

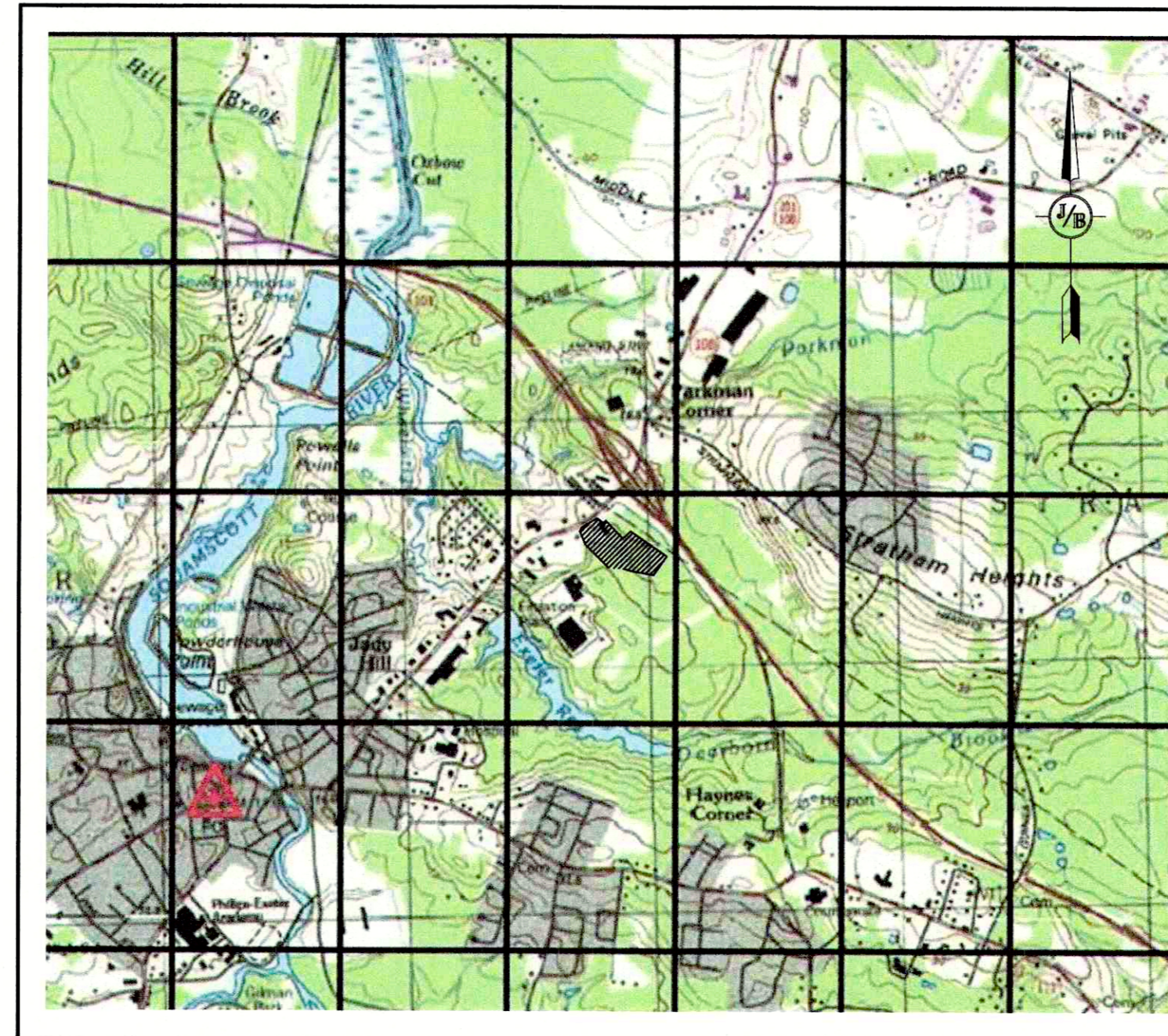
STORAGE LOT "McFARLAND FORD" TAX MAP 51, LOTS 14-1 AND 17 110 HOLLAND WAY, EXETER, NH

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN OVERVIEW
C2-1	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
L1	LIGHTING PLAN
D1	DETAIL SHEET
E1	EROSION AND SEDIMENT CONTROL DETAILS



LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT

NHDES WETLAND PERMIT:
NEW HAMPSHIRE DEPARTMENT OF
ENVIRONMENTAL SERVICES-
WETLANDS BUREAU
29 HAZEN DRIVE, P.O. BOX 95
CONCORD, NEW HAMPSHIRE 03302
(603) 271-2147
RESPONSIBLE CONSULTANT-
JONES & BEACH ENGINEERS, INC.

USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT,
NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION
(NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND
LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:
EPA STORMWATER NOTICE PROCESSING CENTER
MAIL CODE 4203M,
US EPA
1200 PENNSYLVANIA AVENUE, NW
WASHINGTON, DC 20460
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

STATUS

SUBMITTED: JAN, 2021
PERMIT NO.
DATED:
EXPIRATION:

TYPE OF PERMIT

EXETER SITE PLAN APPROVAL:
TOWN OF EXETER PLANNING BOARD
10 FRONT STREET
EXETER, NEW HAMPSHIRE 03833
(603) 778-0591
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

EXETER CONDITIONAL USE PERMIT:
TOWN OF EXETER PLANNING BOARD
10 FRONT STREET
EXETER, NEW HAMPSHIRE 03833
(603) 778-0591
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

STATUS

SUBMITTED: 01/15/21
PERMIT NO.
DATED:
EXPIRATION:
SUBMITTED: 02/02/21
PERMIT NO.
DATED:
EXPIRATION:

APPLICANT / DEVELOPER

McFARLAND FORD SALES, INC
151 PORTSMOUTH AVE
EXETER, NH
(603) 772-1144
CONTACT: CHRIS LANE
CLANE@MCFARLANDFORD.COM

CIVIL ENGINEER / SURVEYOR

JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: WAYNE MORRILL
EMAIL: WMORRILL@JONESANDBEACH.COM

OWNER OF RECORD

TAX MAP 51 LOT 14-1
MCFARLAND REALTY TRUST
151 PORTSMOUTH AVE
EXETER, NH 03833

TAX MAP 51 LOT 17
OSRAM SYLVANIA INC.
200 BALLARDVALE STREET
WILMINGTON, MA 01887

WETLAND CONSULTANT

GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833-7507
(603) 778-0644 X2
CONTACT: JAMES GOVE

WATER AND SEWER

EXETER DEPARTMENT PUBLIC WORKS
13 NEWFIELDS ROAD
EXETER, NH 03833
(603) 773-6157

ELECTRIC

UNITIL
114 DRINKWATER ROAD
KENSINGTON, NH 03833
(800) 582-7276

PROJECT PARCEL
TOWN OF EXETER
TAX MAP 51, LOTS 14-1 & 17

APPLICANT
MCFARLAND FORD SALES, INC
151 PORTSMOUTH AVE
EXETER, NH 03833

TOTAL LOT AREA
939,154 SQ. FT.
21.56 ACRES

APPROVED - EXETER, NH
PLANNING BOARD

DATE:

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Design: EMP	Draft: GDR	Date: 12/01/2020
Checked: WGM	Scale: AS NOTED	Project No.: 19198
Drawing Name: 19198-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



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0	01/14/21	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

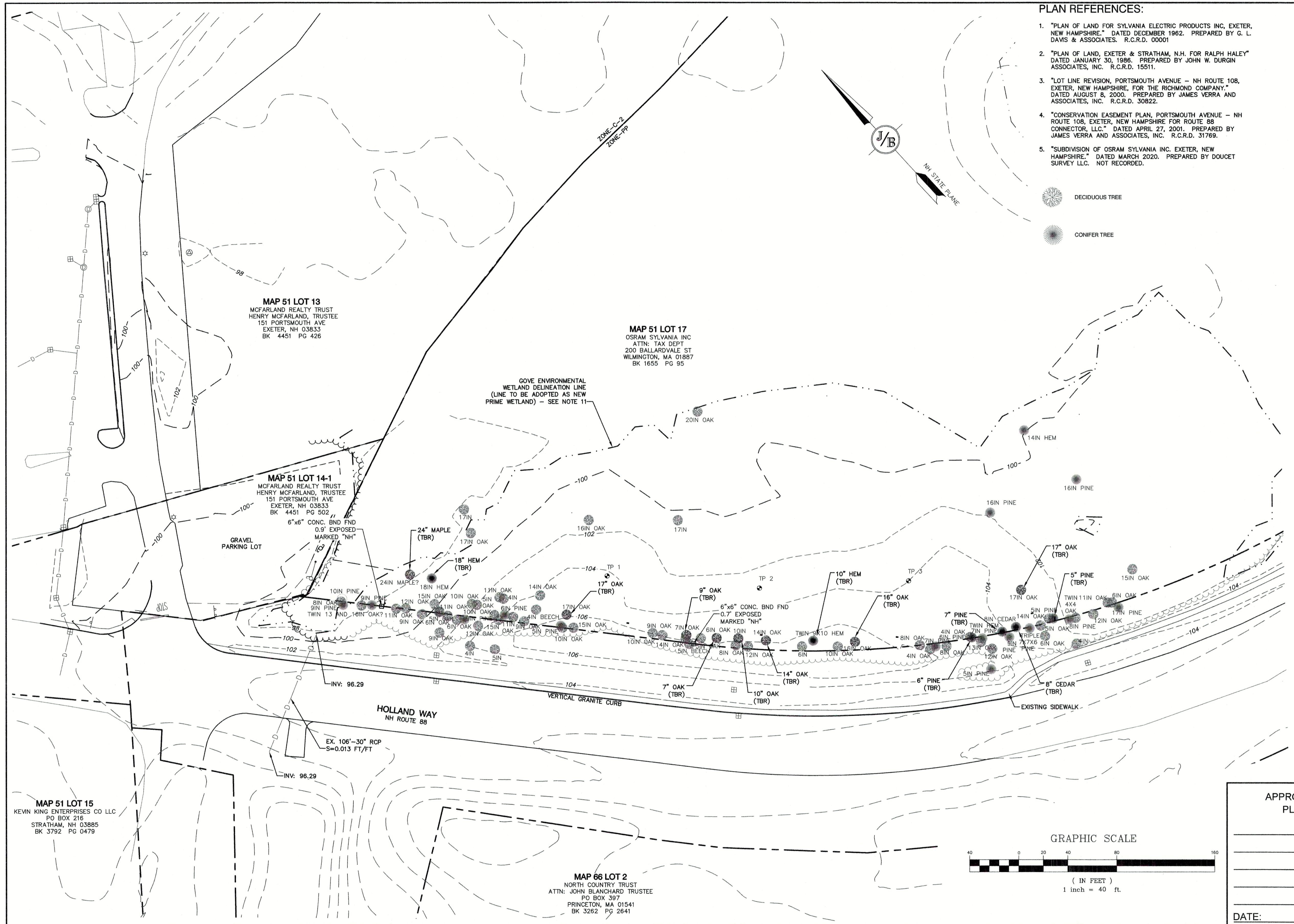
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

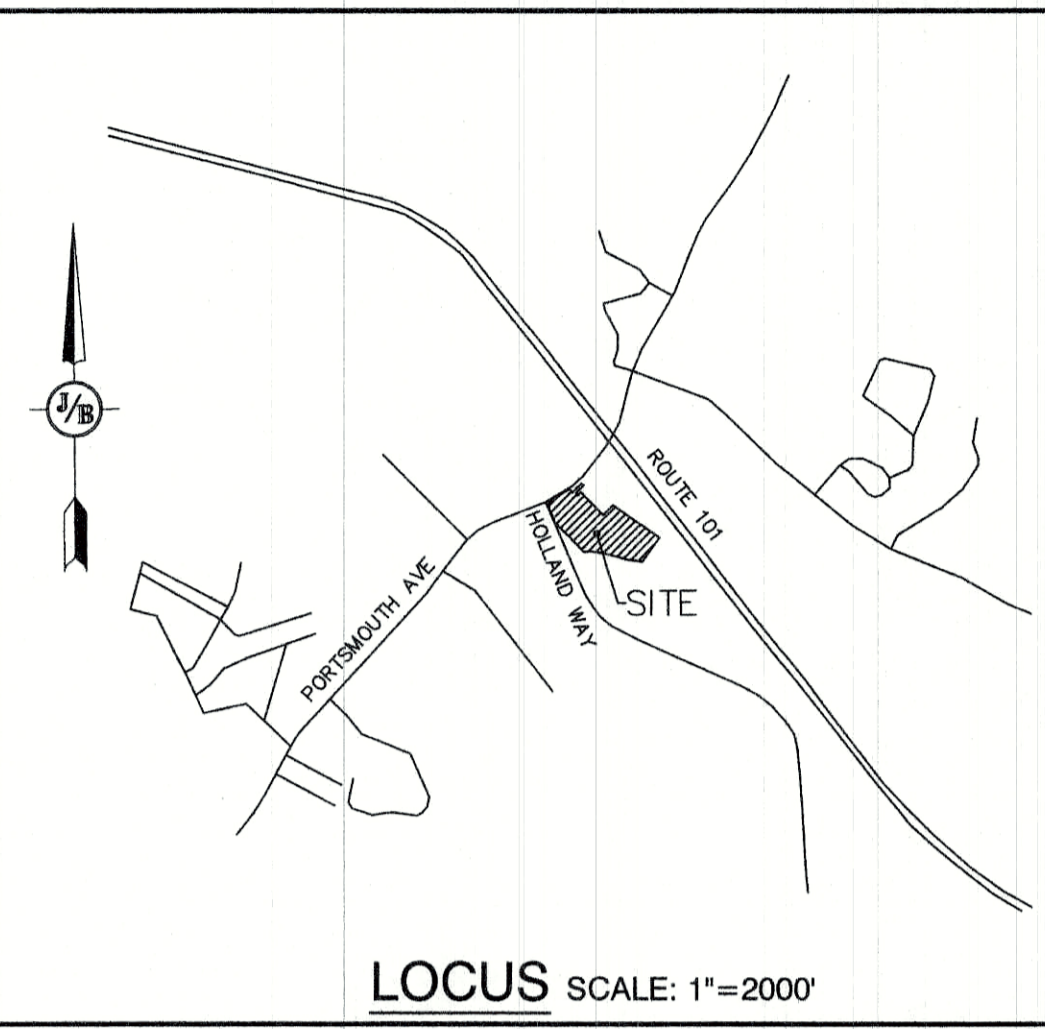
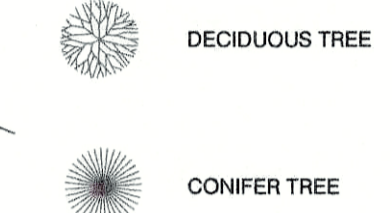
DRAWING No.	CS
SHEET 1 OF 8	JBE PROJECT NO. 19198

PARKING LOT EXPANSION, EXETER, NH



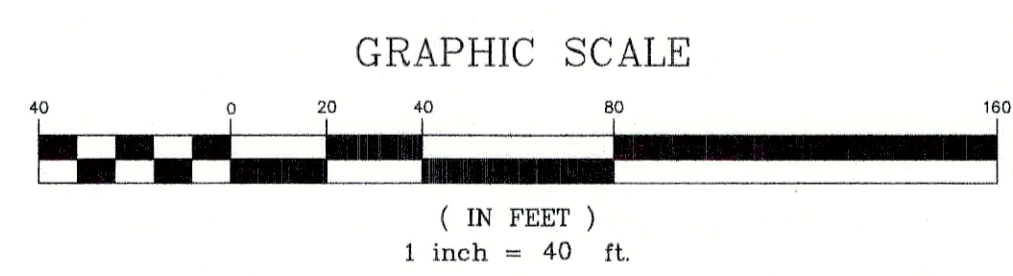
PLAN REFERENCES:

- "PLAN OF LAND FOR SYLVANIA ELECTRIC PRODUCTS INC, EXETER, NEW HAMPSHIRE." DATED DECEMBER 1962. PREPARED BY G. L. DAVIS & ASSOCIATES. R.C.R.D. 0001
- "PLAN OF LAND, EXETER & STRATHAM, N.H. FOR RALPH HALEY" DATED JANUARY 30, 1986. PREPARED BY JOHN W. DURGIN ASSOCIATES, INC. R.C.R.D. 15511.
- "LOT LINE REVISION, PORTSMOUTH AVENUE - NH ROUTE 108, EXETER, NEW HAMPSHIRE, FOR THE RICHMOND COMPANY." DATED AUGUST 8, 2000. PREPARED BY JAMES VERRA AND ASSOCIATES, INC. R.C.R.D. 30822.
- "CONSERVATION EASEMENT PLAN, PORTSMOUTH AVENUE - NH ROUTE 108, EXETER, NEW HAMPSHIRE FOR ROUTE 88 CONNECTOR, LLC." DATED APRIL 27, 2001. PREPARED BY JAMES VERRA AND ASSOCIATES, INC. R.C.R.D. 31769.
- "SUBDIVISION OF OSRAM SYLVANIA INC. EXETER, NEW HAMPSHIRE." DATED MARCH 2020. PREPARED BY DOUCET SURVEY LLC. NOT RECORDED.



NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF A PORTION OF EXETER TAX MAP 51 LOT 17. PROPERTY LINES AS SHOWN HEREON ARE FROM TAX MAPS AND PLANS OF RECORD, AND SHALL BE CONSIDERED APPROXIMATE.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEMA, ON FLOOD INSURANCE RATE MAP NO. 33015C0406E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- BASIS OF BEARING: NH STATE PLANE.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF EXETER ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO TRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDEN WALDEN & JIM GOVE OF GOVE ENVIRONMENTAL SERVICES IN JULY 2020 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.



APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 51, LOTS 14-1 & 17
DATE: _____	APPLICANT McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE EXETER, NH 03833
	TOTAL LOT AREA 939,154 SQ. FT. 21.56 ACRES

Design: EMP	Draft: GDR	Date: 12/01/2020
Checked: WGM	Scale: AS SHOWN	Project No.: 19198
Drawing Name: 19198-PLAN.dwg		
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0	01/14/21	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

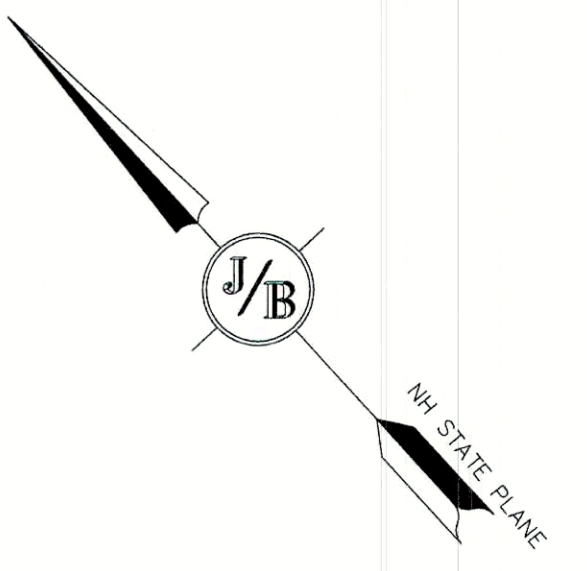
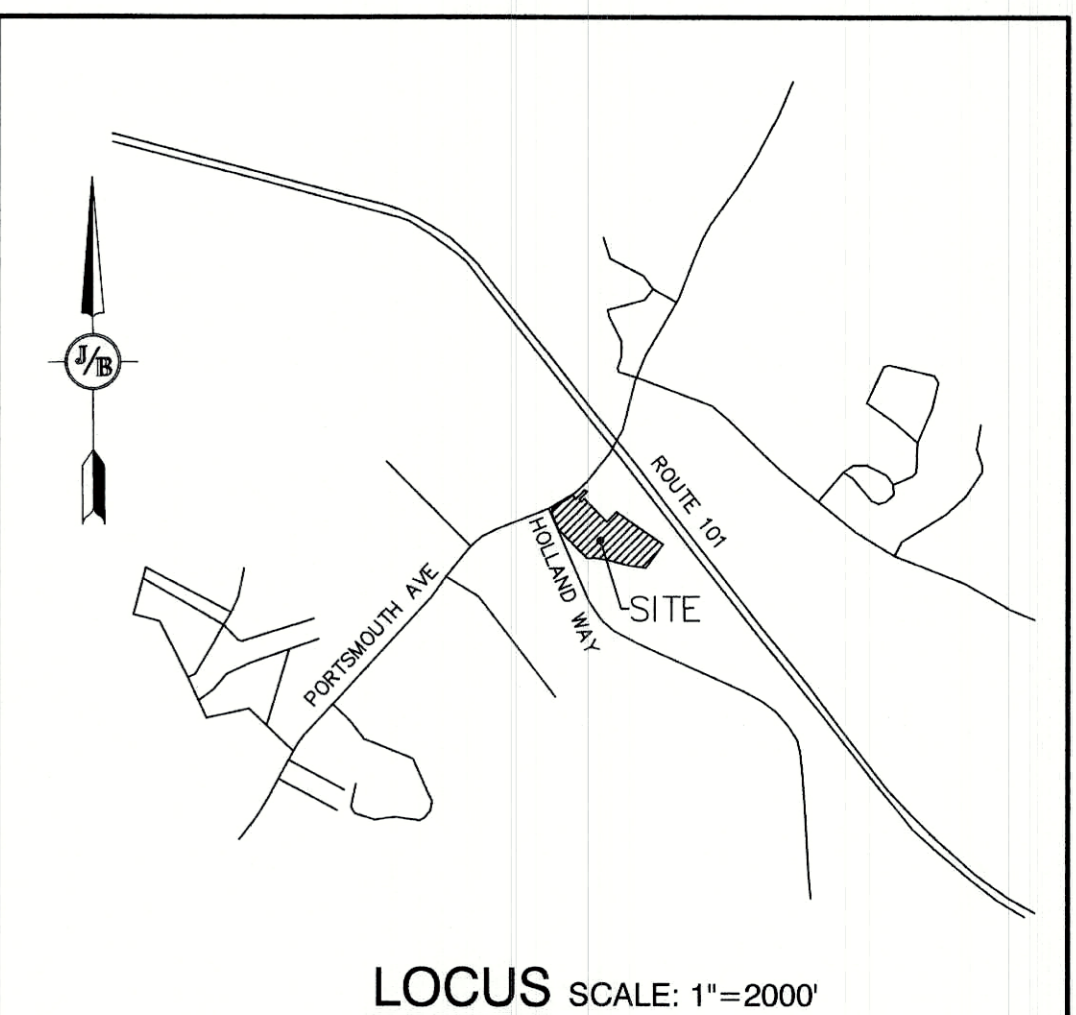
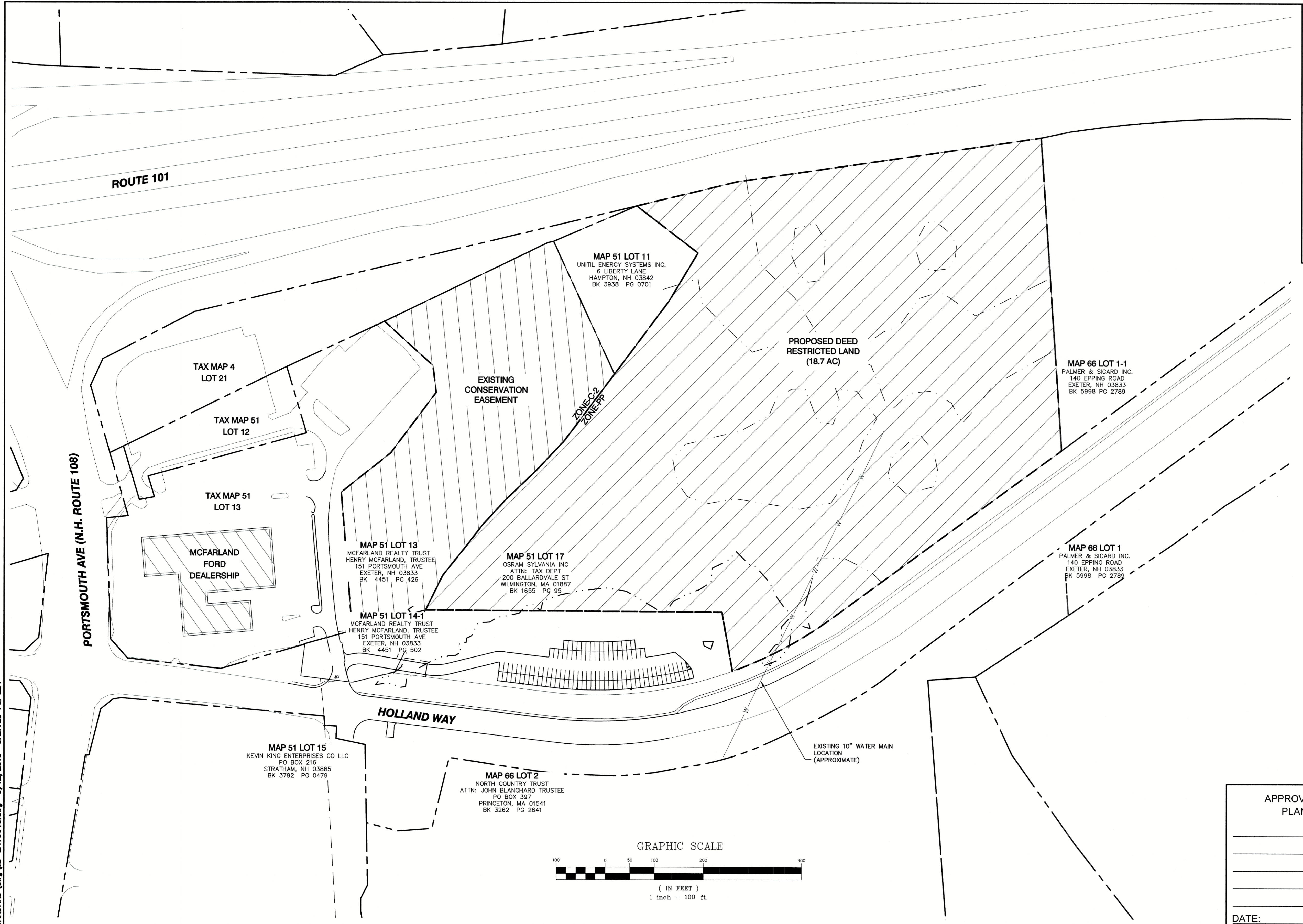
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

DRAWING No.

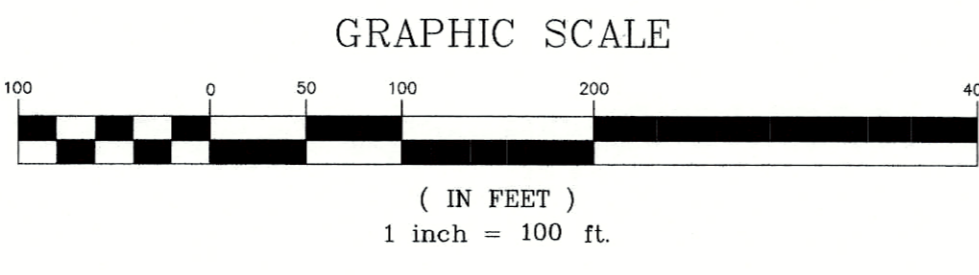
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SHEET 2 OF 8
JBE PROJECT NO. 19198



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APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 51, LOTS 14-1 & 17
APPLICANT McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE EXETER, NH 03833	TOTAL LOT AREA 939,154 SQ. FT. 21.56 ACRES
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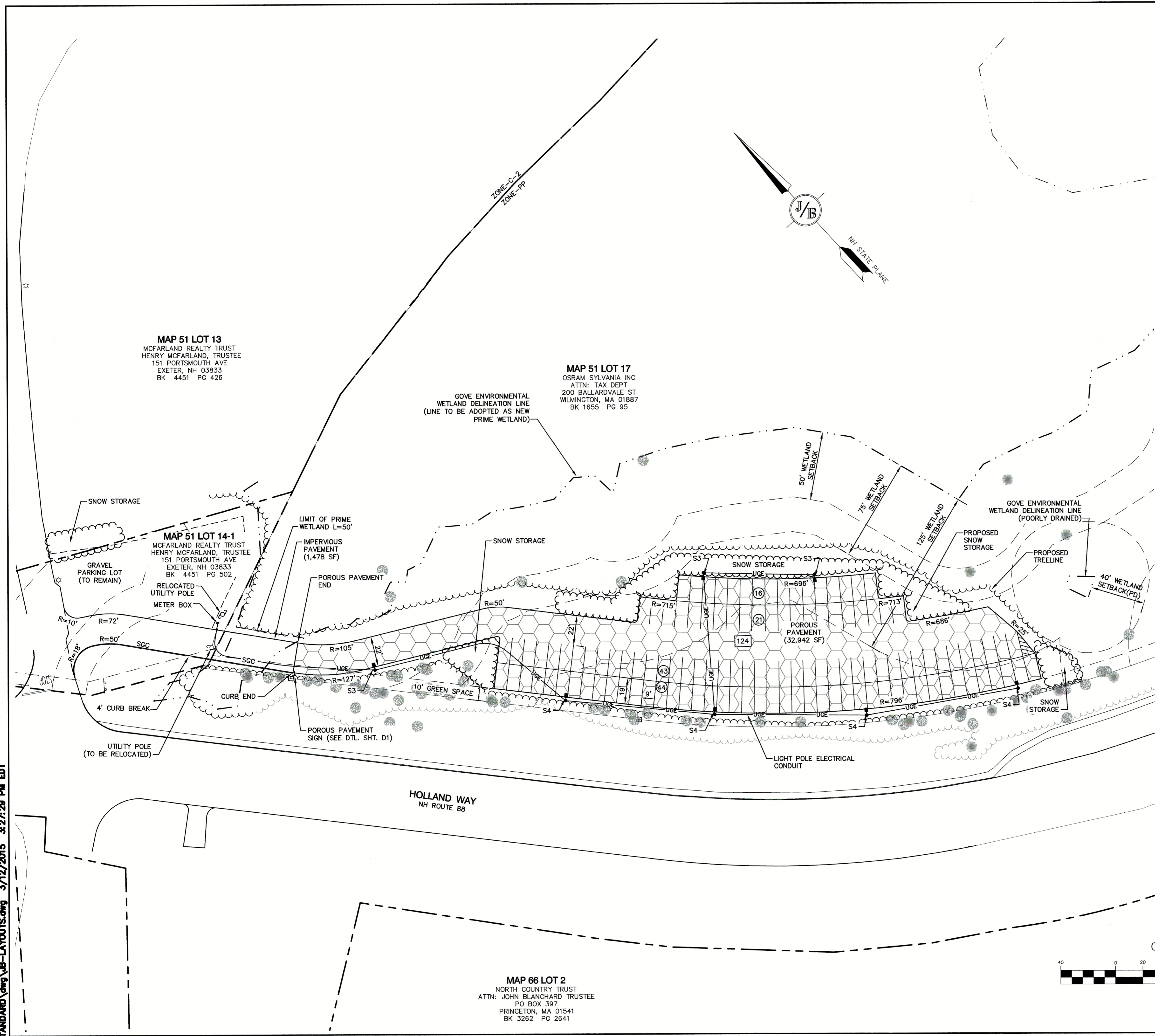
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Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN OVERVIEW
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

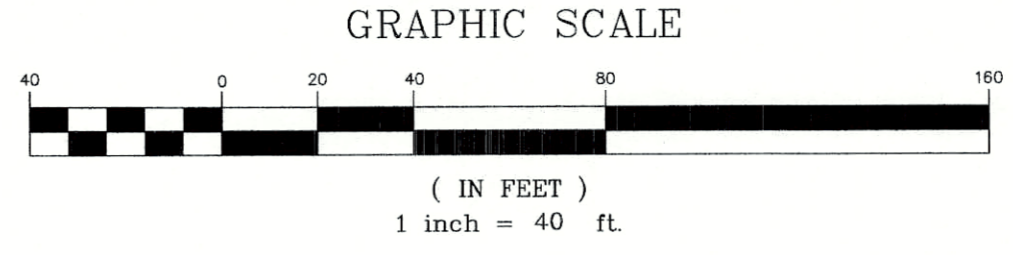
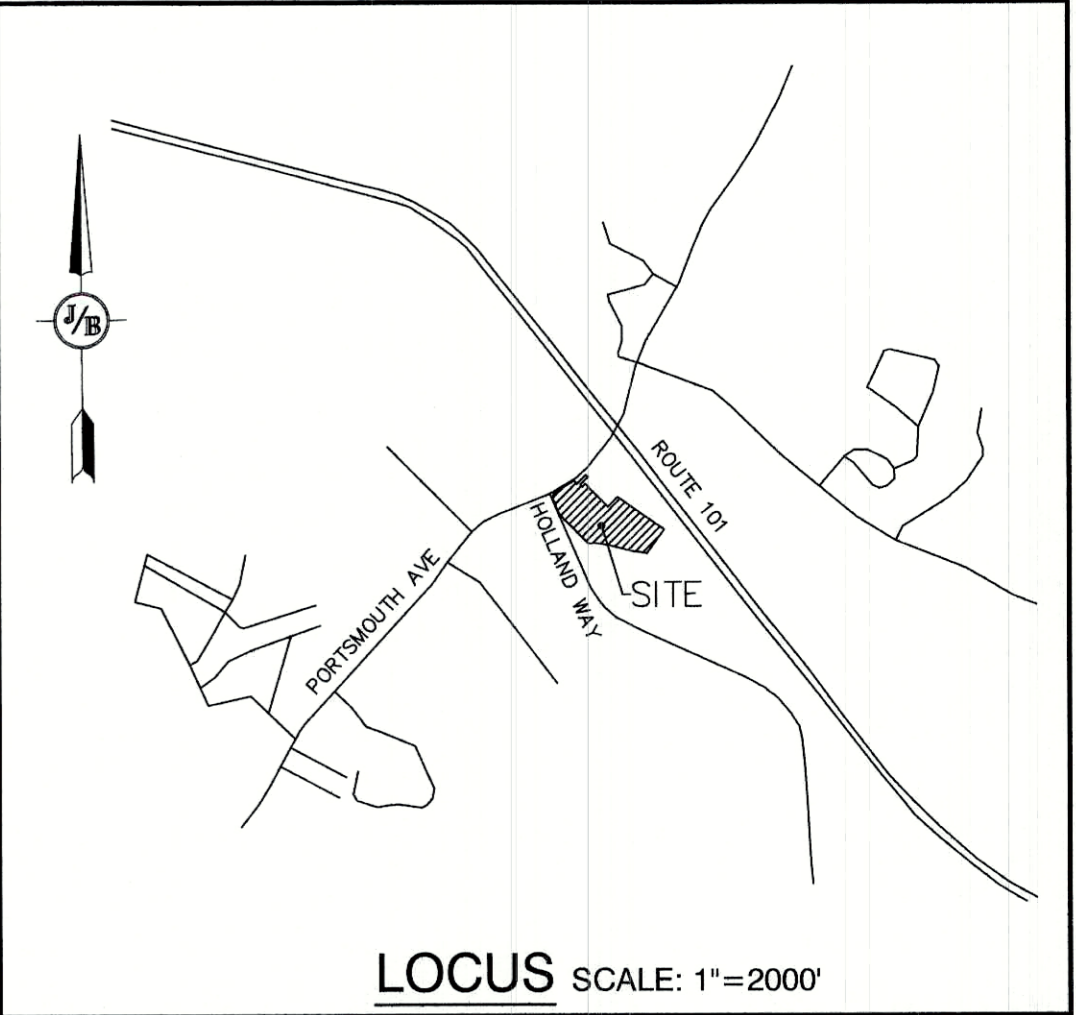
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C2
 SHEET 3 OF 8
 JBE PROJECT NO. 19198

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SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED PARKING STORAGE LOT, CONSISTING OF 124 SPACES IN EXETER NH TAX MAP 51, LOTS 14-1 AND 17.
- ZONING DISTRICT: C-2 HIGHWAY COMMERCIAL
 LOT AREA = 20,000 SF
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 50'
 SIDE SETBACK = 20'
 REAR SETBACK = 50'
 MAX. BUILDING COVERAGE = 20%
 MIN. OPEN SPACE = 15%
 ZONING DISTRICT: CT CORPORATE TECHNOLOGY PARK
 LOT AREA = 4 ACRES
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 75'
 SIDE SETBACK = 50'
 REAR SETBACK = 50'
 MAX. BUILDING COVERAGE = 20%
 MIN. OPEN SPACE = 35%
- PARKING CALCULATIONS:
 TOTAL SPACES PROVIDED = 124
- PROPOSED CONSERVATION EASEMENT = 18.7 AC
 4.59 AC UPLAND AREA
- TOTAL PAVED AREA = 36,726 S.F.
 TOTAL PERVIOUS PAVEMENT AREA = 32,942 S.F.
 TOTAL DISTURBANCE = 55,000 S.F.
 TOTAL DISTURBANCE IN 50' BUFFER = 5,666 S.F.
 TOTAL DISTURBANCE IN 75' BUFFER = 5,122 S.F.
 TOTAL DISTURBANCE IN 125' BUFFER = 21,287 S.F.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE (ELEVATION 9 NGVD 1929). REFERENCE FEMA COMMUNITY PANEL NO. 3301500406E, DATED MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL BE 100% ACRYLIC TYPE, LOW VOC, FAST DRYING, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING TO BE SLOPE GRANITE CURB WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- IN ADDITION TO DIGSAFE, CONTRACTOR TO CONTACT THE EXETER DEPARTMENT OF PUBLIC WORKS (603-773-6157) PRIOR TO LOCATING WATER, SEWER, AND DRAINAGE.



APPROVED - EXETER, NH PLANNING BOARD	PROJECT PARCEL TOWN OF EXETER TAX MAP 51, LOTS 14-1 & 17
DATE: _____	APPLICANT McFARLAND FORD SALES, INC. 151 PORTSMOUTH AVE EXETER, NH 03833
	TOTAL LOT AREA 939,154 SQ. FT. 21.56 ACRES

Design: EMP Draft: GDR Date: 12/01/2020
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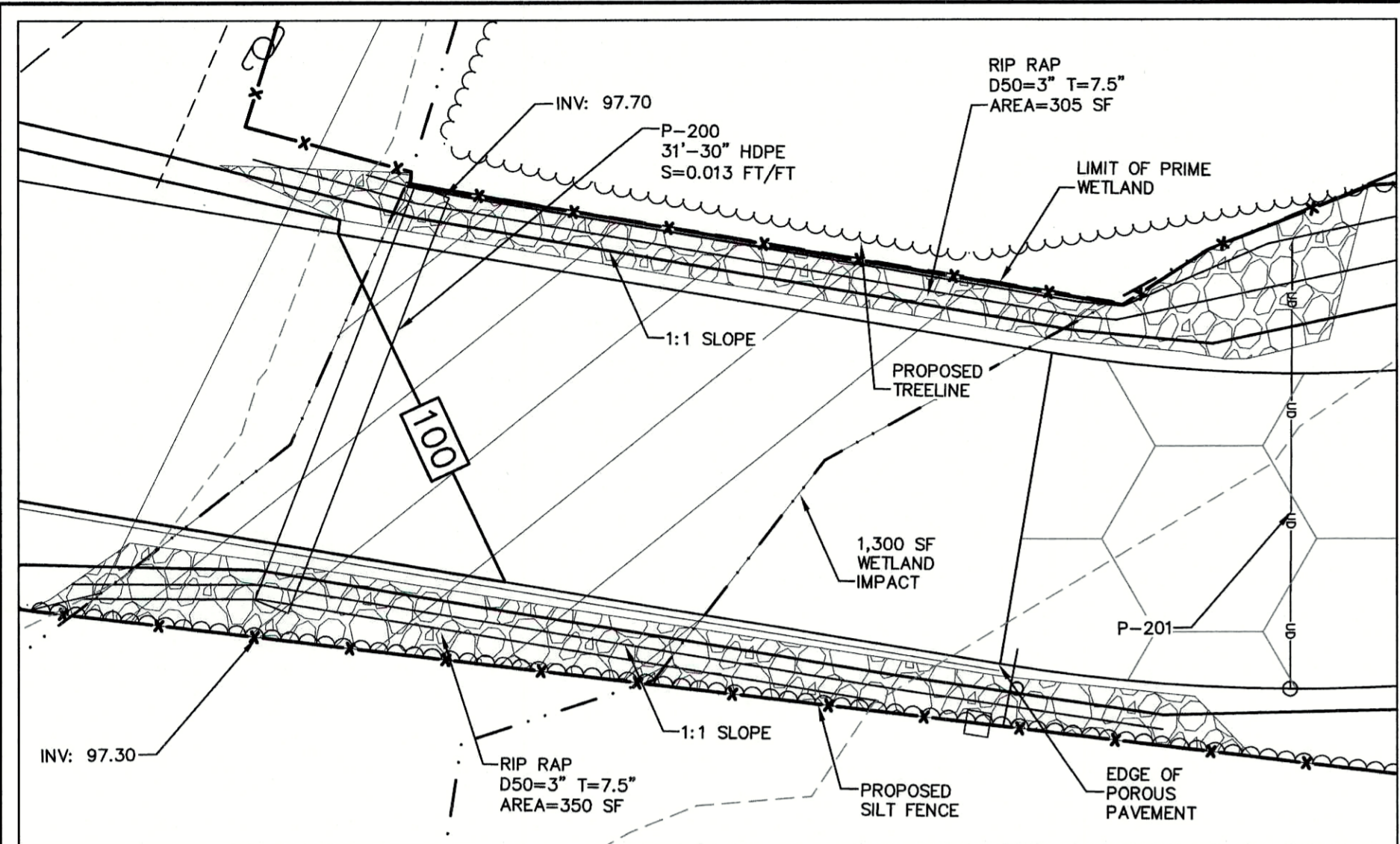


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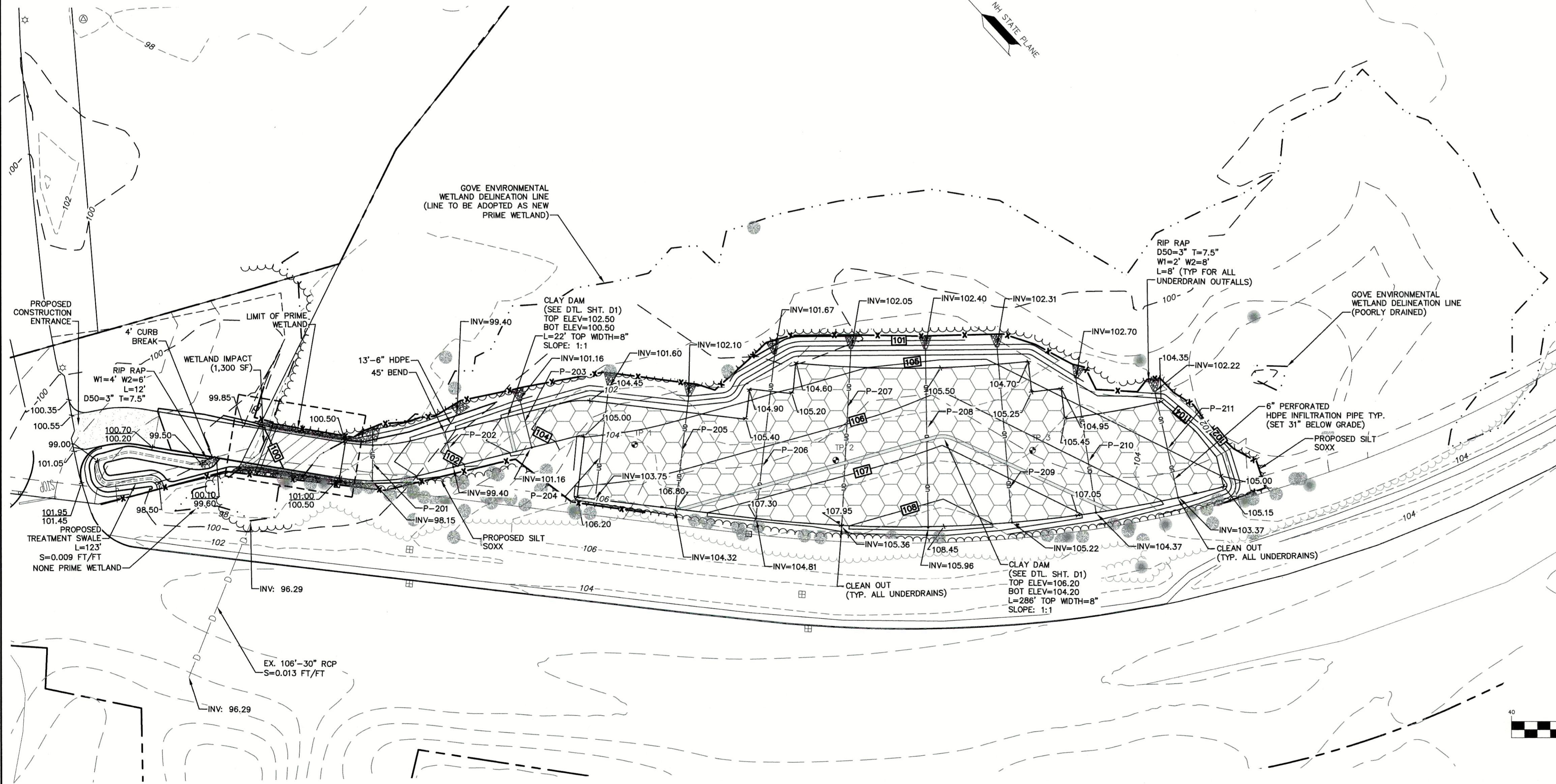
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 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

DRAWING No.
C2-1
 SHEET 4 OF 8
 JBE PROJECT NO. 19198



WETLAND CROSSING DETAIL
SCALE: 1" = 10'



DRAINAGE STRUCTURE TABLE

P-201 31' - 6" PERF. HDPE (SET LEVEL)	P-207 109' - 6" PERF. HDPE S=0.032 FT/FT
P-202 22' - 6" PERF. HDPE (SET LEVEL)	P-208 110' - 6" PERF. HDPE S=0.033 FT/FT
P-203 30' - 6" PERF. HDPE (SET LEVEL)	P-209 109' - 6" PERF. HDPE S=0.027 FT/FT
P-204 69' - 6" PERF. HDPE S=0.032 FT/FT	P-210 84' - 6" PERF. HDPE S=0.020 FT/FT
P-205 70' - 6" PERF. HDPE S=0.032 FT/FT	P-211 67' - 6" PERF. HDPE S=0.017 FT/FT
P-206 100' - 6" PERF. HDPE S=0.032 FT/FT	

NOTES: ALL PIPES LISTED TO BE PERFORATED*
*SOLID PIPE TO BE USED AT CLAY DAM CROSSINGS (SEE DTL. SHT. D1)

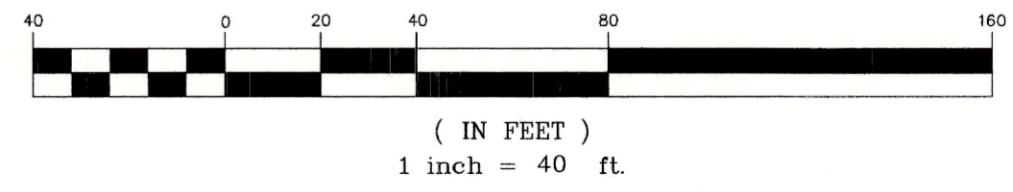
GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: ASSUMED. HORIZONTAL DATUM: NH STATE PLANE.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN BIONET EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H2O LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.
- CONTRACTOR TO PROVIDE A 2' MINIMUM SHOULDER ALONG PERIMETER OF PROPOSED PAVEMENT PRIOR TO BEGINNING GRADING TO MATCH EXISTING GRADE.
- CONTRACTOR TO FLAG OR MARK THE ENTIRE ROW LINE AND PROPOSED TREE LINE PRIOR TO TREE CLEARING.

TEST PIT DATA:

TEST PIT #1:	GROUND ELEV.=104.10 SHWT ELEV.=100.93 BEDROCK= N/A BOT. TESTPIT=97.02
TEST PIT #2:	GROUND ELEV.=103.75 SHWT ELEV.=102.10 BEDROCK= N/A BOT. TESTPIT=97.75
TEST PIT #3:	GROUND ELEV.=104.00 SHWT ELEV.=101.50 BEDROCK= N/A BOT. TESTPIT=99.00

GRAPHIC SCALE



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Design: EMP	Draft: GDR	Date: 12/01/2020
Checked: WGM	Scale: AS SHOWN	Project No.: 19198
Drawing Name: 19198-PLAN.dwg		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
1	03/03/21	REVISED PER TRC COMMENTS	EMP
0	01/14/21	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

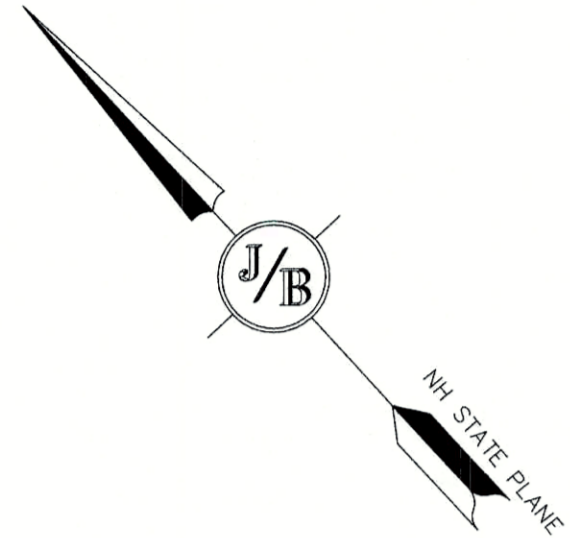
Plan Name:	GRADING AND DRAINAGE PLAN
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

DRAWING No.	C3
SHEET 5 OF 8	JBE PROJECT NO. 19198

PROJECT PARCEL TOWN OF EXETER TAX MAP 51, LOTS 14-1 & 17
APPLICANT McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE EXETER, NH 03833
TOTAL LOT AREA 939,154 SQ. FT. 21.56 ACRES

Symbol	Qty	Label	Arrangement	Description
S3	3	S3	SINGLE	GLEON-AF-02-LED-E1-SL3/ SSS4A20SFN1 (MTD ON A 2.5' BASE BY OTHERS) 22.5' AFG
S4	4	S4	SINGLE	GLEON-AF-04-LED-E1-SL4-WH/ SSS4A20SFN1-WH (MTDON 2.5' BASE BY OTHERS) 22.5' AFG

StatArea_1
STORAGE LOT
Illuminance (Fc)
Average = 2.80
Maximum = 6.3
Minimum = 0.9
Avg/Min Ratio = 3.11
Max/Min Ratio = 7.00



MAP 51 LOT 13
MCFARLAND REALTY TRUST
HENRY MCFARLAND, TRUSTEE
151 PORTSMOUTH AVE
EXETER, NH 03833
BK 4451 PG 426

MAP 51 LOT 14-1
MCFARLAND REALTY TRUST
HENRY MCFARLAND, TRUSTEE
151 PORTSMOUTH AVE
EXETER, NH 03833
BK 4451 PG 502

MAP 51 LOT 17
OSRAM SYLVANIA INC
ATTN: TAX DEPT
200 BALLARDVALE ST
WILMINGTON, MA 01887
BK 1655 PG 95

MAP 66 LOT 2
NORTH COUNTRY TRUST
ATTN: JOHN BLANCHARD TRUSTEE
PO BOX 397
PRINCETON, MA 01541
BK 3262 PG 2641

PROJECT PARCEL
TOWN OF EXETER
TAX MAP 51, LOTS 14-1 & 17

APPLICANT
MCFARLAND FORD SALES, INC
151 PORTSMOUTH AVE
EXETER, NH 03833

TOTAL LOT AREA
939,154 SQ. FT.
21.56 ACRES

McGraw-Edison

DESCRIPTION
The GLEON™ LED luminaire offers exceptional performance in a highly scalable, low profile design. Patented, high efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULULC Listed for wet locations.

FEATURES
• Patented, high efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULULC Listed for wet locations.

CONSTRUCTION
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sink. A unique patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3C vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and light output. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard 4000K, 5000K, 5700K CCT, 90 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 34W or 60W operation. 400W is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 18KV of transient time surge. The Galleon LED luminaire is suitable for operation in 40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT
Standard aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slides into place on the adapter and is secured via two screws. Facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1/2" to 4"Ø. Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TIG polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink in powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matching available.

Warranty
Five-year warranty.

1-10 Light Squares Solid State LED AREA/FEET LUMINAIRE

ENERGY DATA
ULCIS, Meets Local Listed, 80/90W, L875 (IMB) Compliant, 90 Wattation Rated, IP66 Rated, Design Lights Consortium™ Qualified™, Energy LED Driver, 2.0 Power Factor, >95% Total Harmonic Distortion, 120V/277V 50/60Hz, 34W & 60W 400W, 40°C Max. Temperature, 18°C Max. Temperature, 18°C Max. Temperature (HA Option)

Steel Poles

DESCRIPTION
ASTM Grade steel base plate with ASTM A36 base cover. Hand hole assembly 2" x 8" and 6" pole and 2" x 4" x 4" pole. 1/2" mounting heights. Delivered or totem assembly.

DESIGN CONSIDERATIONS
Wind induced vibrations resulting from steady, unidirectional winds and other aerodynamic forces, as well as vibration and coefficients of height factors for non-ground mounted structures (i.e., structures on poles or towers) are not evaluated in this document. The information contained herein is for general guidance only and is not a substitute for professional engineering. Consult with a professional engineer and local and national standards, before entering to ensure proper preparation for the intended purpose and installation location. Also, please review Exeter Light Pole White Paper for the latest design recommendations. (L100000)

Specifications and dimensions subject to change without notice. Consult your lighting representative at Exeter or visit www.exeter.com/lighting for available options, accessories and ordering information.

ORDERING INFORMATION

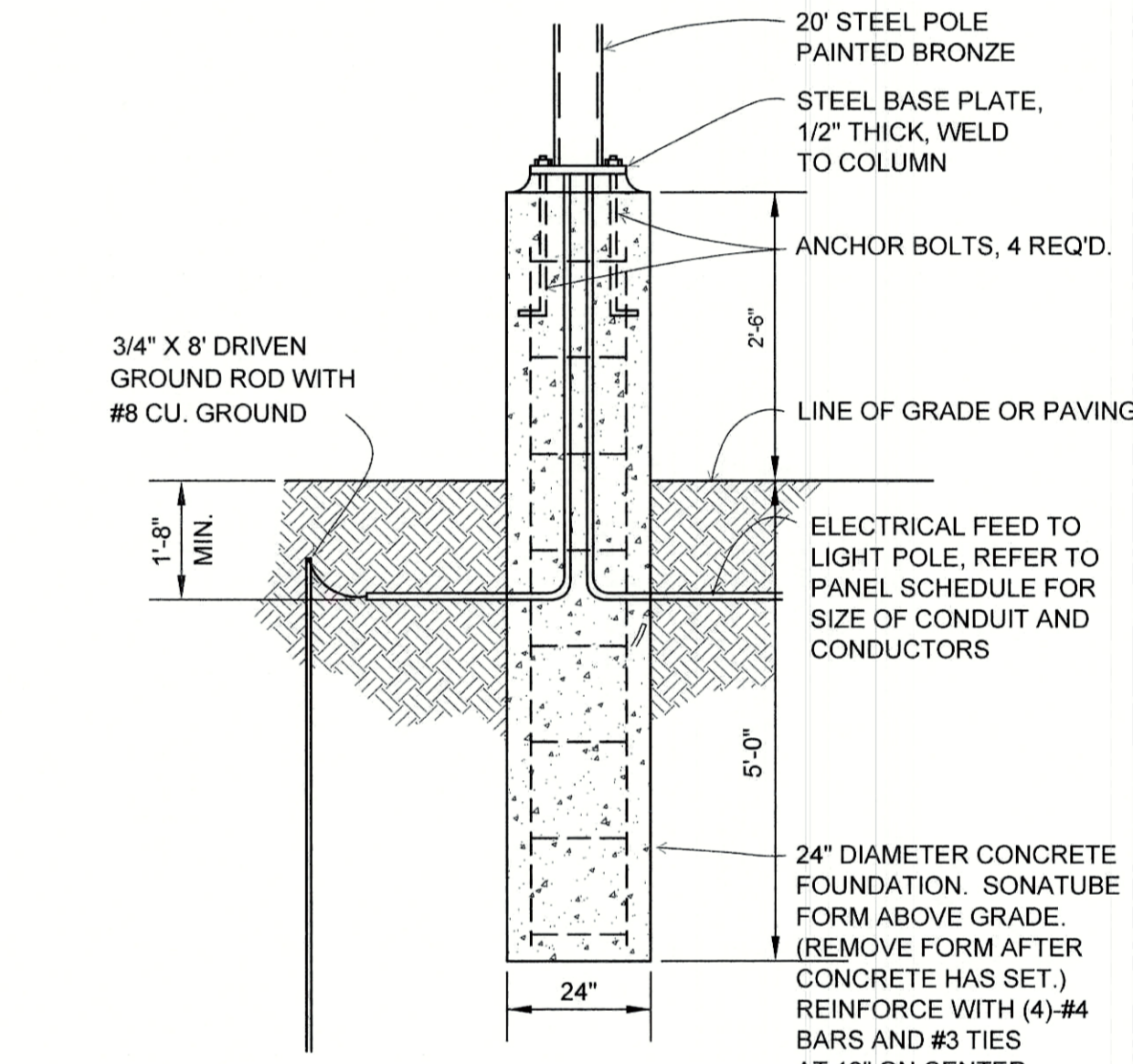
Product Family	Size	Wt. (lbs)	Mounting Height	Mounting Type	Finish	Mounting Type	Number and Spacing of Arms	Arm Length (ft)	Options (Add as Suffix)
SSS-Square	4x4	44	10-15	4-Square	Black or Bronze	2x3 1/2" O.D. Tower 10' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	6x6	104	15-20	6-Square	Black or Bronze	3x3 1/2" O.D. Tower 15' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	8x8	184	20-25	8-Square	Black or Bronze	4x4 1/2" O.D. Tower 20' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	10x10	264	25-30	10-Square	Black or Bronze	5x5 1/2" O.D. Tower 25' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
SSS-Straight	4x4	44	10-15	4-Straight	Black or Bronze	2x3 1/2" O.D. Tower 10' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	6x6	104	15-20	6-Straight	Black or Bronze	3x3 1/2" O.D. Tower 15' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	8x8	184	20-25	8-Straight	Black or Bronze	4x4 1/2" O.D. Tower 20' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*
	10x10	264	25-30	10-Straight	Black or Bronze	5x5 1/2" O.D. Tower 25' Long	2-Arms	2'-0"	Anti-Corrosion* Quick Mount* Quick Mount* Quick Mount*

NOTES: 1. All shaft sizes nominal. 2. Square poles are 3" at 100', round poles are 2" at 100'. All tapered poles are 2" below the pole top and on the same side of pole as hand hole, unless specified otherwise. 3. Hand hole is located 6" above base and on same side of pole as hand hole, unless specified otherwise. 4. Maximum wind velocity is based on 10' tower top and 10' from standard hand hole location, unless otherwise specified.

ENERGY DATA
ULCIS, Meets Local Listed, 80/90W, L875 (IMB) Compliant, 90 Wattation Rated, IP66 Rated, Design Lights Consortium™ Qualified™, Energy LED Driver, 2.0 Power Factor, >95% Total Harmonic Distortion, 120V/277V 50/60Hz, 34W & 60W 400W, 40°C Max. Temperature, 18°C Max. Temperature, 18°C Max. Temperature (HA Option)

LIGHTING AND ELECTRICAL NOTES:

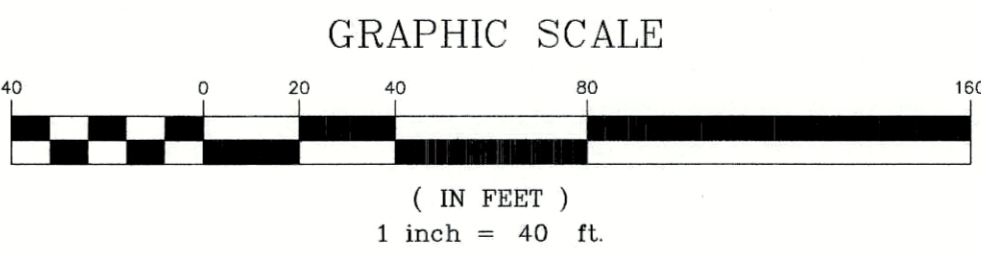
- SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELS.
- LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
- NL INDICATES THAT THIS LUMINAIRE SHALL BE ON A NIGHT LIGHT CIRCUIT. FL INDICATES THAT THIS LUMINAIRE SHALL BE A FLOOD LIGHT FIXTURE. MOUNTING BRACKET FOR THIS FL FIXTURE SHALL BE MOUNTED 25' ABOVE BOTTOM OF POLE BASE FOR ALL LIGHT POLES CLOSEST TO STOREFRONT. THESE DESIGNATIONS INDICATE WHAT PHASE LIGHTS ARE Wired TO (TYP).
- SEE THIS SHEET FOR LIGHTING DETAILS.
- THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.
- ALL LIGHTING WORK, INCLUDING THE INSTALLATION OF CONDUIT SHALL BE CONDUCTED BY THE LIGHTING CONTRACTOR ONLY.
- ALL LIGHTS ON SITE ARE TO BE DARK SKY COMPLIANT.
- LIGHT LEVELS ON SITE ARE TO BE REDUCED TO 50% AT MIDNIGHT.



LIGHT POLE BASE
NOT TO SCALE

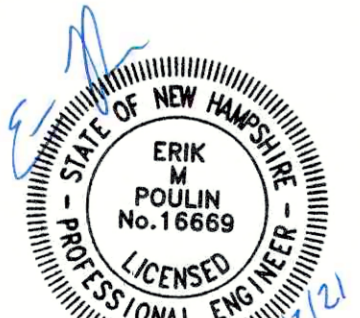
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HOLLAND WAY



Design: EMP Draft: GDR Date: 12/01/2020
Checked: WGM Scale: AS SHOWN Project No.: 19198
Drawing Name: 19198-PLAN.dwg

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REV.	DATE	REVISION	BY
1	03/03/21	REVISED PER TRC COMMENTS	EMP
0	01/14/21	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

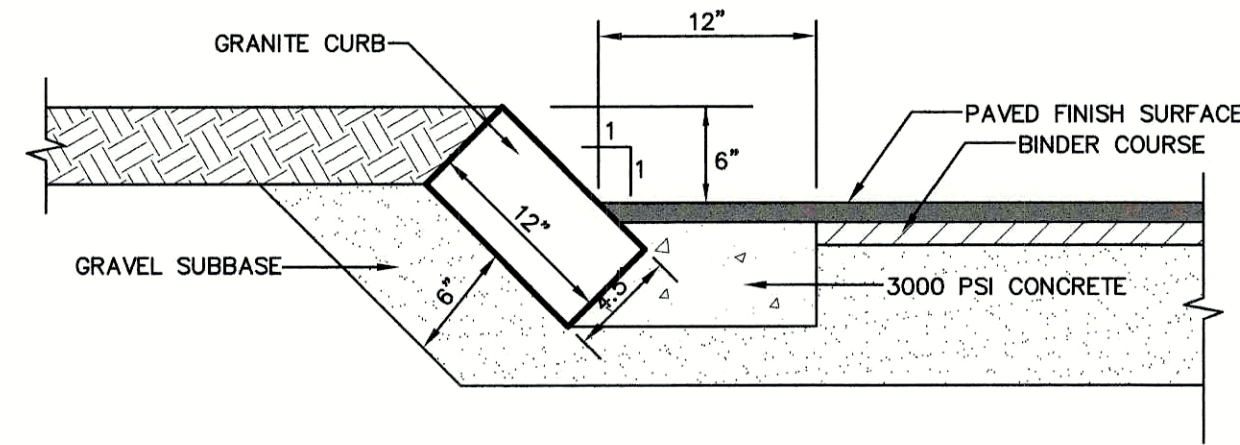
Plan Name: **LIGHTING PLAN**

Project: **STORAGE LOT
110 HOLLAND WAY, EXETER, NH**

Owner of Record: **MCFARLAND FORD SALES, INC
151 PORTSMOUTH AVE, EXETER, NH**

DRAWING No. **L1**

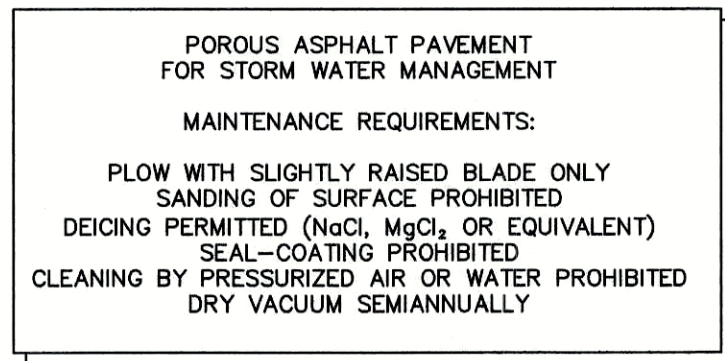
SHEET 6 OF 8
JBE PROJECT NO. 19198



- NOTES:
1. CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 2. JOINTS BETWEEN STONES SHALL BE MORTARED.

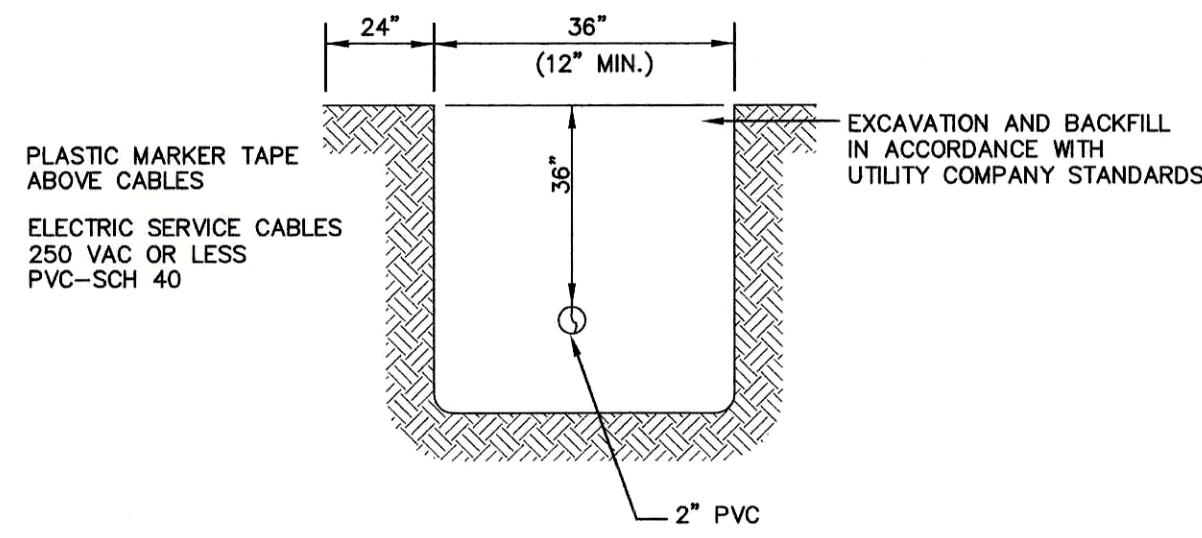
SLOPED GRANITE CURB

NOT TO SCALE



TYPICAL POROUS PAVEMENT MAINTENANCE SIGN

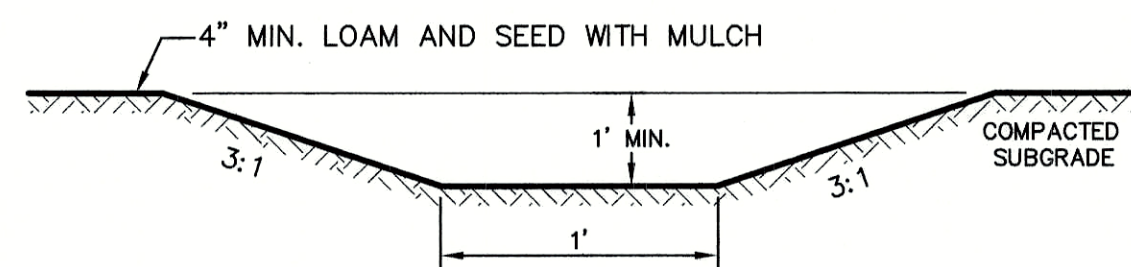
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NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

NOT TO SCALE



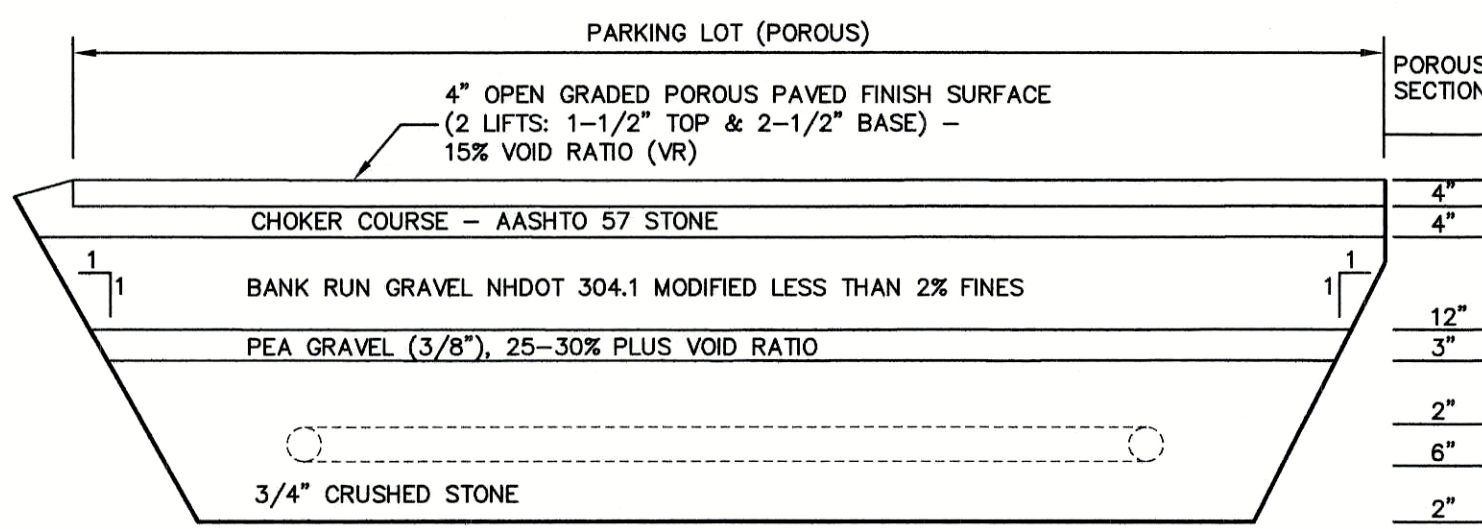
NOTE:

1. ALL VEGETATED TREATMENT SWALES ARE TO BE STABILIZED WITH NORTH AMERICAN GREEN 'BIO-NET' SERIES C125BN EROSION CONTROL BLANKET SECURED WITH BIODEGRADABLE 'BIO' OR 'ECO-STAKES'.

REACH	LENGTH	WIDTH	SLOPE
3R	123'	1'	.009

VEGETATED TREATMENT SWALE

NOT TO SCALE

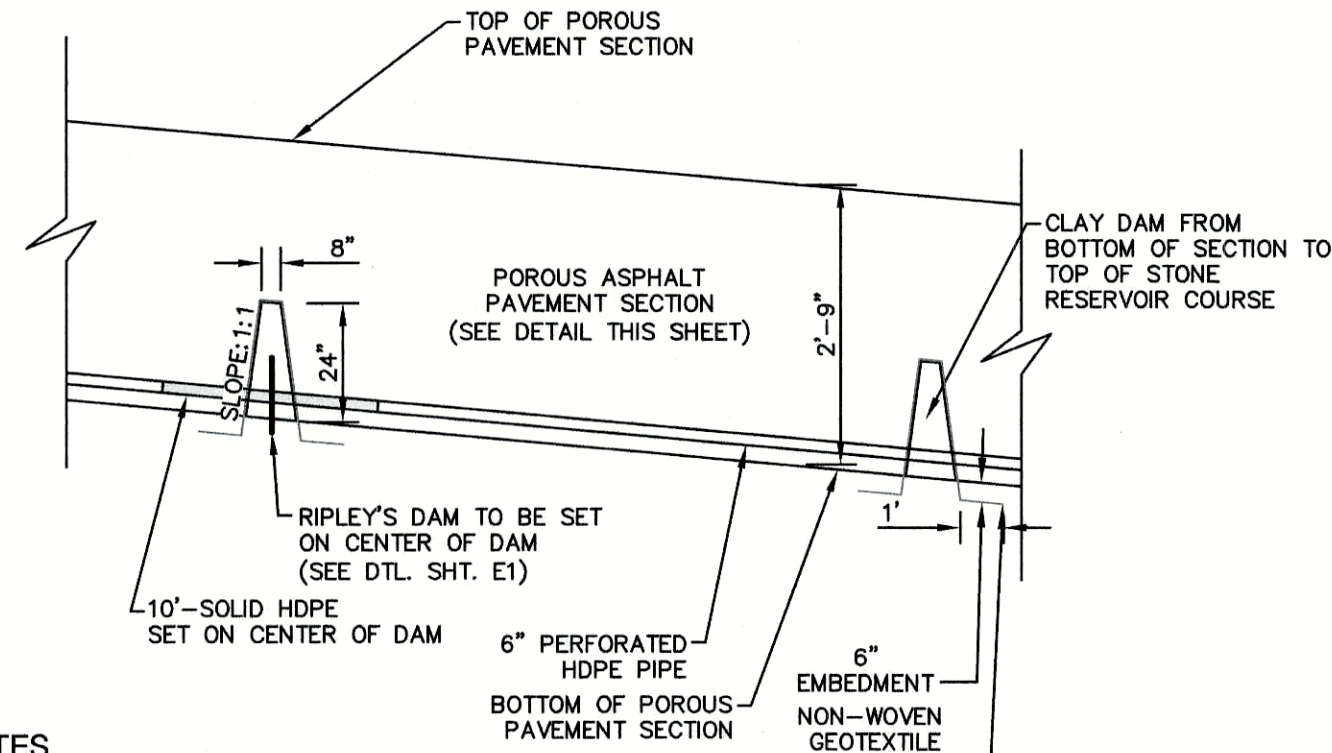


NOTES:

1. CONTRACTOR IS TO REMOVE THE EXISTING BURIED LAYER OF ORIGINAL LOAM DURING THE EXCAVATION OF THE GRAVELS FOR THE ROADWAY AND WHENEVER ENCOUNTERED IN TRENCHES.
2. DESIGN ENGINEER TO INSPECT SITE PREPARATION AND INSTALLATION OF POROUS PAVEMENT.
3. THE TOP LAYER (WEARING COURSE) SHOULD BE PRE-BLENDED PG 76-28 MODIFIED WITH SBS. THE BASE COURSE SHOULD BE AT A MINIMUM PG 64-28 WITH 5 POUNDS OF FIBER PER TON OF ASPHALT MIX. IF SUFFICIENT STAGNANT OR USE OF THE BASE COURSE SECTION WILL BE REQUIRED PRIOR TO THE APPLICATION OF THE WEARING COURSE, THE ENGINEER MAY DECIDE TO USE PRE-BLENDED PG 76-28 MODIFIED WITH SBS ON BOTH COURSES.

POROUS PAVEMENT SECTION

NOT TO SCALE

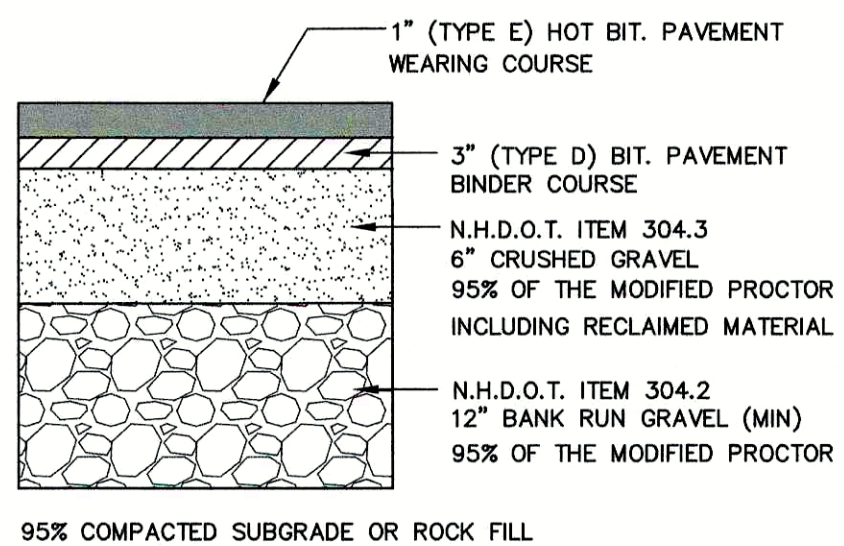


NOTES:

1. CLAY DAMS TO BE WRAPPED IN NON-WOVEN GEOTEXTILE FABRIC TO PREVENT MIGRATION OF FINES AS SHOWN.

POROUS PAVEMENT CLAY DAM DETAIL

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT PARKING LOT

REFERENCE DOCUMENT: THE UNH STORMWATER CENTER FEBRUARY 2014 EDITION, REVISED SEPTEMBER, 2016

INSTALLATION RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE POROUS ASPHALT PAVEMENT IS PROPERLY INSTALLED.

1. THE FULL PAVEMENT SPECIFICATION MUST BE FOLLOWED CONSCIENTIOUSLY DURING CONSTRUCTION. IT IS BASED ON UNHS DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS. THE UNH SPECIFICATION INCLUDE NUMEROUS VITAL PROVISIONS FOR AGGREGATE AND BITUMINOUS MATERIALS, THEIR PLACEMENT, AND QUALITY CONTROL. AMONG ITS NOTABLE PROVISIONS ARE THE FOLLOWING EXAMPLES:
 - OPEN-GRADED AGGREGATE TO MAKE ALL PAVEMENT LAYERS POROUS AND PERMEABLE;
 - STIFF ASPHALT BINDER TO ADHERE TO THE AGGREGATE PARTICLES AND RESIST "DRAINDOWN" THROUGH THE PAVEMENT'S PORES, ENHANCING THE MATERIAL'S PERFORMANCE AND DURABILITY;
 - A SPECIFIC LIMIT ON ALLOWABLE DRAINDOWN, AND ADDITION OF A STYRENE-BUTADIENE-STYRENE (SBS) POLYMER ADDITIVE TO HELP MEET THAT REQUIREMENT;
 - THE POROUS PAVEMENT IS TO BE INSTALLED ONLY AFTER MAJOR CONSTRUCTION IS COMPLETED, SO THAT CONSTRUCTION TRAFFIC WILL NOT TRACK POTENTIALLY CLOGGING SEDIMENT ONTO THE PAVEMENT SURFACE. FOR CONSTRUCTION ACCESS, A TEMPORARY SURFACE WILL BE INSTALLED, SIMILAR IN CONSTRUCTION TO A STANDARD STABILIZED CONSTRUCTION ENTRANCE. THIS TYPE OF SURFACE CAN BEAR CONSTRUCTION TRAFFIC WITHOUT ERODING.
 - PROMINENT AND REPEATED STATEMENTS OF THE SPECIAL NATURE AND PURPOSE OF POROUS PAVEMENT, AND THE NECESSITY OF COMPLYING STRICTLY WITH THESE DISTINCTIVE SPECIFICATIONS.
 - PROTECTION OF THE FINISHED POROUS ASPHALT SURFACE FROM TRACKING OF CONSTRUCTION SEDIMENT.
2. THOROUGH COMMUNICATION WITH THE POROUS ASPHALT SUPPLIER AND PAVEMENT INSTALLER IS ESSENTIAL. THE MUST UNDERSTAND THE POROUS PAVEMENT'S SPECIAL OBJECTIVES, THE SPECIAL MATERIALS AND PROCEDURES NECESSARY TO MAKE IT EFFECTIVE, AND WHY COMPLIANCE WITH SPECIFICATIONS IS ESSENTIAL TO THIS END, THE SPECIFICATIONS STATE PROMINENTLY AND REPEATEDLY THE SPECIAL NATURE AND PURPOSE OF THE POROUS MATERIALS. IN ADDITION, THE PROJECT ENGINEER SHOULD MEET WITH THE CONTRACTORS IN PERSON TO REVIEW THE SPECIFICATIONS AND MAKE SURE THE CONTRACTORS UNDERSTAND THE OBJECTIVES. HE SHOULD OBSERVE THE CONTRACTORS ON-SITE FREQUENTLY, TO MAKE SURE THE OBJECTIVES ARE CARRIED OUT. HE SHOULD MAINTAIN A WRITTEN RECORD DOCUMENTING REVIEW AND APPROVAL AT CRITICAL PROJECT STAGES SUCH AS EXCAVATION OF THE SUB GRADE AND QUALITY CHECKS OF BASE AND SURFACE MATERIALS. HE SHOULD INSURE THE SITE TO MAKE SURE CONSTRUCTION VEHICLES ARE NOT ALLOWED TO TRAVERSE EXCAVATED SUB GRADE OR THE PAVEMENT STRUCTURE AT ANY INAPPROPRIATE STAGE. HE SHOULD FORBID CONSTRUCTION TRAFFIC FROM TRACKING SOIL ONTO THE FINISHED PAVEMENT SURFACE.

INSTALLATION

- A. PERCOLATION BEDS
 1. OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
 2. SUB GRADE PREPARATION
 - a. EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
 - b. WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
 - c. BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC COMPACTION BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
 - d. WHERE PARKING LOT BASE IS NOT LEVEL, INTERNAL DAMS ARE TO BE INSTALLED EVERY 100 YARDS ALONG CONTOUR LINES IN THE COARSE SUBBASE MATERIALS (CRUSHED STONE). A SUBDRAIN SHOULD BE LOCATED IMMEDIATELY UPSTREAM OF INTERNAL DAMS. DAMS ARE TO BE MADE OF OVERLYING FILTER COARSE OR MEDIUM TO FINE SAND EQUIVALENT.
 3. RECHARGE BED INSTALLATION
 - a. UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
 - b. PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
 - c. INSTALL COARSE AGGREGATE (CRUSHED STONE) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - d. INSTALL FILTER COARSE (BANK RUN GRAVEL) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - e. INSTALL CHOKER BASE COURSE (SEE MATERIALS SECTION) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO LESS THAN 4-INCH IN DEPTH.
 4. SURROUNDING AREAS
 - a. BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ONTO THE PAVEMENT SURFACE.
 - b. TO ACCOMPLISH THIS, A SEQUENCE OF SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPHILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PLANTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVEWAYS.
 - c. BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.
- B. POROUS ASPHALT
 1. TRANSPORTING MATERIAL
 - a. TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
 - b. THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
 2. POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
 3. ASPHALT PLACEMENT
 - a. THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE OR TWO LIFTS DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO A 4-INCH FINISHED THICKNESS. IF LAID IN TWO LIFTS THE PAVEMENT SHALL BE CLEANED AND INSPECTED BY THE ENGINEER BEFORE PLACEMENT OF THE SECOND LIFT.
 - b. THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT (BASED ON THE RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
 - c. INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE AND WHEN SHADOWN IS AWAY FROM ARTIFICIAL HEAT.
 - d. THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAYER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
 - e. THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SCREED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
 - f. COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST AN 8-12-TON ROLLER. BREAKDOWN ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT. INTERMEDIATE ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 150

- DEGREES FAHRENHEIT AND 200 DEGREES FAHRENHEIT. THE CESSATION TEMPERATURE OCCURS AT APPROXIMATELY 175 DEGREES FAHRENHEIT, AT WHICH POINT THE MIX BECOMES RESISTANT TO COMPACTION. IF COMPACTION HAS NOT BEEN DONE AT TEMPERATURES GREATER THAN THE CESSATION TEMPERATURE, THE PAVEMENT WILL NOT ACHIEVE ADEQUATE DURABILITY.
- IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
- AFTER FINAL ROLLING NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE, REMOVE AT THE DISCRETION OF THE ENGINEER.
- TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
 - a. PAVEMENT-MARKING PAINT; LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-9-1992.
 - b. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
 - c. PAINT 4 INCH WIDE PARKING STRIPING AND TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN, APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
- WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK. TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
- POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
- REPAIR OF DAMAGED PAVING
 - a. ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
- FIELD QUALITY CONTROL
 - a. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OTHER DISTRIBUTION DEVICE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELECTERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
 - b. TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS. REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
- SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT PARKING LOTS

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

1. SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NaCl, MgCl₂, OR EQUIVALENT). REDUCED SALT APPLICATION OF 50% OVER TRADITIONAL PAVEMENT APPLICATION RATES. NONTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERRED.
2. PLOWING IS ALLOWED. BLADE SHOULD BE SLIGHTLY RAISED (ALTHOUGH NOT NECESSARY. THIS WILL PREVENT PAVEMENT SCARING). ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED AFTER 2 TO 4 INCHES OF SNOW ACCUMULATION.

ROUTINE MAINTENANCE:

1. ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
2. THE PAVEMENT SURFACE SHOULD BE VACUUMED 2 TO 4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
3. PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT, IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
4. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
5. DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
6. REPAIRS: POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.
7. WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.
8. A PERMANENT SIGN SHOULD BE ADDED AT THE ENTRANCE AND END OF THE POROUS ASPHALT AREA TO INFORM RESIDENTS AND MAINTENANCE STAFF OF THE SPECIAL NATURE AND PURPOSE OF THE PAVEMENT, AND ITS SPECIAL MAINTENANCE REQUIREMENTS.

MIX SUMMARY

1. POROUS ASPHALT PAVEMENT MIX PER THE CURRENT UNH STORM WATER CENTER DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS MANUAL.
 2. NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA MUST FALL WITH THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.
- TRANSPORTING MATERIAL: SEE CONSTRUCTION AND INSTALL SPECIFICATIONS

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Designed and Produced in NH

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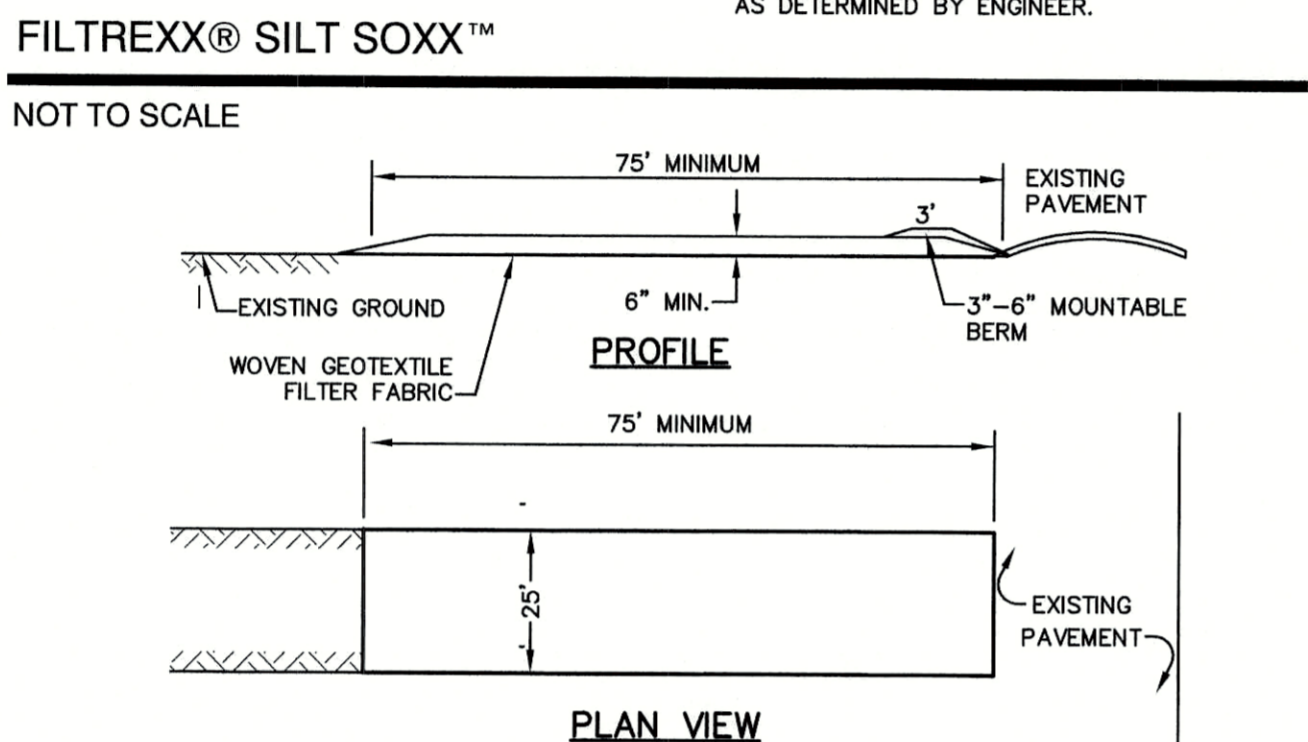
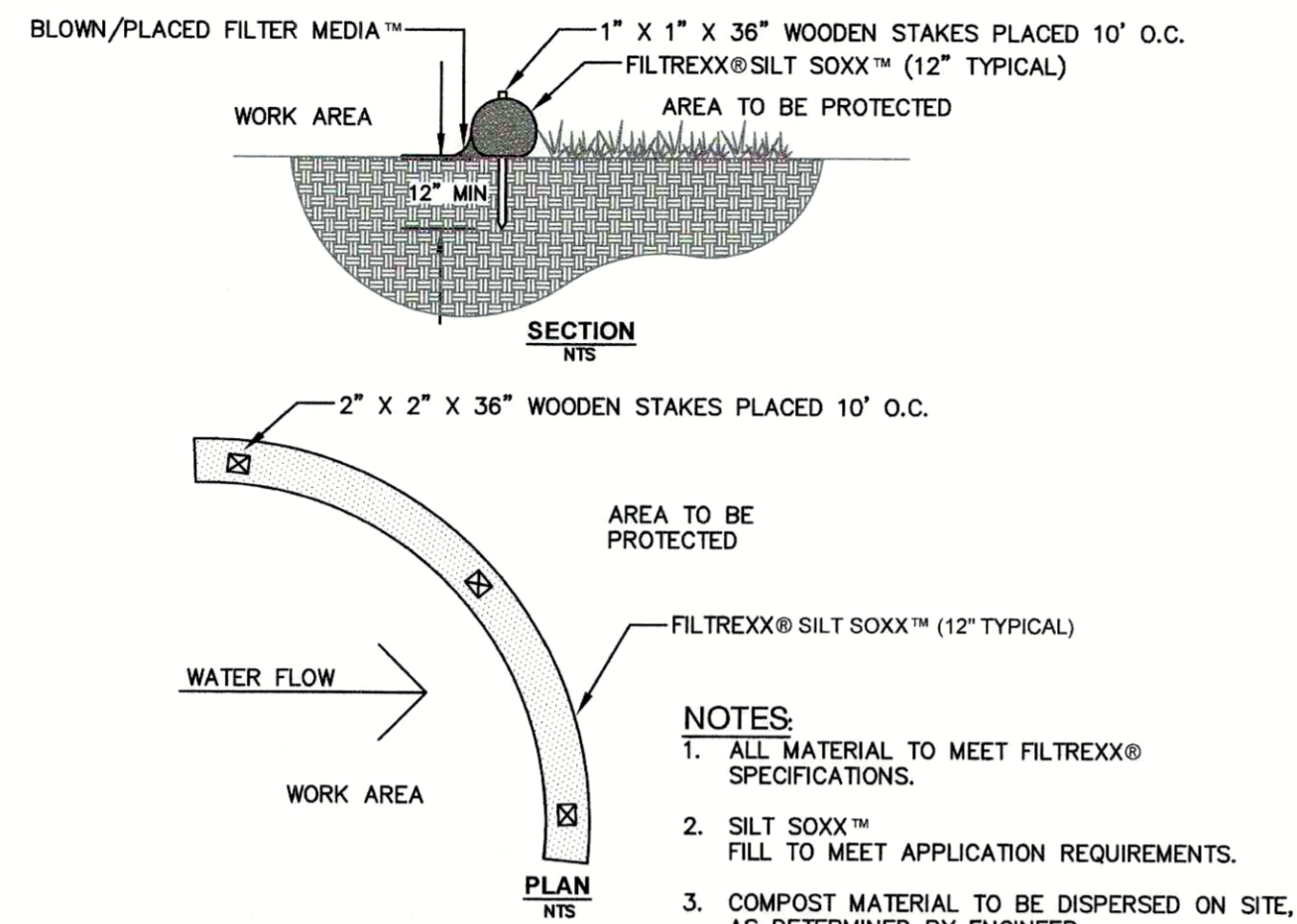
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record:	McFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

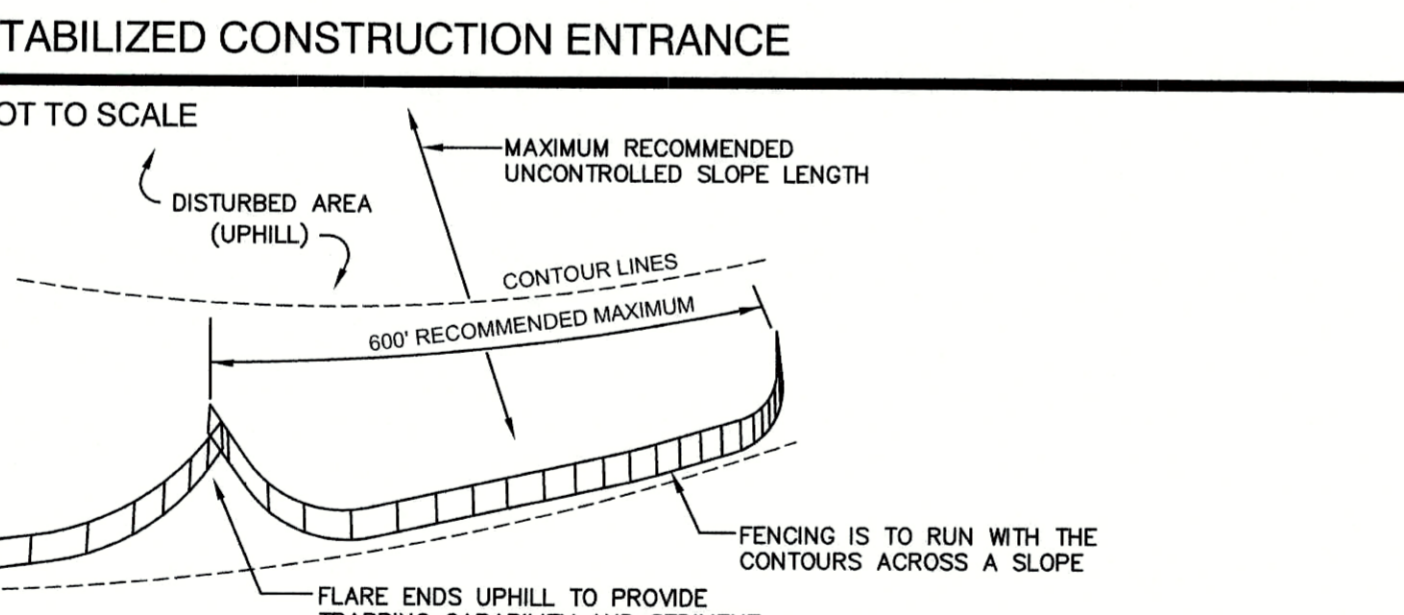
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SHEET 7 OF 8	JBE PROJECT NO. 19198

TEMPORARY EROSION CONTROL NOTES

- 1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).



- NOTES:
1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.



- 7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.
MAINTENANCE:
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.

SEEDING SPECIFICATIONS

- 1. GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
2. SEEDBED PREPARATION
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.

Table with columns: USE, SEEDING MIXTURE 1/, DROUGHTY, WELL DRAINED, MODERATELY WELL DRAINED, POORLY DRAINED. Rows include Steep Cuts and Fills, Waterways, Emergency Spillways, Lightly Used Parking, Play Areas, and Gravel Pit.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

Table with columns: MIXTURE, POUNDS PER ACRE, POUNDS PER 1,000 Sq. Ft. Rows include various seed mixtures like Tall Fescue, Creeping Red Fescue, etc.

SEEDING RATES

Ripley's Dam

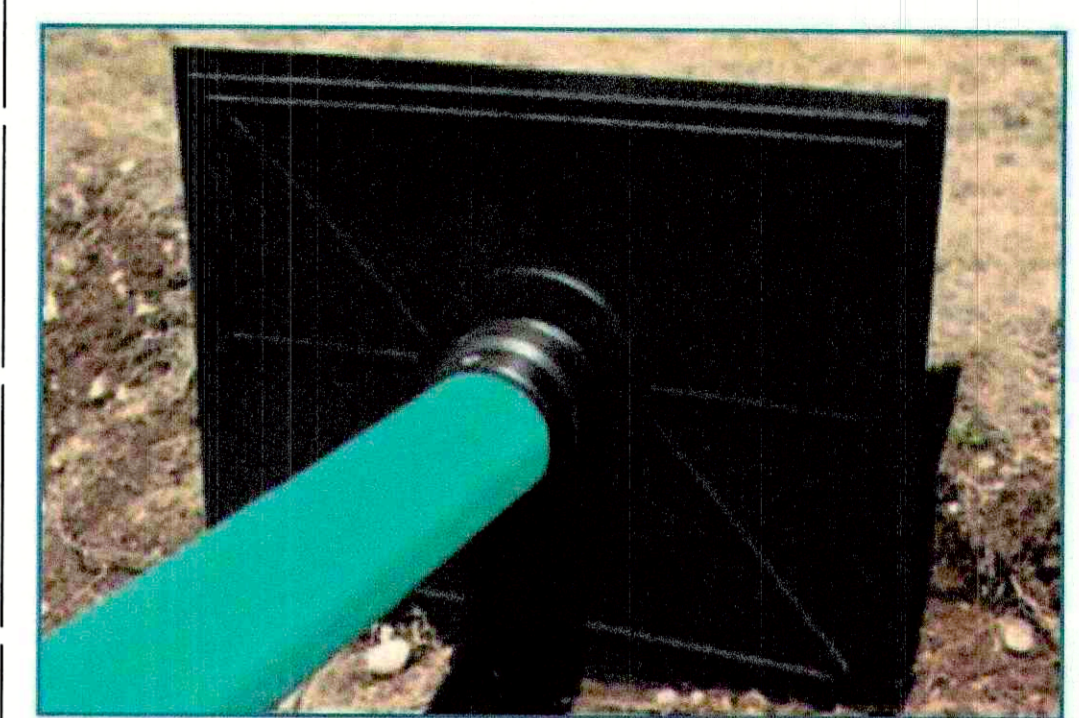


Table with columns: DESCRIPTION, PRODUCT NUMBER. Rows list different dam sizes like 4\"/>

* Pipe size and type must be specified when ordering.
NOTE: Ripley's Dam is not stocked at all EJP locations. Call your local Team EJP sales office for availability.

RIPLEY'S DAM (EJ PRESCOTT)

NOT TO SCALE

CONSTRUCTION SEQUENCE

- 1. PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
3. CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.

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CONSTRUCTION SPECIFICATIONS:

- 1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.

SILT FENCE

NOT TO SCALE

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Plan Name: EROSION AND SEDIMENT CONTROL DETAILS
Project: STORAGE LOT 110 HOLLAND WAY, EXETER, NH
Owner of Record: MCFARLAND FORD SALES, INC 151 PORTSMOUTH AVE, EXETER, NH

DRAWING No. E1
SHEET 8 OF 8
JBE PROJECT NO. 19198