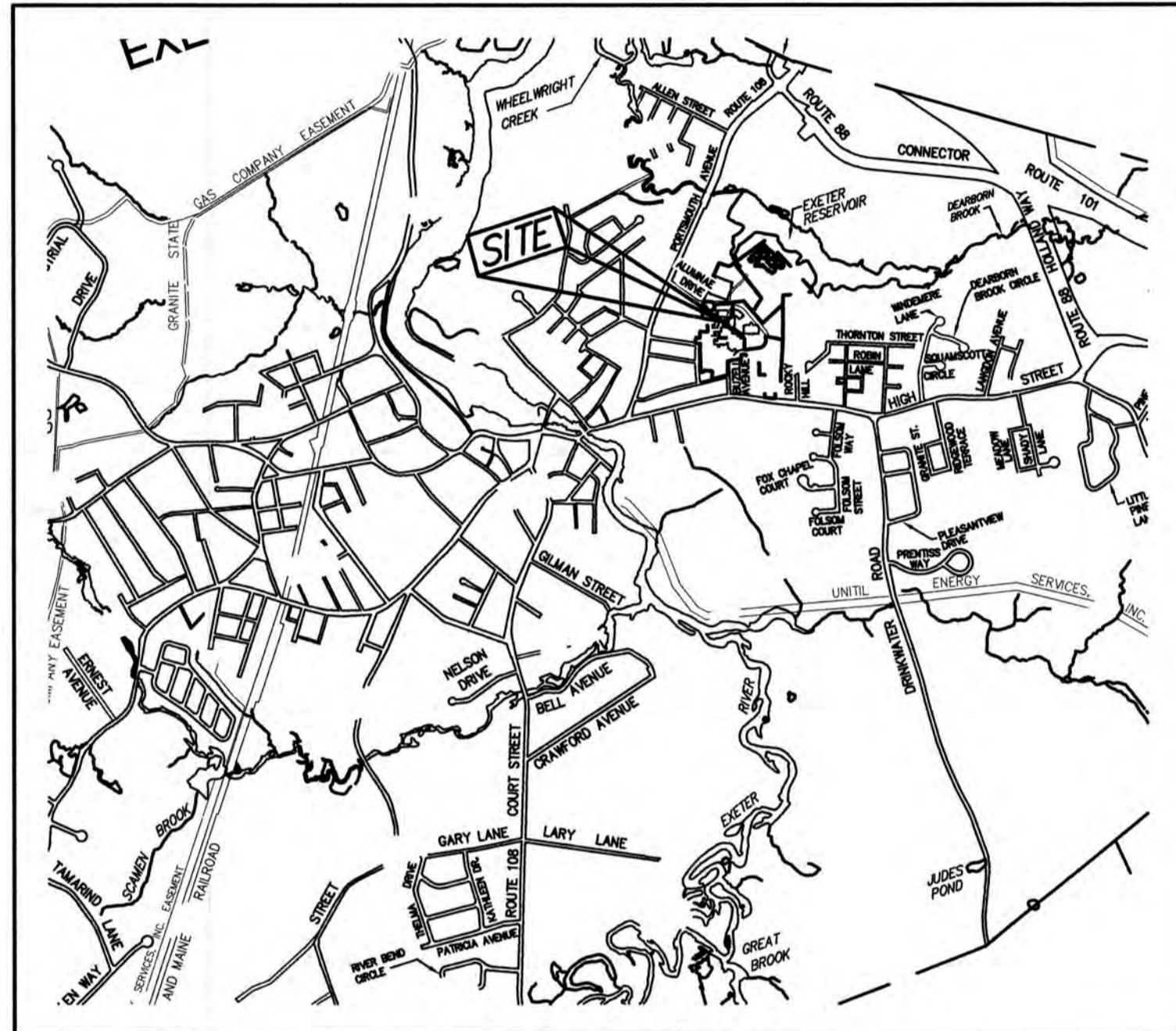


# RENOVATION AND ADDITION "EXETER MEDICAL ONCOLOGY" TAX MAP 65, LOT 131 5 ALUMNI DRIVE, EXETER, NH

**SHEET INDEX**

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C1A	DEMOLITION PLAN
C2	SITE & UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
D1-D2	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
L0.0 - L5.3	LANDSCAPE PLANS ARCHITECTURAL RENDERING



**LOCUS MAP**  
SCALE 1" = 2000'

**PERMITS**

TYPE OF PERMIT	STATUS
<b>EXETER SITE PLAN APPROVAL:</b> TOWN OF EXETER PLANNING BOARD 10 FRONT STREET EXETER, NEW HAMPSHIRE 03833 (603) 773-6112 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED:  PERMIT NO.  DATED:  EXPIRATION:
<b>NHDES ALTERATION OF TERRAIN PERMIT:</b> NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED:  PERMIT NO.  DATED:  EXPIRATION:
<b>USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:</b> EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	

**APPLICANT**  
EXETER HOSPITAL, INC.  
5 ALUMNI DRIVE, SUITE 205  
EXETER, NH 03833  
CONTACT: PHILIP CHAPUT

**OWNER OF RECORD**  
EXETER HOSPITAL, INC.  
5 ALUMNI DRIVE, SUITE 205  
EXETER, NH 03833

**WATER AND SEWER**  
EXETER DEPARTMENT OF PUBLIC WORKS  
13 NEWFIELDS ROAD  
EXETER, NH 03833  
(603) 773-6157

**TELEPHONE**  
CONSOLIDATED COMMUNICATIONS  
100 TRI CITY ROAD  
SOMERWORTH, NH 03878  
ATTN: DAVE KESTNER  
(603) 743-1114

**CIVIL ENGINEER / SURVEYOR**  
JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: BARRY GIER  
EMAIL: BGIER@JONESANDBEACH.COM

**LANDSCAPE ARCHITECT**  
HALVORSON DESIGN  
25 KINGSTON STREET  
BOSTON, MA 02111  
(617) 536-0380  
CONTACT: ROBERT UHLIG  
EMAIL: BOBU@HALVORSONDESIGN.COM

**ELECTRIC**  
EVERSOURCE  
740 N COMMERCIAL ST  
PO BOX 330  
MANCHESTER, NH 03105-0330  
(800) 662-7764

**CABLE TV**  
COMCAST COMMUNICATION CORPORATION  
334-B CALEF HIGHWAY  
EPPING, NH 03042-2325  
(603) 679-5695

**ARCHITECT**  
SMITHGROUP  
100 HIGH STREET  
SUITE 1800  
BOSTON, MA 02110  
(617) 502-3562  
CONTACT: CHRISTINE RANCOURT  
EMAIL: CHRISTINE.RANCOURT@SMITHGROUP.COM

**ELECTRIC**  
UNITIL NEW HAMPSHIRE  
6 LIBERTY LANE WEST  
HAMPTON, NH 03842  
(603) 772-0775

**PROJECT PARCEL**  
TOWN OF EXETER  
TAX MAP 65, LOT 131

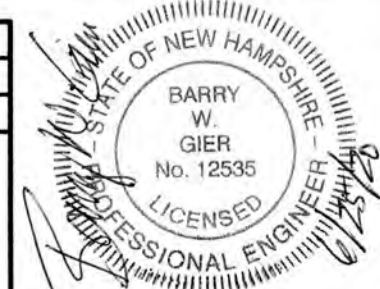
**APPLICANT**  
EXETER HOSPITAL  
5 ALUMNI DRIVE  
EXETER, NH

APPROVED - EXETER, NH  
PLANNING BOARD

DATE: \_\_\_\_\_

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Design: JR	Draft: GDR	Date: 5/6/2020
Checked: BWG	Scale: AS NOTED	Project No.: 19139
Drawing Name: 19139-PLAN.dwg		
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REV.	DATE	REVISION	BY
2	06/25/20	DETAIL REVISIONS	BWG
1	06/09/20	SCALE RESOLUTION	BWG
0	05/22/20	DESIGN DEVELOPMENT PLAN SET	BWG

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>COVER SHEET</b>
Project:	<b>EXETER MEDICAL ONCOLOGY 5 ALUMNI DRIVE, EXETER, NH</b>
Owner of Record:	EXETER HOSPITAL 5 ALUMNI DRIVE, EXETER, NH

DRAWING No.	<b>CS</b>
SHEET 1 OF 21 JBE PROJECT NO. 19139	

EXETER MEDICAL ONCOLOGY REVISION 2 - 05-22-20 JBE # 19139

**GENERAL LEGEND**

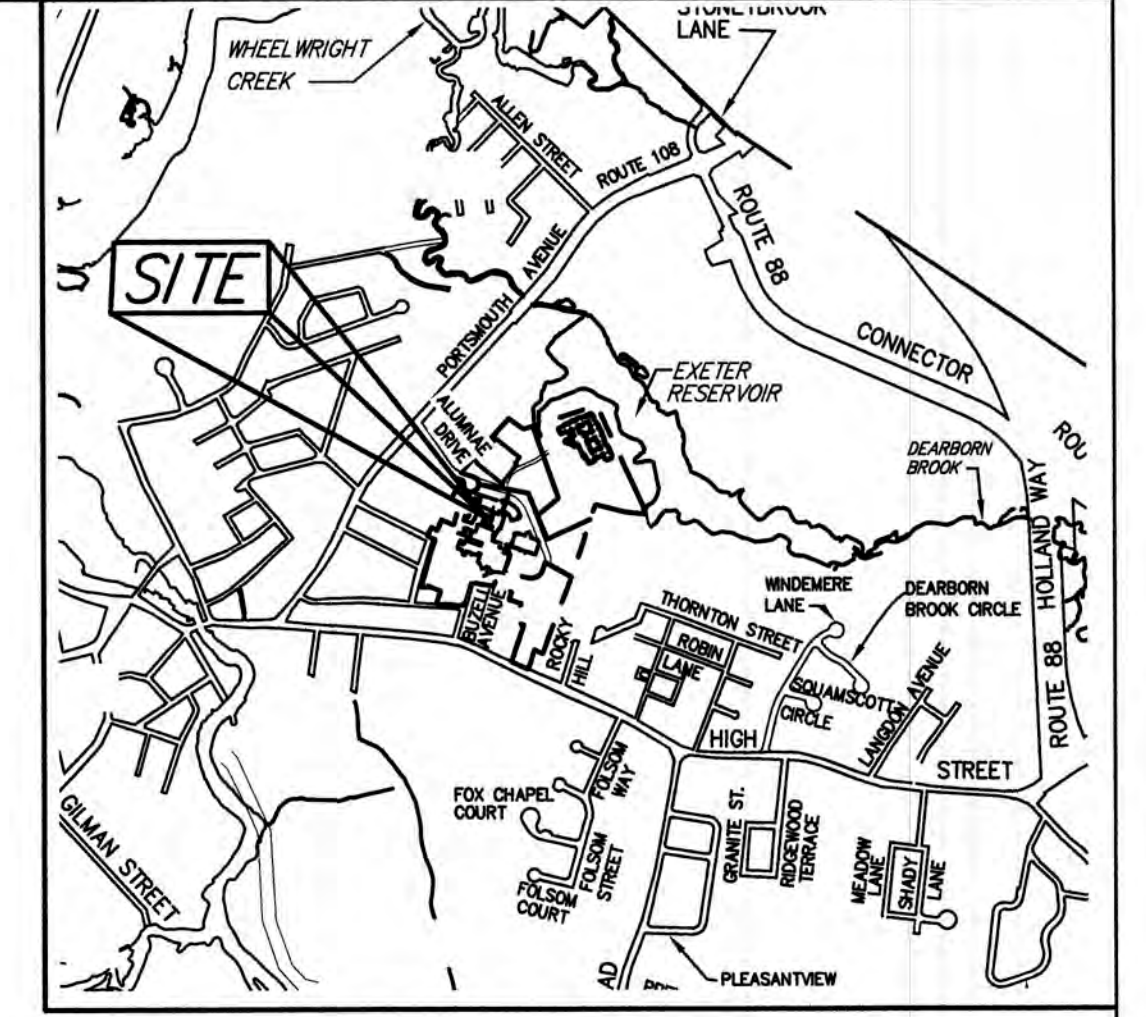
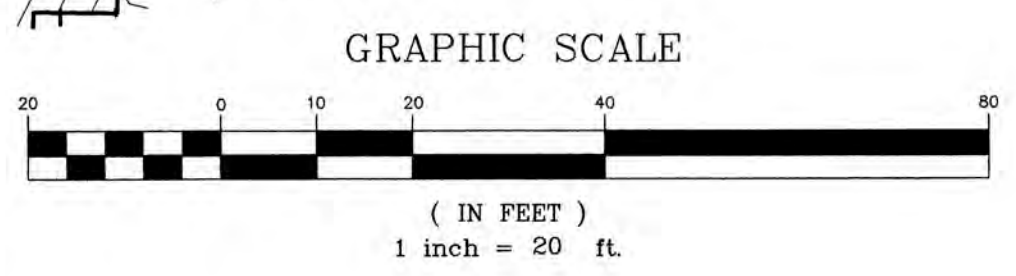
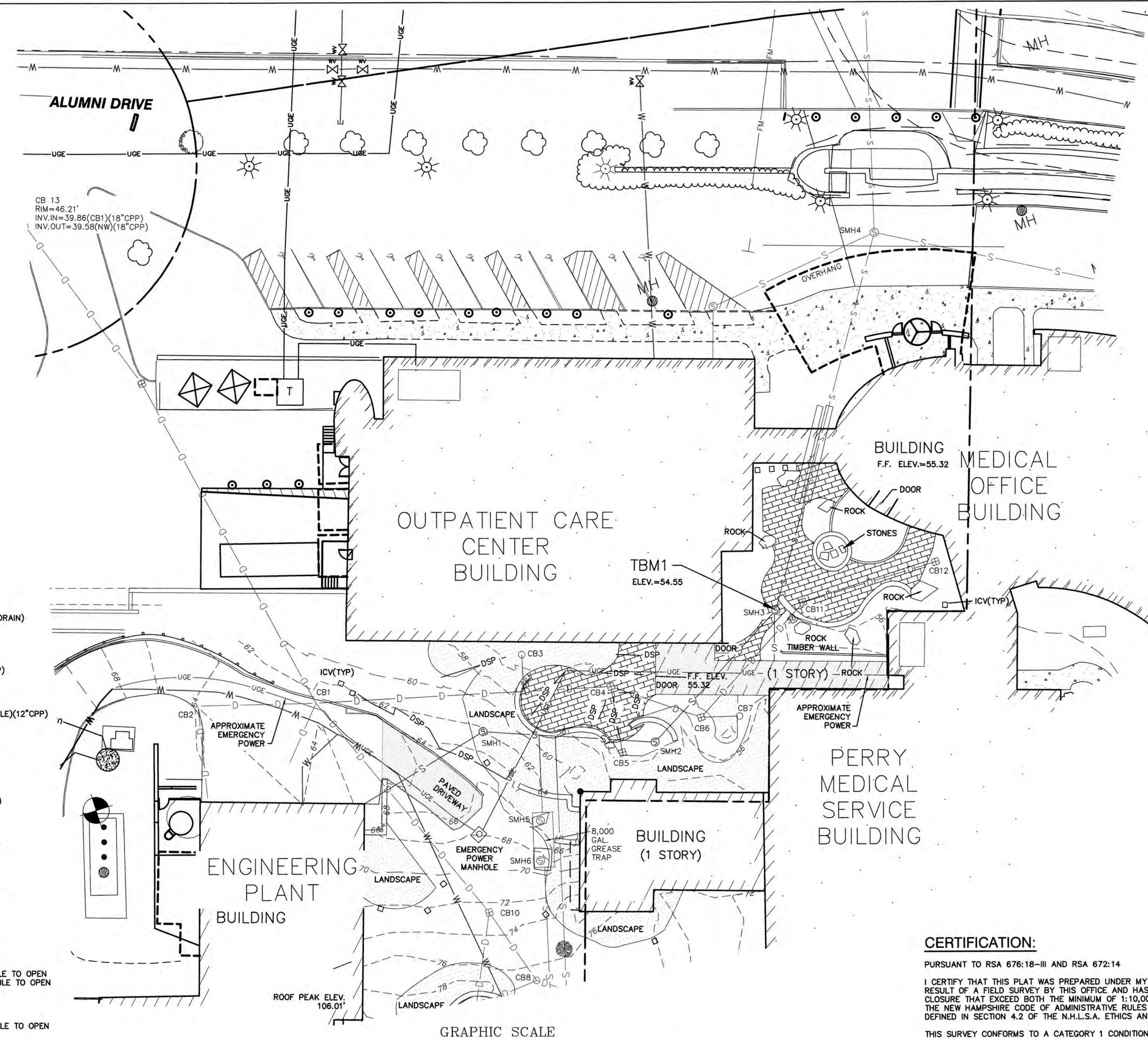
EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	STONEWALL
---	ZONELINE
---	EASEMENT
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
D	DRAINAGE LINE
S	SEWER LINE
G	GAS LINE
W	WATER LINE
OHE	OVERHEAD ELECTRIC
UGE	UNDERGROUND ELECTRIC
---	GUARDRAIL
---	THRUST BLOCK
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	IRON ROD/DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	DOUBLE POST SIGN
---	SINGLE POST SIGN
---	WELL
---	TREES AND BUSHES
---	UTILITY POLE
---	LIGHT POLES
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	HYDRANT
---	WATER GATE
---	WATER SHUT OFF
---	SINGLE GRATE CATCH BASIN
---	DIG SAFE PINK
---	IRRIGATION CONTROL VALVE
---	MANHOLE

**SEWER INVERTS**

SMH1 RIM=52.01' INV.IN=48.95'(8" CPP)(SW) INV.OUT=48.83'(8" CPP)(SMH2)
SMH2 RIM=55.26' INV.IN=48.47'(SMH1)(8" CPP) INV.OUT=48.29'(SMH3)(8" CPP)
SMH3 RIM=54.57' INV.IN=47.77'(SMH2)(8" CPP) INV.OUT=47.72'(SMH4)(8" CPP)
SMH4 RIM=54.74' INV.IN=34.85'(SMH3)(8" CPP) INV.IN=34.83'(SMH EASTERLY)(8" CPP) INV.IN=34.88'(SMH WESTERLY)(8" CPP) INV.OUT=34.77'(SMH NORTHERLY)(8" CPP)
SMH5 RIM=65.21'
SMH6 RIM=68.88'

**DRAINAGE INVERTS**

CB1 RIM=62.94' INV.IN=47.44'(15" CPP)(CB4) INV.IN=56.34'(12" CPP)(CB2) INV.IN=56.94'(15" CPP)(CB10) INV.IN=60.54'(4" PVC)(ROOF DRAIN) INV.OUT=42.94'(18" CPP)(CB13)
CB2 RIM=63.89' INV.OUT=59.59'(CB1)(12" CPP) ELEV.=57.79' TO SAND
CB3 RIM=54.72' INV.OUT=53.12'(NOT OBTAINABLE)(12" CPP)
CB4 RIM=55.20' INV.IN=50.95'(CB5)(12" CPP) INV.IN=50.65'(CB6)(12" CPP) INV.OUT=48.42'(CB1)(12" CPP)
CB5 RIM=55.20' INV.OUT=50.95'(CB4)(12" CPP)
CB6 RIM=54.65' INV.IN=49.68'(CB7)(6" CPP) INV.IN=49.23'(CB11)(12" CPP) INV.OUT=48.85'(CB4)(12" CPP)
CB7 RIM=55.83' INV.OUT=53.29'(CB6)(6" PVC)
CB10 RIM=72.58' INV.IN=63.98'(SW)(12" CPP) INV.IN=62.27'(SE)(12" CPP) INV.OUT=62.13'(CB1)(15" CPP)
CB 11 RIM=54.39 INV.IN=(CB12)(12" CPP) UNABLE TO OPEN INV.OUT=(CB6)(12" CPP) UNABLE TO OPEN
CB 12 RIM=54.66 INV.OUT=(CB11)(12" CPP) UNABLE TO OPEN

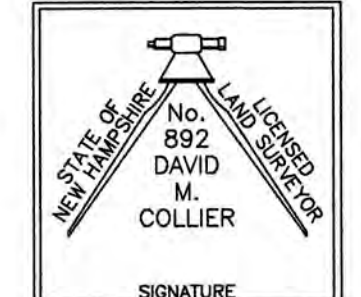


**NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF A PORTION OF THE EXETER HOSPITAL FOR A FUTURE BUILDING OR AN ADDITION.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE FEDERALLY DESIGNATED 100-YEAR FLOOD HAZARD ZONE, REFERENCE FEMA COMMUNITY PANEL NO. 3301500408E, DATED MAY 17, 2005.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ADJUTING OWNERS ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSORS OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- VERTICAL DATUM: NGVD 29. HORIZONTAL DATUM: STATE PLAIN COORDINATES.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).

**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14  
 I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.  
 THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.  
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892 DATE: \_\_\_\_\_  
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.

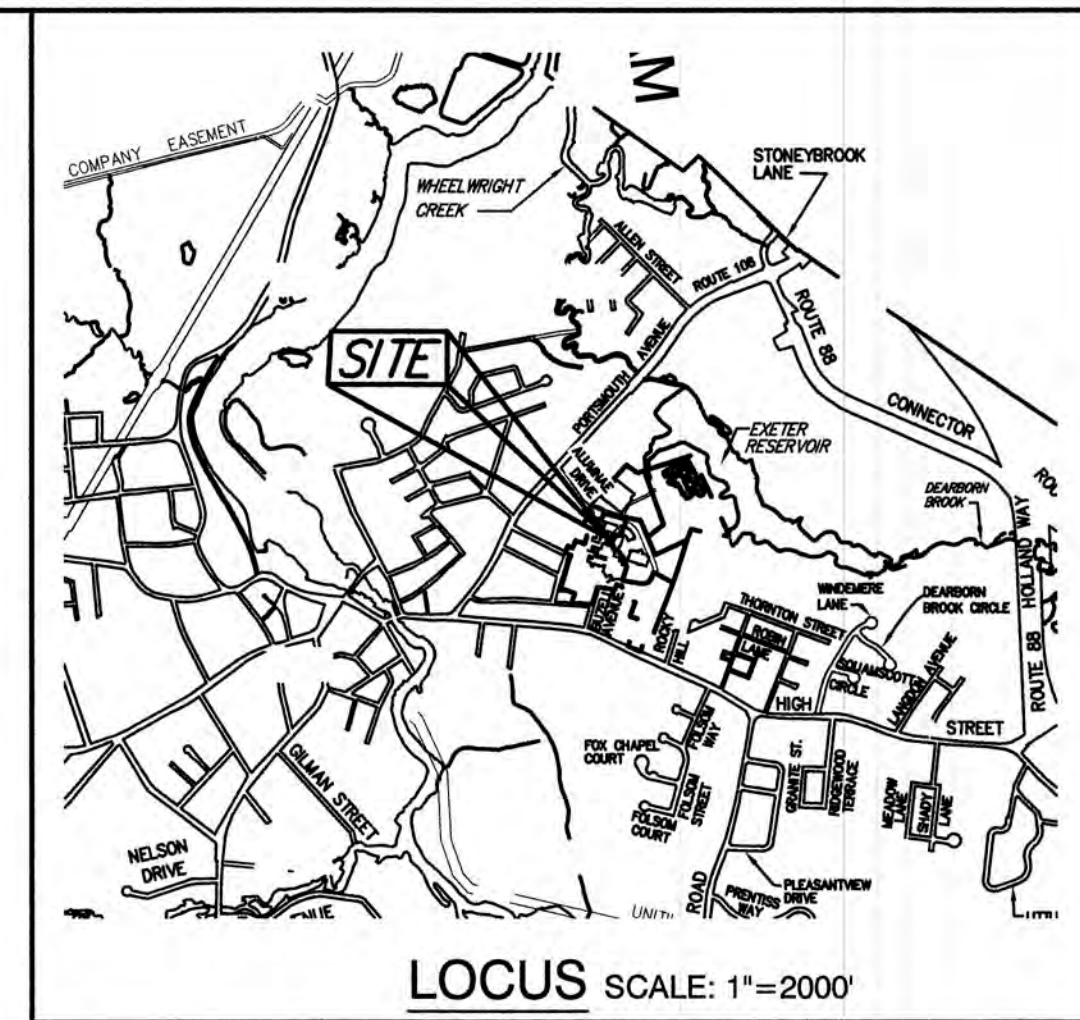
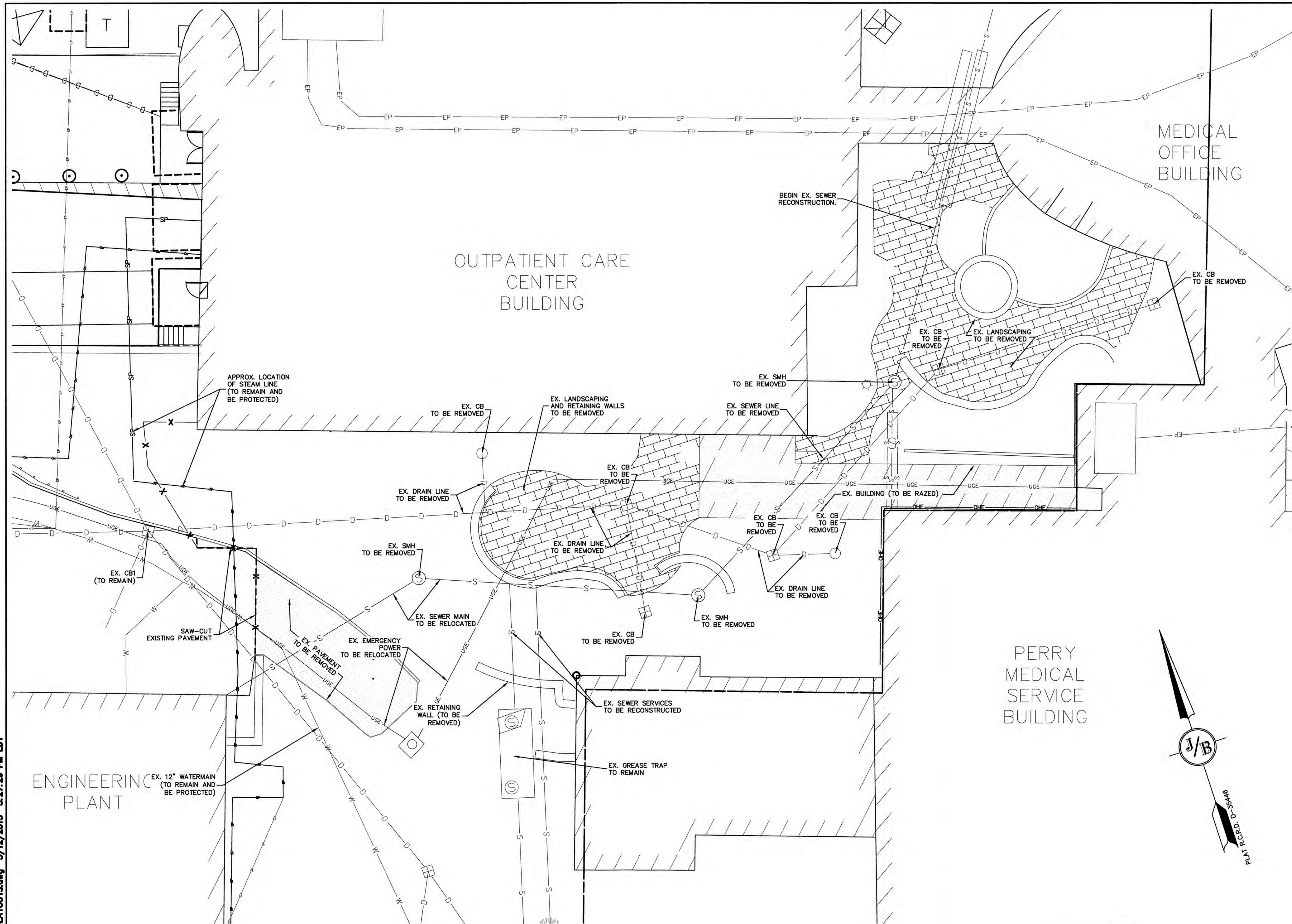
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Checked: DMC	Scale: 1"=20'	Project No.: 19139
Drawing Name: 20500-EX-CONDITIONS		
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REV.	DATE	REVISION	BY
0	05/22/20	DESIGN DEVELOPMENT PLAN SET	BWG

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

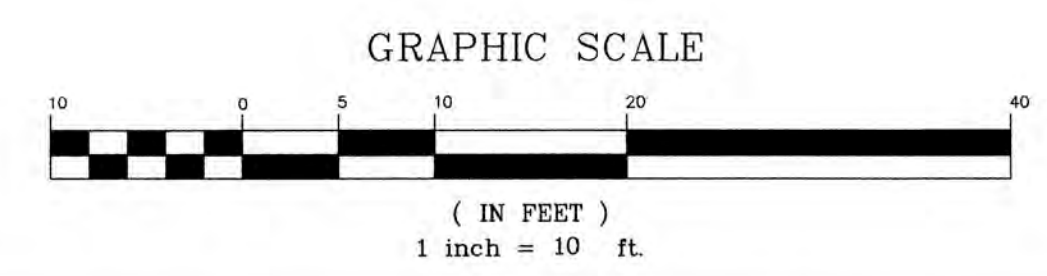
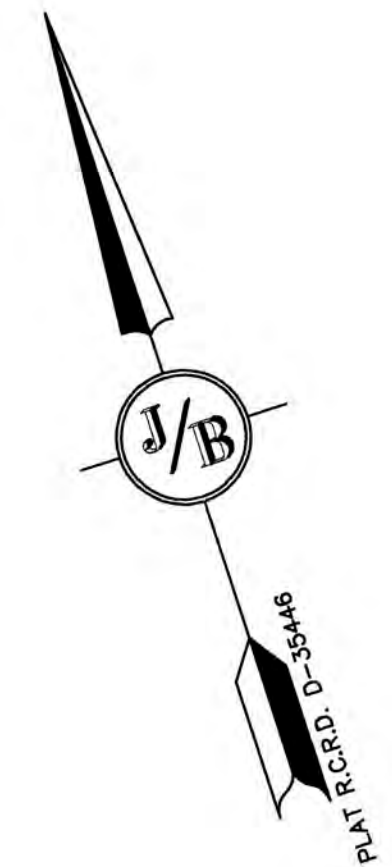
Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>EXETER HOSPITAL 5 ALUMNI DRIVE SUITE 205, EXETER, NH 03883</b>
Owner of Record:	<b>EXETER HOSPITAL INC 5 ALUMNI DRIVE SUITE 205, EXETER, NEW HAMPSHIRE</b>

DRAWING No.  
**C1**  
 SHEET 2 OF 8  
 JBE PROJECT NO. 19139



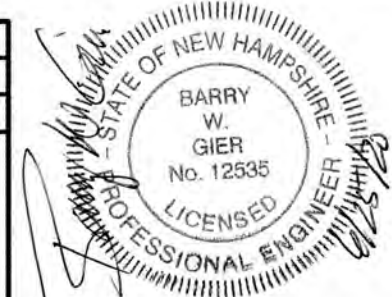
**DEMOLITION NOTES:**

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. NO BURNING ON-SITE SHALL BE ALLOWED.
3. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
4. ALL EXISTING UTILITIES SHALL BE TERMINATED AS SHOWN, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
5. SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
6. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
7. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.
8. UNSUITABLE SOILS AND DEMOLITION DEBRIS MUST BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER MANNER.
9. CONTRACTOR SHALL LOCATE AND MARK EXISTING WATER LINES AND UNDERGROUND ELECTRIC/TELECOM WITH STAKES. STAKES SHALL REMAIN UNTIL ALL EXCAVATION WORK IS COMPLETE.
10. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).



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Design: JR	Draft: GDR	Date: 5/6/2020
Checked: BWG	Scale: AS SHOWN	Project No.: 19139
Drawing Name: 19139-PLAN.dwg		
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2	06/25/20	DETAIL REVISIONS	BWG
1	06/09/20	SCALE RESOLUTION	BWG
0	05/22/20	DESIGN DEVELOPMENT PLAN SET	BWG

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

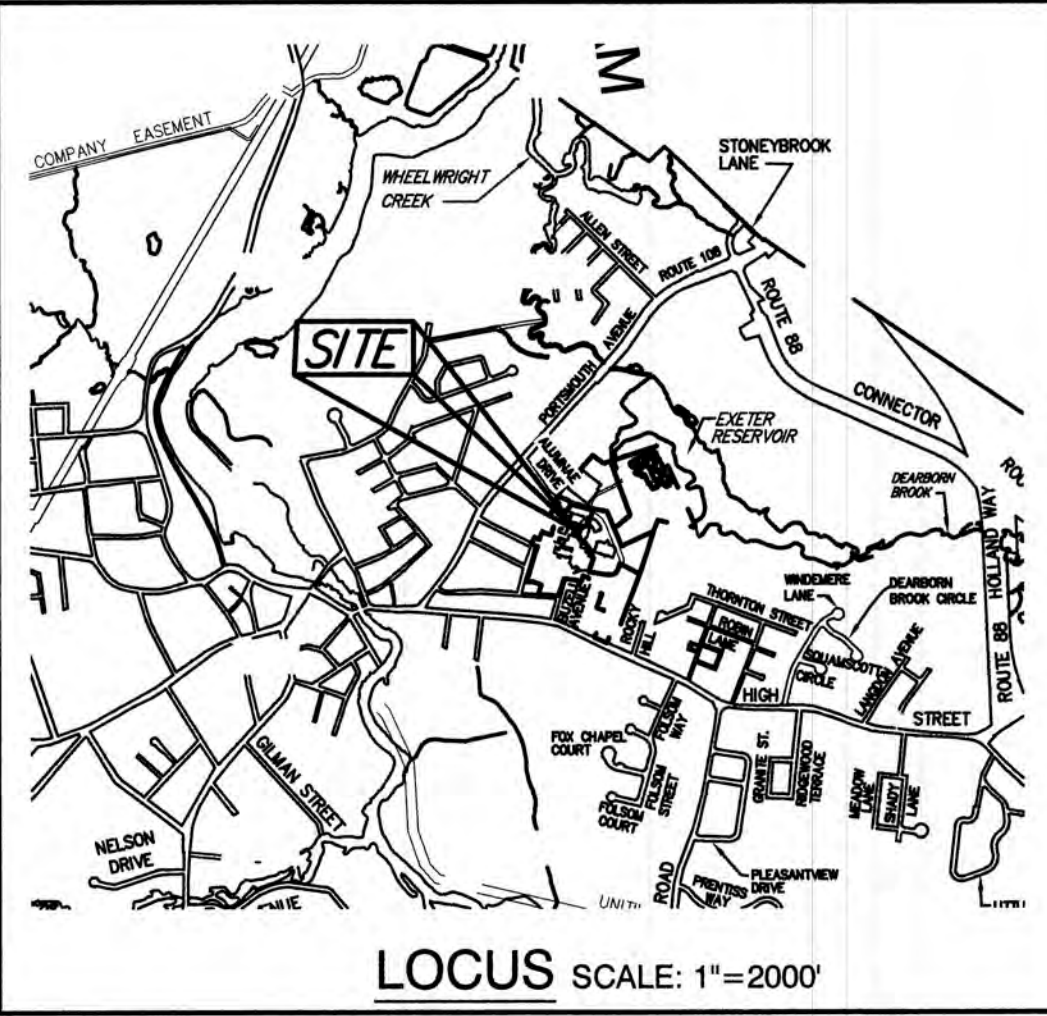
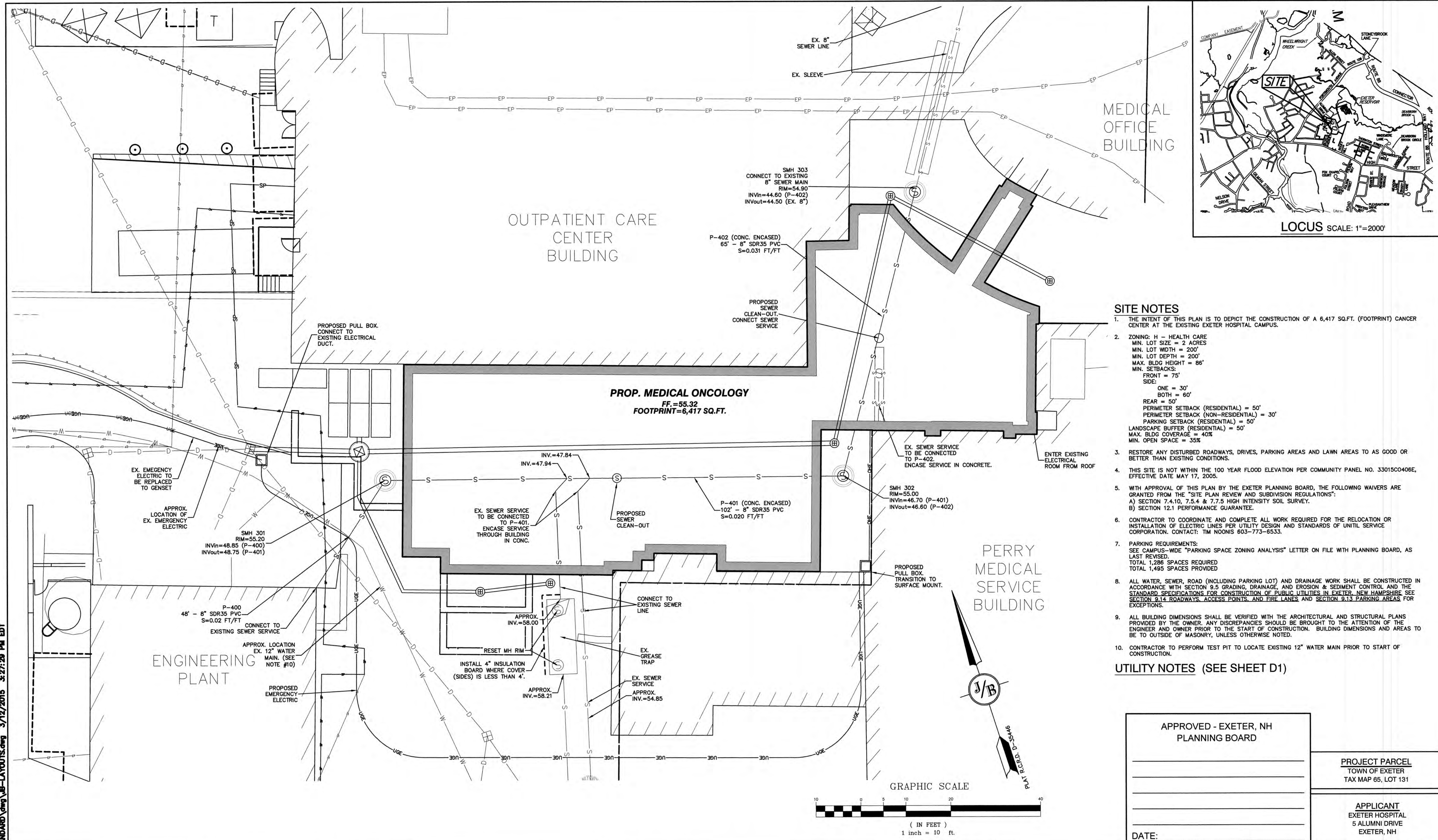
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DEMOLITION PLAN</b> MAP 65, LOT 131
Project:	<b>EXETER MEDICAL ONCOLOGY</b> 5 ALUMNI DRIVE, EXETER, NH
Owner of Record:	EXETER HOSPITAL 5 ALUMNI DRIVE, EXETER, NH

DRAWING No.	<b>C1A</b>
SHEET 3 OF 21 JBE PROJECT NO. 19139	

APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 65, LOT 131
APPLICANT EXETER HOSPITAL 5 ALUMNI DRIVE EXETER, NH	DATE:



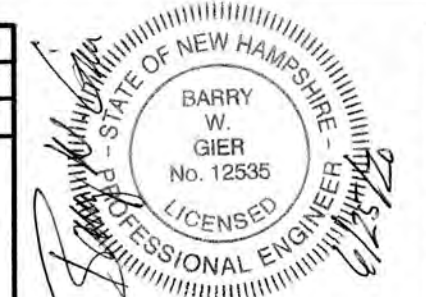
- SITE NOTES**
- THE INTENT OF THIS PLAN IS TO DEPICT THE CONSTRUCTION OF A 6,417 SQ.FT. (FOOTPRINT) CANCER CENTER AT THE EXISTING EXETER HOSPITAL CAMPUS.
  - ZONING: H - HEALTH CARE  
 MIN. LOT SIZE = 2 ACRES  
 MIN. LOT WIDTH = 200'  
 MIN. LOT DEPTH = 200'  
 MAX. BLDG HEIGHT = 86'  
 MIN. SETBACKS:  
 FRONT = 75'  
 SIDE:  
     ONE = 30'  
     BOTH = 60'  
 REAR = 50'  
 PERIMETER SETBACK (RESIDENTIAL) = 50'  
 PERIMETER SETBACK (NON-RESIDENTIAL) = 30'  
 PARKING SETBACK (RESIDENTIAL) = 50'  
 LANDSCAPE BUFFER (RESIDENTIAL) = 50'  
 MAX. BLDG COVERAGE = 40%  
 MIN. OPEN SPACE = 35%
  - RESTORE ANY DISTURBED ROADWAYS, DRIVES, PARKING AREAS AND LAWN AREAS TO AS GOOD OR BETTER THAN EXISTING CONDITIONS.
  - THIS SITE IS NOT WITHIN THE 100 YEAR FLOOD ELEVATION PER COMMUNITY PANEL NO. 33015C0406E, EFFECTIVE DATE MAY 17, 2005.
  - WITH APPROVAL OF THIS PLAN BY THE EXETER PLANNING BOARD, THE FOLLOWING WAIVERS ARE GRANTED FROM THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS":  
 A) SECTION 7.4.10, 7.5.4 & 7.7.5 HIGH INTENSITY SOIL SURVEY.  
 B) SECTION 12.1 PERFORMANCE GUARANTEE.
  - CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION OR INSTALLATION OF ELECTRIC LINES PER UTILITY DESIGN AND STANDARDS OF UNTIL SERVICE CORPORATION. CONTACT: TIM NOONIS 603-773-6533.
  - PARKING REQUIREMENTS:  
 SEE CAMPUS-WIDE "PARKING SPACE ZONING ANALYSIS" LETTER ON FILE WITH PLANNING BOARD, AS LAST REVISED.  
 TOTAL 1,286 SPACES REQUIRED  
 TOTAL 1,495 SPACES PROVIDED
  - ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
  - ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO PERFORM TEST PIT TO LOCATE EXISTING 12" WATER MAIN PRIOR TO START OF CONSTRUCTION.

**UTILITY NOTES (SEE SHEET D1)**

APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 65, LOT 131
APPLICANT EXETER HOSPITAL 5 ALUMNI DRIVE EXETER, NH	DATE:

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Design: JR    Draft: GDR    Date: 5/6/2020  
 Checked: BWG    Scale: AS SHOWN    Project No.: 19139  
 Drawing Name: 19139-PLAN.dwg  
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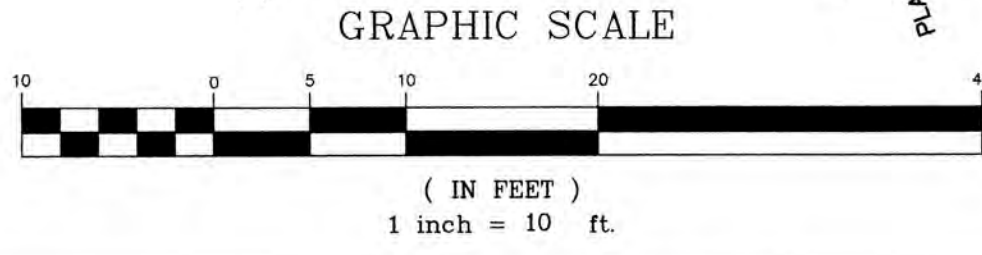


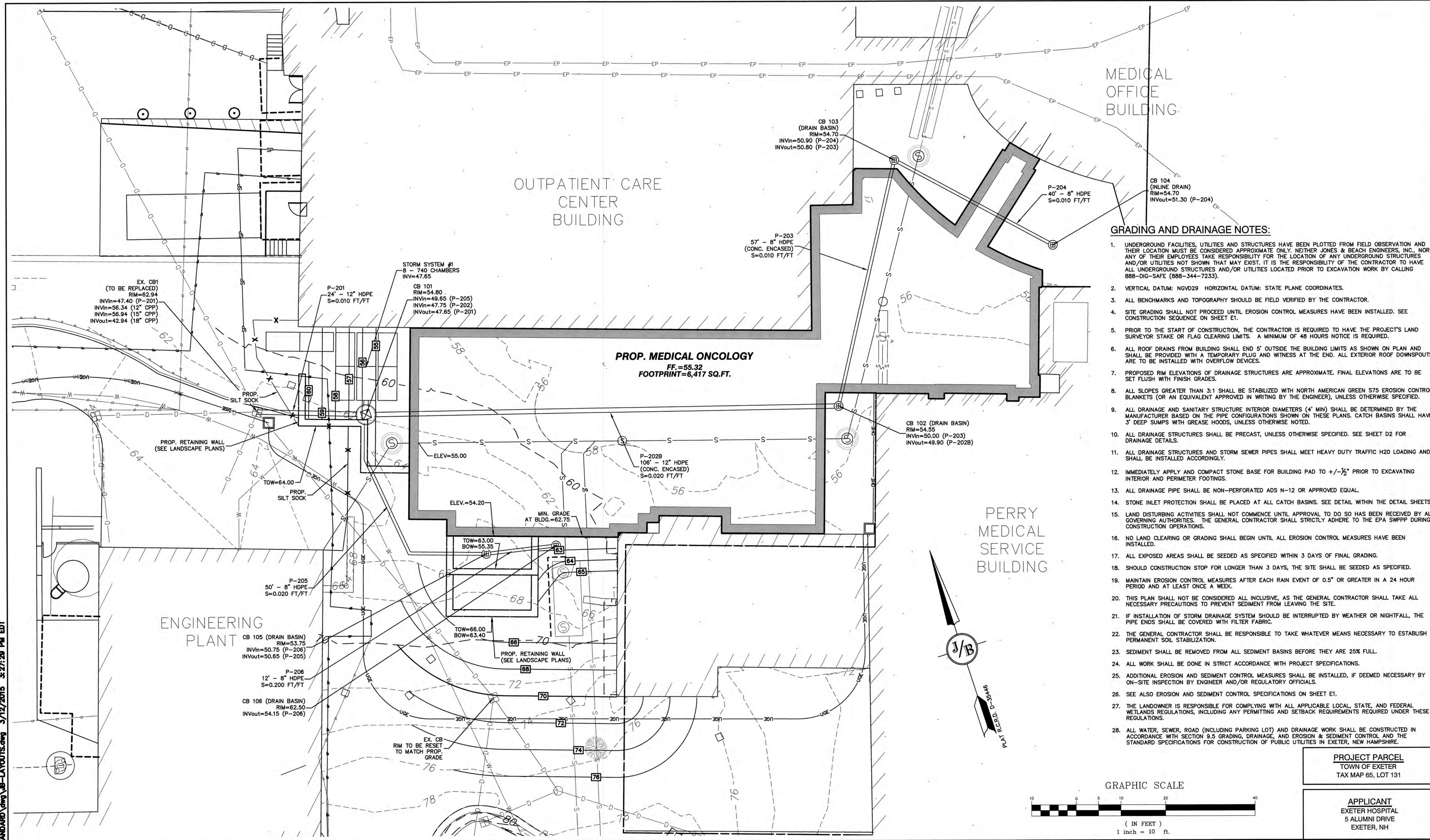
REV.	DATE	REVISION	BY
2	06/25/20	DETAIL REVISIONS	BWG
1	06/09/20	SCALE RESOLUTION	BWG
0	05/22/20	DESIGN DEVELOPMENT PLAN SET	BWG

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 85 Portsmouth Ave.    PO Box 219    Stratham, NH 03885  
 603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

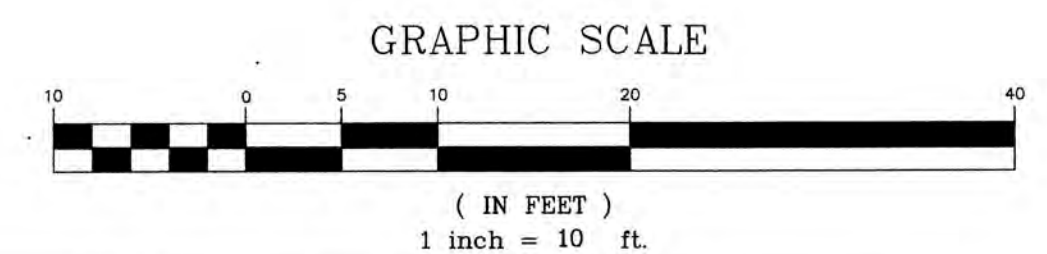
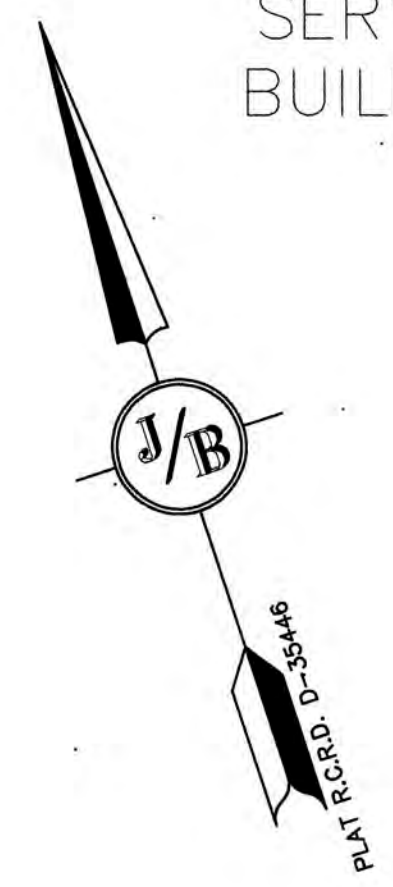
Plan Name: **SITE & UTILITY PLAN**  
 MAP 65, LOT 131  
 Project: **EXETER MEDICAL ONCOLOGY**  
 5 ALUMNI DRIVE, EXETER, NH  
 Owner of Record: **EXETER HOSPITAL**  
 5 ALUMNI DRIVE, EXETER, NH

DRAWING No.  
**C2**  
 SHEET 4 OF 21  
 JBE PROJECT NO. 19139





- GRADING AND DRAINAGE NOTES:**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
  - VERTICAL DATUM: NGVD29 HORIZONTAL DATUM: STATE PLANE COORDINATES.
  - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
  - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
  - ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
  - PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
  - ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
  - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMP WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
  - ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D2 FOR DRAINAGE DETAILS.
  - ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
  - IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO  $\pm 1/2"$  PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
  - ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
  - STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
  - LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
  - NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
  - ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
  - SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
  - MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
  - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  - IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
  - SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
  - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
  - SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
  - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
  - ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.



**PROJECT PARCEL**  
TOWN OF EXETER  
TAX MAP 65, LOT 131

**APPLICANT**  
EXETER HOSPITAL  
5 ALUMNI DRIVE  
EXETER, NH

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Design: JR Draft: GDR Date: 5/6/2020  
 Checked: BWG Scale: AS SHOWN Project No.: 19139  
 Drawing Name: 19139-PLAN.dwg  
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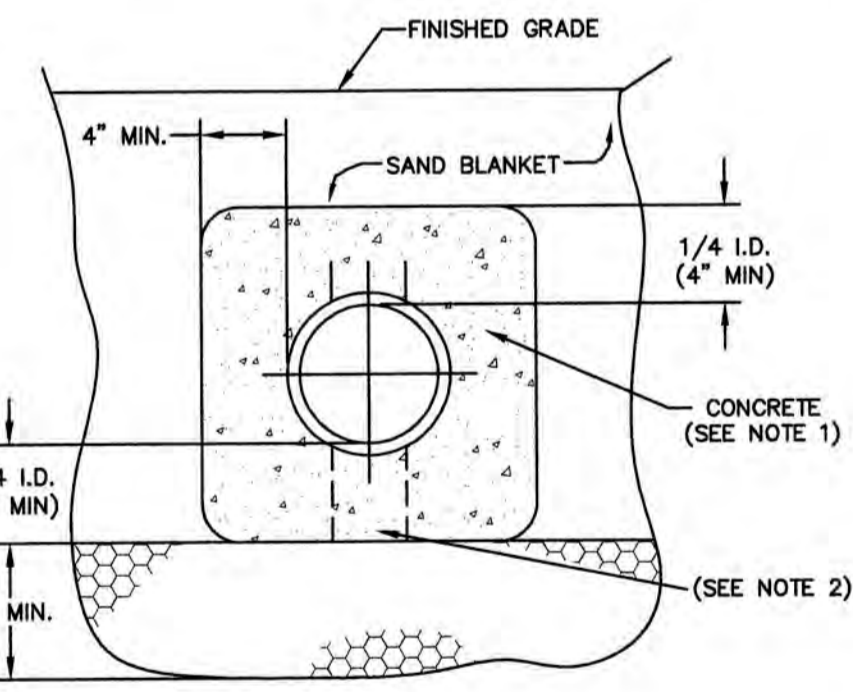
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 85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND DRAINAGE PLAN**  
 Project: **EXETER MEDICAL ONCOLOGY  
5 ALUMNI DRIVE, EXETER, NH**  
 Owner of Record: **EXETER HOSPITAL  
5 ALUMNI DRIVE, EXETER, NH**

DRAWING No.  
**C3**  
 SHEET 5 OF 21  
 JBE PROJECT NO. 19139

**UTILITY NOTES:**

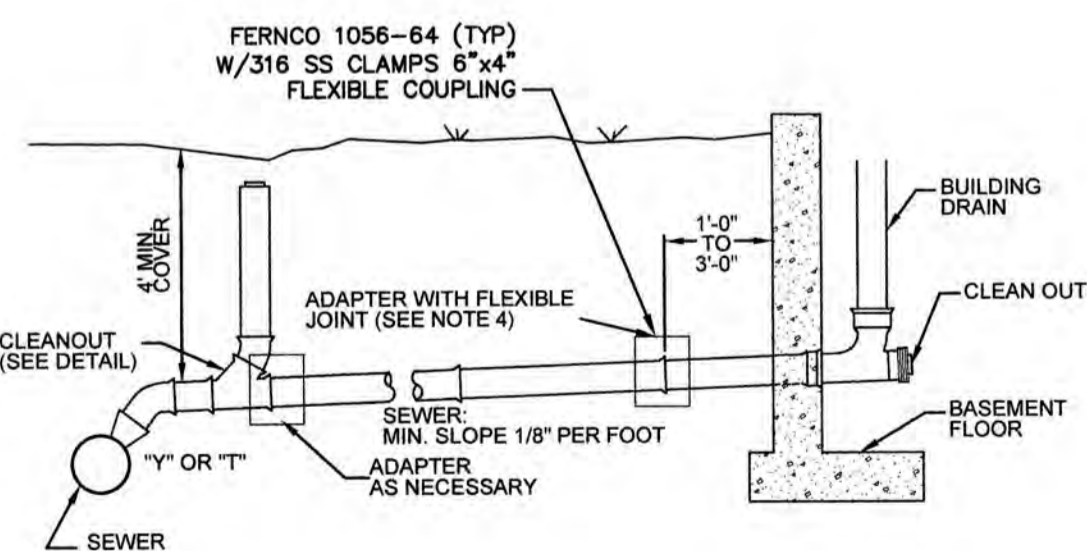
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
- ALL GRAVITY SEWER PIPE, AND MANHOLES SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700. ADOPTED ON 10-15-14.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
- ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2'-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOW. CONTRACTOR TO COORDINATE ANY DISRUPTIONS IN FLOW WITH THE EXETER HOSPITAL FACILITIES GROUP.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.



- NOTES:**
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A(3000#) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
    - CEMENT: 6 BAGS / CUBIC YARD
    - WATER: 5.75 GALLONS / BAG OF CEMENT
    - AGGREGATE 1.0 INCH / MAXIMUM SIZE
  - IF PARTIAL ENCASEMENT (TYPE III) OR FULL ENCASEMENT (TYPE IV) IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

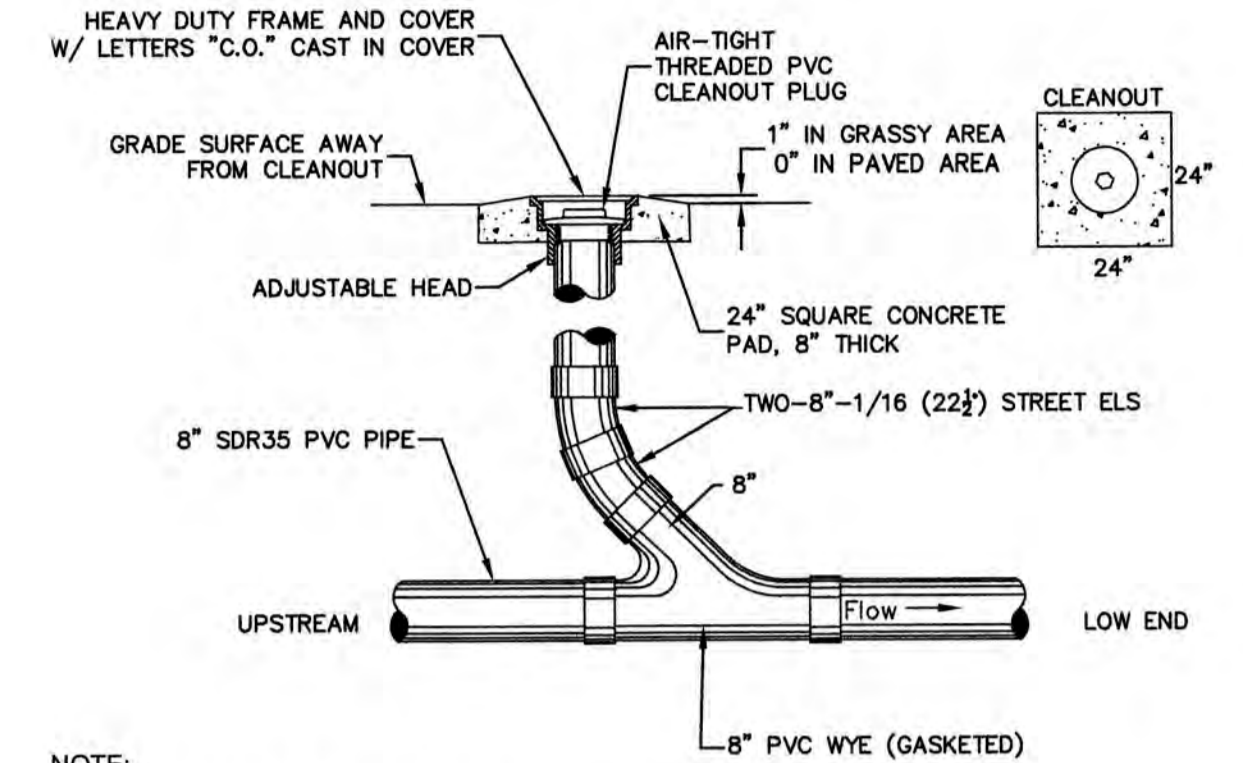
**CONCRETE FULL ENCASEMENT (TYPE IV)**

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**SEWER SERVICE CONNECTION**

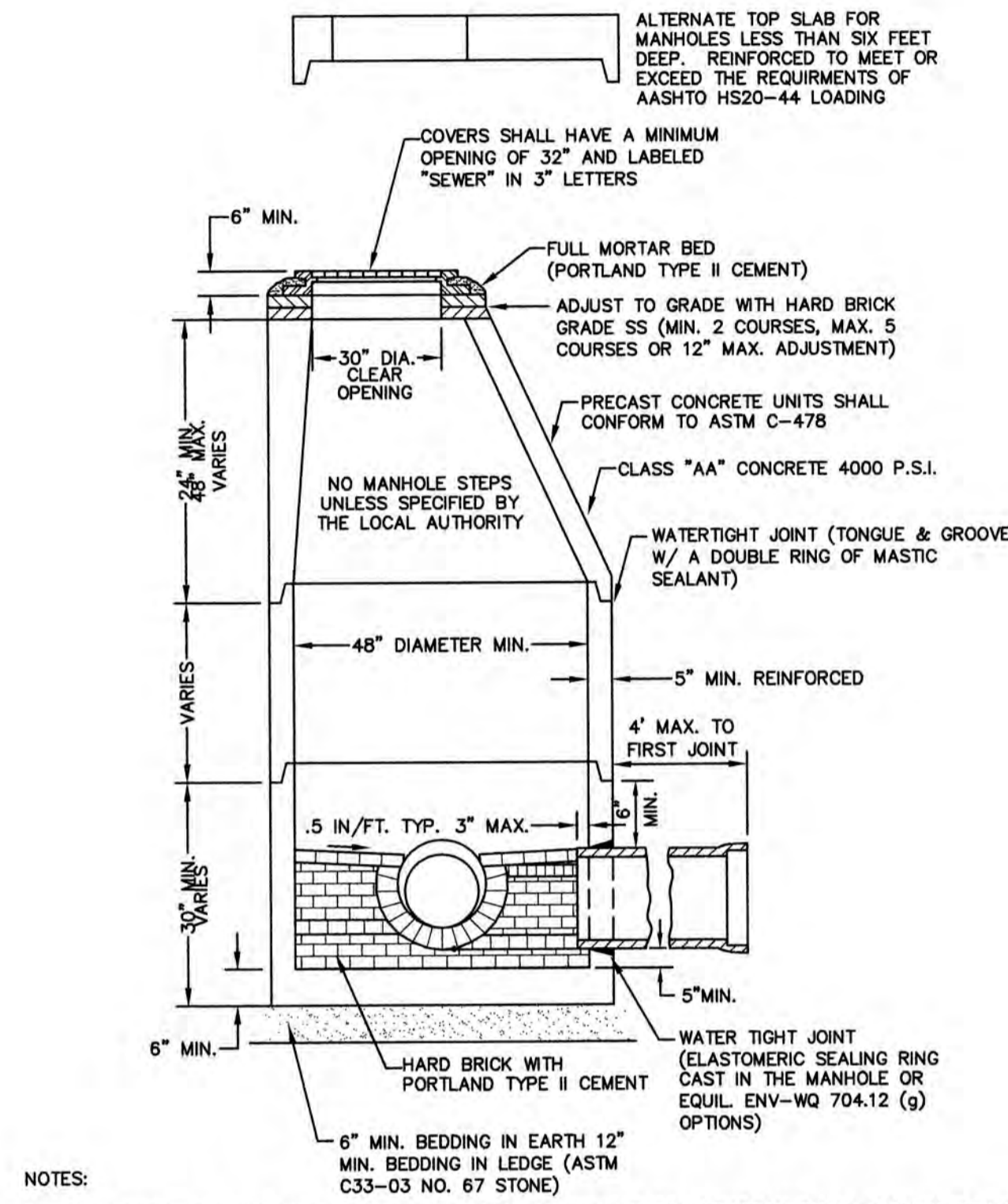
NOT TO SCALE



- NOTE:**
- PLACE CLEANOUT AS SHOWN ON PLAN.

**SEWER LINE CLEANOUT DETAIL**

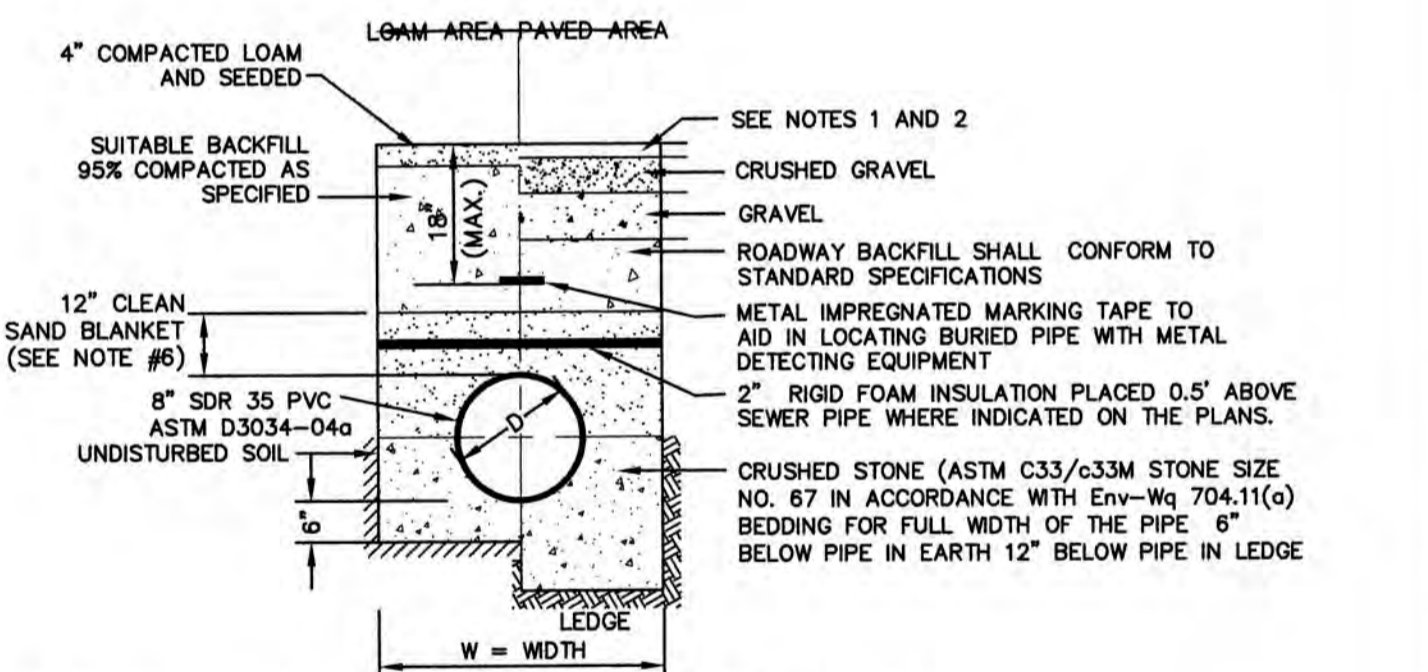
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- NOTES:**
- PER NHDES ENV-WQ 704.13(C), MORTAR USED IN MANHOLE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
    - MORTAR SHALL BE COMPOSED OF TYPE II PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION
    - PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE PER TABLE 704-4:
      - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
      - 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
    - CEMENT SHALL BE TYPE II PORTLAND CEMENT THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C150/C150M STANDARD IN EFFECT AT THE TIME THE CEMENT WAS MANUFACTURED
    - HYDRATED LIME SHALL BE TYPE S THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C207 STANDARD IN EFFECT AT THE TIME THE HYDRATED LIME WAS PROCESSED
    - SAND SHALL CONSIST OF INERT NATURAL SAND THAT IS CERTIFIED BY ITS SUPPLIER AS CONFORMING TO THE ASTM C33 STANDARD IN EFFECT AT THE TIME THE SAND IS PROCESSED BY STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES
    - CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AVAILABLE AT:  
[HTTP://WWW.NH.GOV/DOT/ORG/PROJECTDEVELOPMENT/HIGHWAYDESIGN/SPECIFICATIONS/INDEX.HTM](http://www.nh.gov/dot/org/projectdevelopment/highwaydesign/specifications/index.htm)
  - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
  - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (c) THROUGH (e).
  - SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48/48M WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (a) (8).
  - ALL PRECAST SECTIONS SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING IN ACCORDANCE WITH ENV-WQ 704.12 (J).
  - ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDUBLY MARKED ON THE INSIDE WALL PER ENV-WQ 704.12(I).
  - BRICK MASONRY SHALL CONFORM TO ASTM C32 (ENV-WQ 704.12(a)(9))

**SEWER MANHOLE**

NOT TO SCALE



- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
  - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
  - TRENCH BACKFILL SHALL CONFORM WITH ENV. Wq 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
  - W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAVEMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
  - RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6' AND CROSS COUNTRY IS LESS THAN 4', PURSUANT TO DES WAIVER BEING ISSUED.
  - PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #20 SIEVE IN ACCORDANCE WITH ENV-Wq 704.11(b).
  - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-Wq 704.05 (e).

**SEWER TRENCH**

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Design: JR	Draft: GDR	Date: 5/6/2020
Checked: BWG	Scale: AS NOTED	Project No.: 19139
Drawing Name: 19139-PLAN.dwg		
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Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>EXETER MEDICAL ONCOLOGY 5 ALUMNI DRIVE, EXETER, NH</b>
Owner of Record:	<b>EXETER HOSPITAL 5 ALUMNI DRIVE, EXETER, NH</b>

DRAWING No.	<b>D1</b>
SHEET 6 OF 21	JBE PROJECT NO. 19139

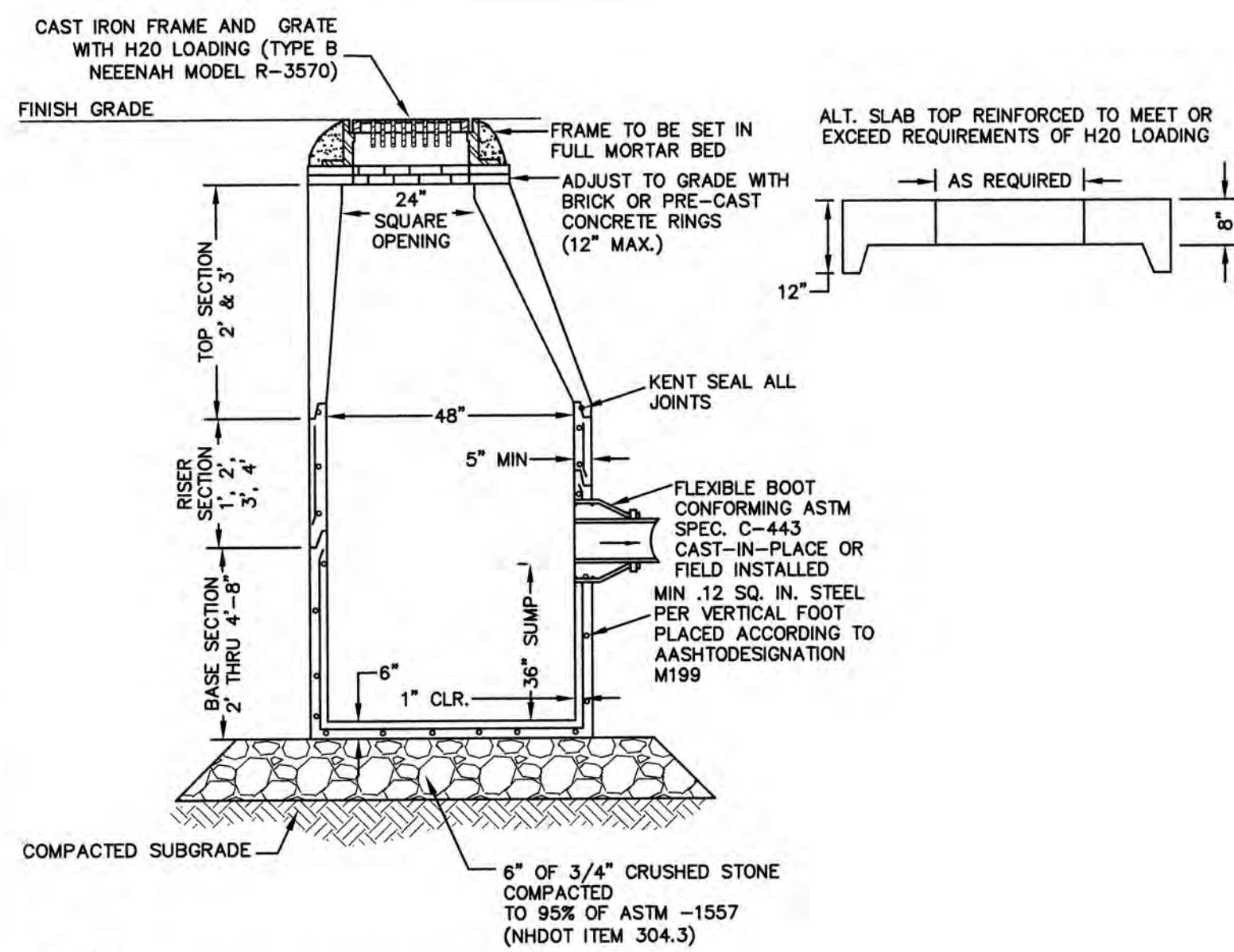
**STORMTECH GENERAL NOTES**

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.). MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.

**ACCEPTABLE FILL MATERIALS  
STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE, DEPTH(S) PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FROM 1.50' ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <36% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 1.50' ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 12" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

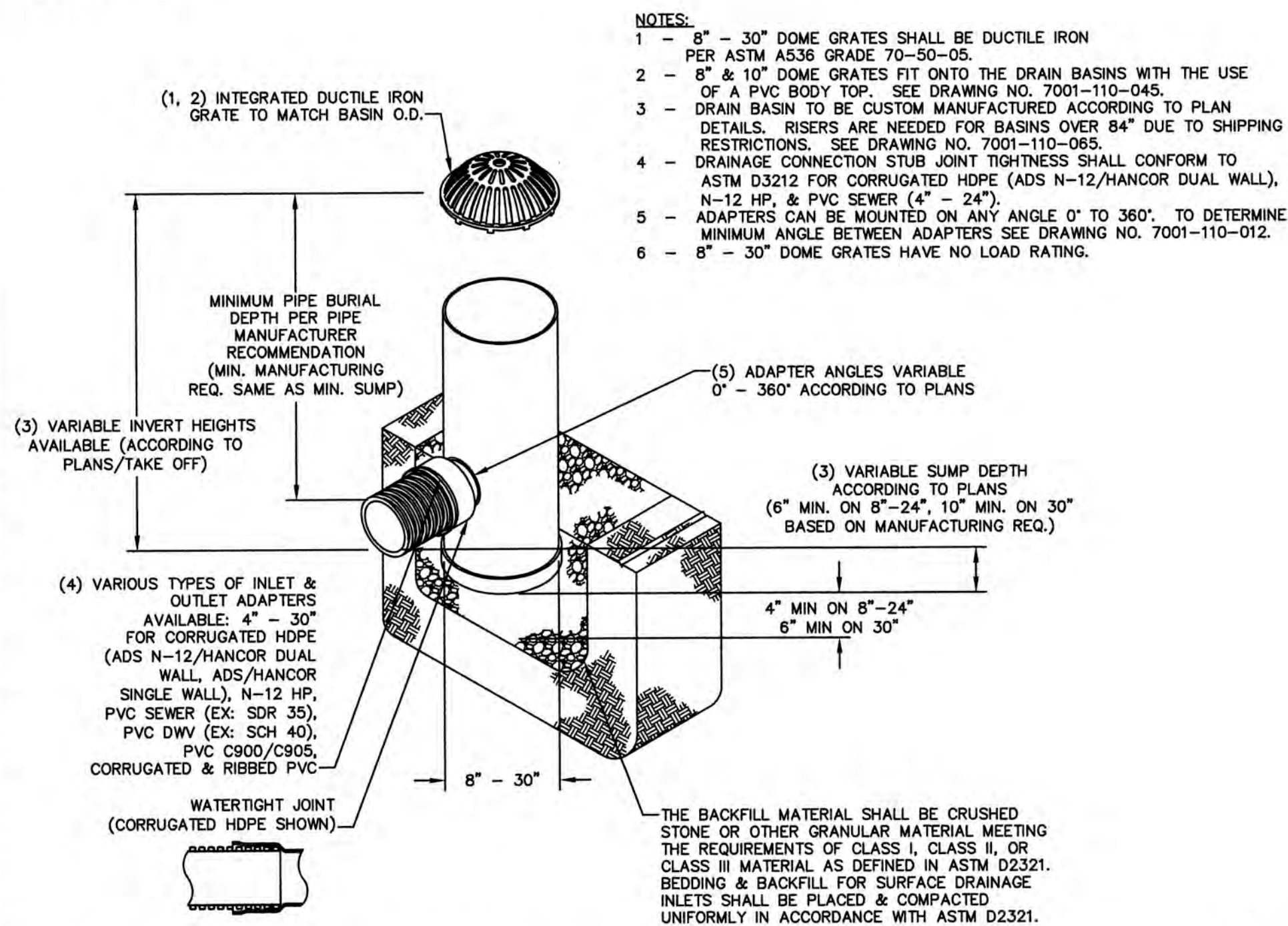
PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.



- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEEHAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
  - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

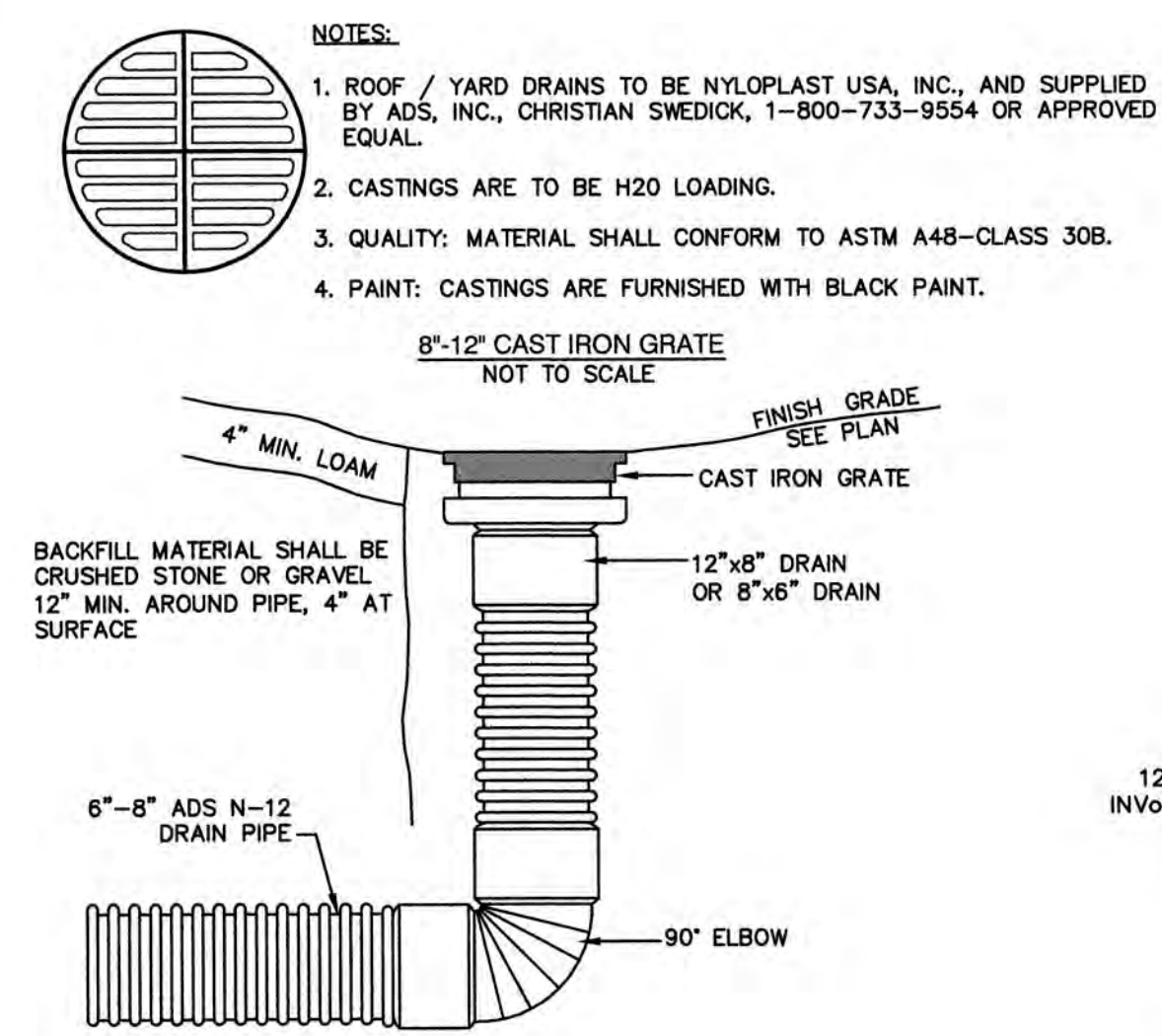
**CATCH BASIN**

NOT TO SCALE



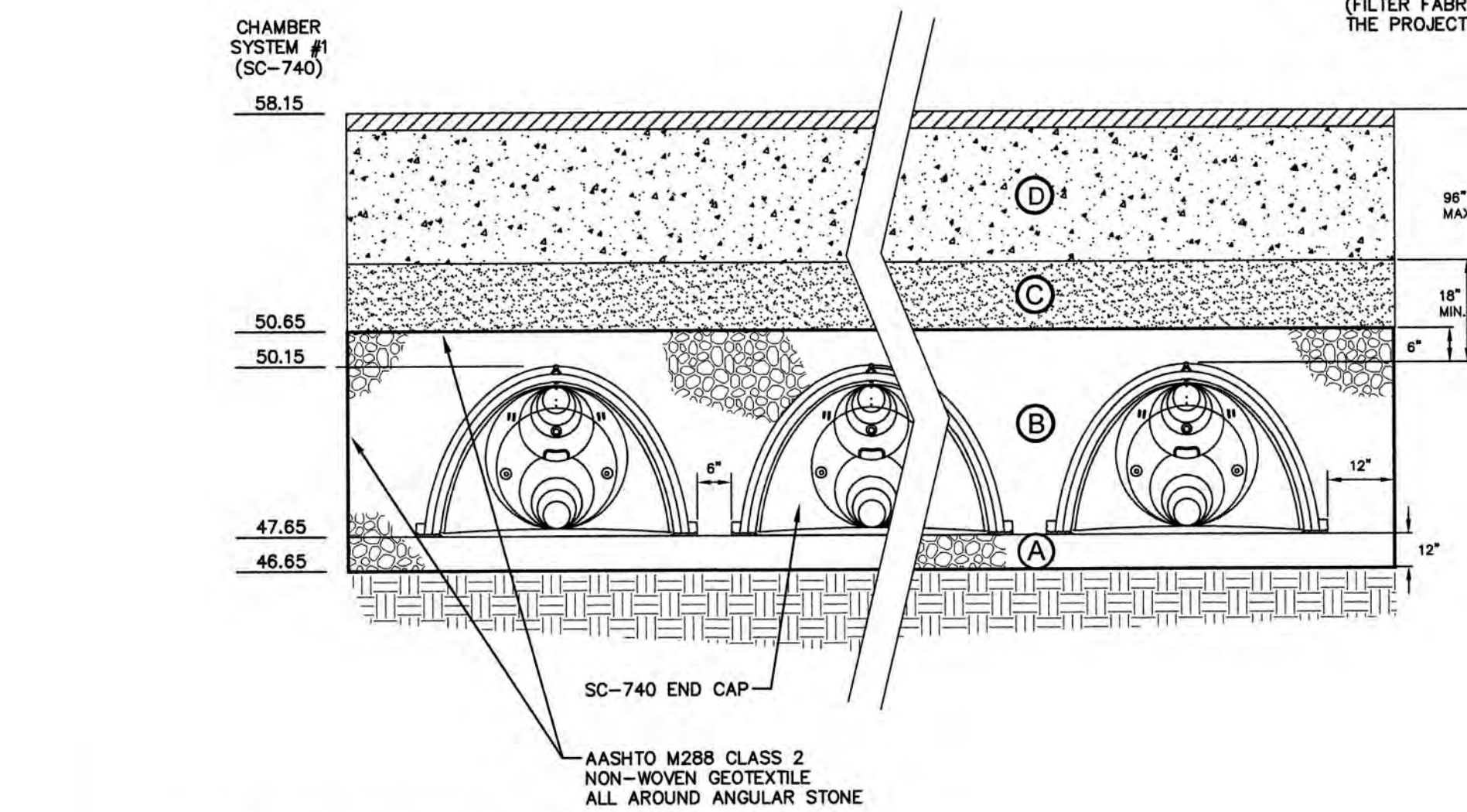
**NYLOPLAST DRAIN BASIN WITH DOME DETAIL**

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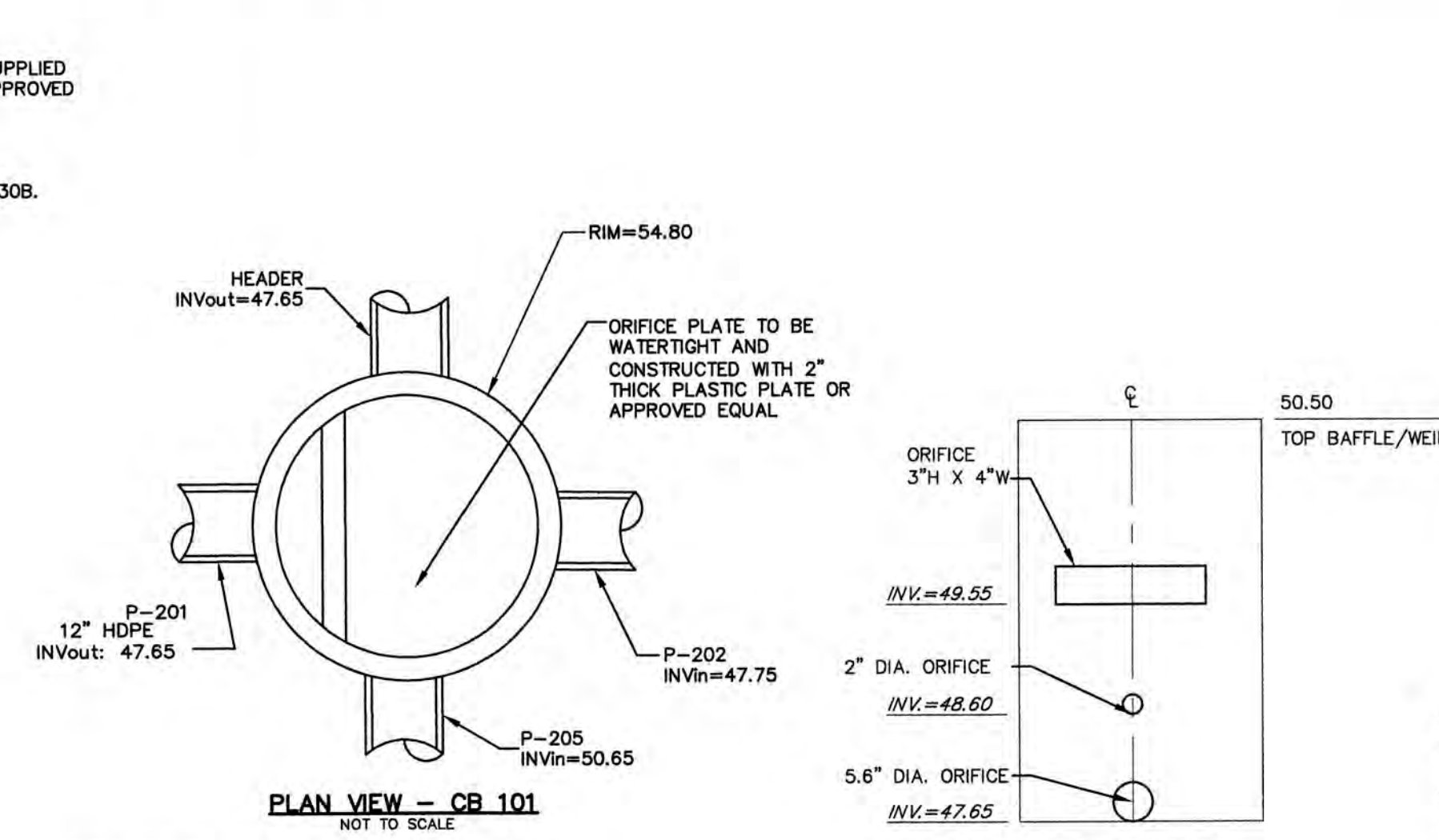
**ADS N-12 YARD DRAIN**

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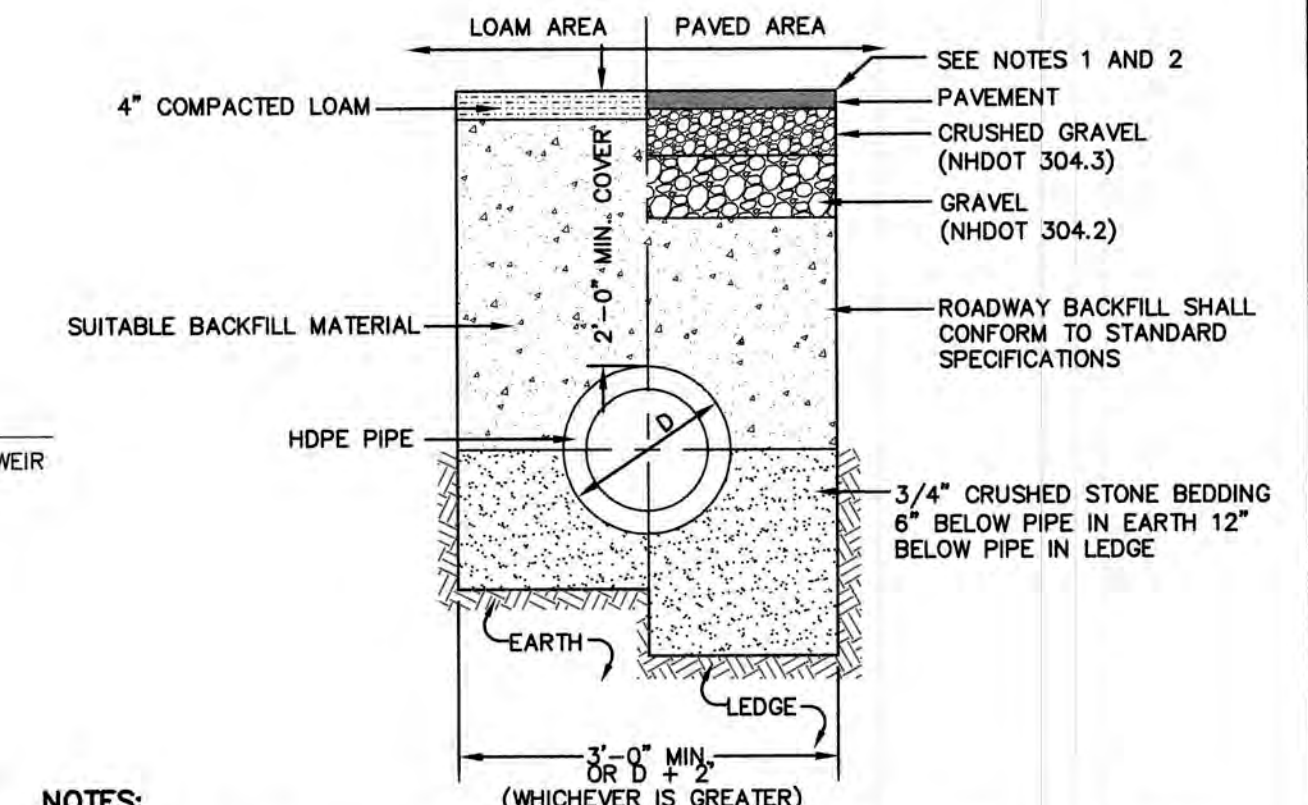
**TYPICAL SC-740 CROSS-SECTION**

NOT TO SCALE



**OUTLET STRUCTURE (CB 101)**

NOT TO SCALE



**NOTES:**

- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
- NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
- ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

**DRAINAGE TRENCH**

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Design: JR	Draft: GDR	Date: 5/6/2020
Checked: BWG	Scale: AS NOTED	Project No.: 19139
Drawing Name: 19139-PLAN.dwg		
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2	06/25/20	DETAIL REVISIONS	BWG
1	06/09/20	SCALE RESOLUTION	BWG
0	05/22/20	DESIGN DEVELOPMENT PLAN SET	BWG

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

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Civil Engineering Services

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603-772-0227  
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Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>EXETER MEDICAL ONCOLOGY 5 ALUMNI DRIVE, EXETER, NH</b>
Owner of Record:	<b>EXETER HOSPITAL 5 ALUMNI DRIVE, EXETER, NH</b>

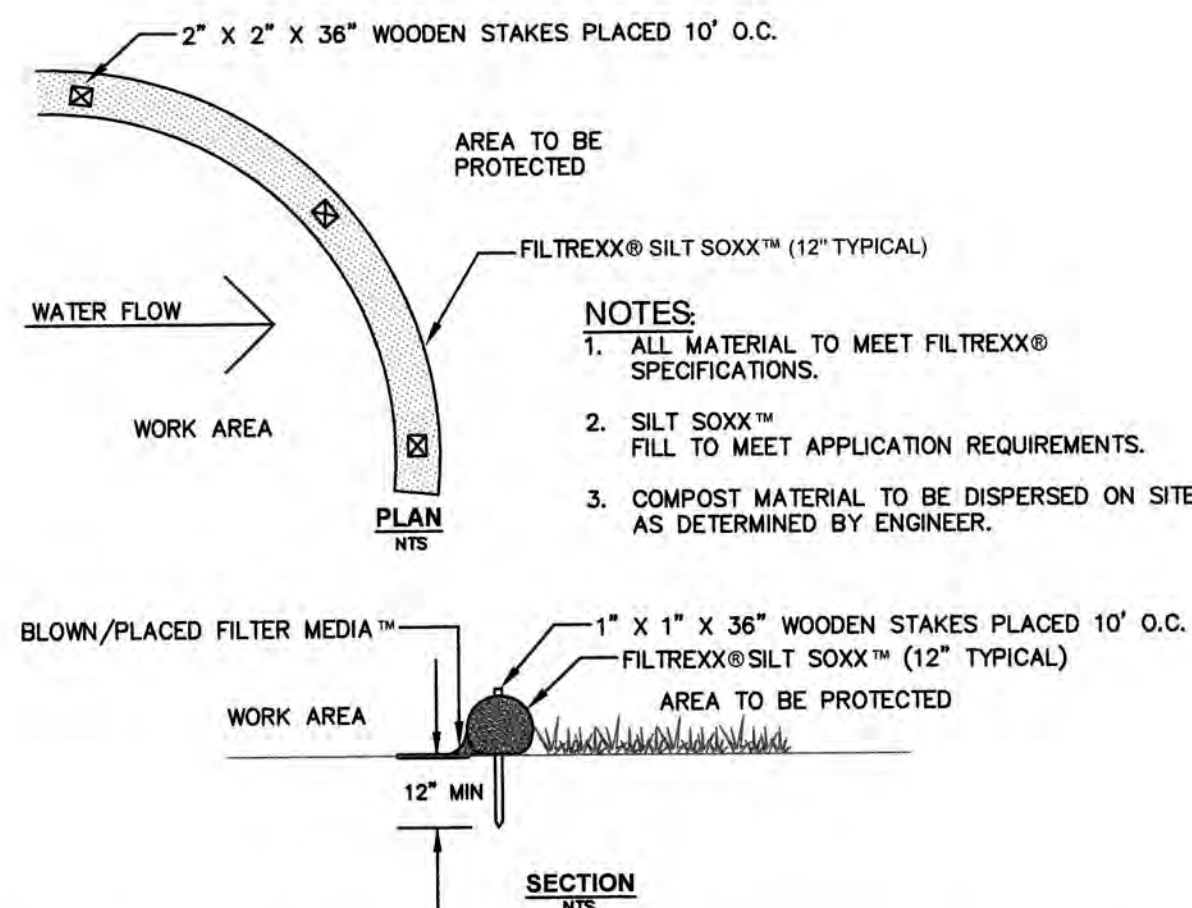
DRAWING No.

**D2**

SHEET 7 OF 21  
JBE PROJECT NO. 19139

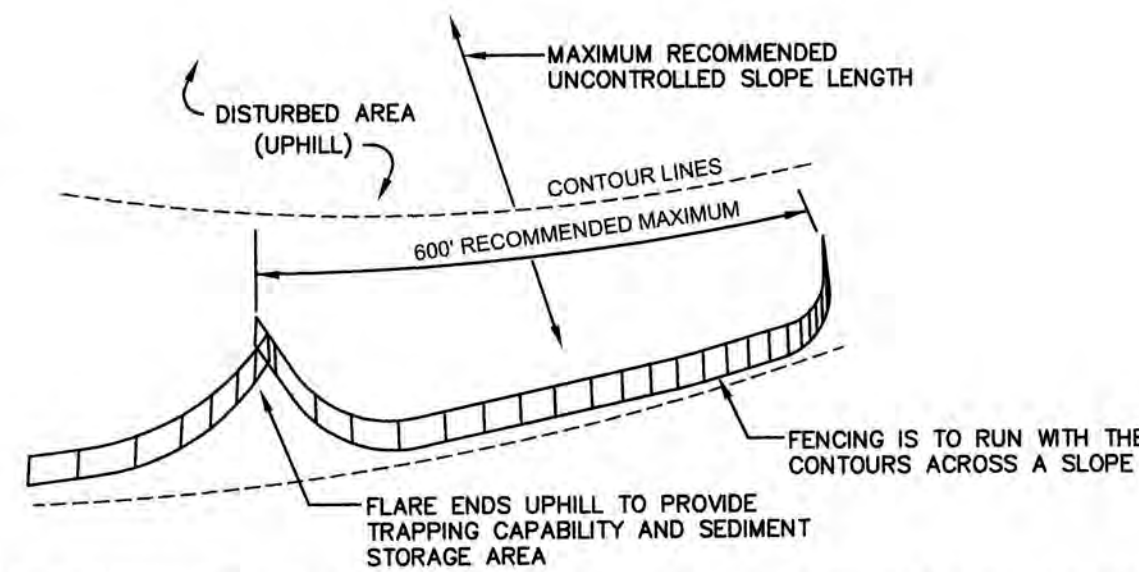
TEMPORARY EROSION CONTROL NOTES

- 1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- 2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- 3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- 4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- 5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- 6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- 7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEING AND INSTALLING NORTH AMERICAN GREEN S7S EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- 8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- 9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- 10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- 12. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- 13. PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- 14. IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
  - a. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
  - b. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
  - c. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.



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- 7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- 1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- 4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE

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Design: JR Draft: GDR Date: 5/6/2020
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Drawing Name: 19139-PLAN.dwg
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Table with 4 columns: REV., DATE, REVISION, BY.
2 06/25/20 DETAIL REVISIONS BWG
1 06/09/20 SCALE RESOLUTION BWG
0 05/22/20 DESIGN DEVELOPMENT PLAN SET BWG

SEEDING SPECIFICATIONS

- 1. GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- 2. SEEDBED PREPARATION
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEING AND FUTURE MAINTENANCE OF THE AREAS. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- 3. ESTABLISHING A STAND
A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
C. REFER TO THE 'SEEING GUIDE' AND 'SEEING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- 4. MULCH
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEING.
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- 5. MAINTENANCE TO ESTABLISH A STAND
A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

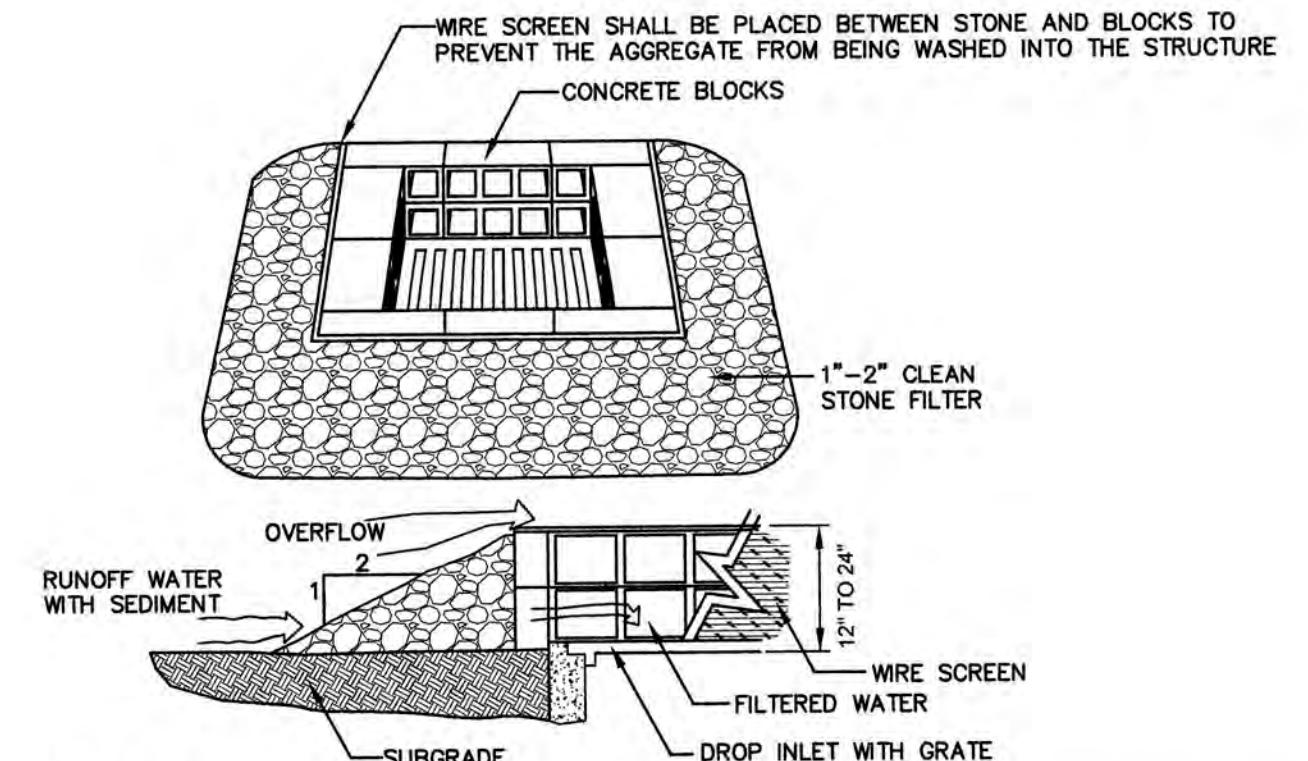
Table with 6 columns: USE, SEEDING MIXTURE 1/, DROUGHTY, WELL DRAINED, MODERATELY DRAINED, POORLY DRAINED.
Rows include Steep cuts and fills, Waterways, Lightly used parking lots, Play areas and athletic fields, and Gravel pits.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEING NOT YET COMPLETE.

SEEDING GUIDE

Table with 3 columns: MIXTURE, POUNDS PER ACRE, POUNDS PER 1,000 SQ. FT.
Rows include Tall Fescue, Creeping Red Fescue, Kentucky Bluegrass, and Flat Pea.

SEEDING RATES



MAINTENANCE NOTE:

- 1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION (Block and Gravel Drop Inlet Sediment Filter)

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CONSTRUCTION SEQUENCE

- 1. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- 2. CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- 3. INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- 4. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- 5. CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- 6. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- 7. PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- 8. PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- 9. INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- 10. INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- 11. ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- 12. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING TUBES AND/OR PROPERTY.
- 13. PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- 14. PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- 15. LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- 16. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 17. COMPLETE PERMANENT SEEING AND LANDSCAPING PER LANDSCAPE PLANS.
- 18. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- 19. CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- 20. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- 21. UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

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Plan Name: EROSION AND SEDIMENT CONTROL DETAILS
Project: EXETER MEDICAL ONCOLOGY 5 ALUMNI DRIVE, EXETER, NH
Owner of Record: EXETER HOSPITAL 5 ALUMNI DRIVE, EXETER, NH

DRAWING No. E1
SHEET 8 OF 21
JBE PROJECT NO. 19139



LIST OF DRAWINGS

SHEET NO.	SHEET TITLE
L0.0	Context Plan
L1.0	Materials Plan
L1.1	Materials Plan
L2.0	Grading Plan
L2.1	Grading Plan
L4.0	Planting Plan
L4.1	Planting Plan
L4.2	Planting Plan Green Roof
L5.0	Landscape Details
L5.1	Landscape Details
L5.2	Landscape Details
L5.3	Landscape Details

GRAPHIC LEGEND

DRAWING NOT TO SCALE

GENERAL SHEET NOTES

REFERENCE KEYNOTES

○ SHEET KEYNOTES

DRAWING NOT TO SCALE

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Consultant Three  
DISCIPLINE THREE  
Address  
City, State, Zip  
Phone

Consultant Two  
DISCIPLINE TWO  
Address  
City, State, Zip  
Phone

Consultant One  
DISCIPLINE ONE  
Address  
City, State, Zip  
Phone

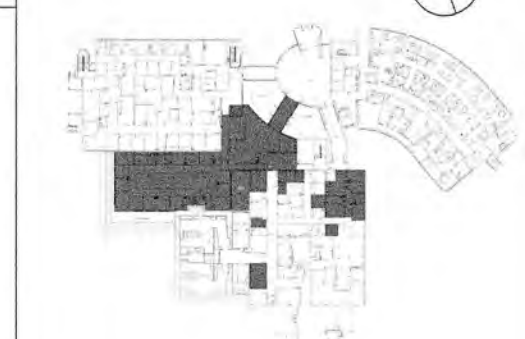
ISSUED FOR REV DATE

DESIGN DEVELOPMENT SET 2 MAY 28 2020  
SD SET - FOR PRICING 1 JAN 8 2020

SEALS AND SIGNATURES

**NOT FOR  
CONSTRUCTION**

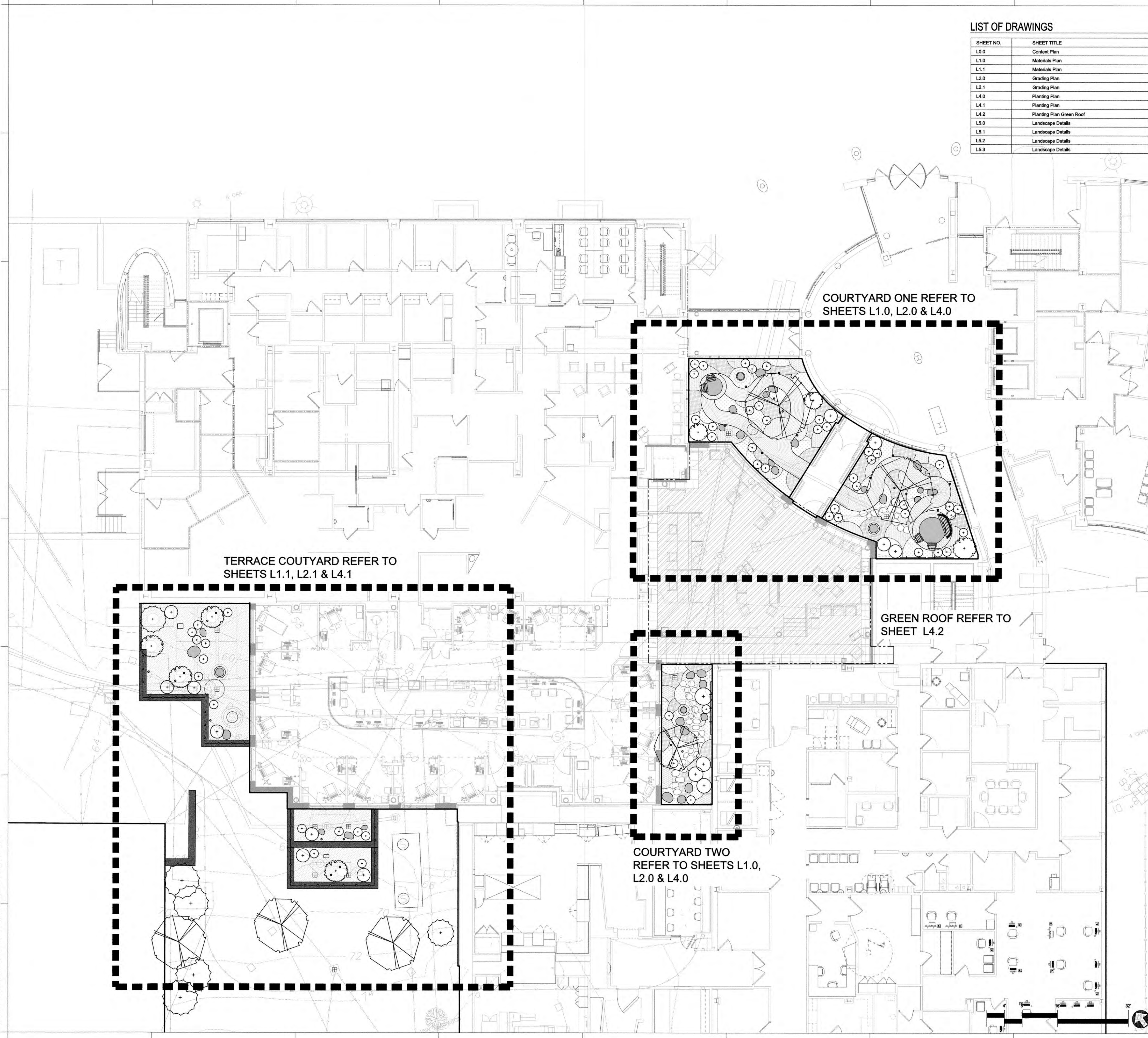
KEYPLAN NORTH



SHEET TITLE  
**CONTEXT PLAN**

PROJECT NUMBER 12034

SHEET NUMBER **L0.0**



COURTYARD ONE REFER TO SHEETS L1.0, L2.0 & L4.0

TERRACE COUTYARD REFER TO SHEETS L1.1, L2.1 & L4.1

GREEN ROOF REFER TO SHEET L4.2

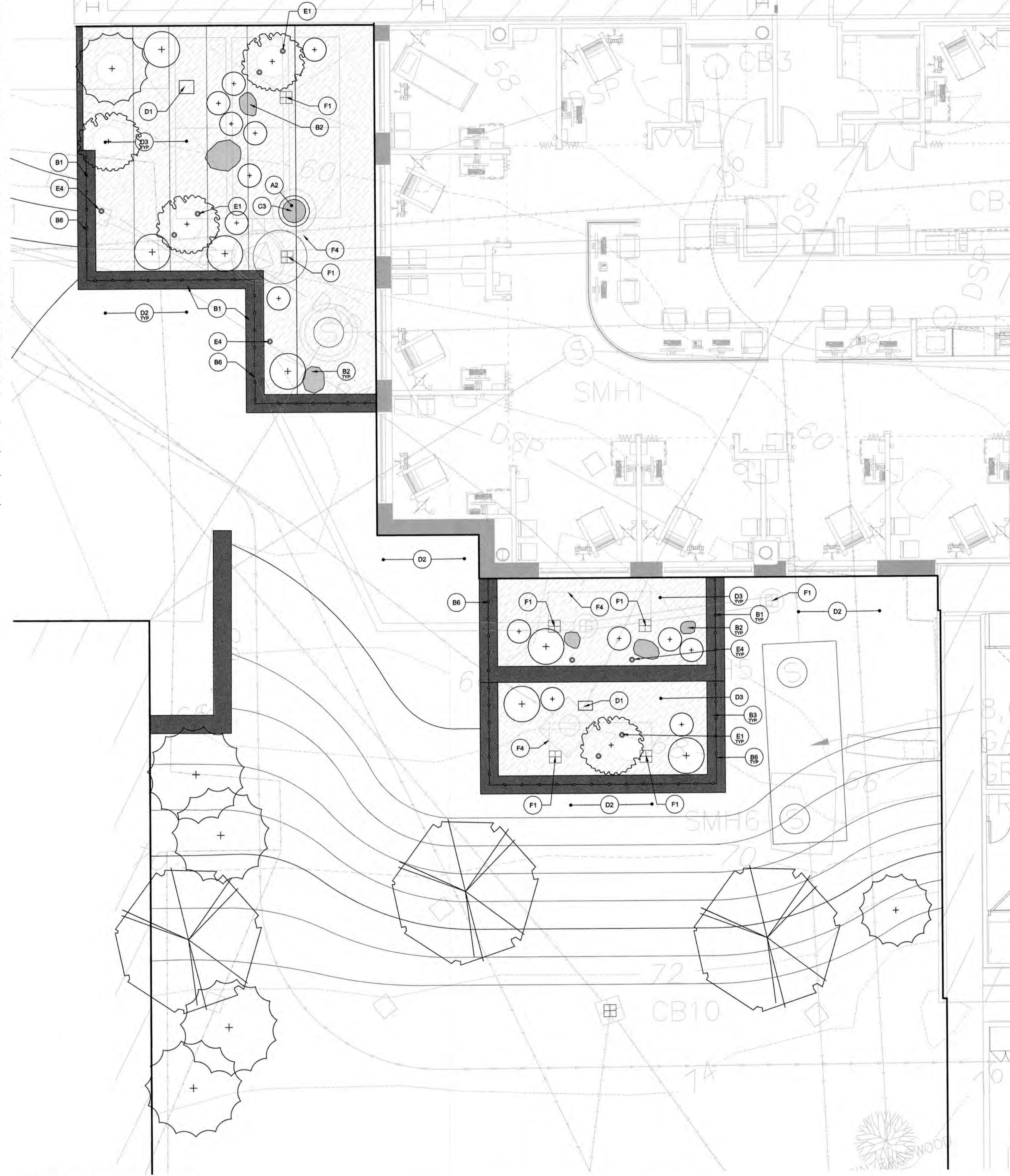
COURTYARD TWO REFER TO SHEETS L1.0, L2.0 & L4.0



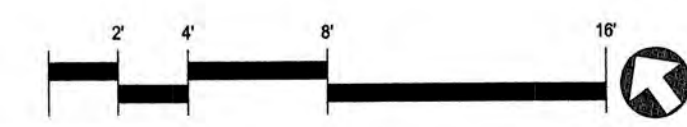
**MATERIALS LEGEND**

TAG	DESCRIPTION	DETAIL
<b>PAVING</b>		
A1	BRICK PAVING IN COURTYARDS 1 & 2 OVER SAND SETTING BED OVER CRUSHED GRAVEL SUBBASE IN PEDESTRIAN CONDITION WITH METAL EDGE RESTRAINT WHERE ABUTTING PLANT BED. PAVEMENT: ENDICOTT MANGANESE IRON SPOT OR APPROVED EQUAL.	1 15.0
A2	GRANITE PAVING IN COURTYARDS 1 & 2 OVER SAND SETTING BED OVER CRUSHED GRAVEL SUBBASE IN PEDESTRIAN CONDITION WITH METAL EDGE RESTRAINT WHERE ABUTTING PLANT BED. GRANITE: SAHIN AND THERMAL FINISHED, GREY NEW ENGLAND GRANITE.	2 15.0
A3	STONE FLAGGING PAVERS IN COURTYARDS 1 & 2 OVER SAND SETTING BED OVER CRUSHED GRAVEL SUBBASE IN PEDESTRIAN CONDITION WITH METAL EDGING WHERE ABUTTING PLANT BED. FLAGGING: BOSTON BLEND OR GREENWICH GRAY FLAGGING AS SUPPLIED BY STONEYARD, LITTLETON, MA OR APPROVED EQUAL. COLOR RANGE OF WARM BUFF TO WARM GREY.	3 15.0
<b>WALLS, BOULDERS, STAIRS AND RAILINGS</b>		
B1	FIELDSTONE RETAINING WALL WITH CAPSTONE; HEIGHT VARIES; BOSTON BLEND WALLSTONE AS SUPPLIED BY STONEYARD, LITTLETON, MA OR APPROVED EQUAL. 18"-24" WALL WIDTH AT TOP OF THE WALL. PLACE MORTAR WITHIN THE INTERIOR OF THE WALL TO SECURE AND LOCK STONES TOGETHER AND PRECLUDE THEIR SHIFTING. MORTAR SHALL NOT BE USED AS AN ALTERNATIVE TO THE CAREFUL PLACEMENT, OVERLAPPING OF STONES OR USE IN PLACE OF ROWLOCK STONES TO TIE THE FRONT OF THE WALL TOGETHER WITH THE BACK OF THE WALL. MORTAR SHALL NOT BE VISIBLE AT THE FRONT FACE OF THE WALL. CAREFULLY PLACE MORTAR TO ENSURE THAT EXPOSED FACES OF STONES ARE NOT STAINED WITH MORTAR. WALL CONSTRUCTION COLOR RANGE OF WARM BUFF TO WARM GREY.	5 15.0
B2	NEW ENGLAND FIELDSTONE BOULDERS AT COURTYARDS 1 AND 2. SELECT BOULDERS WHICH ARE STOCKPILED ON SITE AND ARE DISTINGUISHED BY THEIR CHARACTER AND APPEARANCE AS NATIVE NEW ENGLAND STONE WITH FACES THAT HAVE NOT BE SCARRED OR SPLIT DURING CONSTRUCTION OPERATIONS.	7 15.0
B3	COLORLED CONCRETE RETAINING WALL WITH FORM LINER: COLOR PIGMENT: ASTM C 979, SYNTHETIC MINERAL-OXIDE PIGMENTS; COLOR STABLE, NONFADING, AND RESISTANT TO LIME AND OTHER ALKALIS. PROVIDE STANDARD COLOR C24 CHARCOAL AS MANUFACTURED BY L.M. SCOFIELD AND AS APPROVED BY ARCHITECT OWNER'S REPRESENTATIVE. ADD COLOR PIGMENT TO CONCRETE MIXTURE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND TO RESULT IN HARDENED CONCRETE COLOR CONSISTENT WITH APPROVED OFF-THE-STRUCTURE MOCKUP. CONCRETE FORM LINER: 3/16" STRIATED RANDOM FROM SYMONS CORPORATION. APPLICATION METHODS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. AGGREGATE: PROVIDE AGGREGATE IN THE DARK GRAY/GREEN OR DARK GRAY/BLUE RANGE AS APPROVED BY ARCHITECT OWNER'S REPRESENTATIVE.	8 15.0
B6	QUADRANT ON RETAINING WALL: METAL SHAPES, PLATES AND BARS: AISI GRADE 316L STAINLESS STEEL WITH OMNIDIRECTIONAL MATTE FINISH; HARDWARE: AISI GRADE 304L STAINLESS STEEL. ENGINEERED BY FABRICATOR AND REVIEWED BY OWNER'S REPRESENTATIVE FOR APPROVAL.	4 15.1
B6	DECORATIVE WOOD SCREEN: STEEL SHAPES, PLATES AND BARS: ASTM A36 CARBON STEEL; HARDWARE FOR WOOD TO METAL: AISI GRADE 304L STAINLESS STEEL. ENGINEERED BY FABRICATOR AND REVIEWED BY OWNER'S REPRESENTATIVE FOR APPROVAL; METAL FINISH SYSTEM: PAINTED FINISH FOR FERROUS METALS AS DEFINED BELOW. COLOR AS SELECTED BY LANDSCAPE ARCHITECT. SURFACE PREPARATION: NEAR WHITE METAL BLAST CLEANING SURFACES AS PER PAINT COUNCIL DESIGNATION SSPC-SP6 STANDARD; SHOP APPLIED COATINGS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS FOLLOWS: COAT 1: Tnemec SERIES 99-97 Tnemec-Zinc (SHOP APPLIED) AT 3.0 MILS DFT, COAT 2: Tnemec SERIES 1072-FLUORONAR SATIN FINISH AT 2.5 MILS DFT; FIELD PREPARATION: (SURFACE PREPARATION: SSPC-SP11), FOLLOWED BY SPOT REAPPLICATION OF SERIES 90-1K37, SERIES N69F EPOXOLINE II, AND SERIES 1071/1072 FLUORONAR OR 1078 FLUORONAR METALLIC AT DAMAGED AREAS, WELDS ETC.	5 15.1

TAG	DESCRIPTION	DETAIL
<b>SITE FURNISHINGS</b>		
C1	COURTYARD CHAIR: CONTEMPORARY CHAIR, 30" W X 24" D X 30" H AS MANUFACTURED BY WEATHERED ESTATE FURNITURE, ROCKLAND, ME	1 15.1
C2	COURTYARD BENCH: CUSTOM PARK SETTEE, 72" L X 23" D X 33" H AS MANUFACTURED BY WEATHERED ESTATE FURNITURE, ROCKLAND, ME	2 15.1
C3	ORNAMENTAL FEATURE VESSEL #1 XL BANDED EBRO WITH LID MODEL VESSEL, 60" H X 44" MAX DIA X 31" RIM DIA X 26.5" OPENING X 57.5" INTERIOR DEPTH X 18" FOOT AS MANUFACTURED BY LUNAFORM LLC, SULLIVAN, ME	3 15.1
C4	ORNAMENTAL FEATURE VESSEL #2 BANDED LUNA MODEL VESSEL, 40" H X 36" DIA X 16.5" RIM DIA X 11.5" OPENING X 37.5" INTERIOR DEPTH X 17" FOOT AS MANUFACTURED BY LUNAFORM LLC, SULLIVAN, ME	3 15.1
C5	ORNAMENTAL FEATURE VESSEL #3 BANDED LUNA MODEL VESSEL, 24" H X 24" DIA X 16.5" RIM DIA X 13.5" OPENING X 22.5" INTERIOR DEPTH X 12" FOOT AS MANUFACTURED BY LUNAFORM LLC, SULLIVAN, ME	3 15.1
<b>ART ELEMENTS</b>		
D1	ART ELEMENTS IN REAR TERRACE: PROVIDE AN ALLOWANCE AS ACTUAL ELEMENT AND BUDGET TO BE DETERMINED WITH INPUT FROM CLIENT - ASSUME TWO KINETIC SCULPTURES, ONE FOR EACH LANDSCAPE TERRACE	
D2	LAWN: SODDED LAWN OVER 6" SAND BASED HIGH USE MANUFACTURED LAWN SOIL COMPOSED OF LOAM, SAND AND AGED COMPOST IN PERCENTAGES TO BE DEFINED	2 15.2
D3	PLANTING BED: PLANTING PER PLANTING PLAN OVER 18" SAND BASED MANUFACTURED PLANTING SOILS COMPOSED OF LOAM, SAND AND AGED COMPOST IN PERCENTAGES TO BE DEFINED WITH ADVANTAGE FLAT PANEL PIPE UNDERDRAIN BY ADVANCED DRAINAGE SYSTEMS, INC., TRUJUMAN BOULEVARD, HILLIARD, WHICH IS SLOPED TO AND CONNECTED TO THE STORM DRAINAGE SYSTEM.	3 15.2
<b>SITE LIGHTING</b>		
E1	FEATURE LIGHT 1 / IN GROUND FLUSH TREE UPLIGHTS - MODEL DENALI, COLOR ALUMINUM BY BK LIGHTING, MADERA, CA, PH# 559-438-5800 (TOTAL QUANTITY = 10)	1 15.3
E2	FEATURE LIGHT 2 / GROUND LIGHT IN PLANT BED - MODEL LITESTICK WITH MUSHROOM DOME, COLOR ALUMINUM BY BK LIGHTING, MADERA, CA, PH# 559-438-5800 (TOTAL QUANTITY = 11)	2 15.3
E3	FEATURE LIGHT 3 / LIGHTS AT WOOD SCREEN - MODEL MICRO NITE SIGN STAR STYLE, COLOR ALUMINUM BY BK LIGHTING, MADERA, CA, PH# 559-438-5800 (TOTAL QUANTITY = 7)	3 15.3
E4	FEATURE LIGHT 4 / WALL FACADE LIGHTING AT REAR COURTYARD - MODEL SARATOGA, COLOR ALUMINUM BY BK LIGHTING, MADERA, CA, PH# 559-438-5800 (TOTAL QUANTITY = 4)	4 15.3
<b>DRAINAGE, IRRIGATION AND UTILITIES</b>		
F1	DRAIN INLETS IN COURTYARD: NYLOPLAST 12" SQUARE LIGHT DUTY PEDESTRIAN GRATE, MATERIAL: BRONZE OVER PVC DRAIN INLET/ BASIN BY NYLOPLAST, BUFORD, GA, PH# 770-832-2443	
F2	QUICK COUPLER VALVE TO BE PROVIDED WITH THE IRRIGATION SYSTEMS FOR MAINTENANCE, WATERING AND CLEAN UP IN EACH LANDSCAPE COURTYARD	
F3	WUNDERCOVER MANHOLE COVER BY WUNDERCOVERS INC, LAKE TAHOE, NV, PH# 775-400-2883	
F4	ADVANCED SITE UNDERNEATH DRAIN BY ADVANCED DRAINAGE SYSTEMS INC, 4640 TRUJUMAN BLVD, HILLIARD, OHIO 43029 PH# 605-921-8710	
F5	ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC HIGH EFFICIENCY IRRIGATION SYSTEM WITH METER PIT, BACKFLOW PREVENTOR AND CONTROLLER TO BE LOCATED CONCEALED WITHIN THE BUILDING.	



**1 TERRACE COURTYARD**  
SCALE: 1/4" = 1'-0"



**GRAPHIC LEGEND**

SYMBOL	DESCRIPTION
○	SHEET KEYNOTES

**GENERAL SHEET NOTES**

- MATERIAL PLAN PROVIDES MATERIAL DESCRIPTION, DETAIL REFERENCES AND GENERAL LOCATIONS OF PAVING TYPES.
- BOULDERS AND ESSENTIAL MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- PLANT BEDS TO BE IRRIGATED, IRRIGATION TO BE DESIGN/BUILD BY CONTRACTOR.
- WHERE PLAN SHOWS CURVED CURBS, WALLS, AND STAIRS, PROVIDE RADIAL GRANITE TO MEET GEOMETRIES. IN NO CASE WILL STRAIGHT SEGMENTS BE ACCEPTABLE IN LIEU OF CURVED RADI UNDER R=200'.

**SMITHGROUP**

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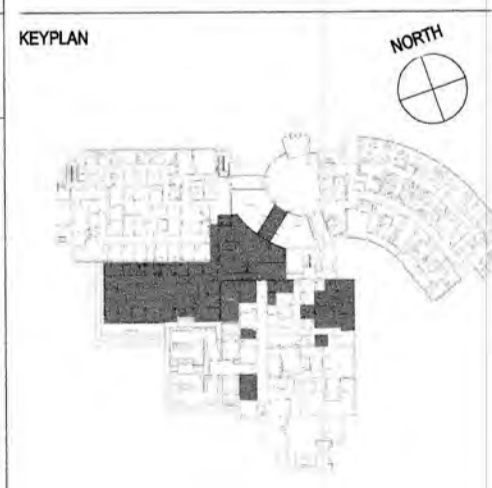
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DESIGN DEVELOPMENT SET	2	MAY 28 2020
SD SET - FOR PRICING	1	JAN 6 2020

**SEALS AND SIGNATURES**

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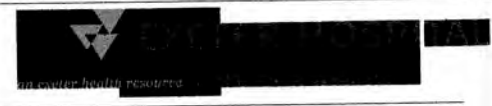


SHEET TITLE  
**MATERIALS PLAN**

PROJECT NUMBER  
**L1.1**

SHEET NUMBER

DRAWING NOT TO SCALE



**GRAPHIC LEGEND**

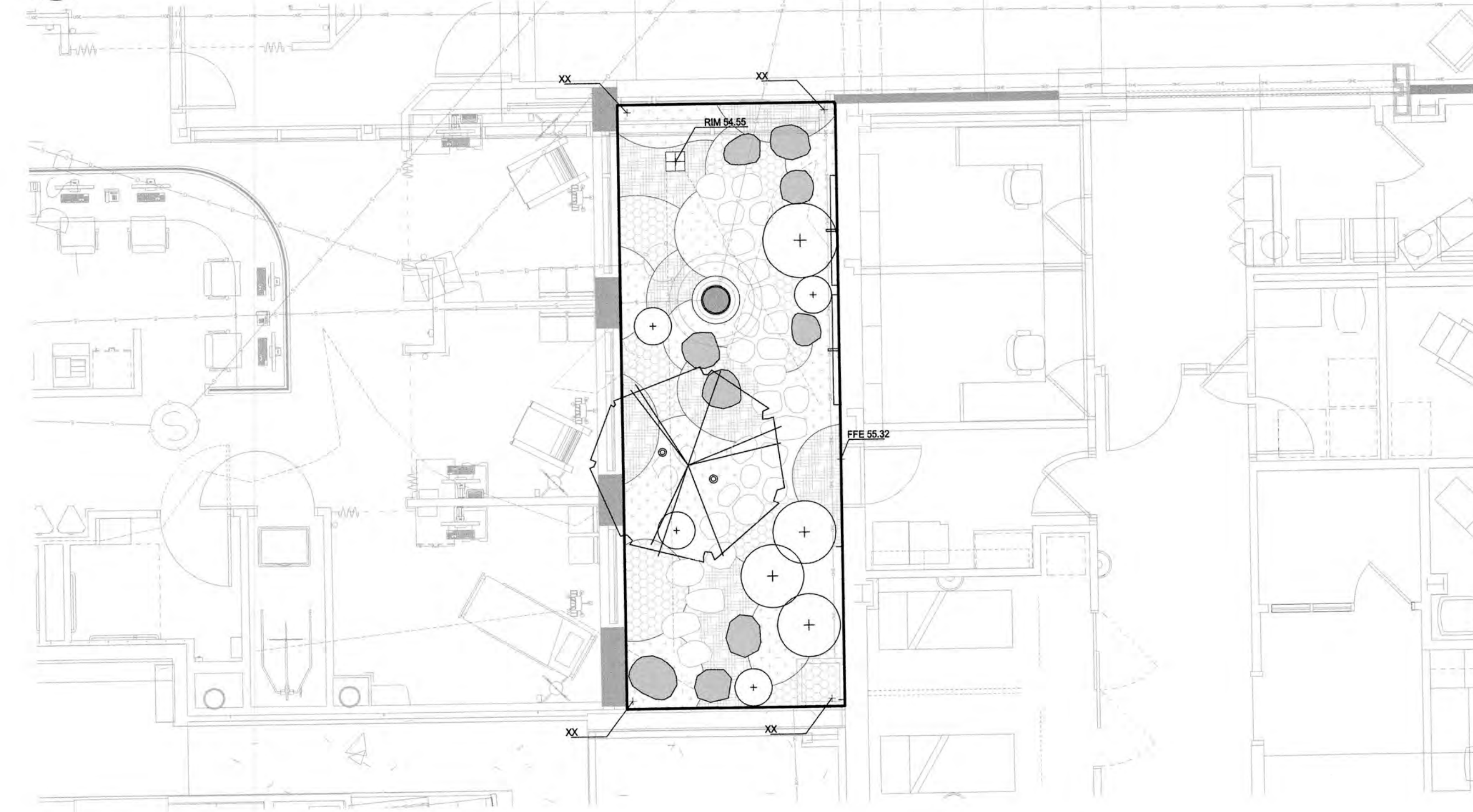
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR
-15-	PROPOSED CONTOUR
(XX.XX)	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
RIM	TOP OF DRAINAGE INLET
HP	HIGH POINT
EX	EXISTING GRADE TO REMAIN
FFE	FINISH FLOOR ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
TC	TOP OF CURB ELEVATION
BC	BOTTOM OF CURB ELEVATION
TS	TOP OF STEP ELEVATION
BS	BOTTOM OF STEP ELEVATION
TR	TOP OF RAMP ELEVATION
BR	BOTTOM OF RAMP ELEVATION

**GENERAL SHEET NOTES**

- GRADING NOTES:**
- EXISTING CONDITIONS SURVEY (DATED JANUARY 29, 2020) WAS PROVIDED BY JONES & BEACH ENGINEERS, 85 PORTSMOUTH AVE. STRATHAM, NH 03855
  - REVIEW DRAWINGS TO DETERMINE THE TOTAL SCOPE AND COORDINATION OF WORK. EMPLOY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER TO VERIFY AND LAYOUT GRADES, LINES AND DIMENSIONS SHOWN ON DRAWINGS. VERIFY EXISTING GRADES AND ELEVATIONS OF ADJACENT SITE CONDITIONS WITH ELEVATIONS ON DRAWINGS PRIOR TO BEGINNING WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - USE ONE SINGLE BENCHMARK FOR WORK.
  - GRADE EVENLY BETWEEN SPOT GRADES AS NOTED.
  - THE CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION OF ANY TYPE.
  - EXCAVATE BY HAND IN CLOSE PROXIMITY TO EXISTING UTILITIES, STRUCTURES AND ITEMS TO REMAIN, INCLUDING TREES.
  - RIM ELEVATIONS OF ANY NEW / EXISTING DRAINAGE AND UTILITY STRUCTURES SHALL BE FLUSH WITH FINAL SURROUNDING GRADES SO NOT TO CAUSE A TRIP EDGE.
  - FINAL SHAPING OF EARTHWORK SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT AND OWNER. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ROUGH GRADING BEFORE THE CONTRACTOR COMMENCES FINE GRADING AND LAYING OF TOPSOIL.
  - PITCH PAVEMENT TO PROVIDE POSITIVE DRAINAGE.
  - PAVEMENT CROSS PITCH SHALL NOT BE GREATER THAN 1.9% OR LESS THAN 0.50%.



**1 COURTYARD ONE**  
SCALE: 1/4" = 1'-0"



**2 COURTYARD TWO**  
SCALE: 1/4" = 1'-0"

**REFERENCE KEYNOTES**

ISSUED FOR	REV	DATE

**SHEET KEYNOTES**



**DRAWING NOT TO SCALE**

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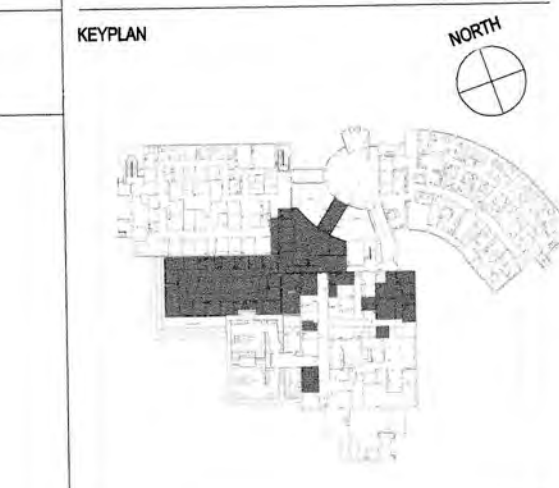
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DESIGN DEVELOPMENT SET	2	MAY 26 2020
SO SET - FOR PRICING	1	JAN 6 2020

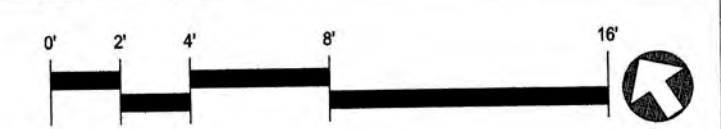
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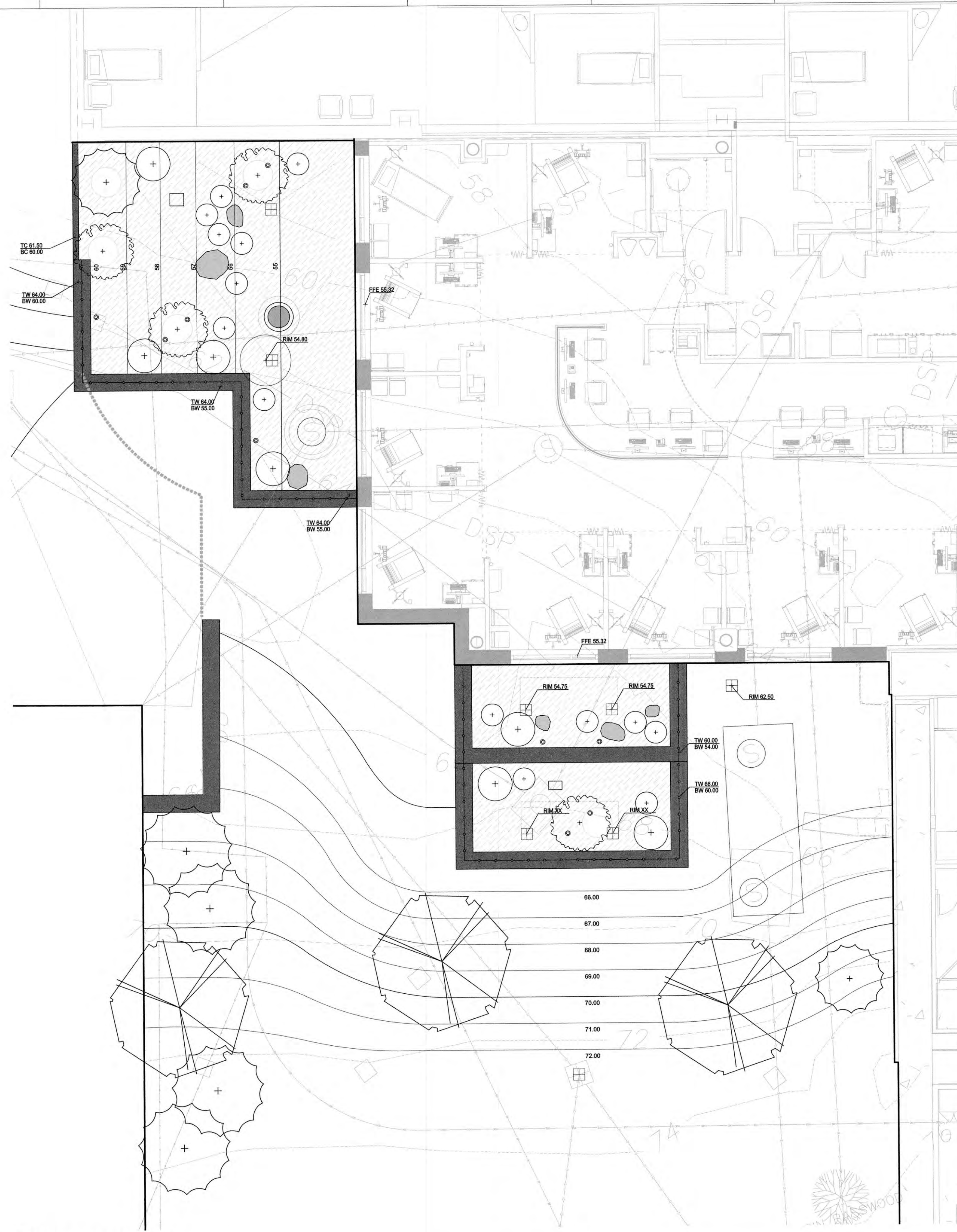
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**SHEET TITLE**  
**SURFACE GRADING PLAN**

PROJECT NUMBER  
**L2.0**  
SHEET NUMBER





**GRAPHIC LEGEND**

SYMBOL	DESCRIPTION
(---)	EXISTING CONTOUR
(- - -)	PROPOSED CONTOUR
(XX.XX)	EXISTING SPOT ELEVATION
(+)	PROPOSED SPOT ELEVATION
RIM	TOP OF DRAINAGE INLET
HP	HIGH POINT
EX	EXISTING GRADE TO REMAIN
FFE	FINISH FLOOR ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
TC	TOP OF CURB ELEVATION
BC	BOTTOM OF CURB ELEVATION
TS	TOP OF STEP ELEVATION
BS	BOTTOM OF STEP ELEVATION
TR	TOP OF RAMP ELEVATION
BR	BOTTOM OF RAMP ELEVATION

**GENERAL SHEET NOTES**

- GRADING NOTES:**
- EXISTING CONDITIONS SURVEY (DATED: MARCH 19, 2019) WAS PROVIDED BY FELDMAN LAND SURVEYORS, 152 HAMPDEN STREET, BOSTON, MA 02119
  - REVIEW DRAWINGS TO DETERMINE THE TOTAL SCOPE AND COORDINATION OF WORK. EMPLOY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER TO VERIFY AND LAYOUT GRADES, LINES AND DIMENSIONS SHOWN ON DRAWINGS. VERIFY EXISTING GRADES AND ELEVATIONS OF ADJACENT SITE CONDITIONS WITH ELEVATIONS ON DRAWINGS PRIOR TO BEGINNING WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
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  - PITCH PAVEMENT TO PROVIDE POSITIVE DRAINAGE.
  - PAVEMENT CROSS PITCH SHALL NOT BE GREATER THAN 1.5% OR LESS THAN 0.50%.

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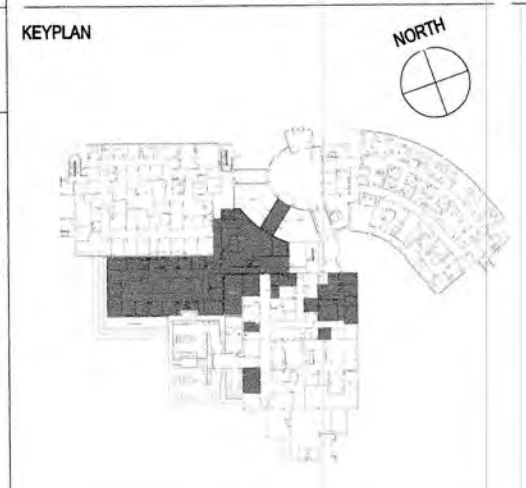
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SD SET - FOR PRICING	1	JAN 6 2020

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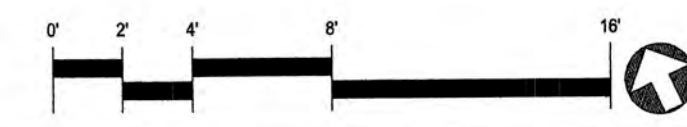


SHEET TITLE  
**SURFACE GRADING PLAN**

PROJECT NUMBER  
 12034

SHEET NUMBER  
**L2.1**

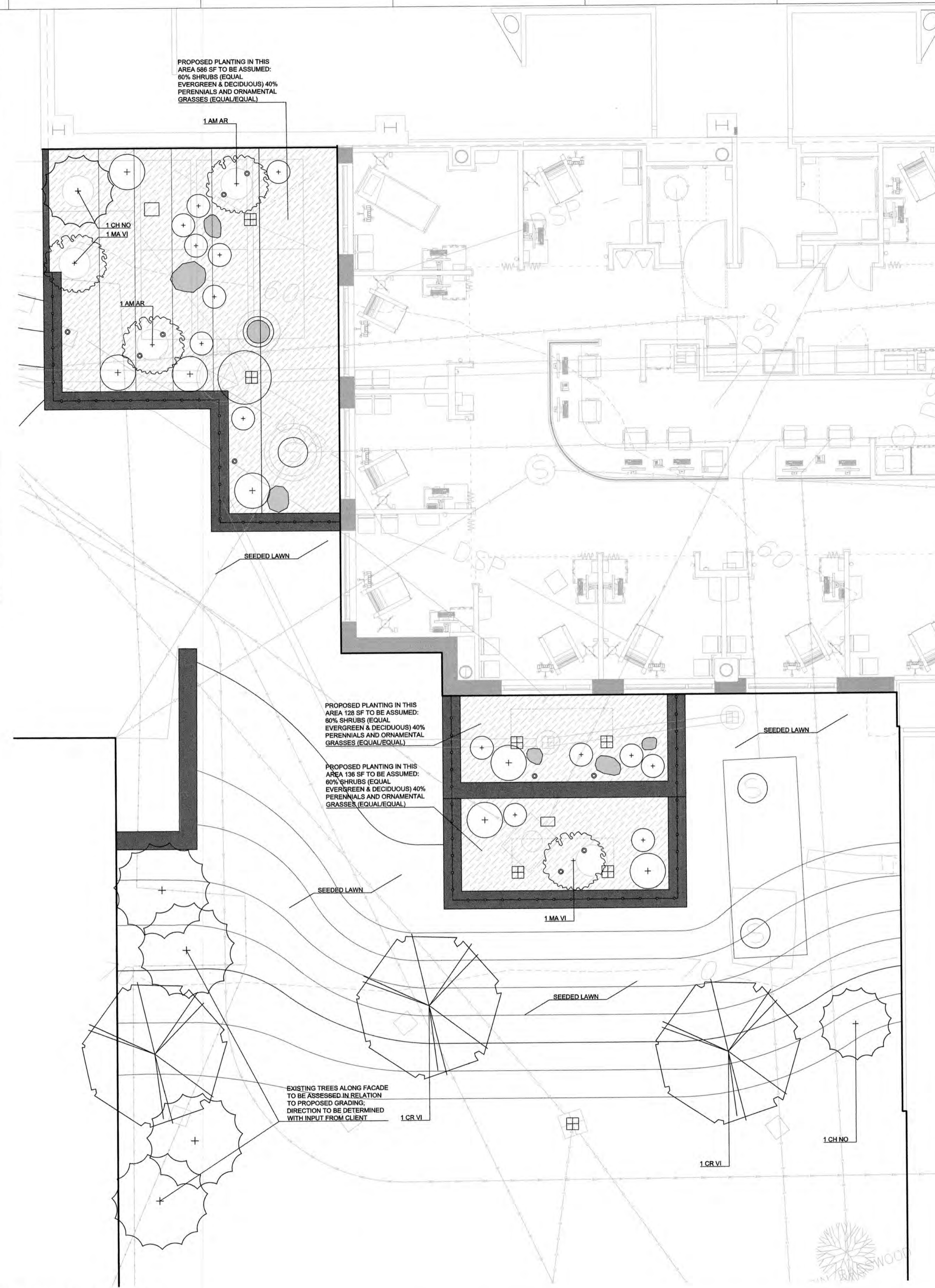
**1 TERRACE COURTYARD**  
 SCALE: 1/4" = 1'-0"



DRAWING NOT TO SCALE



Symbol	Quantity	Botanical Name	Common Name	Size	Notes
<b>TREES</b>					
AM AR	2	<i>Ameiarcher arborea</i>	Downy Serviceberry	10-12' ht, B&B	Multi-stem
CH NO	2	<i>Chamaecyparis nootkatensis</i> 'Pendula'	Weeping Alaskan Cedar	10-12' ht, B&B	
CR VI	2	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	4" caliper, B&B	
MA VI	2	<i>Magnolia virginiana</i>	Sweetbay Magnolia	4" caliper, B&B	
SY RE	1	<i>Syringa reticulata</i>	Japanese Lilac Tree	3" cal, B&B	
ST PS	2	<i>Stewartia pseudocamellia</i>	Japanese Stewartia	4-4.5" cal, B&B	Single Stem
<b>SHRUBS</b>					
Bu Bc		Buddleia x Lo & Behold 'Blue Chip'	Blue Chip Buddleia	#3 Pot	
Co Ad		Cotoneaster adpressus 'Tom Thumb'	Tom Thumb Creeping Cotoneaster	#2 Pot	
Da Me		Daphne x medfordensis 'Lawrence Crocker'	Lawrence Crocker Dwarf Daphne	#2 Pot	
De Gr		Deutzia gracilis 'Nikko'	Nikko Deutzia	#3 Pot	
Fo Ga		Fothergilla x gardenia 'Blue Mist'	Blue Mist Fothergilla	#3 Pot	
Hy Qu		Hydrangea quercifolia 'Little Honey'	Compact Oakleaf Hydrangea	#3 Pot	
Hy Se		Hydrangea serrata 'Tiny Tuff Stuff'	Tiny Tuff Stuff Hydrangea	#3 Pot	
It Vi		Itea virginica 'Little Henry'	Little Henry Sweetspire	#3 Pot	
Ju Pr		Juniperus procumbens 'Nana'	Dwarf Japanese Juniper	#3 Pot	
Ka La		Kalmia latifolia 'Elf'	Elf Mountain Laurel	15" - 18"	
Le Fo		Leucothoe fontanesiana 'compacta'	Compact Dwarf Leucothoe	15" - 18"	
Pi Ja		Pieris japonica 'Prelude'	Compact Japanese Pieris	15" - 18"	
Rh Pg		Rhododendron x 'Purple Gem'	Purple Gem Rhododendron	#3 Pot	
Sp Be		Spirea betulifolia 'Tor'	Birchleaf Spirea	#3 Pot	
Sp Ja		Spirea japonica 'Alpina'	Alpine Spirea	#3 Pot	
Va An		Vaccinium angustifolium	Lowbush Blueberry	#1 Pot	
<b>PERENNIALS &amp; GROUNDCOVERS</b>					
aj bg		Ajuga 'Burgandy Glow'	Variegated Bugleweed	#1 Pot	
al al		Alchemilla alpine	Alpine Lady's Mantle	#1 Pot	
as ca		Asarum canadensis	Wild Ginger	#1 Pot	
as al		Aster alpinus 'Happy End'	Happy End Alpine Aster	#1 Pot	
co ve		Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed	#1 Pot	
di ex		Dicentra exima x 'Luxuriant'	Bleeding Heart	#3 Pot	
ep ve		Epimedium x versicolor 'Sulphureum'	Barrenwort	#1 Pot	
he ba		Helleborus x ballardiae 'Pink Frost'	Pink Lenten Rose	#3 Pot	
he ca		Heuchera 'Caramel'	Caramel Coral Bells	#1 Pot	
ho kr		Hosta 'Kryptonite'	Kryptonite Hosta	#2 Pot	
po hu		Polygonatum humile	Dwarf Solomon's Seal	#2 Pot	
po ac		Polystichum acrostichoides	Christmas Dagger Fern	#1 Pot	
st by		Stachys byzantine 'Silver Carpet'	Lamb's Ear	#1 Pot	
ti ps		Tiarella x 'Pink Skyrocket'	Pink Skyrocket Foamflower	#1 Pot	
<b>GRASSES</b>					
ca pe		Carex pensylvanica	Pennsylvania Sedge	#2 Pot	
ga od		Galium odoratum	Sweet Woodruff	#2 Pot	
ha ma		Hakonechloa macra 'Aureola'	Golden Japanese Forest Grass	#2 Pot	
li sp		Liriope muscari 'Monroe's White'	Monroe's White Lily Turf	#2 Pot	
op pl		Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 Pot	
pe al		Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	#3 Pot	



**GRAPHIC LEGEND**

- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- SEEDED LAWN
- SHRUBS, PERENNIALS, GRASSES, AND GROUNDCOVER
- PERENNIALS, GRASSES, AND GROUNDCOVER

**GENERAL SHEET NOTES**

- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN HORT (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED OF BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANTS' HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS. IRRIGATION WELL IS PROVIDED REFER TO CIVIL DRAWINGS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK

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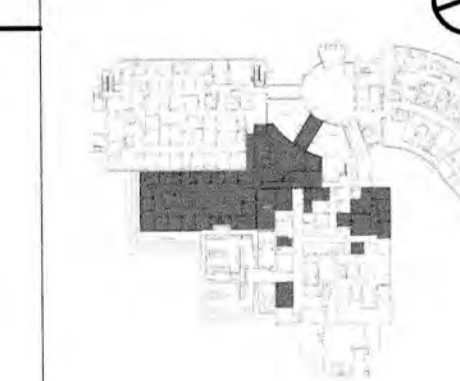
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SD SET - FOR PRICING	1	JAN 6 2020

SEALS AND SIGNATURES

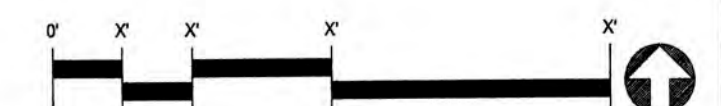
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**SHEET KEYNOTES**



**PLANTING PLAN**

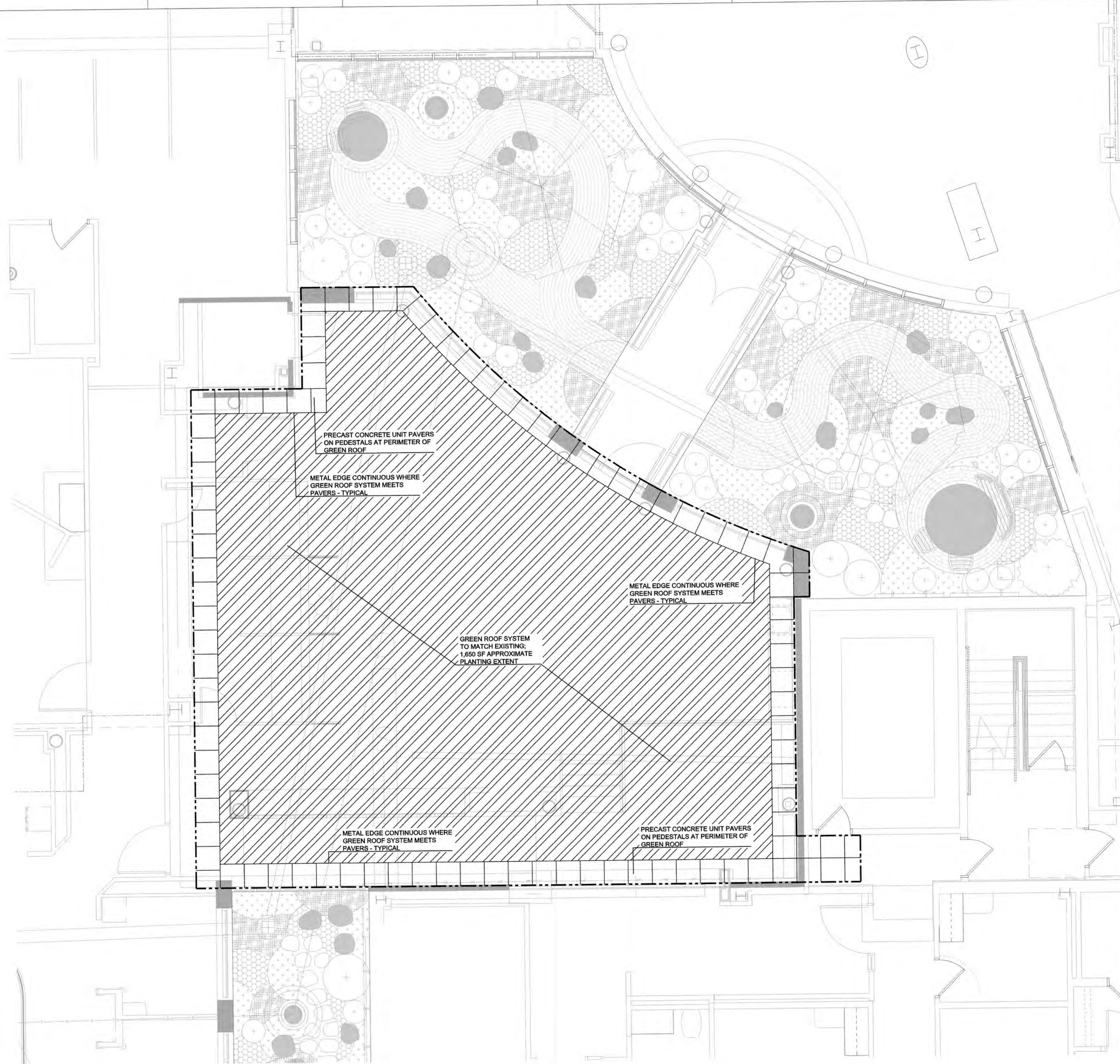
**1 TERRACE COURTYARD**  
SCALE: 1/4" = 1'-0"



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PROJECT NUMBER  
**L4.1**  
SHEET NUMBER

5/28/2020  
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**1 GREEN ROOF**  
SCALE: 1/4"=1'-0"

**GRAPHIC LEGEND**

- GREEN ROOF PLANTING

**PLANTING NOTES**

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANTS' HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK
- SOAK ALL PERENNIALS FOR 24 HOURS PRIOR TO INSTALLATION

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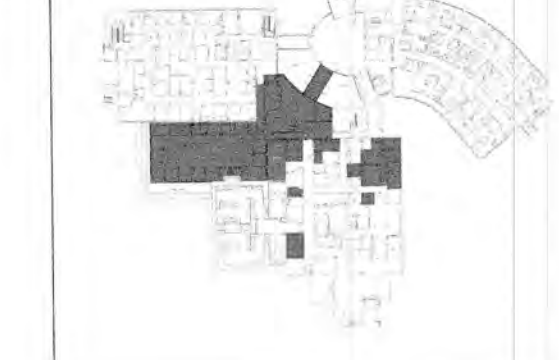
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SD SET - FOR PRICING	1	JAN 6 2020

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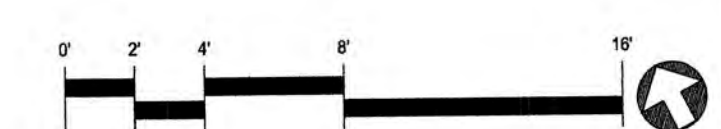
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**○ SHEET KEYNOTES**



**PLANTING PLAN  
GREEN ROOF**

PROJECT NUMBER  
**L4.2**  
SHEET NUMBER



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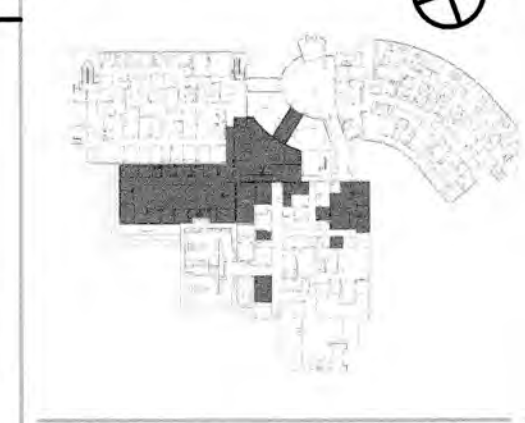
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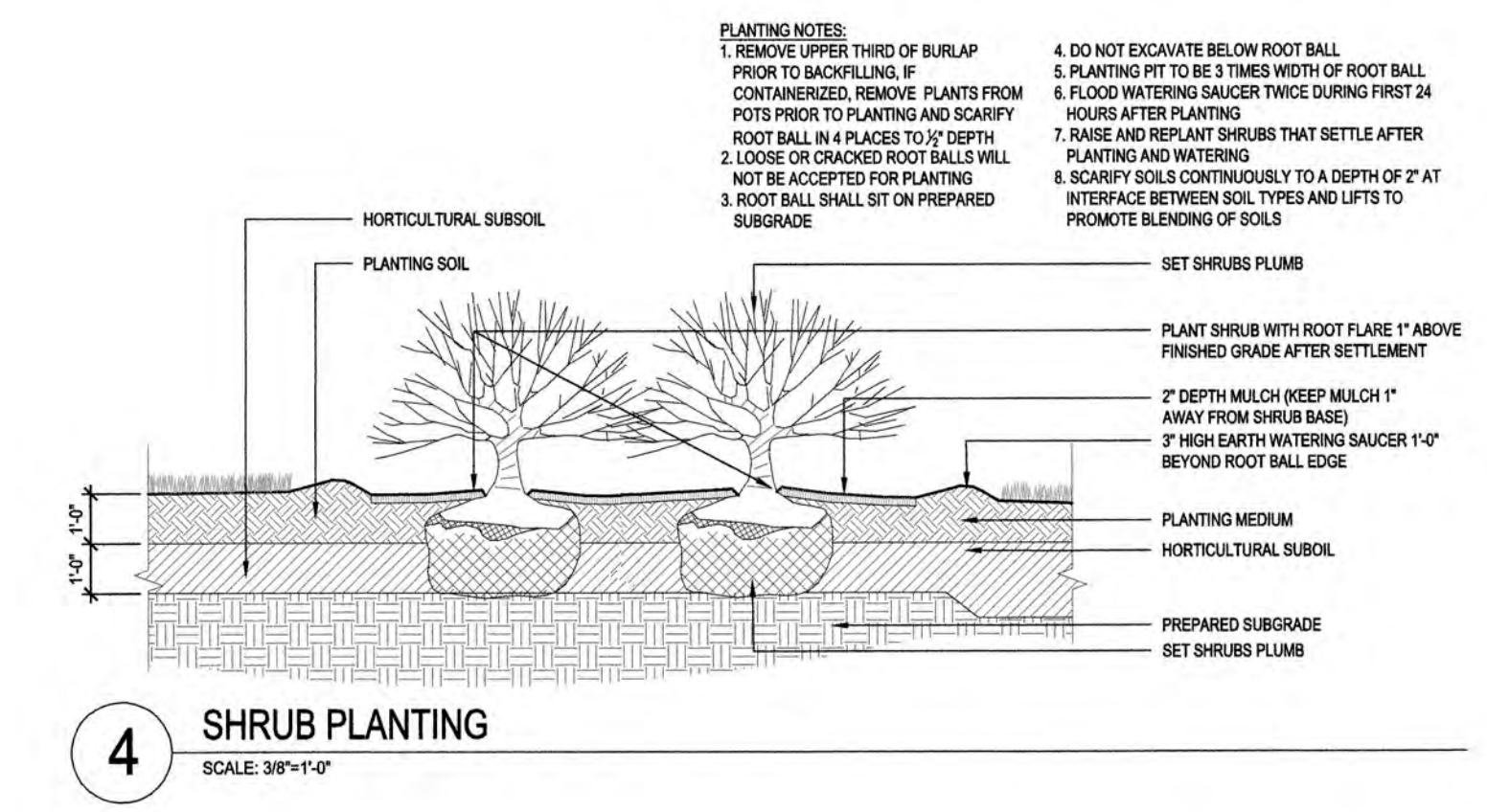
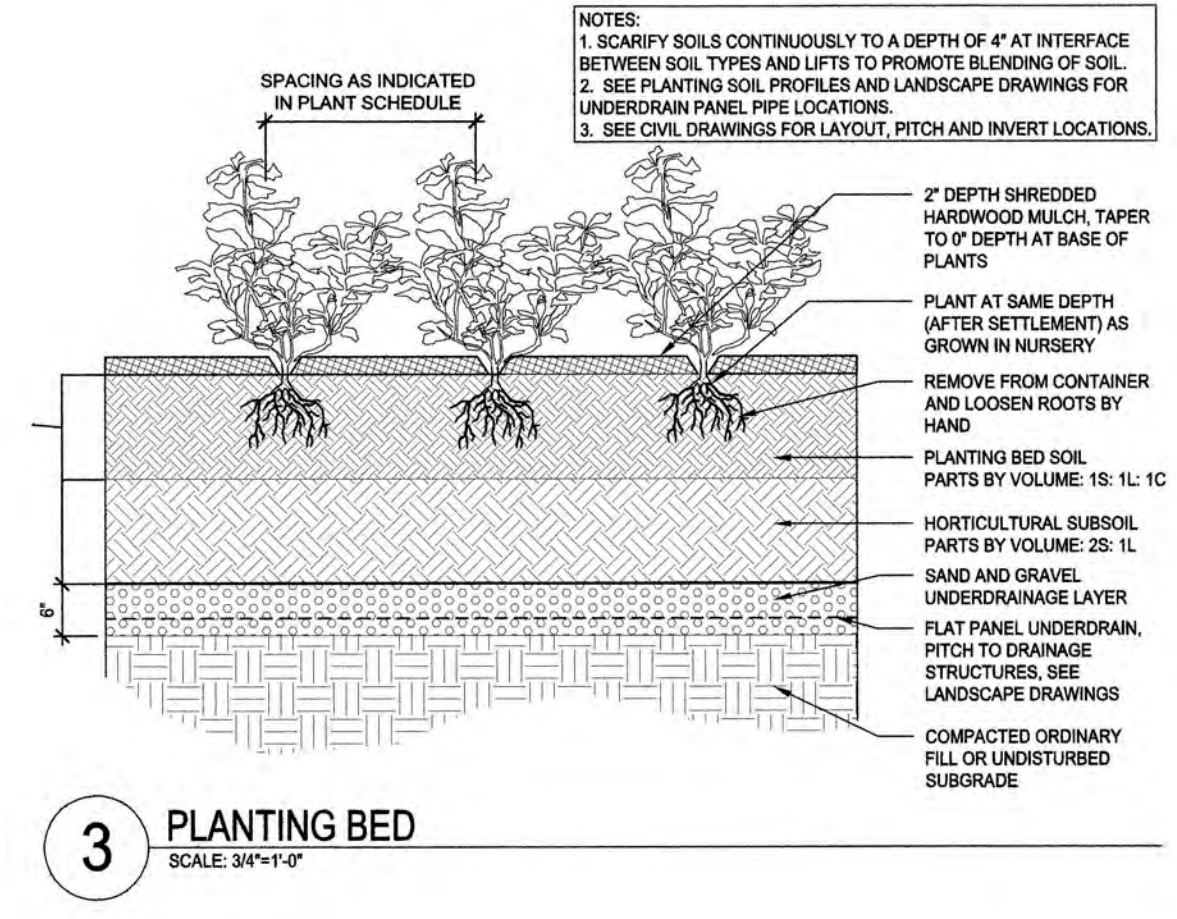
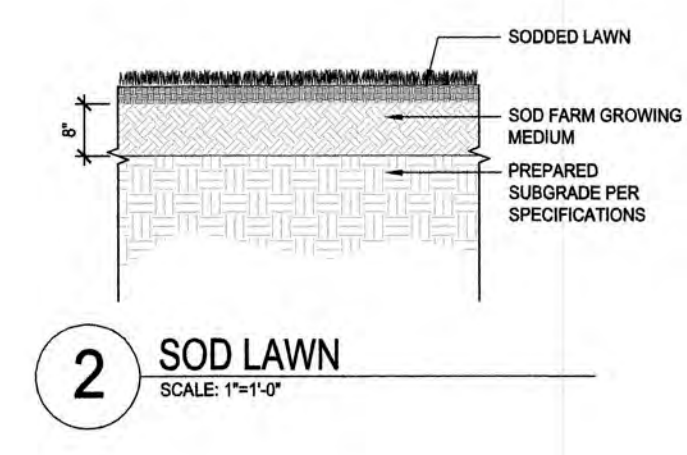
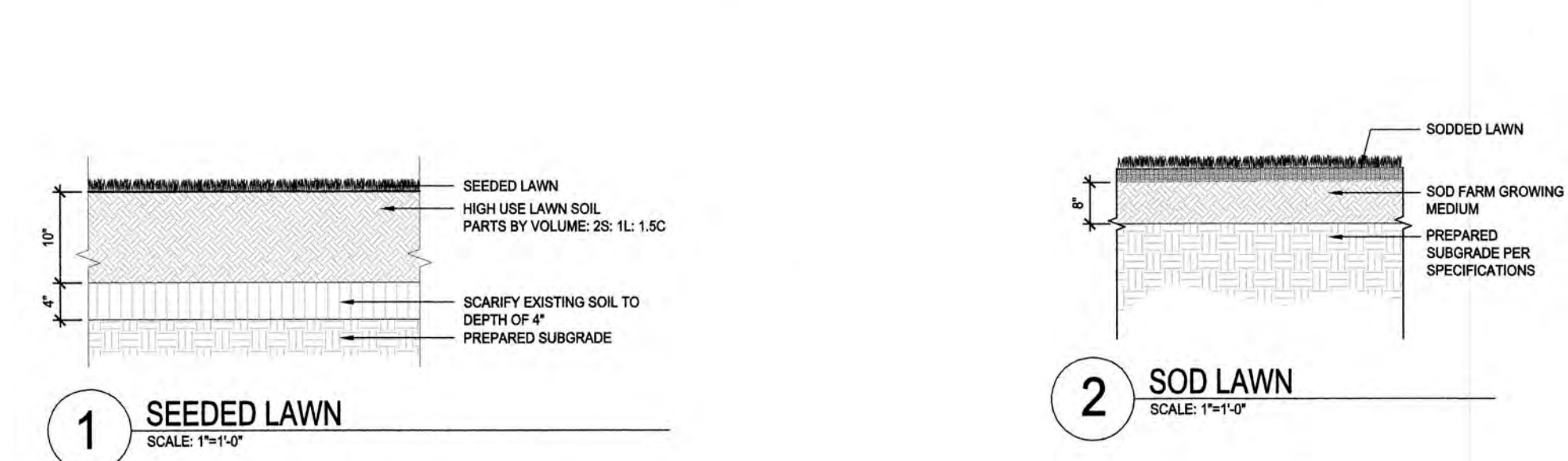
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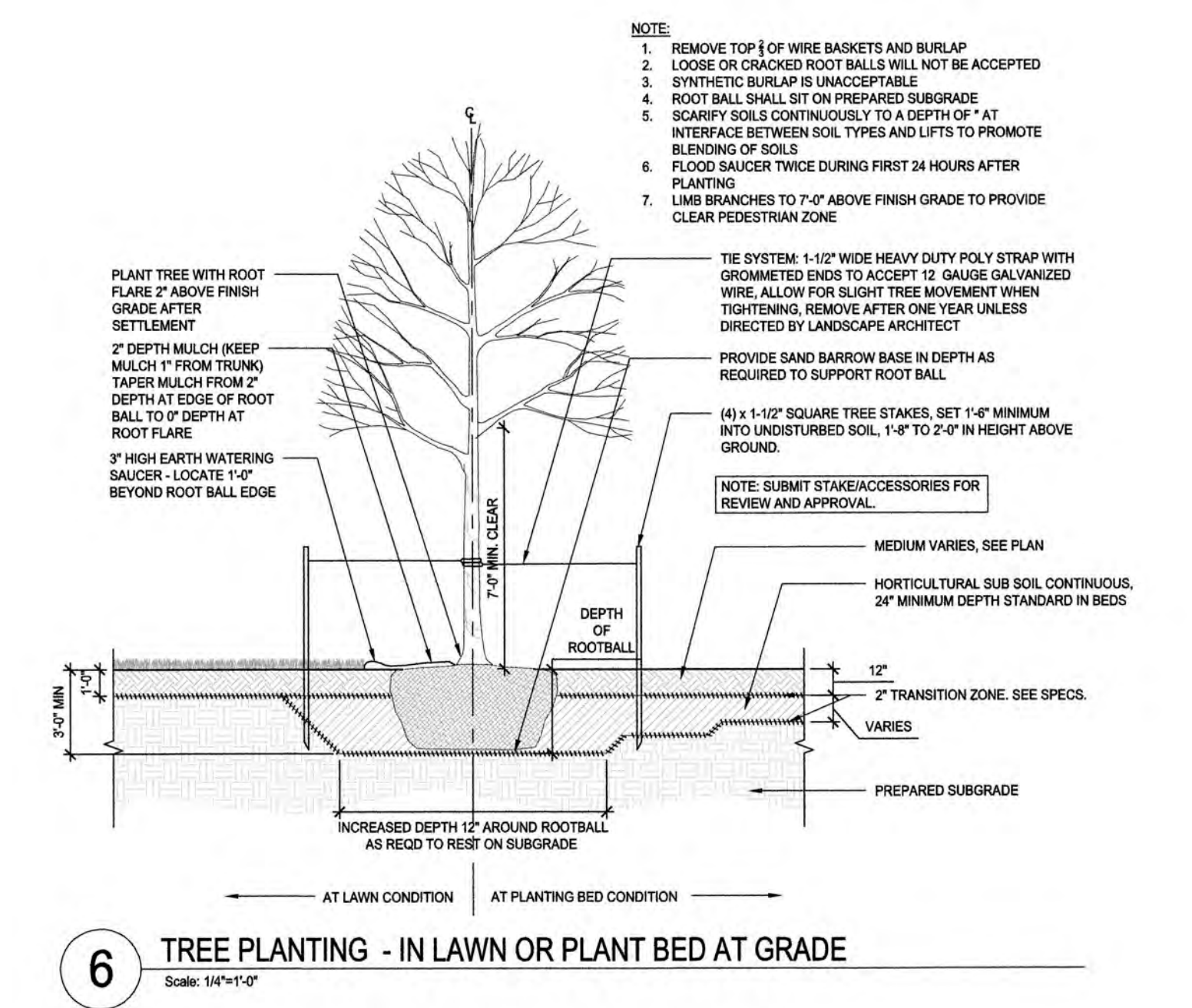
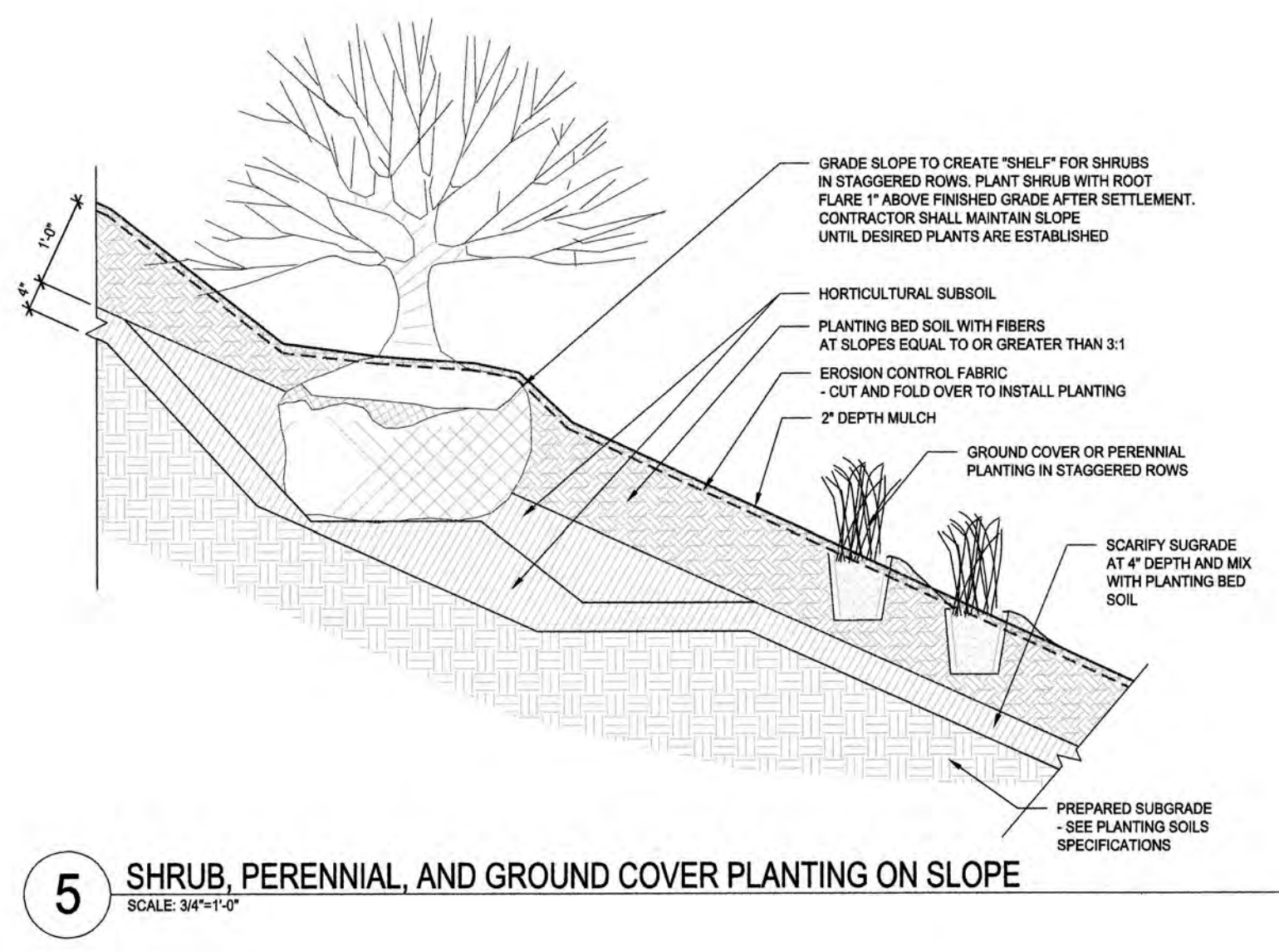
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SHEET TITLE  
LANDSCAPE DETAILS



- PLANTING NOTES:**
- 1. REMOVE UPPER THIRD OF BURLAP PRIOR TO BACKFILLING. IF CONTAINERIZED, REMOVE PLANTS FROM POTS PRIOR TO PLANTING AND SCARIFY ROOT BALL IN 4 PLACES TO 1/2" DEPTH.
  - 2. LOOSE OR CRACKED ROOT BALLS WILL NOT BE ACCEPTED FOR PLANTING.
  - 3. ROOT BALL SHALL SIT ON PREPARED SUBGRADE.
  - 4. DO NOT EXCAVATE BELOW ROOT BALL.
  - 5. PLANTING PIT TO BE 3 TIMES WIDTH OF ROOT BALL.
  - 6. FLOOD WATERING SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING.
  - 7. RAISE AND REPLANT SHRUBS THAT SETTLE AFTER PLANTING AND WATERING.
  - 8. SCARIFY SOILS CONTINUOUSLY TO A DEPTH OF 2" AT INTERFACE BETWEEN SOIL TYPES AND LIFTS TO PROMOTE BLENDING OF SOILS.



- NOTE:**
- 1. REMOVE TOP 1/3 OF WIRE BASKETS AND BURLAP
  - 2. LOOSE OR CRACKED ROOT BALLS WILL NOT BE ACCEPTED
  - 3. SYNTHETIC BURLAP IS UNACCEPTABLE
  - 4. ROOT BALL SHALL SIT ON PREPARED SUBGRADE
  - 5. SCARIFY SOILS CONTINUOUSLY TO A DEPTH OF 4" AT INTERFACE BETWEEN SOIL TYPES AND LIFTS TO PROMOTE BLENDING OF SOILS
  - 6. FLOOD SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING
  - 7. LIMB BRANCHES TO 7'-0" ABOVE FINISH GRADE TO PROVIDE CLEAR PEDESTRIAN ZONE

NOTE: SUBMIT STAKE/ACCESSORIES FOR REVIEW AND APPROVAL.

○ SHEET KEYNOTES

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