDIE PLANK LAP SIDING
- 2 SOLID VINYL FENCE SCREEN FOR HVAC UNITS, SEE SPECIFICATIONS
- 3 CUPOLA WITH WEATHER VANE, SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
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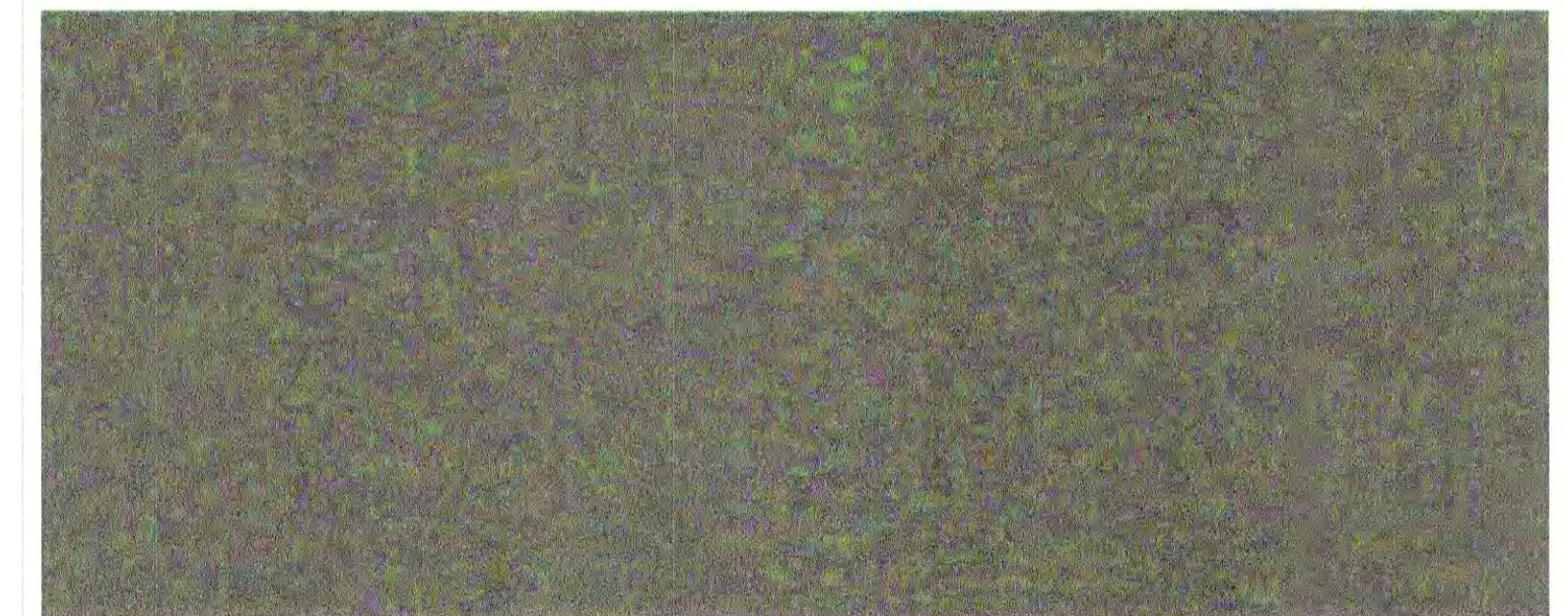
LAP SIDING



STONE



SHINGLES



MONTEREY TAUPE



STANDING SEAM ROOF

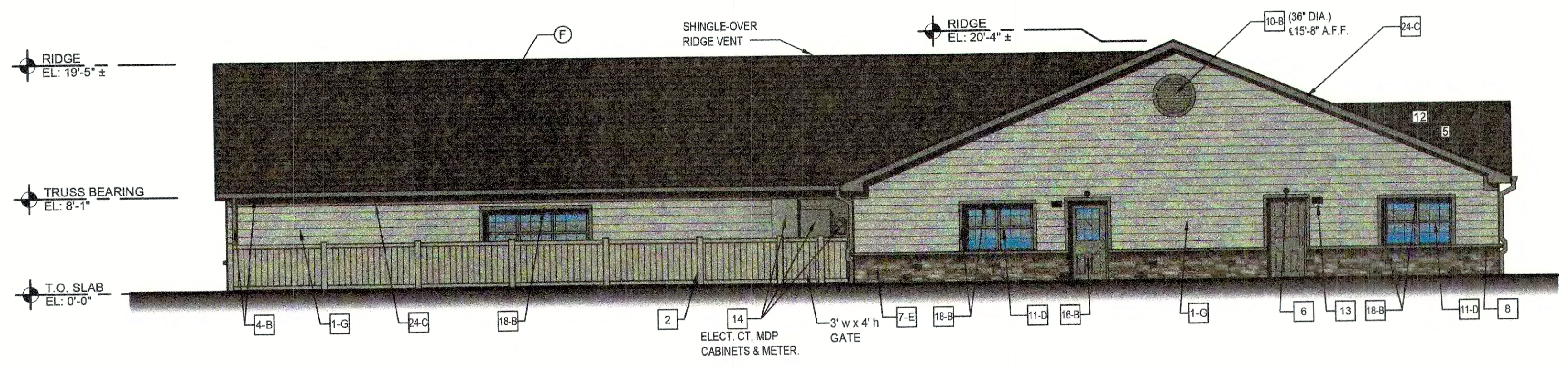
EXTERIOR COLOR SCHEDULE

- | | |
|--|--|
| <ul style="list-style-type: none"> (A) TRASH ENCLOSURE GATES (POST & HINGES) (B) EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS, BRACKETS. (C) EXTERIOR FASCIA, FRIEZE (D) WINDOWS (E) STONE (F) FIBERGLASS ASPHALT SHINGLES: (G) SIDING: (H) STANDING SEAM ROOF: (J) VINYL SHUTTERS | <p>#BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)</p> <p>JAMES HARDIE - "MONTEREY TAUPE" SMOOTH FINISH</p> <p>JAMES HARDIE - "MONTEREY TAUPE" SMOOTH FINISH</p> <p>TO MATCH JAMES HARDIE - "MONTEREY TAUPE"</p> <p>VERSETTA PANELIZED STONE TIGHT CUT - PLUM CREEK</p> <p>MANUFACTURER: GAF OR (CERTAINTED) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY</p> <p>JAMES HARDIE - "COBBLESTONE" SELECT CEDARMILL</p> <p>AEP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE</p> <p>architecturaldepot.com - 14" JOINED SHUTTERS WINSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN</p> |
|--|--|

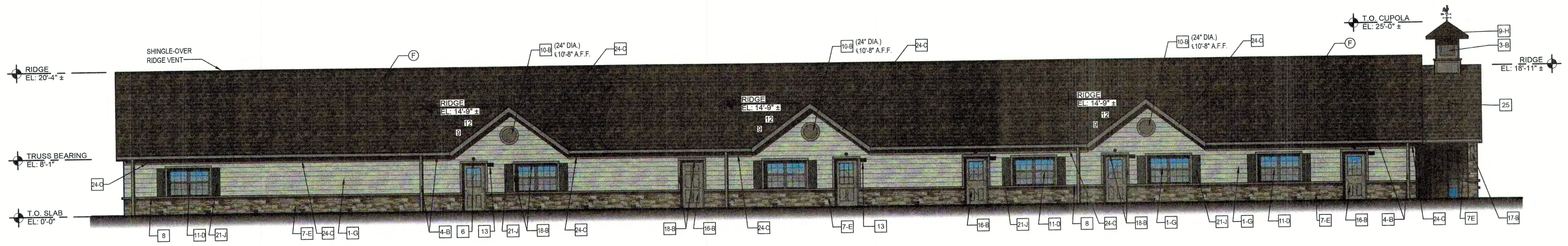


PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
 FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

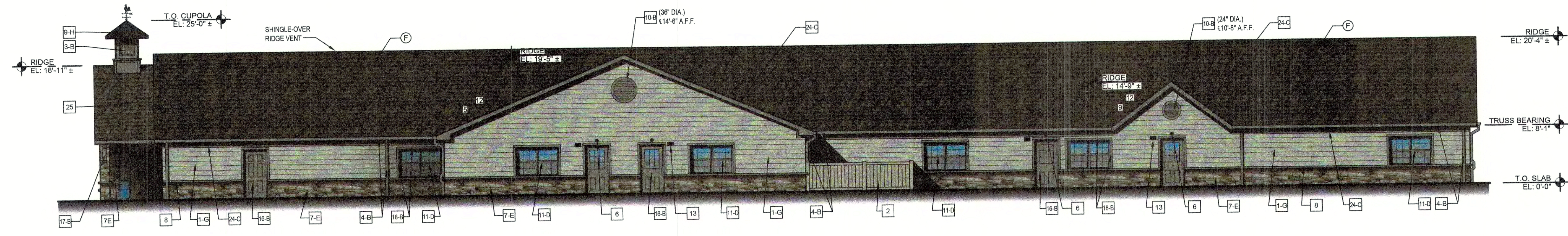
MATERIAL BOARD AND COLORED ELEVATION
PRIMROSE SCHOOL
 EPPING ROAD & MCKAY DRIVE
 EXETER, NH 03833
 4/21/20



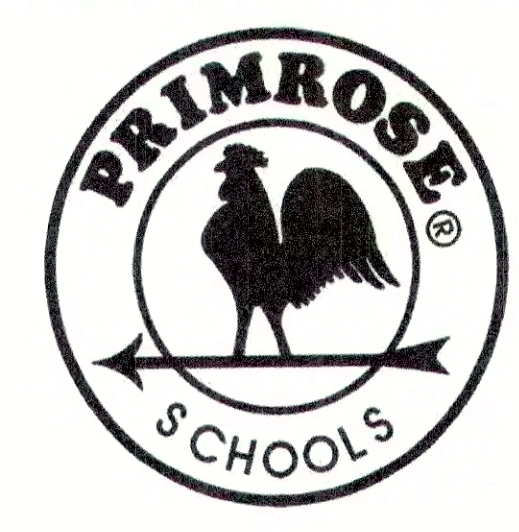
SOUTH ELEVATION



EAST ELEVATION

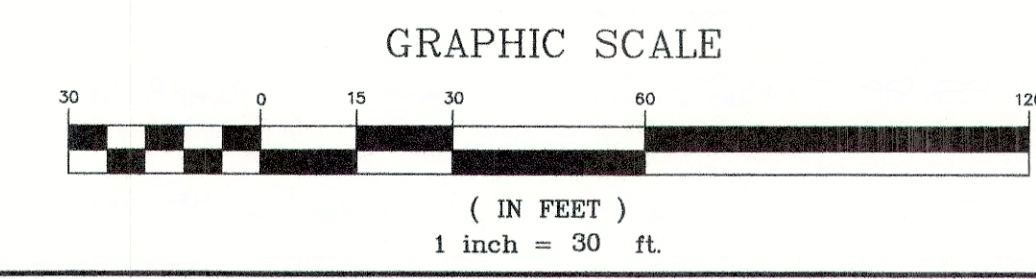
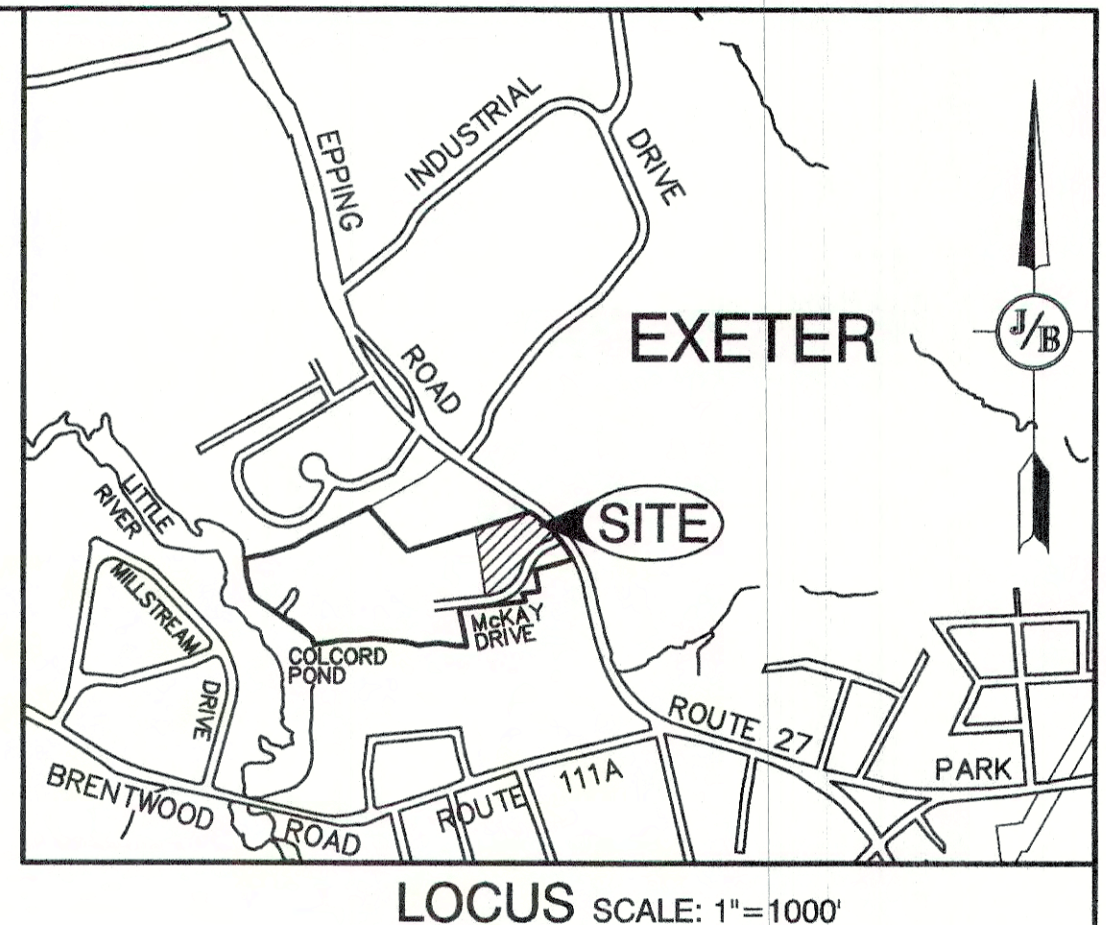
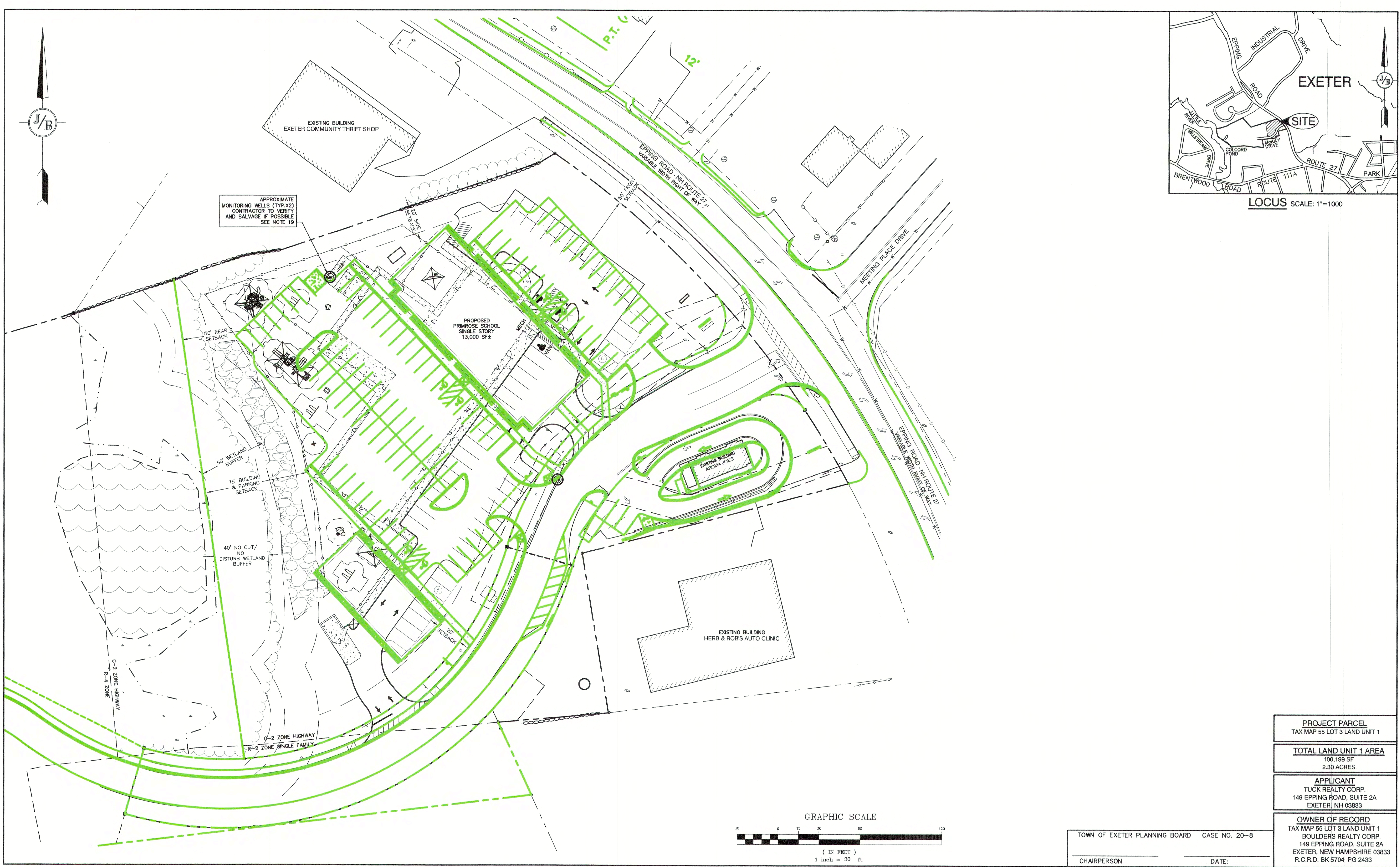


WEST ELEVATION



PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

COLORED ELEVATIONS
PRIMROSE SCHOOL
 EPPING ROAD & MCKAY DRIVE
 EXETER, NH 03833
 4/21/20



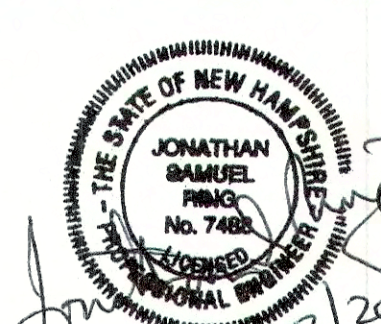
PROJECT PARCEL TAX MAP 55 LOT 3 LAND UNIT 1
TOTAL LAND UNIT 1 AREA 100,199 SF 2.30 ACRES
APPLICANT TUCK REALTY CORP. 149 EPPING ROAD, SUITE 2A EXETER, NH 03833
OWNER OF RECORD TAX MAP 55 LOT 3 LAND UNIT 1 BOULDERS REALTY CORP. 149 EPPING ROAD, SUITE 2A EXETER, NEW HAMPSHIRE 03833 R.C.R.D. BK 5704 PG 2433

TOWN OF EXETER PLANNING BOARD CASE NO. 20-8

CHAIRPERSON _____ DATE: _____

Design: JSR Draft: LAZ Date: 3/18/20
Checked: JSR Scale: 1"=30' Project No.: 14101
Drawing Name: 14101-PLAN-PRIMROSE.dwg

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REV.	DATE	REVISION	BY
2	6/23/20	REVISED PER TRC COMMENTS	LAZ
1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

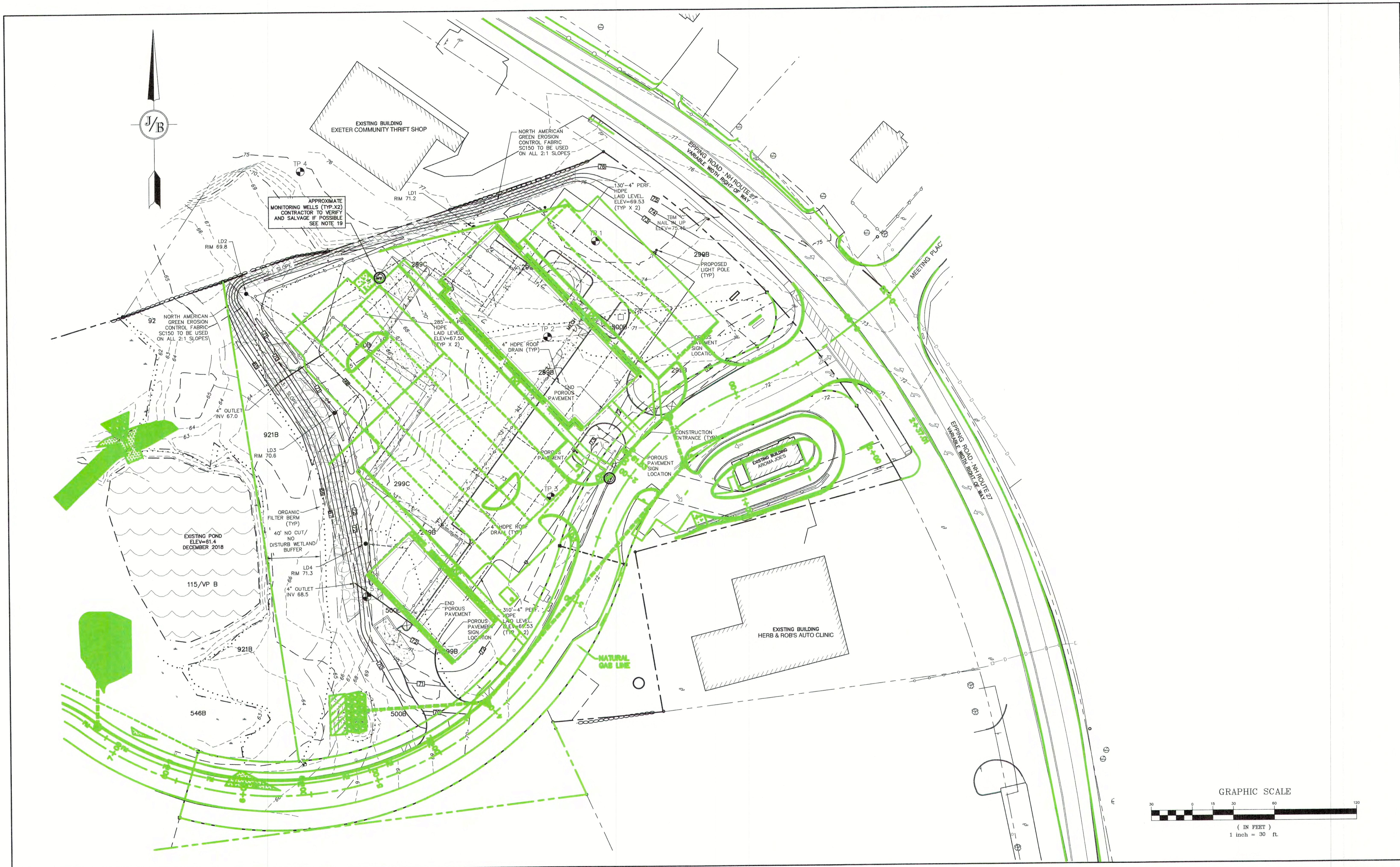
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	COMPOSITE SITE PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	TUCK REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

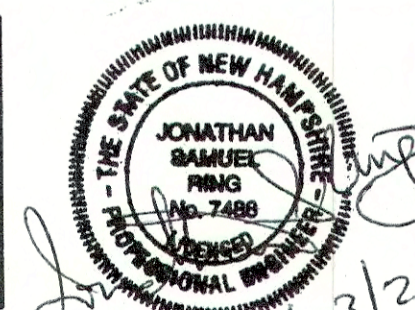
DRAWING No. **C2**

SHEET 3 OF 18
JBE PROJECT NO. 14101



Design: JSR Draft: LAZ Date: 3/18/20
 Checked: JSR Scale: 1"=30' Project No.: 14101
 Drawing Name: 14101-PLAN-PRIMROSE.dwg

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REV.	DATE	REVISION	BY
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1	5/5/20	ISSUED TO TOWN PLANNER	LAZ
0	4/21/20	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. 603-772-4746
 PO Box 219 FAX: 603-772-0227
 Stratham, NH 03885 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	COMPOSITE GRADING AND DRAINAGE PLAN
Project:	PRIMROSE SCHOOL 5 MCKAY DRIVE, EXETER, NEW HAMPSHIRE
Applicant:	TUCK REALTY CORP. 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833

DRAWING No.
C3
 SHEET 4 OF 18
 JBE PROJECT NO. 14101