

RECORD OWNER

PATRICIA DUVAL
P.O. BOX 661
EXETER, NH 03833
BK. 5221 PG. 1648

147,693 S.F.
3.39 ACRES

- NOTES:**
- 1) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - 2) THIS PARCEL DOES NOT LIE WITHIN A FLOOD ZONE. SEE F.I.R.M. COMMUNITY PANEL 33015C 0401 E EFFECTIVE DATE MAY 17, 2005
 - 3) THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - 4) THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88.

ZONING DISTRICT

R-1 LOW DENSITY RESIDENTIAL

MINIMUM REQUIREMENTS

AREA	2 ACRES
LOT WIDTH	150'
LOT DEPTH	150'

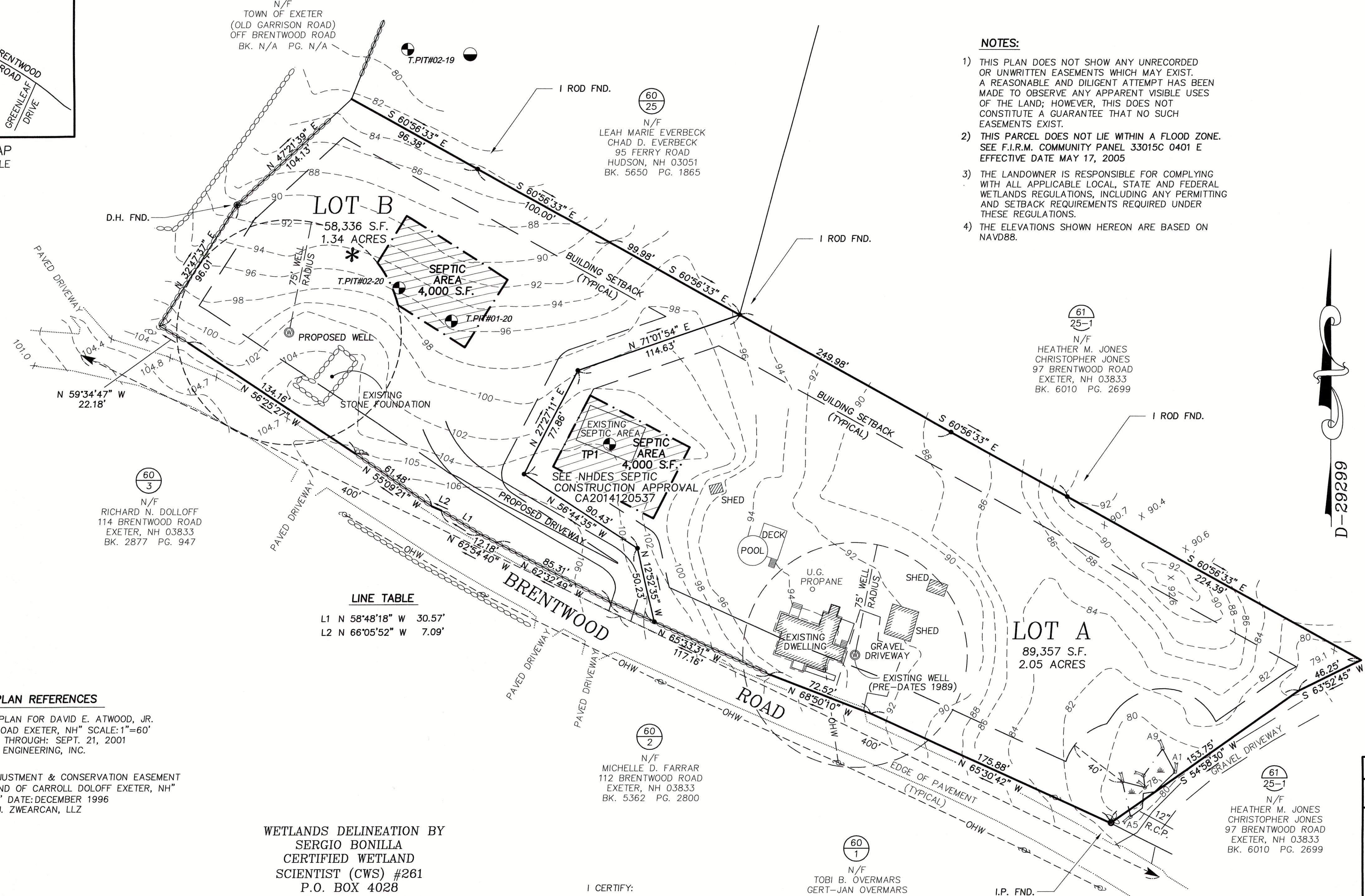
BUILDING SETBACKS

FRONT	25'
SIDE	15'
REAR	25'
WETLAND	40'

BUILDING COVERAGE

MAXIMUM	15%
MINIMUM	80%

* SEE VARIANCE FOR REDUCED LOT AREA EXETER ZONING BOARD OF ADJUSTMENT CASE #20-10 DATE: AUGUST 18, 2020



LINE TABLE

L1	N 58°48'18" W	30.57'
L2	N 66°05'52" W	7.09'

PLAN REFERENCES

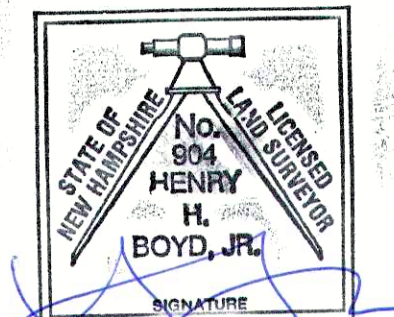
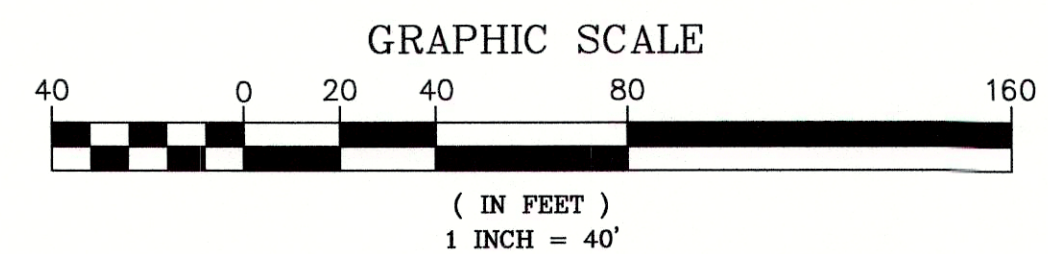
"SUBDIVISION PLAN FOR DAVID E. ATWOOD, JR. BRENTWOOD ROAD EXETER, NH" SCALE: 1"=60' DATE: REVISED THROUGH: SEPT. 21, 2001 BY: EMANUEL ENGINEERING, INC. D-29299

"LOT LINE ADJUSTMENT & CONSERVATION EASEMENT PLAN FOR LAND OF CARROLL DOLLOFF EXETER, NH" SCALE: 1"=100' DATE: DECEMBER 1996 BY: WALTER J. ZWEARGAN, LLZ D-25115

WETLANDS DELINEATION BY
SERGIO BONILLA
CERTIFIED WETLAND
SCIENTIST (CWS) #261
P.O. BOX 4028
PORTSMOUTH, NH 03802

IN ACCORDANCE WITH THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION (VERSION 2-TR-12-1, JANUARY 2012).

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN SEPTEMBER AND OCTOBER OF 2020.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.



SEE STATE OF NH
SUBDIVISION APPROVAL
eSA2020112301 11-23-2020

PLANNING BOARD CASE NUMBER 20-XX

TOPO/SEPTIC AREA SHEET

PLAN OF LAND
IN
EXETER, NH

SHOWING
A 2 LOT SUBDIVISION
105 BRENTWOOD ROAD
(ASSESSORS MAP 60 LOT 24)

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PATRICIA DUVAL
P.O. BOX 661 EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
ENGINEERS AND LAND SURVEYORS
P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
PHONE: (603) 778-0528 FAX: (603) 772-0689 WWW.MEI-NH.COM

SCALE: 1"=40'	CALC. BY: H.H.B.	PROJECT: E202429
DATE: OCT. 27, 2020	CHKD. BY: K.I.R.	SHEET 2 OF 3

NO.	DATE	DESCRIPTION	BY