

PROPOSED SITE RE-DEVELOPMENT PLANS

for

PROPOSED RETAIL MOTOR FUEL OUTLET ASSESSORS MAP 47 - PROPOSED LOT 1-2

158 EPPING ROAD

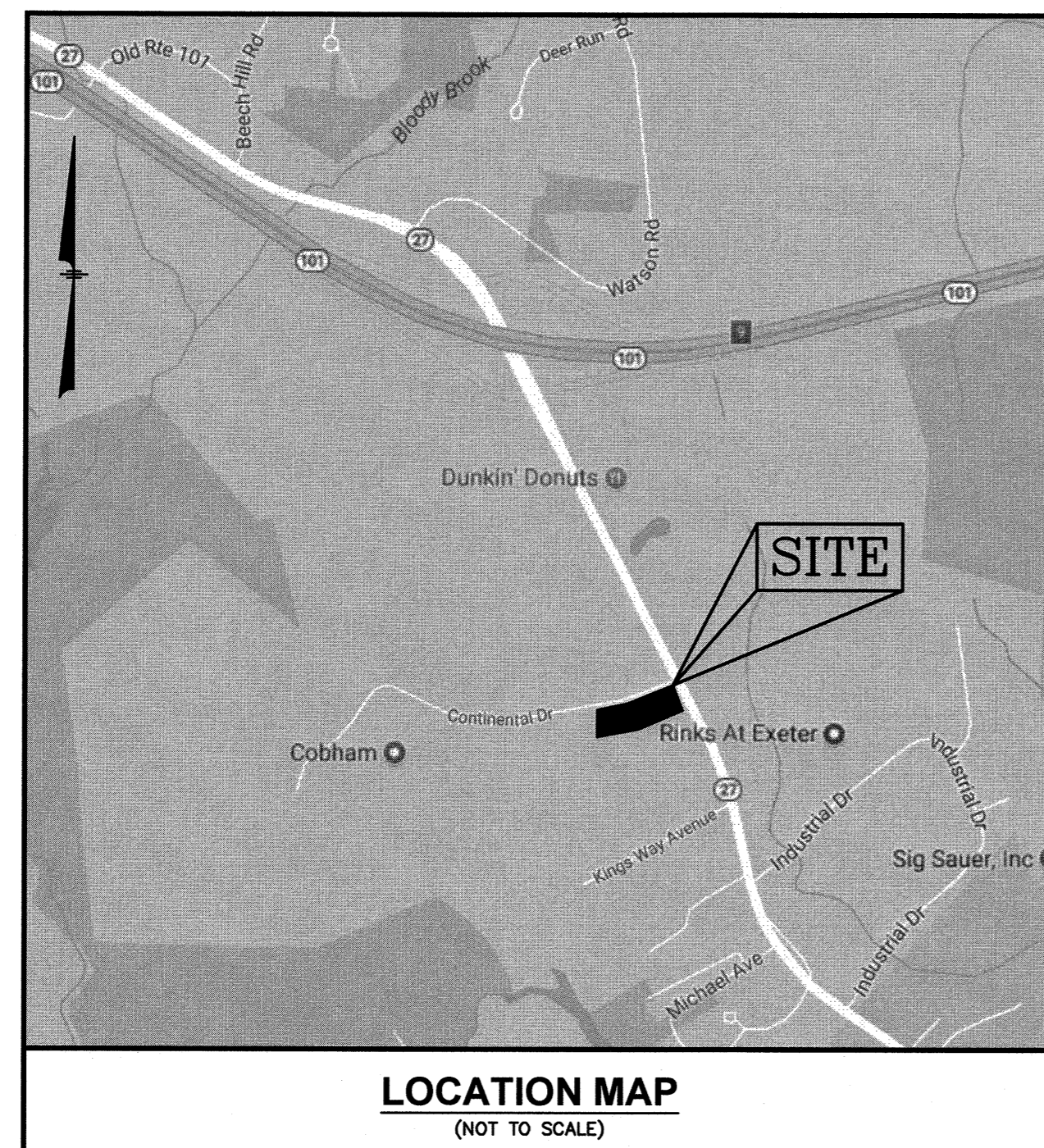
EXETER, NEW HAMPSHIRE 03833

Prepared for:

NOURIA ENERGY CORPORATION

326 CLARK STREET

WORCESTER, MA 01606



INDEX TO DRAWINGS

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITY PLAN
7. EROSION & SEDIMENTATION CONTROL PLAN
8. LANDSCAPE PLAN
9. DETAIL SHEET
10. DETAIL SHEET
11. DETAIL SHEET
12. DETAIL SHEET
13. DETAIL SHEET
- 1 OF 1. CAR WASH DETAIL SHEET
- 1 OF 2. SIGNAGE DETAILS (SP-01)
- 2 OF 2. SIGNAGE DETAILS (SP-02)
- 1 OF 1. HIGH INTENSITY SOIL SURVEY PLAN
- 1 OF 1. TRUCK TURN PLAN (TANKER)
- 1 OF 1. TRUCK TURN PLAN (FIRE)
- 1 OF 1. LIGHTING PLAN (RL-7312-S1)
- 1 OF 1. C-STORE GROUND FLOOR PLAN (A-101)
- 1 OF 1. CAR WASH FLOOR PLAN (A-102)
- 1 OF 2. EXTERIOR ELEVATIONS (A-201)
- 2 OF 2. EXTERIOR ELEVATIONS (A-202)
- 1 OF 1. 3D VIEWS (A-203)
- 1 OF 1. CAR WASH ELEVATIONS (A-204)
- 1 OF 1. FUELING CANOPY ELEVATIONS (A-205)

**PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833**



REVISIONS

NO.	REVISION	DATE
3	REV. SHT. 1-8,10,TT,TT(F)	9/3/21
2	REV. SHT. 6,8,13,SP-01,TT(F)	7/26/21
1	REV. SHT. 1-8,10-13,TT	7/12/21

APRIL 20, 2021

DRAWN/DESIGN BY CCC/CMT	CHECKED BY FCM
----------------------------	-------------------

COVER SHEET

SCALE: AS NOTED

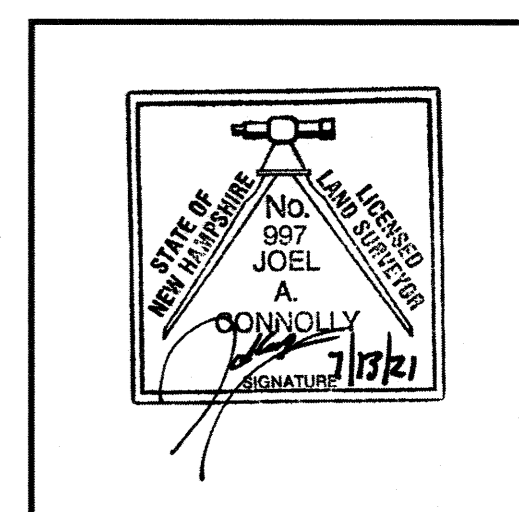
PROJECT NO.
NEX-2020283

1 OF 13

STATE PERMITS

TYPE EPA CGP NHDES FUEL TANKS & PIPING	PERMIT NUMBER PENDING PENDING	APPROVED
--	-------------------------------------	----------

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

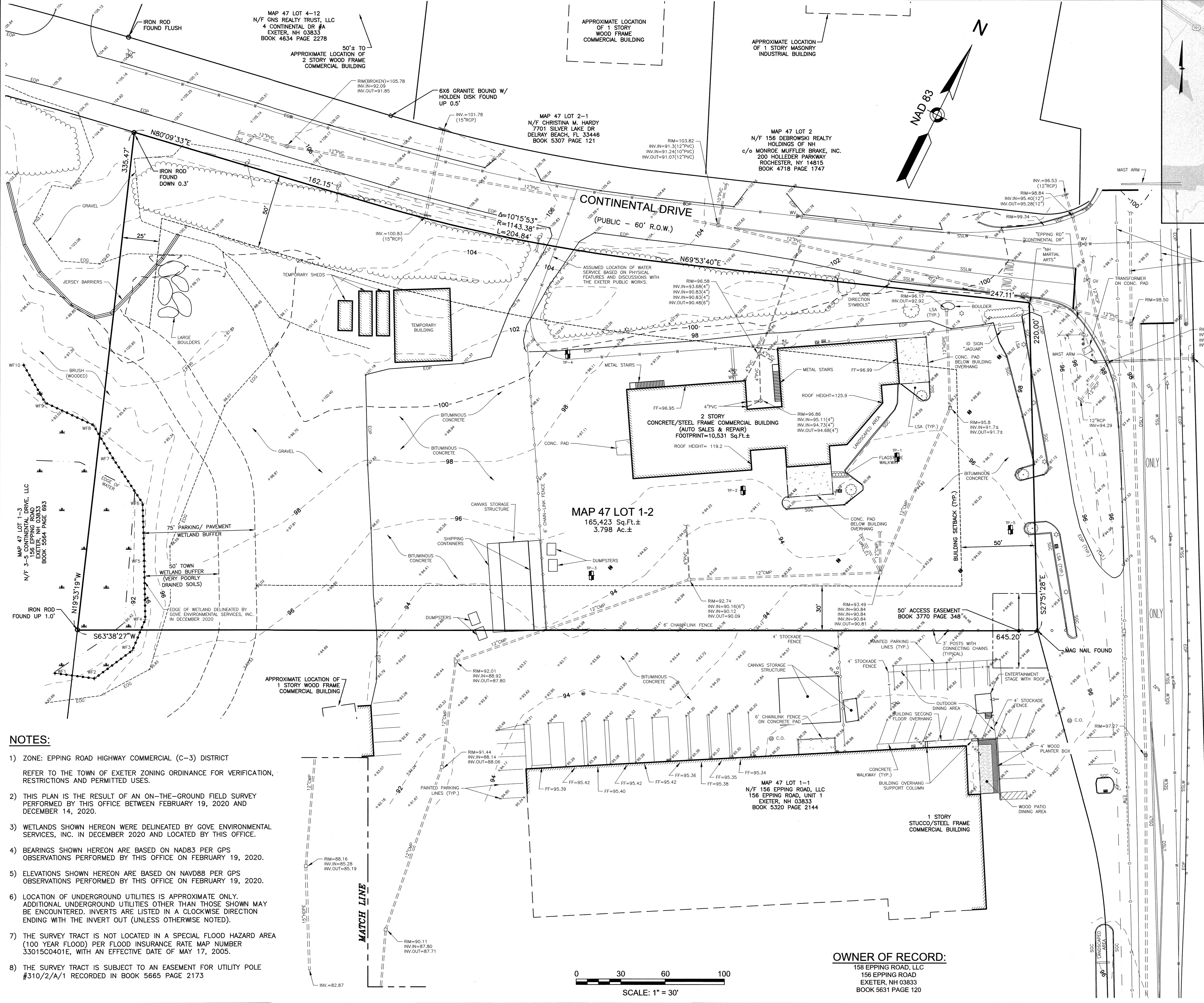


REVISIONS

NO.	REVISION	DATE
2	ADD'L SURVEY	7/9/21
1	ADD'L SURVEY	5/28/21

APRIL 20, 2021

DRAWN/DESIGN BY	CHECKED BY
DPD/JAC	JAC



PLAN REFERENCES:
1) ROCKINGHAM COUNTY REGISTRY OF DEEDS (RCRD) RECORD PLAN D-17933.
2) ENGINEERING PLAN D-20892. SUPPLEMENTED WITH THE TOWN OF EXETER RCRD PLAN D-25392.
3) RCRD PLAN D-28075.

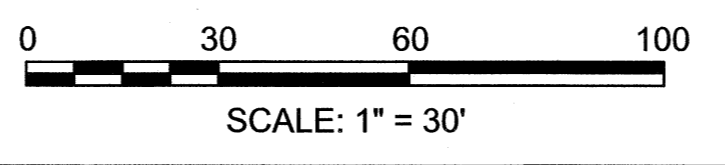
MAP 47 LOT 9
N/F CKT ASSOCIATES.
158 SHATTUCK WAY
NEWINGTON, NH 03801
BOOK 3231 PAGE 722



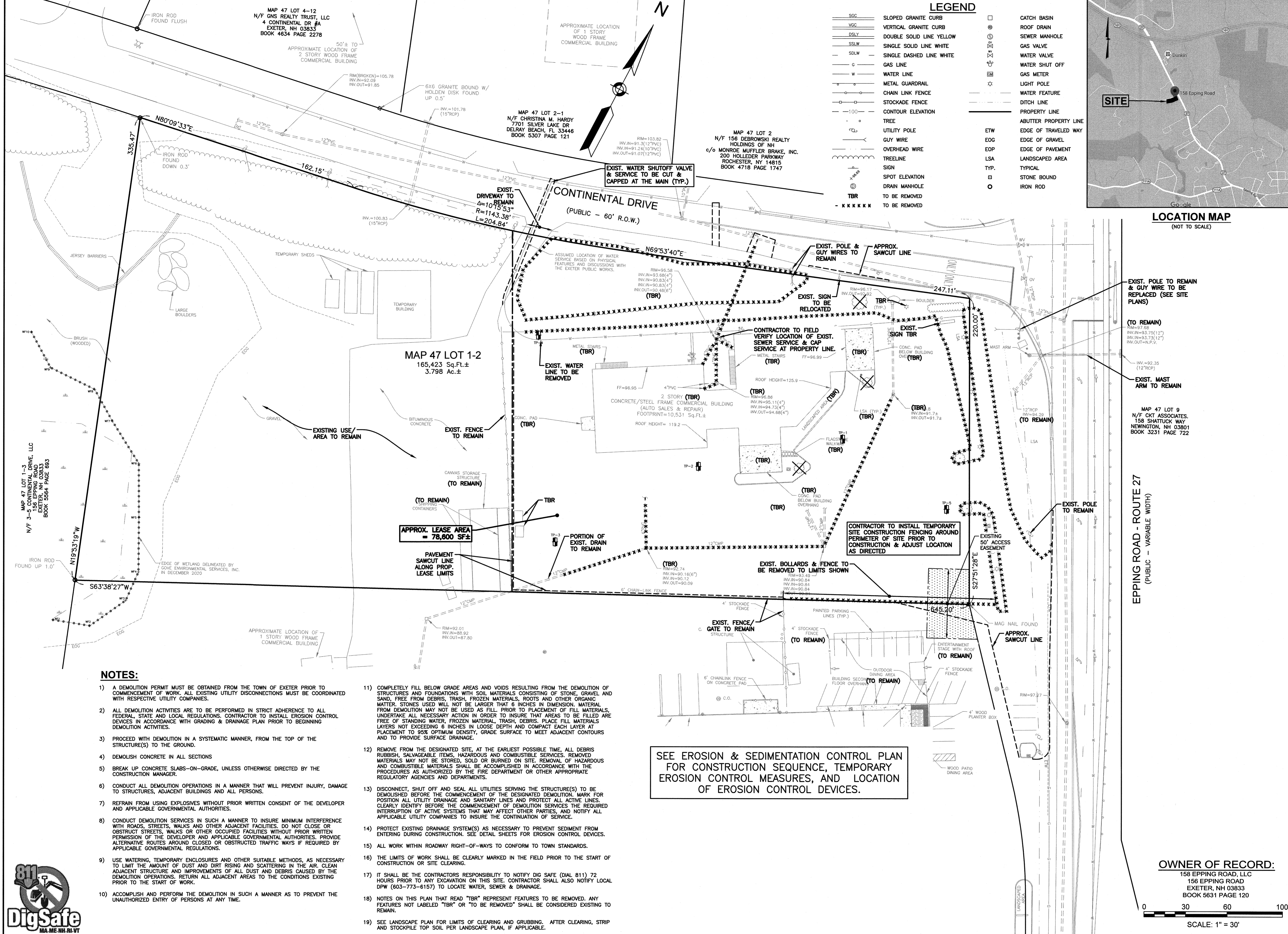
LEGEND

SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
DSLW	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
SDLW	SINGLE DASHED LINE WHITE
G	GAS LINE
W	WATER LINE
M	METAL GUARDRAIL
CLF	CHAIN LINK FENCE
SF	STOCKADE FENCE
-100-	CONTOUR ELEVATION
○	TREE
○	UTILITY POLE
—	GUY WIRE
—	OVERHEAD WIRE
—	TRELLINE
⊕	SIGN
⊕	DRAIN MANHOLE
⊕	CATCH BASIN
⊕	ROOF DRAIN
⊕	SEWER MANHOLE
⊕	GAS VALVE
⊕	WATER VALVE
⊕	WATER SHUT OFF
⊕	GAS METER
⊕	LIGHT POLE
⊕	WATER FEATURE
⊕	DITCH LINE
ETW	EDGE OF TRAVELED WAY
EOG	EDGE OF GRAVEL
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
⊕	SPOT ELEVATION

- NOTES:**
- 1) ZONE: EPPING ROAD HIGHWAY COMMERCIAL (C-3) DISTRICT
REFER TO THE TOWN OF EXETER ZONING ORDINANCE FOR VERIFICATION, RESTRICTIONS AND PERMITTED USES.
 - 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 19, 2020 AND DECEMBER 14, 2020.
 - 3) WETLANDS SHOWN HEREON WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN DECEMBER 2020 AND LOCATED BY THIS OFFICE.
 - 4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 19, 2020.
 - 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 19, 2020.
 - 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
 - 7) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0401E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - 8) THE SURVEY TRACT IS SUBJECT TO AN EASEMENT FOR UTILITY POLE #3102/A/1 RECORDED IN BOOK 5665 PAGE 2173

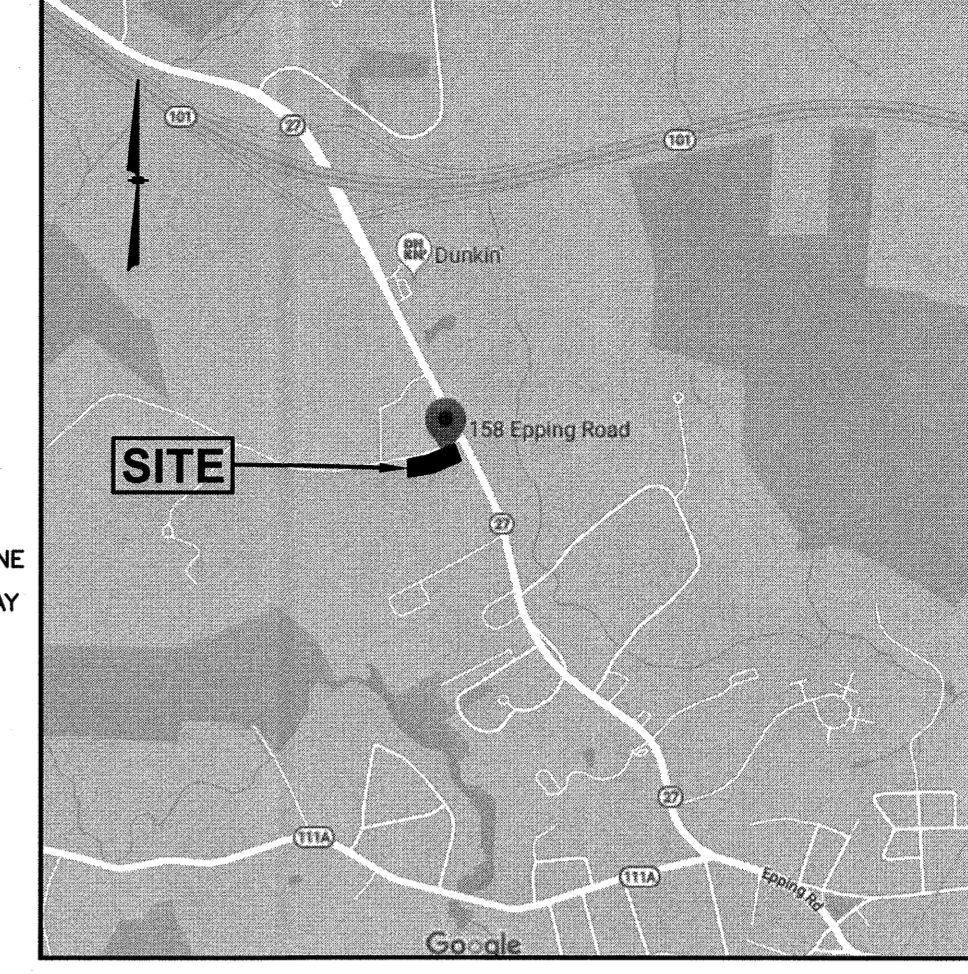


OWNER OF RECORD:
158 EPPING ROAD, LLC
158 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120



LEGEND

- SGC SLOPED GRANITE CURB
- VGC VERTICAL GRANITE CURB
- DSLY DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- SDLW SINGLE DASHED LINE WHITE
- G GAS LINE
- W WATER LINE
- M METAL GUARDRAIL
- CLF CHAIN LINK FENCE
- STF STOCKADE FENCE
- C E CONTOUR ELEVATION
- T TREE
- U UTILITY POLE
- GUY GUY WIRE
- OW OVERHEAD WIRE
- TRE TREELINE
- S SIGN
- SE SPOT ELEVATION
- DM DRAIN MANHOLE
- TBR TO BE REMOVED
- XXXXXX TO BE REMOVED
- CATCH BASIN
- ROOF DRAIN
- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT OFF
- GAS METER
- LIGHT POLE
- WATER FEATURE
- DITCH LINE
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- EDGE OF TRAVELED WAY
- EOG EDGE OF GRAVEL
- EOP EDGE OF PAVEMENT
- LSA LANDSCAPED AREA
- TYP. TYPICAL
- STONE BOUND
- IRON ROD

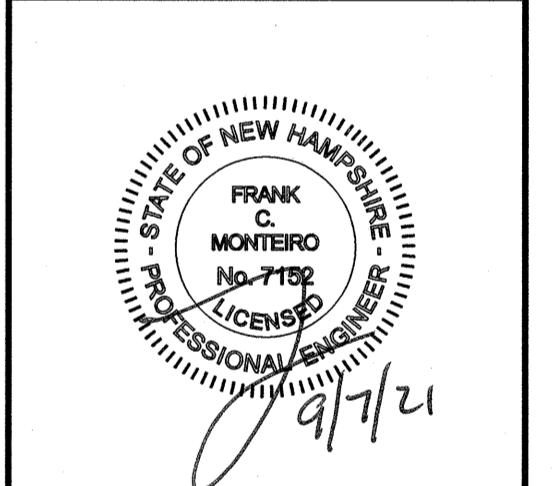


LOCATION MAP
(NOT TO SCALE)

GPI Engineering
Design
Planning
Construction Management
603-632-0720
Greenman-Pedersen, Inc.
44 Siles Road, Suite One
Salem, NH 03079
GPI.NET.COM

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS		
NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021

DRAWN/DESIGN BY CCC/CMT	CHECKED BY FCM
----------------------------	-------------------

DEMOLITION PLAN

SCALE: 1"=30'

PROJECT NO. NEX-2020283

3 OF 13

NOTES:

- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF EXETER PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS
- 5) BREAK UP CONCRETE SLABS—ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, ORGANIC AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO TOWN STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL DPW (603-773-6157) TO LOCATE WATER, SEWER & DRAINAGE.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 19) SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING AND GRUBBING. AFTER CLEARING, STRIP AND STOCKPILE TOP SOIL PER LANDSCAPE PLAN, IF APPLICABLE.

SEE EROSION & SEDIMENTATION CONTROL PLAN FOR CONSTRUCTION SEQUENCE, TEMPORARY EROSION CONTROL MEASURES, AND LOCATION OF EROSION CONTROL DEVICES.



F:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\2023_SP.dwg DEMO 9/07/21 12:46pm abonfonti



MAP 47 LOT 4-12
N/F GNS REALTY TRUST, LLC
4 CONTINENTAL DR #A
EXETER, NH 03833
BOOK 4634 PAGE 2278

50'± TO
APPROXIMATE LOCATION OF
2 STORY WOOD FRAME
COMMERCIAL BUILDING

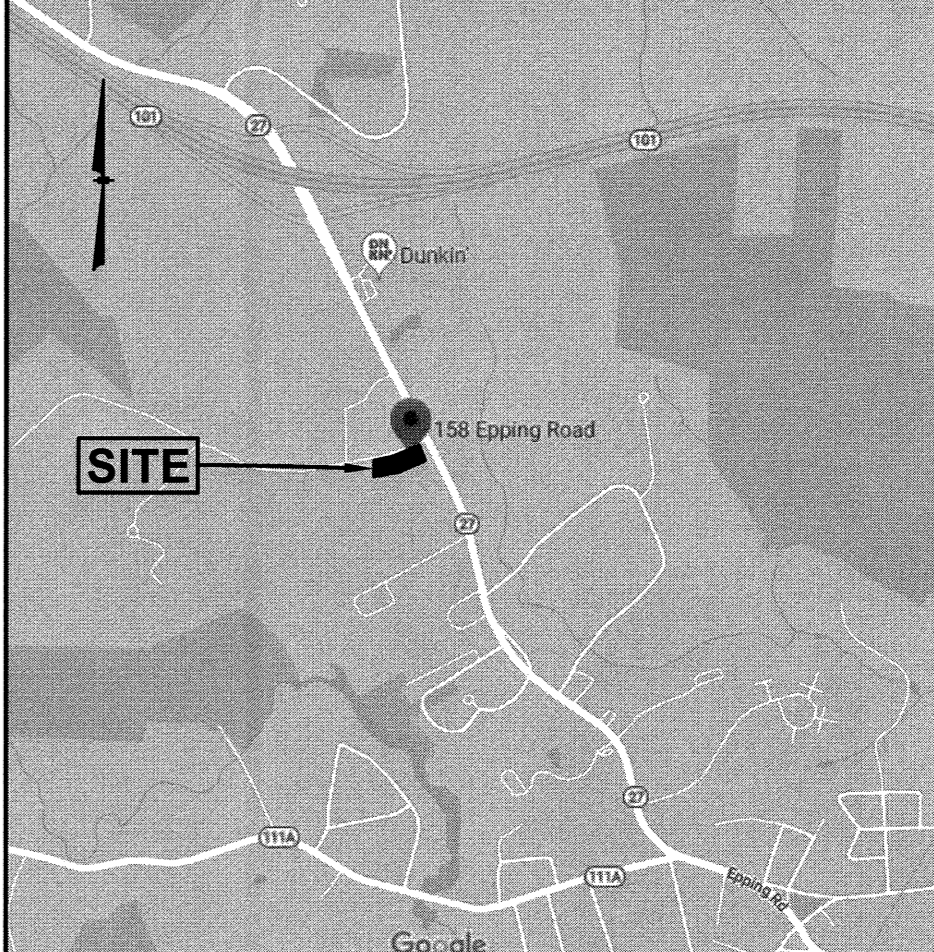
APPROXIMATE LOCATION
OF 1 STORY
WOOD FRAME
COMMERCIAL BUILDING

MAP 47 LOT 2-1
N/F CHRISTINA M. HARDY
7701 SILVER LAKE DR
DELRAY BEACH, FL 33446
BOOK 5307 PAGE 121

MAP 47 LOT 2
N/F 156 DEBROWSKI REALTY
HOLDINGS OF NH
C/O MONROE MUFFLER BRAKE, INC.
200 HOLLEDER PARKWAY
ROCHESTER, NY 14815
BOOK 4718 PAGE 1747

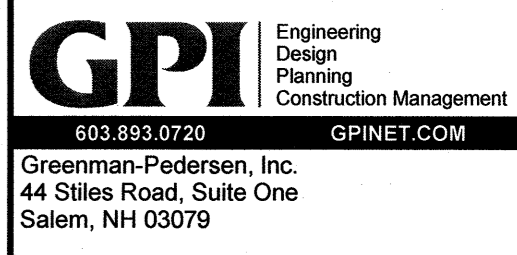
LEGEND

SDC	SLOPED GRANITE CURB	⊙	CATCH BASIN
VGC	VERTICAL GRANITE CURB	⊗	ROOF DRAIN
DSL	DOUBLE SOLID LINE YELLOW	⊕	SEWER MANHOLE
SSLW	SINGLE SOLID LINE WHITE	⊖	GAS VALVE
SDLW	SINGLE DASHED LINE WHITE	⊗	WATER VALVE
G	GAS LINE	⊕	WATER SHUT OFF
W	WATER LINE	⊖	GAS METER
M	METAL GUARDRAIL	⊗	LIGHT POLE
CLF	CHAIN LINK FENCE	⊕	WATER FEATURE
STF	STOCKADE FENCE	⊖	DITCH LINE
C	CONTOUR ELEVATION	⊗	PROPERTY LINE
T	TREE	⊕	ABUTTER PROPERTY LINE
UP	UTILITY POLE	⊖	EDGE OF TRAVELED WAY
GW	GUY WIRE	⊗	EDGE OF GRAVEL
OW	OVERHEAD WIRE	⊕	EDGE OF PAVEMENT
TL	TREELINE	⊖	LANDSCAPED AREA
SP	SPOT ELEVATION	⊗	TYP.
DM	DRAIN MANHOLE	⊕	STONE BOUND
NP	NUMBER OF PARKING SPACES	⊖	IRON ROD
		⊗	TIP DOWN CURB



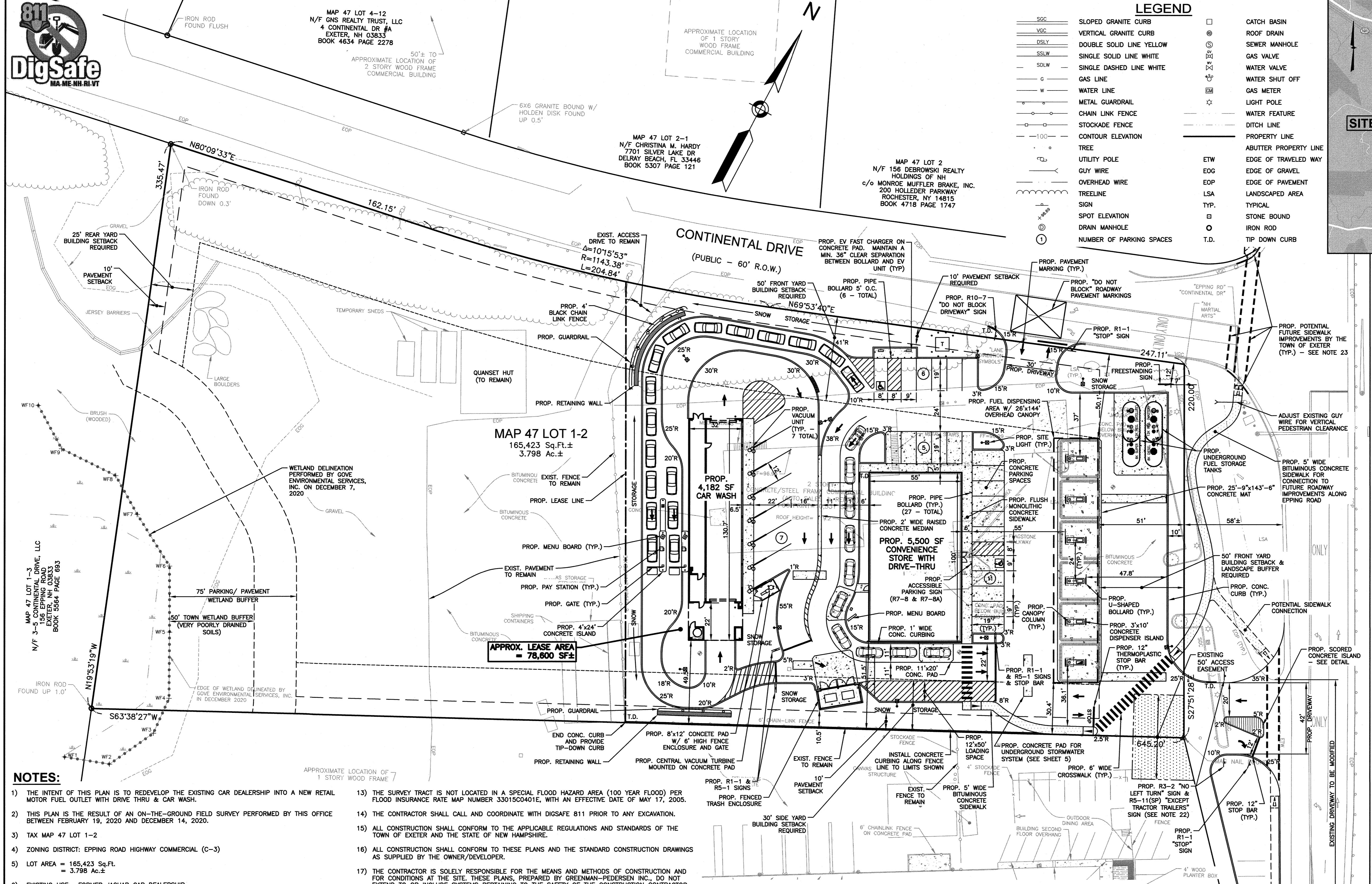
LOCATION MAP
(NOT TO SCALE)

MAP 47 LOT 9
N/F CKT ASSOCIATES,
158 SHATLUCK WAY
NEWINGTON, NH 03801
BOOK 3231 PAGE 722



PREPARED FOR
NOURIA ENERGY
CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

**PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833**



NOTES:

- THE INTENT OF THIS PLAN IS TO REDEVELOP THE EXISTING CAR DEALERSHIP INTO A NEW RETAIL MOTOR FUEL OUTLET WITH DRIVE THRU & CAR WASH.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 19, 2020 AND DECEMBER 14, 2020.
- TAX MAP 47 LOT 1-2
- ZONING DISTRICT: EPPING ROAD HIGHWAY COMMERCIAL (C-3)
- LOT AREA = 165,423 Sq.Ft. = 3.798 Ac.±
- EXISTING USE: FORMER JAGUAR CAR DEALERSHIP
PROPOSED USE: RETAIL MOTOR FUEL OUTLET INCLUDING A 5,500 SF CONVENIENCE STORE WITH DRIVE THRU, A FUEL CANOPY WITH 6 FUEL DISPENSING ISLANDS (12 FUELING POSITIONS) & A 4,182 SF CAR WASH FACILITY.
- THE FOLLOWING ZONING RELIEF WAS GRANTED BY THE EXETER ZONING BOARD OF ADJUSTMENT ON MARCH 16, 2021:
 - RETAIL SERVICES (INCL. RETAIL SALES/ RESTAURANTS/ DRIVE-IN COMMERCIAL) & AUTOMOBILE WASHING ARE A PERMITTED USES. GASOLINE AND/OR SERVICES STATIONS REQUIRE A SPECIAL EXCEPTION FROM THE ZONING BOARD OF ADJUSTMENT.
 - A VARIANCE FROM SECTION 6.8.2 OF THE EXETER ZONING ORDINANCE WHERE A TOTAL OF 50' OF FRONT YARD IS REQUIRED AND NONE IS PROPOSED SINCE THE WIDE TOWN RIGHT-OF-WAY IS INTENDED TO BE USED TO MEET THE INTENT OF THIS ORDINANCE.
 - A VARIANCE FROM SECTION 6.8.2 OF THE EXETER ZONING ORDINANCE FOR THE PROPOSED FREESTANDING SIGN LOCATED WITHIN THE 35' SETBACK FOR SIGNAGE.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010, OR LATEST EDITION.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON PROPERTY.
- EXISTING IMPERVIOUS COVERAGE = 87,976 SF (53.2%)
PROPOSED IMPERVIOUS COVERAGE = 85,945 SF (52.0%)
PROPOSED IMPERVIOUS COVERAGE (WITHIN LEASE LIMITS) = 61,546 SF (78.3%)

- THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0401E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF EXETER AND THE STATE OF NEW HAMPSHIRE.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL ASLES. SNOW AND ICE REMOVAL TO BE PERFORMED BY A CERTIFIED GREEN SNOWPRO CONTRACTOR FOLLOWING THE PROCEDURES AS OUTLINE IN THE SALT MINIMIZATION PLAN AND INSPECTION & MAINTENANCE MANUALS.
- REFER TO DETAIL SHEETS FOR ALL SITE DEVELOPMENT DETAILS AND INFORMATION.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- EXITING LEFT TURN MOVEMENTS ALLOWED BY TRACTOR TRAILERS ONLY BASED ON APPROVAL BY THE EXETER PLANNING BOARD ON JULY 29, 2021.
- PROPOSED SIDEWALK IMPROVEMENTS BY THE TOWN OF EXETER INCLUDING RAMPS, CROSSWALKS, & STRIPING ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE.

TABLE OF ZONING REGULATIONS - EXETER, NH
ZONE: EPPING ROAD HIGHWAY COMMERCIAL (C-3)

DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA - Sq. Ft.	40,000 SF	165,423 SF
MINIMUM LOT FRONTAGE	N/A	834.10'
MINIMUM FRONT YARD BUILDING SETBACK	50'	51' (CANOPY TO EPPING RD) 50.1' (CANOPY TO CONTINENTAL DR)
MINIMUM SIDE YARD BUILDING SETBACK	30'	30.4' (CANOPY) 51.5' (C-STORE) 49.5' (CAR WASH)
MINIMUM REAR YARD BUILDING SETBACK (BUILDING SETBACK FROM LEASE LINE)	25'	326.7' (38.6')
MINIMUM FRONT LANDSCAPE STRIP	35'	12.50'
PARKING SPACE DIMENSIONS	9'x19'	9'x19'
MINIMUM NUMBER PARKING SPACES	GASOLINE OR AUTOMOTIVE: 1 SPACE PER 300 SF GROSS RETAIL = 4,500 SF RETAIL X 1 SP/300 SF = 15 SPACES RESTAURANT: 1 SPACE PER 3 SEATS (1,000 SF) (ASSUME 12 SEATS) X 1 SP/3 SEATS = 4 SPACES TOTAL = 19 SPACES REQUIRED	22 SPACES (EXCLUDES 12 SPACES AT DISPENSERS)
MINIMUM OPEN SPACE	20%	79,478 SF/165,423 SF = 48.0%
MAXIMUM STRUCTURE HEIGHT	50'	< 50'
MAXIMUM BUILDING COVERAGE	40%	13,426 SF/165,423 SF = 8.1%
FREESTANDING SIGN AREA, HEIGHT+SETBACK	24 SF, 25' HIGH, 35' SETBACK	7' SETBACK, REFER TO SIGN PLAN FOR DETAILS REFER TO SIGN PLAN FOR DETAILS
WALL SIGN AREA	40 SF	40 SF
LOADING SPACE REQUIREMENTS	1 SPACE/4,000 SF + 1 FOR EACH ADDITIONAL 10,000 SF	1 SPACE

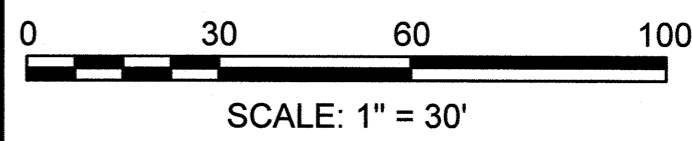
TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

SIGN KEY

SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R5-1	NO LEFT TURN R/W	30" x 30" NEW SIGN WITH POST
R7-8	RESERVED PARKING G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	RESERVED PARKING G/W	6" x 12"
R10-7	NO TRUCK TRAILERS B/W	24" x 30" NEW SIGN WITH POST
R3-2	NO TRUCK TRAILERS B/W/R	24" x 24" NEW SIGN WITH POST
R5-11(SP)	EXCEPT TRACTOR TRAILERS B/W	24" x 24" NEW SIGN WITH POST

OWNER OF RECORD:
158 EPPING ROAD, LLC
156 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120



SCALE: 1" = 30'

REVISIONS

NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021
DRAWN/DESIGN BY: CCC/CMT
CHECKED BY: FCM

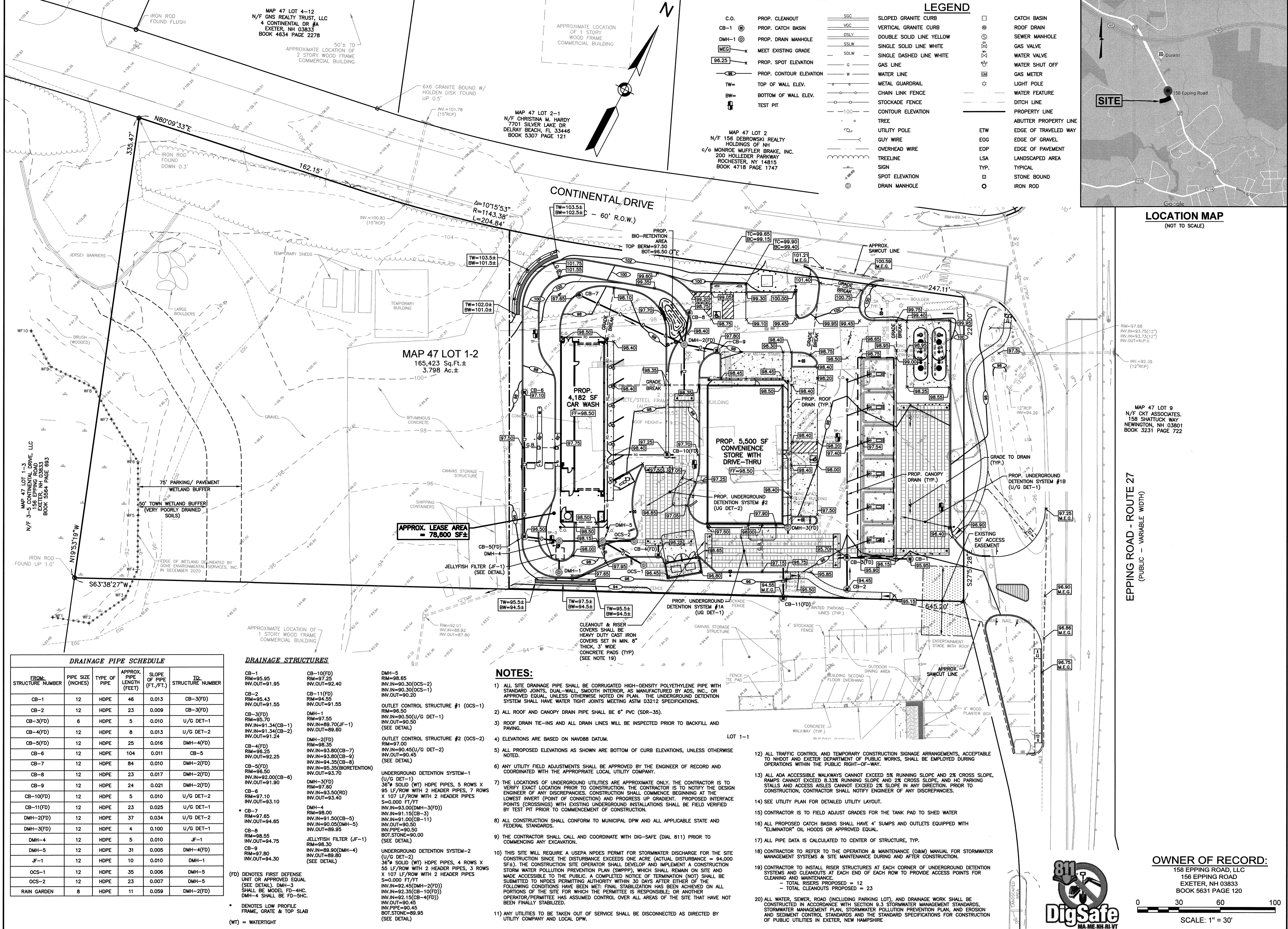
SITE PLAN

SCALE: 1"=30'

PROJECT NO. NEX-2020283

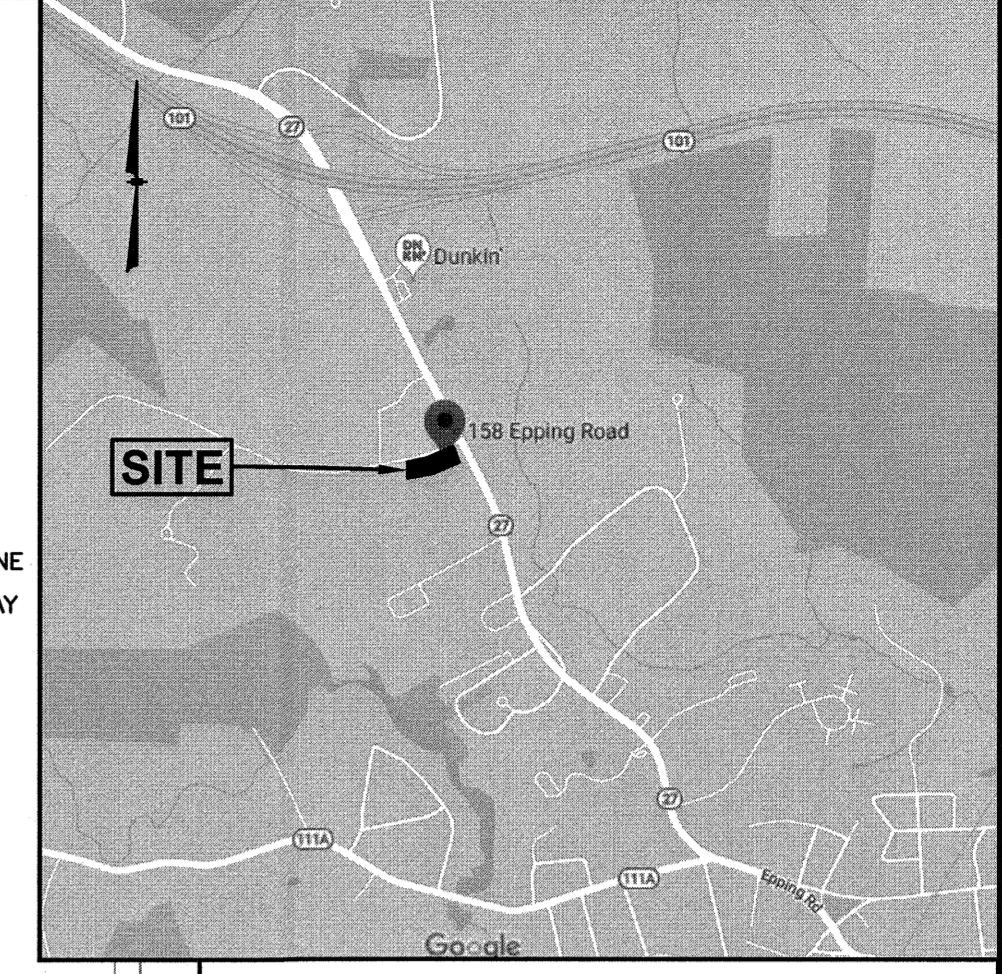
4 OF 13

F:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\2020283_SP.dwg SP_9/07/21 12:45pm abonfonti



LEGEND

- C.O. PROP. CLEANOUT
- CB-1 PROP. CATCH BASIN
- DMH-1 PROP. DRAIN MANHOLE
- MEG MEET EXISTING GRADE
- 96.25 PROP. SPOT ELEVATION
- PROP. CONTOUR ELEVATION
- TW= TOP OF WALL ELEV.
- BW= BOTTOM OF WALL ELEV.
- TEST PIT
- SGC SLOPED GRANITE CURB
- VSC VERTICAL GRANITE CURB
- DSL DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- SDLW SINGLE DASHED LINE WHITE
- G GAS LINE
- W WATER LINE
- M METAL GUARDRAIL
- CLF CHAIN LINK FENCE
- SF STOCKADE FENCE
- C CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- ROOF DRAIN
- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT OFF
- GAS METER
- LIGHT POLE
- WATER FEATURE
- DITCH LINE
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- EDGE OF TRAVELED WAY
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- LANDSCAPED AREA
- TYPICAL
- STONE BOUND
- IRON ROD

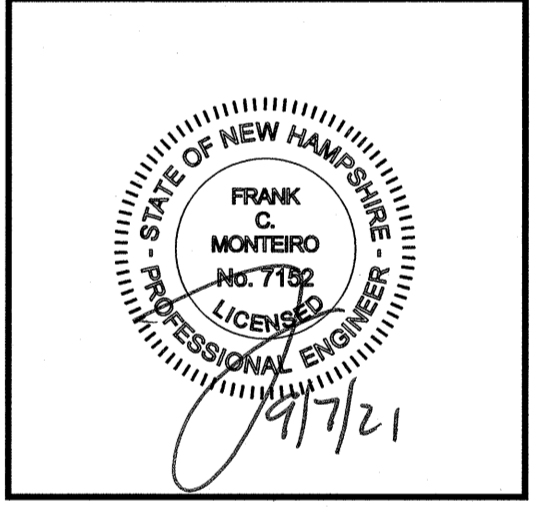


LOCATION MAP
(NOT TO SCALE)

GPI Engineering
Design
Planning
Construction Management
0303.935.0720
GPI@NET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS		
NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021
DRAWN/DESIGN BY: CCC/CMT
CHECKED BY: FCM

GRADING & DRAINAGE PLAN

SCALE: 1"=30'

PROJECT NO. NEX-2020283

5 OF 13

DRAINAGE PIPE SCHEDULE

FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
CB-1	12	HDPE	46	0.013	CB-3(FD)
CB-2	12	HDPE	23	0.009	CB-3(FD)
CB-3(FD)	6	HDPE	5	0.010	U/G DET-1
CB-4(FD)	12	HDPE	8	0.013	U/G DET-2
CB-5(FD)	12	HDPE	25	0.016	DMH-4(FD)
CB-6	12	HDPE	104	0.011	CB-5
CB-7	12	HDPE	84	0.010	DMH-2(FD)
CB-8	12	HDPE	23	0.017	DMH-2(FD)
CB-9	12	HDPE	24	0.021	DMH-2(FD)
CB-10(FD)	12	HDPE	5	0.010	U/G DET-2
CB-11(FD)	12	HDPE	23	0.025	U/G DET-1
DMH-2(FD)	12	HDPE	37	0.034	U/G DET-2
DMH-3(FD)	12	HDPE	4	0.100	U/G DET-1
DMH-4	12	HDPE	5	0.010	JF-1
DMH-5	12	HDPE	31	0.005	DMH-4(FD)
JF-1	12	HDPE	10	0.010	DMH-1
OCS-1	12	HDPE	35	0.006	DMH-5
OCS-2	12	HDPE	23	0.007	DMH-5
RAIN GARDEN	8	HDPE	11	0.059	DMH-2(FD)

DRAINAGE STRUCTURES

CB-1 RIM=95.95 INV.OUT=91.95	CB-10(FD) RIM=98.65 INV.OUT=92.40	DMH-5 RIM=98.65 INV.IN=90.30(OCS-2) INV.IN=90.30(OCS-1) INV.OUT=90.20
CB-2 RIM=95.43 INV.OUT=91.55	CB-11(FD) RIM=94.55 INV.OUT=91.55	OUTLET CONTROL STRUCTURE #1 (OCS-1) RIM=96.50 INV.IN=90.50(U/G DET-1) INV.OUT=90.50
CB-3(FD) RIM=95.70 INV.IN=91.34(CB-1) INV.IN=91.34(CB-2) INV.OUT=91.24	DMH-1 RIM=97.55 INV.IN=89.70(JF-1) INV.IN=89.80 INV.OUT=89.80	OUTLET CONTROL STRUCTURE #2 (OCS-2) RIM=97.00 INV.IN=90.45(U/G DET-2) INV.IN=90.45 INV.OUT=90.45
CB-4(FD) RIM=96.25 INV.OUT=92.25	DMH-2(FD) RIM=98.25 INV.IN=93.80(CB-7) INV.IN=93.80(CB-9) INV.IN=94.35(CB-8) INV.IN=95.35(BORERETENTION) INV.OUT=93.70	UNDERGROUND DETENTION SYSTEM-1 (U/G DET-1) RIM=97.60 36" SOLID (WT) HDPE PIPES, 5 ROWS X 95 LF/ROW WITH 2 HEADER PIPES, 7 ROWS X 107 LF/ROW WITH 2 HEADER PIPES S=0.000 FT/FT INV.IN=93.00(DMH-3(FD)) INV.IN=91.15(CB-3) INV.IN=91.00(CB-11) INV.OUT=90.50 INV.PIPE=90.50 BOT.STONE=90.00 (SEE DETAIL)
CB-5(FD) RIM=96.50 INV.IN=92.00(CB-6) INV.OUT=91.90	DMH-3(FD) RIM=97.60 INV.IN=93.50(RD) INV.OUT=93.40	UNDERGROUND DETENTION SYSTEM-2 (U/G DET-2) RIM=97.60 36" SOLID (WT) HDPE PIPES, 4 ROWS X 55 LF/ROW WITH 2 HEADER PIPES, 3 ROWS X 107 LF/ROW WITH 2 HEADER PIPES S=0.000 FT/FT INV.IN=92.45(DMH-2(FD)) INV.IN=92.35(CB-10(FD)) INV.IN=92.15(CB-4(FD)) INV.OUT=90.45 INV.PIPE=90.45 BOT.STONE=89.95 (SEE DETAIL)
CB-6 RIM=97.10 INV.OUT=93.10	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	JELLYFISH FILTER (JF-1) RIM=98.30 INV.IN=89.90(DMH-4) INV.OUT=89.80 INV.OUT=94.30
CB-7 RIM=97.10 INV.OUT=93.10	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
CB-8 RIM=96.50 INV.IN=92.00(CB-6) INV.OUT=91.90	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
CB-9 RIM=97.60 INV.IN=93.50(RD) INV.OUT=93.40	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
CB-10(FD) RIM=96.50 INV.IN=92.00(CB-6) INV.OUT=91.90	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
DMH-2(FD) RIM=97.60 INV.IN=93.50(RD) INV.OUT=93.40	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
DMH-3(FD) RIM=97.60 INV.IN=93.50(RD) INV.OUT=93.40	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
DMH-5 RIM=98.65 INV.IN=90.30(OCS-2) INV.IN=90.30(OCS-1) INV.OUT=90.20	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	
JF-1 RIM=98.30 INV.IN=89.90(DMH-4) INV.OUT=89.80 INV.OUT=94.30	DMH-4 RIM=98.00 INV.IN=91.50(CB-5) INV.IN=90.05(DMH-5) INV.OUT=89.95	

(FD) DENOTES FIRST DEFENSE UNIT OR APPROVED EQUAL (SEE DETAIL). DMH-3 SHALL BE MODEL FD-4HC. DMH-4 SHALL BE FD-5HC.
• DENOTES LOW PROFILE FRAME, GRATE & TOP SLAB
(WT) = WATERTIGHT

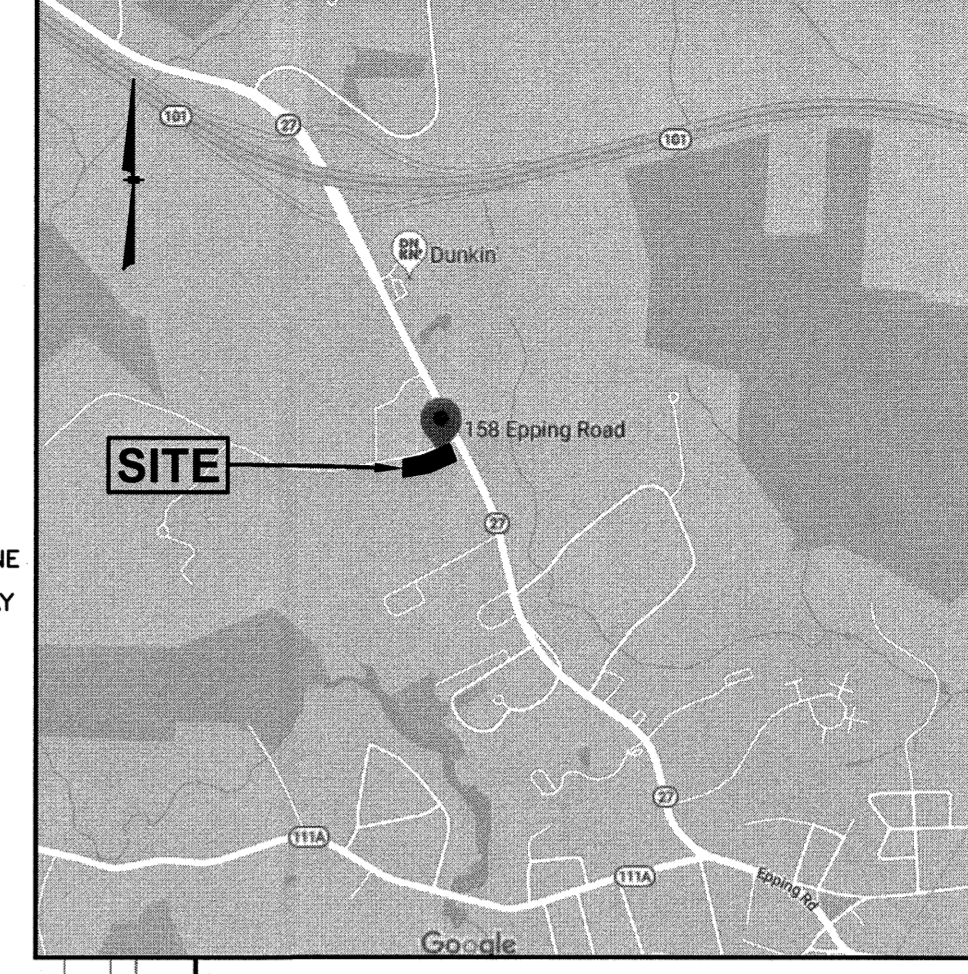
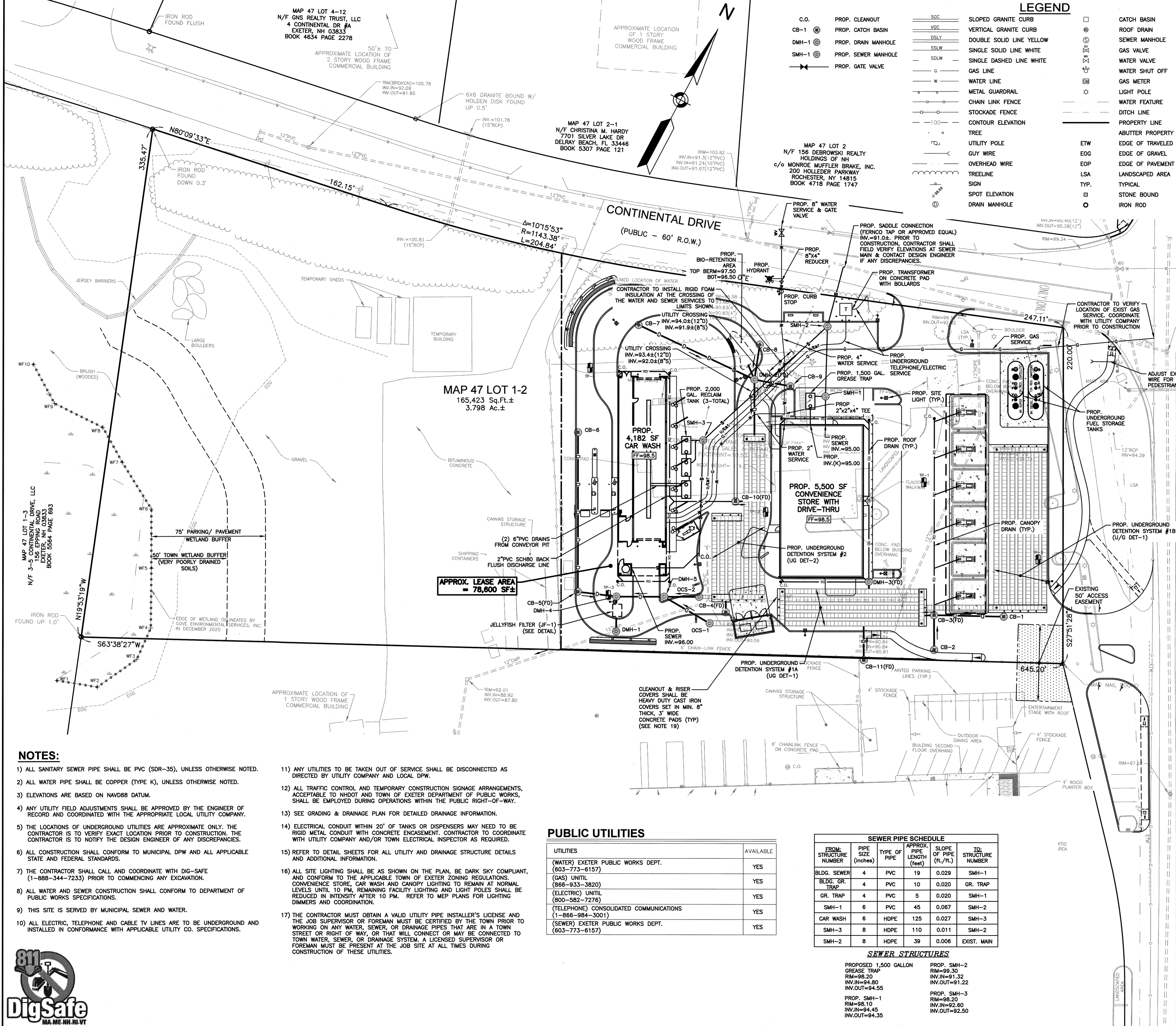
- NOTES:**
- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT JOINTS MEETING ASTM D3212 SPECIFICATIONS.
 - ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35).
 - ROOF DRAIN TE-INS AND ALL DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILL AND PAVING.
 - ELEVATIONS ARE BASED ON NAVD88 DATUM.
 - ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
 - ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
 - THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
 - THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 94,000 SF±). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE, OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.



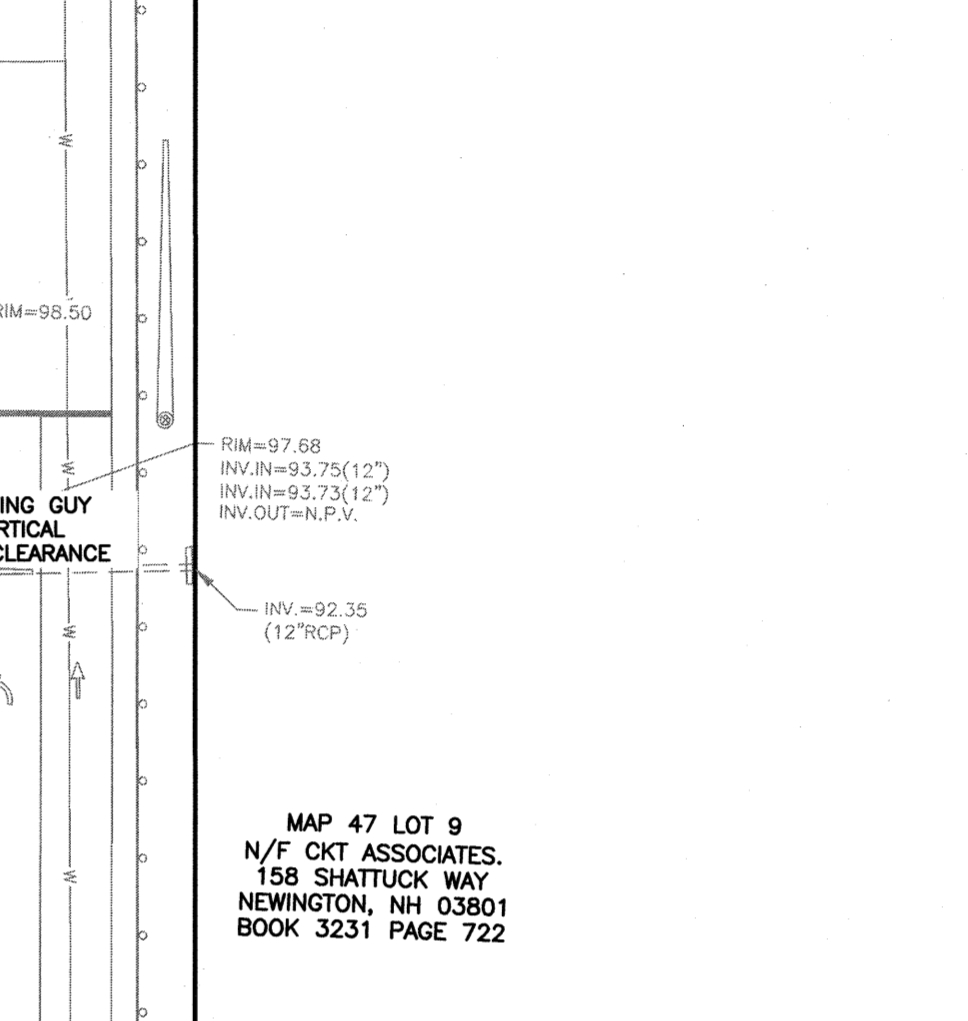
OWNER OF RECORD:
158 EPPING ROAD, LLC
158 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120

SCALE: 1"=30'

0 30 60 100



LOCATION MAP (NOT TO SCALE)



EPPING ROAD - ROUTE 27 (PUBLIC - VARIABLE WIDTH)

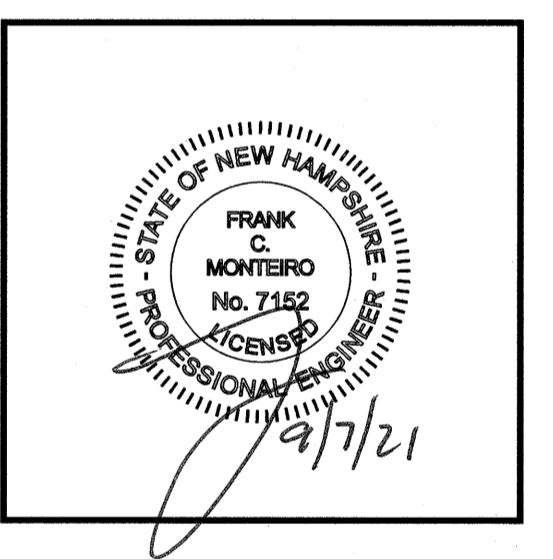


MAP 47 LOT 9 N/F CKT ASSOCIATES, 158 SHATTUCK WAY NEWINGTON, NH 03801 BOOK 3231 PAGE 722



PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

**PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833**



REVISIONS

NO.	REVISION	DATE
3	MISC. REVISIONS	9/3/21
2	MISC. REVISIONS	7/28/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021
DRAWN/DESIGN BY: CCC/CMT
CHECKED BY: FCM

UTILITY PLAN

SCALE: 1"=30'
PROJECT NO. NEX-2020283
6 OF 13

LEGEND

- SLOPED GRANITE CURB
- VERTICAL GRANITE CURB
- DOUBLE SOLID LINE YELLOW
- SINGLE SOLID LINE WHITE
- SINGLE DASHED LINE WHITE
- GAS LINE
- WATER LINE
- METAL GUARDRAIL
- CHAIN LINK FENCE
- STOCKADE FENCE
- CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- ROOF DRAIN
- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT OFF
- GAS METER
- LIGHT POLE
- WATER FEATURE
- DITCH LINE
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- EDGE OF TRAVELED WAY
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- LANDSCAPED AREA
- TYPICAL
- STONE BOUND
- IRON ROD

- NOTES:**
- ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
 - ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
 - ELEVATIONS ARE BASED ON NAVD88 DATUM.
 - ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
 - THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
 - ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
 - ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
 - THIS SITE IS SERVED BY MUNICIPAL SEWER AND WATER.
 - ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.

- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- ELECTRICAL CONDUIT WITHIN 20' OF TANKS OR DISPENSERS MAY NEED TO BE RIGID METAL CONDUIT WITH CONCRETE ENCASUREMENT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND/OR TOWN ELECTRICAL INSPECTOR AS REQUIRED.
- REFER TO DETAIL SHEETS FOR ALL UTILITY AND DRAINAGE STRUCTURE DETAILS AND ADDITIONAL INFORMATION.
- ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, BE DARK SKY COMPLIANT, AND CONFORM TO THE APPLICABLE TOWN OF EXETER ZONING REGULATIONS. CONVENIENCE STORE, CAR WASH AND CANOPY LIGHTING TO REMAIN AT NORMAL LEVELS UNTIL 10 PM. REMAINING FACILITY LIGHTING AND LIGHT POLES SHALL BE REDUCED IN INTENSITY AFTER 10 PM. REFER TO MEP PLANS FOR LIGHTING DIMMERS AND COORDINATION.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

PUBLIC UTILITIES

UTILITIES	AVAILABLE
(WATER) EXETER PUBLIC WORKS DEPT. (603-773-6157)	YES
(GAS) UNTIL (866-933-3820)	YES
(ELECTRIC) UNTIL (603-582-7276)	YES
(TELEPHONE) CONSOLIDATED COMMUNICATIONS (1-866-984-3001)	YES
(SEWER) EXETER PUBLIC WORKS DEPT. (603-773-6157)	YES

SEWER PIPE SCHEDULE

FROM STRUCTURE NUMBER	PIPE SIZE (inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	SLOPE OF PIPE (ft./ft.)	TO STRUCTURE NUMBER
BLDG. SEWER	4	PVC	19	0.029	SMH-1
BLDG. GR. TRAP	4	PVC	10	0.020	GR. TRAP
GR. TRAP	4	PVC	5	0.020	SMH-1
SMH-1	6	PVC	45	0.067	SMH-2
CAR WASH	6	HDPE	125	0.027	SMH-3
SMH-3	8	HDPE	110	0.011	SMH-2
SMH-2	8	HDPE	39	0.006	EXIST. MAIN

SEWER STRUCTURES

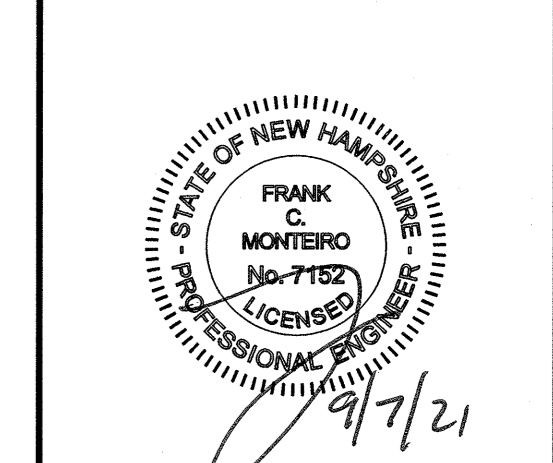
PROPOSED 1,500 GALLON GREASE TRAP RIM=98.20 INV.IN=94.80 INV.OUT=94.55	PROP. SMH-2 RIM=99.30 INV.IN=91.32 INV.OUT=91.22
PROP. SMH-1 RIM=98.10 INV.IN=94.45 INV.OUT=94.35	PROP. SMH-3 RIM=98.20 INV.IN=92.80 INV.OUT=92.50





PREPARED FOR
NOURIA ENERGY
CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

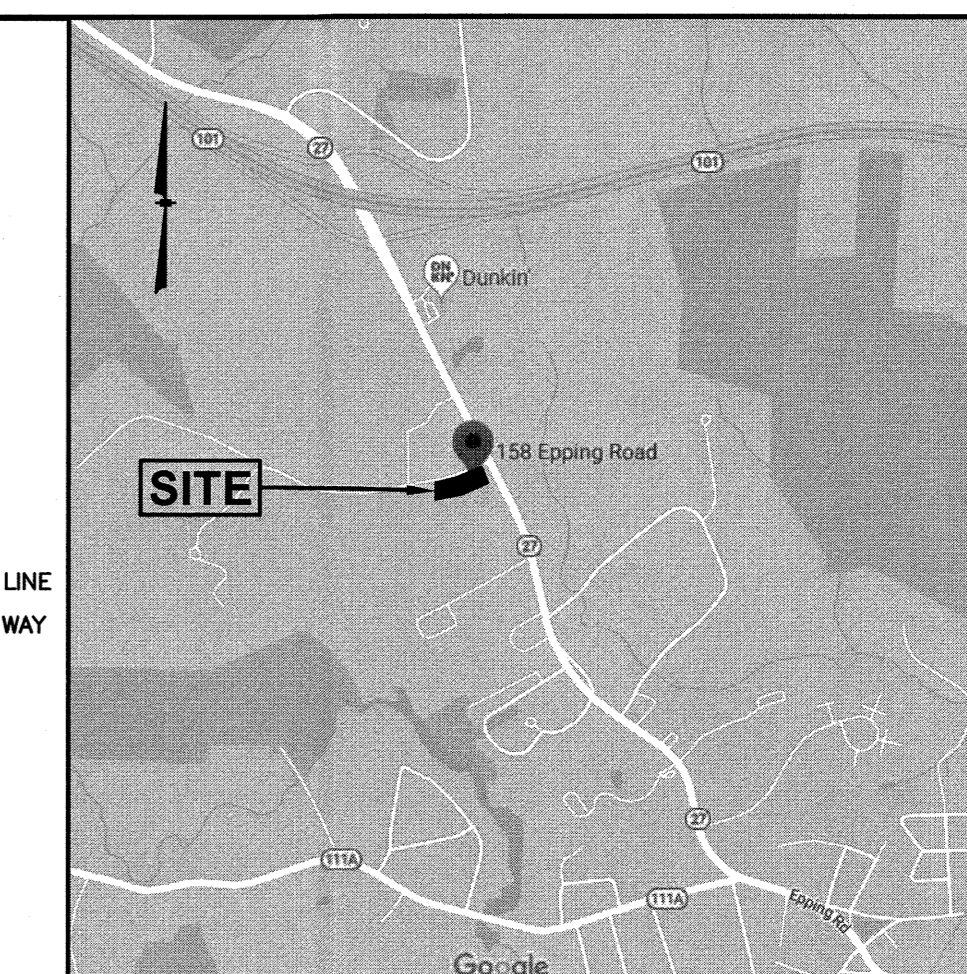
PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS		
NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021
DRAWN/DESIGN BY: CCC/CMT
CHECKED BY: FCM

EROSION & SEDIMENTATION CONTROL PLAN
SCALE: 1"=40'
PROJECT NO. NEX-2020283
7 OF 13



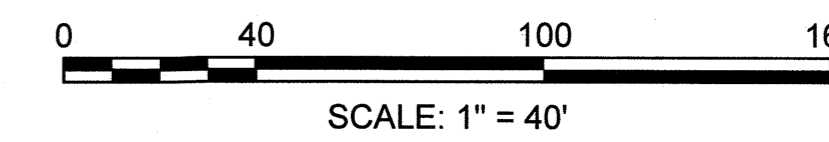
LOCATION MAP (NOT TO SCALE)

WINTER STABILIZATION NOTES:

MAINTENANCE REQUIREMENTS:
MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.
FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).
SPECIFICATIONS:
TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.
1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. SUBJECT TO APPLICABLE REGULATIONS, THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVROCERT INTERNATIONAL, INC.
2. STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS:
A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (SEE DESCRIPTION OF EROSION CONTROL MIX BERMS FOR MATERIAL SPECIFICATION).
B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
3. ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
4. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
5. ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
6. STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
7. FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
8. INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
9. ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVROCERT INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
10. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
11. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS, SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

OWNER OF RECORD:

158 EPPING ROAD, LLC
156 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120



LEGEND

- | | | | | | |
|-------|-------------------------|------|--------------------------|-------|-----------------------|
| C.O. | PROP. CLEANOUT | SDC | SLOPED GRANITE CURB | □ | CATCH BASIN |
| CB-1 | PROP. CATCH BASIN | VSC | VERTICAL GRANITE CURB | ⊙ | ROOF DRAIN |
| DMH-1 | PROP. DRAIN MANHOLE | DSLY | DOUBLE SOLID LINE YELLOW | ⊗ | SEWER MANHOLE |
| MEG | MEET EXISTING GRADE | SSLW | SINGLE SOLID LINE WHITE | ⊕ | GAS VALVE |
| 96.25 | PROP. SPOT ELEVATION | SDLW | SINGLE DASHED LINE WHITE | ⊖ | WATER VALVE |
| ⊕ | PROP. CONTOUR ELEVATION | G | GAS LINE | ⊗ | WATER SHUT OFF |
| ⊖ | PROP. SILT FENCE | W | WATER LINE | ⊕ | GAS METER |
| | | M | METAL GUARDRAIL | ☆ | LIGHT POLE |
| | | CL | CHAIN LINK FENCE | — | WATER FEATURE |
| | | ST | STOCKADE FENCE | - - - | DITCH LINE |
| | | 100 | CONTOUR ELEVATION | — | PROPERTY LINE |
| | | T | TREE | — | ADJUTER PROPERTY LINE |
| | | U | UTILITY POLE | ETW | EDGE OF TRAVELED WAY |
| | | GW | GUY WIRE | EOG | EDGE OF GRAVEL |
| | | OW | OVERHEAD WIRE | EOP | EDGE OF PAVEMENT |
| | | TL | TREELINE | LSA | LANDSCAPED AREA |
| | | SE | SPOT ELEVATION | SYN | TYPICAL |
| | | DM | DRAIN MANHOLE | □ | STONE BOUND |
| | | | | ○ | IRON ROD |

TEMPORARY EROSION CONTROL MEASURES:

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDING TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING, A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DOWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- JUTE MATTING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

CONSTRUCTION SEQUENCE NOTES:

- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDING TO PREVENT EROSION.
- CONSTRUCT SWALES & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
- CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
- INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM. NO STORMWATER FLOWS ARE TO BE DIRECTED TO THE INFILTRATION SYSTEMS UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDING OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
- DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/4" OF RAINFALL.
- BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
- FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.

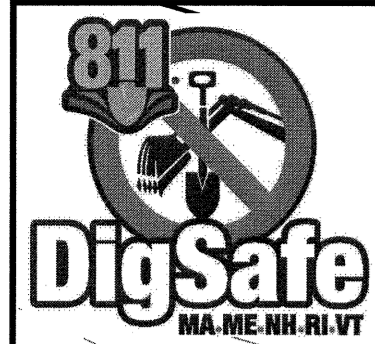
EROSION CONTROL NOTES:

- THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008, OR LATEST EDITION.
- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED: THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
- ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGEWAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.

Permanent Seed Mix	lbs./acre
Creeping Red Fescue	20
Tall Fescue	20
Redtop	
TOTAL	42

Temporary Seed Mix:	lbs./acre
Winter Rye (Aug. 15-Sept. 15)	112
Oats (No later than May 15)	80

FA:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\20283_SP.dwg EROS: 9/07/21 12:45pm eborfonti



MAP 47 LOT 4-12
N/F GNS REALTY TRUST, LLC
4 CONTINENTAL DR #A
EXETER, NH 03833
BOOK 4634 PAGE 2278

APPROXIMATE LOCATION OF 2 STORY WOOD FRAME COMMERCIAL BUILDING

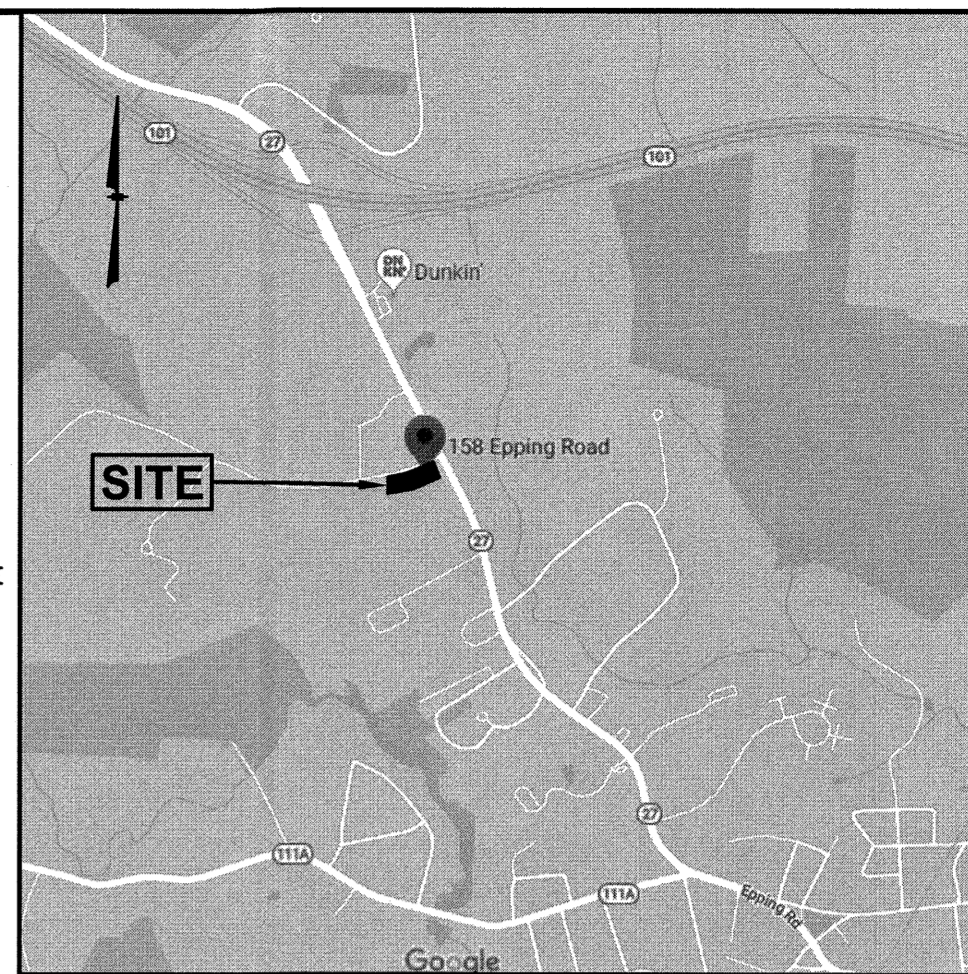
APPROXIMATE LOCATION OF 1 STORY WOOD FRAME COMMERCIAL BUILDING

MAP 47 LOT 2-1
N/F CHRISTINA M. HARDY
7701 SILVER LAKE DR
DELRAY BEACH, FL 33446
BOOK 5307 PAGE 121

MAP 47 LOT 2
N/F 156 DEBROWSKI REALTY HOLDINGS OF NH
C/O MONROE MUFFLER BRAKE, INC.
200 HOLLEDER PARKWAY
ROCHESTER, NY 14815
BOOK 4718 PAGE 1747

LEGEND

SGC	SLOPED GRANITE CURB	□	CATCH BASIN
VGC	VERTICAL GRANITE CURB	⊗	ROOF DRAIN
DSLW	DOUBLE SOLID LINE YELLOW	⊙	SEWER MANHOLE
SSLW	SINGLE SOLID LINE WHITE	⊕	GAS VALVE
SDLW	SINGLE DASHED LINE WHITE	⊖	WATER VALVE
G	GAS LINE	⊗	WATER SHUT OFF
W	WATER LINE	⊕	GAS METER
M	METAL GUARDRAIL	⊖	LIGHT POLE
CLF	CHAIN LINK FENCE	⊕	WATER FEATURE
STF	STOCKADE FENCE	⊖	DITCH LINE
C	CONTOUR ELEVATION	---	PROPERTY LINE
T	TREE	---	ABUTTER PROPERTY LINE
U	UTILITY POLE	---	EDGE OF TRAVELED WAY
GUY	GUY WIRE	---	EDGE OF GRAVEL
OW	OVERHEAD WIRE	---	EDGE OF PAVEMENT
TL	TREELINE	---	LANDSCAPED AREA
S	SIGN	---	TYPICAL
SE	SIGN ELEVATION	---	STONE BOUND
DM	DRAIN MANHOLE	○	IRON ROD

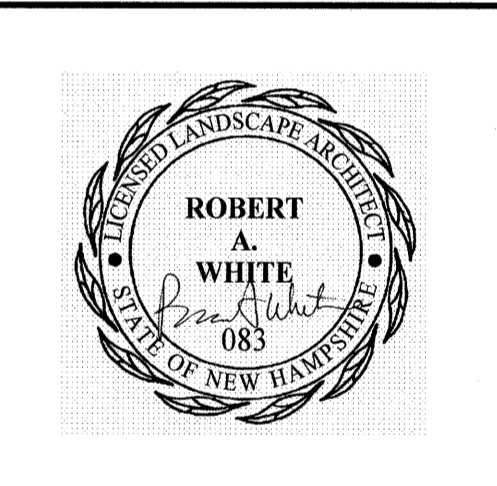


LOCATION MAP
(NOT TO SCALE)



PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS

NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21

APRIL 20, 2021

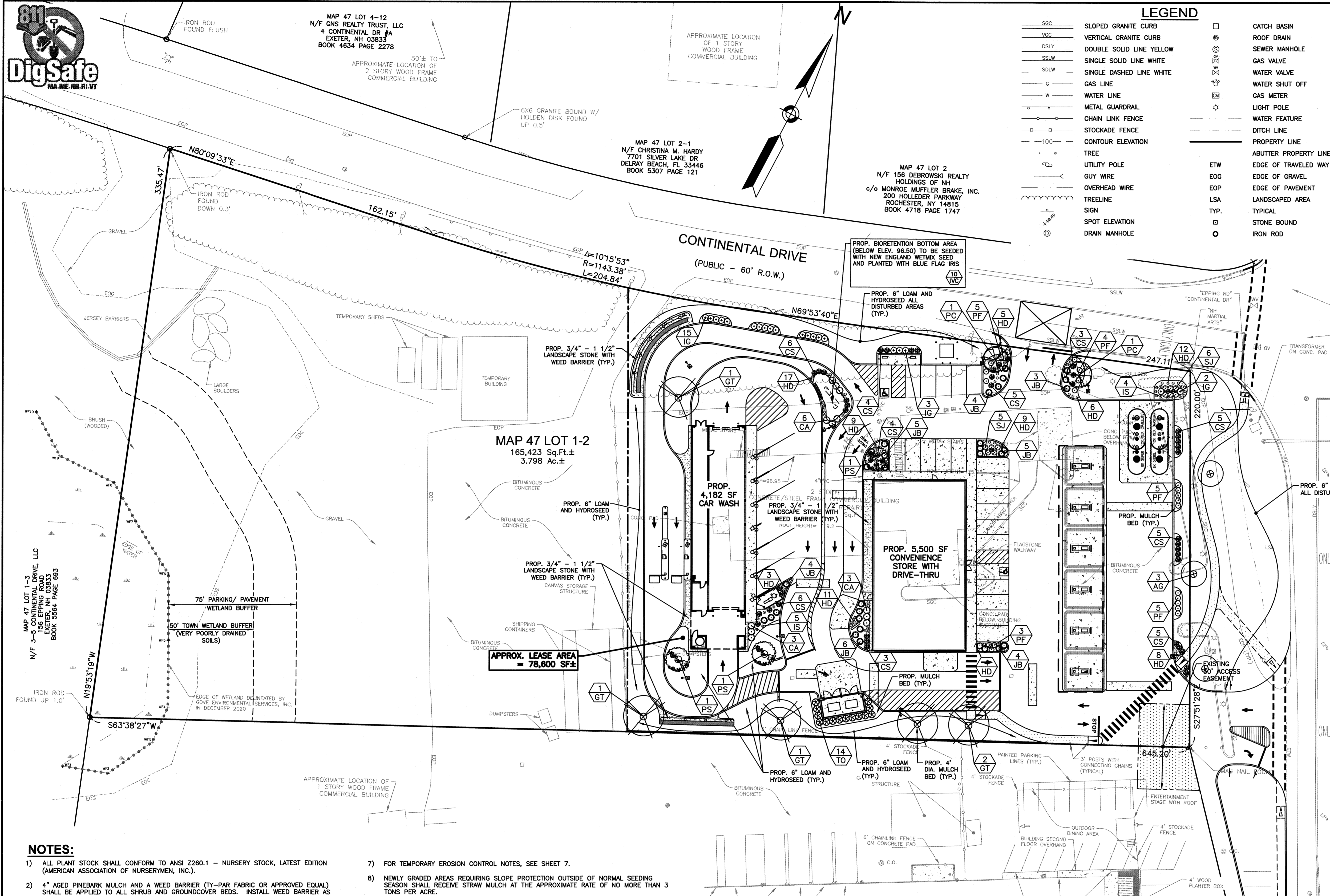
DRAWN/DESIGN BY: CCC/CMT CHECKED BY: FCM

LANDSCAPE PLAN

SCALE: 1"=30'

PROJECT NO. NEX-2020283

8 OF 13



APPROX. LEASE AREA = 78,600 SF±

PLANTING SCHEDULE

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
TREES					
GT	5	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2" - 2 1/2" CAL.	-/-STREET-THORNLESS
AG	3	AMELANCHER BRANIFFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2" - 3" CAL.	20' HT. MAX./WHITE FLOWERS-AVOID FRUIT
PS	3	PRUNUS SARGENTI 'COLLIMARIUS'	COLLIMAR SARGENT CHERRY	2 1/2" - 3" CAL.	-/-ORNAMENTAL SHADE
PC	2	PIRUS CALLERYANA 'CHANTICLEER'	CLEVELAND SELECT CALLERY PEAR	2 1/2" - 3" CAL.	-/-ORNAMENTAL SHADE
SHRUBS					
CA	6	CLETHRRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18"-24" HT. 3 GAL.	3'-4" HT. MAX./WHITE FLOWERS
CS	40	CORNUS SERICEA 'KELSEY'	COMPACT REDTWIG DOGWOOD	3 GAL 18"-24" HT.	30" HT. MAX./RED TWIG/COMPACT FORM
IG	20	ILEX GLABRA 'SHAMROCK'	SHAMROCK HONEYSUCKLE	2'-2 1/2' HT.	15' HT. MAX./OVERGREEN
JB	31	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18"-24" SPR.	1' HT. MAX./GROUNDCOVER/BLUE GREEN-SALT TOLERANT
PF	22	POTENTILLA FRUTICOSA 'GOLDSTAR'	GOLDSTAR POTENTILLA	18"-24" HT. 3 GAL.	2'-3" HT. MAX./YELLOW
SJ	11	SPREUA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIREA	18"-18" SPR.	2'-3" HT. MAX./PINK
TO	14	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	4"-5" HT.	15' HT. MAX./UPRIGHT SCREEN
PERENNIALS & GRASSES					
HD	64	HEMEROCALLIS 'STELLA DE ORO'	DWARF YELLOW DAYLILY	1 GAL.	YELLOW FLOWERS/CONTINUOUS BLOOMS
IS	9	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	1 GAL.	PURPLE-BLUE FLOWERS

BIO-RETENTION PLANTING SCHEDULE

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
SHRUBS					
CA	6	CLETHRRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18"-24" HT. 3 GAL.	3'-4" HT. MAX./WHITE FLOWERS
CS	6	CORNUS SERICEA 'KELSEY'	COMPACT REDTWIG DOGWOOD	3 GAL 18"-24" HT.	30" HT. MAX./RED TWIG/COMPACT FORM
PERENNIALS & GRASSES					
HD	17	HEMEROCALLIS 'STELLA DE ORO'	DWARF YELLOW DAYLILY	1 GAL.	YELLOW FLOWERS/CONTINUOUS BLOOMS
VC	10	IRIS VERSI COLOR	BLUE FLAG IRIS	1 GAL.	PURPLE-BLUE FLOWERS

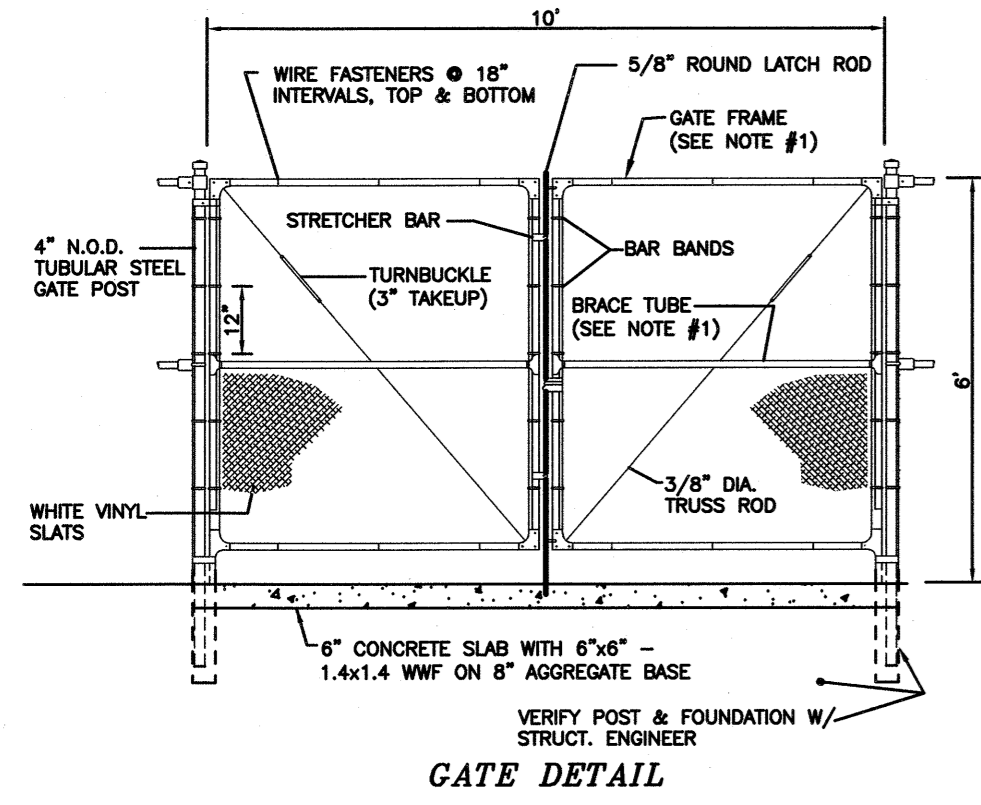
1 XX PLANT QUANTITY
XX PLANT DESIGNATION

- NOTES:**
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
 - 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
 - PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
 - ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
 - ALL SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
 - APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE
 - SEED MIX (SLOPES LESS THAN 4:1) LBS./ACRE
CREEPING RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDTOP 2
42
 - SLOPE MIX (SLOPES GREATER THAN 4:1) LBS./ACRE
CREEPING RED FESCUE 20
TALL FESCUE 20
BIRDFOOT TREFOIL 8
 - FOR TEMPORARY EROSION CONTROL NOTES, SEE SHEET 7.
 - NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
 - ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
 - CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
 - FOR SEED (& SOD) AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
 - PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER. ALL LANDSCAPING SHALL BE MAINTAINED, AND DEAD OR DYING VEGETATION SHALL BE REPLACED NO LATER THAN THE FOLLOWING GROWING SEASON.
 - SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCELSIOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
 - EXPOSED SOILS SHALL BE SEED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
 - ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
 - THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE LEASE AREA. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.

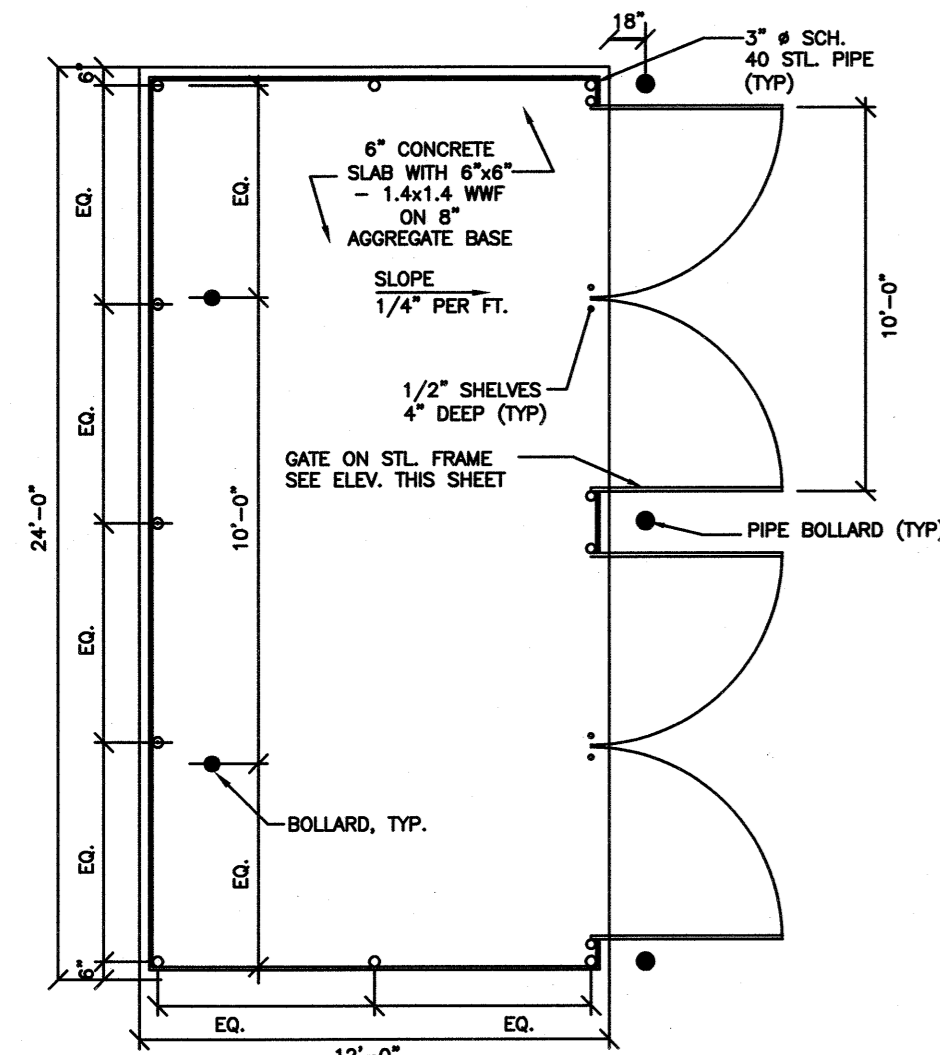
OWNER OF RECORD:
158 EPPING ROAD, LLC
158 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120

SCALE: 1" = 30'

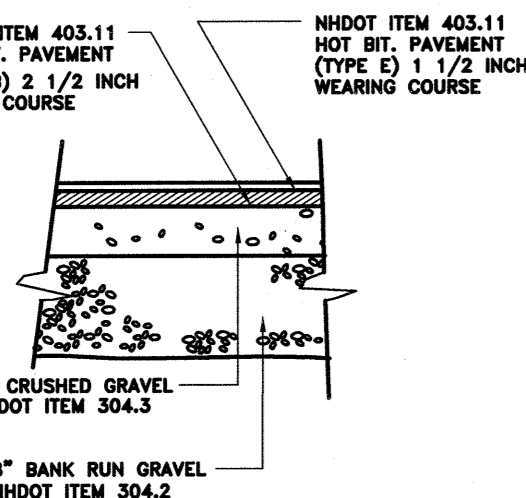
F:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\20283_SP.dwg LA 9/07/21 11:49am sbomfml



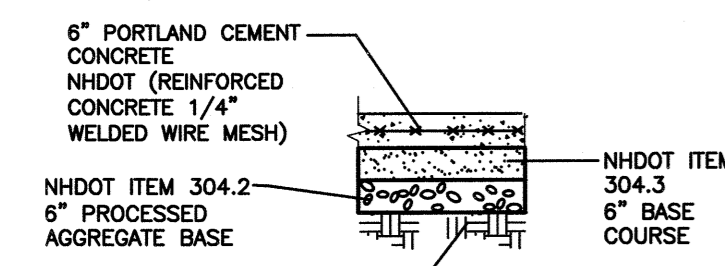
NOTE: 1) NOMINAL OUTSIDE DIAMETER (N.O.D.) OF GATE FRAME AND BRACE TUBE TO BE 1.625" UP TO 6" IN WIDTH, AND 1.907" IF OVER 6" IN WIDTH.



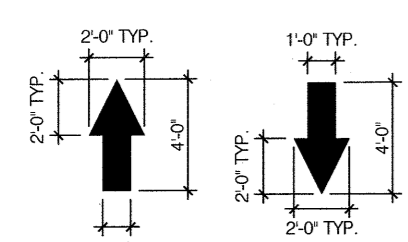
CHAINLINK TRASH ENCLOSURE
NOT TO SCALE



ON-SITE PAVEMENT SECTION
NOT TO SCALE

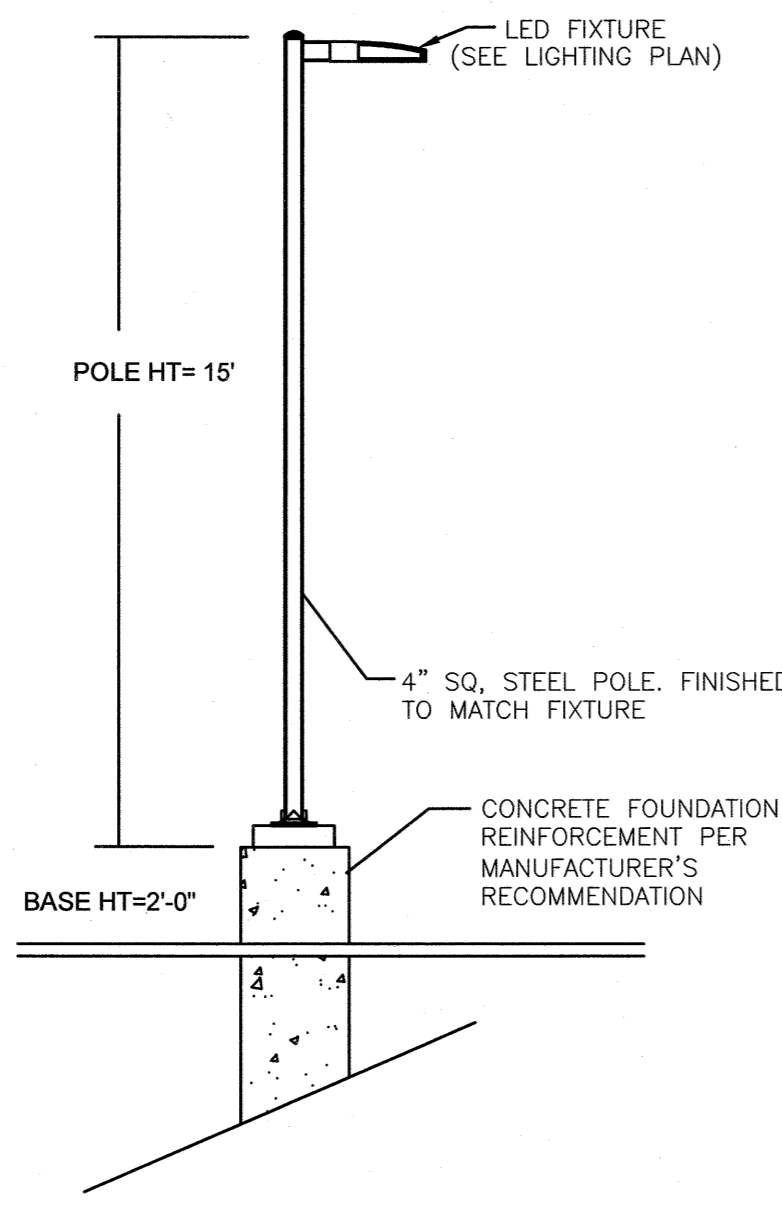


ON-SITE RIGID CONCRETE PAVEMENT DETAIL
NOT TO SCALE

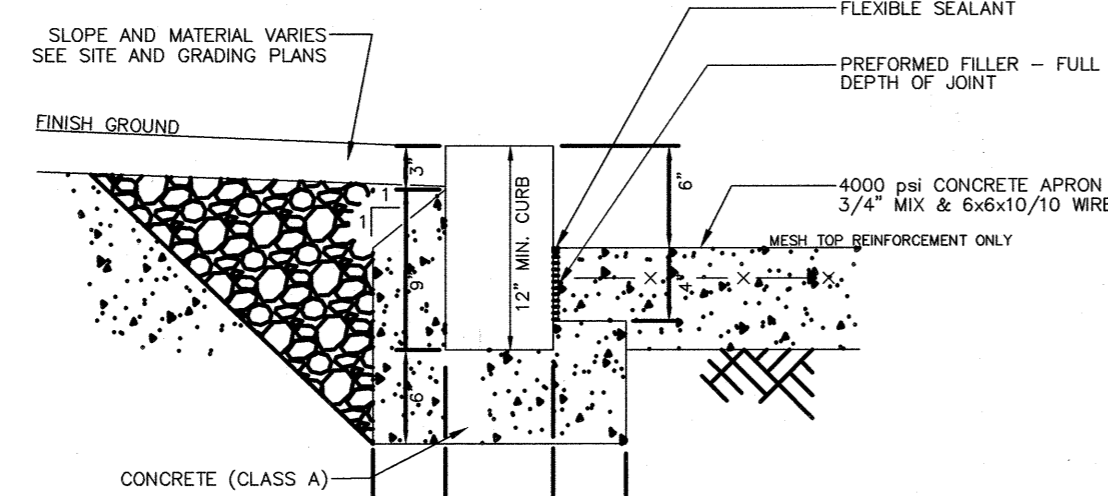


ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.

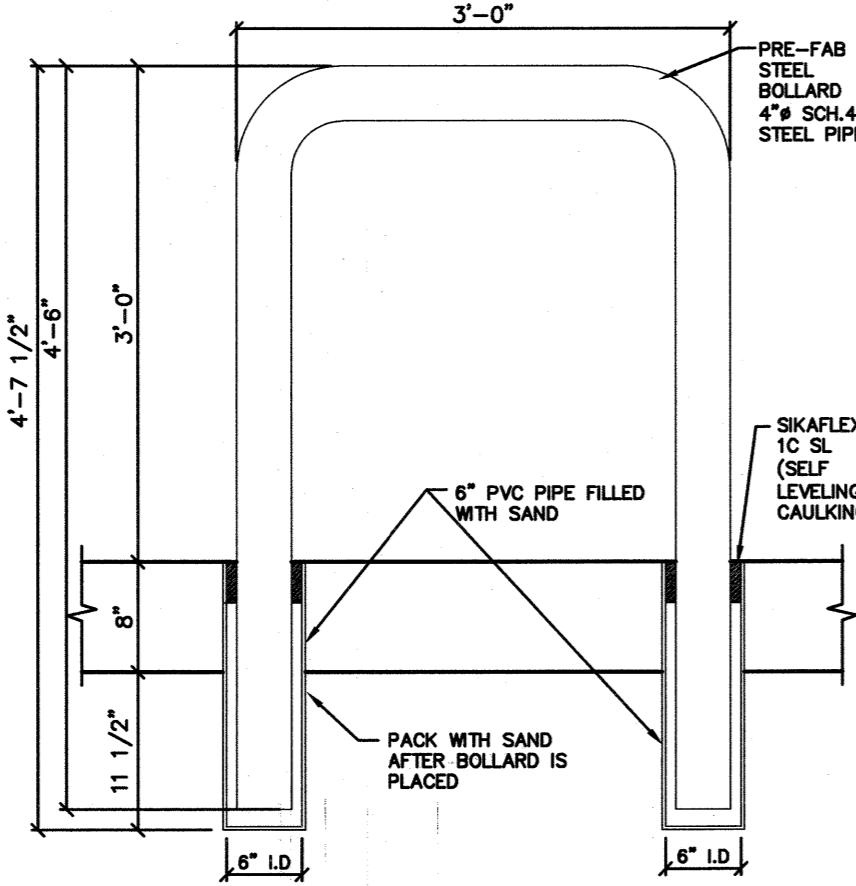
ON-SITE PAVEMENT MARKING DETAILS
NOT TO SCALE



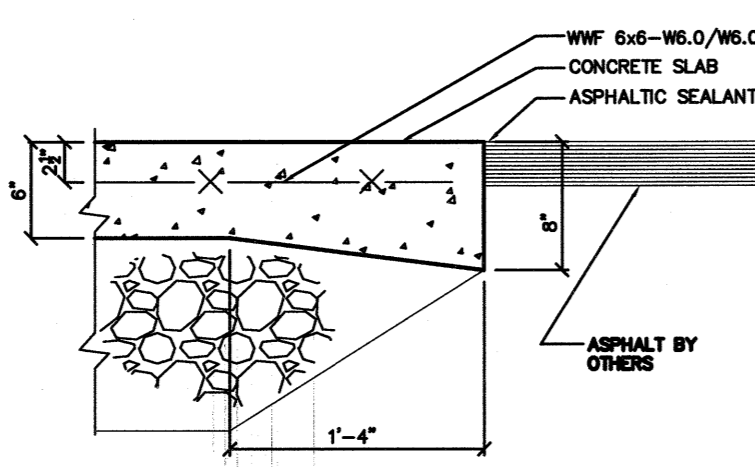
LIGHT FIXTURE DETAIL
NOT TO SCALE



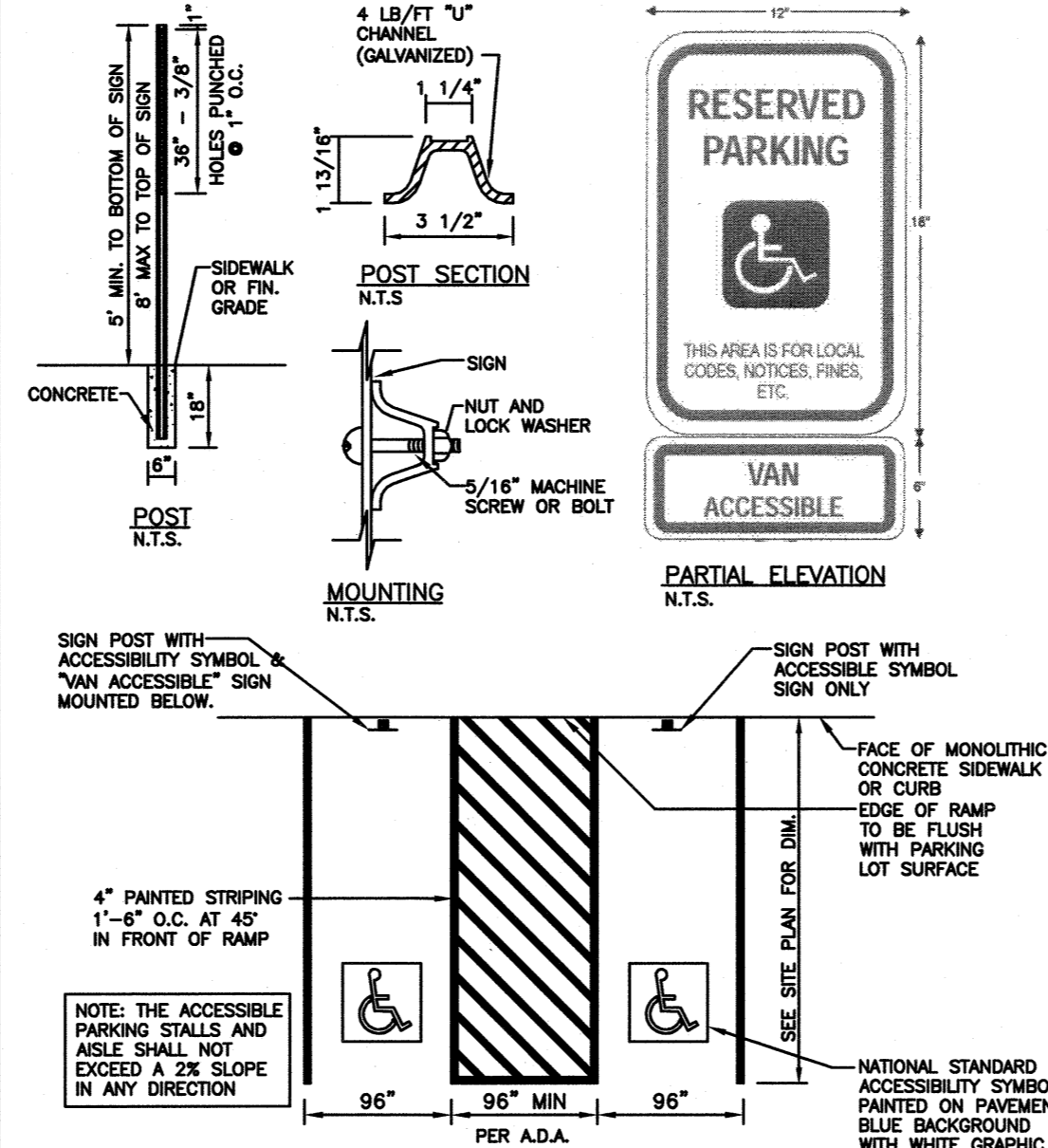
VERTICAL GRANITE CURB
NOT TO SCALE



TYPICAL U-SHAPED BOLLARD
NOT TO SCALE

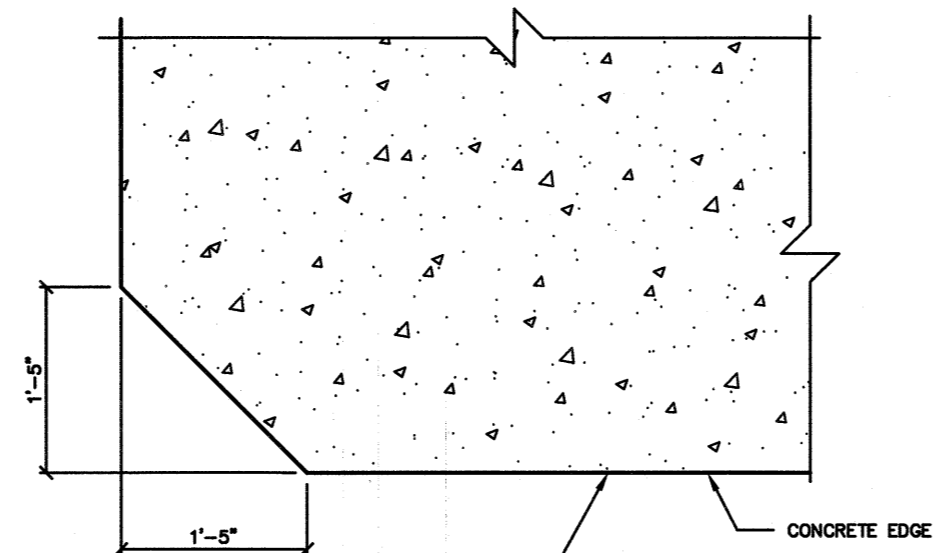


DISPENSER APRON EDGE DETAIL
NOT TO SCALE

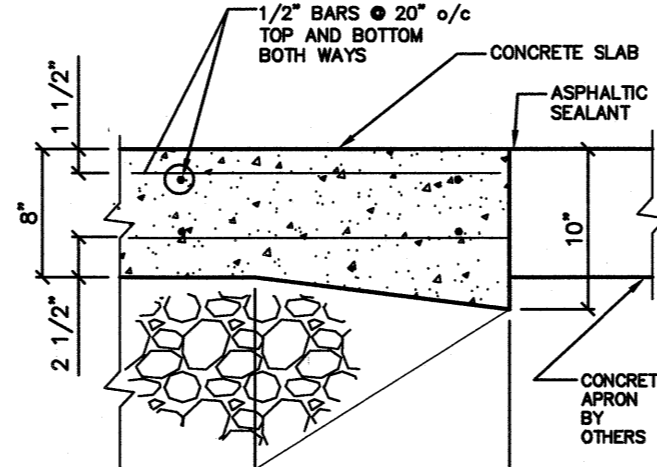


ACCESSIBLE PARKING STALLS
NOT TO SCALE

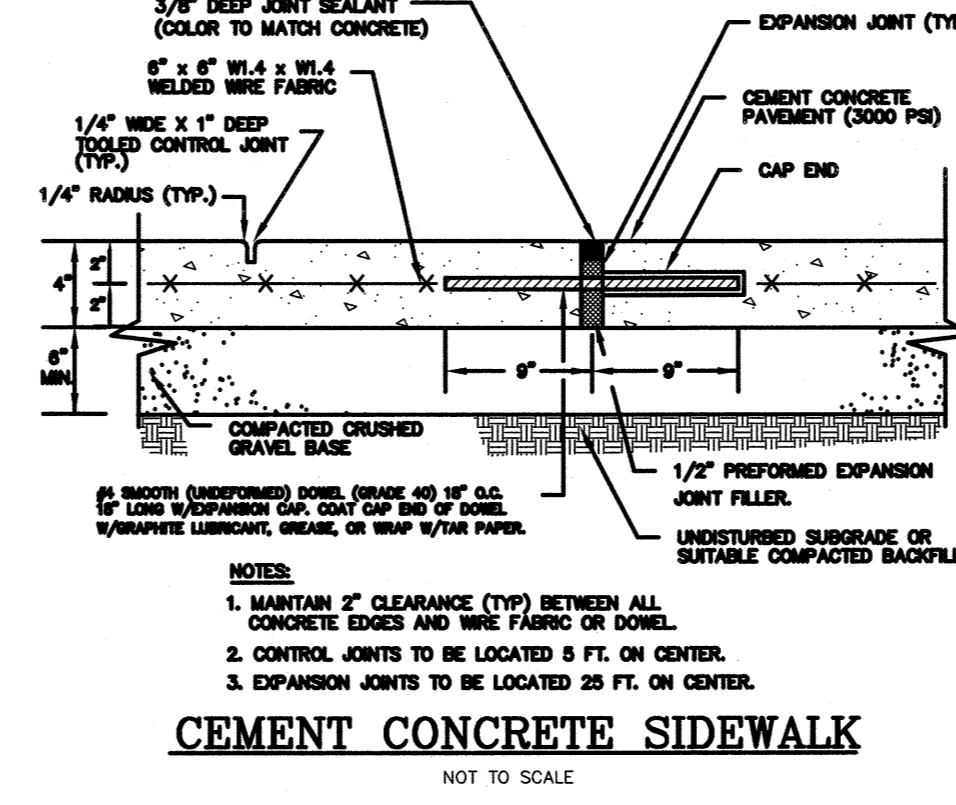
VERTICAL GRANITE CURB
NOT TO SCALE



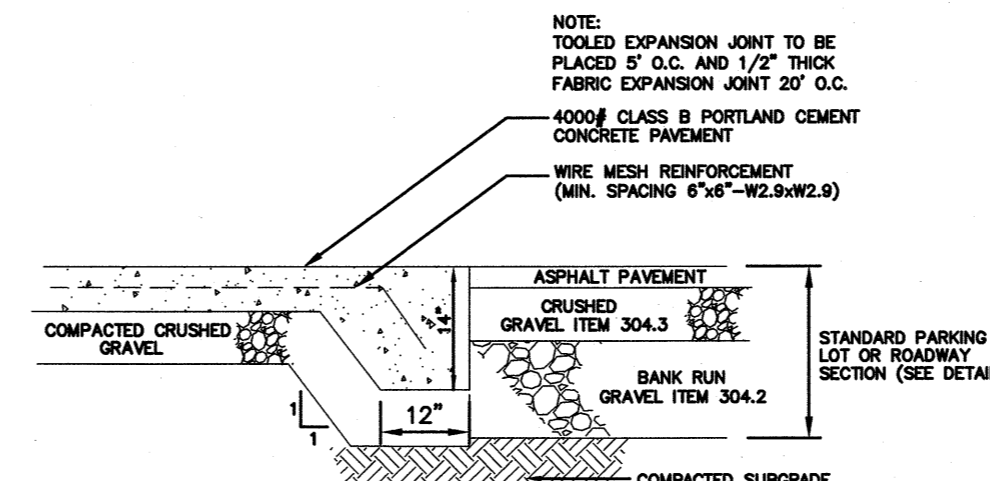
DISPENSER APRON CHAMFER DETAIL
NOT TO SCALE



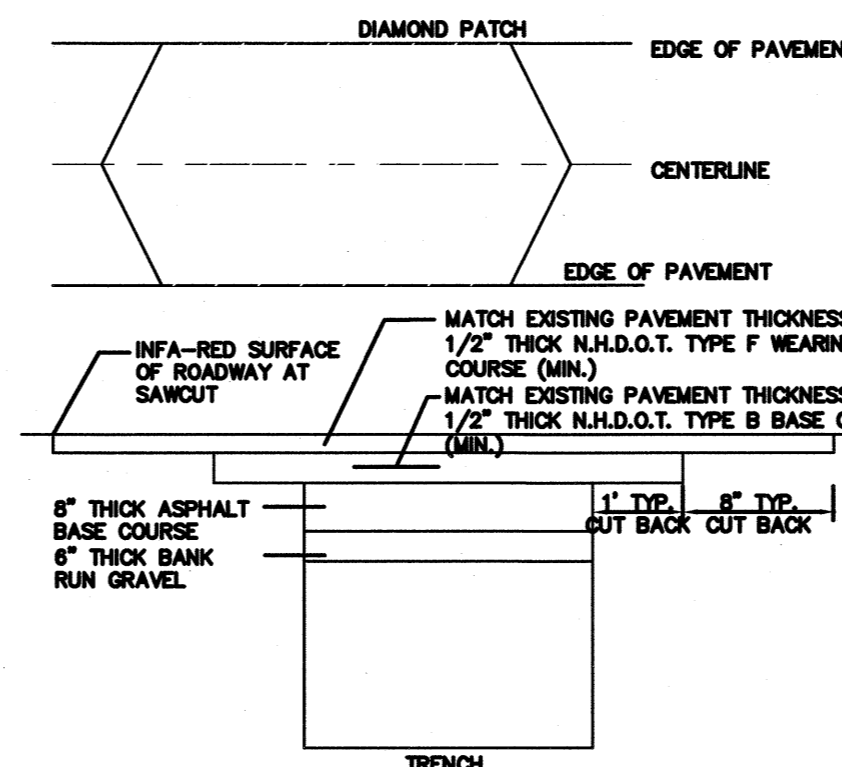
TANK APRON EDGE DETAIL
NOT TO SCALE



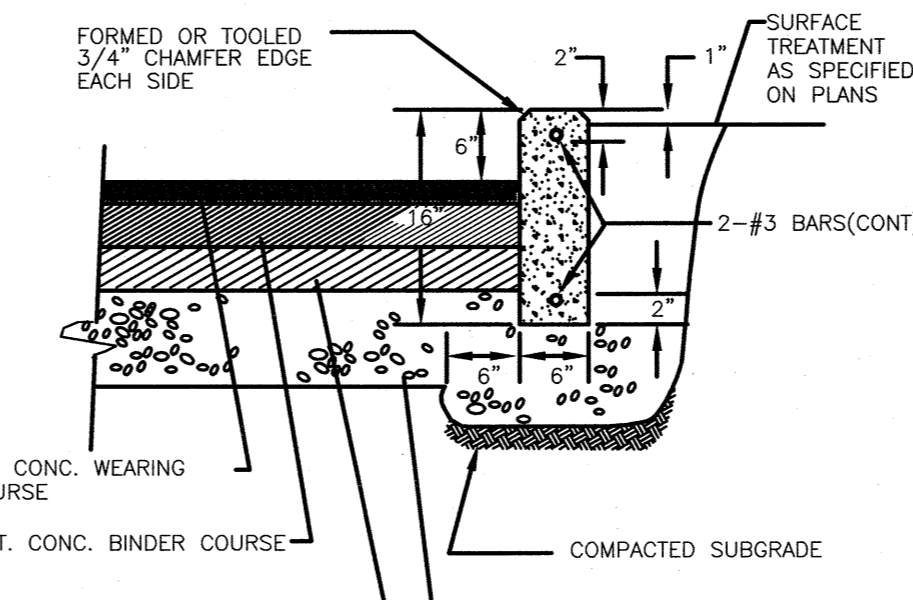
CEMENT CONCRETE SIDEWALK
NOT TO SCALE



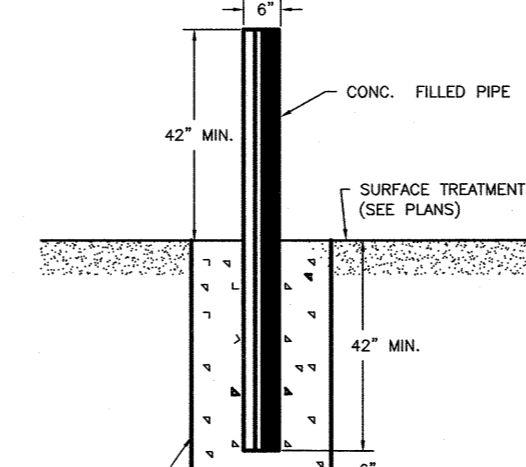
MONOLITHIC CURB/SIDEWALK
NOT TO SCALE



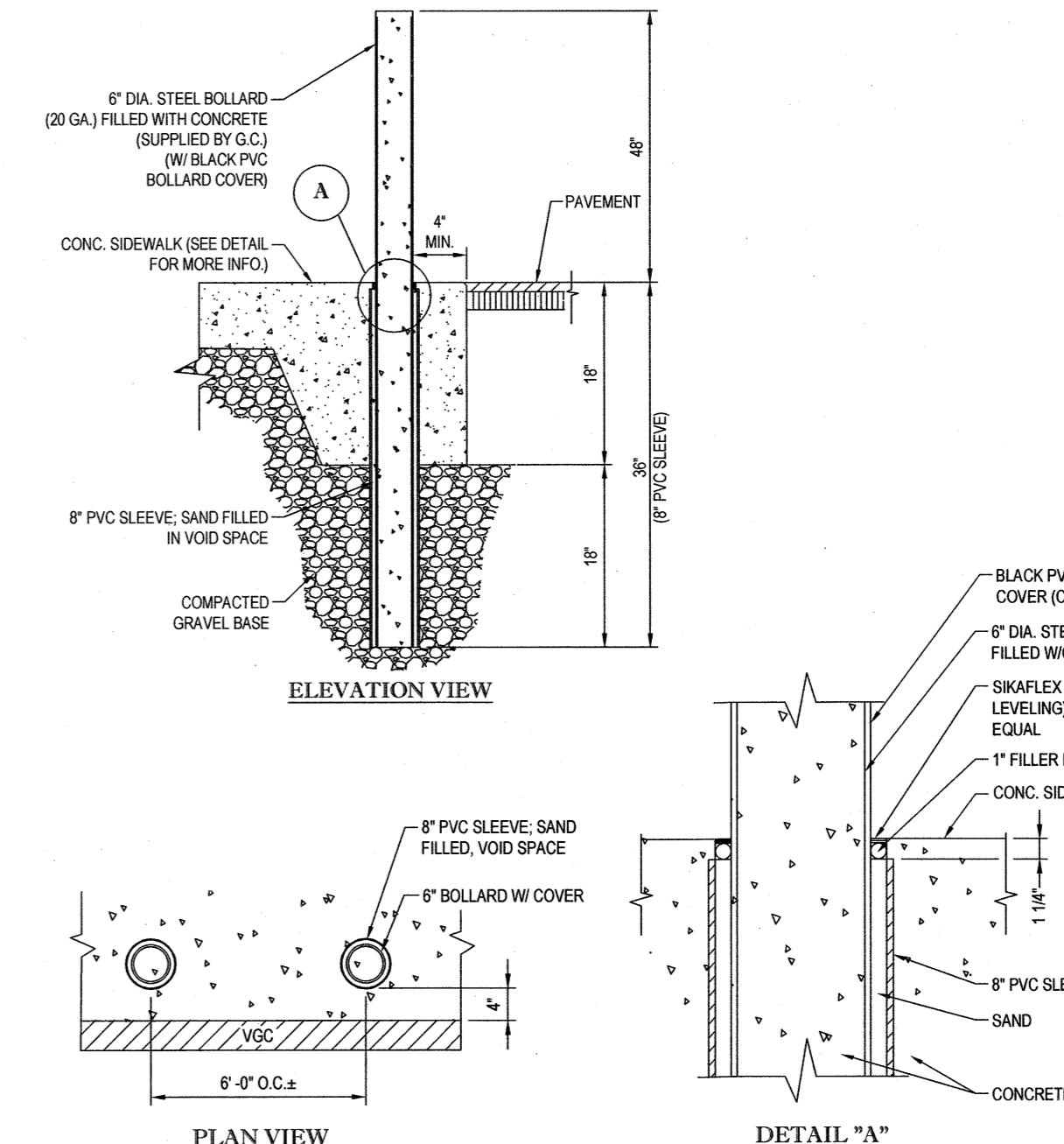
TYPICAL PAVEMENT REPAIR DETAIL
NOT TO SCALE



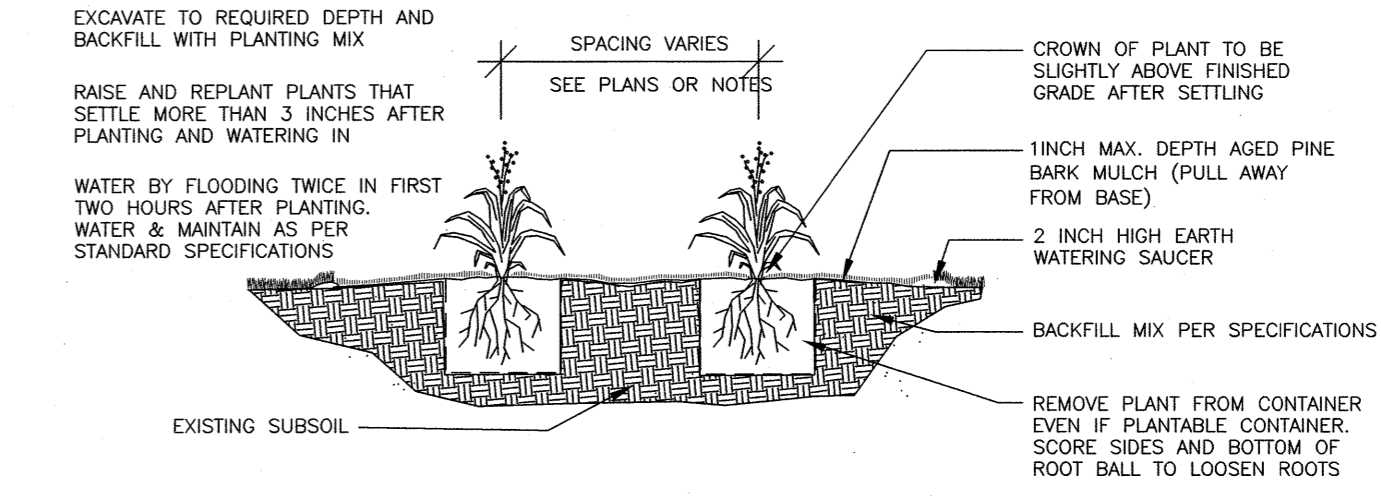
PAVEMENT AND CONCRETE CURB SECTION ON-SITE
NOT TO SCALE



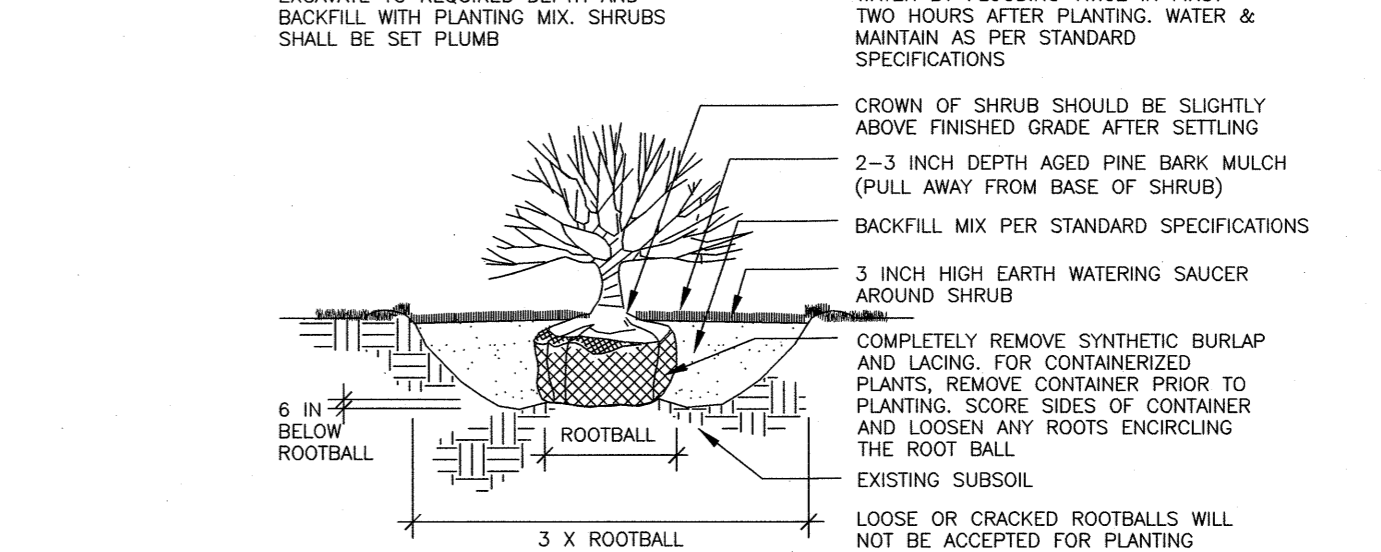
BOLLARD DETAIL
NOT TO SCALE



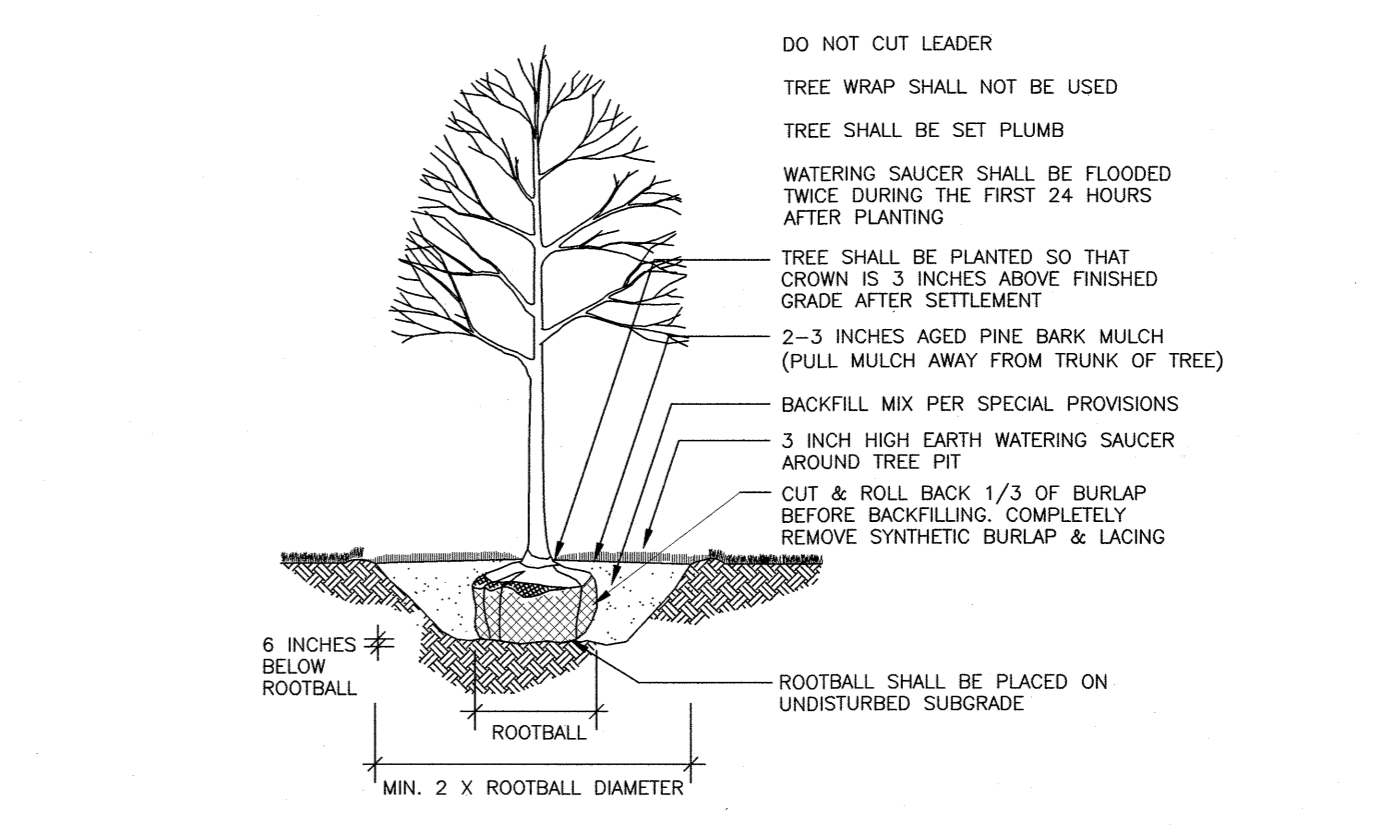
BOLLARD SET IN CONCRETE WALK
NOT TO SCALE



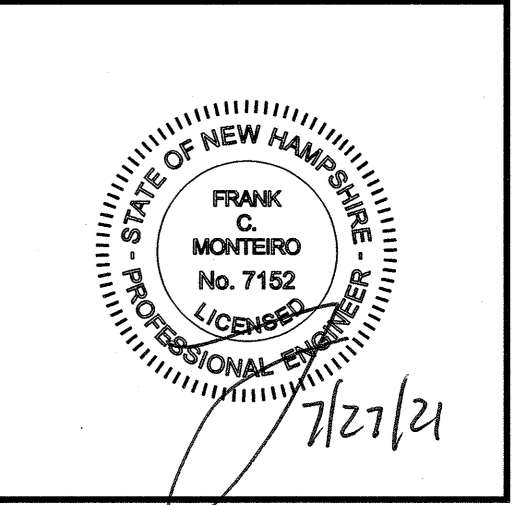
TYPICAL PERENNIAL PLANTING
NOT TO SCALE



TYPICAL SHRUB PLANTING
NOT TO SCALE

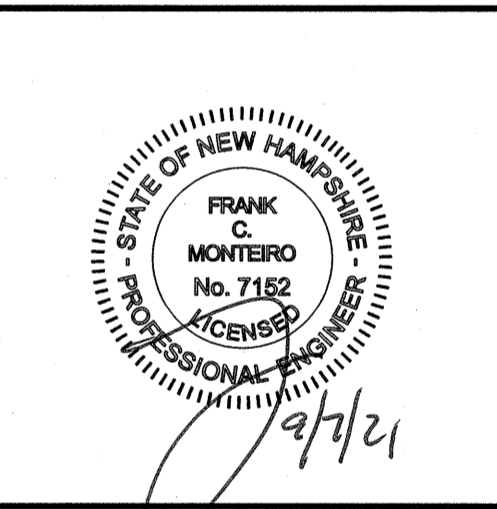


TYPICAL TREE PLANTING
NOT TO SCALE



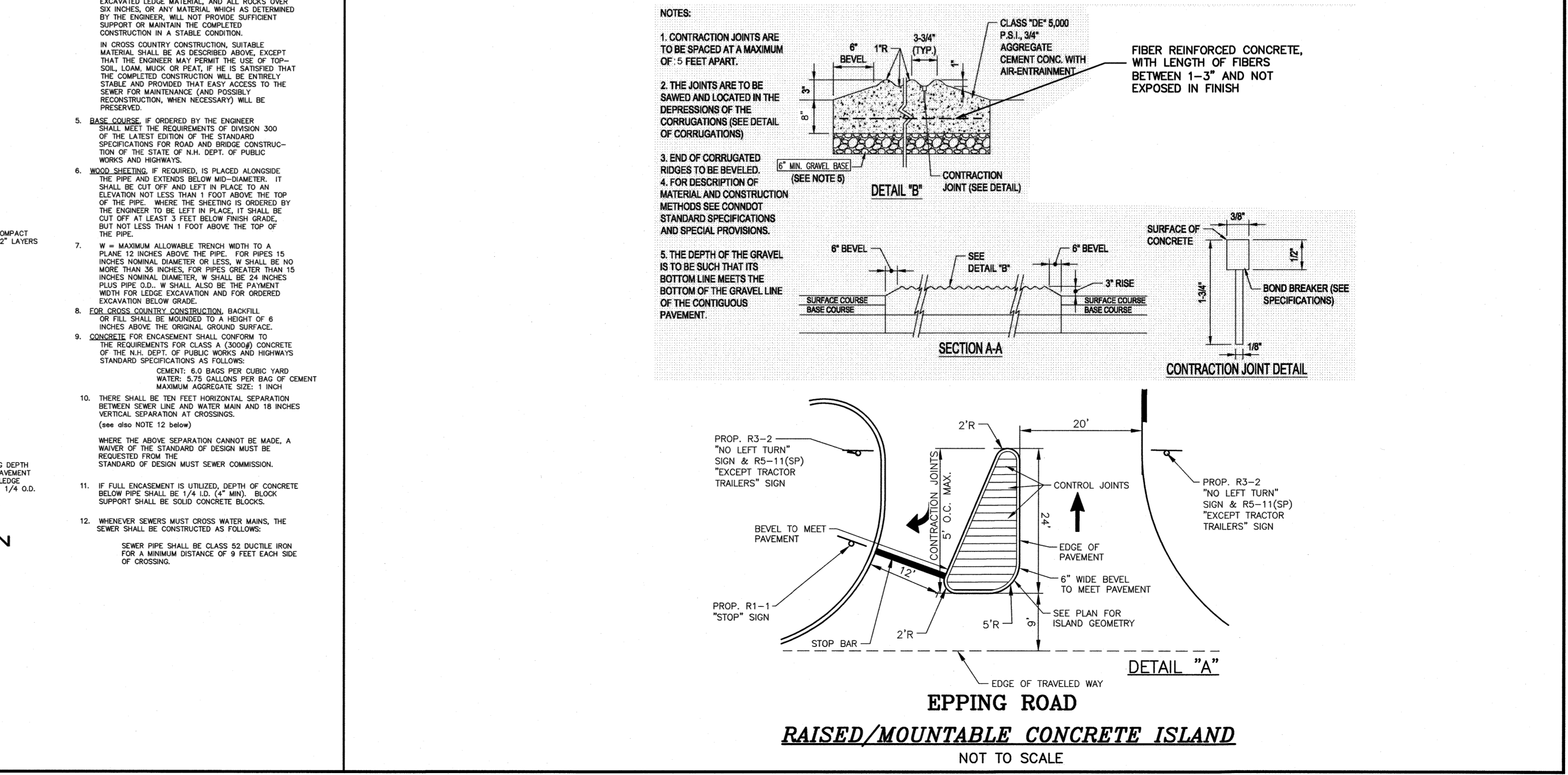
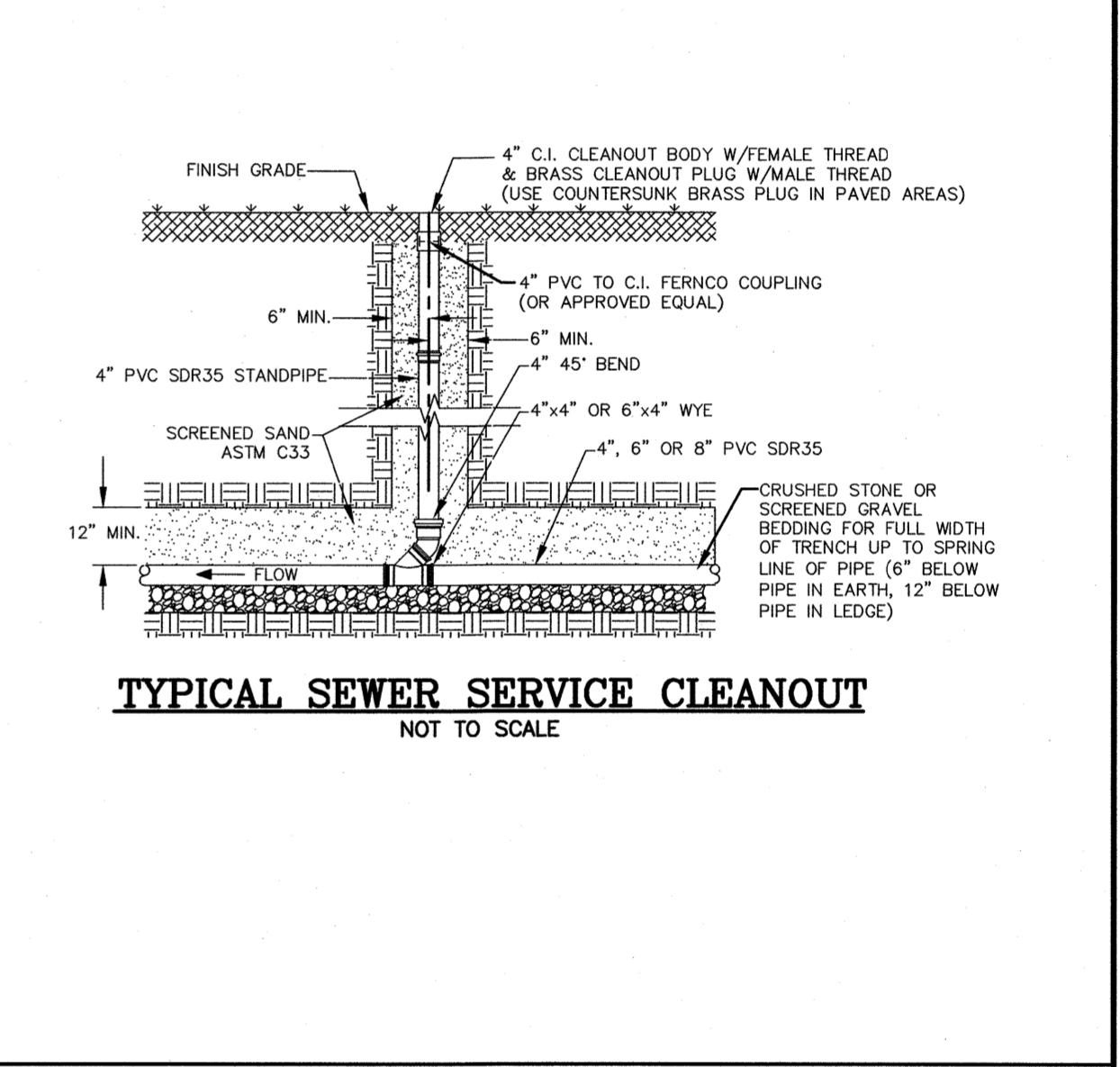
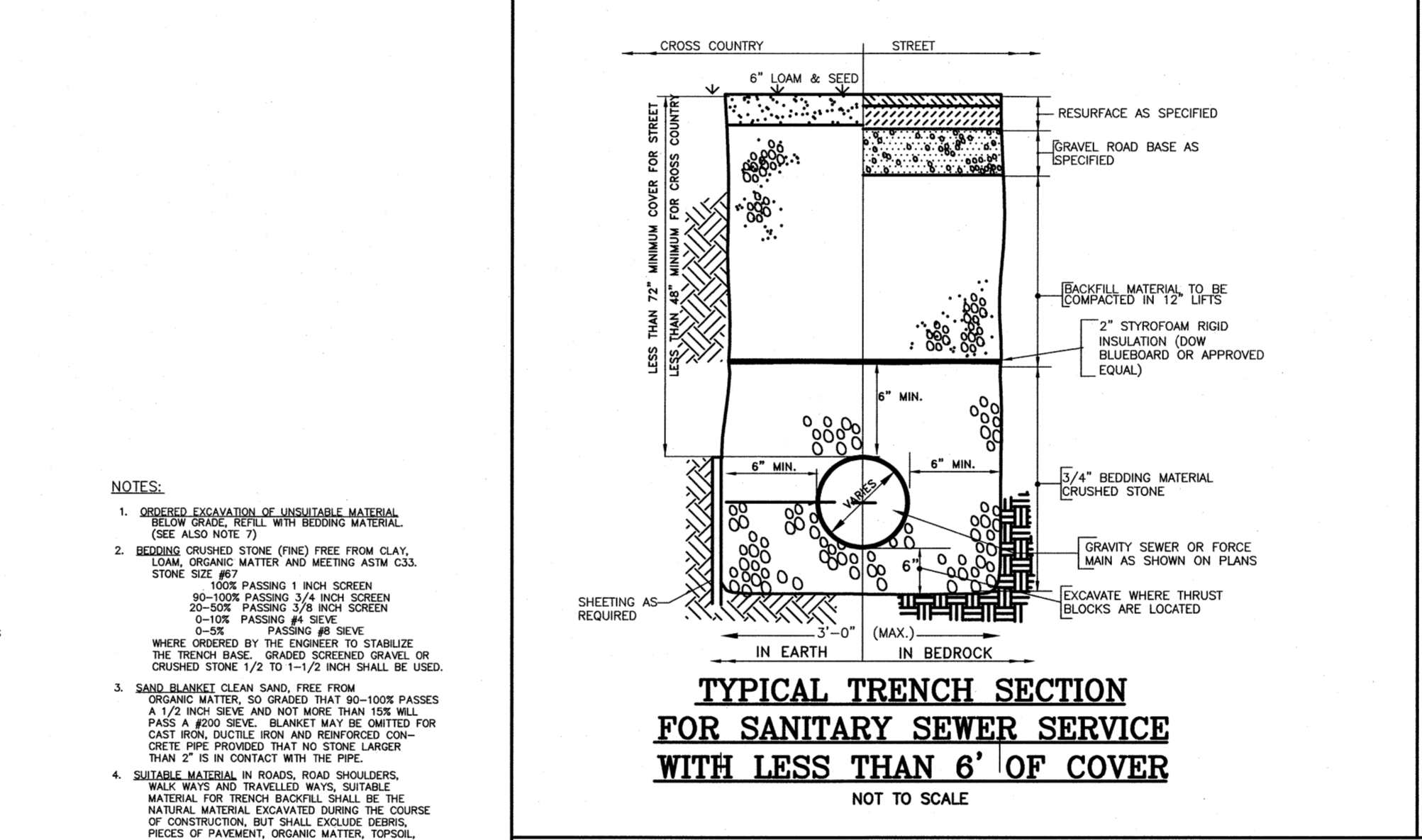
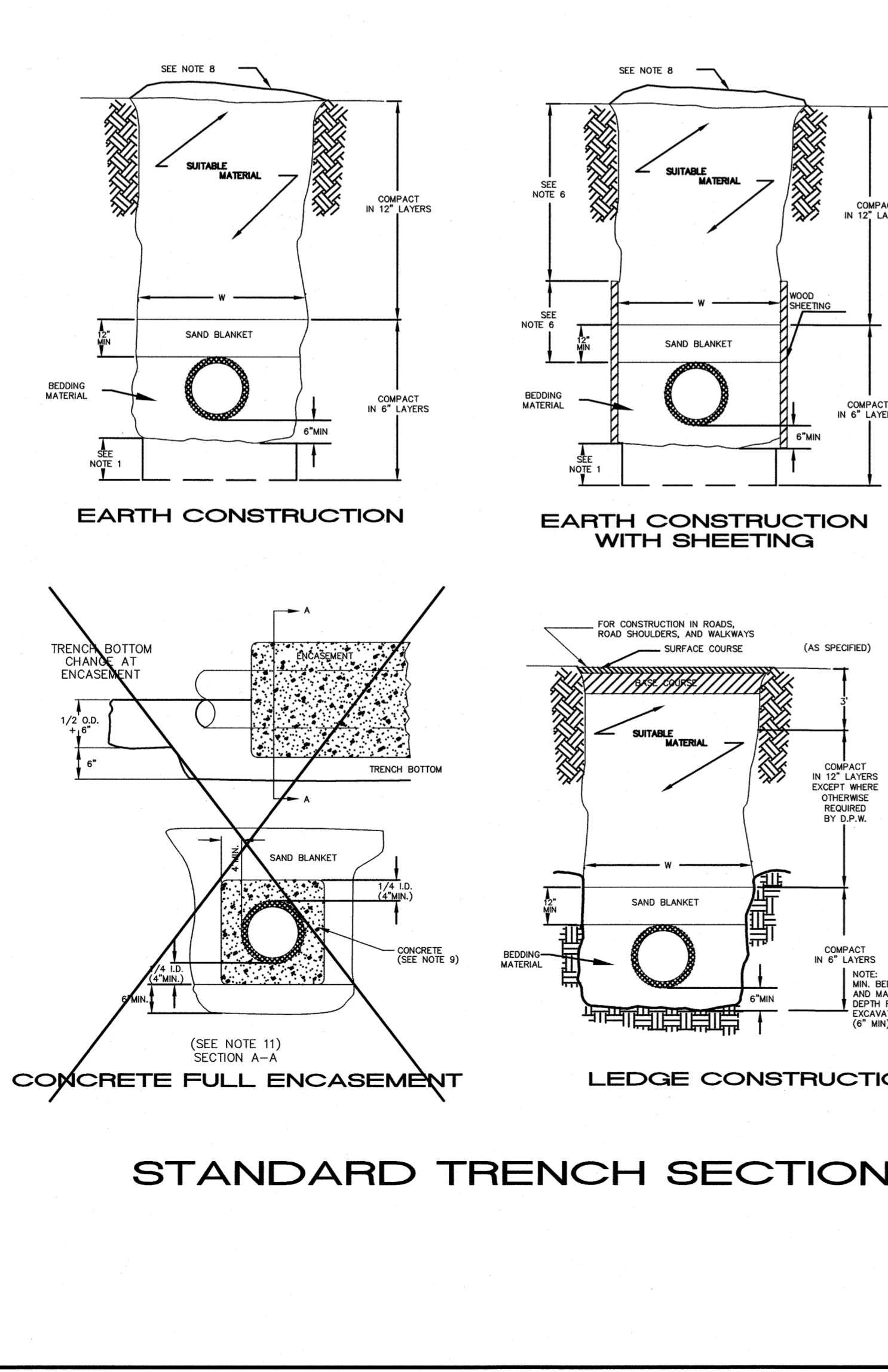
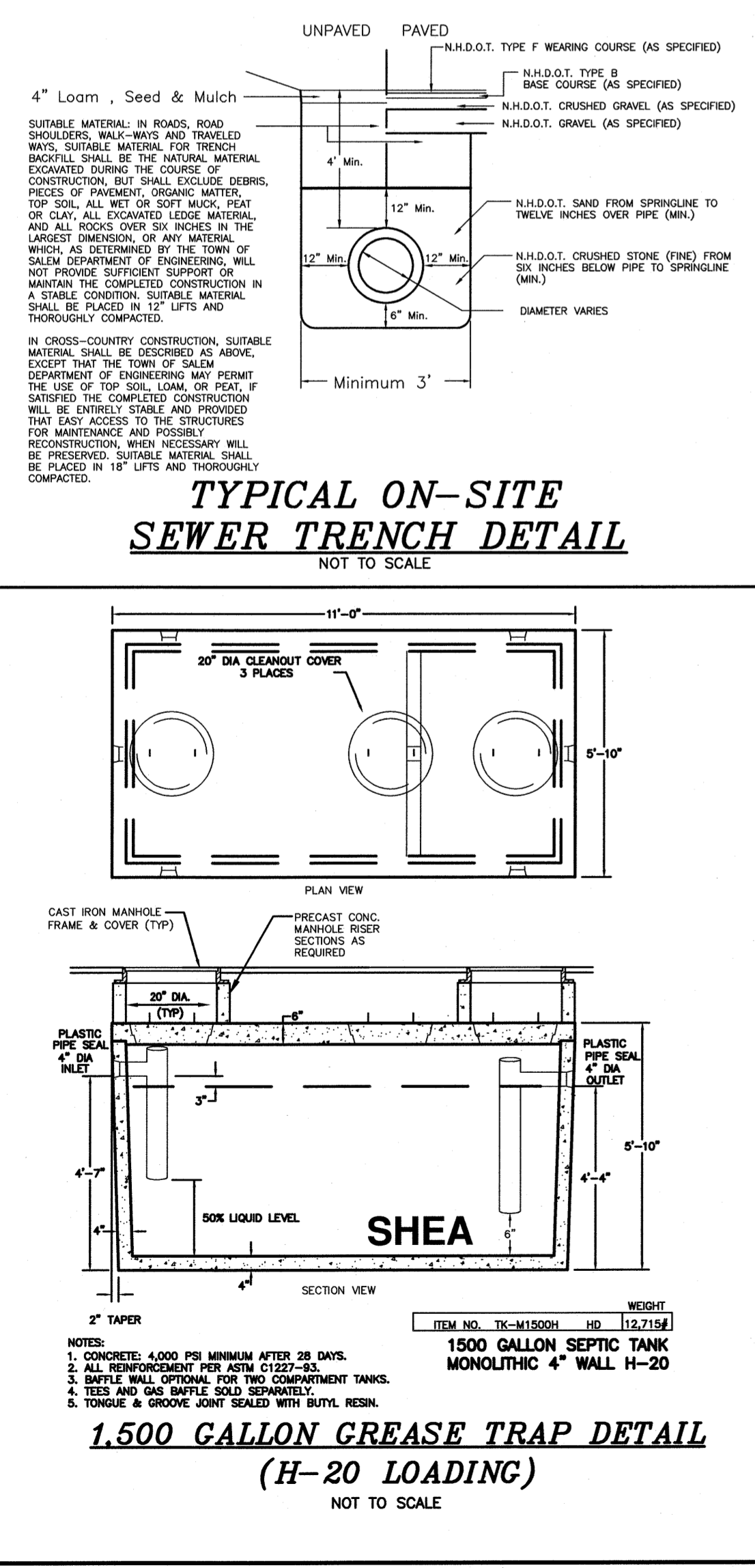
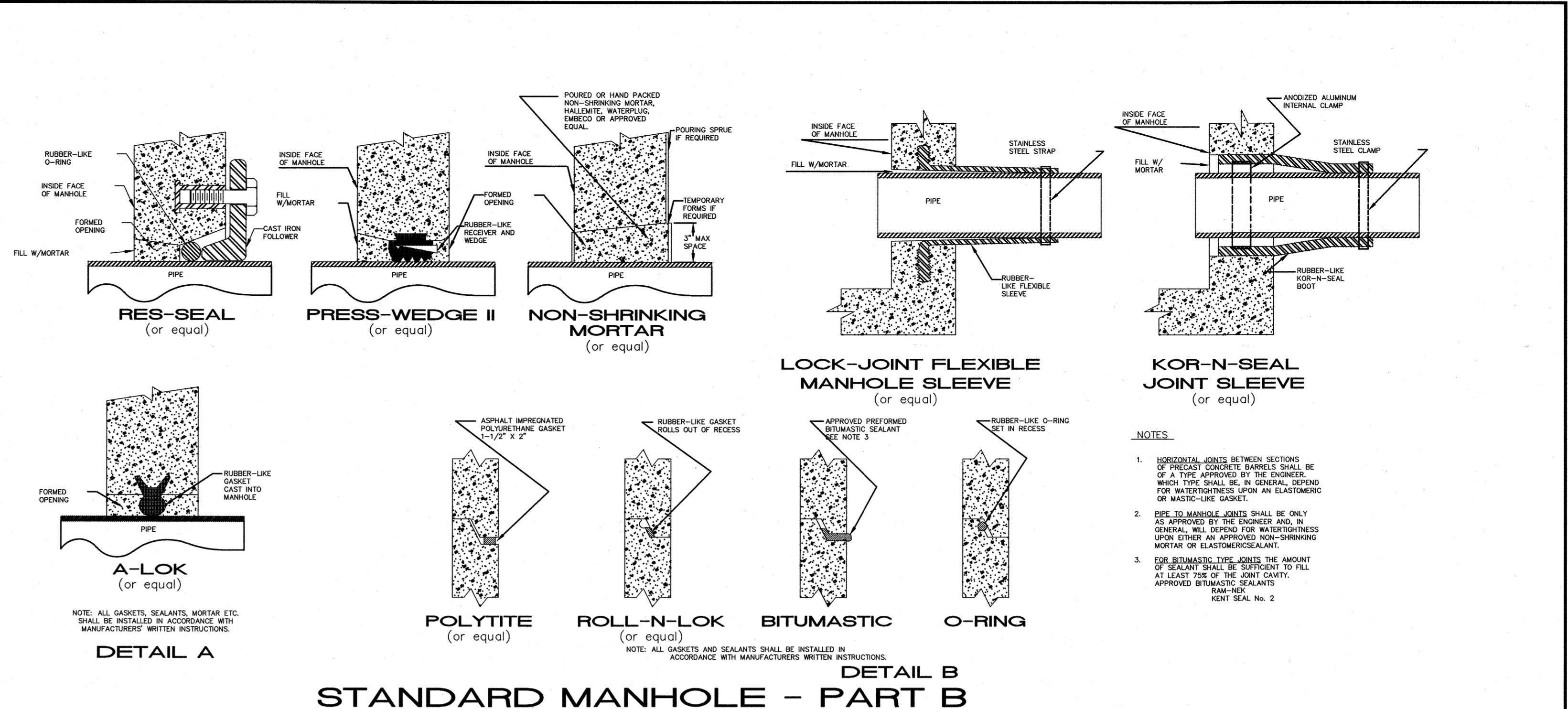
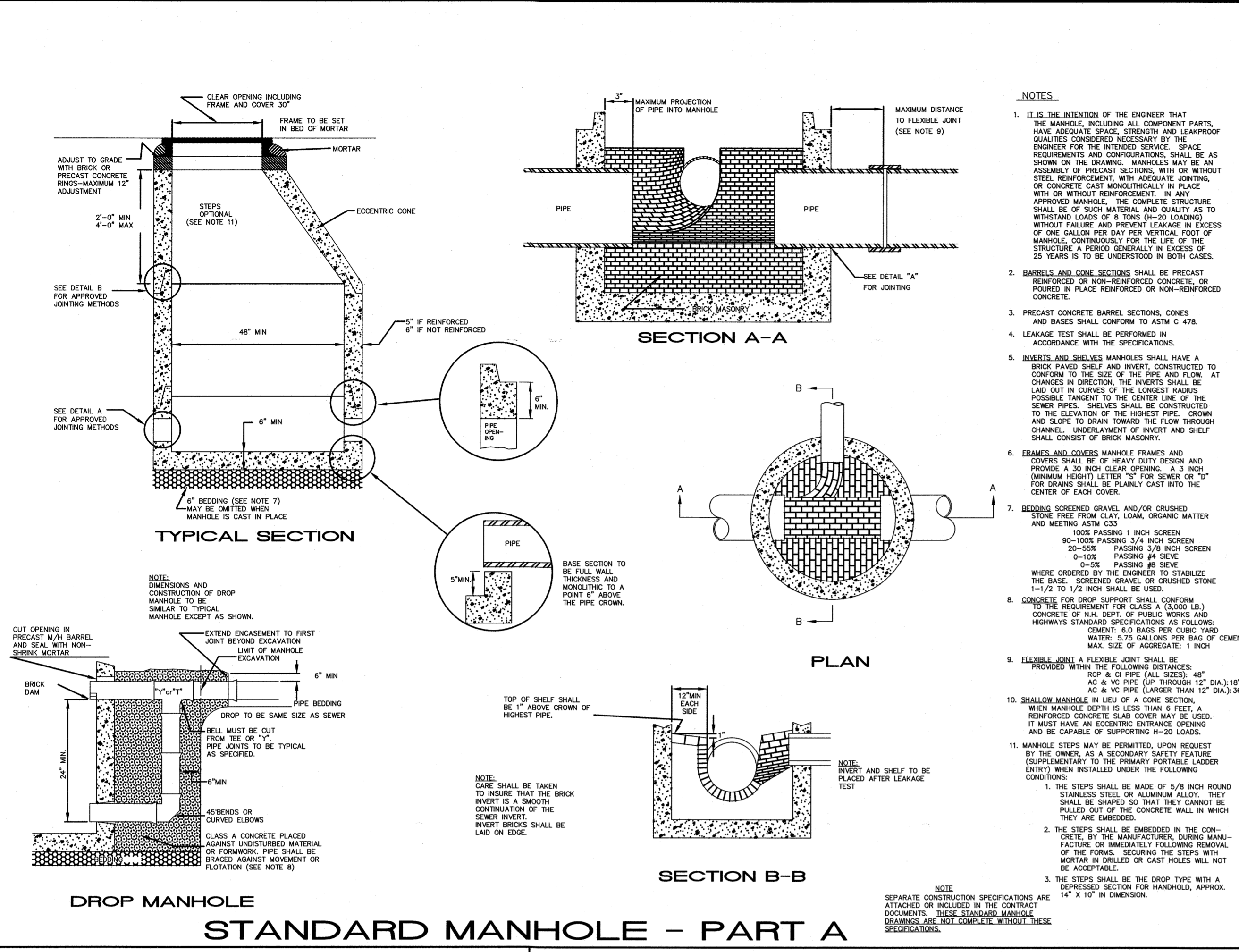
REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	7/26/21
NO.	REVISION	DATE
APRIL 20, 2021		
DRAWN/DESIGN BY	CHECKED BY	
CCC/CMT	FCM	

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

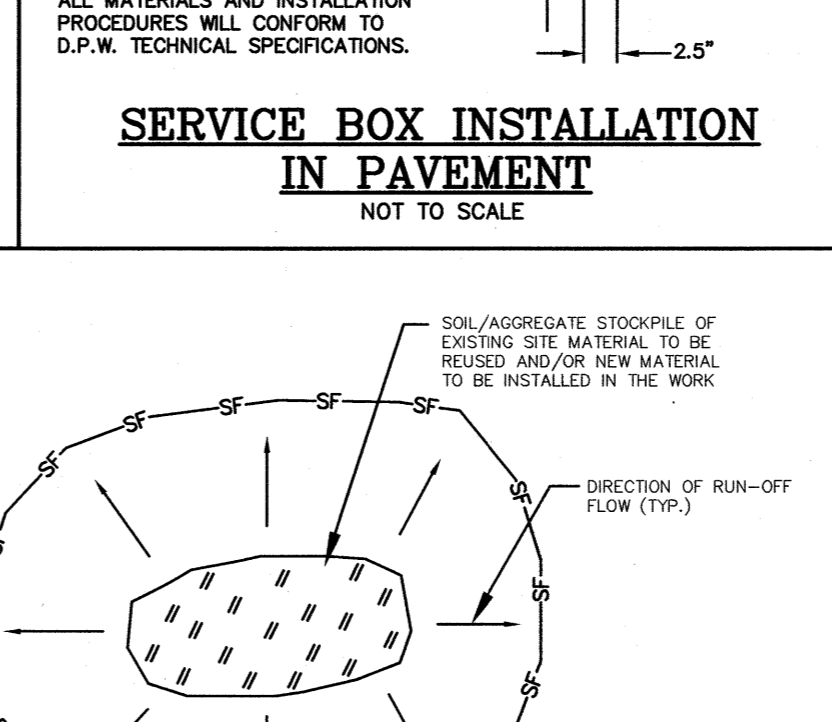
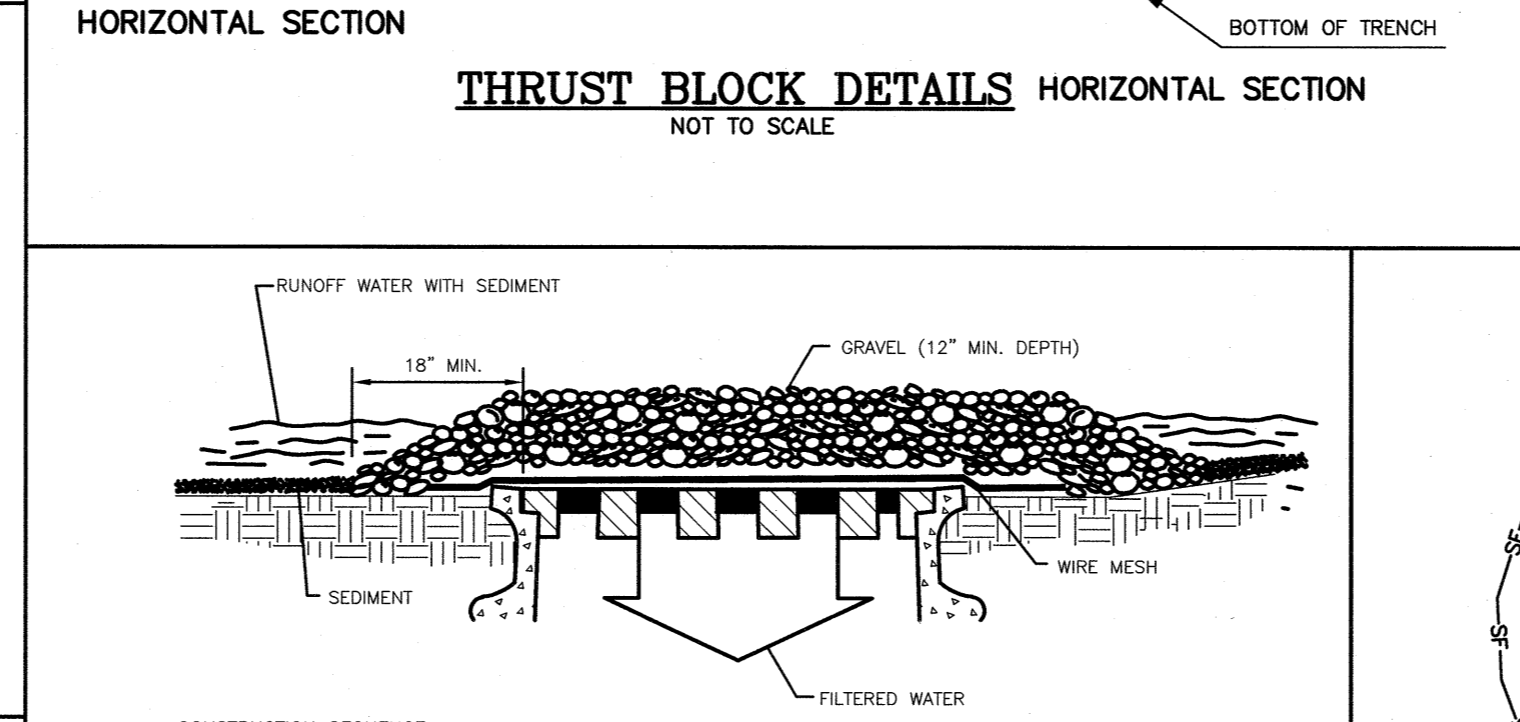
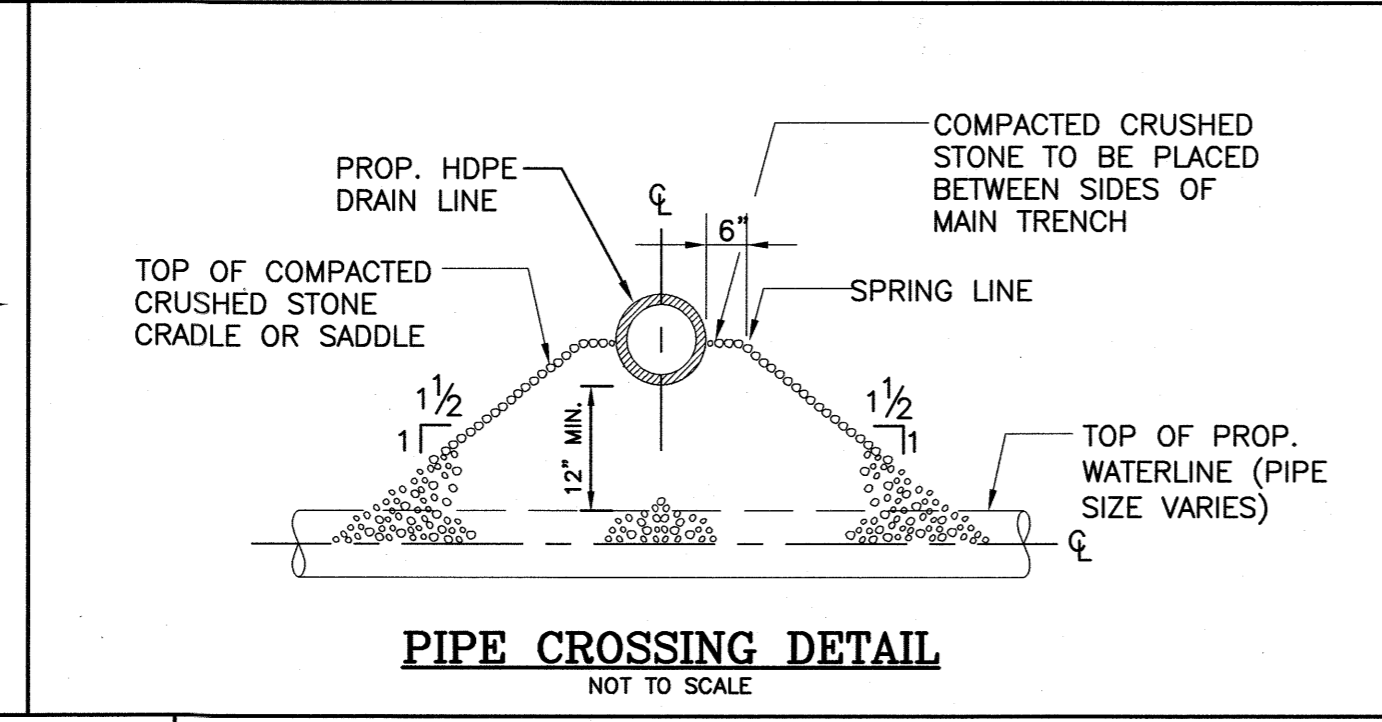
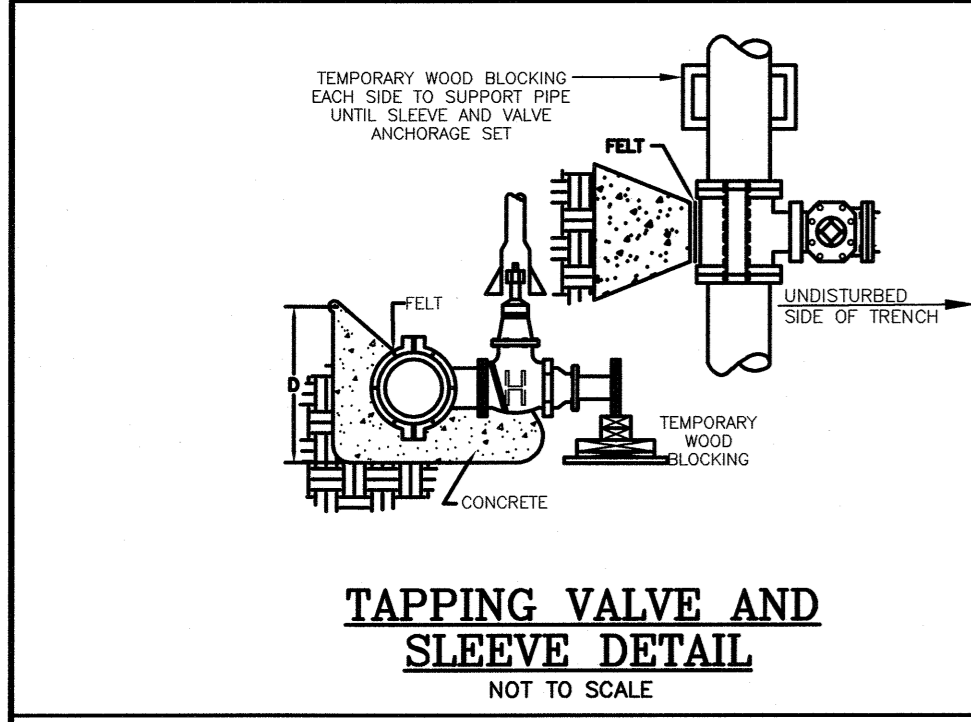
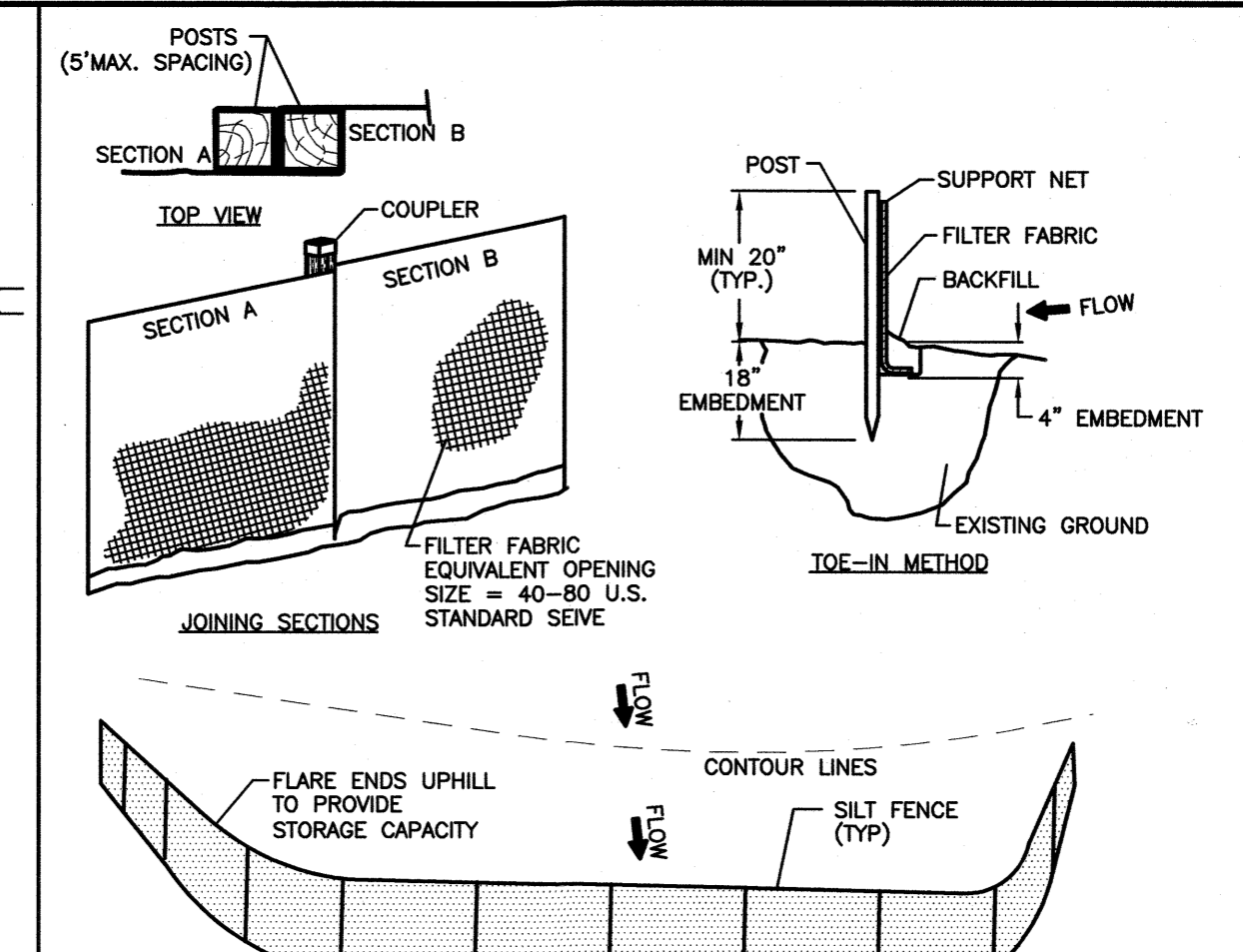
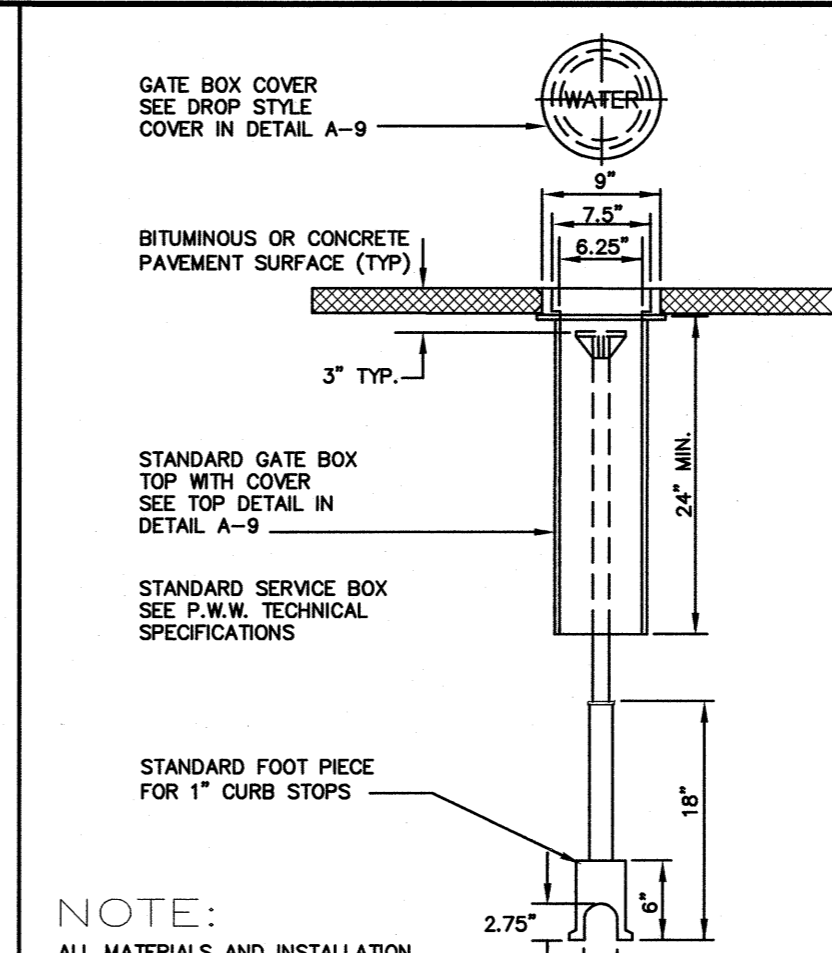
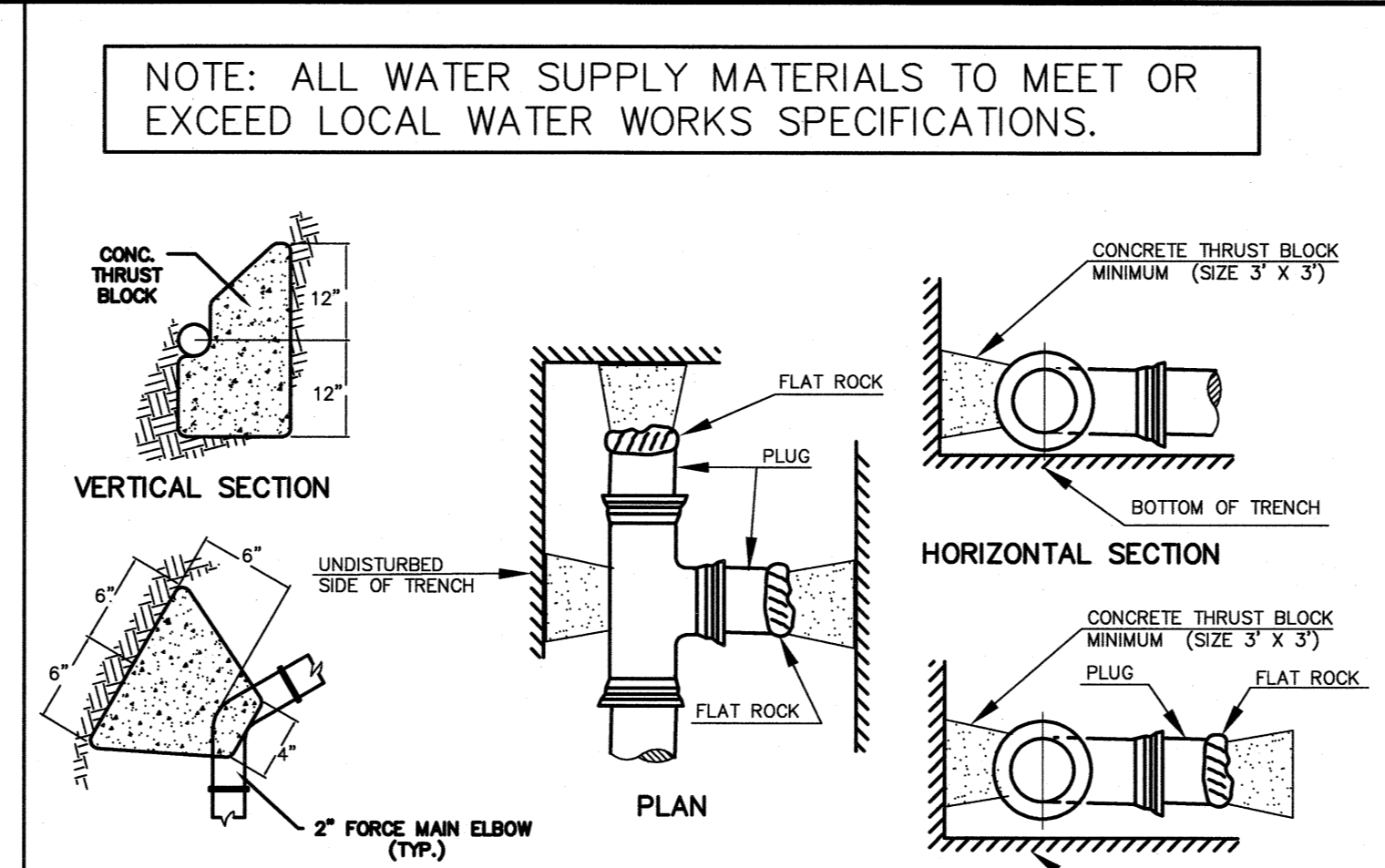
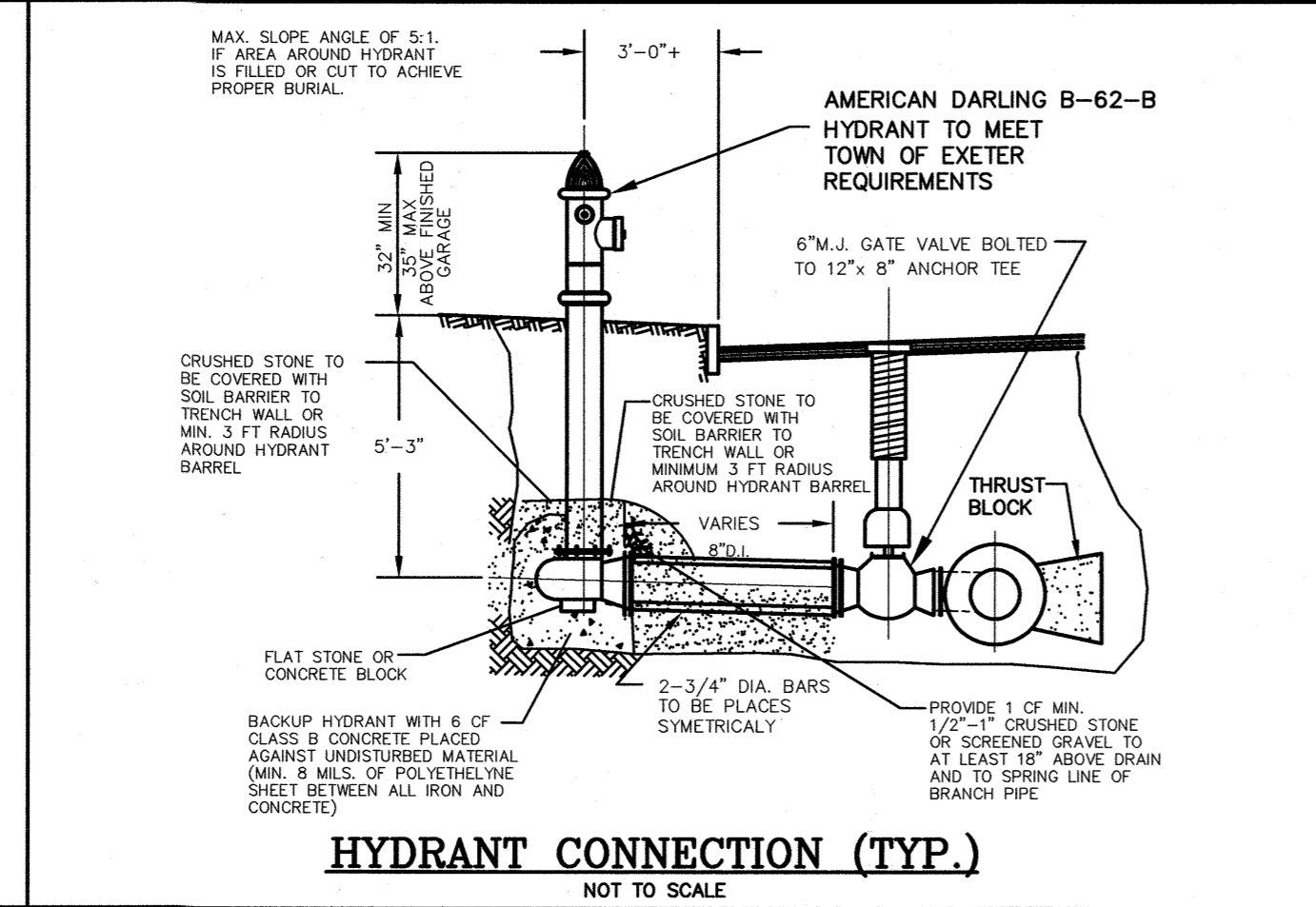
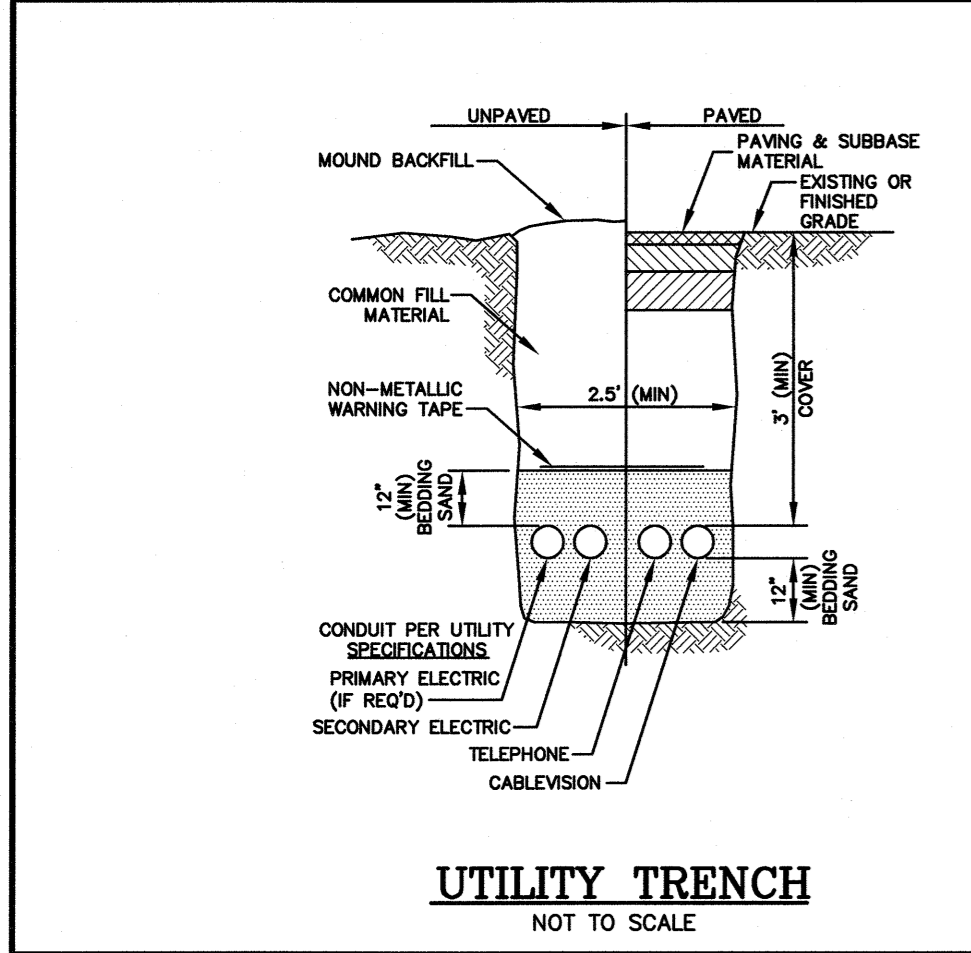


REVISIONS		
NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21
0	REVISION	

APRIL 20, 2021
 DRAWN/DESIGN BY: CCC/CMT
 CHECKED BY: FCM



F:\Projects\NEX-2020283 - Exeter, NH - Nouria CAD Files\20283_DET.dwg DEF: 9/07/21 12:41 pm sbomfonti



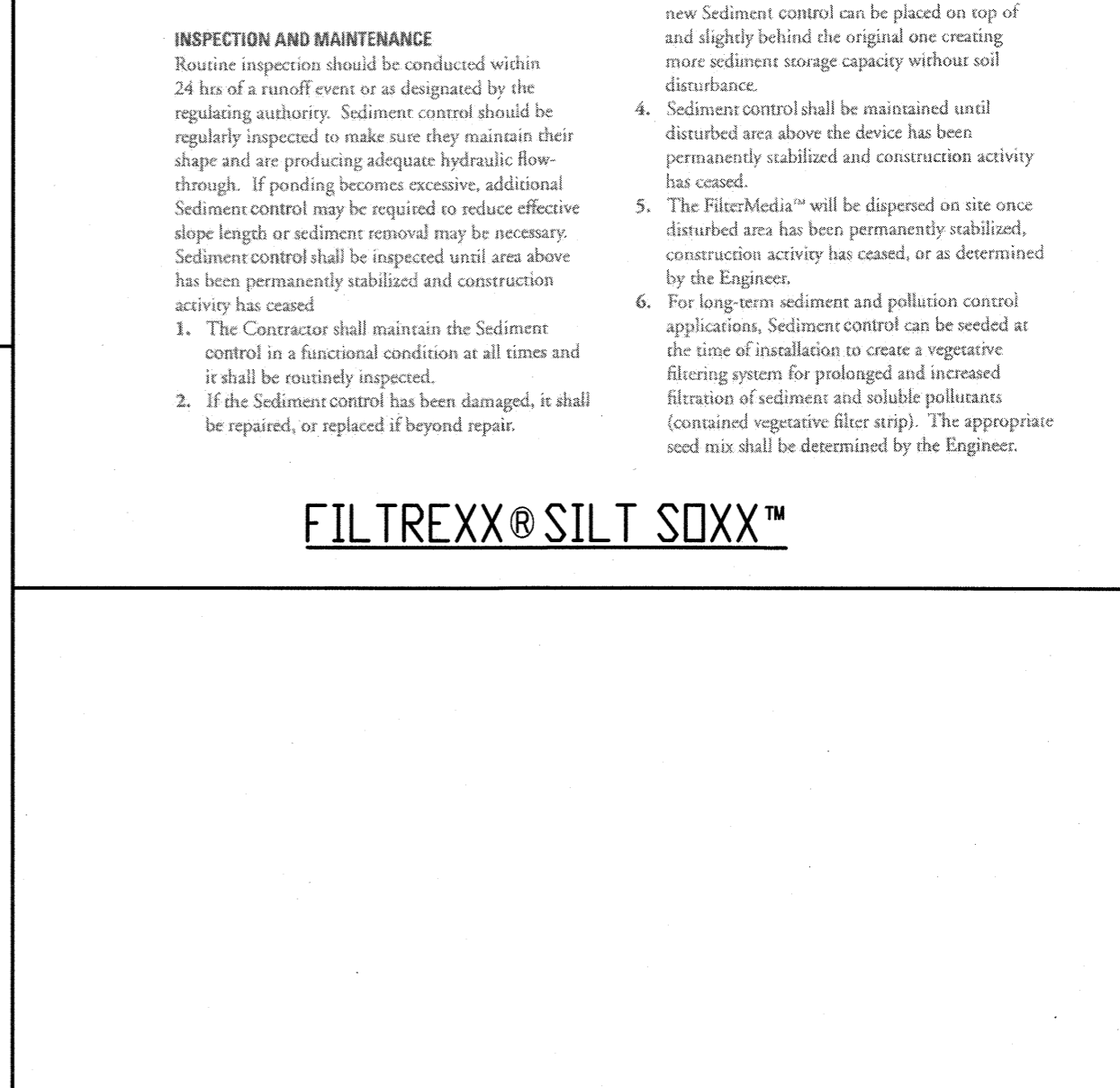
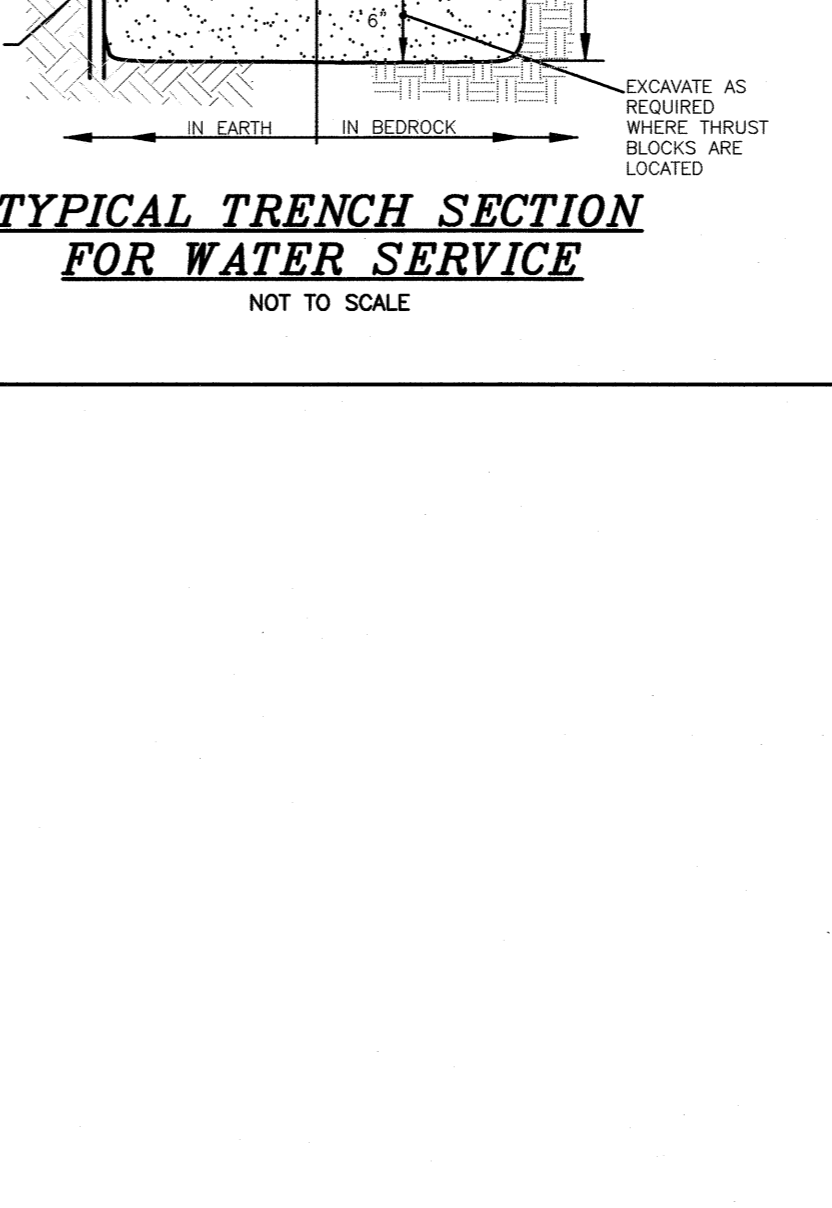
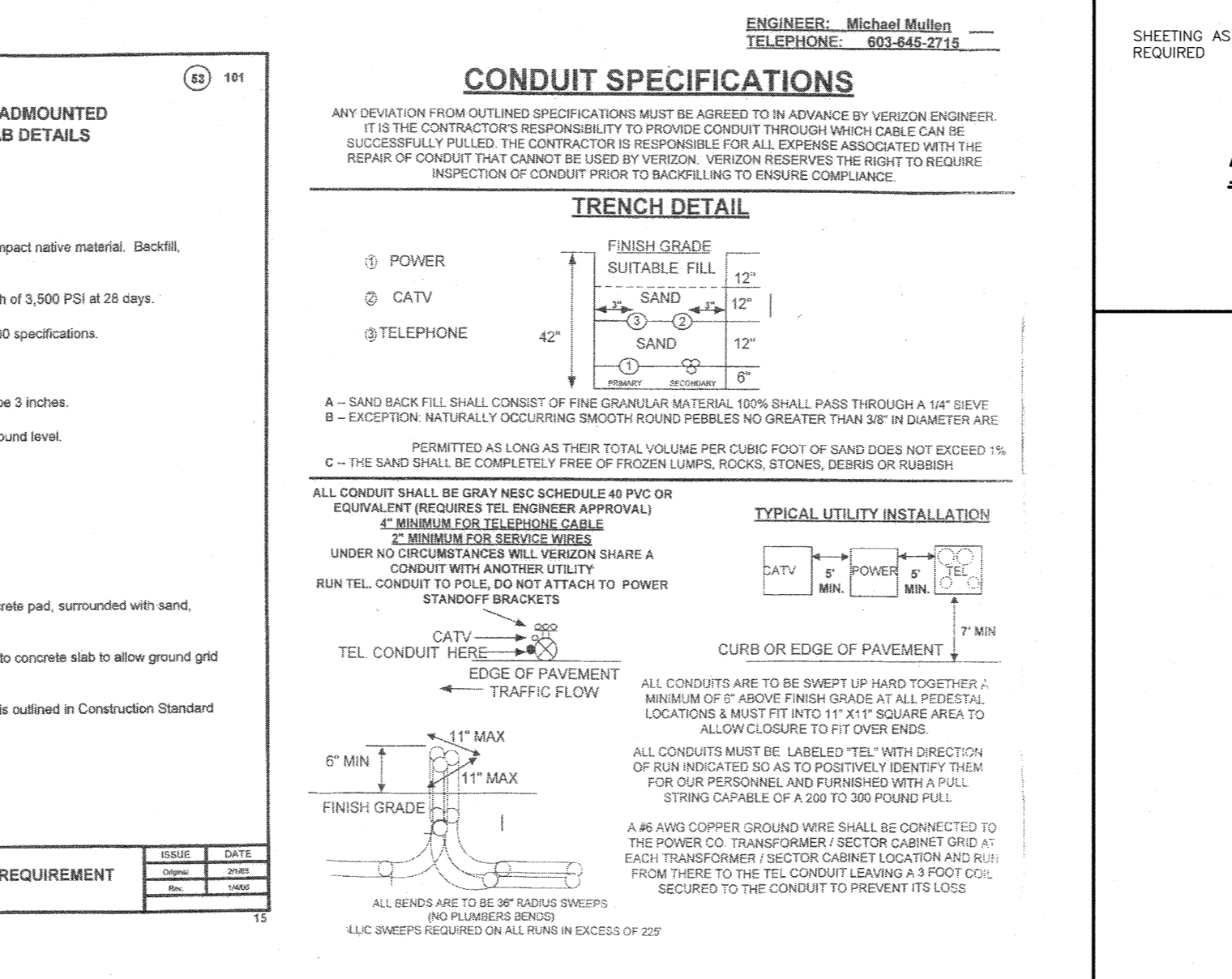
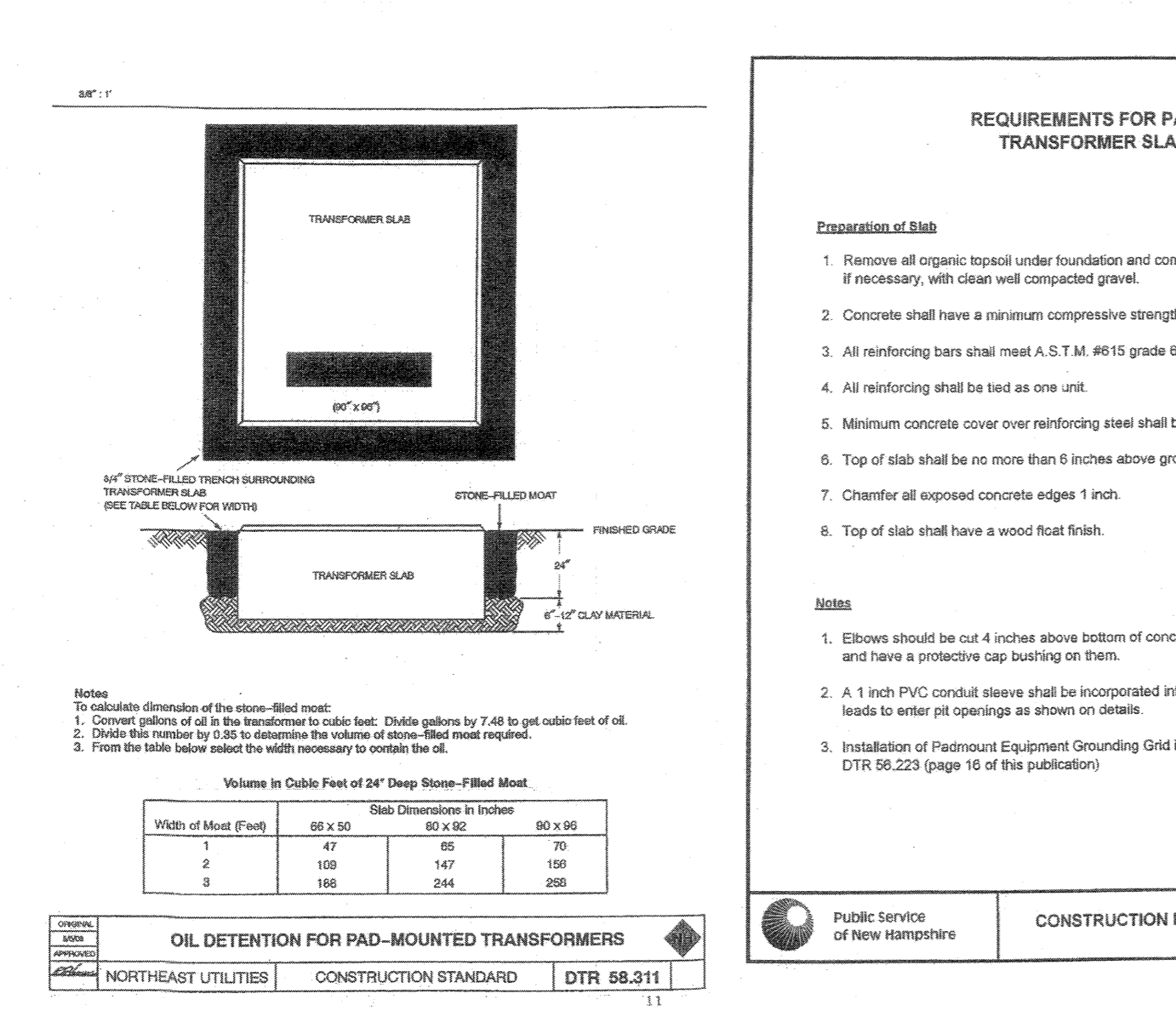
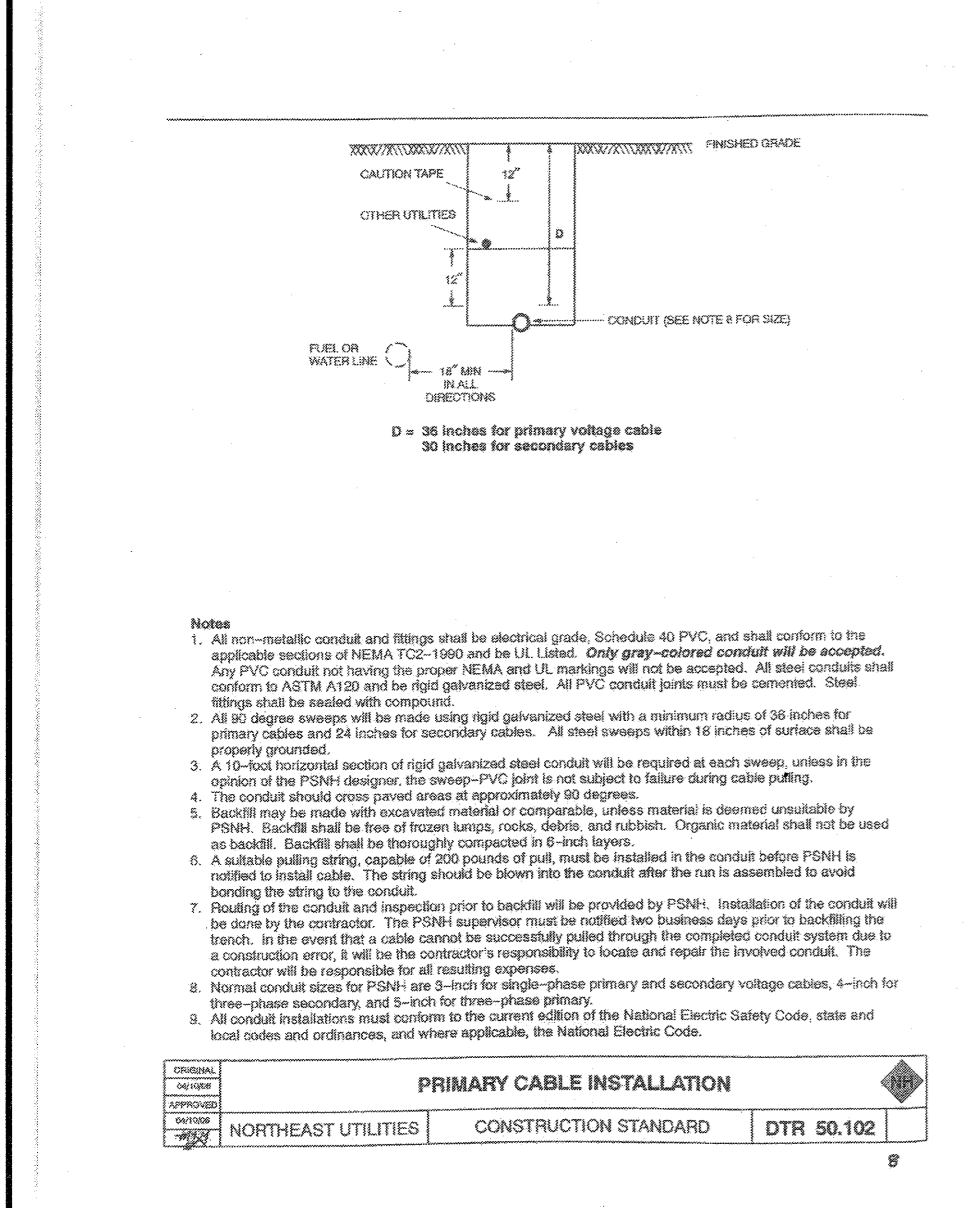
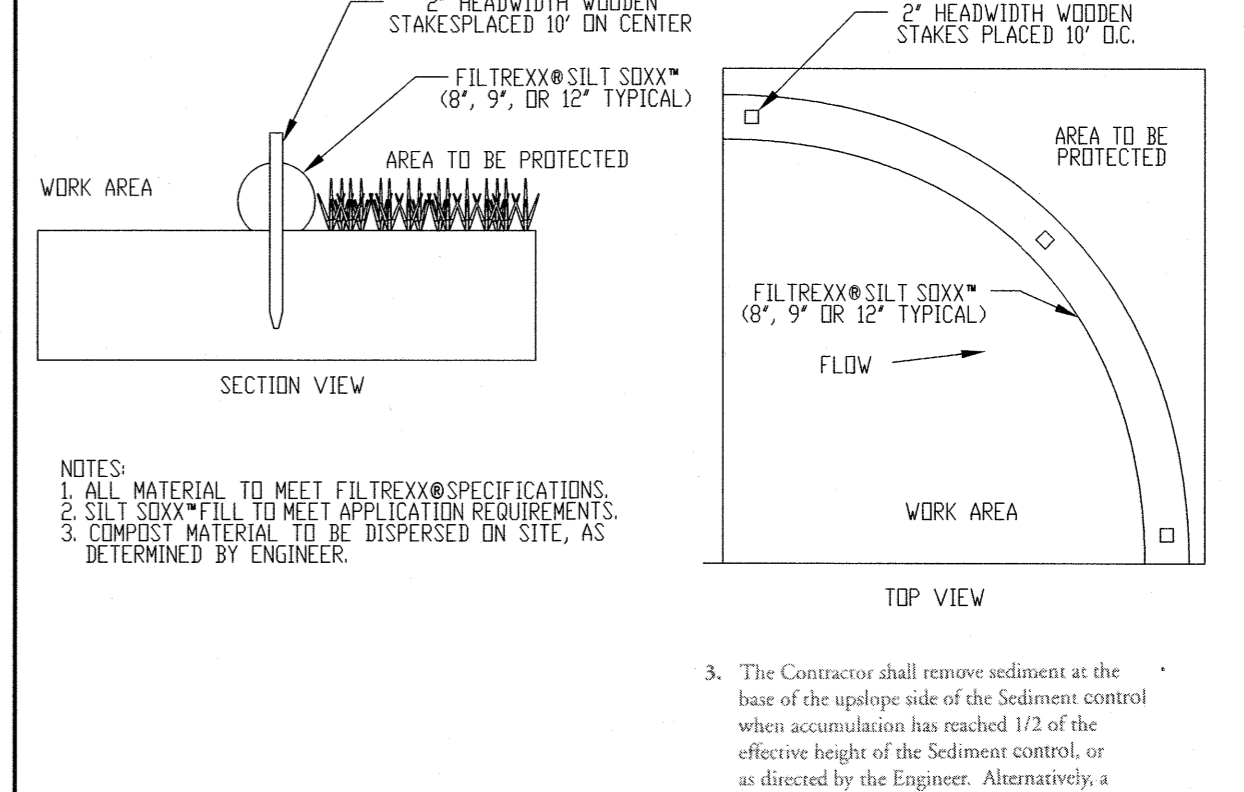
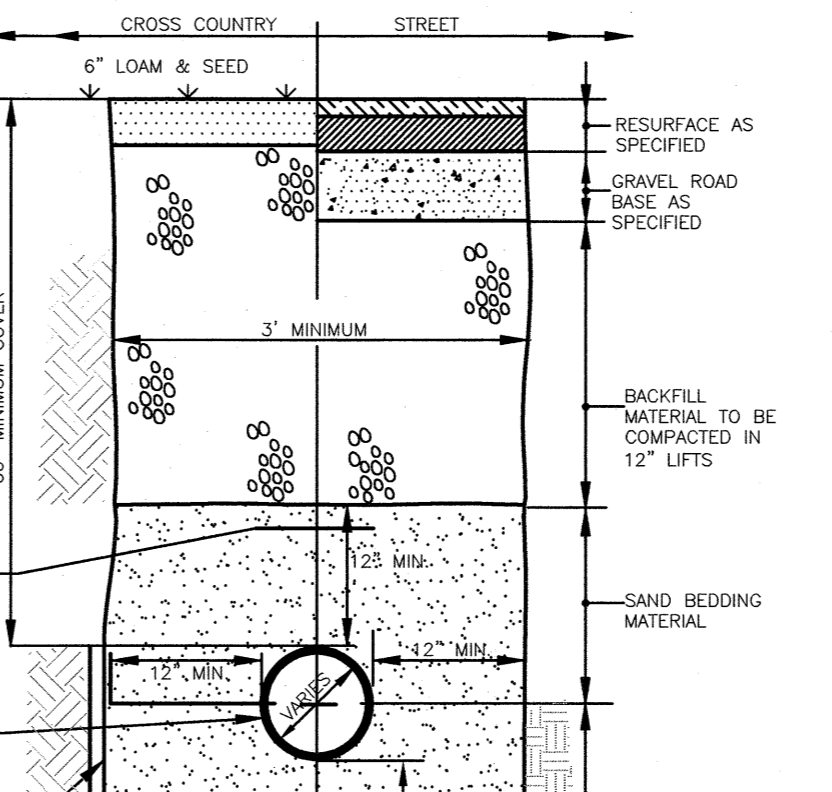
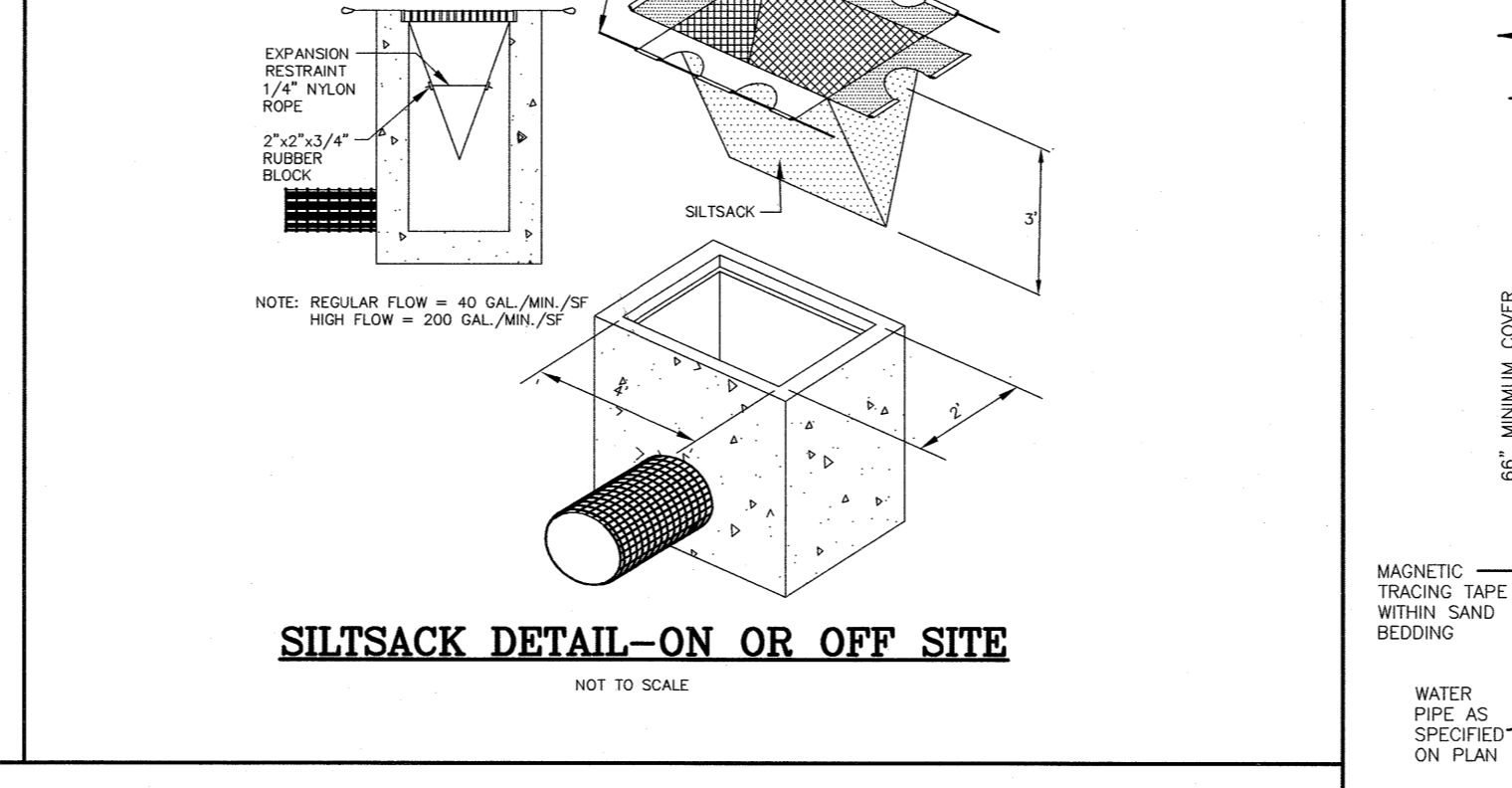
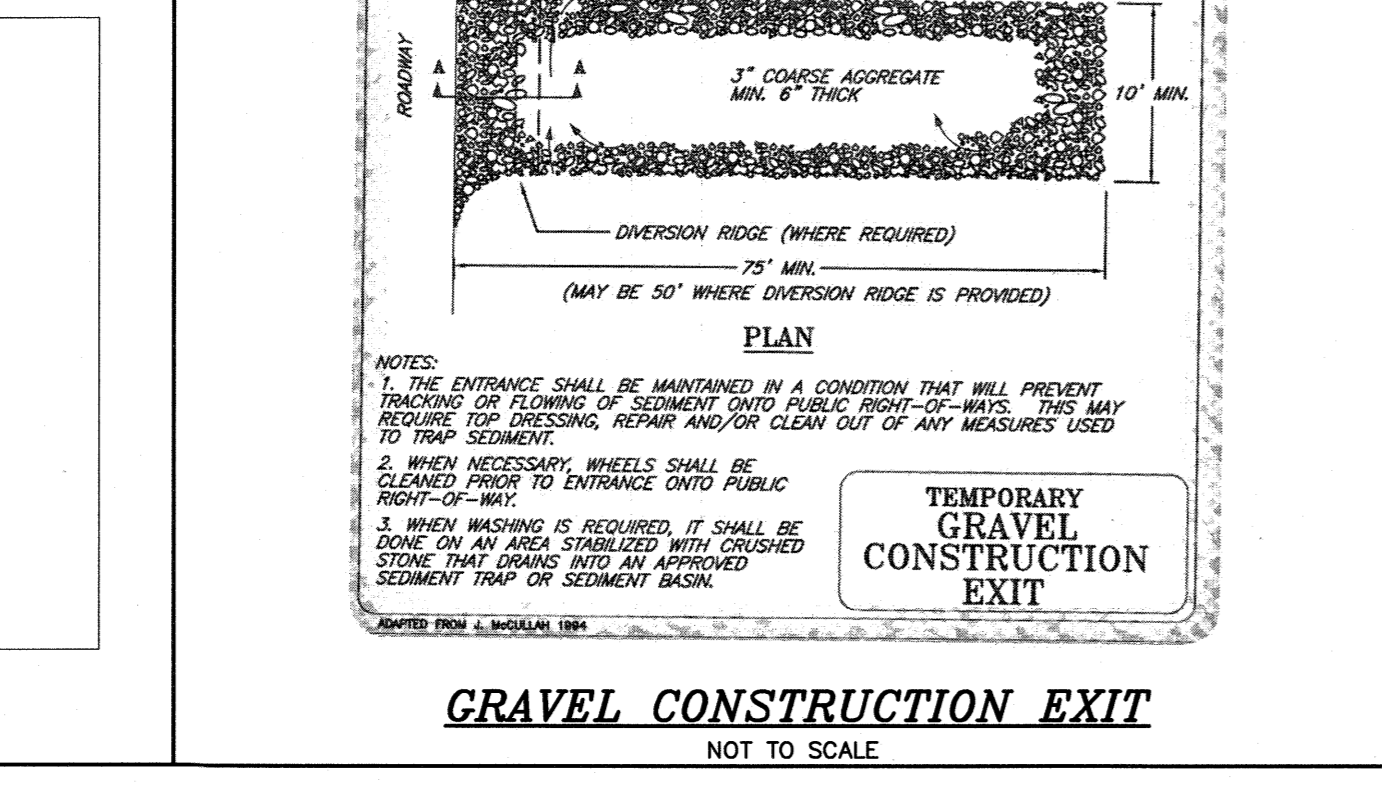
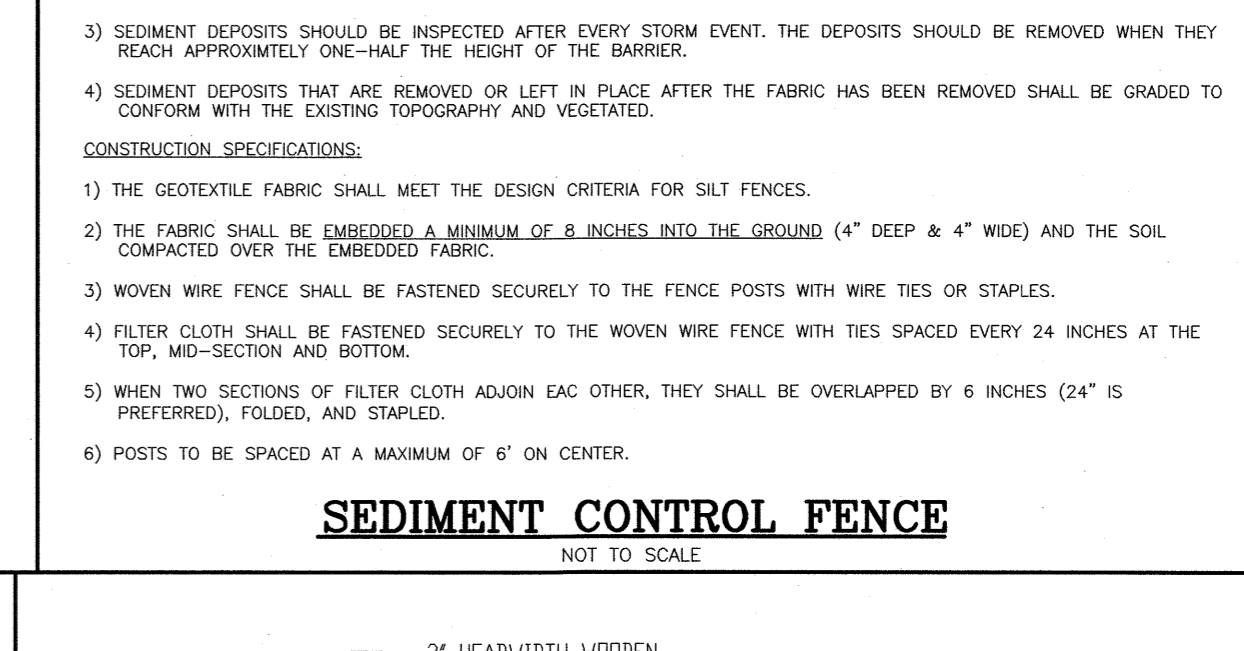
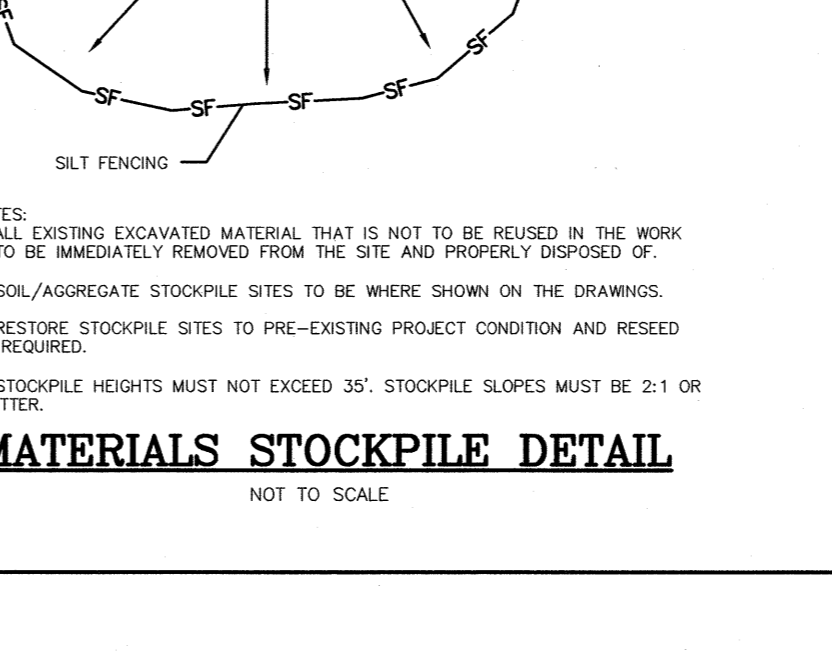
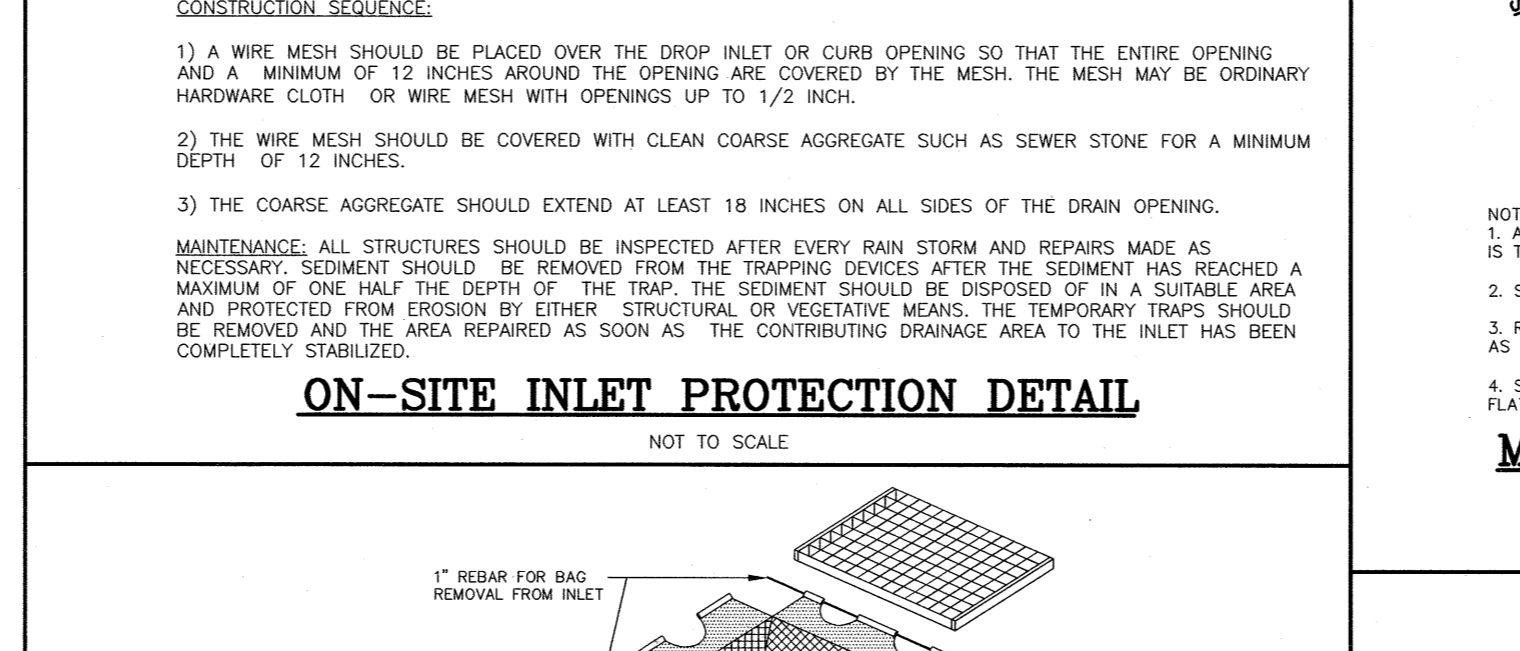
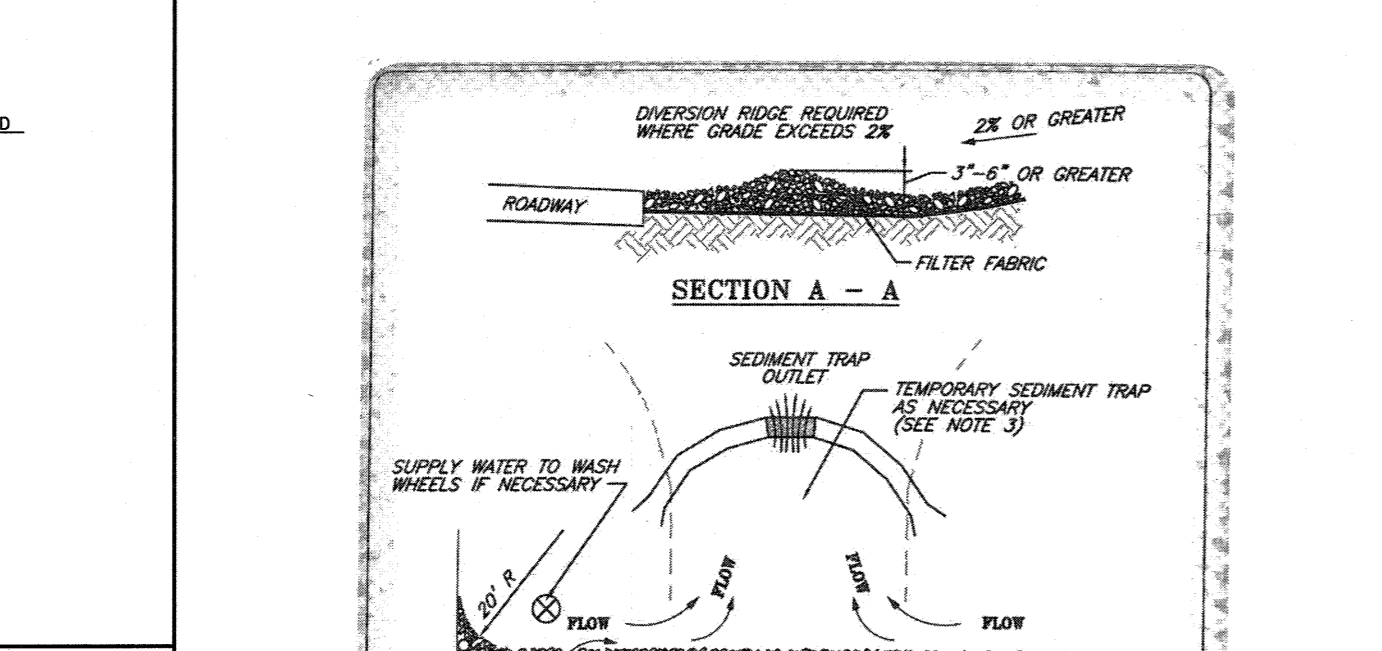
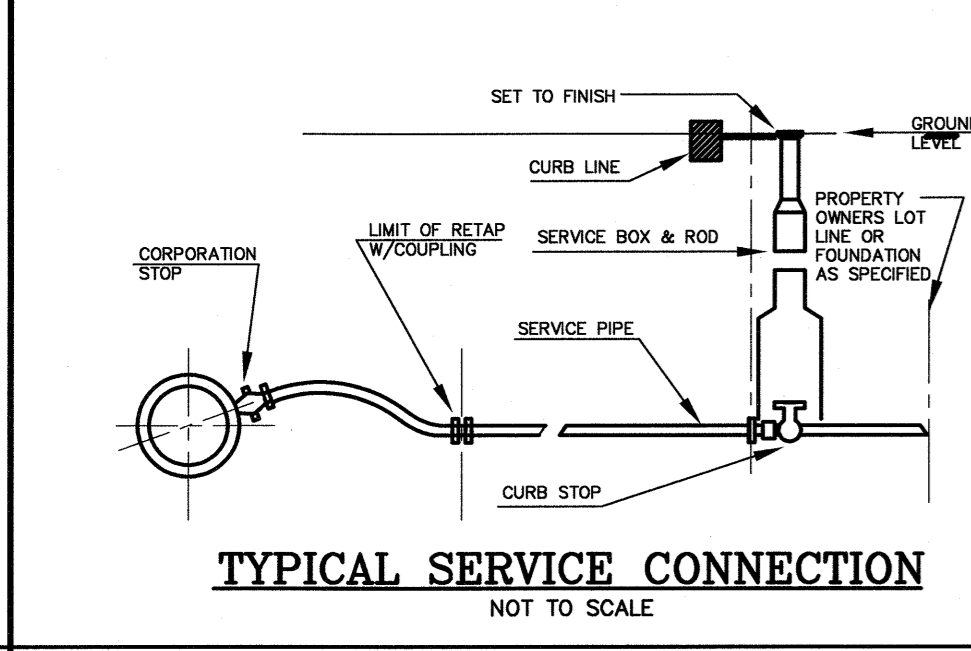
CRITERIA FOR SILT FENCES:

- SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:

FABRIC PROPERTIES:	VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lb-ft)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MULLEN BURST STRENGTH (PSI)	180	ASTM D3786
PUNCTURE STRENGTH (lb-ft)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE
- FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 3/8 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES. STEEL POSTS WILL BE STANDARD I OR U SECTIONS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT. MAXIMUM SPACING SHALL BE 6 LINEAR FEET.
- WIRE FENCE (FOR FABRICATED UNITS) - WIRE FENCING SHALL BE A MINIMUM 14.5 GAUGE WITH A MAXIMUM 6 INCH MESH OPENING.
- PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDED: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.

CONSTRUCTION SPECIFICATIONS:

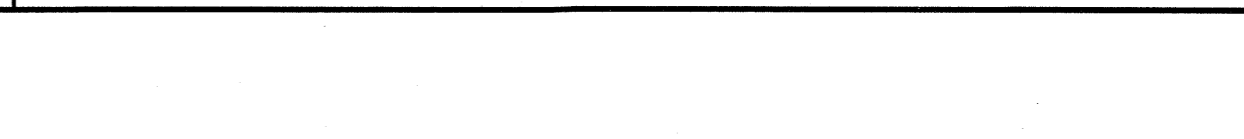
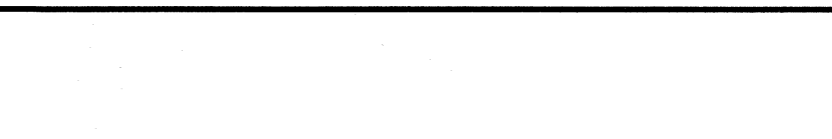
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND (4\"/>



Value in Cubic Feet of 24\"/>				
Width of Mass Foot	60 x 50	60 x 60	60 x 70	60 x 80
1	47	65	70	100
2	100	144	160	200
3	160	247	280	350

Value in Cubic Feet of 24\"/>				
Width of Mass Foot	60 x 50	60 x 60	60 x 70	60 x 80
1	47	65	70	100
2	100	144	160	200
3	160	247	280	350

CONSTRUCTION REQUIREMENT	DATE
0008	04/18
0009	04/18
0010	04/18
0011	04/18
0012	04/18
0013	04/18
0014	04/18
0015	04/18
0016	04/18
0017	04/18
0018	04/18
0019	04/18
0020	04/18
0021	04/18
0022	04/18
0023	04/18
0024	04/18
0025	04/18
0026	04/18
0027	04/18
0028	04/18
0029	04/18
0030	04/18
0031	04/18
0032	04/18
0033	04/18
0034	04/18
0035	04/18
0036	04/18
0037	04/18
0038	04/18
0039	04/18
0040	04/18
0041	04/18
0042	04/18
0043	04/18
0044	04/18
0045	04/18
0046	04/18
0047	04/18
0048	04/18
0049	04/18
0050	04/18



GPI Engineering Design Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

STATE OF NEW HAMPSHIRE
FRANK MONTERO
No. 7152
PROFESSIONAL ENGINEER
7/14/21

REVISIONS		
NO.	MISC. REVISIONS	DATE
1	MISC. REVISIONS	7/12/21
2	REVISION	DATE
APRIL 20, 2021		
DRAWN/DESIGN BY	CHECKED BY	
CCC/CMT	FCM	

SCALE: AS NOTED
PROJECT NO: NEX-2020283
11 OF 13

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

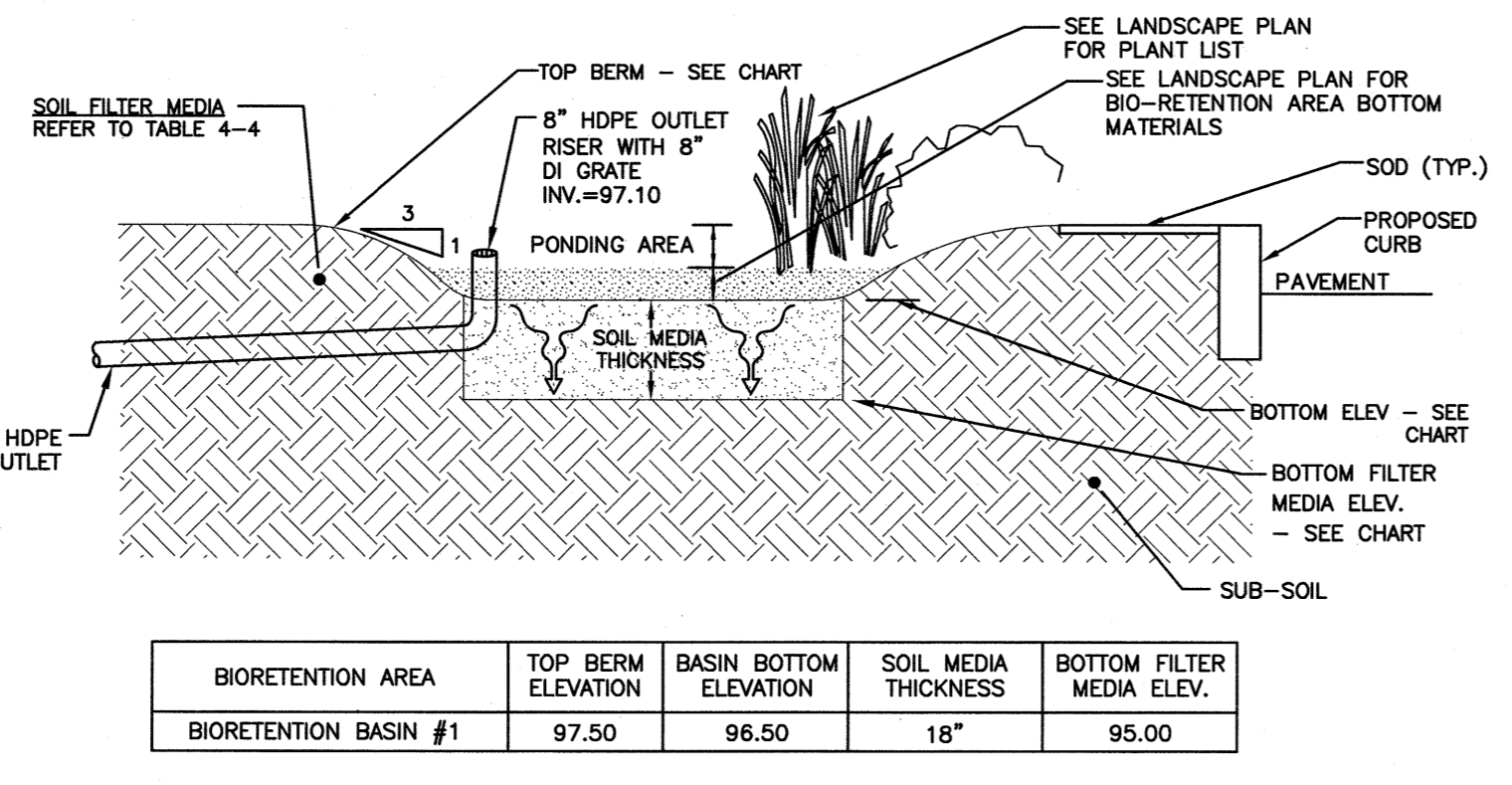


REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	7/12/21

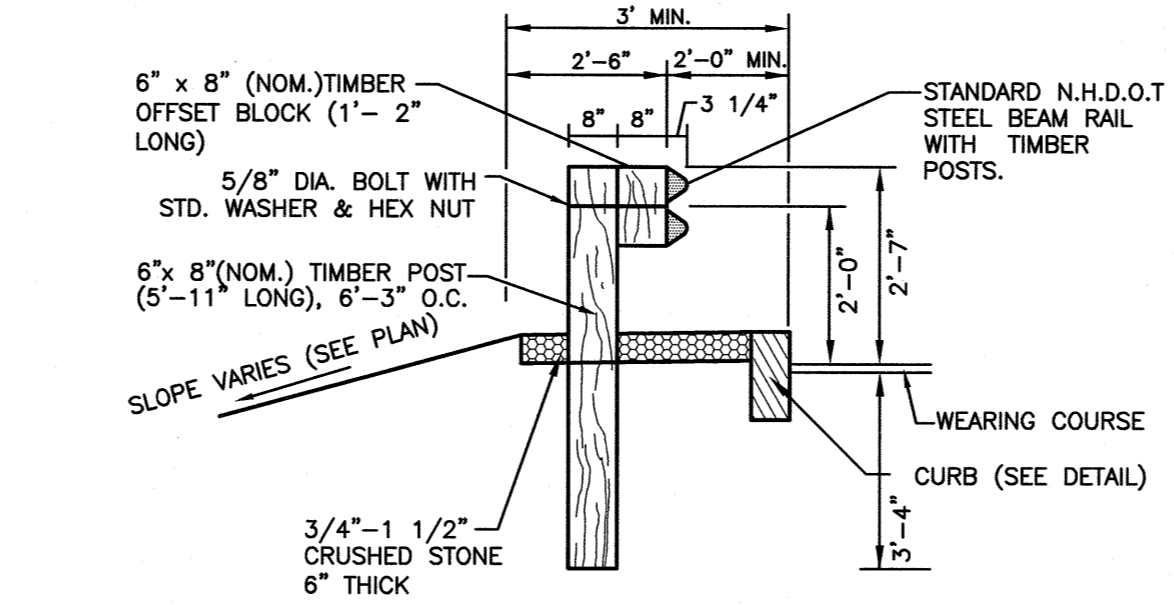
APRIL 20, 2021
DRAWN/DESIGN BY: CCC/CMT
CHECKED BY: FCM
DETAIL SHEET
SCALE: AS NOTED
PROJECT NO: NEX-2020283
12 OF 13

Table 4-4. Bioretention Filter Media

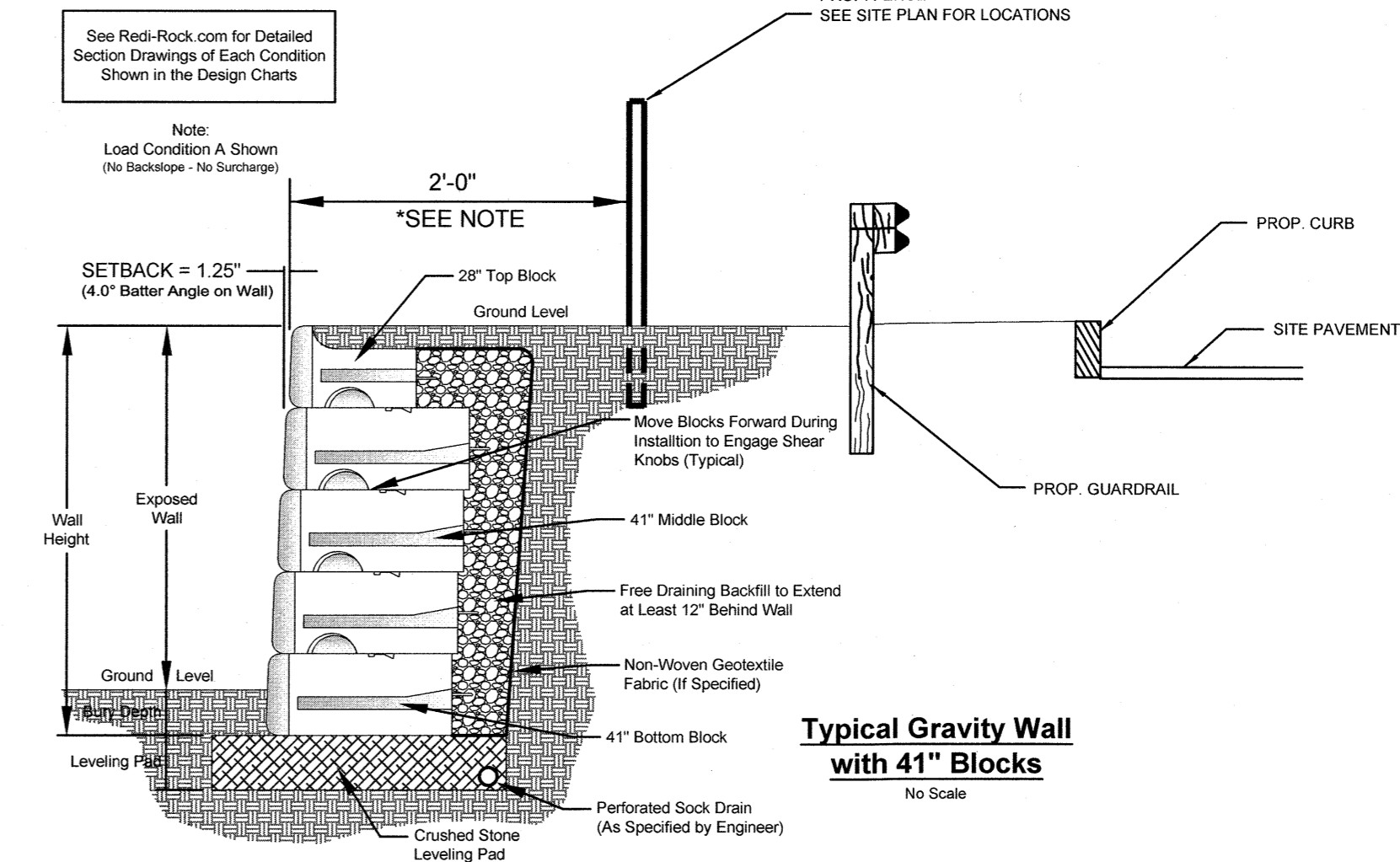
Component Material	Filter Media Option A		Gradation of Material Percent by Weight Passing Standard Sieve
	Percent of Mixture by Volume	Sieve No.	
ASTM C-33 concrete sand	50 to 55		15 to 25
Loamy sand topsoil, with fines as indicated	20 to 30	200	< 5
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
		20	70 to 100
Loamy coarse sand		60	15 to 40
		200	8 to 15



BIORETENTION AREA	TOP BERM ELEVATION	BASEIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.
BIORETENTION BASIN #1	97.50	96.50	18"	95.00

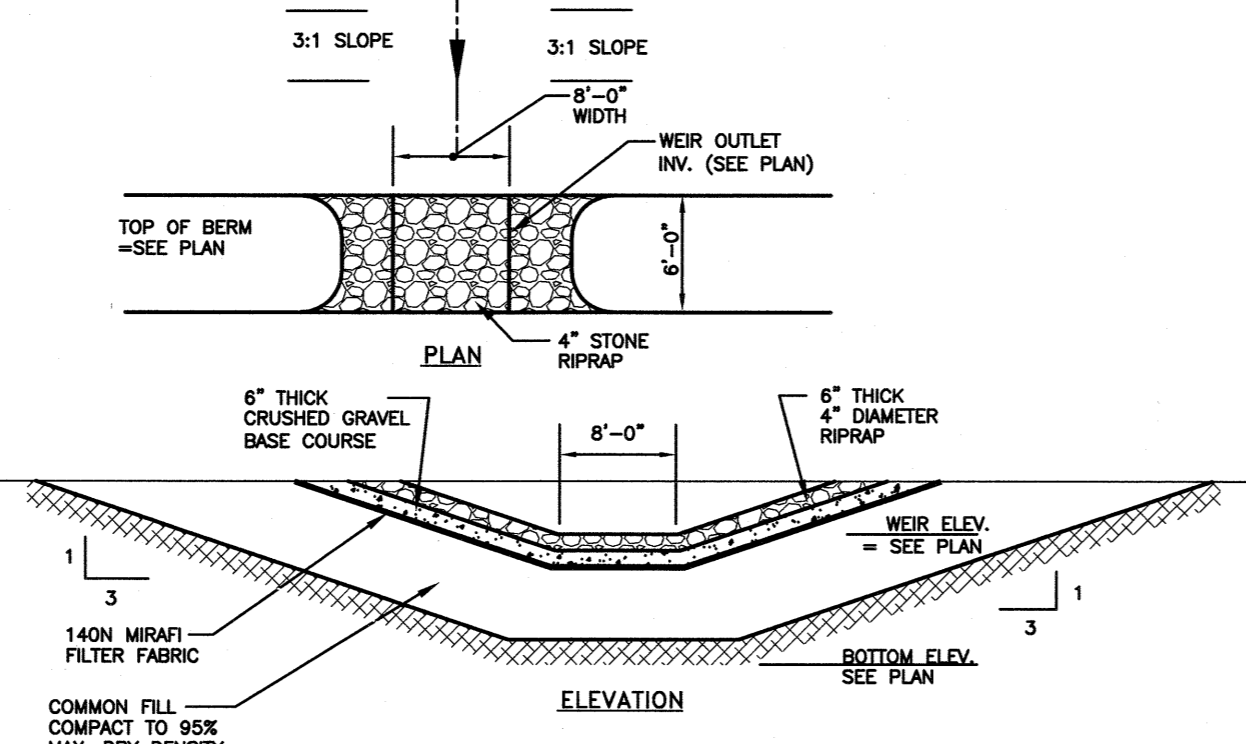


GUARD RAIL DETAIL ALONG RETAINING WALL
NOT TO SCALE

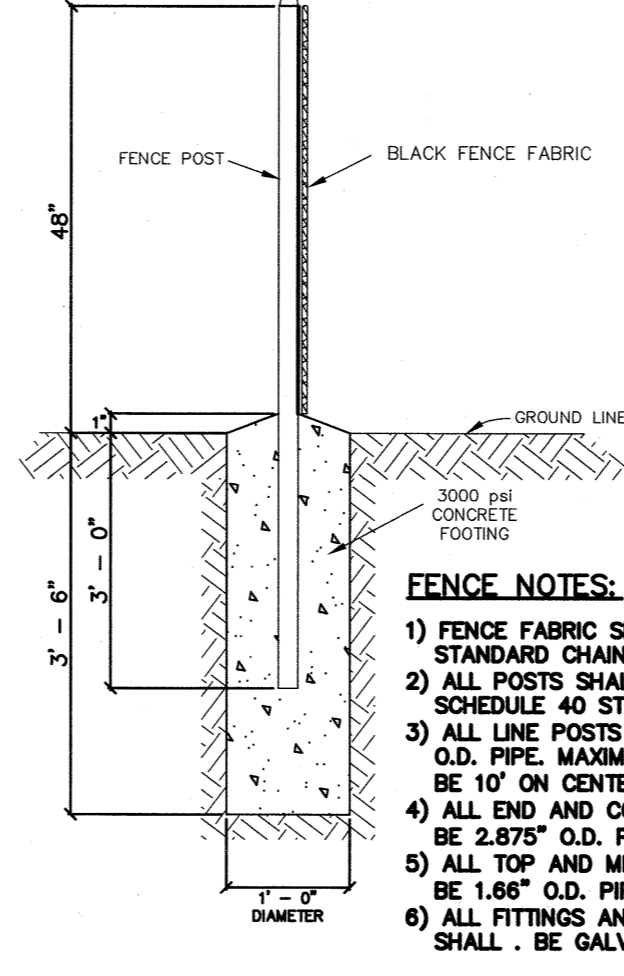


TYPICAL GRAVITY WALL WITH 41" BLOCKS
NOT TO SCALE

TYPICAL "REDI-ROCK" RETAINING WALL SECTION
NOT TO SCALE



EMERGENCY SPILLWAY DETAIL
NOT TO SCALE

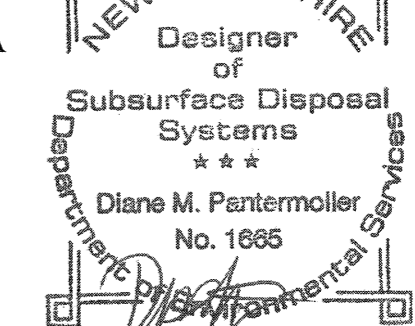


CHAIN LINK FENCE DETAIL
NOT TO SCALE

GPI

Engineering | Design | Planning | Construction Management

Client: Nouria Energy Corporation
Project Address: 158 Epping Road
Town, State: Exeter, NH
Job Number: NEX-2020283
Date: April 6, 2021
Performed by: Diane Pantemoller

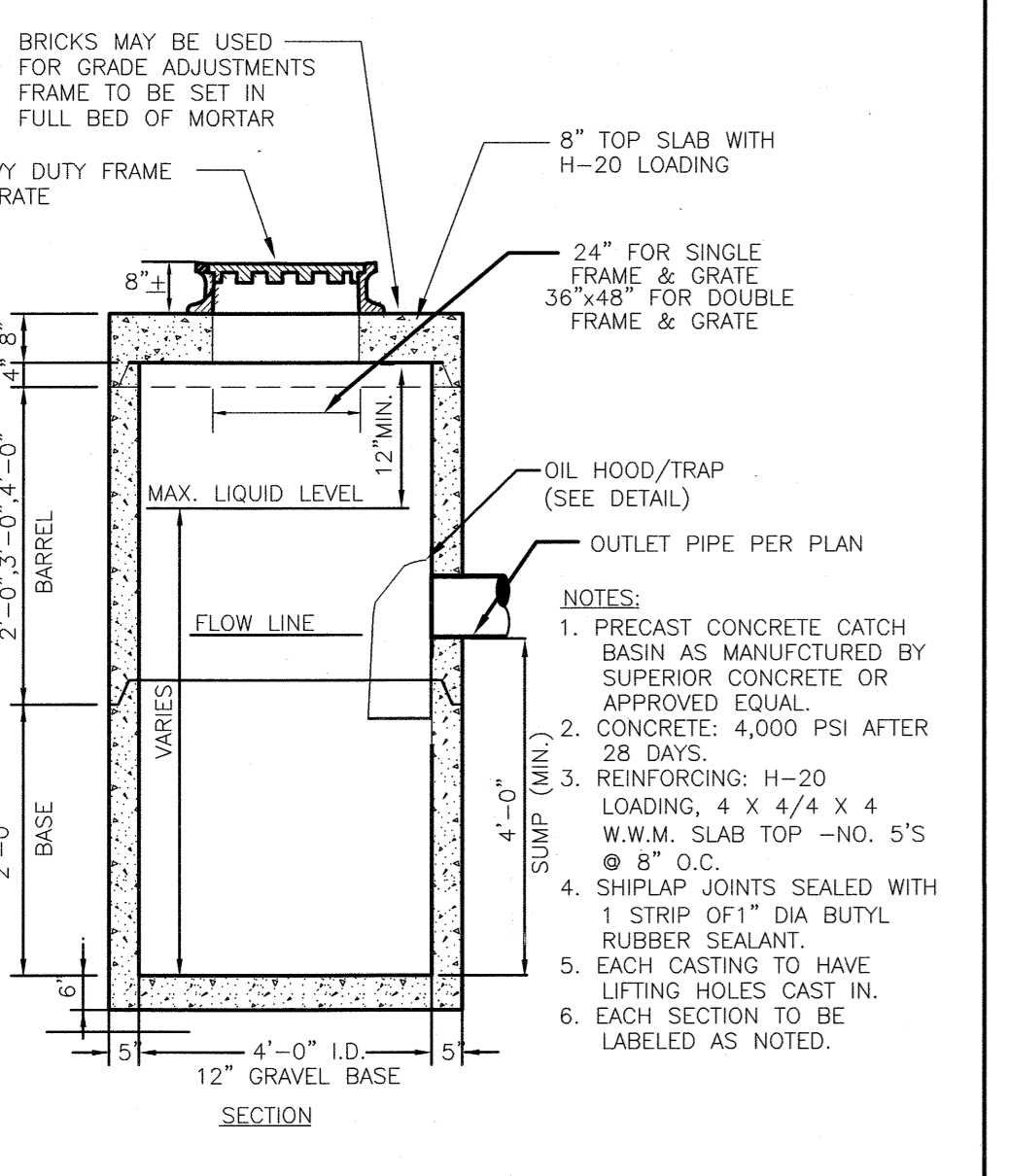


TEST PIT DATA											
EXIST. ELEV. ±	ESHWT ±	Refusal:	Depth	Horizon	Soil Texture	Color	Consistence	SCS Soil:	Standing Water:	Roots:	Mottles; Quantity/Contrast
95.7±	91.4±	>104"	0-52"	Fill/pavement	Mixed Soils	Variable	Platy	Urban Land	None	None	@52" Distinct
95.0±	91.4±	>117"	0-22"	Fill/pavement	Mixed Soils	Variable	Platy	Urban Land	None	None	@44" Distinct
94.8±	91.3±	>108"	0-36"	Fill	Mixed Soils	Variable	Platy	Scitico Silt Loam	104"	None	@42" Distinct
99.7±	97.7±	>102"	0-24"	Fill	Mixed Soils	Variable	Platy	Scitico Silt Loam	None	None	@24" Distinct
95.5±	91.5±	>102"	0-21"	Fill	Mixed Soils	Variable	FR	Squamscott	60"	None	@48" Distinct

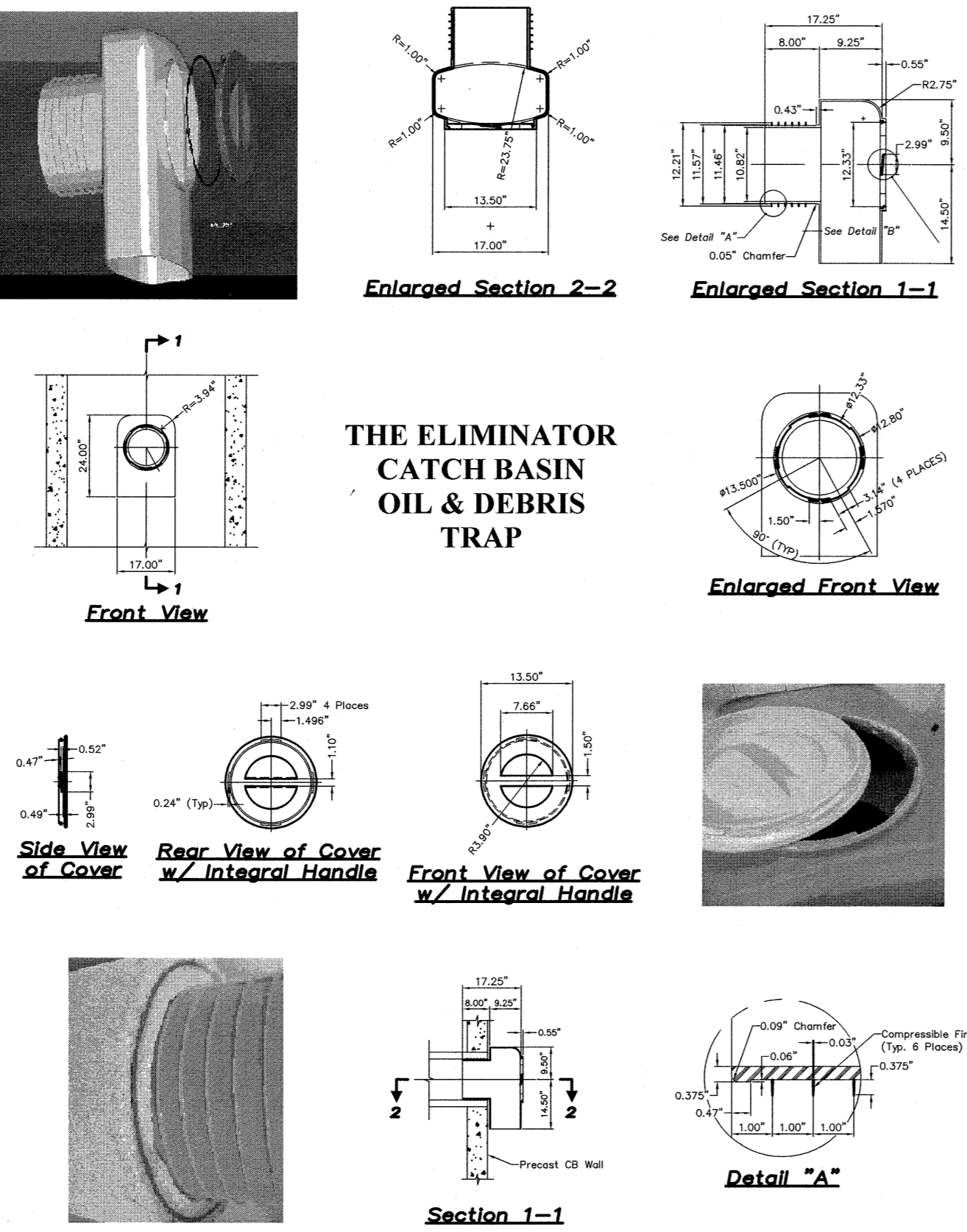
NOTES

TEST PIT LOGS

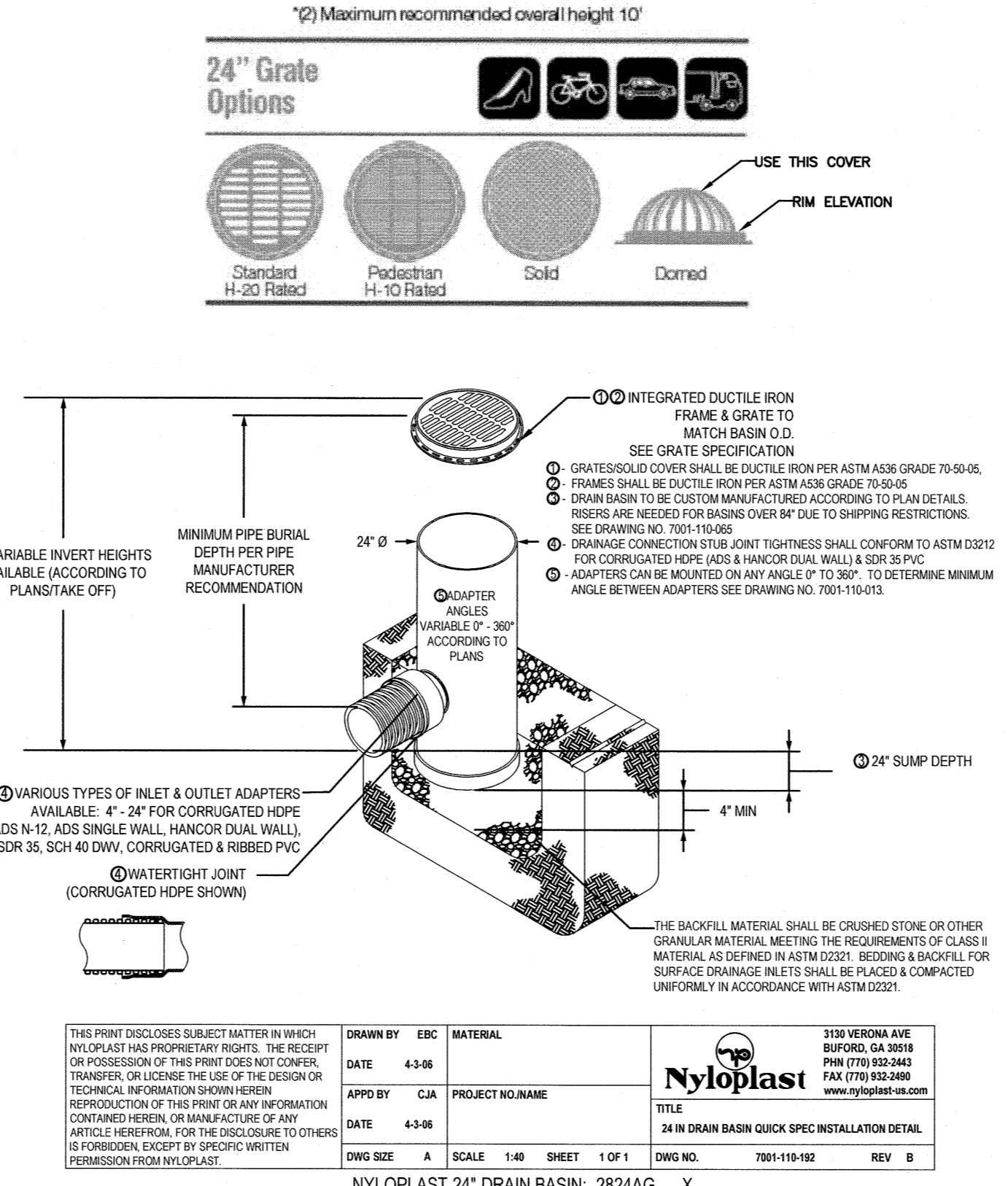
Greenman-Pedersen, Inc. 44 Stiles Road, Suite One Salem, NH 03079 p 603-893-0720
An Equal Opportunity Employer



PRECAST CONCRETE CATCH BASIN WITH HOOD
NOT TO SCALE



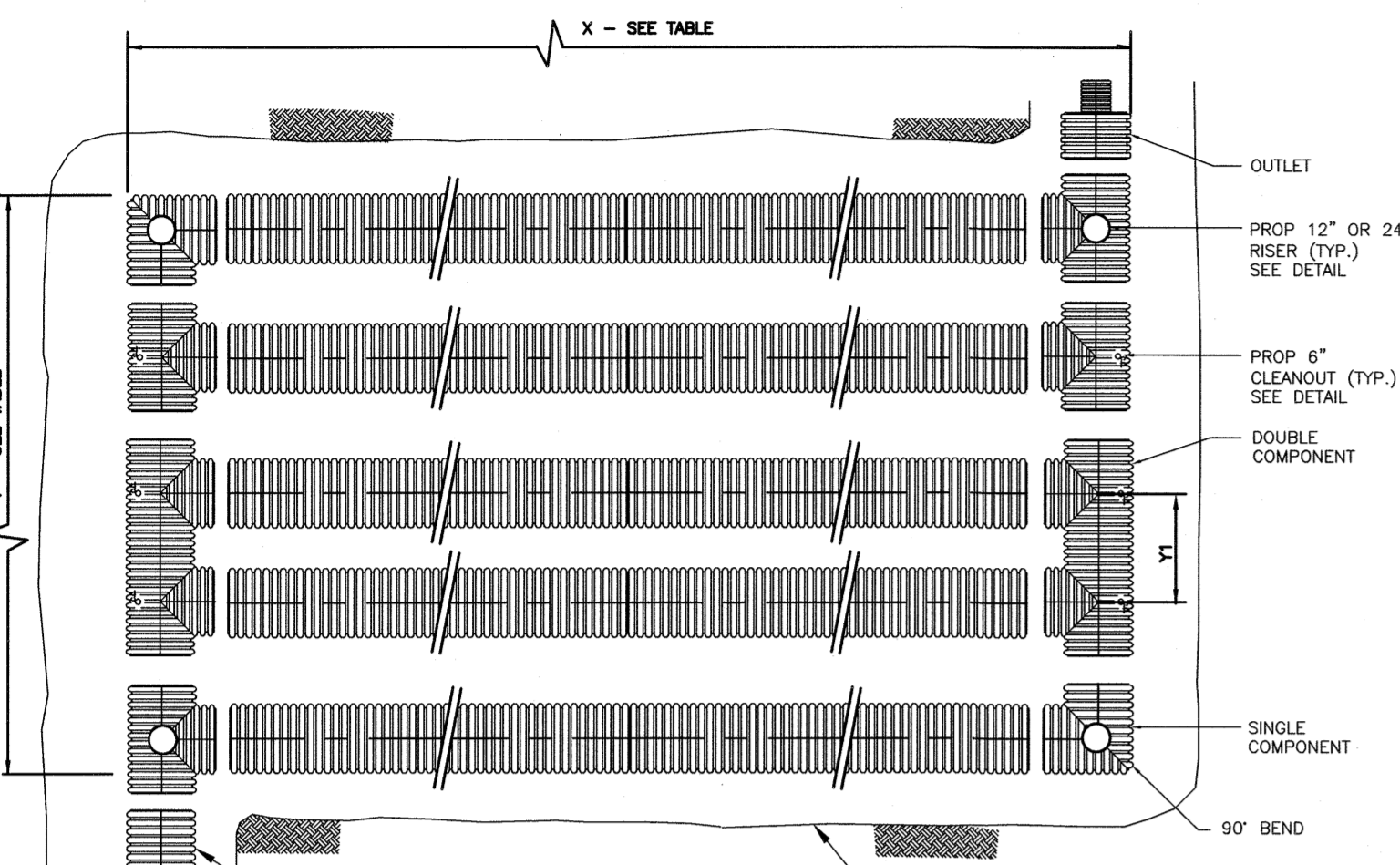
THE ELIMINATOR CATCH BASIN OIL & DEBRIS TRAP



YARD DRAIN DETAIL
NOT TO SCALE

DETENTION SYSTEM NOTES:

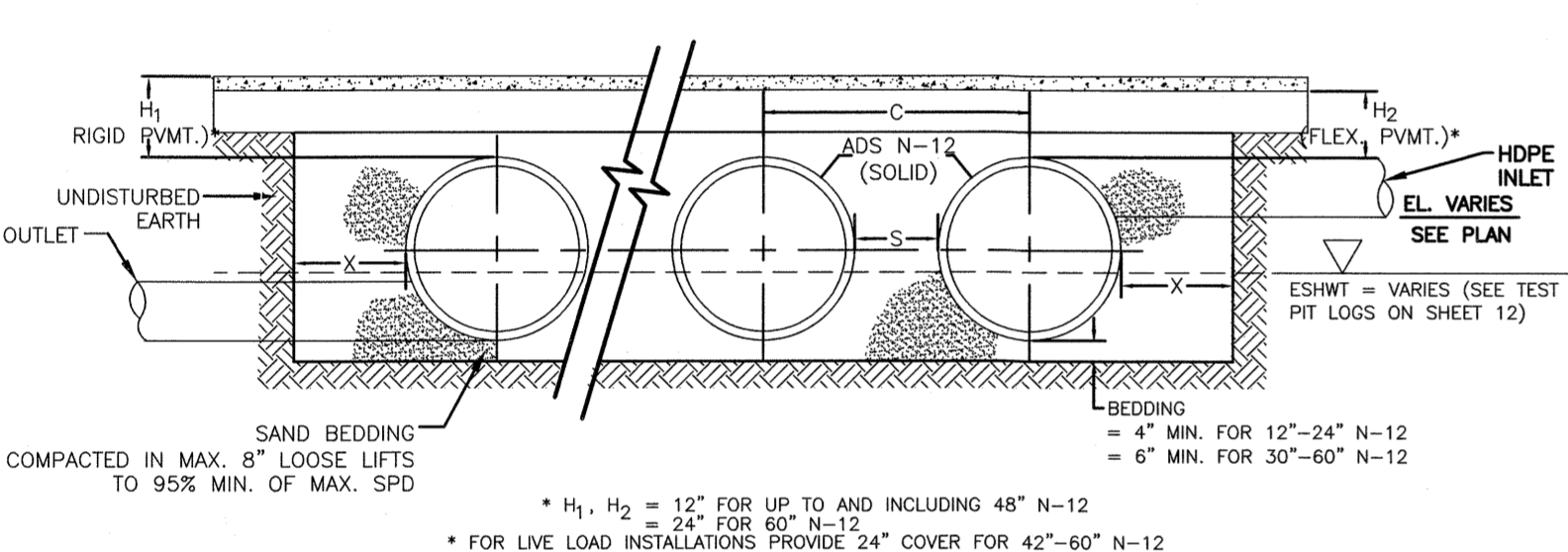
- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE, DUAL WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER. SUBSTITUTIONS AND SHOP DRAWINGS SHOULD BE APPROVED BY THE ENGINEER.
- 3) PARTS SPECIFICATIONS SHOWN ARE AS PROVIDED BY ADS, INC., OR APPROVED EQUAL. ANY CHANGES TO THESE SPECIFICATIONS SHOULD BE APPROVED BY DESIGN ENGINEER FOR PERFORMANCE.



UNDERGROUND STORMWATER DETENTION SYSTEM TABLE

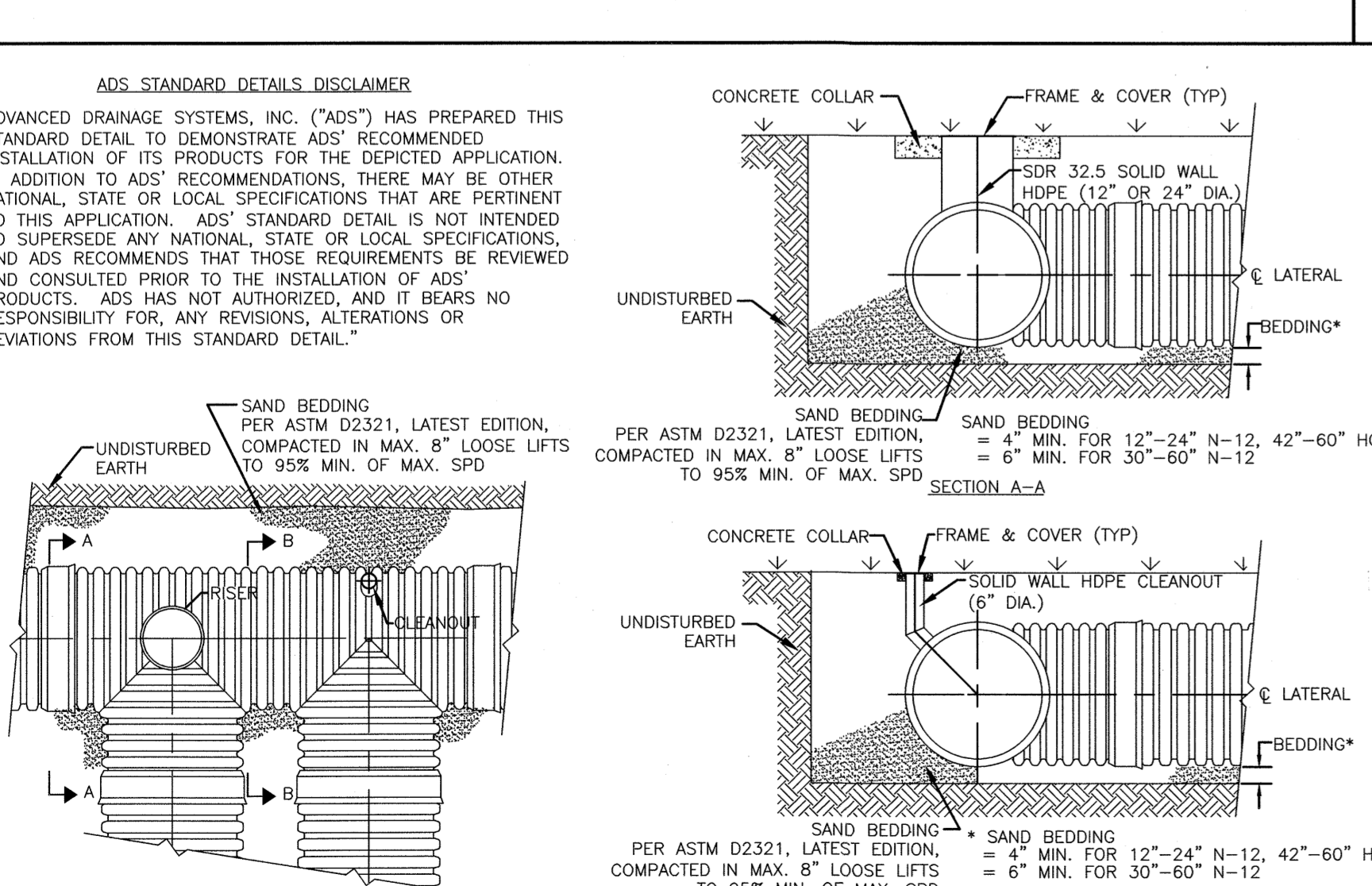
UG INFILTRATION SYSTEM	LENGTH (X)	WIDTH (Y)	SPACING (1) (O.C. TYP.)	PIPE SIZE (INCHES) SOLID	INV. PIPE ELEV. (A)	# PIPE ROWS
DETENTION SYS-1A	95'	24.5'	63"	36" SOLID(WT)	90.50	5
DETENTION SYS-1B	107'	35'	63"	36" SOLID(WT)	90.50	7
DETENTION SYS-2A	107'	14'	63"	36" SOLID(WT)	90.45	3
DETENTION SYS-2B	55'	19.25'	63"	36" SOLID(WT)	90.45	4

TYPICAL UNDERGROUND DETENTION SYSTEM LAYOUT
NOT TO SCALE



TYPICAL CLEANOUT
NOT TO SCALE

TYPICAL UNDERGROUND DETENTION SYSTEM CROSS SECTION
NOT TO SCALE

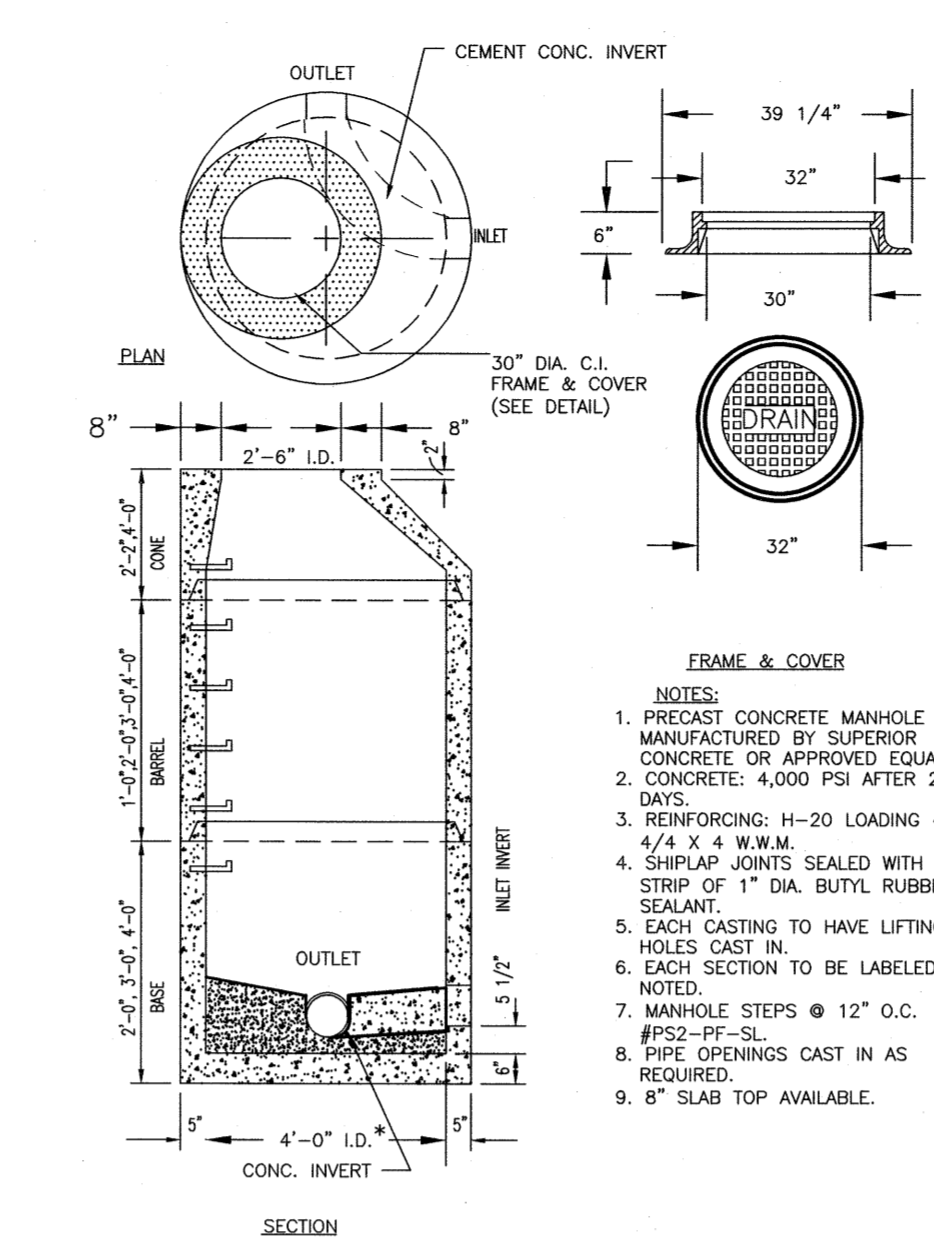


TYPICAL RISER AND CLEANOUT DETAILS
NOT TO SCALE

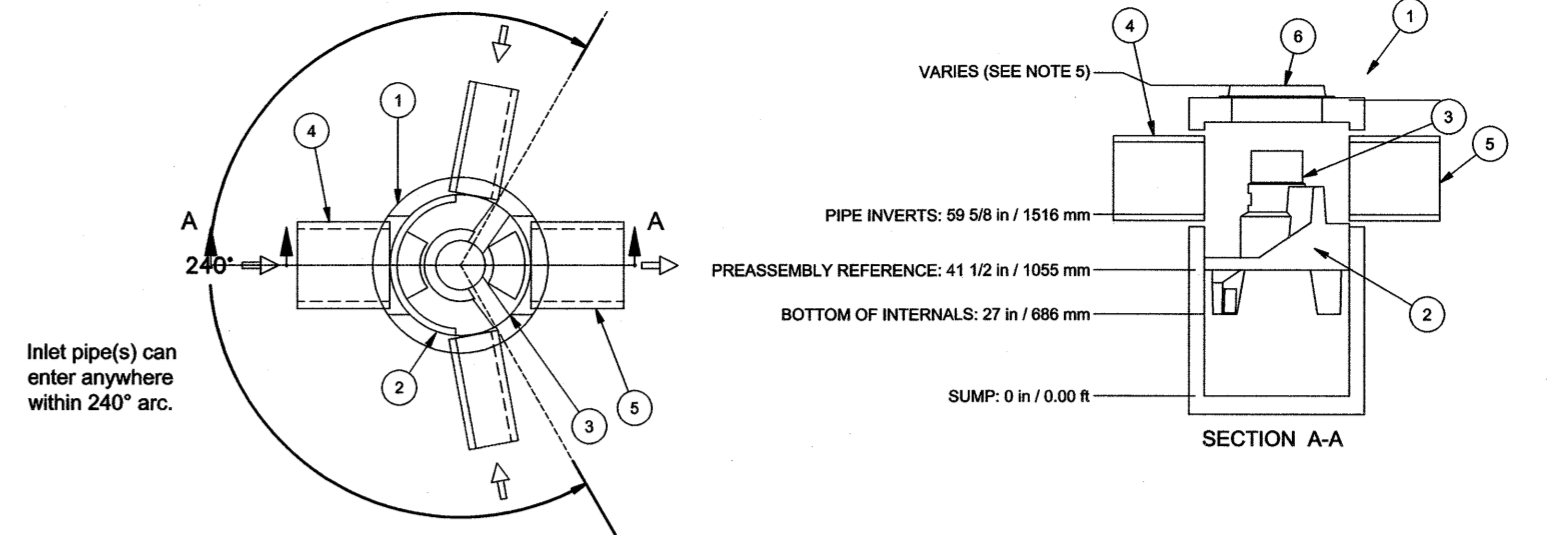
Table 5-2
Classes of Embedment and Backfill Materials

ASTM D2321 Class	Description	ASTM D2321	Min. Compostion Required (by wt. %)	Percentage Passing Sieves	ASTM D2321	Min. Liquid Limit	Min. Plasticity Index	Coefficients
Class	Description	Class	Min. Compostion Required (by wt. %)	10. (No. 10)	20. (No. 20)	LL	PI	Uniformity Coefficient
IIA	Clean, graded coarse sand	IIA	100%	100%	< 5%	Non Plastic	-	N/A
III	Clean, graded sand	III	100%	85%	< 5%	Non Plastic	-	N/A
IIII	Clean, coarse gravel	IIII	100%	> 50% of coarse fraction	< 5%	Non Plastic	-	1 to 3
V	Compacted sand and gravel	V	100%	> 50% of coarse fraction	< 5%	Non Plastic	-	1 to 3
VI	Compacted gravel and sand	VI	100%	> 50% of coarse fraction	< 5%	Non Plastic	-	1 to 3

- Notes:
 1) Refer to ASTM D2321 for more complete soil descriptions.
 2) Class IVA material has limited applications and can be difficult to place and compact; use ONLY with the approval of a soil expert. Contact ADS for additional information regarding suitability of this backfill material.
 3) N/R indicates that use of this material and/or compaction level is not recommended by ASTM D2321 for the backfill envelope.
 4) When using open-grade material, additional precaution must be taken to reduce or eliminate the risk of migration of fines from adjacent material. Refer to ASTM D2321 for more complete information.



PRECAST CONCRETE DRAIN MANHOLE
MAXIMUM PIPE DIAMETER 30"
NOT TO SCALE

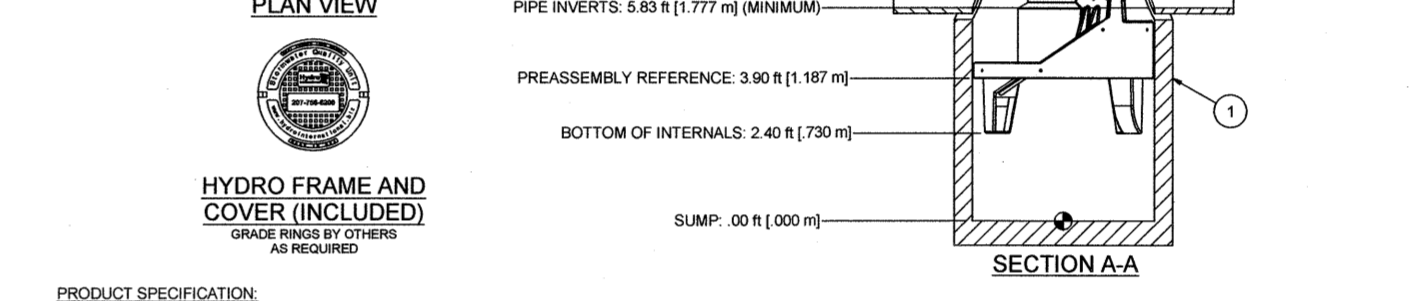


"FIRST DEFENSE" FD-4HC UNIT DETAIL (DMH-3)
(OR APPROVED EQUAL)

NOTE: CONTRACTOR SHALL CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

PARTS LIST

ITEM QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	48	1200	1/0 PRECAST MANHOLE
INTERNAL COMPONENTS			
1			HYDRO FRAME AND COVER (PRE-INSTALLED)
3	1 30	750	FRAMES AND GRATES
4	1 24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1 24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)



"FIRST DEFENSE" FD-5HC UNIT DETAIL (DMH-4)
(OR APPROVED EQUAL)

NOTE: CONTRACTOR SHALL CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

PARTS LIST

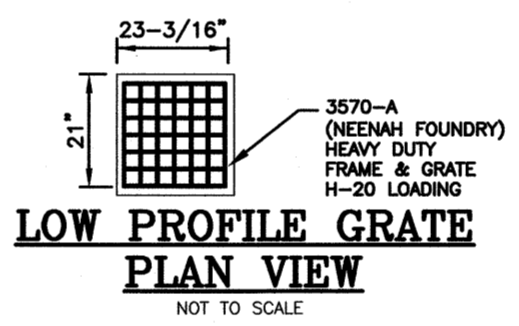
ITEM QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	60	1500	1/0 PRECAST MANHOLE
INTERNAL COMPONENTS			
1			HYDRO FRAME AND COVER (PRE-INSTALLED)
3	1 30	750	FRAMES AND GRATES (REQUIRED)
4	1 24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1 24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

GPI Engineering Design Planning Construction Management
 603.833.0720 GPINET.COM
 Greenman-Pedersen, Inc.
 44 Sites Road, Suite One
 Salem, NH 03079

PREPARED FOR
NOURIA ENERGY CORPORATION
 326 CLARK STREET
 WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

STATE OF NEW HAMPSHIRE
 FRANK C. MONTERO
 No. 7182
 LICENSED PROFESSIONAL ENGINEER
 7/17/21



LOW PROFILE GRATE PLAN VIEW
NOT TO SCALE

REVISIONS

NO.	REVISION	DATE
2	MISC. REVISIONS	7/28/21
1	MISC. REVISIONS	7/12/21
NO.	REVISION	DATE

APRIL 20, 2021

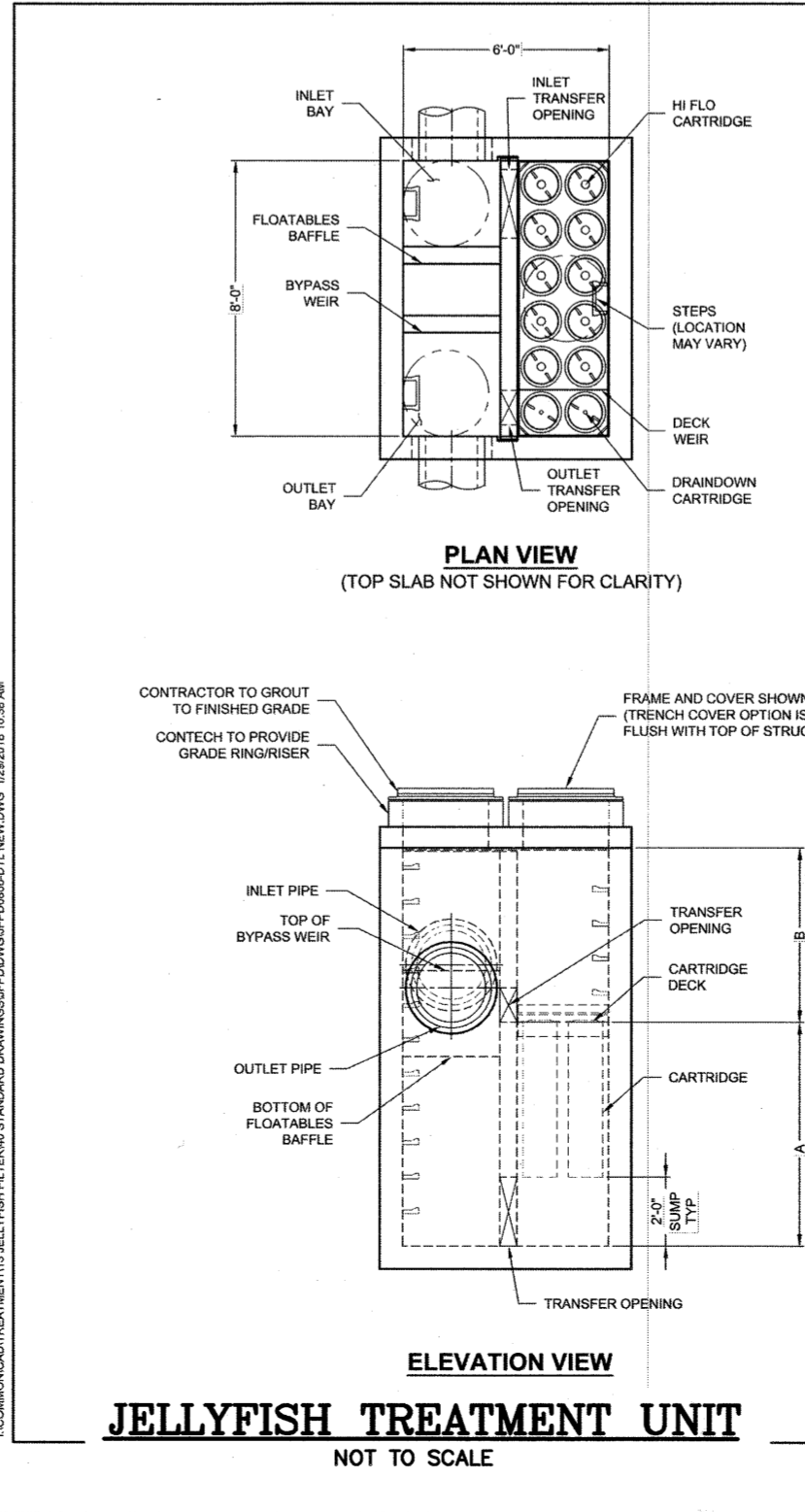
DRAWN/DESIGN BY: CCC/CMT CHECKED BY: FCM

DETAIL SHEET

SCALE: AS NOTED

PROJECT NO: NEX-2020283

13 OF 13



JELLYFISH TREATMENT UNIT
NOT TO SCALE

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK DIVERSION RATE WITH 20" DEPTH CARTRIDGES IS 1.77 GPM PER SQUARE FOOT OF SURFACE AREA. ALTERNATE DEPTHS (10" AND 30") ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION

CARTRIDGE LENGTH	48"	60"	72"	90"
PEAK FLOW RATE (GPM)	8.0	10.0	12.0	15.0
ESTIMATED PEAK FLOW RATE (GPM)	8.0	10.0	12.0	15.0
MINIMUM FLOW RATE (GPM)	1.33	1.77	2.11	2.67
MAX TREATMENT CAPACITY (GPM)	1.88	2.44	2.93	3.70
DESIGN FLOW RATE (GPM)	1.33	1.77	2.11	2.67

1) CONTRACTOR TO PROVIDE A SHOP DRAWING FOR APPROVAL BY CIVIL ENGINEER PRIOR TO CONSTRUCTION.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	INLET	OUTLET	DEPTH	UNIT	FLOW RATE	UNIT	FLOW RATE
STR-01	-	-	-	-	-	-	-
STR-02	-	-	-	-	-	-	-
STR-03	-	-	-	-	-	-	-

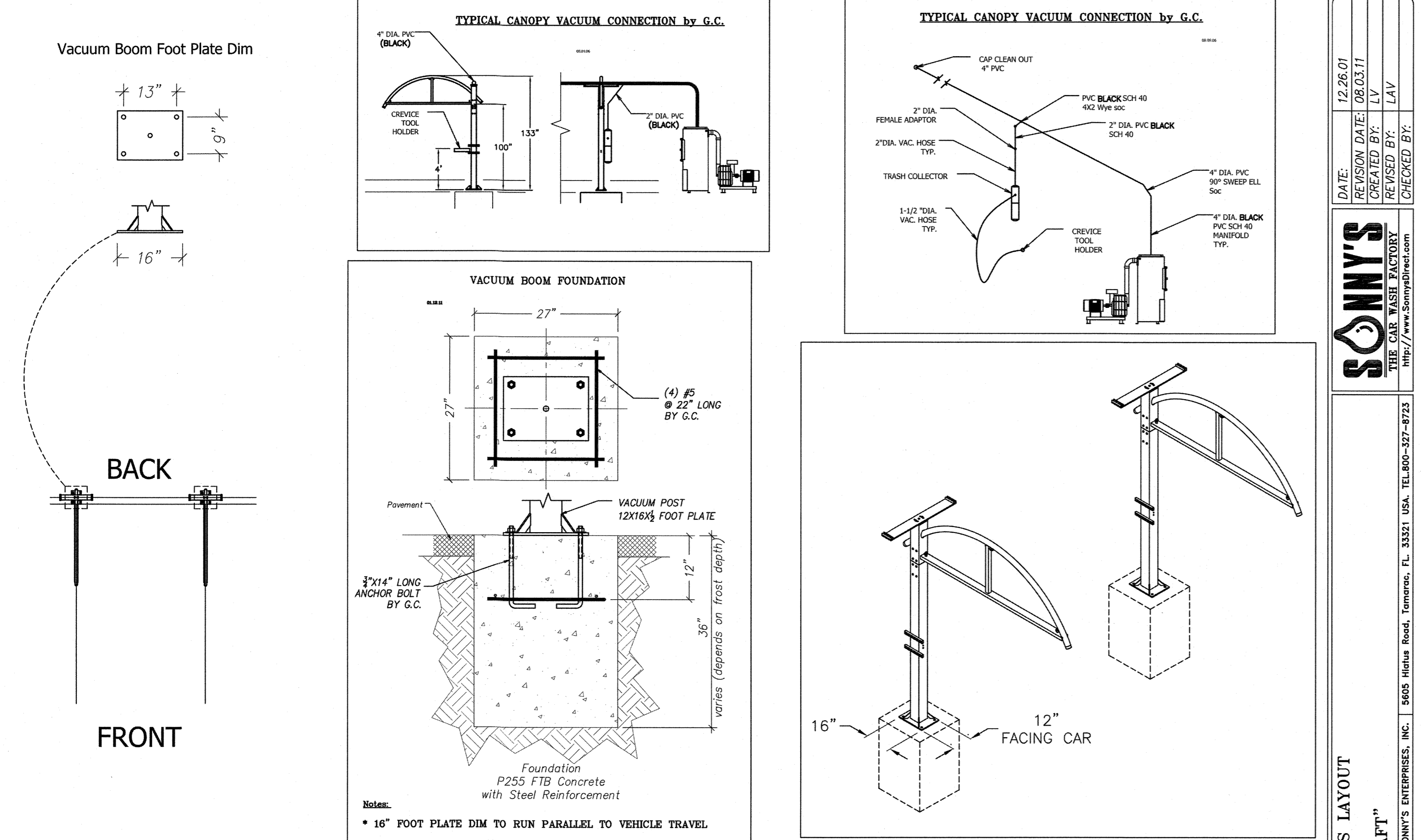
Jellyfish Filter

CONTECH ENGINEERS SOLUTIONS LLC
 900 Central Expressway, Suite 100, Westborough, MA 01581
 800.338.1222 517.755.7200 517.755.7887 FAX

JELLYFISH JFF00806
 STANDARD DETAIL
 PEAK DIVERSION CONFIGURATION



REVISIONS		
NO.	REVISION	DATE

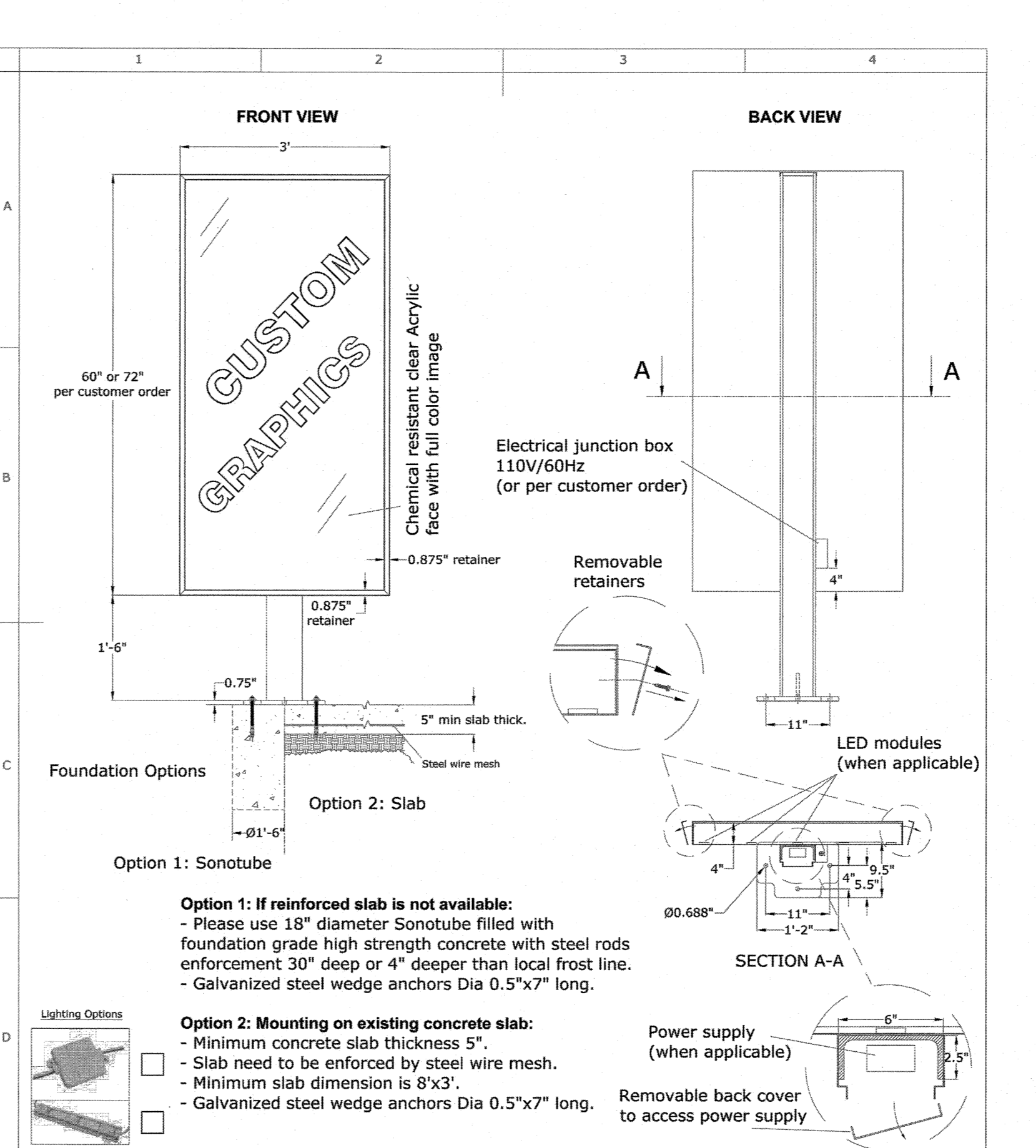


DISCLAIMER: ALTHOUGH BUILDING CODES HAVE BEEN CONSIDERED IN DEVELOPING THIS DRAWING, VERIFICATION OF SITE SPECIFIC CONDITIONS AND COMPLIANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES IS THE EXCLUSIVE RESPONSIBILITY OF THE CUSTOMER AND/OR ARCHITECT AND ENGINEER. THESE DRAWINGS REFLECT REQUIREMENTS FOR SONNY'S EQUIPMENT ONLY UNLESS OTHERWISE NOTED. PLEASE REFER TO OTHER MANUFACTURERS, IF ANY, FOR THEIR EQUIPMENT REQUIREMENTS.

CONFIDENTIAL WARNING: THIS SHEET CONTAINS AND CONSTITUTES CONFIDENTIAL INFORMATION, IMAGES AND TRADE SECRETS OF SONNY'S ENTERPRISES, INC. ANY UNAUTHORIZED USE, DISCLOSURE, OR ANY OR PORTION THEREOF, IS STRICTLY PROHIBITED. THIS WORK IS THE EXCLUSIVE PROPERTY OF SONNY'S ENTERPRISES, INC. ALL RIGHTS RESERVED.

© 2011 SONNY'S ENTERPRISES, INC. 5805 Highway Road, Tomasco, FL 33521 USA. TEL: 800-327-9723

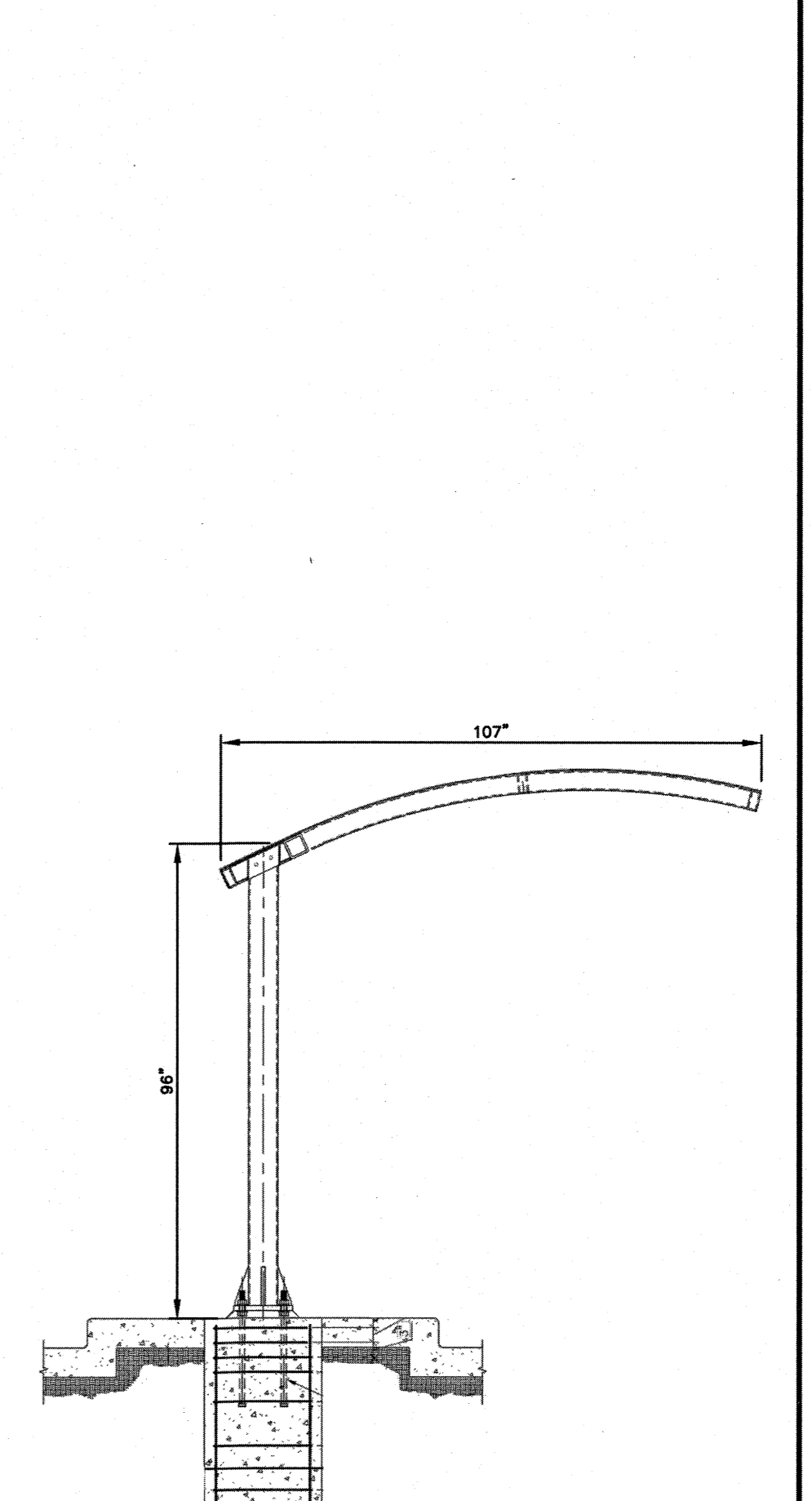
VACUUM BOOM DETAILS
 NOT TO SCALE



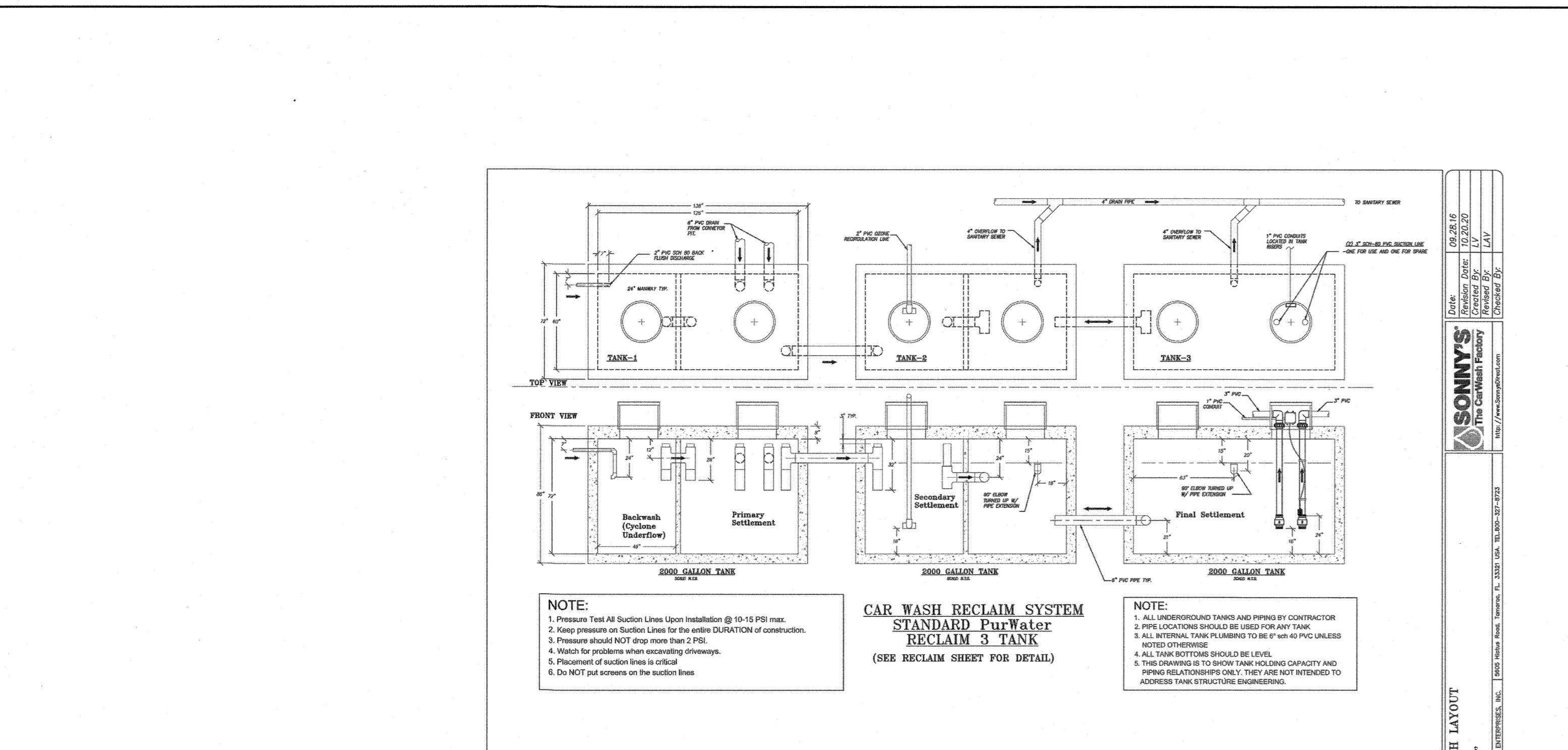
Lighting Options:

- LED modules (when applicable)
- Power supply (when applicable)
- Removable back cover to access power supply

TYPICAL CAR WASH MENU BOARD
 NOT TO SCALE

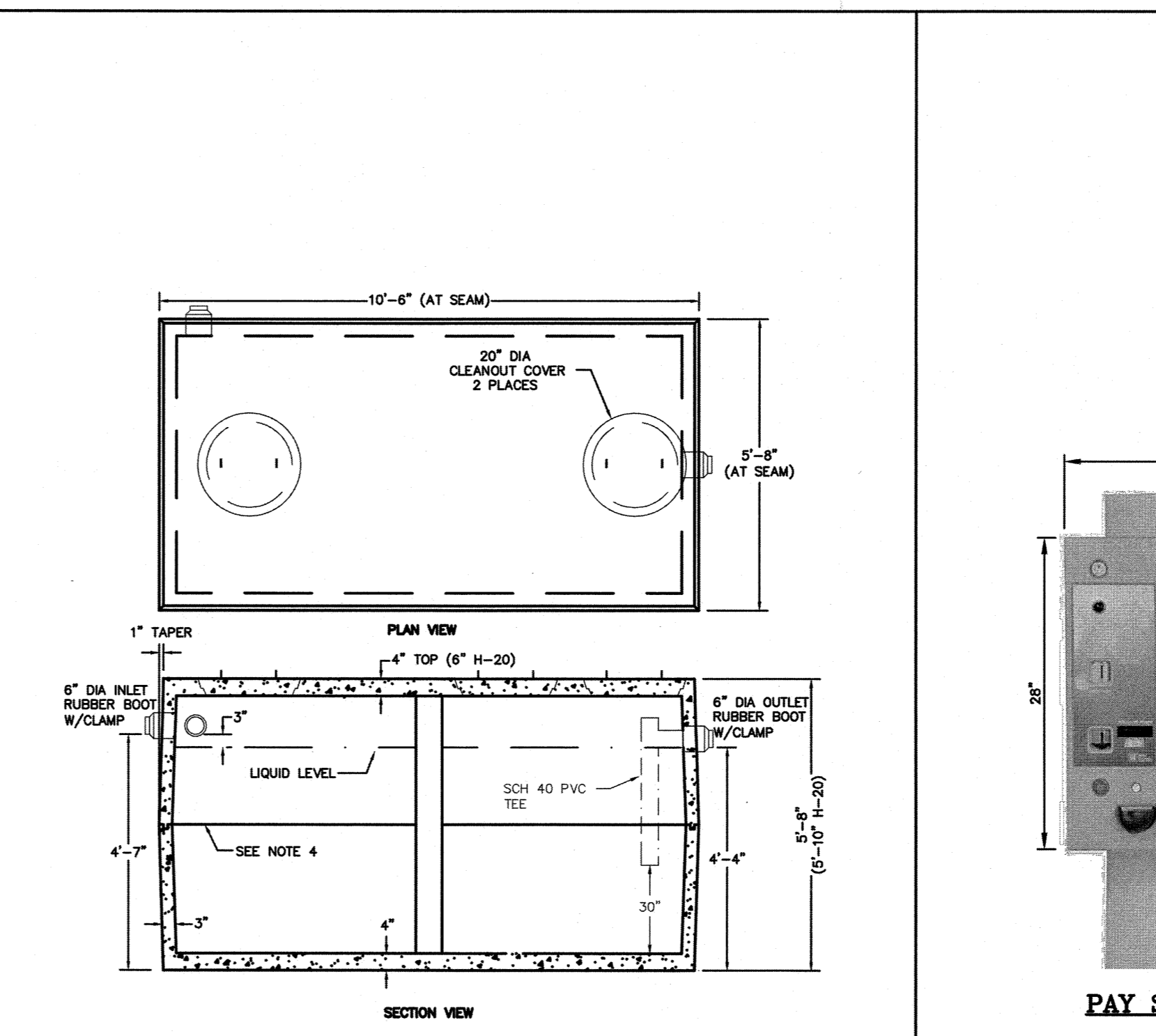


ELEVATION VIEW
TYPICAL OVERHEAD CANOPY AT PAY STATION
 NOT TO SCALE



© 2011 SONNY'S ENTERPRISES, INC. 5805 Highway Road, Tomasco, FL 33521 USA. TEL: 800-327-9723

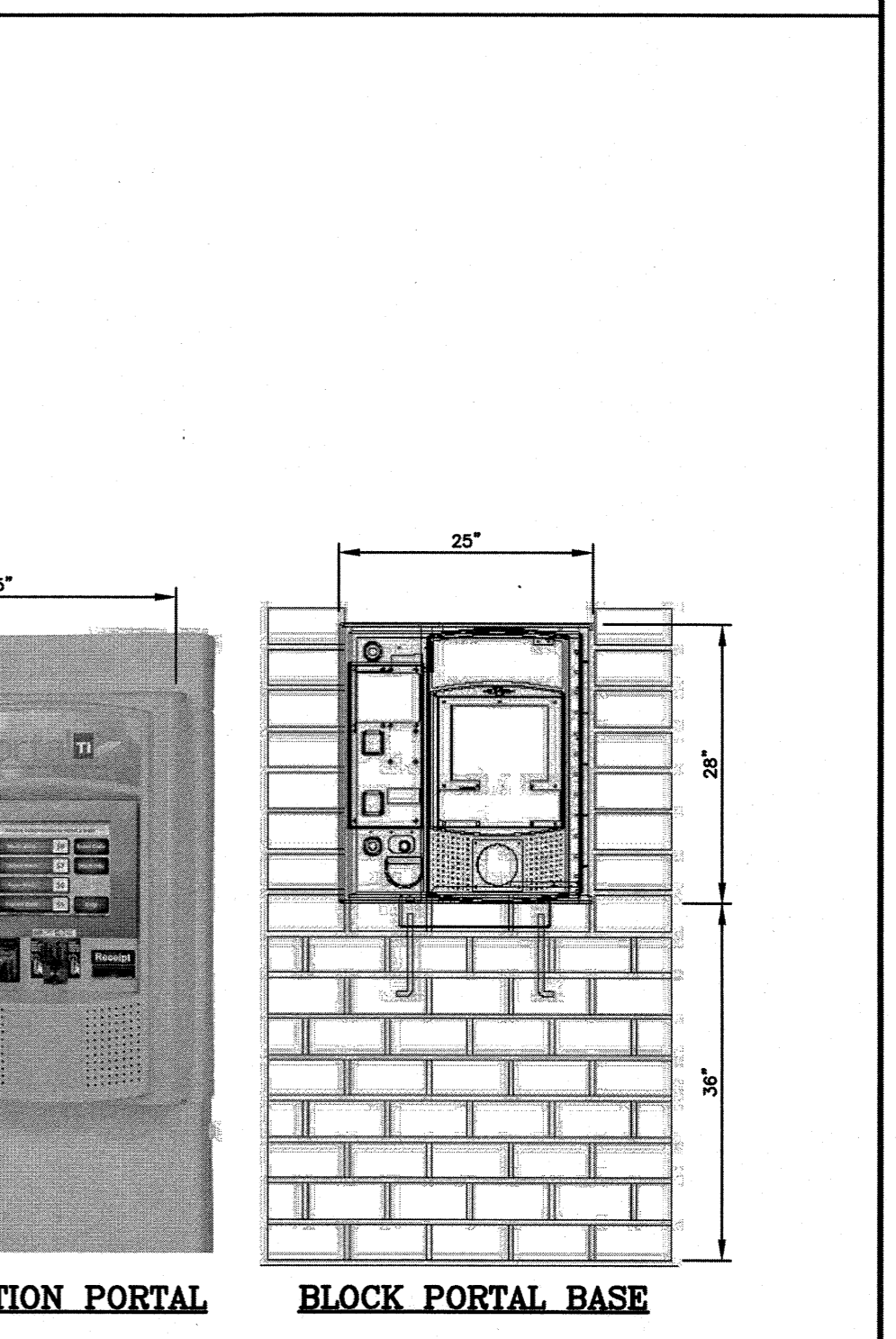
SCHMATIC CAR WASH RECLAIM TANK SYSTEM
 NOT TO SCALE



NOTES:

- CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
- CONSTRUCTION OF SEPTIC TANK CONFORMS WITH 310 CMR, SECTION 15.00 DEP TITLE 5 REGS.
- ALL REINFORCEMENT PER ASTM C1227.
- TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
- STRUCTURE SHALL MEET MSHTO HS-20 LOADING.

TYPICAL 1500 GALLON RECLAIM TANK
 NOT TO SCALE



PAY STATION PORTAL
BLOCK PORTAL BASE
TYPICAL CAR WASH PAY STATION DETAILS
 NOT TO SCALE

ALLOWABLE SIGNAGE

WALL SIGNS	WALL LENGTH	ALLOWABLE SIGN AREA	PROPOSED
COMMERCIAL (C-3)			
BASE ALLOWABLE		40 SF	
C-STORE EAST WALL	100 FT	+ 40 SF	
C-STORE NORTH WALL	55 FT	+ 15 SF	
CAR WASH EAST WALL	130 FT	+ 40 SF	
CAR WASH NORTH WALL	32 FT	+ 0 SF	
SIGN TYPE B (X 2)			32 SF (2 X 16)
SIGN TYPE C			30 SF
SIGN TYPE D			18 SF
SIGN TYPE E			44 SF
SIGN TYPE F			18 SF

135 SF ALLOWED (3 BUSINESSES) 142 SF PROPOSED*

FREESTANDING SIGN - SIGN TYPE A

COMMERCIAL USE (C-3)	ALLOWABLE	PROPOSED
HEIGHT (MAX. FT.)	25 FT	20 FT
AREA (MAX. SF.) (24' x 4X3')	36 SF	32 SF
SERVICE STATION PRICE SIGN AREA	12 SF	12 SF

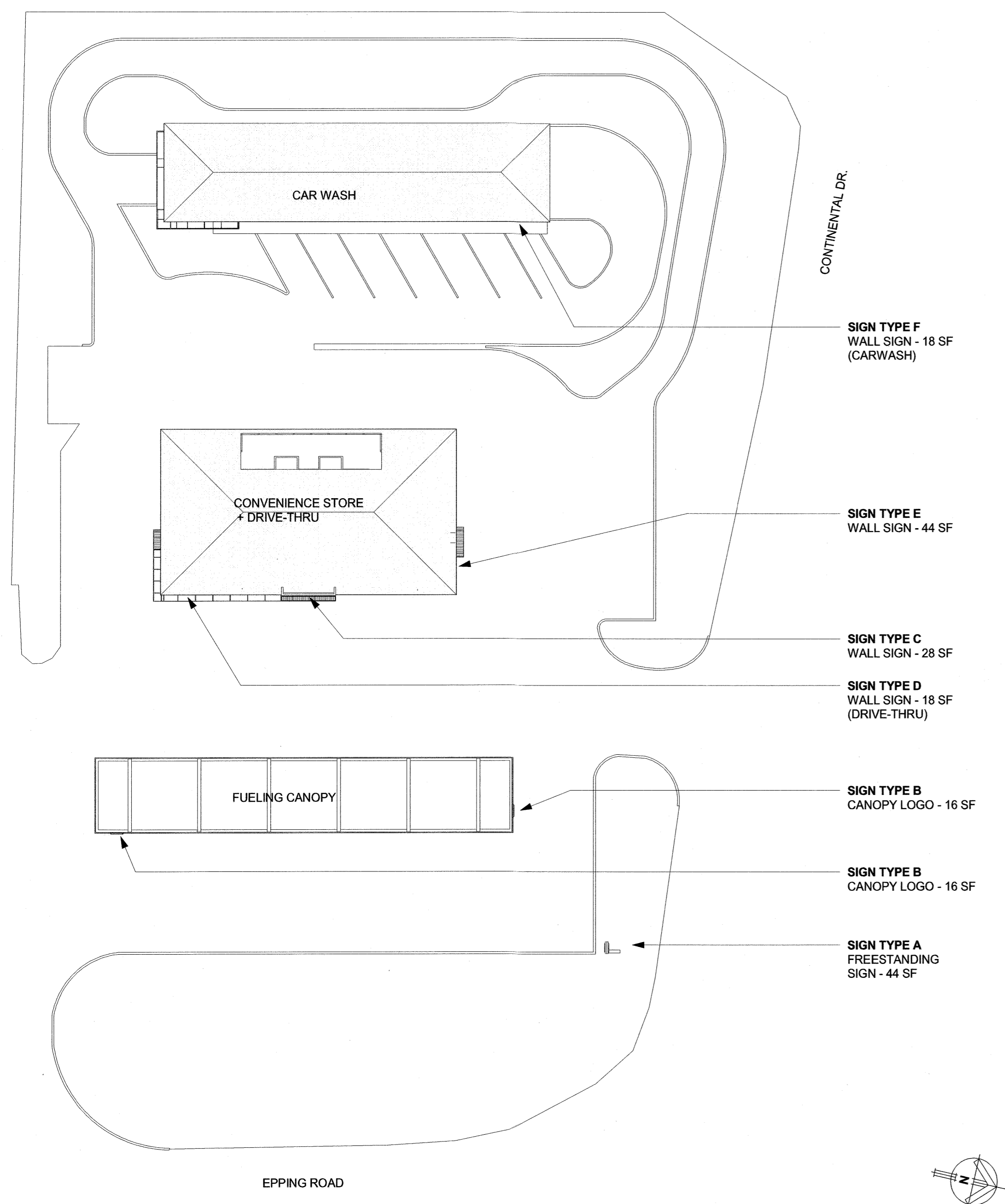
AGGREGATE AREA

COMMERCIAL USE (C-3)	ALLOWABLE	PROPOSED
WALL SIGNS		142 SF
FREESTANDING SIGN		32 SF
SERVICE STATION SIGN		12 SF
TOTAL AGGREGATE AREA (3 BUSINESSES)	135 SF	186 SF*

* VARIANCES REQUIRED FOR TOT WALL SIGN AREA AND TOTAL AGGREGATE AREA

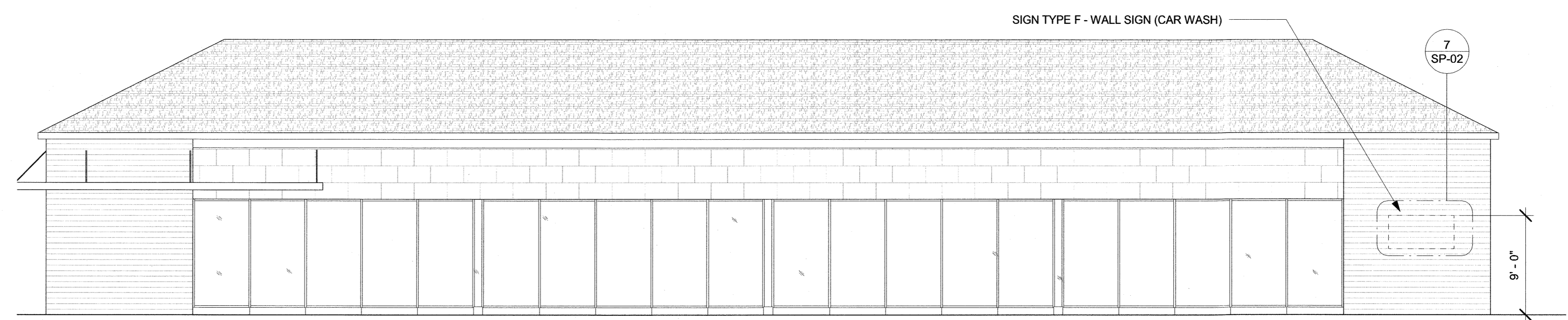
ALLOWABLE SIGNAGE MATRIX 7
 1/2" = 1'-0"

CARWASH EAST ELEVATION 6
 1/8" = 1'-0"

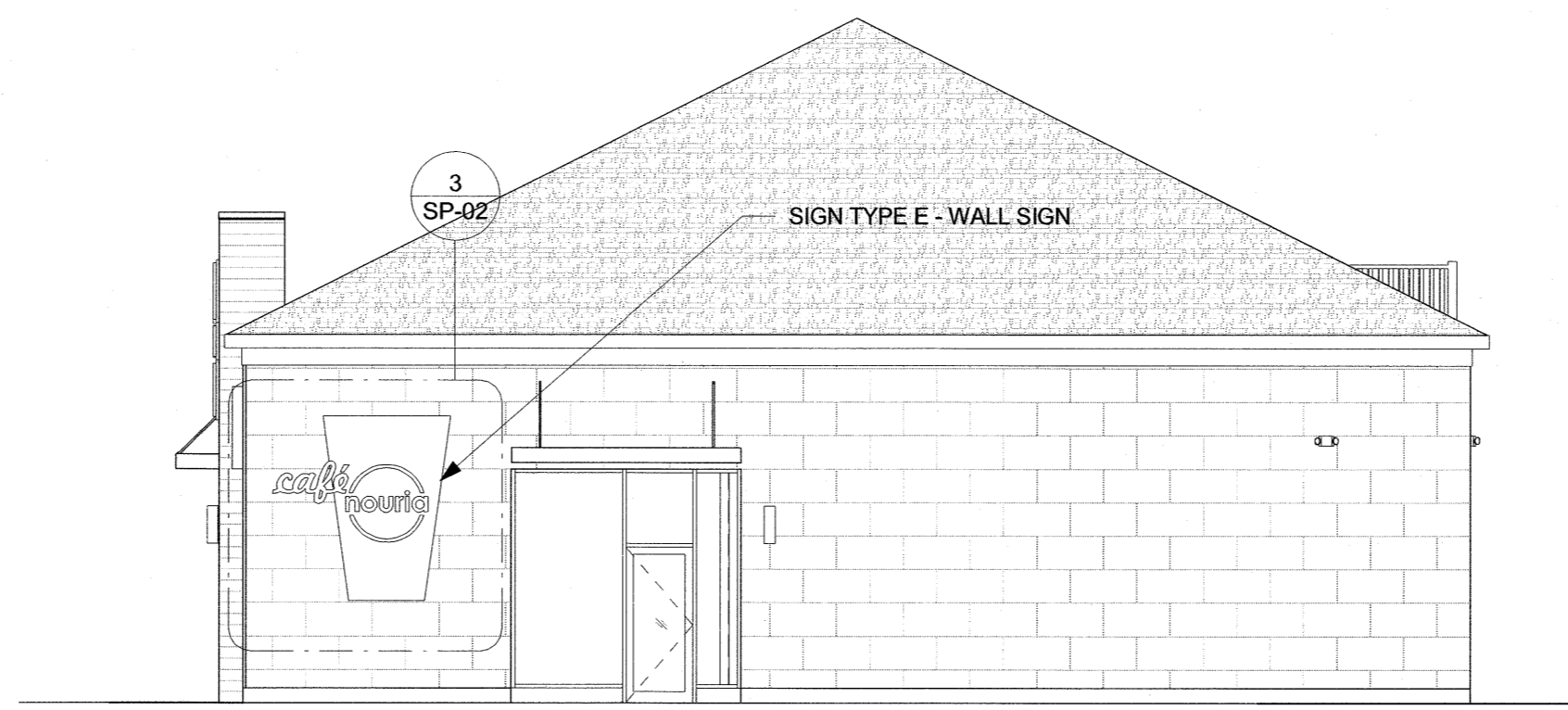


- SIGN TYPE F WALL SIGN - 18 SF (CARWASH)
- SIGN TYPE E WALL SIGN - 44 SF
- SIGN TYPE C WALL SIGN - 28 SF
- SIGN TYPE D WALL SIGN - 18 SF (DRIVE-THRU)
- SIGN TYPE B CANOPY LOGO - 16 SF
- SIGN TYPE B CANOPY LOGO - 16 SF
- SIGN TYPE A FREESTANDING SIGN - 44 SF

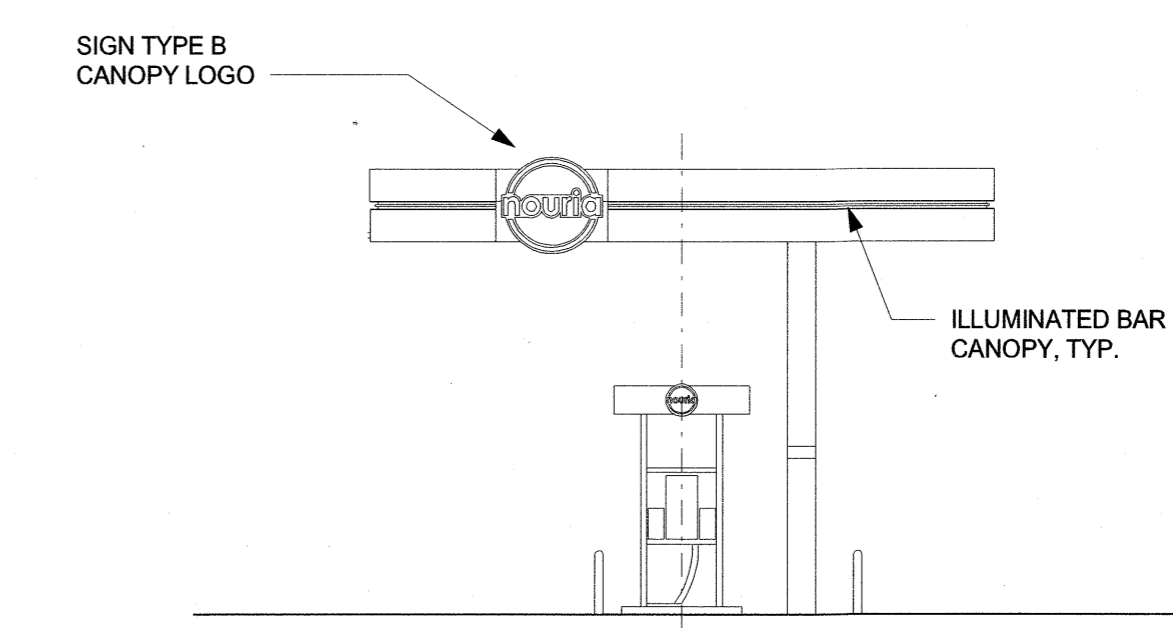
SITE SIGNAGE PLAN 1
 1/32" = 1'-0"



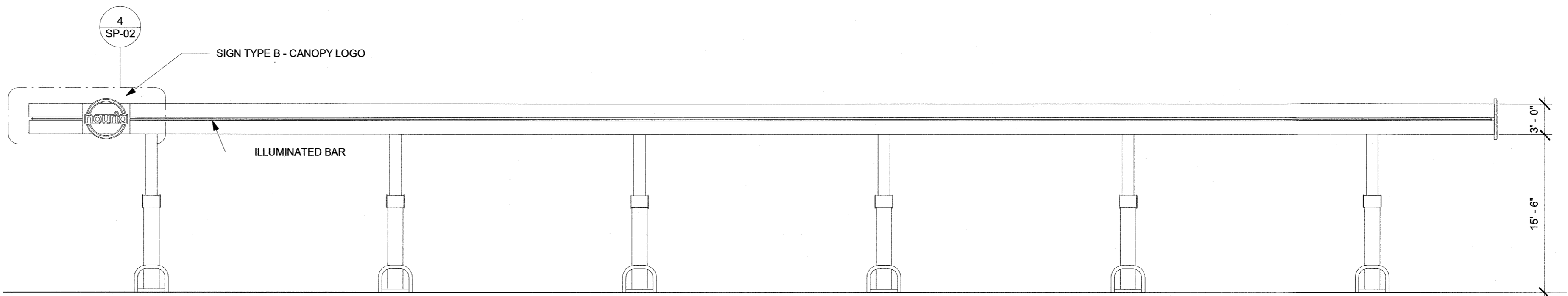
C-STORE EAST ELEVATION 5
 1/8" = 1'-0"



C-STORE NORTH ELEVATION 4
 1/8" = 1'-0"



CANOPY NORTH ELEVATION 3
 1/8" = 1'-0"



CANOPY EAST ELEVATION 2
 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

--	--

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021
 DRAWN BY: BN
 CHECKED BY: JS
 PROJECT NUMBER: 2121076
 Copyright © by Phase Zero Design Corp. All Rights Reserved.

SIGNAGE DETAILS

PROJECT:

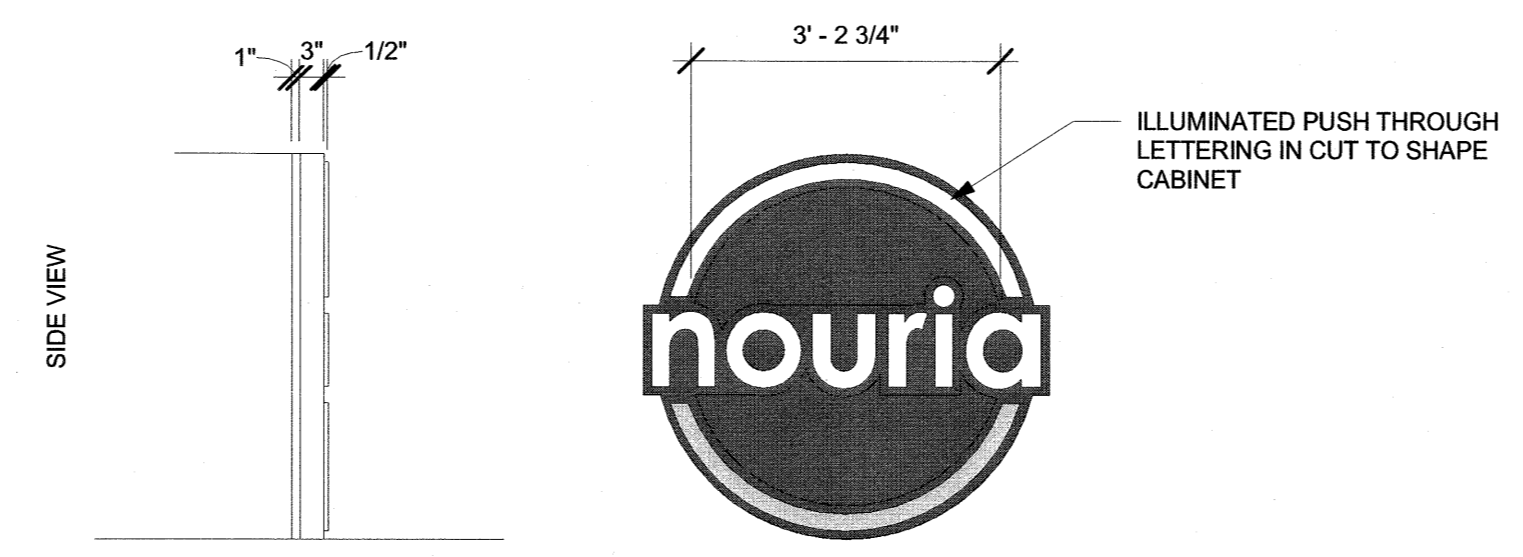
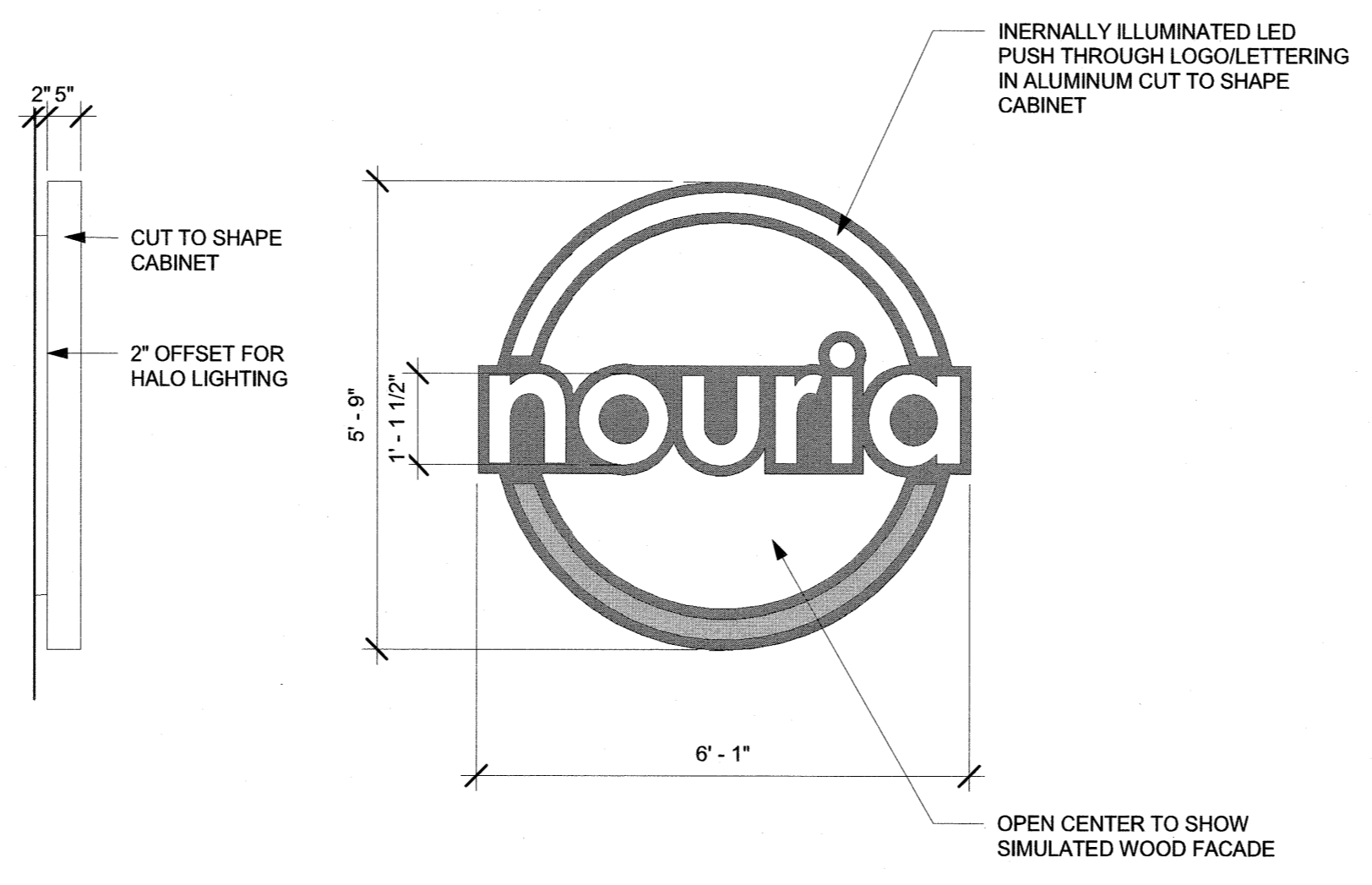
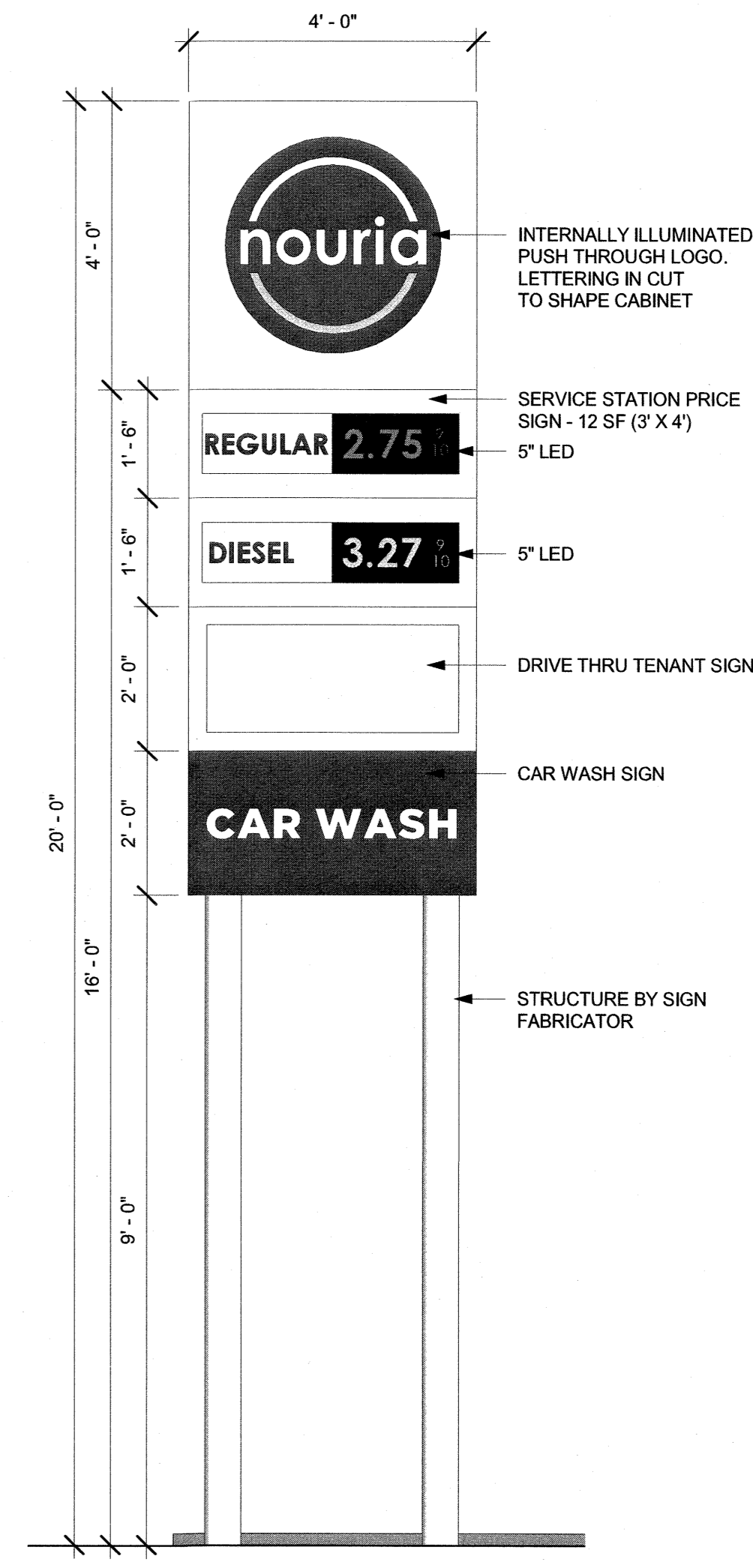
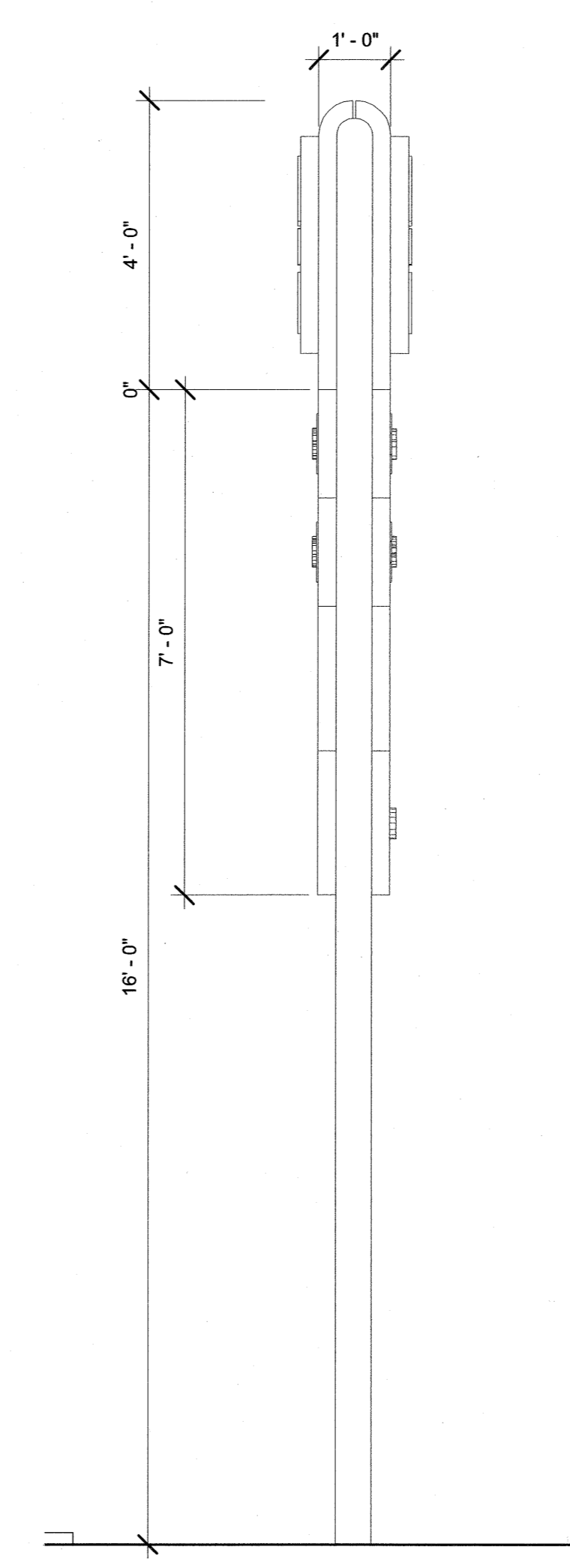
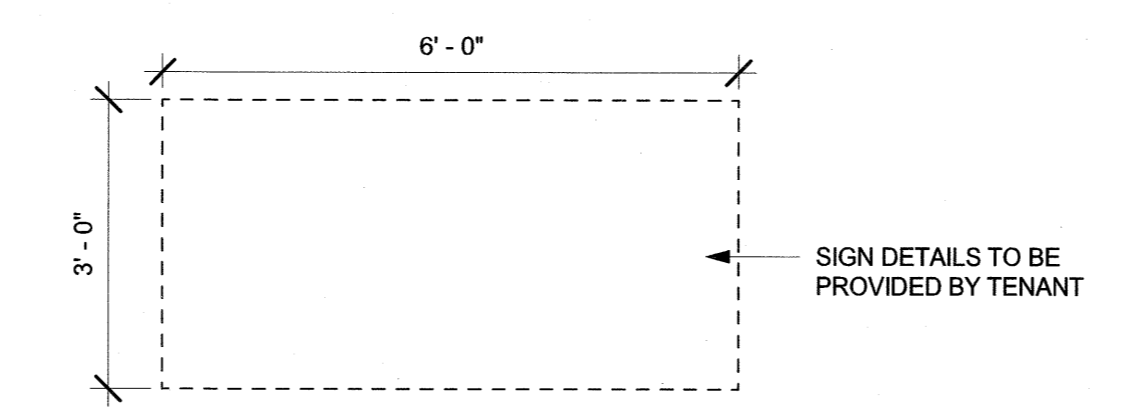
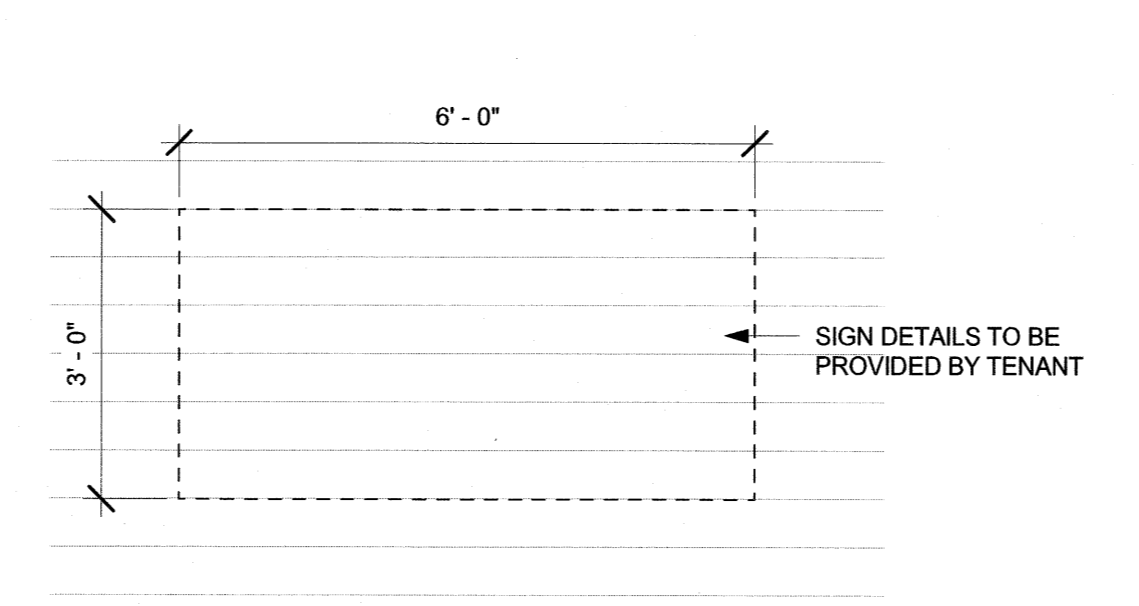
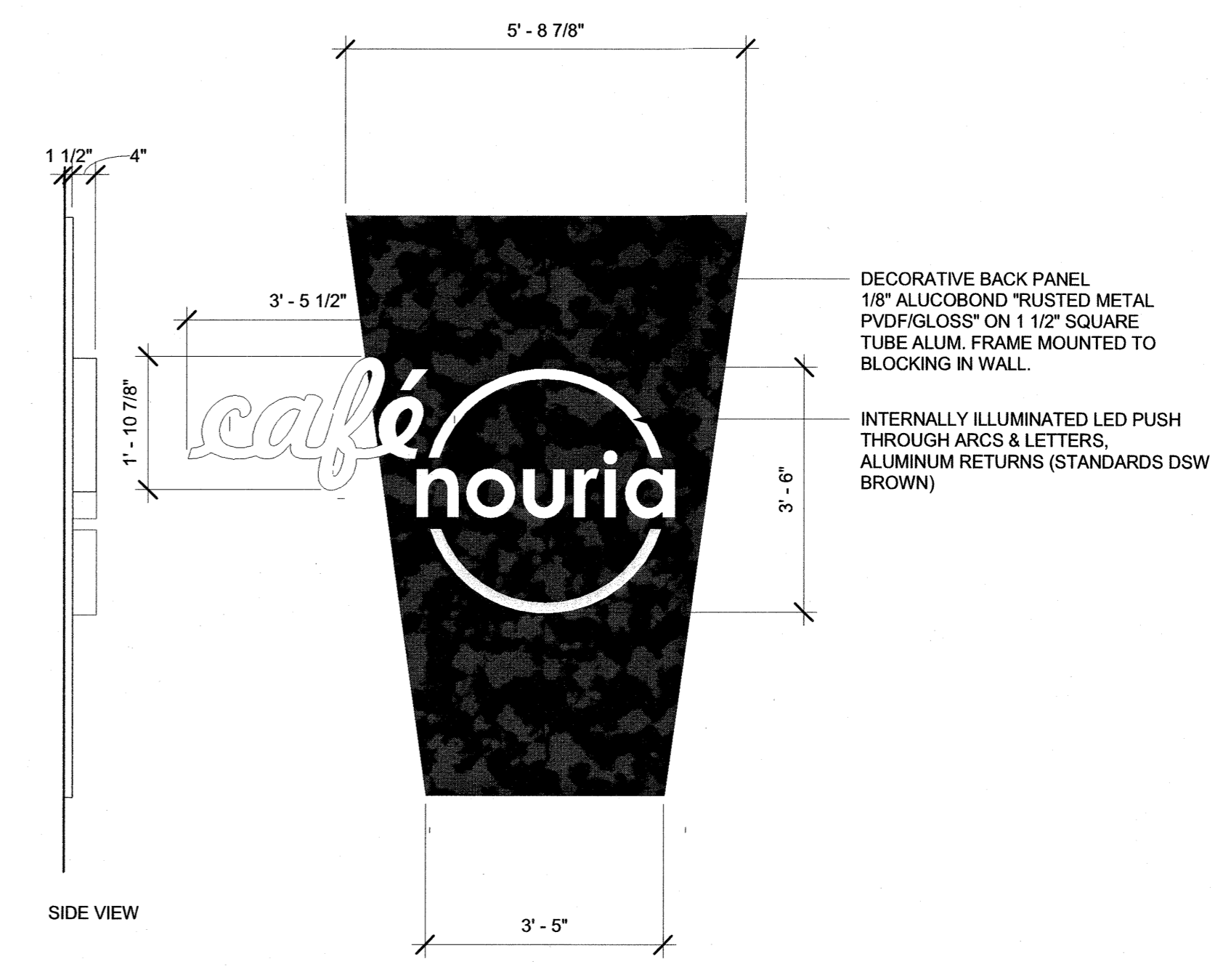
REVISIONS		
NO.	DATE	DESCRIPTION

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021

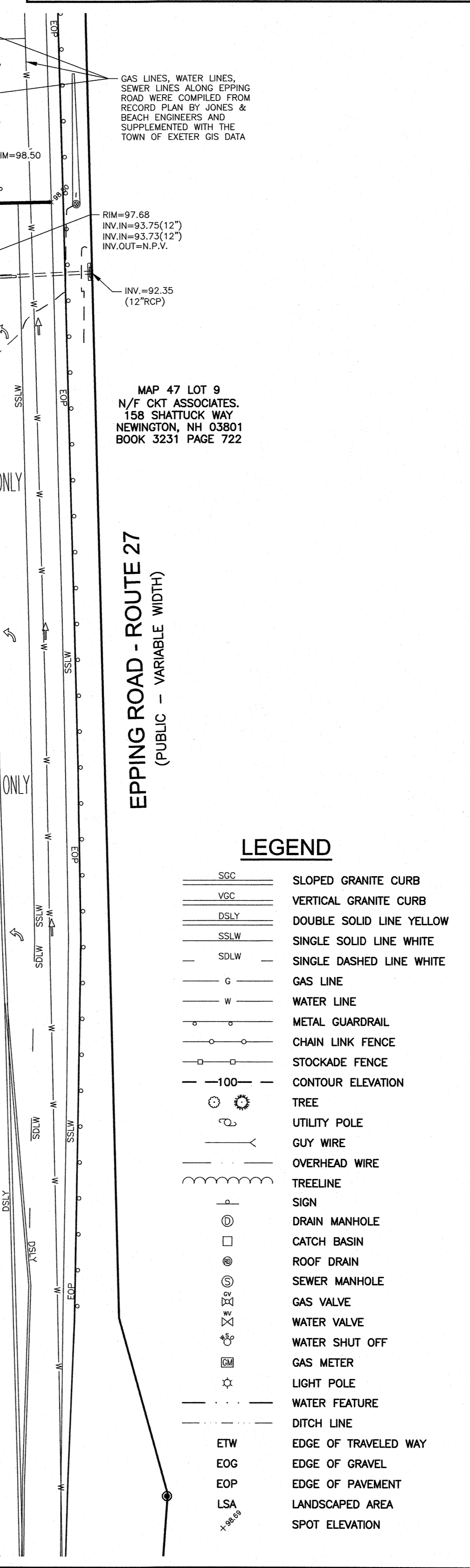
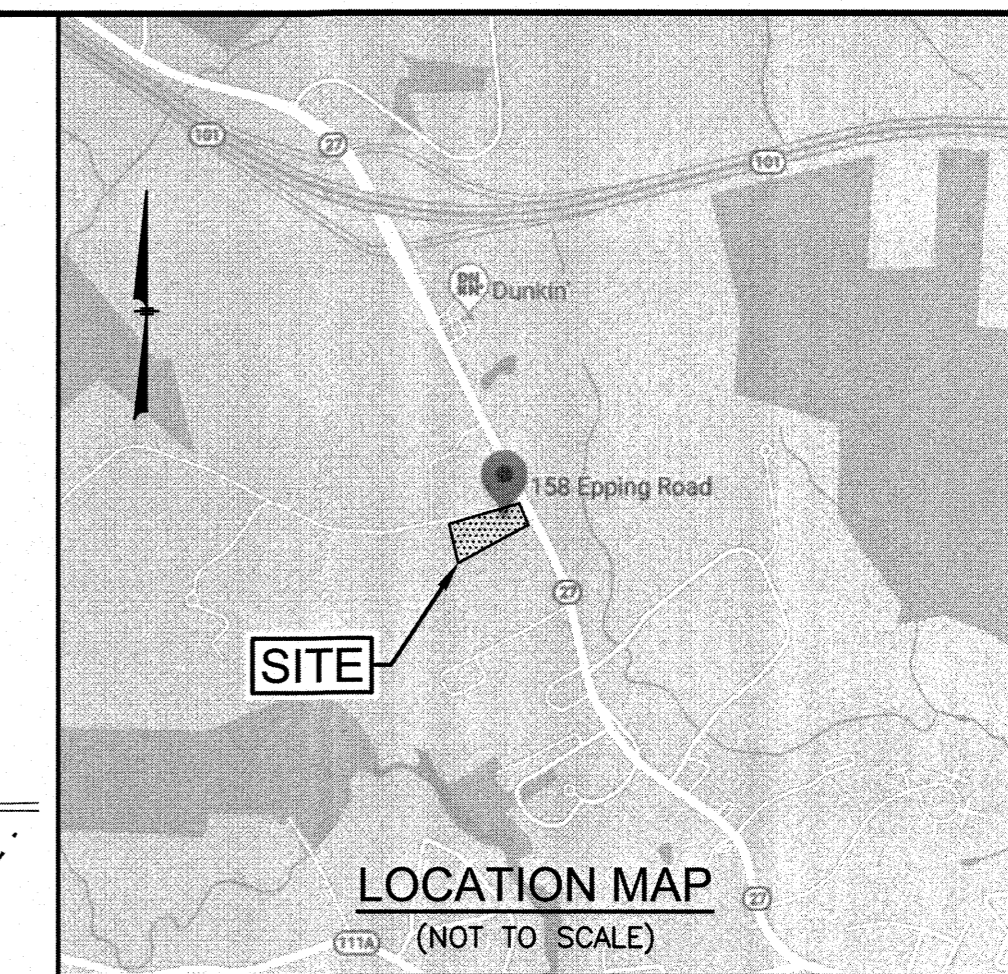
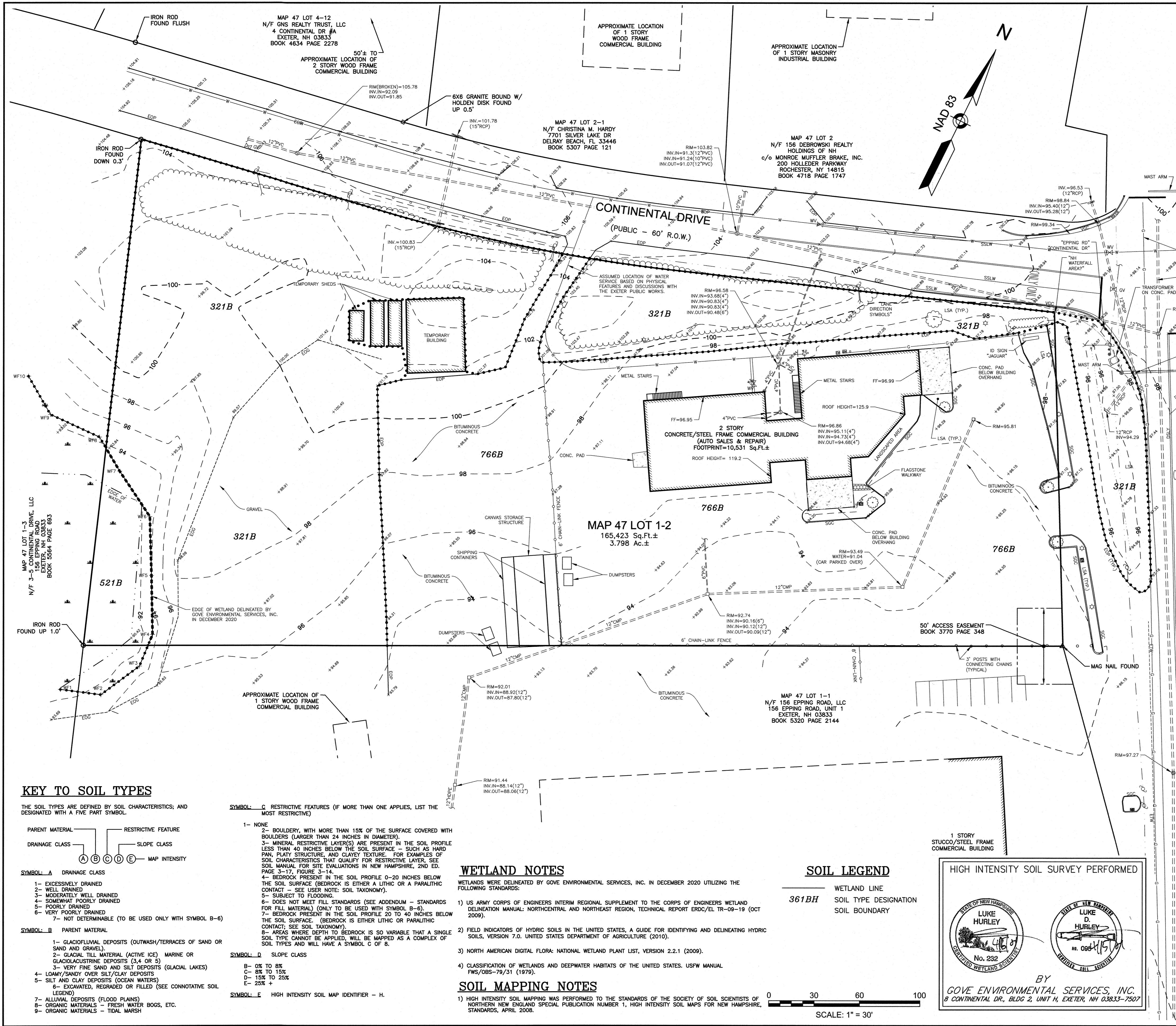
DRAWN BY: BN
 CHECKED BY: JS
 PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

SIGNAGE DETAILS

DRAWING NO.
SP-02



F:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\20283 TWS.dwg HISS 4/19/21 5:07pm sbonfanti



GPI Engineering Design Planning Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Sites Road, Suite One
Salem, NH 03079

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833

REVISIONS

NO.	REVISION	DATE

APRIL 20, 2021

DRAWN/DESIGN BY: **DPD/JAC** CHECKED BY: **JAC**

HIGH INTENSITY SOIL SURVEY PLAN

SCALE: 1"=30'

PROJECT NO: NEX-2020283

1 OF 1

KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS, AND DESIGNATED WITH A FIVE PART SYMBOL.

SYMBOL: A DRAINAGE CLASS

SYMBOL: B PARENT MATERIAL

SYMBOL: C RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

SYMBOL: D SLOPE CLASS

SYMBOL: E HIGH INTENSITY SOIL MAP IDENTIFIER - H.

1- NONE

2- BOULDERY, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).

3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE, AND CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.

4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR A PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY).

5- SUBJECT TO FLOODING.

6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).

7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).

8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

WETLAND NOTES

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN DECEMBER 2020 UTILIZING THE FOLLOWING STANDARDS:

- 1) US ARMY CORPS OF ENGINEERS INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERCO/EL TR-09-19 (OCT 2009).
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1979).

SOIL MAPPING NOTES

- 1) HIGH INTENSITY SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS, APRIL 2008.

SOIL LEGEND

361BH WETLAND LINE
SOIL TYPE DESIGNATION
SOIL BOUNDARY

SCALE: 1" = 30'

HIGH INTENSITY SOIL SURVEY PERFORMED

LUKE HURLEY
No. 232
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH 03833-7507

BY
LUKE HURLEY
No. 098
GOVE ENVIRONMENTAL SERVICES, INC.

MAP 47 LOT 9
N/F CKT ASSOCIATES.
158 SHATTUCK WAY
NEWINGTON, NH 03801
BOOK 3231 PAGE 722

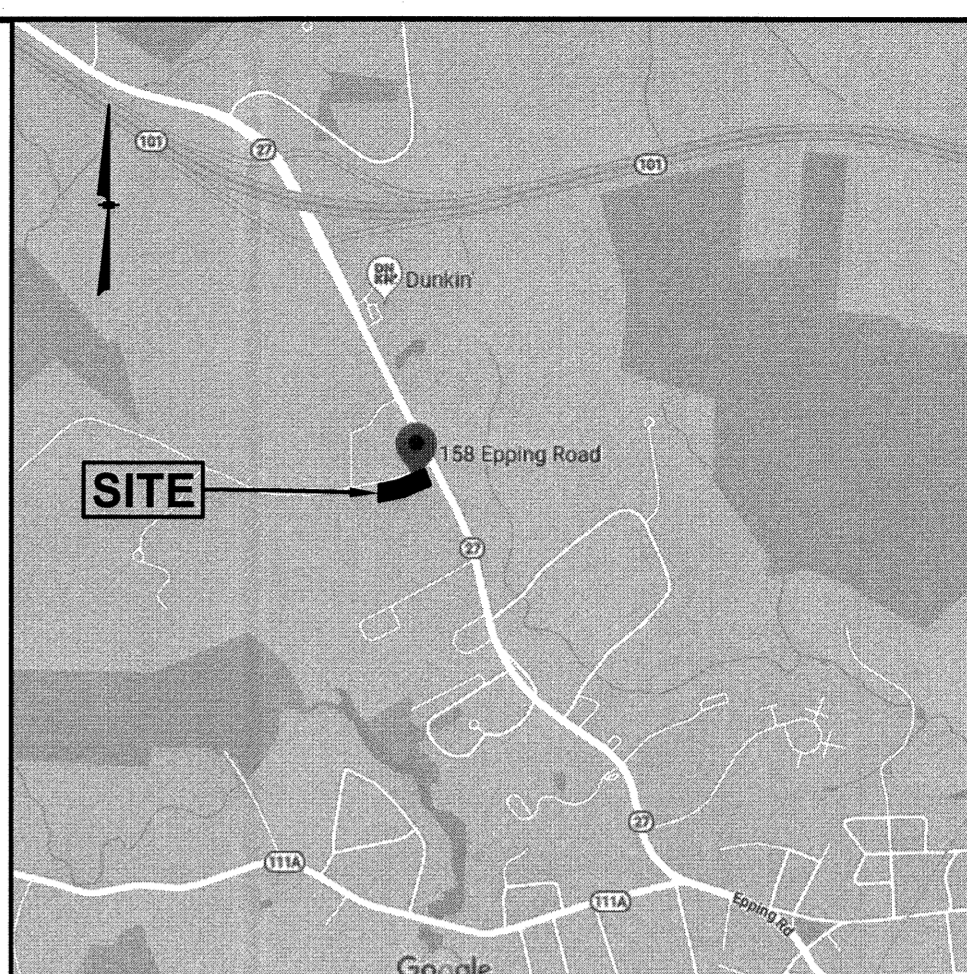
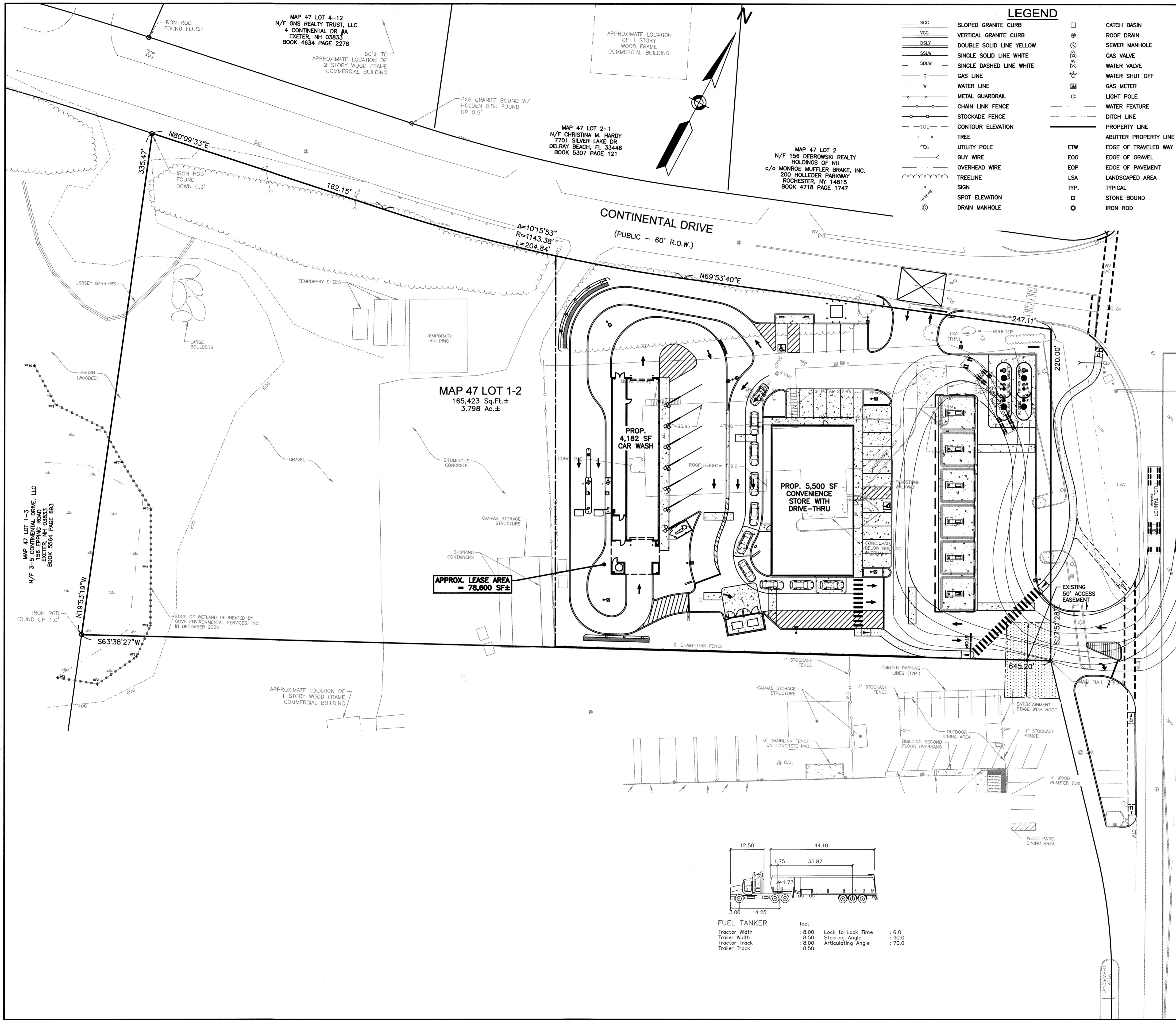
GAS LINES, WATER LINES,
SEWER LINES ALONG EPPING
ROAD WERE COMPILED FROM
RECORD PLAN BY JONES &
BEACH ENGINEERS AND
SUPPLEMENTED WITH THE
TOWN OF EXETER GIS DATA

EPPING ROAD - ROUTE 27
(PUBLIC - VARIABLE WIDTH)

LEGEND

- SSC SLOPED GRANITE CURB
- VSC VERTICAL GRANITE CURB
- DSLY DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- SDLW SINGLE DASHED LINE WHITE
- G GAS LINE
- W WATER LINE
- M METAL GUARDRAIL
- CLF CHAIN LINK FENCE
- SF STOCKADE FENCE
- 100 CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- DRAIN MANHOLE
- CATCH BASIN
- ROOF DRAIN
- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT OFF
- GAS METER
- LIGHT POLE
- WATER FEATURE
- DITCH LINE
- ETW EDGE OF TRAVELED WAY
- EOG EDGE OF GRAVEL
- EOP EDGE OF PAVEMENT
- LSA LANDSCAPED AREA
- SPOT ELEVATION

F:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\20283_SP.dwg TT 9/07/21 12:45pm sbomfanti



GPI Engineering
Design
Planning
Construction Management
603.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079
GPI.NET.COM

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS

NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	MISC. REVISIONS	7/12/21

APRIL 20, 2021

DRAWN/DESIGN BY CCC/CMT	CHECKED BY FCM
----------------------------	-------------------

TRUCK TURN PLAN (TANKER)

SCALE: 1"=30'

PROJECT NO.
NEX-2020283

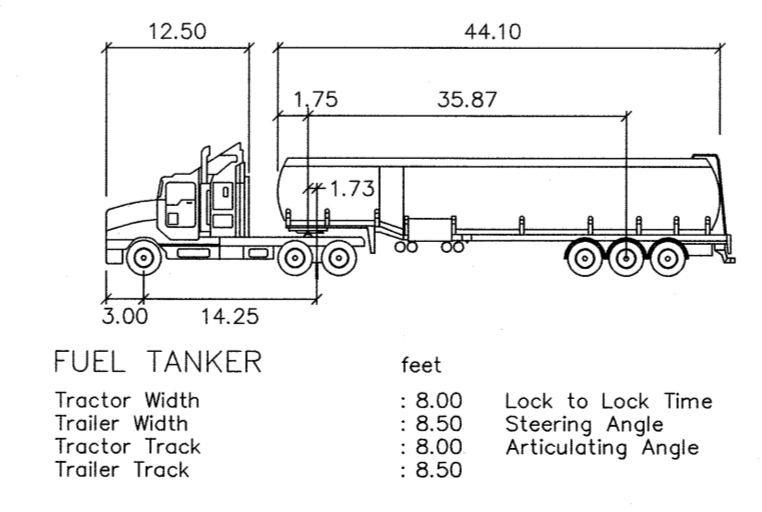
1 OF 1

MAP 47 LOT 9
N/F CKT ASSOCIATES.
158 SHATTUCK WAY
NEWINGTON, NH 03801
BOOK 3231 PAGE 722

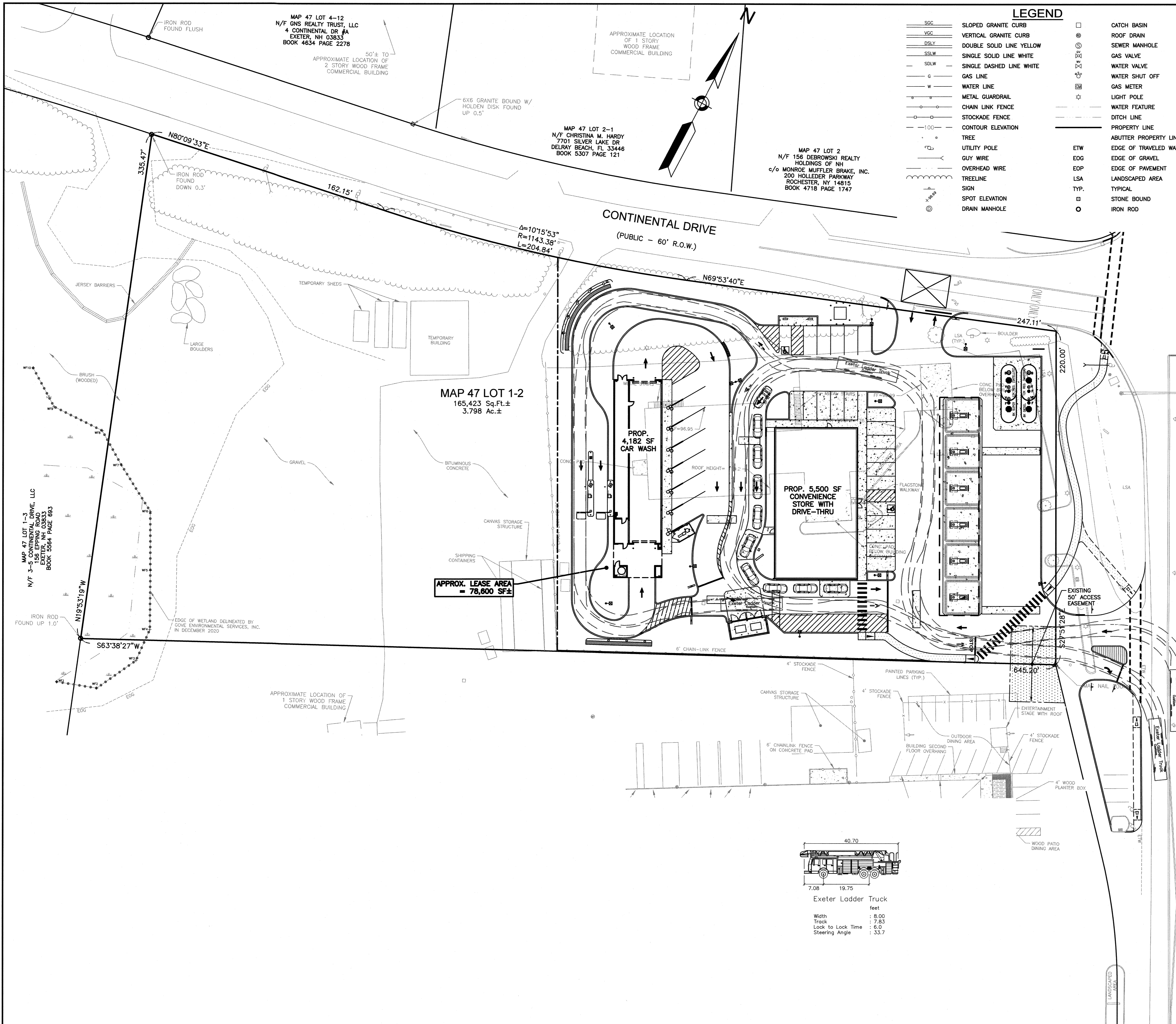
EPPING ROAD - ROUTE 27
(PUBLIC - VARIABLE WIDTH)

OWNER OF RECORD:
158 EPPING ROAD, LLC
156 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120

SCALE: 1" = 30'

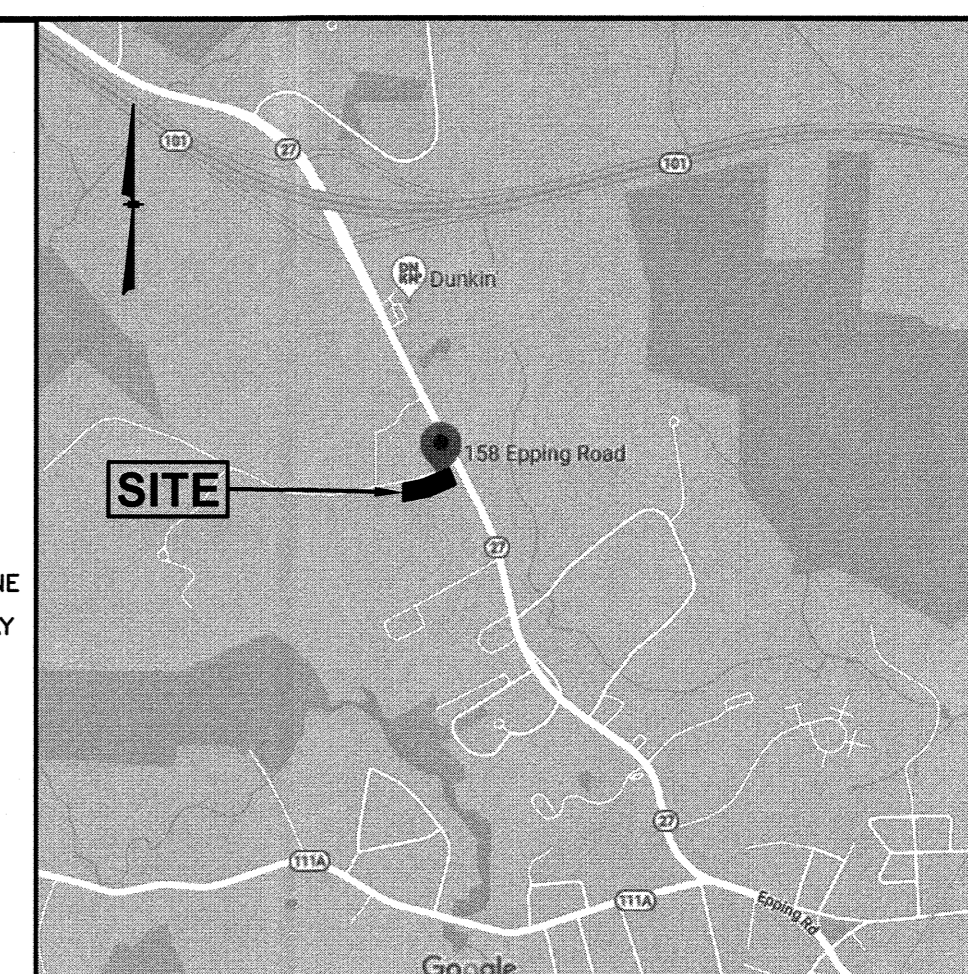


EA:\Projects\NEX-2020283 - Exeter, NH - Nouria\CAD Files\20283_SP.dwg TT (2) 9/07/21 12:44pm abonfont



LEGEND

— SGC	SLOPED GRANITE CURB	□	CATCH BASIN
— VSC	VERTICAL GRANITE CURB	⊗	ROOF DRAIN
— DSYL	DOUBLE SOLID LINE YELLOW	⊙	SEWER MANHOLE
— SSLW	SINGLE SOLID LINE WHITE	⊕	GAS VALVE
— SDLW	SINGLE DASHED LINE WHITE	⊖	WATER VALVE
— G	GAS LINE	⊗	WATER SHUT OFF
— W	WATER LINE	⊕	GAS METER
—	METAL GUARDRAIL	☆	LIGHT POLE
—	CHAIN LINK FENCE	—	WATER FEATURE
—	STOCKADE FENCE	- - -	DITCH LINE
- - -	CONTOUR ELEVATION	- - -	PROPERTY LINE
—	TREE	- - -	ABUTTER PROPERTY LINE
—	UTILITY POLE	ETW	EDGE OF TRAVELED WAY
—	GUY WIRE	EOG	EDGE OF GRAVEL
—	OVERHEAD WIRE	EOP	EDGE OF PAVEMENT
—	TREELINE	LSA	LANDSCAPED AREA
—	SIGN	TYP.	TYPICAL
—	SPOT ELEVATION	□	STONE BOUND
—	DRAIN MANHOLE	○	IRON ROD

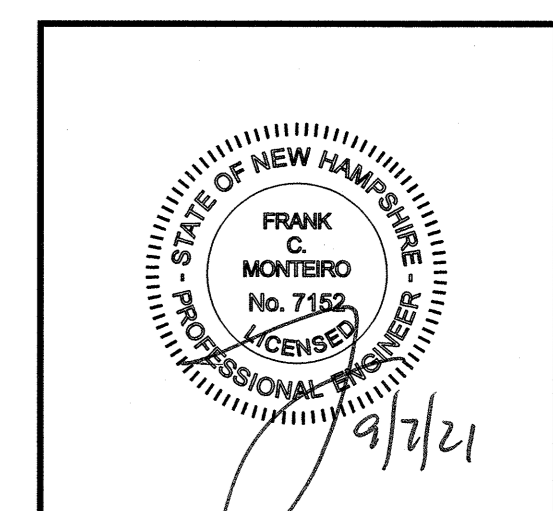


LOCATION MAP
(NOT TO SCALE)

GPI Engineering
Design
Planning
Construction Management
303.835.0720
GPI.NET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

PROPOSED RETAIL MOTOR FUEL OUTLET
158 EPPING ROAD (ROUTE 27)
EXETER, NH 03833



REVISIONS

NO.	REVISION	DATE
2	MISC. REVISIONS	9/3/21
1	REVISION FIRE TRUCK	7/28/21

JULY 12, 2021

DRAWN/DESIGN BY CCC/CMT	CHECKED BY FCM
----------------------------	-------------------

TRUCK TURN PLAN (FIRE)

SCALE: 1"=30'

PROJECT NO. NEX-2020283

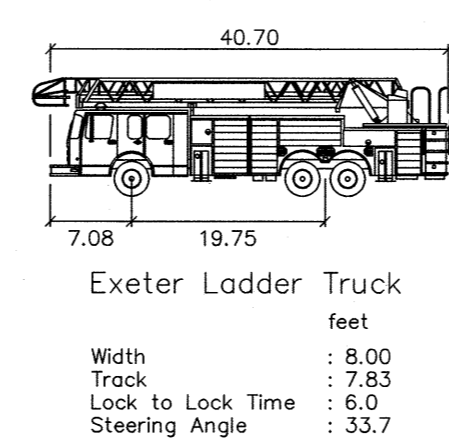
1 OF 1

MAP 47 LOT 9
N/F CKT ASSOCIATES,
158 SHATTUCK WAY
NEWINGTON, NH 03801
BOOK 3231 PAGE 722

EPPING ROAD - ROUTE 27
(PUBLIC - VARIABLE WIDTH)

OWNER OF RECORD:
158 EPPING ROAD, LLC
156 EPPING ROAD
EXETER, NH 03833
BOOK 5631 PAGE 120

SCALE: 1" = 30'



MAP 47 LOT 1-2
165,423 Sq.Ft.±
3.798 Ac.±

APPROX. LEASE AREA
= 78,600 SF±

MAP 47 LOT 2-1
N/F CHRISTINA M. HARDY
7701 SILVER LAKE DR
DELRAY BEACH, FL 33446
BOOK 5307 PAGE 121

MAP 47 LOT 2
N/F 158 DEBROWSKI REALTY
HOLDINGS OF NH
c/o MONROE MUFFLER BRAKE, INC.
200 HOLLEDER PARKWAY
ROCHESTER, NY 14815
BOOK 4718 PAGE 1747

MAP 47 LOT 4-12
N/F GNS REALTY TRUST, LLC
4 CONTINENTAL DR #A
EXETER, NH 03833
BOOK 4634 PAGE 2278

CONTINENTAL DRIVE
(PUBLIC - 60' R.O.W.)

N80°09'33"E
338.47'

162.15'

Δ=101°5'53"
R=1143.38'
L=204.64'

N69°53'40"E

247.11'

220.00'

645.20'

S63°38'27"W
563.38'27"W

MAP 47 LOT 1-3
N/F 158 DEBROWSKI REALTY TRUST, LLC
158 EPPING ROAD
EXETER, NH 03833
BOOK 5564 PAGE 693

EDGE OF WETLAND DELINEATED BY
SOVE ENVIRONMENTAL SERVICES, INC.
IN DECEMBER 2020

APPROXIMATE LOCATION OF
1 STORY WOOD FRAME
COMMERCIAL BUILDING

APPROXIMATE LOCATION
OF 1 STORY
WOOD FRAME
COMMERCIAL BUILDING

6X6 GRANITE BOUND W/
HOLDEN DISK FOUND
UP 0.5'

IRON ROD
FOUND
DOWN 0.3'

IRON ROD
FOUND
DOWN 0.3'

IRON ROD
FOUND UP 1.0'

JERSEY BARRIERS

TEMPORARY SHEDS

TEMPORARY BUILDING

BITUMINOUS CONCRETE

CANVAS STORAGE STRUCTURE

SHIPPING CONTAINERS

6" CHAIN-LINK FENCE

4" STOCKADE FENCE

PAINTED PARKING LINES (TYP.)

CANVAS STORAGE STRUCTURE

4" STOCKADE FENCE

ENTERTAINMENT STAGE WITH ROOF

6" CHAINLINK FENCE ON CONCRETE PAD

OUTDOOR DINING AREA

BUILDING SECOND FLOOR OVERHANG

4" STOCKADE FENCE

4" WOOD PLANTER BOX

WOOD PATIO DINING AREA

LANDSCAPED AREA

MAP 47 LQT 1-2.
165,423 Sq.Ft.±
3.798 Ac.±

CONTINENTAL DRIVE

EPHING ROAD - ROUTE 27

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3	17
2	A3	17
3	A3	17
4	A3	17
5	A3	17
6	A3	17
7	A3	17
8	A3	17
9	A32	17
10	A4	17
11	C	15
12	C	15
13	C	15
14	C	15
15	C	15
16	C	15
17	C	15
18	C	15
19	C	15
20	C	15
21	C	15
22	C	15
23	C	15
24	C	15
25	C	15
26	C	15
27	C	15
28	C	15
29	C	15
30	C	15
31	C	15
32	C	15
33	C	15
34	C	15
35	W	12
36	W	12
37	W	12
38	W	12
39	W	12
40	W	12
41	W	12
42	W	12
43	W	12
44	W	12
45	W	12
46	W	12
47	W	12
48	W	12
49	W	12

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

NOTE:
- ALL AREA LIGHTS ON NEW 15 FT. POLE MOUNTED ON 2 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.28	21.6	0.8	5.35	27.00
UNDEFINED	0.36	9.5	0.0	N.A.	N.A.
UNDER CANOPY	50.86	67	29	1.75	2.31

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	8	A3	SINGLE	11175	1.030	B2-U0-G2	72	576	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	1	A32	BACK-BACK	11175	1.030	B2-U0-G2	72	144	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	1	A4	SINGLE	11174	1.030	B2-U0-G2	72	72	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	24	C	SINGLE	13251	1.030	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
	15	W	SINGLE	4270	1.030	B1-U0-G1	31	465	Cree Inc	XSPW-B-WM-3ME-4L-57K-UL-XX

REDLEONARD ASSOCIATES
1340 Kemper Meadow Dr, Forest Park, OH 45240
513-574-9500 | redleonard.com

DISCLAIMER
ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PHOTOMETRIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC. ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDINGS, SURROUNDING AREA FOR PROJECTS (SUCH AS SIGNING POSTS), ANCHOR BOLTS, BASES, ARCHITECTURAL AND STORAGE STRUCTURES, LANDSCAPING PLANS, LIGHTING PLANS, FIXTURE SELECTIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSONS IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

SCALE: 1" = 30'
DWS SIZE: D
DATE: 4/9/21

PROJECT NAME:
NOURIA ENERGY EXTER, NH
DRAWING NUMBER:
RL-7312-S1



CONVENIENCE & FILLING STATION
 158 EPPING ROAD - ROUTE 27
 EXETER, NH 03833

REVISIONS

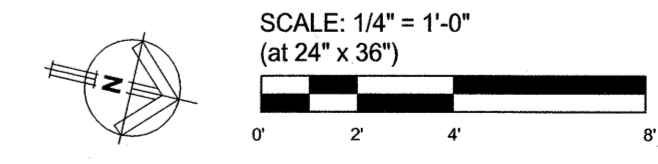
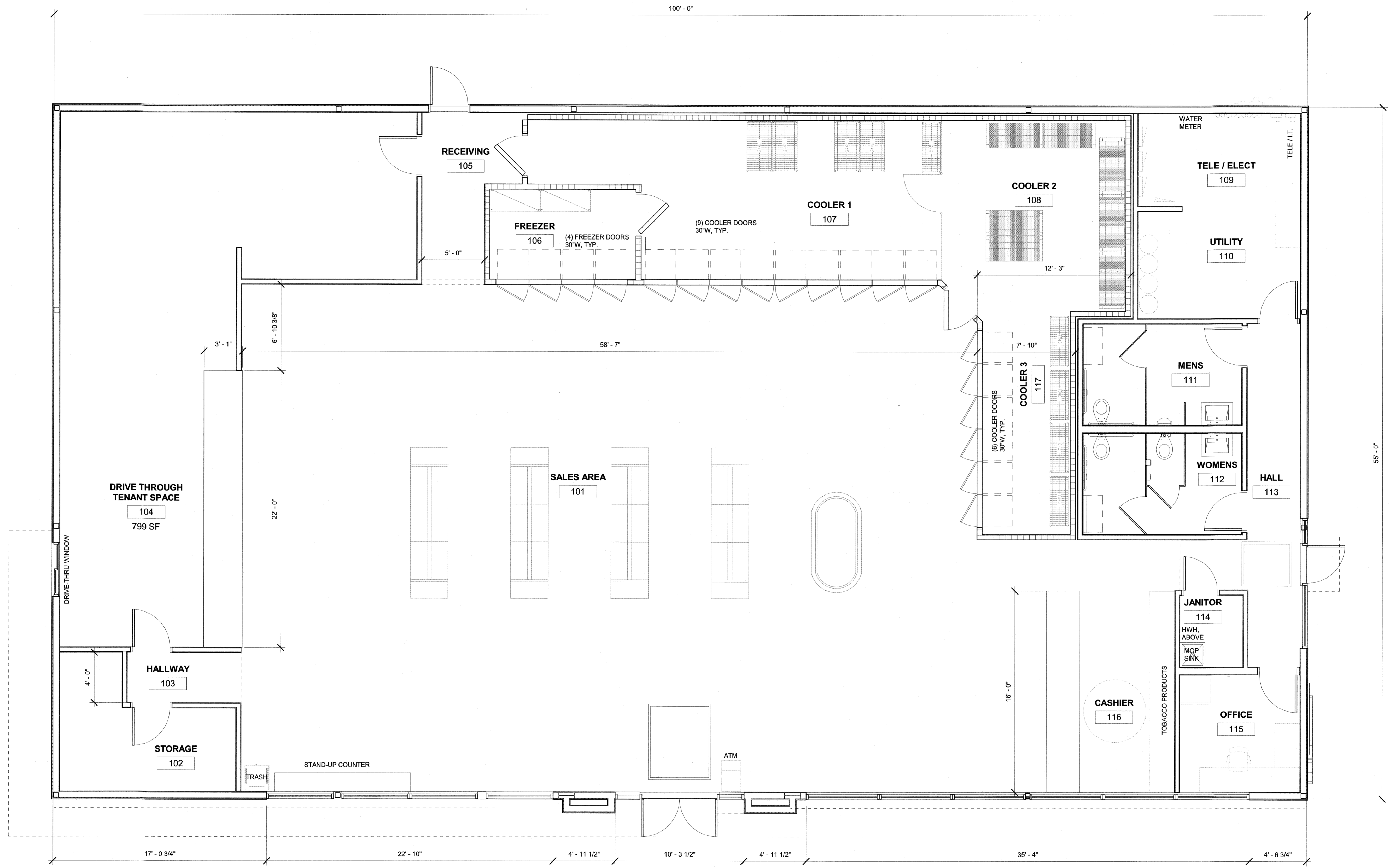
NO.	DATE	DESCRIPTION

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021

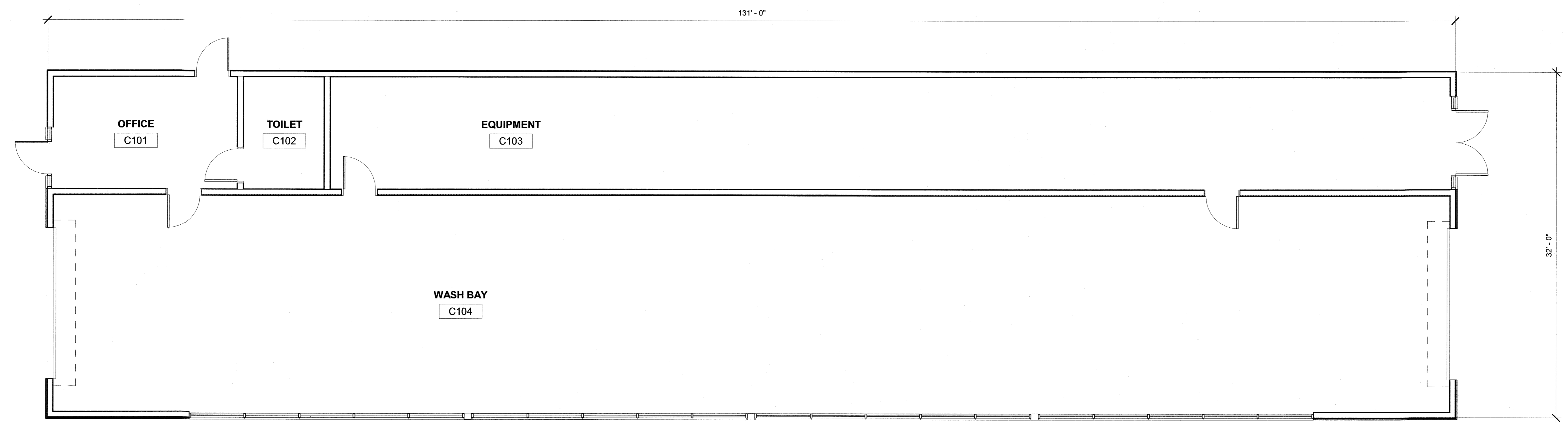
DRAWN BY: JS
 CHECKED BY: JK
 PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

C-STORE GROUND FLOOR PLAN

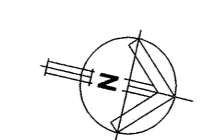
DRAWING NO.
A-101



Plot Date: 5/3/2021 4:37:30 PM Dwg Filename: C:\Users\j_selle\Documents\Nouria Exeter_CENTRAL2020_jelleU465J.rvt

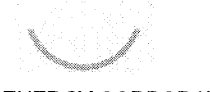


CAR WASH FLOOR PLAN
 3/16" = 1'-0" **1**



SCALE: 3/16" = 1'-0"
 (at 24" x 36")

ARCHITECT:
PHASE ZERO DESIGN
 architects | interior designers
 35 POND PARK ROAD, BAY 16
 HINGHAM, MASSACHUSETTS 02043
 PHONE: (781) 452-7121
 FAX: (781) 875-3039
 www.phasezerodesign.com

CLIENT:

 NOURIA ENERGY CORPORATION
 325 CLARK STREET
 WORCESTER, MA 01606

CONSULTANT:

PROJECT:
CONVENIENCE & FILLING STATION
 158 EPPING ROAD - ROUTE 27
 EXETER, NH 03833

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021
 DRAWN BY: JS
 CHECKED BY: JK
 PROJECT NUMBER: 2121076
Copyright © 2021 by Phase Zero Design, Inc. All Rights Reserved.

DRAWING NAME:
CAR WASH FLOORPLAN

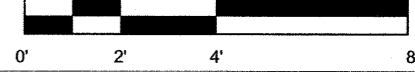
DRAWING NO.
A-102

CONVENIENCE & FILLING STATION
 158 EPPING ROAD - ROUTE 27
 EXETER, NH 03833

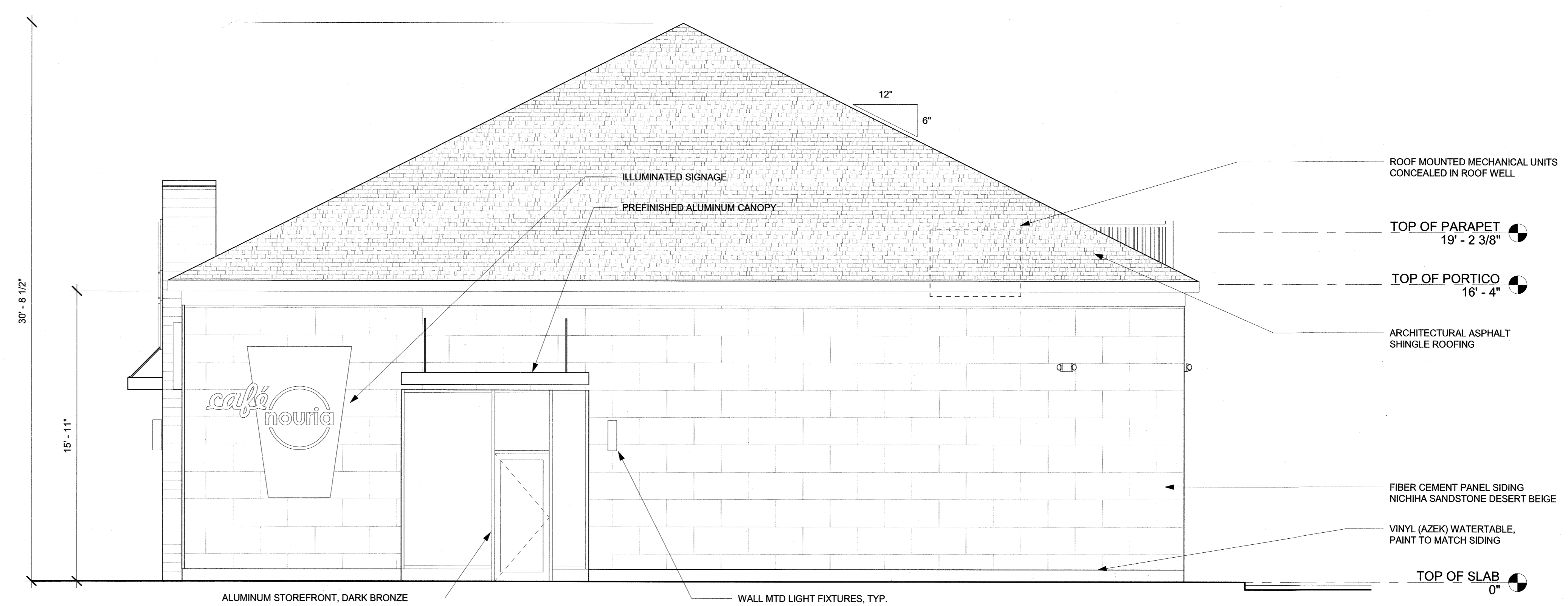


ARCHITECTURAL ASPHALT SHINGLE ROOF
 ALUMINUM FASCIA, COLOR MATCHED TO ROOFING
 TRIM TO MATCH NICHHA SANDSTONE DESERT BEIGE
 T.O. STOREFRONT 10' - 6"
 ALUMINUM LOUVER
 FIBER CEMENT PANEL SIDING NICHHA SANDSTONE DESERT BEIGE
 ALUMINUM STOREFRONT GLAZING SYSTEM, DARK BRONZE ANODIZED
 VINYL (AZEK) WATERTABLE, PAINT TO MATCH SIDING
 TOP OF SLAB 0"

ILLUMINATED SIGNAGE
 ALUMINUM PANELS, MATCH STOREFRONT
 FIBER CEMENT PANEL SIDING, NICHHA ROUGHSAWN TOBACCO


EAST ELEVATION
 1/4" = 1'-0"

2



ROOF MOUNTED MECHANICAL UNITS CONCEALED IN ROOF WELL
 TOP OF PARAPET 19' - 2 3/8"
 TOP OF PORTICO 16' - 4"
 ARCHITECTURAL ASPHALT SHINGLE ROOFING
 FIBER CEMENT PANEL SIDING NICHHA SANDSTONE DESERT BEIGE
 VINYL (AZEK) WATERTABLE, PAINT TO MATCH SIDING
 TOP OF SLAB 0"

30' - 8 1/2"
 15' - 11"

ILLUMINATED SIGNAGE
 PREFINISHED ALUMINUM CANOPY
 ALUMINUM STOREFRONT, DARK BRONZE
 WALL MTD LIGHT FIXTURES, TYP.

NORTH ELEVATION
 1/4" = 1'-0"

1

REVISIONS		
NO.	DATE	DESCRIPTION

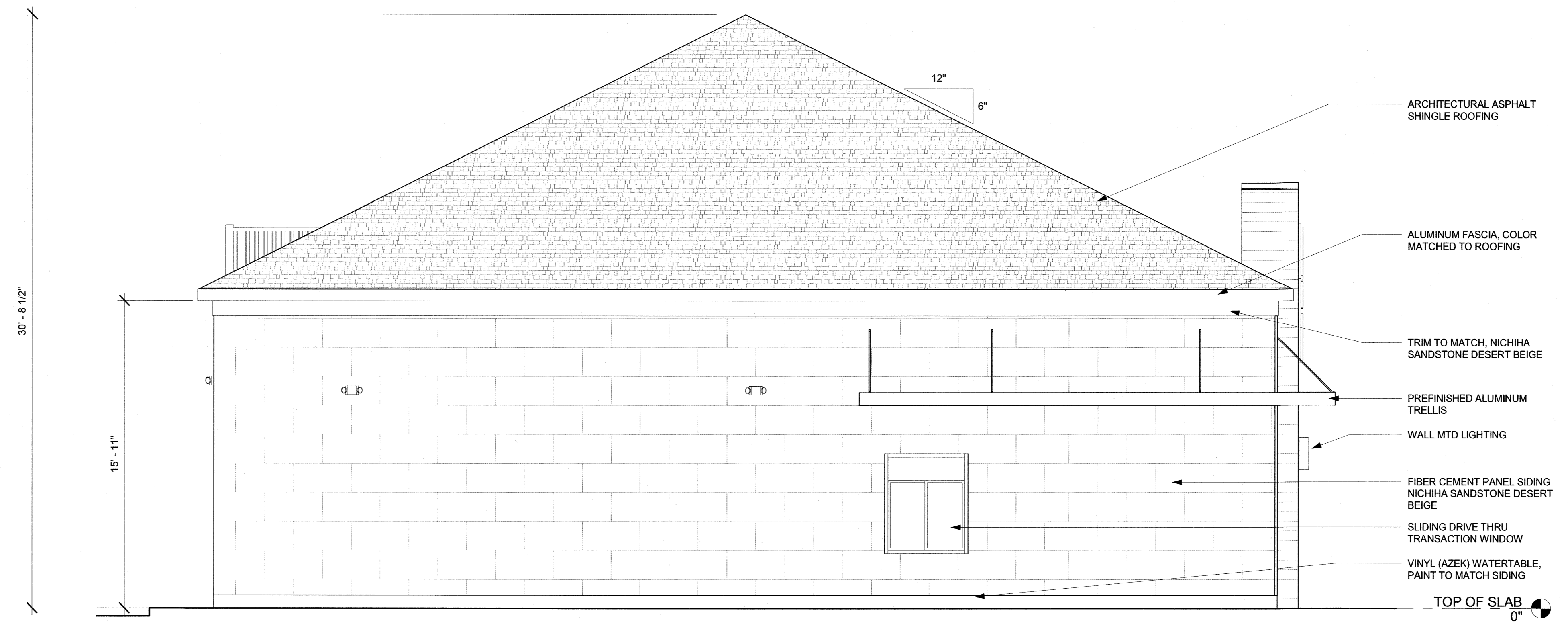
ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021

DRAWN BY: JS
 CHECKED BY: JK
 PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

EXTERIOR ELEVATIONS

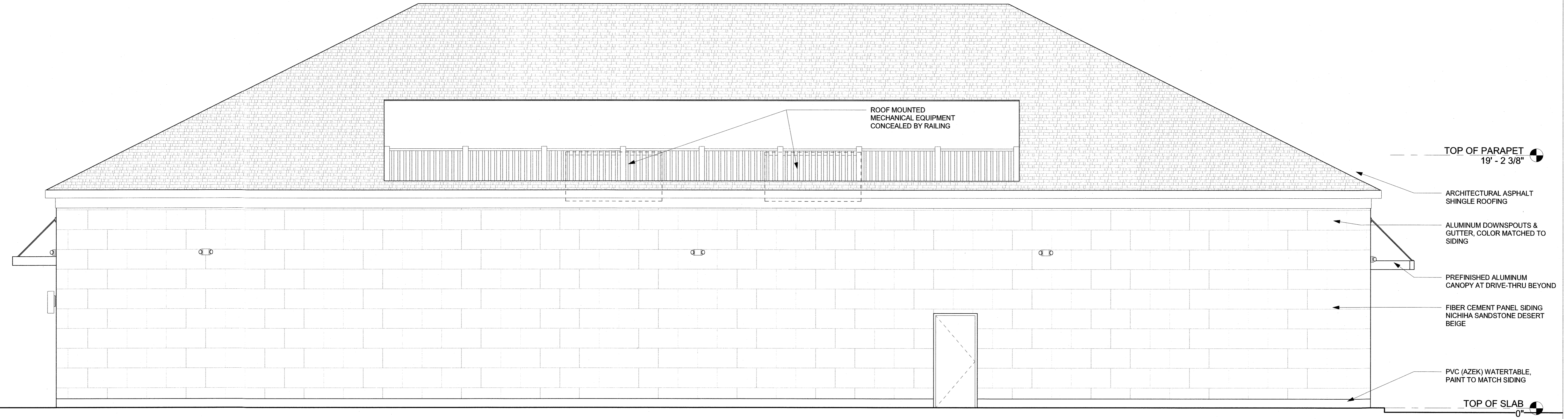
DRAWING NO.
A-201

CONVENIENCE & FILLING STATION
 158 EPPING ROAD - ROUTE 27
 EXETER, NH 03833



SOUTH ELEVATION
 1/4" = 1'-0"

2



WEST ELEVATION
 1/4" = 1'-0"

1

REVISIONS		
NO.	DATE	DESCRIPTION

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021


DRAWN BY: JS
 CHECKED BY: JK
 PROJECT NUMBER: 2121076
 Drawing Name: _____

EXTERIOR ELEVATIONS

DRAWING NO.
A-202

Plot Date: 5/2/2021 2:37:34 PM Dwg Filename: C:\Users\j_sellin\Documents\Nouria Exeter_CENTRAL2020_sellein\4653.rvt

ARCHITECT:
PHASE ZERO DESIGN
architects | interior designers
35 POND PARK ROAD, BAY 16
HINGHAM, MASSACHUSETTS 02043
PHONE: (781) 452-7121
FAX: (781) 875-3039
www.phasezerodesign.com

CLIENT:

NOURIA ENERGY CORPORATION
326 CLARK STREET
WORCESTER, MA 01606

CONSULTANT:



NORTHEAST VIEW

CONVENIENCE & FILLING STATION
158 EPPING ROAD - ROUTE 27
EXETER, NH 03833

REVISIONS		
NO.	DATE	DESCRIPTION

SEAL:

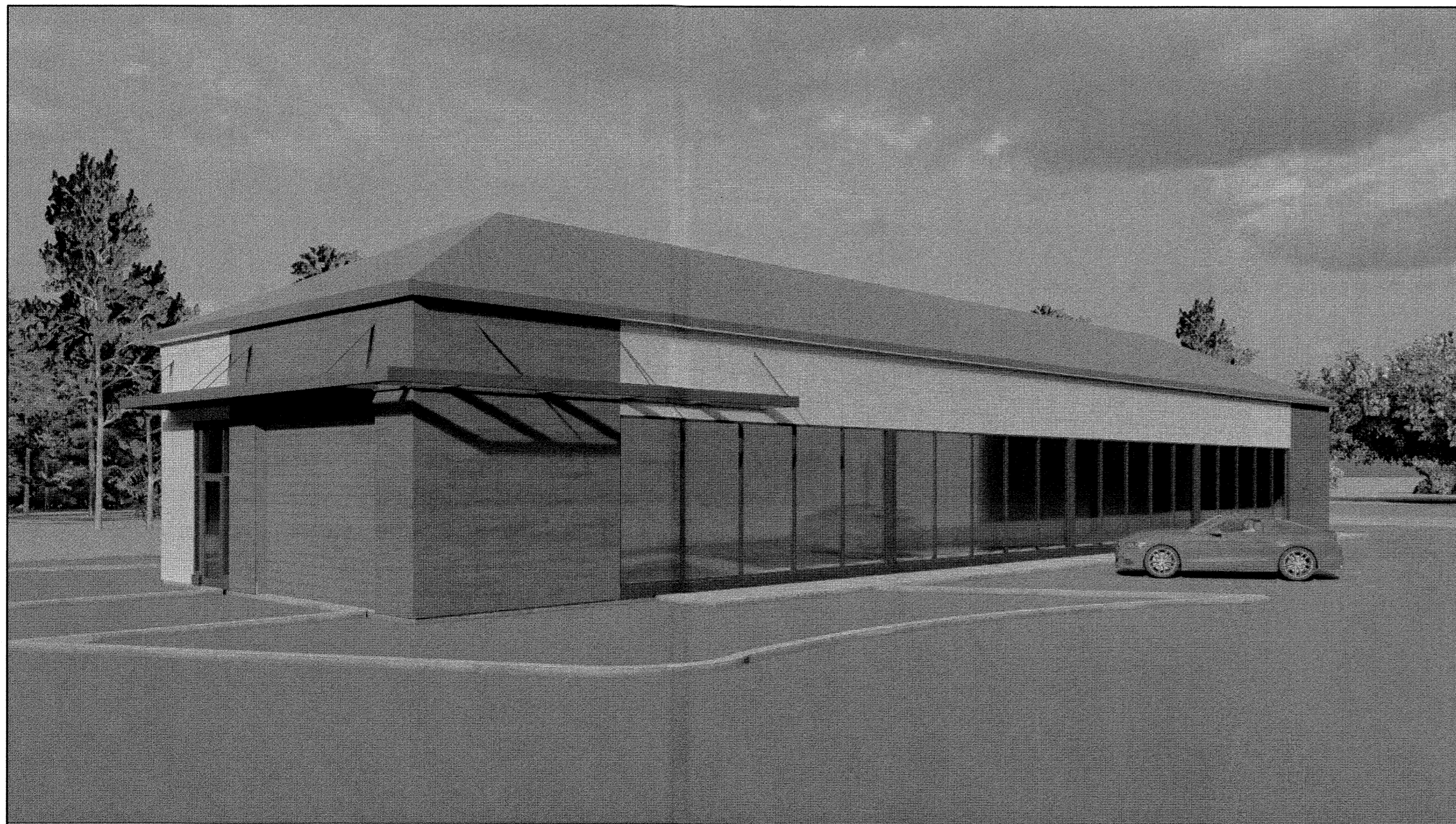


SOUTHEAST VIEW

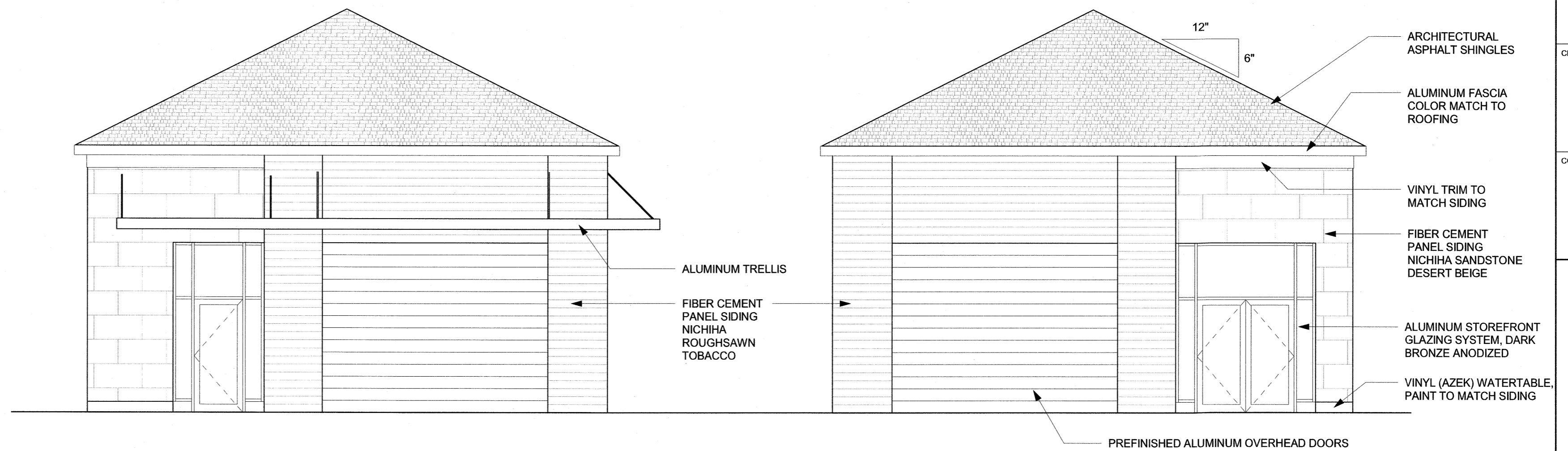
ISSUED FOR: PROGRESS
ISSUED DATE: 05/03/2021
DRAWN BY: JDS
CHECKED BY: JK
PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

DRAWING NAME:
3D VIEWS

DRAWING NO.
A-203

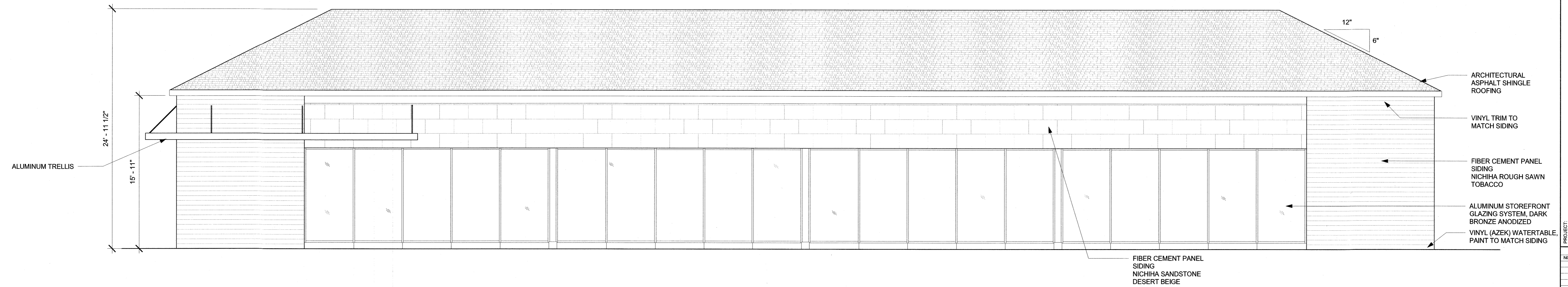


CARWASH FROM NORTHEAST

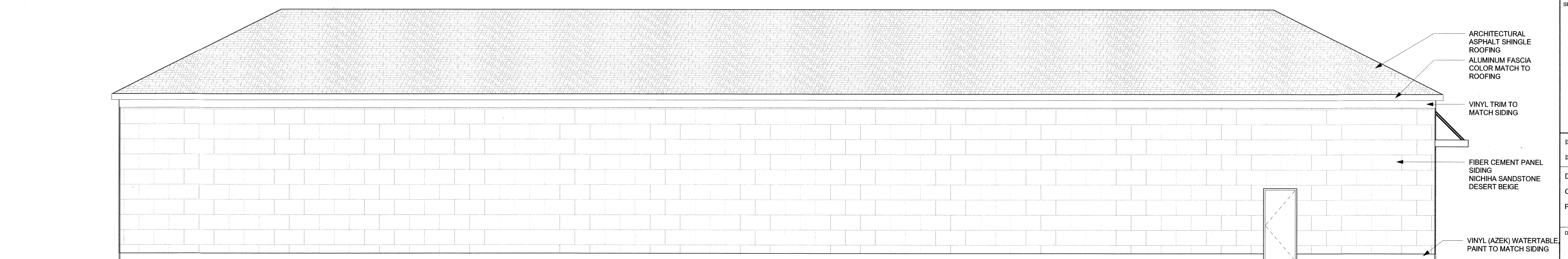


CAR WASH SOUTH
3/16" = 1'-0" 4

CAR WASH NORTH
3/16" = 1'-0" 1



CAR WASH EAST
3/16" = 1'-0" 2



CAR WASH WEST
3/16" = 1'-0" 3

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:


ISSUED FOR: PROGRESS
ISSUED DATE: 05/03/2021
DRAWN BY: JS
CHECKED BY: JK
PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

DRAWING NAME:
CAR WASH ELEVATIONS

DRAWING NO.
A-204



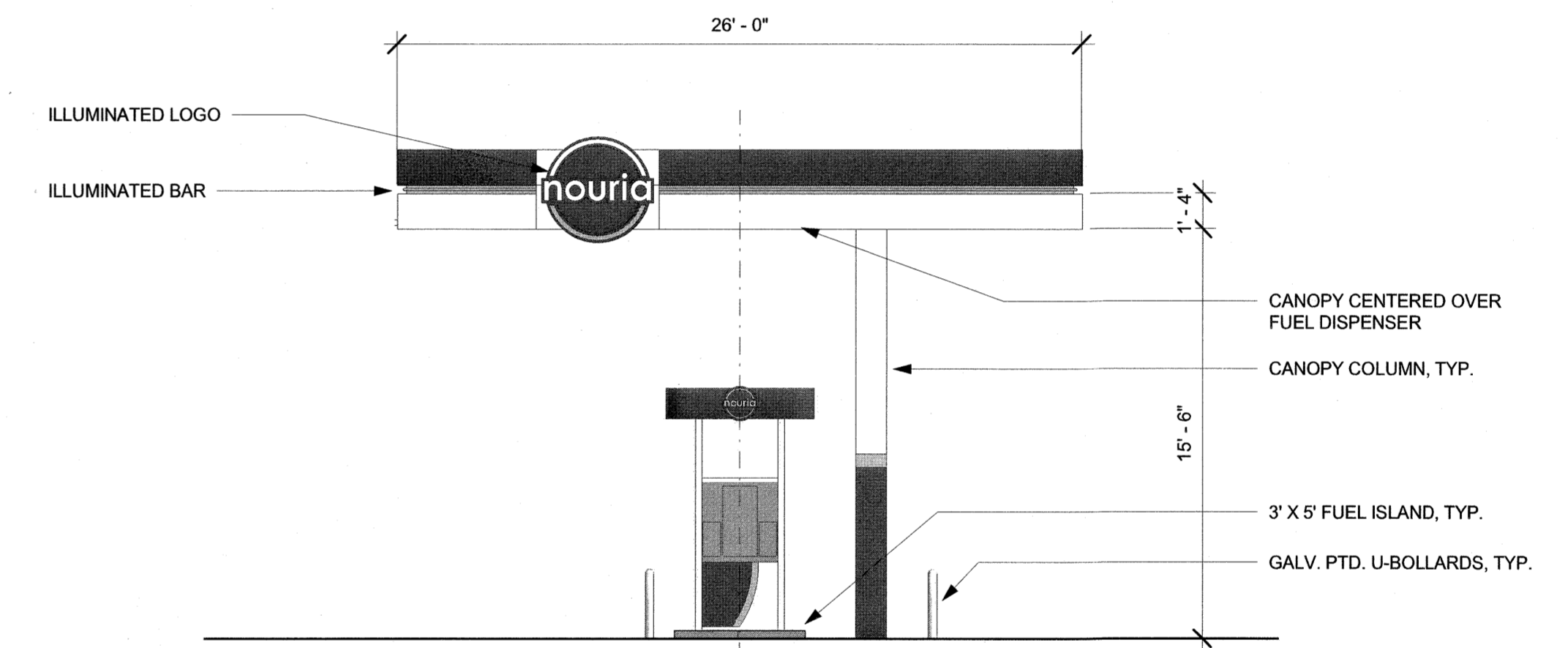
ARCHITECT:
PHASE ZERO DESIGN
 architects | interior designers
 35 POND PARK ROAD, BAY 16
 HINGHAM, MASSACHUSETTS 02043
 PHONE: (781) 452-7121
 FAX: (781) 875-3039
 www.phasezerodesign.com

CLIENT:

 NOURIA ENERGY CORPORATION
 326 CLARK STREET
 WORCESTER, MA 01606

CONSULTANT:

CONVENIENCE & FILLING STATION
 158 EPPING ROAD - ROUTE 27
 EXETER, NH 03833

CANOPY FROM EPPING ROAD



FUELING CANOPY NORTH
 3/16" = 1'-0" **2**

REVISIONS		
NO.	DATE	DESCRIPTION

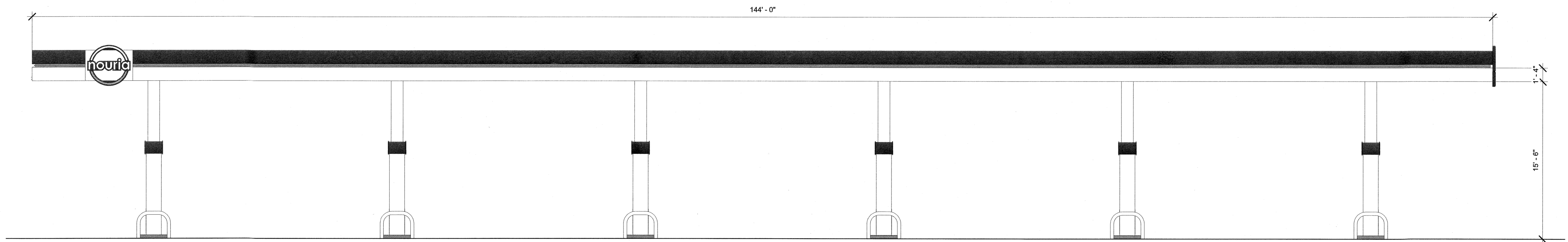
SEAL:

ISSUED FOR: PROGRESS
 ISSUED DATE: 05/03/2021
 DRAWN BY: JS
 CHECKED BY: JK
 PROJECT NUMBER: 2121076
Copyright © by Phase Zero Design Corp. All Rights Reserved.

FUELING CANOPY ELEVATIONS

DRAWING NO.
A-205

FUELING CANOPY EAST
 3/16" = 1'-0" **1**



Plot Date: 5/3/2021 4:11:51 PM Dwg Filename: C:\Users\jselle\Documents\Nouria Exeter_CENTRAL2020_jelle\A85.rvt