

3 Congress Street Nashua, NH 03062 (603) 883-2057  
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
www.hayner-swanson.com

Hayner/Swanson, Inc.

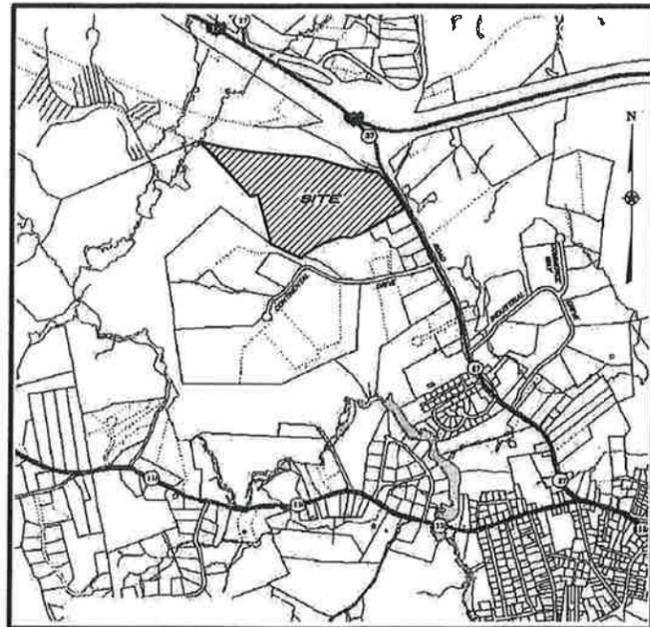


MAP 47, LOTS 6 & 7  
LOT LINE ADJUSTMENT/SUBDIVISION PLAN

# 170 EPPING ROAD

NH  
ROUTE  
27

EXETER, NEW HAMPSHIRE



VICINITY PLAN SCALE: 1"=1,364'

PREPARED FOR/RECORD OWNER

## GATEWAY AT EXETER, LLC

20 TRAFALGAR SQUARE, SUITE 610  
NASHUA, NH 03063  
(603) 880-0502

6 NOVEMBER 2019

REVISED  
21 JANUARY 2020

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 5	MASTER LOT LINE ADJUSTMENT/ SUBDIVISION PLAN	1"= 150'
2-3 OF 5	LOT LINE ADJUSTMENT/SUBDIVISION PLAN	1"= 80'
4-5 OF 5	TOPOGRAPHIC LOT LINE ADJUSTMENT/ SUBDIVISION PLAN	1"= 80'

 **HSI** Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors  
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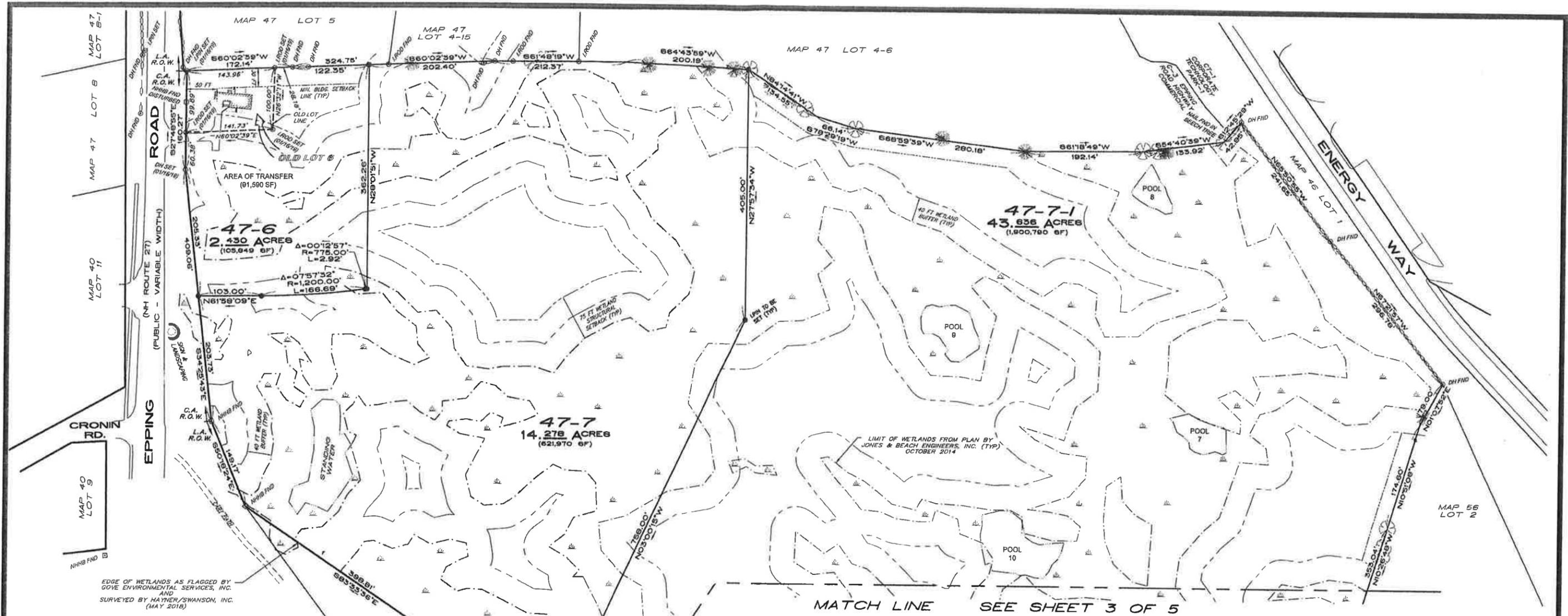
MAY 13 2020

EXETER PLANNING OFFICE

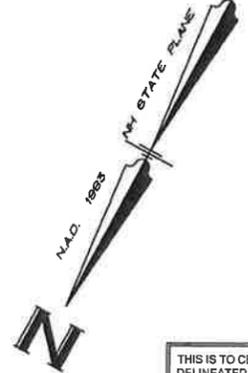
CASE No. 19-15







EDGE OF WETLANDS AS FLAGGED BY  
GOVE ENVIRONMENTAL SERVICES, INC.  
AND  
SURVEYED BY HAYNER/SWANSON, INC.  
(MAY 2018)



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN  
DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY  
CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT  
TO THE CORPS OF ENGINEERS WETLAND DELINEATION  
MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND DELINEATION PREPARED BY:  
GOVE ENVIRONMENTAL SERVICES  
BRENDAN J. OUGLEY  
CERTIFIED WETLAND SCIENTIST (#249)



**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**WETLAND NOTES:**  
THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY  
GOVE ENVIRONMENTAL SERVICES, INC. IN MAY OF 2018 AND OCTOBER OF 2014 IN  
ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2018 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

**CERTIFICATION**  
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN  
SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT  
SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR  
SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW  
HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND  
SURVEYORS ADOPTED 08/23/01, EFFECTIVE 9/10/109.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN  
ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM  
ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL  
PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

11/21/20 DATE  
DENNIS C. POLLOCK, LLS

No.	DATE	ADDRESS TRC COMMENTS	BY
1	01/21/20		JNP

**CASE No. 19-15**  
**LOT LINE ADJUSTMENT/ SUBDIVISION PLAN**  
(MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD NH ROUTE 27**  
**EXETER, NEW HAMPSHIRE**  
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502

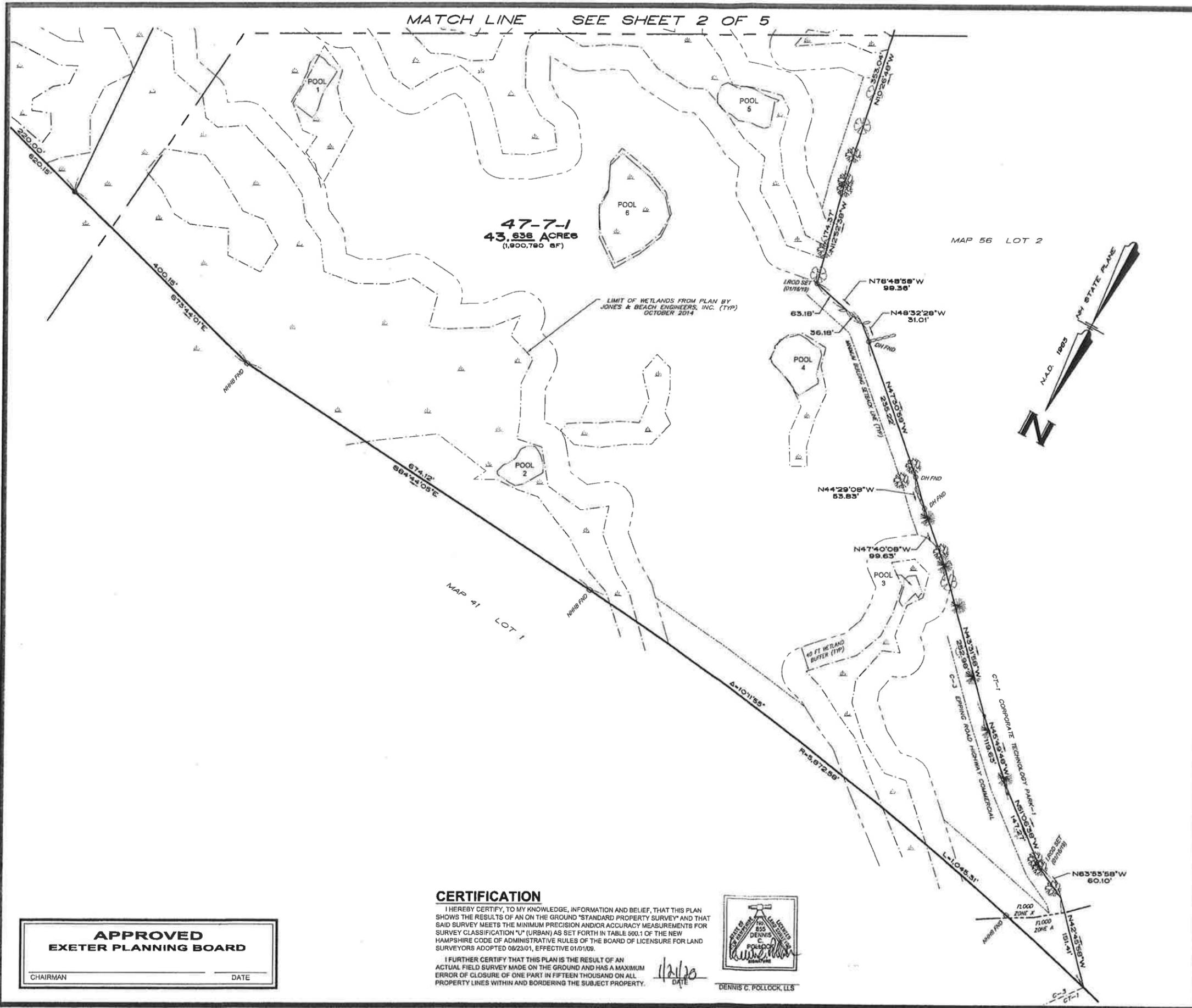
80 0 80 160 240 320 FEET  
40 0 40 80 METERS  
SCALE: 1"=80 Feet  
1"=24.384 Meters

**6 NOVEMBER 2019**

**HSI Hayner/Swanson, Inc.**  
Civil Engineers/Land Surveyors  
3 Congress Street Nashua, NH 03062 (603) 883-2057  
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5532 2 OF 5



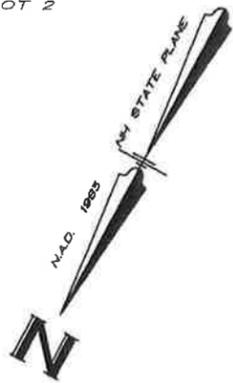
MATCH LINE SEE SHEET 2 OF 5

47-7-1  
43,638 ACRES  
(1,900,760 SF)

MAP 56 LOT 2

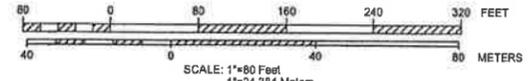
MAP 41 LOT 1

LIMIT OF WETLANDS FROM PLAN BY  
JONES & BEACH ENGINEERS, INC. (TYP)  
OCTOBER 2014



No.	DATE	ADDRESS TRC COMMENTS	REVISION	BY
1	01/21/20	ADDRESS TRC COMMENTS		JNP

**CASE No. 19-15**  
**LOT LINE ADJUSTMENT/ SUBDIVISION PLAN**  
 (MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD NH ROUTE 27**  
**EXETER, NEW HAMPSHIRE**  
 PREPARED FOR/RECORD OWNER:  
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 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0602



6 NOVEMBER 2019

**HSI** Hayner/Swanson, Inc.  
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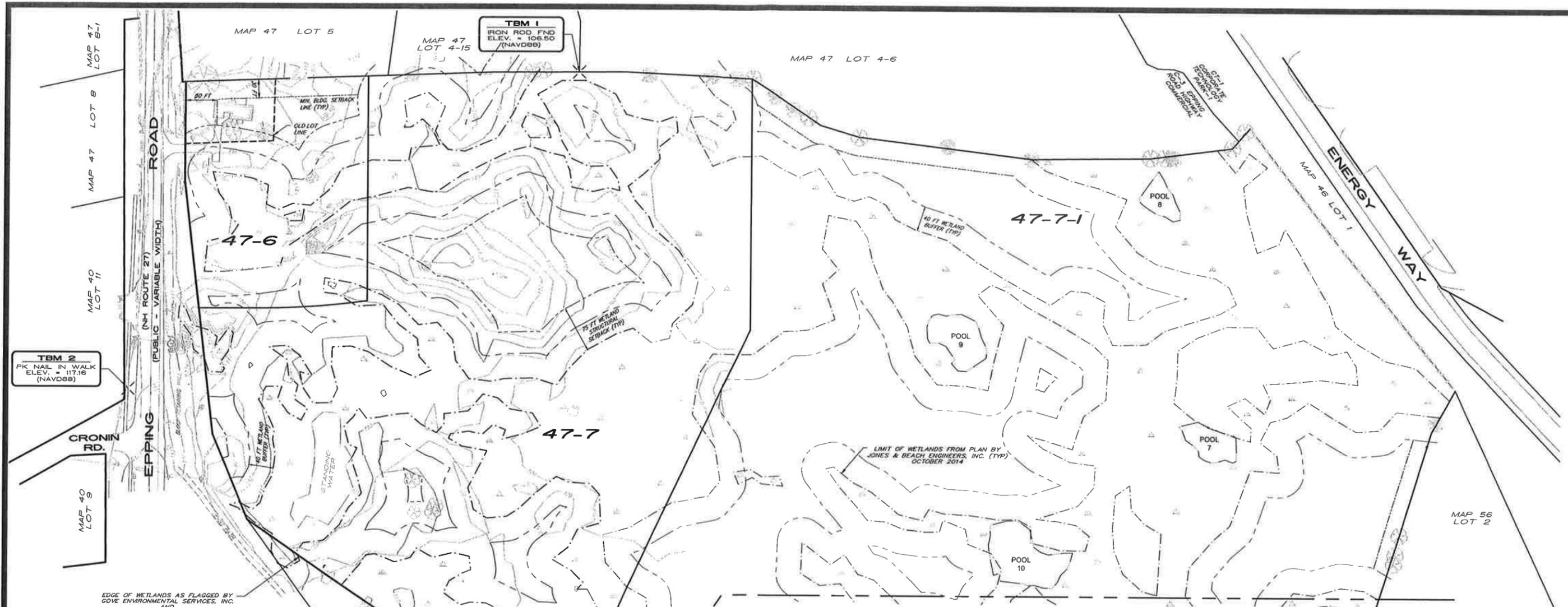
**APPROVED**  
**EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION**  
 I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.  
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



DENNIS C. POLLOCK, L.L.S.

1/21/20  
 DATE



EDGE OF WETLANDS AS FLAGGED BY GOVE ENVIRONMENTAL SERVICES, INC. AND SURVEYED BY HAYNER/SWANSON, INC. (MAY 2018)

MAP 47 LOT 5  
MAP 47 LOT 4-15  
MAP 47 LOT 4-6  
MAP 47 LOT 8  
MAP 47 LOT 6  
MAP 40 LOT 11  
MAP 40 LOT 9  
MAP 40 LOT 10  
MAP 41 LOT 1  
MAP 46 LOT 1  
MAP 56 LOT 2

TBM 1  
IRON ROD FND  
ELEV. = 106.50  
(NAVD88)

TBM 2  
FK NAIL IN WALK  
ELEV. = 117.16  
(NAVD88)

CRONIN RD.  
EPPING ROAD (NH ROUTE 27)  
ENERGY WAY

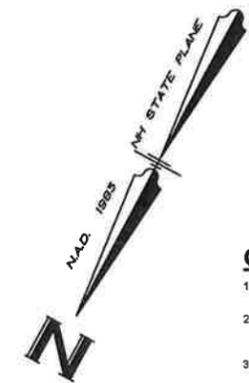
47-6  
47-7  
47-7-1

POOL 8  
POOL 9  
POOL 7  
POOL 10

40 FT WETLAND BUFFER (TYP)  
75 FT WETLAND STRUCTURAL SETBACK (TYP)

LIMIT OF WETLANDS FROM PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014

MATCH LINE SEE SHEET 5 OF 5



**GENERAL NOTES:**

1. THE EXISTING PLANIMETRIC INFORMATION AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN APRIL 2018 AND JULY 2019.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:  
HORIZONTAL DATUM: NAD83  
HORIZONTAL PROJECTION: NH STATE PLANE  
VERTICAL DATUM: NAVD88  
UNITS: US SURVEY FEET

**LEGEND**

	EXISTING GROUND CONTOUR
	CATCH BASIN
	GATE VALVE
	UTILITY POLE WITH GUY SUPPORT
	STREET LIGHT
	OVERHEAD ELECTRIC & TELEPHONE SIGN
	TREE LINE
	N.H. HIGHWAY BOUND
	IRON ROD
	DRILL HOLE & STONE WALL
	TEMPORARY BENCHMARK
	BUILDING SETBACK LINE
	WETLAND FLAGGING LIMIT
	WETLAND BUFFER LINE
	WIRE FENCE
	CURBING
	CONCRETE
	RIPRAP / STONE
	LEDGE
	TEST PIT LOCATION & IDENTIFIER
	ROCK/BOULDER
	CONIFEROUS TREE
	DECIDUOUS TREE

**UTILITY NOTE 4**

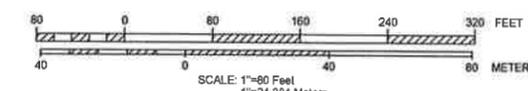
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

No.	DATE	REVISION	BY
1	01/21/20	ADDRESS TRC COMMENTS	JNP

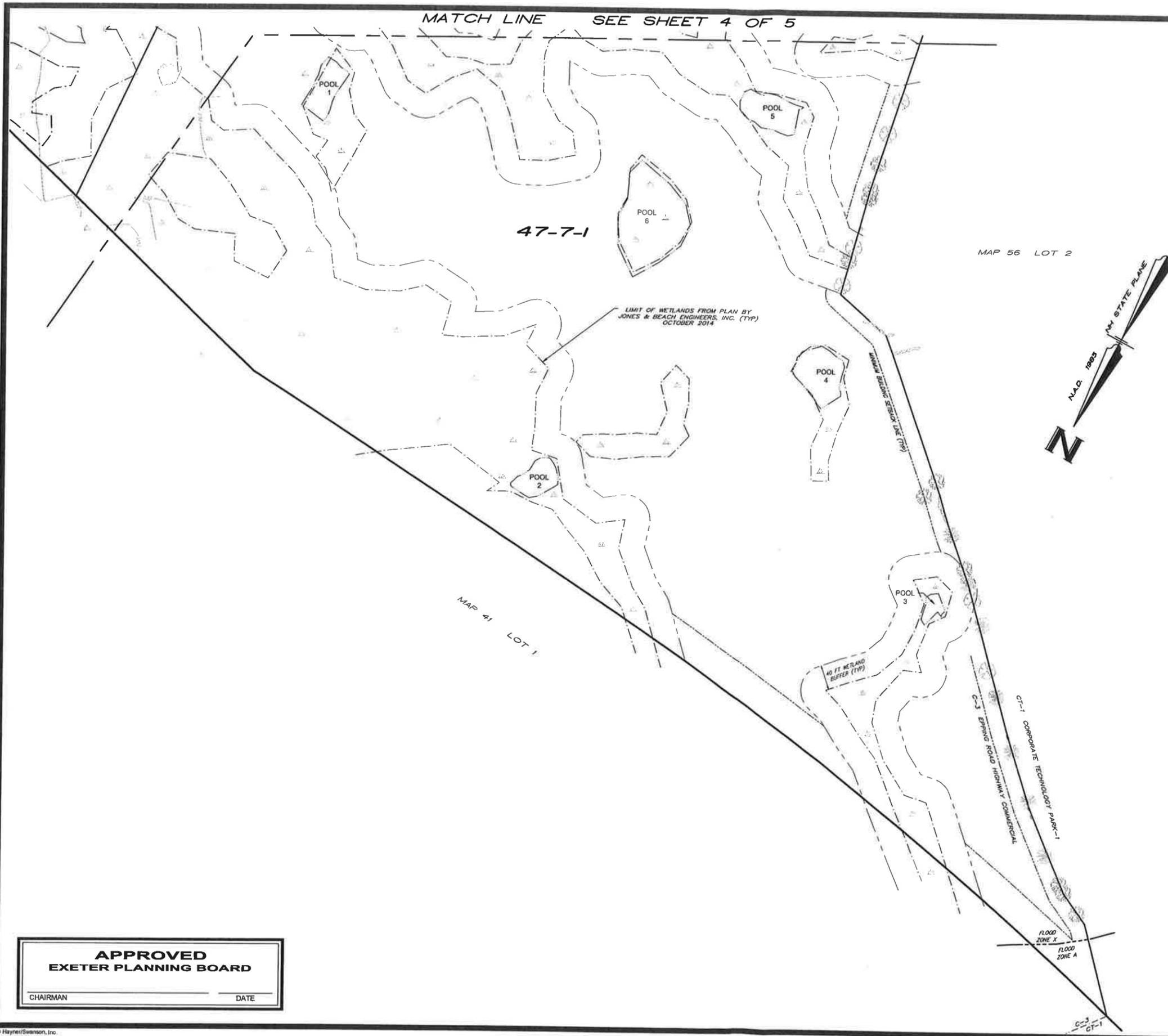
CASE No. 19-15  
TOPOGRAPHIC LOT LINE ADJUSTMENT/  
SUBDIVISION PLAN  
(MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD** NH ROUTE 27  
EXETER, NEW HAMPSHIRE  
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502



6 NOVEMBER 2019

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FIELD BOOK: 1231/1234	DRAWING NAME: 5532SPP19 SUB-FB1	5532	4 OF 5
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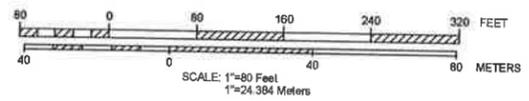


No.	DATE	REVISION	BY
1	01/21/20	ADDRESS TRC COMMENTS	JNP

CASE No. 19-15  
 TOPOGRAPHIC LOT LINE ADJUSTMENT/  
 SUBDIVISION PLAN  
 (MAP 47, LOTS 6 & 7)

**170 EPPING ROAD** NH ROUTE 37  
 EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502



6 NOVEMBER 2019

**HSI** Hayner/Swanson, Inc.  
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**APPROVED**  
 EXETER PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

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Hayner/Swanson, Inc.



MAP 47 LOTS 6 & 7  
SITE PLAN

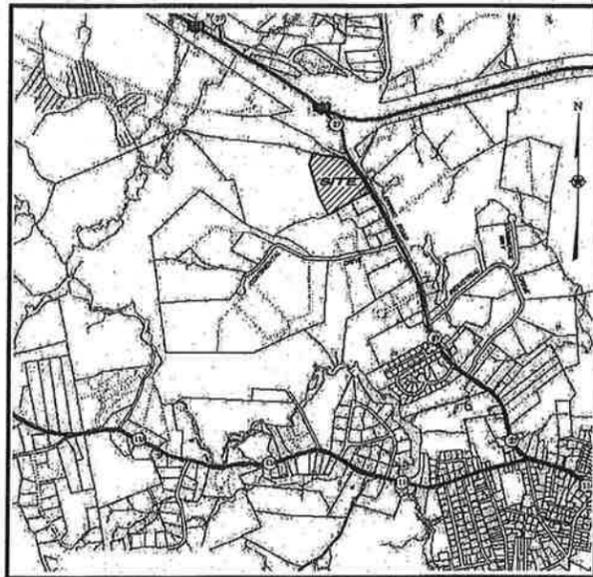
# GATEWAY AT EXETER

170 EPPING ROAD NH ROUTE 27  
EXETER, NEW HAMPSHIRE

RECEIVED

MAY 13 2020

EXETER PLANNING OFFICE



VICINITY PLAN

SCALE: 1"=1,364'±

PREPARED FOR/RECORD OWNER

## GATEWAY AT EXETER, LLC

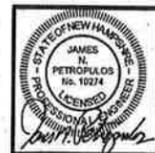
20 TRAFALGAR SQUARE, SUITE 610  
NASHUA, NEW HAMPSHIRE 03063  
(603) 880-0502

6 NOVEMBER 2019

REVISED  
31 JANUARY 2020  
8 APRIL 2020  
8 MAY 2020

### INDEX OF PLANS

SHEET No.	TITLE	
1 OF 30	MASTER SITE PLAN	1"=60'
2-3 OF 30	EXISTING CONDITIONS PLAN	1"=40'
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5-8 OF 30	SITE GRADING PLAN	1"=40'
7-8 OF 30	SITE UTILITY PLAN	1"=40'
9-10 OF 30	SITE LAYOUT PLAN	1"=40'
11-13 OF 30	UTILITY PROFILES	1"=40'
14 OF 30	EROSION CONTROL PLAN (PHASE I)	1"=60'
15 OF 30	EROSION CONTROL PLAN (PHASE II)	1"=60'
16 OF 30	DETAIL SHEET - EROSION CONTROL	
17-19 OF 30	DETAIL SHEET - GENERAL SITE	
20 OF 30	DETAIL SHEET - DRAINAGE	
21 OF 30	DETAIL SHEET - SEWER PUMP STATION	
22 OF 30	DETAIL SHEET - WATER	
23-24 OF 30	LANDSCAPE PLAN	1"=40'
25 OF 30	DETAIL SHEET - LANDSCAPE	
26 OF 30	CONSTRUCTION PLAN - PHASE I	1"=60'
27 OF 30	CONSTRUCTION PLAN - PHASE II	1"=60'
28 OF 30	CONSTRUCTION PLAN - PHASE III	1"=60'
29 OF 30	CONSTRUCTION PLAN - PHASE IV	1"=60'
30 OF 30	CONSTRUCTION PLAN - PHASE V	1"=60'
	PHOTOMETRIC SITE LIGHTING PLAN BUILDING ELEVATIONS	



**HSI** Hayner/Swanson, Inc.

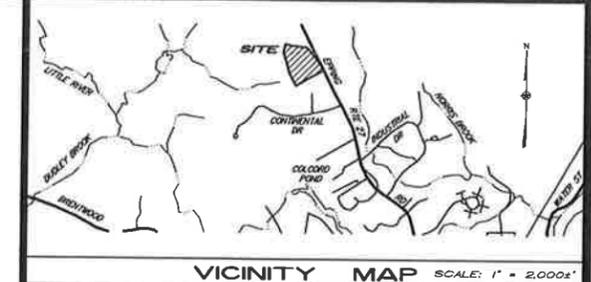
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APPROVED  
EXETER PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

CASE No. 19-16



**NOTES:**

- SITE AREA: MAP 47 LOT 6 2.430 ACRES, MAP 47 LOT 7 14.276 ACRES
- PRESENT ZONING: C-3; EPPING ROAD HIGHWAY COMMERCIAL

MINIMUM LOT REQUIREMENTS:	C-3	LOT 47-6	LOT 47-7
- LOT AREA	40,000 SF	105,849 SF	621,970 SF
- LOT WIDTH	175 FT	368 FT	585 FT
- LOT DEPTH	225 FT	288 FT	150 FT
- BUILDING HEIGHT	50 FT	50 FT	50 FT

MINIMUM YARD SETBACKS

- FRONT YARD	50 FT	50 FT	104 FT
- SIDE YARD, ONE	30 FT	103 FT	45 FT
- REAR YARD	25 FT	40 FT	122 FT

ON MAY 21, 2019 THE EXETER ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO PERMIT A MULTI-FAMILY RESIDENTIAL COMPLEX AS PART OF A MIXED-USE DEVELOPMENT PLAN WITH THE FOLLOWING CONDITIONS:

  - THE REMAINING APPROXIMATE 45+ ACRES TO THE REAR OF THE SITE REMAIN UNDEVELOPED
  - THAT 20% OF THE RESIDENTIAL RENTAL UNITS QUALIFY AS WORKFORCE HOUSING RENTAL UNITS AS DEFINED UNDER THE NH WORKFORCE HOUSING STATUTE
  - THAT THE RESTRICTIONS FOR WORKFORCE RENTAL SHALL BE FOR NOT LESS THAN 30 YEARS
  - THAT THE RESIDENTIAL PORTION SHALL REMAIN AS RENTAL UNITS FOR NOT LESS THAN 30 YEARS
  - THE MULTI-FAMILY PORTION OF THE COMPLEX SHALL INCLUDE NOT MORE THAN 224 RESIDENTIAL RENTAL UNITS

LOT NUMBERS REFER TO THE CITY OF EXETER ASSESSORS MAPS 40, 41, AND 47.

SITES ARE TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY EXETER PUBLIC WORKS, UNDERGROUND POWER, TELECOMMUNICATIONS AND GAS UTILITIES.

PURPOSE OF PLAN: TO SHOW PROPOSED MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENTS WITH ACCOMPANYING SITE IMPROVEMENTS UPON LOTS 6 & 7, MAP 47.

6. PARKING:

REQUIRED:	PROVIDED:	REMARKS:
LOT 47-6	40 SPACES	1 SP/EMPLOYEE x 40 EMPLOYEES
CHILD DAYCARE:	55 SPACES	1 SP/2 STUDENTS x 110 STUDENTS
RETAIL:	37 SPACES	1 SP/200 SF x 11,250 SF
OFFICES:	56 SPACES	1 SP/200 SF x 11,250 SF
TOTAL REQUIRED:	198 SPACES	
PROVIDED:	98 SPACES	(INCLUDING 6 HANDICAP SPACES)

LOT 47-7

REQUIRED:	PROVIDED:	REMARKS:
DWELLING UNITS:	136 SPACES	2 SP/2 BED UNIT x 68 UNITS
	156 SPACES	1 SP/1 BED UNIT x 156 UNITS
	66 SPACES	1 SP/100 GUESTS UNITS x 224 UNITS
TOTAL REQUIRED:	348 SPACES	
PROVIDED:	322 SPACES	(INCLUDING 14 HANDICAP SPACES)

7. OPEN SPACE:

REQUIRED:	LOT 47-6	LOT 47-7
REQUIRED:	20.0%	20.0%
PROVIDED:	29.8%	64.4%

8. BUILDING COVERAGE:

MAX. ALLOWED:	LOT 47-6	LOT 47-7
MAX. ALLOWED:	40.0%	40.0%
PROVIDED:	23.0%	10.8%

9. THIS PARCEL CONTAINS AREA IDENTIFIED AS ZONE X AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), ROCKINGHAM, TOWN OF EXETER, NEW HAMPSHIRE, COMMUNITY NO. 330130, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 330130C0401E, DATED: MAY 17, 2005.

10. WAIVERS REQUESTED FROM THE FOLLOWING SITE PLAN REGULATION:
- 7.5.4 HIGH INTENSITY SOILS SURVEY
  - 9.7.5.6 PLANTING ISLANDS REQUIRED BETWEEN EVERY TEN TO FIFTEEN PARKING SPACES
  - 9.8.2 NO PARKING OR BUILDING WITHIN 75 OF A WETLAND WITH POORLY DRAINED SOILS
  - 9.12.1 LOADING SPACES
  - 9.13.1 REQUIRED NUMBER OF PARKING SPACES
  - 11.3.1.4 REQUIRED AREA OF RECREATION SPACES
  - 11.7 IMPACT FEE - RECREATION
11. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
12. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE TOWN OF EXETER SITE PLAN REGULATIONS.
13. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE TOWN OF EXETER REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
14. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE (B) OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
15. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF EXETER PLANNING BOARD.
16. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE TOWN OF EXETER SITE PLAN REGULATIONS.
17. THE BUILDINGS FIRE ALARM AND SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE OF NEW HAMPSHIRE FIRE CODES AND THE TOWN OF EXETER FIRE DEPARTMENT REGULATIONS.
18. A PRE-CONSTRUCTION MEETING SHALL BE ARRANGED BY THE APPLICANT AND HIS/HER CONTRACTOR WITH THE TOWN ENGINEER PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
19. ALL WATER, SEWER, PARKING LOT AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE AND EROSION & SEDIMENT CONTROL AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE" LATEST EDITION. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
20. SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEETS 9 AND 10 OF 30. IF NEEDED, EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
21. OWNER OF RECORD: MAP 47, LOTS 6 & 7, GATEWAY AT EXETER, LLC, 20 TRAFALGAR SQUARE, SUITE 610, NASHUA, NH 03083, BK 5975 PG 2103

1. LOT LINE ADJUSTMENT/SUBDIVISION PLAN (MAP 47, LOTS 6 & 7), EPPING ROAD, NH ROUTE 27, EXETER, NEW HAMPSHIRE, PREPARED FOR RECORD, GATEWAY AT EXETER, LLC, SCALE AS SHOWN, DATED: 6 NOVEMBER 2019 WITH REVISIONS THRU 01/21/20, CASE NO. 19-15, AND PREPARED BY THIS OFFICE TO BE RECORDED.

**APPROVED EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

1 OF 30 SHEETS  
DATE: 11/9/2019  
SCALE: 1" = 60'

PREPARED FOR/RECORD OWNER: GATEWAY AT EXETER, LLC  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03083 (603) 880-0302

NO.	DATE	DESCRIPTION
1	11/09/2019	AS SHOWN
2	11/09/2019	REVISIONS

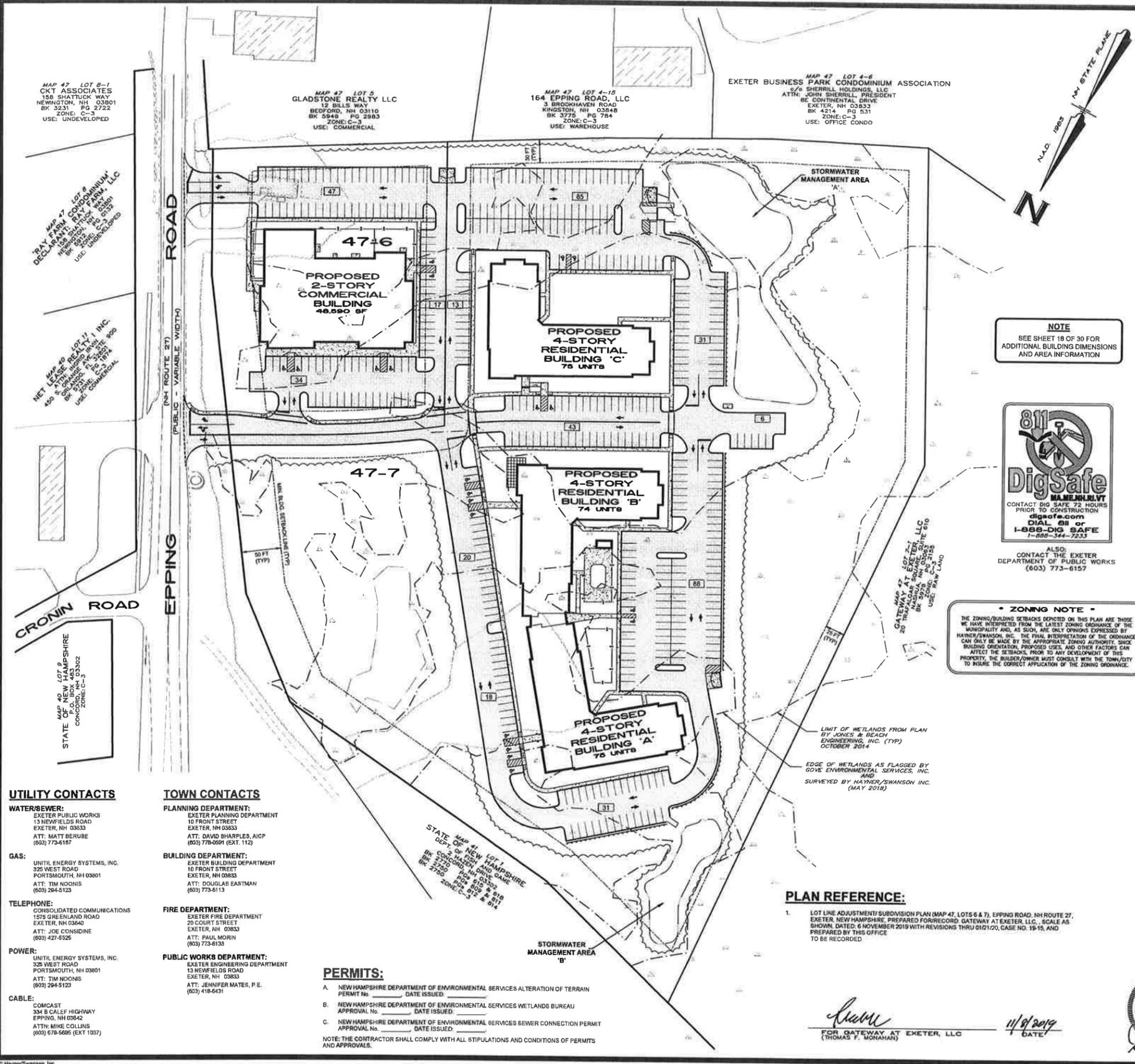
MASTER SITE PLAN MAP 47, LOTS 6 & 7  
**GATEWAY AT EXETER**  
170 EPPING ROAD  
EXETER, NEW HAMPSHIRE

170 EPPING ROAD  
EXETER, NEW HAMPSHIRE

6 NOVEMBER 2019

HIS/HER  
J. George Swanson, Inc.  
Civil Engineers/Architects  
131 Middlesex Turnpike  
Nashua, NH 03083  
(603) 882-5257  
www.his/her.com

FIELD BOOK: 12112234 DMC 100-11-0000153310010333 8788  
SCALE: 1" = 60'  
DATE: 11/9/2019



**NOTE**  
SEE SHEET 18 OF 30 FOR ADDITIONAL BUILDING DIMENSIONS AND AREA INFORMATION



ALSO: CONTACT THE EXETER DEPARTMENT OF PUBLIC WORKS (603) 773-6157

**ZONING NOTE**  
THE ZONING/BUILDING SETBACKS SHOWN ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE AFFECTING THE SETBACKS, PROPOSED USES, AND OTHER FACTORS CAN CHANGE, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**PLAN REFERENCE:**  
1. LOT LINE ADJUSTMENT/SUBDIVISION PLAN (MAP 47, LOTS 6 & 7), EPPING ROAD, NH ROUTE 27, EXETER, NEW HAMPSHIRE, PREPARED FOR RECORD, GATEWAY AT EXETER, LLC, SCALE AS SHOWN, DATED: 6 NOVEMBER 2019 WITH REVISIONS THRU 01/21/20, CASE NO. 19-15, AND PREPARED BY THIS OFFICE TO BE RECORDED.

FOR GATEWAY AT EXETER, LLC  
THOMAS F. MONAHAN  
11/9/2019 DATE

MAP 47 LOT 8-1  
CKT ASSOCIATES  
158 SHATTUCK WAY  
NEWINGTON, NH 03801  
BK 59131 PG 2722  
ZONE: C-3  
USE: UNDEVELOPED

MAP 47 LOT 5  
GLADSTONE REALTY LLC  
12 BILLS WAY  
BEDFORD, NH 03110  
BK 5949 PG 2983  
ZONE: C-3  
USE: COMMERCIAL

MAP 47 LOT 4-15  
164 EPPING ROAD, LLC  
3 BROOKHAVEN ROAD  
KINGSTON, NH 03848  
BK 3775 PG 784  
ZONE: C-3  
USE: WAREHOUSE

MAP 47 LOT 4-6  
EXETER BUSINESS PARK CONDOMINIUM ASSOCIATION  
C/O SHERRILL HOLDINGS, LLC  
ATTN: JOHN SHERRILL, PRESIDENT  
86 CONTINENTAL DRIVE  
EXETER, NH 03833  
BK 4214 PG 531  
ZONE: C-3  
USE: OFFICE CONDO

MAP 47 LOT 2  
RAY FARM CONDOMINIUM  
DECLARATION BY RAY FARM, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801  
BK 59131 PG 2722  
ZONE: C-3  
USE: UNDEVELOPED

MAP 48  
NET LEASE TO  
500 S. DRAKE ROAD  
DUNSTABLE, MA 01928  
BK 5751 PG 152  
ZONE: COMMERCIAL  
USE: COMMERCIAL

MAP 40 LOT 8  
STATE OF NEW HAMPSHIRE  
CONCORD, NH 03302  
ZONE: C-3

**UTILITY CONTACTS**

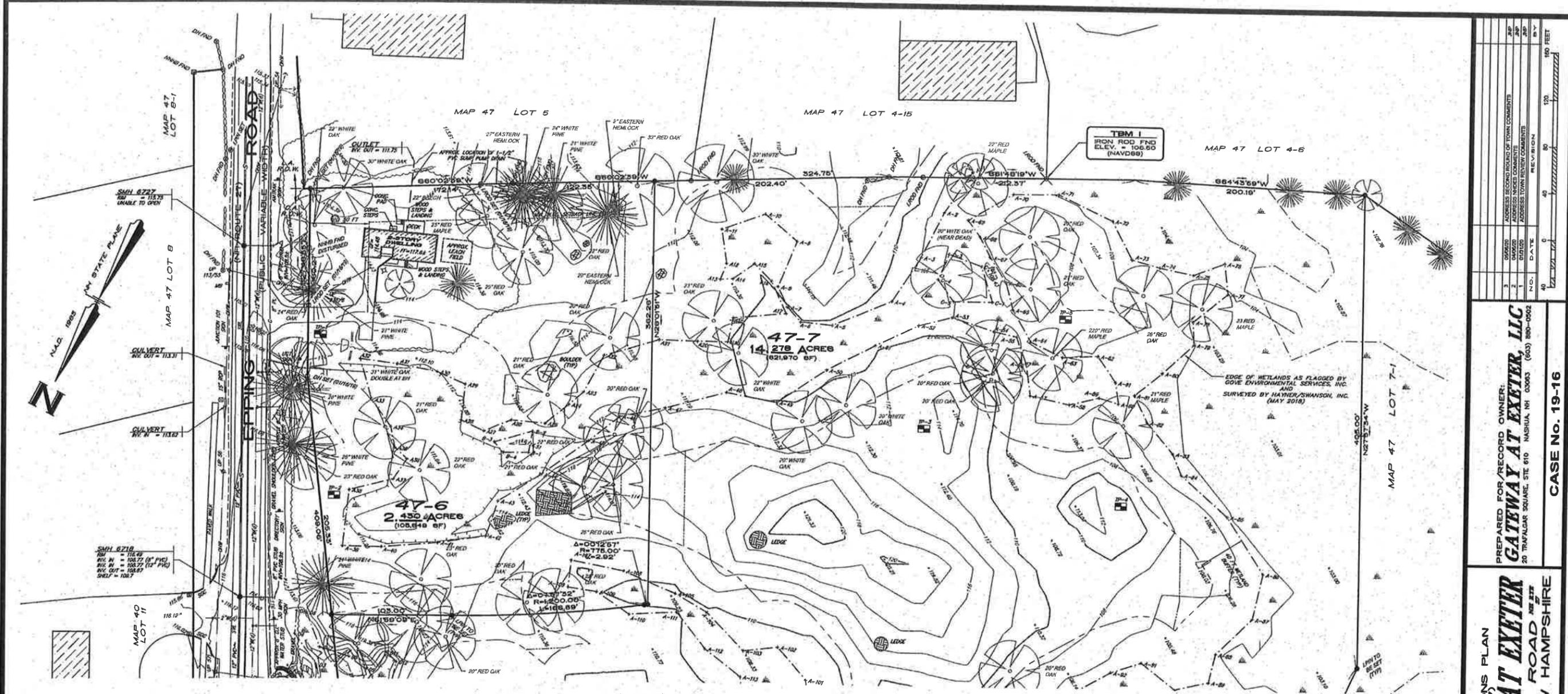
- WATER/SEWER:**  
EXETER PUBLIC WORKS  
13 NEWFIELDS ROAD  
EXETER, NH 03833  
ATT: MATT BERUBE  
(603) 773-6157
- GAS:**  
UNILIT ENERGY SYSTEMS, INC.  
325 WEST ROAD  
PORTSMOUTH, NH 03801  
ATT: TIM NOONIS  
(603) 294-5123
- TELEPHONE:**  
CONSOLIDATED COMMUNICATIONS  
1575 GREENLAND ROAD  
EXETER, NH 03840  
ATT: JOE CONSIDINE  
(603) 427-5225
- POWER:**  
UNILIT ENERGY SYSTEMS, INC.  
325 WEST ROAD  
PORTSMOUTH, NH 03801  
ATT: TIM NOONIS  
(603) 294-5123
- CABLE:**  
COMCAST  
334 B CALEF HIGHWAY  
EPPING, NH 03842  
ATTN: MIKE COLLINS  
(603) 678-5696 (EXT 1037)

**TOWN CONTACTS**

- PLANNING DEPARTMENT:**  
EXETER PLANNING DEPARTMENT  
10 FRONT STREET  
EXETER, NH 03833  
ATT: DAVID SHARPLES, AICP  
(603) 778-0691 (EXT. 112)
- BUILDING DEPARTMENT:**  
EXETER BUILDING DEPARTMENT  
10 FRONT STREET  
EXETER, NH 03833  
ATT: DOUGLAS EASTMAN  
(603) 773-6113
- FIRE DEPARTMENT:**  
EXETER FIRE DEPARTMENT  
20 COURT STREET  
EXETER, NH 03833  
ATT: PAUL MORIN  
(603) 773-6133
- PUBLIC WORKS DEPARTMENT:**  
EXETER ENGINEERING DEPARTMENT  
13 NEWFIELDS ROAD  
EXETER, NH 03833  
ATT: JENNIFER MATES, P.E.  
(603) 418-6431

**PERMITS:**

- A. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT No. \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_
- B. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU APPROVAL No. \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_
- C. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES SEWER CONNECTION PERMIT APPROVAL No. \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_
- NOTE: THE CONTRACTOR SHALL COMPLY WITH ALL STIPULATIONS AND CONDITIONS OF PERMITS AND APPROVALS.



**LEGEND**

-100-	EXISTING GROUND CONTOUR	- - - - -	WETLAND FLAGGING LIMIT
+102.5	EXISTING SPOT ELEVATION	- - - - -	WETLAND BUFFER LINE
- - - - -	PROPOSED GRADE	- - - - -	WIRE FENCE
+100.5	PROPOSED SPOT GRADE	- - - - -	CHAINLINK FENCE
- - - - -	STORM DRAIN & CATCH BASIN	- - - - -	CAPE COD BERM
- - - - -	STORM DRAIN & MANHOLE	- - - - -	CONCRETE CURB & SIDEWALK
- - - - -	STORM DRAIN & HEADWALL	- - - - -	SLOPE GRANITE CURBING
- - - - -	FORCE MAIN & MANHOLE	- - - - -	STORMWATER RUNOFF DIRECTION
- - - - -	WATER MAIN & HYDRANT	- - - - -	HANDICAP PARKING SPACE
- - - - -	WATER MAIN & GATE VALVE	- - - - -	HANDICAP SIDEWALK RAMP
- - - - -	GAS LINE & GATE VALVE	- - - - -	PARKING SPACE COUNT
- - - - -	UTILITY POLE WITH GUY SUPPORT	- - - - -	GUARD RAIL
- - - - -	STREET LIGHT	- - - - -	PAVEMENT SAWCUT
- - - - -	OVERHEAD ELECTRIC & TELEPHONE	- - - - -	REINFORCED CONCRETE
- - - - -	UNDERGROUND ELEC./TEL. & MANHOLES	- - - - -	PROPOSED FULL-DEPTH PAVEMENT
- - - - -	TRANSFORMER PAD	- - - - -	RIPRAP / STONE
- - - - -	SIGN	- - - - -	TEST PIT LOCATION & IDENTIFIER
- - - - -	TREE LINE	- - - - -	TEST HOLE LOCATION & IDENTIFIER
- - - - -	STONE BOUND	- - - - -	LIMIT OF WORK
- - - - -	IRON PIN	- - - - -	CENTER LINE STATIONING
- - - - -	IRON PIN TO BE SET	- - - - -	RETAINING WALL
- - - - -	BUILDING SETBACK LINE		
- - - - -	IRRIGATION SLEEVE		

**ZONING NOTE**

THE ZONING/REGULATORY SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDERS/OWNER MUST CONSULT WITH THE TOWNCLERK TO ENSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**811 DigSafe**  
 MAINE/NEW HAMPSHIRE  
 CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION  
 digsafe.com  
 DIAL 811 OR 1-888-DIG SAFE  
 1-888-344-7233

ALSO:  
 CONTACT THE EXETER DEPARTMENT OF PUBLIC WORKS (603) 773-6157

- EASEMENTS, RIGHTS & RESTRICTIONS:**
- MAP 47 LOT 7 IS SUBJECT TO THE TAKING OF RIGHTS OF ACCESS, LIGHT, AIR AND VIEW AND THE RESERVATION OF ONE (1) POINT OF ACCESS AS DESCRIBED IN BK 2770, PG 615.
  - MAP 47 LOT 6 IS SUBJECT TO THE TAKING OF RIGHTS OF ACCESS, LIGHT, AIR AND VIEW AND THE RESERVATION OF ONE (1) POINT OF ACCESS AS DESCRIBED IN BK 2274, PG 1184 AND BK 2770, PG 615.
  - MAP 47 LOT 8 IS SUBJECT TO THE EASEMENT GRANTED TO THE EXETER & HAMPTON ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BK 2782, PG 1633.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND DELINEATION PREPARED BY:  
 GOVE ENVIRONMENTAL SERVICES  
 BRENDAN J. CAUGHEY  
 CERTIFIED WETLAND SCIENTIST (#249)



**CERTIFICATION**

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/06.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTY THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

*Sigan*  
 DATE



- SURVEY NOTES:**
- THE EXISTING PLANNIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN APRIL 2018 AND JULY 2018.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
  - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
  - SURVEY CONTROL INFORMATION:  
 HORIZONTAL DATUM: NAD83  
 HORIZONTAL PROJECTION: NH STATE PLANE  
 VERTICAL DATUM: NAVD83  
 UNITS: US SURVEY FEET
  - TEST PIT LOCATIONS AS SHOWN ARE APPROXIMATE. THE TEST PITS WERE PERFORMED BY GEOTECHNICAL SERVICES, INC. IN MAY OF 2018 AND OCTOBER OF 2014 IN ACCORDANCE WITH:
  - THE LOCATION OF THE TREES SHOWN ON THIS PLAN THAT ARE GREATER THAN 20" DBH WERE FIELD LOCATED BY GOVE ENVIRONMENTAL SERVICES, INC.

- WETLAND NOTES:**
- THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MAY OF 2018 AND OCTOBER OF 2014 IN ACCORDANCE WITH:
- U.S. ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
  - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE 2016 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
  - NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0062

EXISTING CONDITIONS PLAN  
 MAP 47 LOTS 4-8

**GATEWAY AT EXETER**  
 170 EPPING ROAD, #27  
 EXETER, NEW HAMPSHIRE

NO. 40  
 DATE  
 REVISION

NOVEMBER 2019

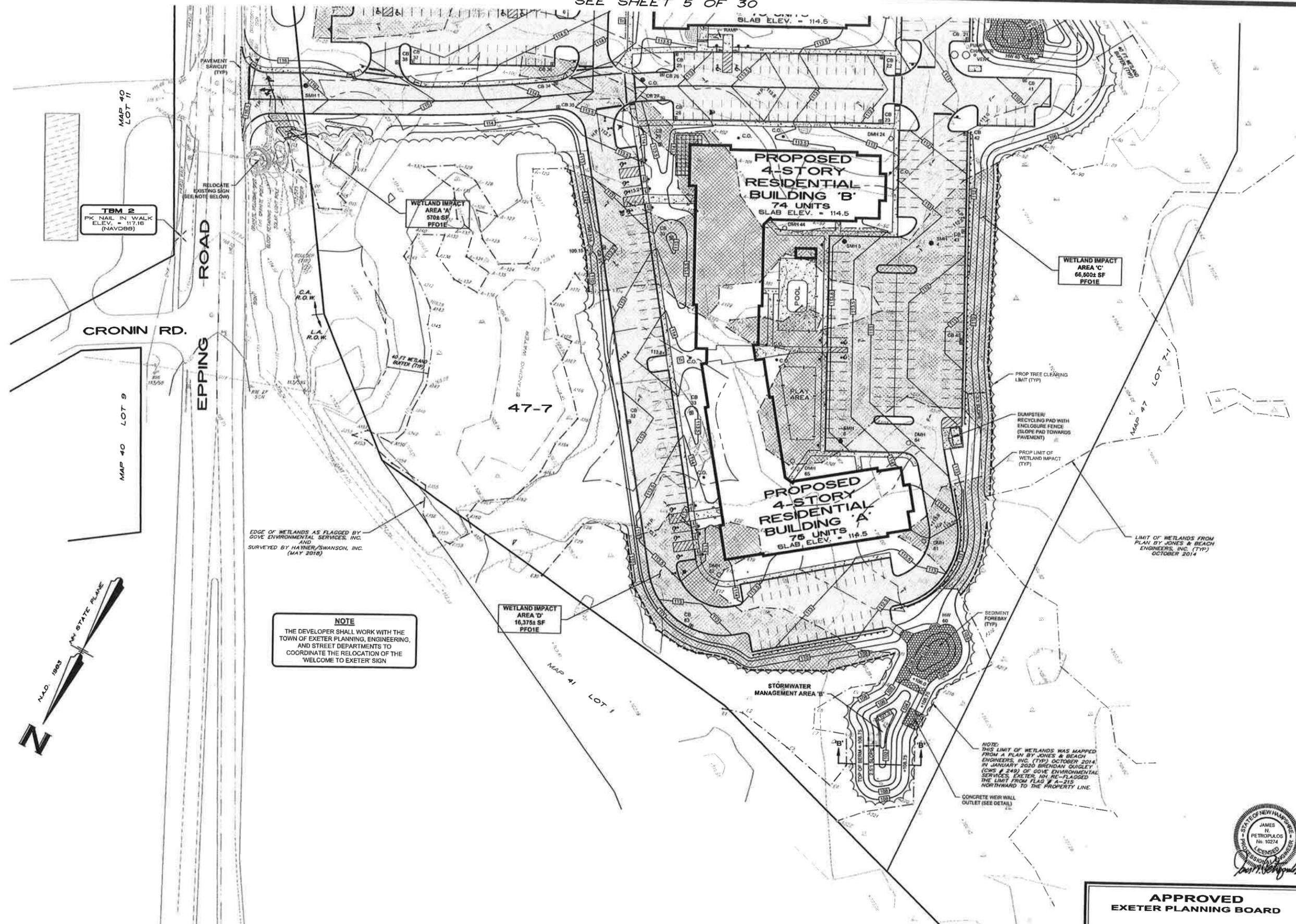
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SEE SHEET 5 OF 30



TBM 2  
PK NAIL IN WALK  
ELEV. = 117.16  
(NAVD89)

WETLAND IMPACT  
AREA 'A'  
570± SF  
PFOIE

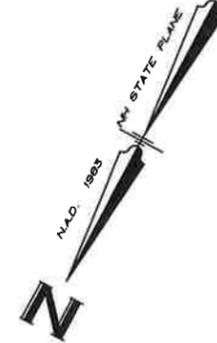
WETLAND IMPACT  
AREA 'C'  
66,800± SF  
PFOIE

WETLAND IMPACT  
AREA 'B'  
16,376± SF  
PFOIE

**NOTE**  
THE DEVELOPER SHALL WORK WITH THE  
TOWN OF EXETER PLANNING, ENGINEERING,  
AND STREET DEPARTMENTS TO  
COORDINATE THE RELOCATION OF THE  
'WELCOME TO EXETER' SIGN

EDGE OF WETLANDS AS FLAGGED BY  
GOVE ENVIRONMENTAL SERVICES, INC.  
AND  
SURVEYED BY HAYNER/SWANSON, INC.  
(MAY 2018)

**NOTE:**  
THIS LIMIT OF WETLANDS WAS MAPPED  
FROM A PLAN BY JONES & BEACH  
ENGINEERS, INC. (TYP) OCTOBER 2014  
IN JANUARY 2020 BRENDAN QUIGLEY  
(CWS # 249) OF GOVE ENVIRONMENTAL  
SERVICES, EXETER, NH RE-FLAGGED  
THE LIMIT FROM FLAG # 14-215  
NORTHWARD TO THE PROPERTY LINE.



NO.	DATE	REVISION
1	08/08/20	ADDRESS SECOND ROUND OF TOWN COMMENTS
2	08/10/20	ADDRESS TOWN REVIEW COMMENTS
3	08/10/20	ADDRESS TOWN REVIEW COMMENTS
4	08/10/20	ADDRESS TOWN REVIEW COMMENTS

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0502

**CASE No. 19-16**

**SITE GRADING PLAN**  
(MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
170 EPPING ROAD, #27  
EXETER, NEW HAMPSHIRE

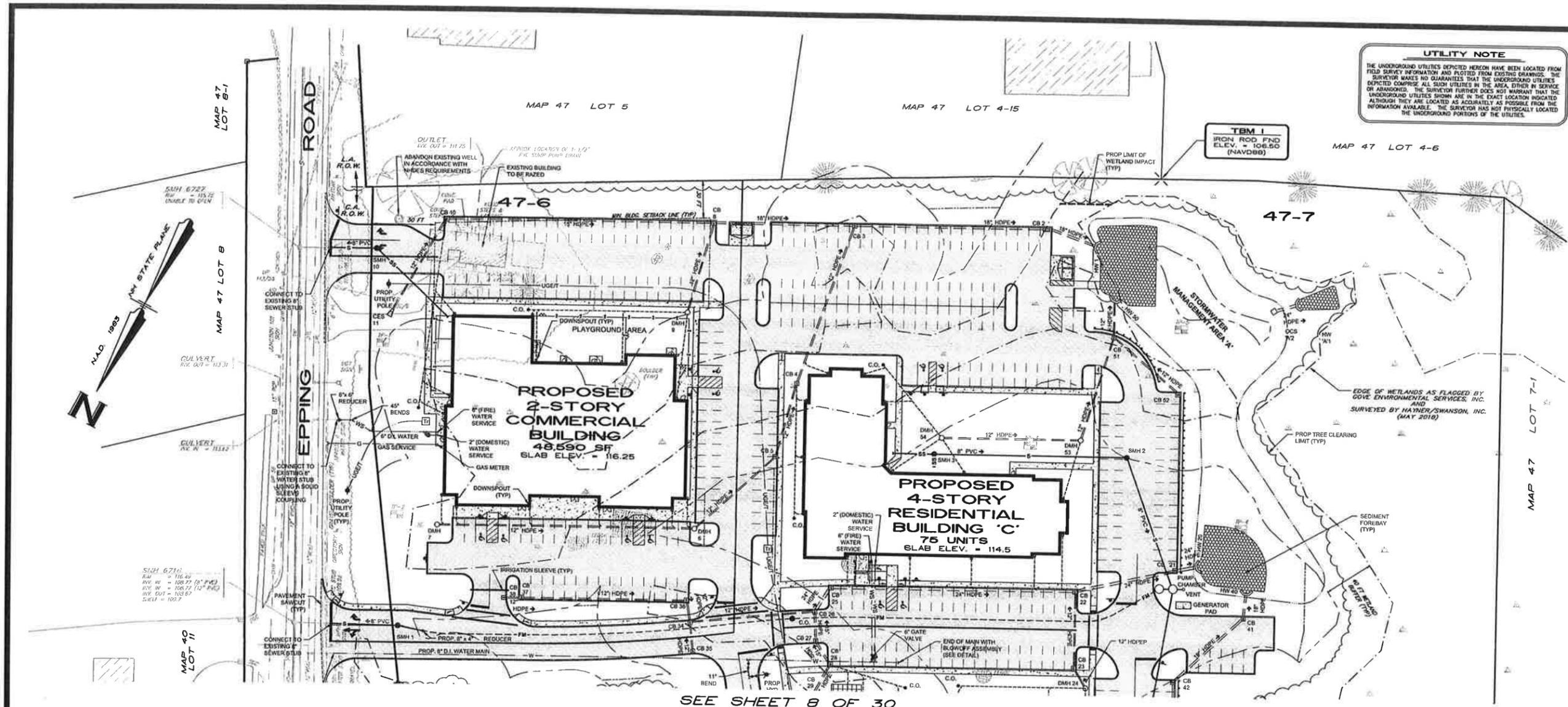


**APPROVED**  
**EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**HISI** Hayner/Swanson, Inc.  
Civil Engineering & Surveying  
10 Middlesex Turnpike  
Nashua, NH 03083  
(603) 887-2007  
www.hisinc.com

FILED 2020-11-06 10:54 AM  
6 03 30  
5525PP  
NOVEMBER 2019

**UTILITY NOTE**  
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



**DRAINAGE NOTES:**

- DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- ALL DRAINAGE PIPES SHALL BE HOPE-ADS N-12 (SOILTIGHT) OR APPROVED EQUAL. CATCH BASINS SHALL HAVE TYPE B FRAME AND COVERS, AND HAVE 4 FT SUMP UNLESS OTHERWISE NOTED.
- THIS SITE CONTRACTOR SHALL CONSTRUCT THE PROPOSED DRAIN LINES UP TO 5'-0" OF THE FACE ON THE BUILDING. IT SHALL BE THE BUILDING PLUMBING CONTRACTOR'S RESPONSIBILITY TO CONNECT THE ROOF DRAIN INTO THE SITE DRAIN LINE.

**NOTE**

THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO TOWN WATER, SEWER OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

**SANITARY SEWER NOTES:**

- ALL SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, CODE OF ADMINISTRATIVE RULES, CHAPTER EN-WQ 700, AND THE TOWN OF EXETER, NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- SEWER PIPE SHALL BE SOLID WALL-PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES.
- WHENEVER SEWERS MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
  - SEWER PIPE SHALL BE CLASS 32 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
  - JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
  - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL NOT BE LESS THAN 18 INCHES.
- THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF EXETER REPRESENTATIVE BEFORE ANY BACKFILLING. THREE (3) DAYS NOTICE SHALL BE GIVEN FOR INSPECTION REQUESTS.
- SEWER MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED BY THE CONTRACTOR WITH AN AUTHORIZED TOWN OF EXETER REPRESENTATIVE AS WITNESS.

**POWER NOTES:**

- ALL POWER RELATED WORK SHALL COMPLY WITH UTIL ENERGY SYSTEMS, INC. STANDARDS AND SPECIFICATIONS. PRIOR TO THE PLANS BEING SIGNED (FINAL APPROVAL) THE UTILITY COMPANY DESIGN SHALL BE INCORPORATED IN THIS SITE PLAN.
- UTILITY POLE AND OVERHEAD WIRE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE FINAL LOCATIONS WITH UTIL ENERGY SYSTEMS, INC. PRIOR TO ANY POWER/TELEPHONE WORK.
- ALL PRIMARY AND SECONDARY SERVICE LOCATIONS ARE APPROXIMATE AND ARE SHOWN FOR COORDINATION PURPOSES ONLY.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- THE SECONDARY POWER RUN FROM THE TRANSFORMER PAD TO THE BUILDING SHALL BE PERFORMED BY THE PROJECT'S ELECTRICAL CONTRACTOR.

**GAS NOTES:**

- THE DEVELOPER SHALL COORDINATE THE EXACT SIZE AND LOCATION OF THE NATURAL GAS MAIN AND SERVICES WITH UTIL ENERGY SYSTEMS, INC. PRIOR TO THE PLANS BEING SIGNED (FINAL APPROVAL) THE UTILITY COMPANY DESIGN SHALL BE INCORPORATED IN THIS SITE PLAN.

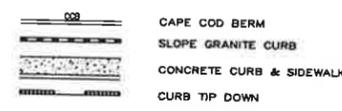
**TELEPHONE NOTES:**

- ALL TELEPHONE RELATED WORK SHALL COMPLY WITH CONSOLIDATED COMMUNICATIONS STANDARDS AND SPECIFICATIONS. PRIOR TO THE PLANS BEING SIGNED (FINAL APPROVAL) THE UTILITY COMPANY DESIGN SHALL BE INCORPORATED IN THIS SITE PLAN. ALL TELEPHONE LINE LOCATIONS ARE APPROXIMATE AND SHOWN FOR COORDINATION PURPOSES ONLY.

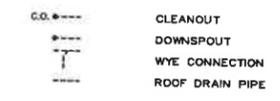
**WATER NOTES:**

- REFERENCE THE TOWN OF EXETER WATER DEPARTMENT SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
- ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 6'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
- THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- MINIMUM COVER ON ALL WATER LINES IS 5'-6".
- CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE (UNLESS OTHERWISE NOTED) AND SANITARY SEWER.
- INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH THE TOWN OF EXETER WATER DEPARTMENT, AND ALL INSPECTION FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE THE TOWN OF EXETER WATER DEPARTMENT A COPY OF RESULTS. THE TOWN OF EXETER WATER DEPARTMENT SHALL BE ON-SITE TO WITNESS TEST.
- ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH THE TOWN OF EXETER WATER DEPARTMENT SPECIFICATIONS.
- ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH THE TOWN OF EXETER WATER DEPARTMENT REQUIREMENTS.
- METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14-GAUGE SOLID COPPER, SIMPLEX BW2000, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALIZED TAPE, GRIFFOYN COMPANY, INC. TERRATAPE OR EQUAL.
- CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE TOWN OF EXETER WATER DEPARTMENT AND AFFECTED PROPERTY OWNERS.

**CURB LEGEND**



**ROOF DRAIN LEGEND**



**APPROVED EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

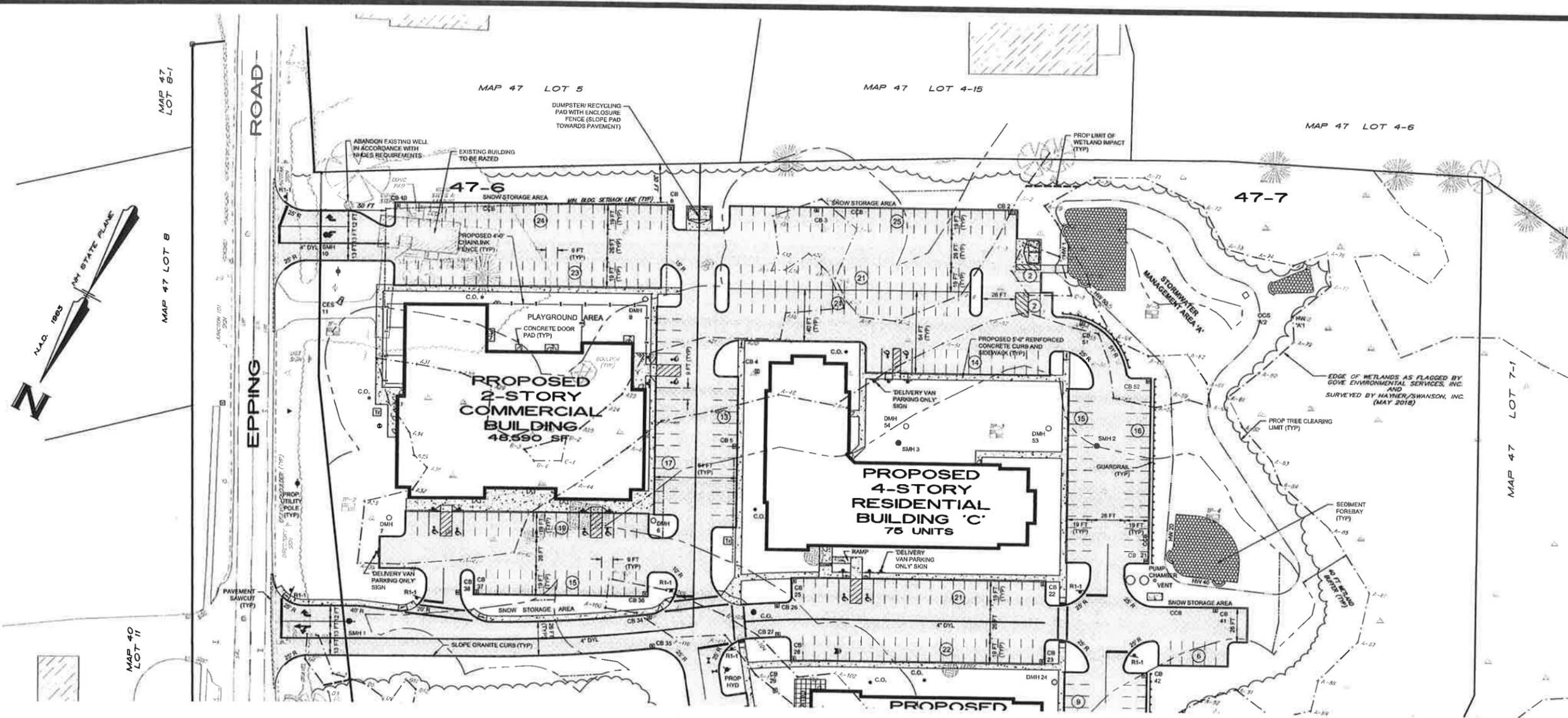
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE. 110 NASHUA, NH 03063 (603) 880-0502

**GATEWAY AT EXETER**  
 170 EPPING ROAD, N. 7TH ST.  
 EXETER, NEW HAMPSHIRE

NOVEMBER 2019

55325PFP





SEE SHEET 10 OF 30

SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS		
TEXT DIMENSIONS		
	R1-1	30"/30"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-B	12"/18"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8P	18"/9"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
		12"/18"

CURB LEGEND	
	CAPE CDD BERM
	SLOPE GRANITE CURB
	CONCRETE CURB & SIDEWALK
	CURB TIP DOWN

**NOTE**  
SEE SHEET 18 OF 30 FOR ADDITIONAL BUILDING DIMENSIONS AND AREA INFORMATION

- SITE LAYOUT NOTES:**
- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE, INCLUDING THE FOLLOWING:
    - (A) BASE LINE CONTROLS FOR THE BUILDING AREAS,
    - (B) PARKING LOT CORNERS AND MAJOR RADIUS POINTS,
    - (C) CATCH BASINS AND MANHOLE CENTERLINE POINTS.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
  - ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - STAIR AND DOORWAY LOCATIONS AS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
  - ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4-INCH YELLOW PAINT SHALL BE USED FOR RESERVED PARKING SPACES AND ROADWAY CENTERLINE.
  - ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

NO.	DATE	REVISION
1	01/01/20	ADDRESS TOWN REVIEW COMMENTS
2	04/01/20	ADDRESS TOWN REVIEW COMMENTS
3	05/01/20	ADDRESS SECOND BOARD OF TOWN COMMENTS

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 860-0502

**SITE LAYOUT PLAN**  
(MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
170 EPPING ROAD, N.E. 177  
EXETER, NEW HAMPSHIRE



**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**HESI** Engineers/Surveyors, Inc.  
Civil Engineers/Lead Surveyors  
117 Middlebury Turnpike  
Nashua, NH 03063  
(603) 883-2007  
www.hesiengineers.com

FIELD BOOK: 12345678 | THIS LOG: A 12345678901234567890 | SCALE: 1" = 40'  
DATE: 05/22/2020 | SHEET: 9 OF 30 | 55325PP | 16 NOVEMBER 2019

SEE SHEET 9 OF 30

BUILDING 'C'  
75 UNITS

PROPOSED  
4-STORY  
RESIDENTIAL  
BUILDING 'B'  
74 UNITS

PROPOSED  
4-STORY  
RESIDENTIAL  
BUILDING 'A'  
75 UNITS

47-7

CRONIN RD.

EPHING ROAD

MAP 40 LOT 11

MAP 40 LOT 9

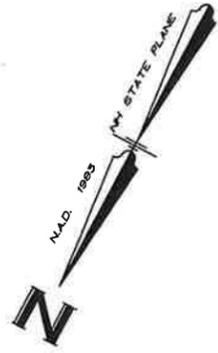
MAP 47 LOT 71

MAP 41 LOT 1

EDGE OF WETLANDS AS FLAGGED BY  
GOVE ENVIRONMENTAL SERVICES, INC.  
AND  
SURVEYED BY HAYNER-SWANSON, INC.  
(MAY 2018)

LIMIT OF WETLANDS FROM  
PLAN BY JONES & BEACH  
ENGINEERS, INC. (TYP)  
OCTOBER 2014

NOTE:  
THIS LIMIT OF WETLANDS WAS MAPPED  
FROM A PLAN BY JONES & BEACH  
ENGINEERS, INC. (TYP) OCTOBER 2014.  
IN JANUARY 2020 BRENDAN O'NEILY  
(CNS # 249) OF GOVE ENVIRONMENTAL  
SERVICES, EXETER, NH RE-FLAGGED  
THE LIMIT FROM FLAG # A-315  
NORTHWARD TO THE PROPERTY LINE.



NO.	DATE	REVISION
1	01/17/20	ADDRESS BOOK COMMENTS
2	01/17/20	ADDRESS INCKE COMMENTS
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PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03063 (603) 880-0902

CASE No. 19-16

SITE LAYOUT PLAN  
(MAP 47, LOTS 6 & 9)  
**GATEWAY AT EXETER**  
170 EPPING ROAD, N.E. 177  
EXETER, NEW HAMPSHIRE

NOVEMBER 2018

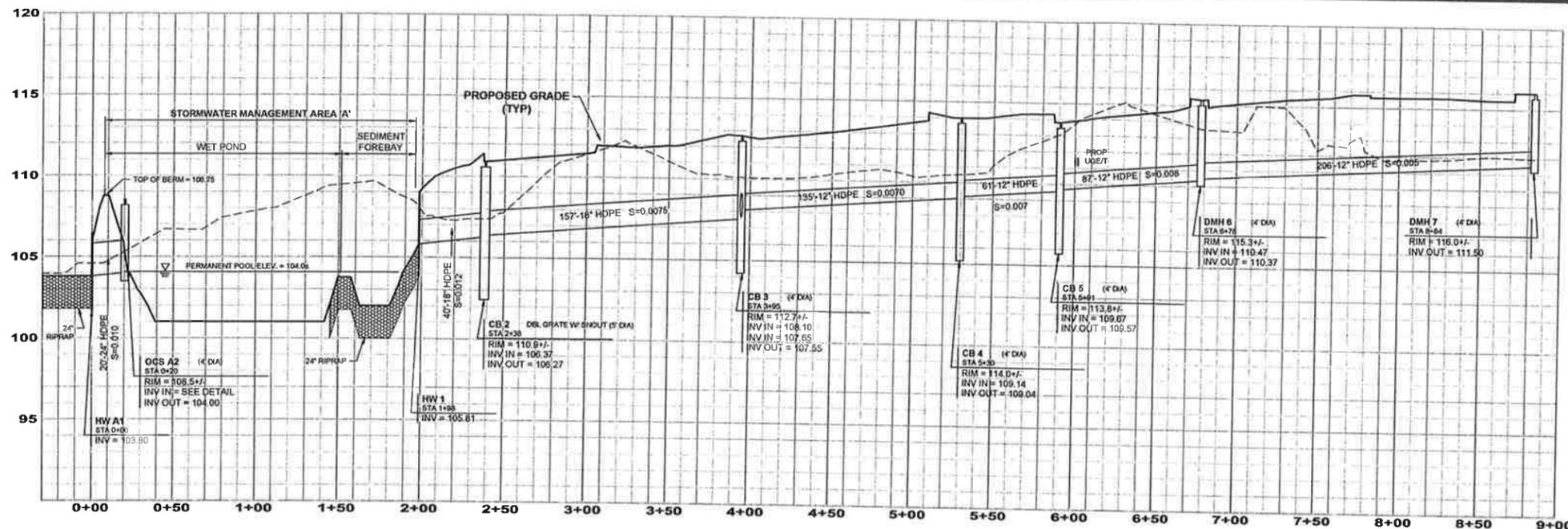
5532SPF  
NOV 16 2018



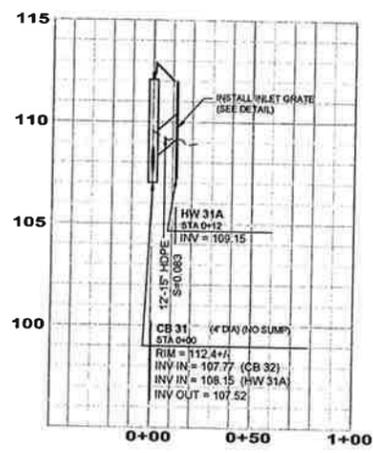
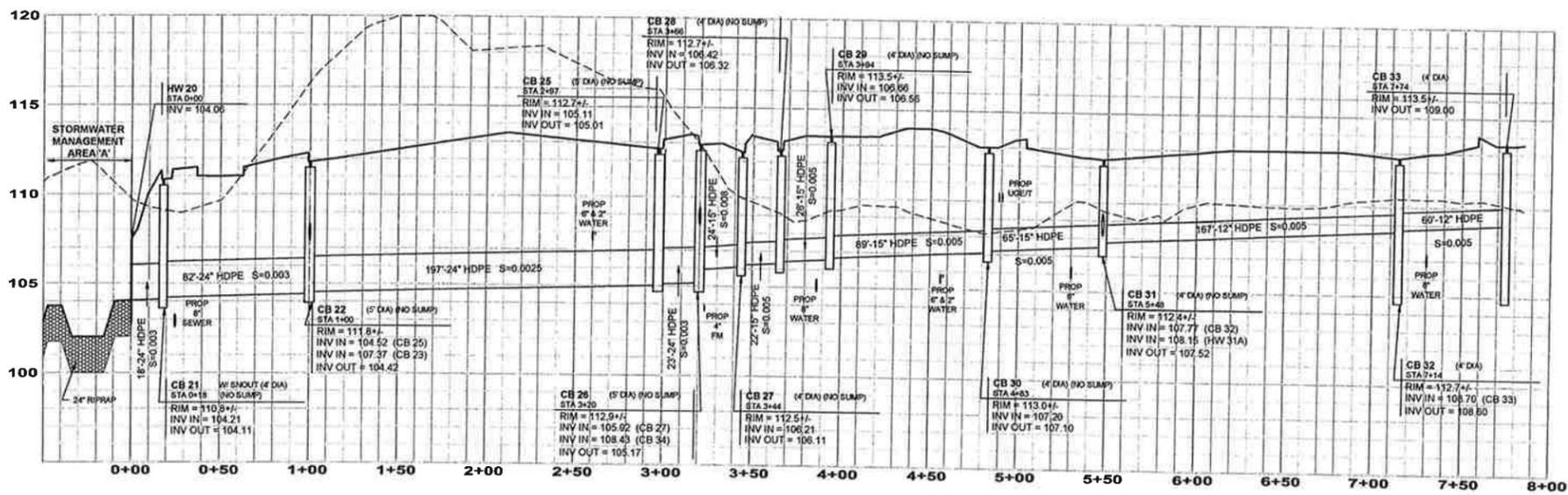
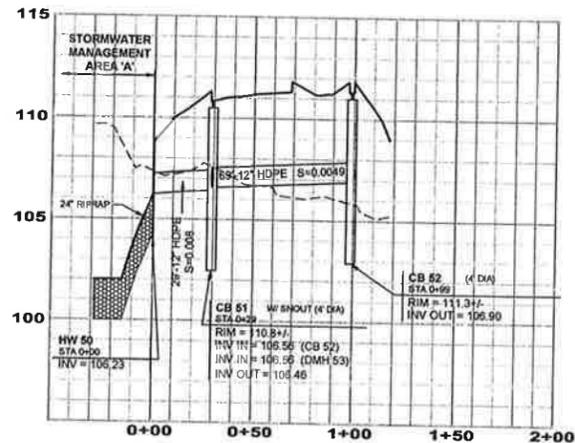
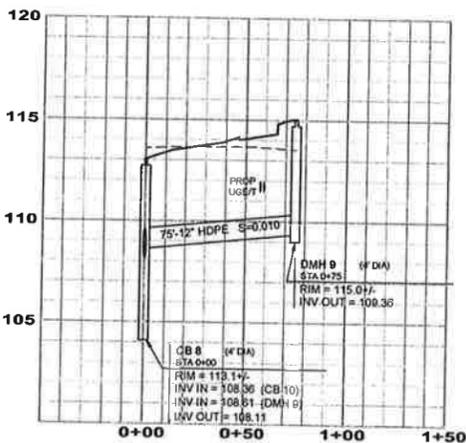
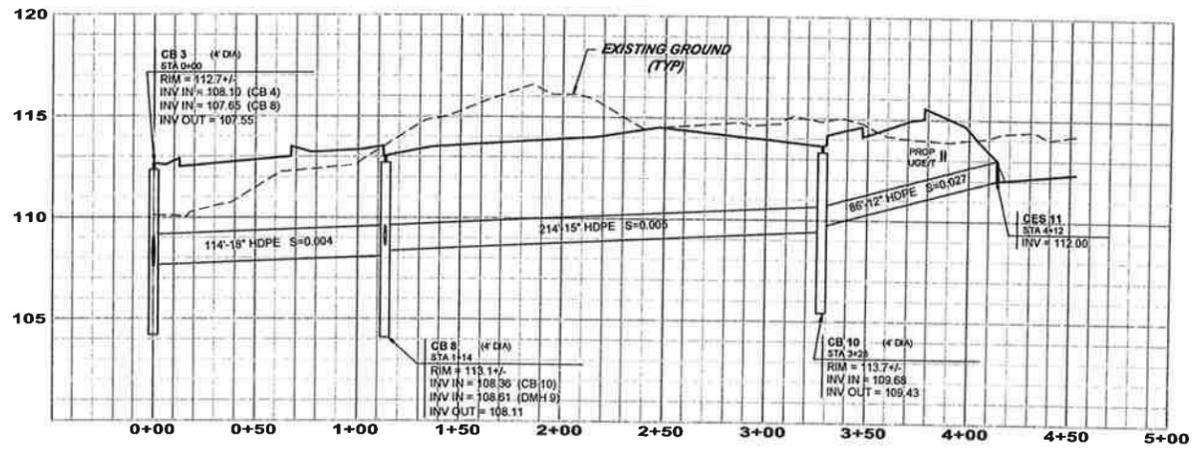
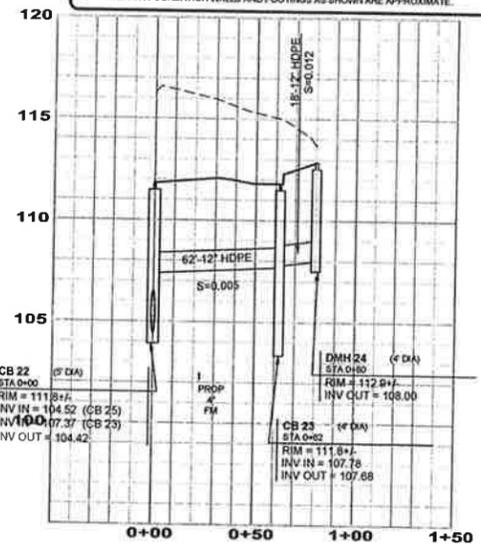
**APPROVED**  
EXETER PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_





- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 4" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
  - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
  - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.



**DRAINAGE**



**APPROVED EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY PROFILES (MAP 47, LOTS 6 & 7)

**GATEWAY AT EXETER**

170 EPPING ROAD NEW STE  
EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0002

DATE: NOVEMBER 2019

PROJECT NO: 5532SFP

SCALE: AS SHOWN

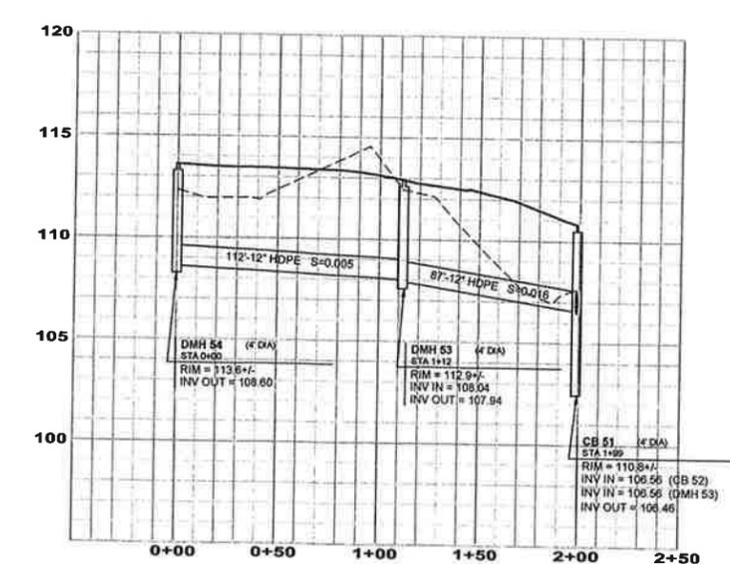
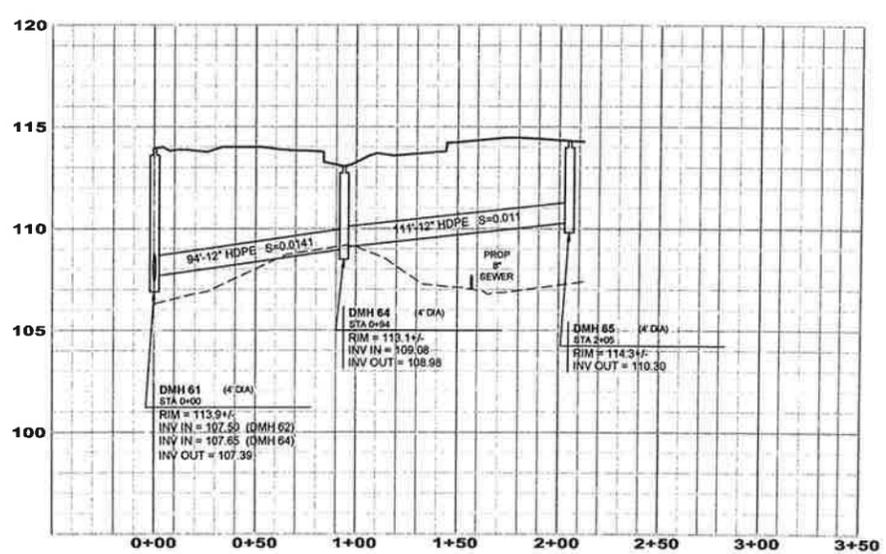
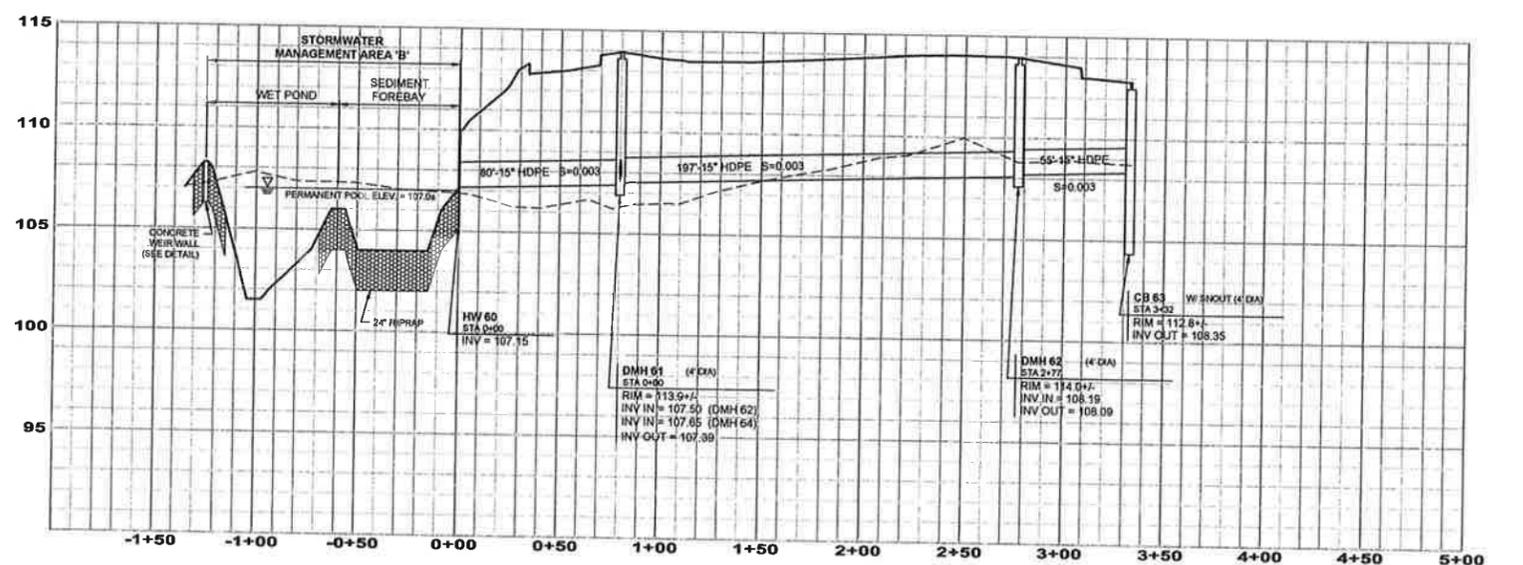
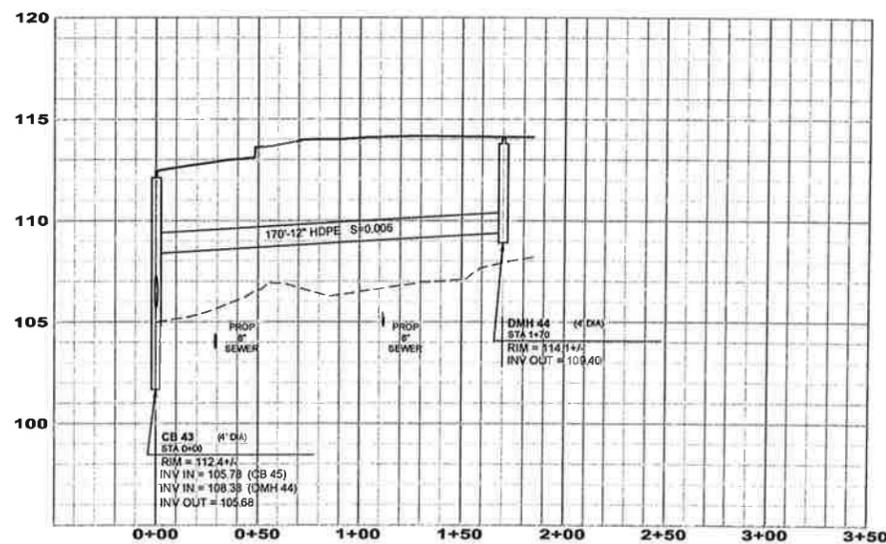
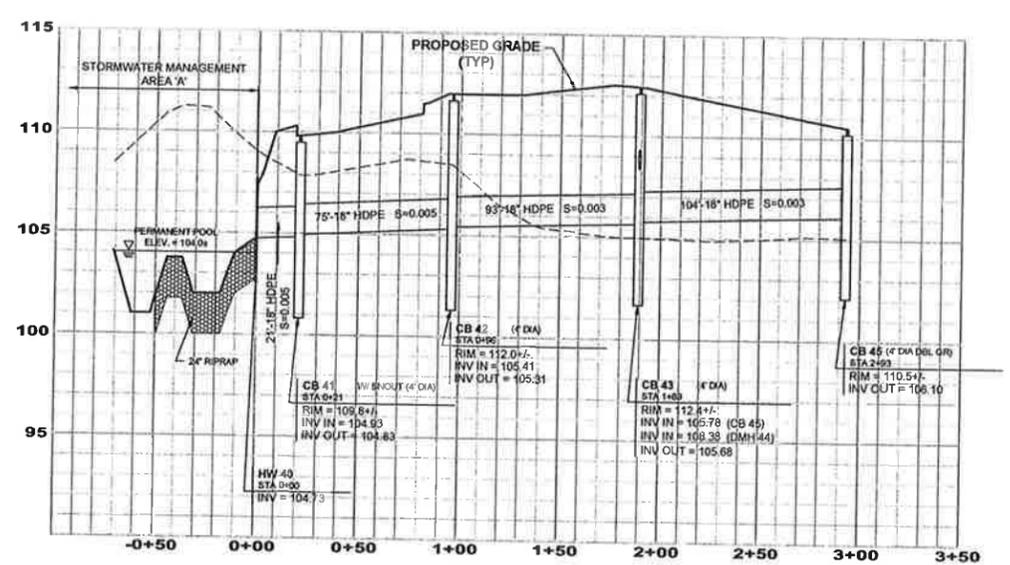
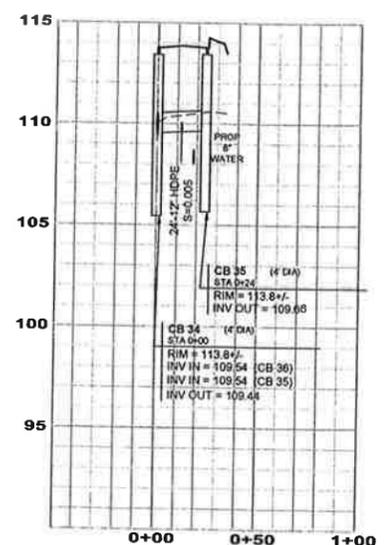
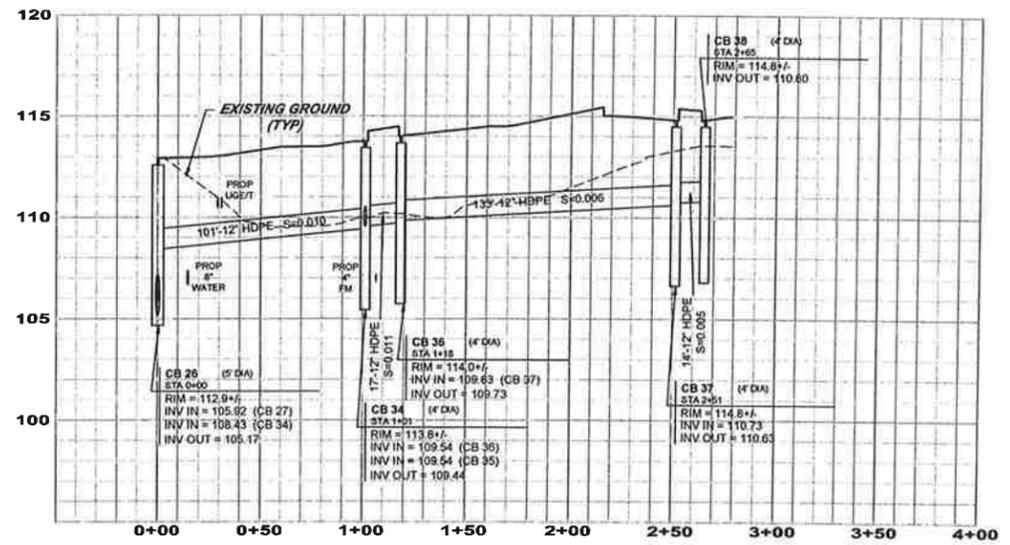
FIELD BOOK: 12181234 DWG. LOC. 2: 000015332/01/15332\_SFP19

DATE: 11/15/19

BY: [Signature]

APP. BY: [Signature]

DATE: [ ]



- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
  - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
  - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.



**APPROVED EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY PROFILES (MAP 47, LOTS 6 & 7)

**GATEWAY AT EXETER**

170 EPPING ROAD, NEW HAMPSHIRE

EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03083 (603) 880-0002

NO. DATE BY

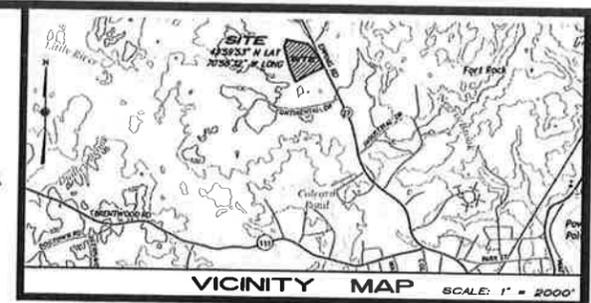
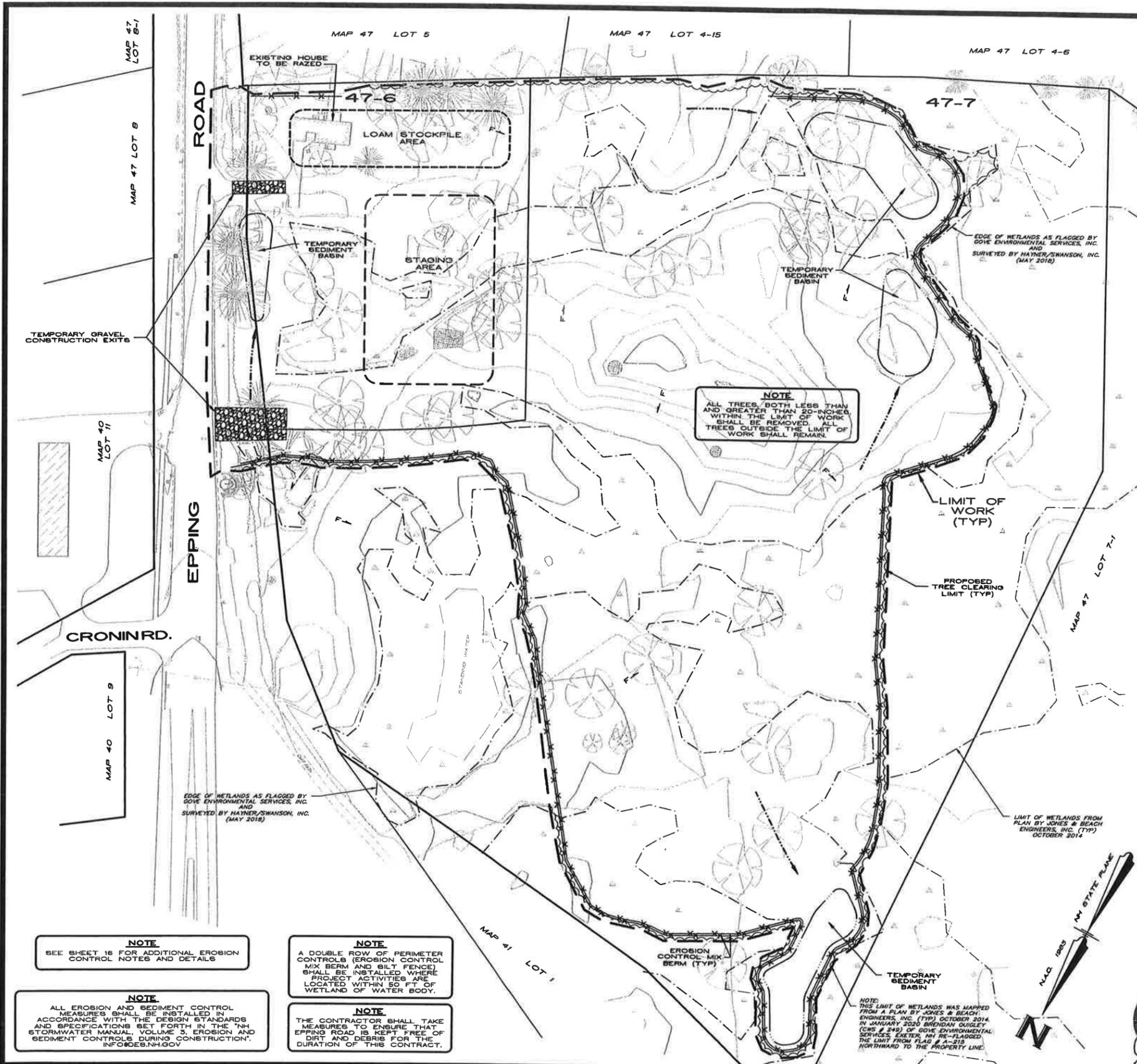
3	08/20/20	ADDRESS RECORD OF TOWN COMMENTS
2	04/06/20	ADDRESS RECORD OF TOWN COMMENTS
1	01/01/20	ADDRESS TOWN REVIEW COMMENTS

NO. DATE BY

13 OF 30 5532SPPP 08\* FOR/NOV/19 1"=40'/4" DATE 11/16/2019

© Hayner/Swanson, Inc.  
Civil Engineers/Lead Surveyors  
James H. Petropoulos, No. 10274  
1000 State Street, Concord, NH 03301  
(603) 883-2077  
www.haynerswanson.com

NOVEMBER 2019



**CONSTRUCTION SEQUENCE (PHASE I):**

1. INSTALL EROSION CONTROL MIX BERMS AND TEMPORARY GRAVEL CONSTRUCTION EXITS. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. STORMWATER PONDS, INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY. ALL STUMPS SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER.
3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DITCHES. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. STORMWATER PONDS, INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
4. PERFORM SITE GRADING OF BUILDING AND PARKING AREAS. ALL SLOPE AREAS SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
5. BEGIN BUILDING CONSTRUCTION.
6. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.

**GENERAL NOTES: (PHASE I)**

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. EARTH MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. THE PROJECT IS EXPECTED TO GENERATE A SIZEABLE VOLUME OF WETLAND HUMUS DURING THE DREDGING/GRUBBING OF THE IMPACTED AREAS. THE CONTRACTOR SHALL STOCKPILE THIS HUMUS MATERIAL AND REUSE IT WITHIN THE PROPOSED STORMWATER MANAGEMENT AREAS AND ON ALL SLOPES ADJACENT TO WETLAND AREAS.

**WILDLIFE NOTE:**

THE CONTRACTOR SHALL MAKE SURE HIGHER OUTSIDE CONSTRUCTION PERSONNEL RECEIVE TRAINING IN THE IDENTIFICATION OF THE FOLLOWING AND BE AWARE OF THEIR PROTECTED STATUS.

**BLACK RACER (state threatened)**

- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned

ALL OBSERVATIONS OF NORTHERN BLACK RACER SNAKES ENCOUNTERED FROM THE END OF SEPTEMBER THROUGH THE MONTH OF APRIL MUST BE IMMEDIATELY REPORTED TO THE NHFG DEPARTMENT (BRENDAN CLIFFORD 603-271-0493 OR MELISSA DOPERALSKI 603-271-1738).

ALL OBSERVATIONS OF EASTERN HOODNOOSE SNAKE SEEN AT ANY TIME MUST BE IMMEDIATELY REPORTED TO THE NHFG DEPARTMENT (MELISSA DOPERALSKI 603-271-1738 OR BRENDAN CLIFFORD 603-271-0493). PLEASE ATTEMPT TO PHOTOGRAPH EASTERN HOODNOOSE SNAKE TO SEND TO US FOR VERIFICATION.

**SPOTTED TURTLE (state threatened)**

Spotted turtle (state threatened)

- Small, mostly aquatic with black or dark brown with yellow spots.
- Fairly flat shell compared to Blanding's turtle

REPORT SIGHTINGS TO BOARD OF WILDLIFE at 603-271-2461. PLEASE REPORT PROMPTLY, NOTING SPECIFIC LOCATION AND DATE - PHOTOGRAPHS STRONGLY ENCOURAGED

**EROSION CONTROL LEGEND**

- EROSION CONTROL MIX BERM AND SILT FENCE
- SILT-SACK INLET PROTECTION DEVICES
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING (BIODEGRADABLE)
- STRAW BALE BARRIER
- RUNOFF DIRECTION
- DIVERSION DIRECTION



**APPROVED EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**NOTE**  
ALL TREES BOTH LESS THAN AND GREATER THAN 20-INCHES WITHIN THE LIMIT OF WORK SHALL BE REMOVED. ALL TREES OUTSIDE THE LIMIT OF WORK SHALL REMAIN.

**NOTE**  
SEE SHEET 16 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS

**NOTE**  
A DOUBLE ROW OF PERIMETER CONTROLS (EROSION CONTROL MIX BERM AND SILT FENCE) SHALL BE INSTALLED WHERE PROJECT ACTIVITIES ARE LOCATED WITHIN 50 FT OF WETLAND OF WATER BODY.

**NOTE**  
ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH IN THE 'NH STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION', INFO008.NH.GOV

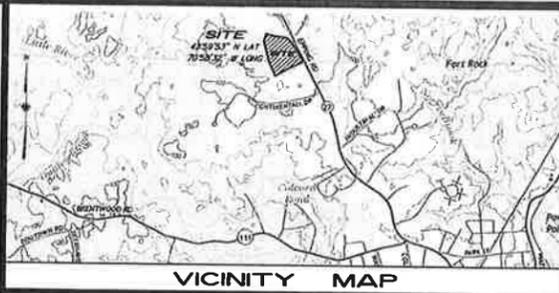
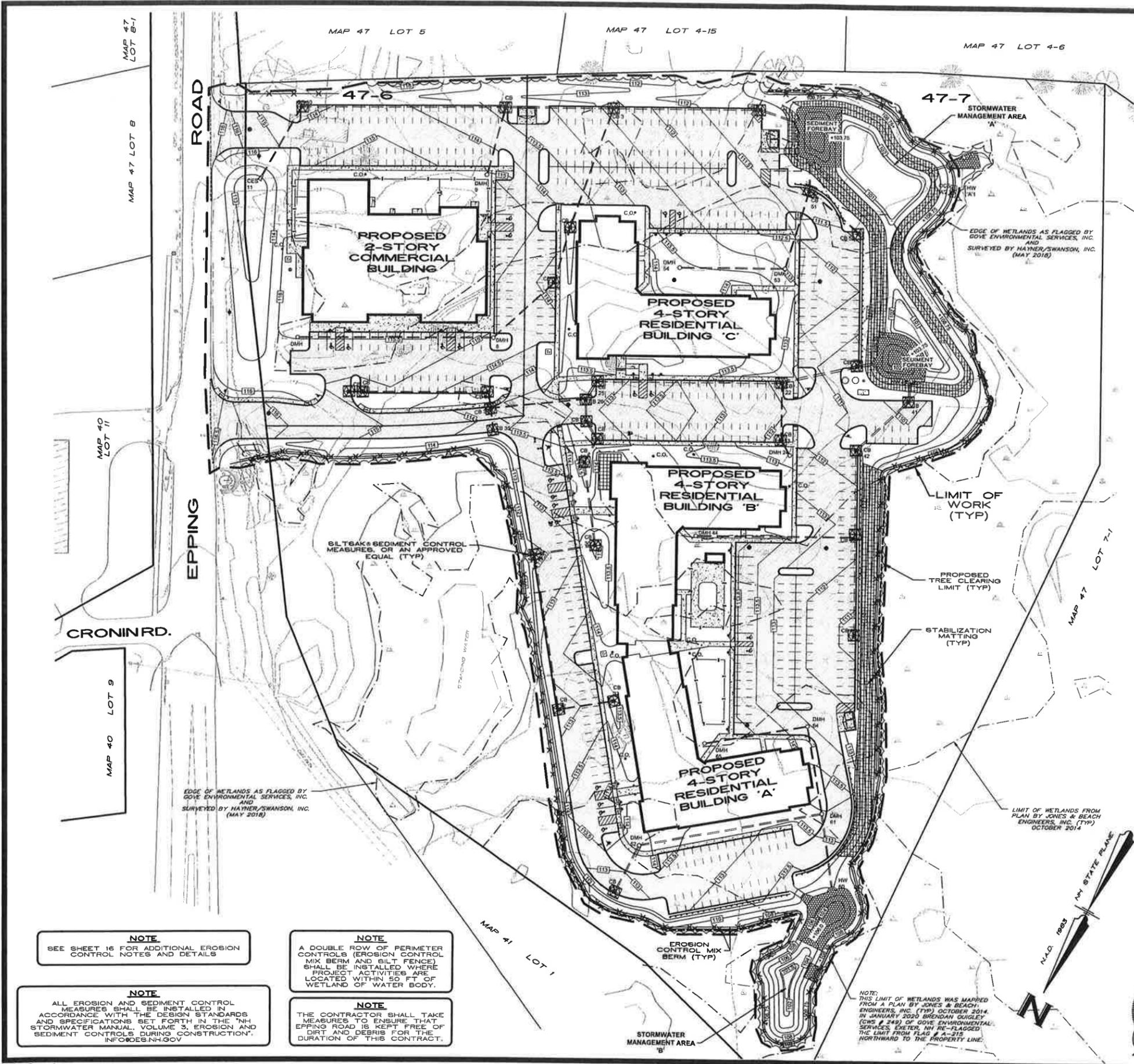
**NOTE**  
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT EPPING ROAD IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THIS CONTRACT.

**NOTE**  
THIS LIMIT OF WETLANDS WAS MAPPED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014 IN JANUARY 2020 BY BRENDAN OUGLEY (CWS # 149) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # 4-213 NORTHWARD TO THE PROPERTY LINE.

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0002

EROSION CONTROL PLAN (MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
170 EPPING ROAD, NEW EXETER, NEW HAMPSHIRE

DATE: 11/14/2024  
SCALE: 1" = 50'  
NOVEMBER 2019



**CONSTRUCTION SEQUENCE (PHASE II):**

1. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
2. PREPARE SITE FOR PAVING.
3. AS THE BUILDING IS COMPLETED, ALL DISTURBED AREA SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER.
4. LOAM AND SEED ALL DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
5. ALL PERMANENT STORM WATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
6. FINAL PAVING OF PARKING LOT.
7. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
8. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
9. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

**GENERAL NOTES: (PHASE II)**

1. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
2. EROSION CONTROL MIX BERMS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS.
3. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
4. ALL SEEDING AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
5. THE TEMPORARY GRAVEL CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.

**EROSION CONTROL LEGEND**

- EROSION CONTROL MIX BERM AND SILT FENCE
- SILT-SACK INLET PROTECTION DEVICES
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING (BIODEGRADABLE)
- STRAW BALE BARRIER
- RUNOFF DIRECTION
- DIVERSION DIRECTION

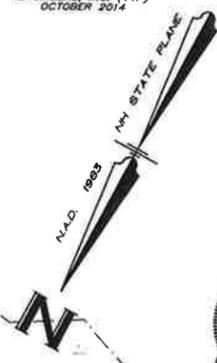
**NOTE**  
SEE SHEET 16 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS

**NOTE**  
A DOUBLE ROW OF PERIMETER CONTROLS (EROSION CONTROL MIX BERM AND SILT FENCE) SHALL BE INSTALLED WHERE PROJECT ACTIVITIES ARE LOCATED WITHIN 50 FT OF WETLAND OF WATER BODY.

**NOTE**  
ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH IN THE 'NH STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION', INFO@DESIGN.NH.GOV

**NOTE**  
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT EPPING ROAD IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THIS CONTRACT.

**NOTE**  
THIS LIMIT OF WETLANDS WAS MARKED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014. IN JANUARY 2020 BROADWAY GUILLET (GWS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # 4-215 NORTHWARD TO THE PROPERTY LINE.



**APPROVED EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**EROSION CONTROL PLAN (MAP 47, LOTS 6 & 7)**

**GATEWAY AT EXETER**  
170 EPPING ROAD, NEW EXETER, NH  
EXETER, NEW HAMPSHIRE

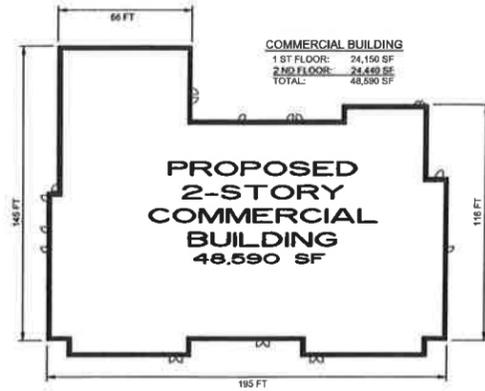
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0602

**HSI** Hayner/Swanson, Inc.  
Civil, Mechanical, Land Surveying  
131 Middlesex Turnpike  
Manchester, NH 03103  
(603) 882-2207  
www.hsi-engineers.com

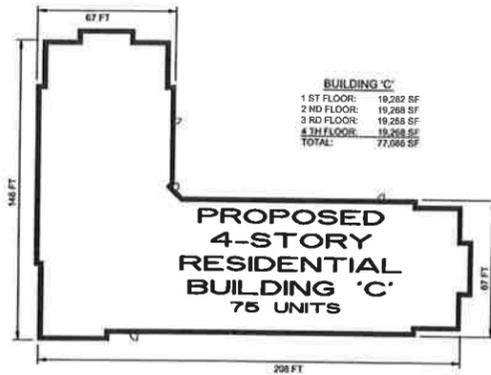
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SHEET: 15 OF 30 | 58325PFP | DATE: NOVEMBER 2019



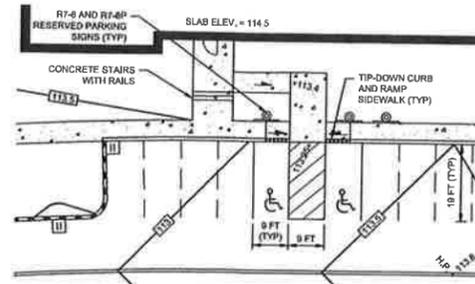




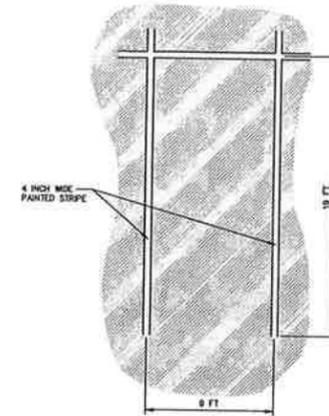
**BUILDING DIMENSIONS  
COMMERCIAL BUILDING**  
SCALE: 1" = 40'



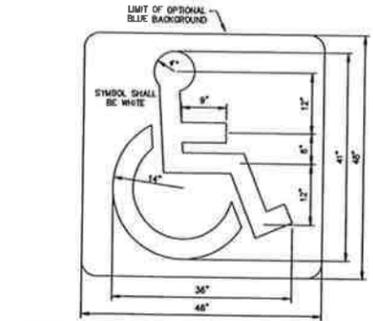
**BUILDING DIMENSIONS  
BUILDING 'C'**  
SCALE: 1" = 40'



**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'

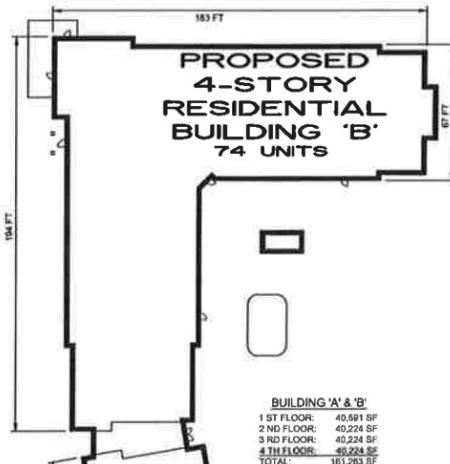


**TYPICAL PARKING  
STALL DETAIL**  
NOT TO SCALE

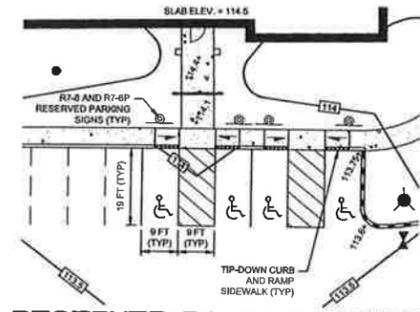


**ACCESSIBLE PARKING  
SPACE PAVEMENT  
MARKING**  
NOT TO SCALE

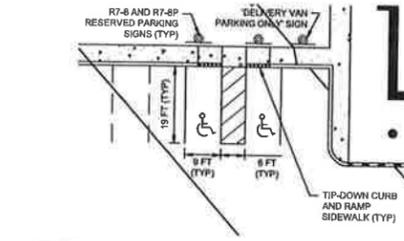
**NOTE**  
BUILDING DIMENSIONS AS SHOWN  
ARE APPROXIMATE. REFER TO  
ARCHITECTURAL PLANS FOR  
EXACT DIMENSIONS AND DETAILS.



**BUILDING DIMENSIONS  
BUILDINGS A, B AND CLUBHOUSE**  
SCALE: 1" = 40'



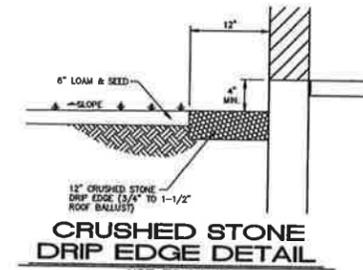
**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



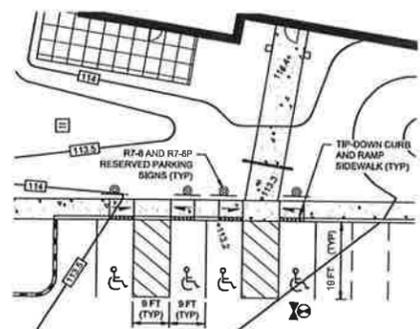
**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



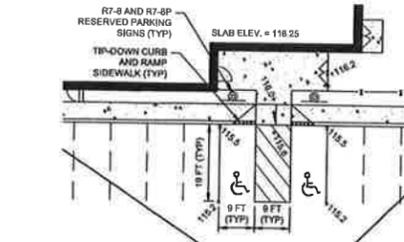
**STOP BAR DETAIL**  
NOT TO SCALE



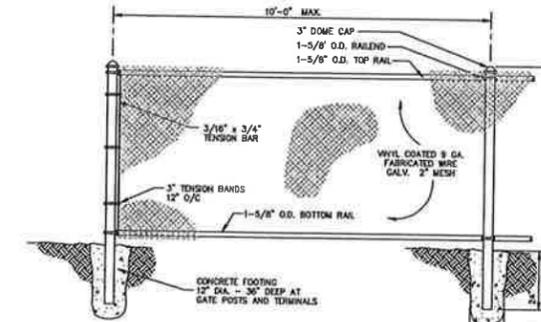
**CRUSHED STONE  
DRIP EDGE DETAIL**  
NOT TO SCALE



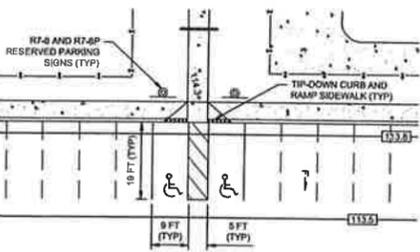
**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



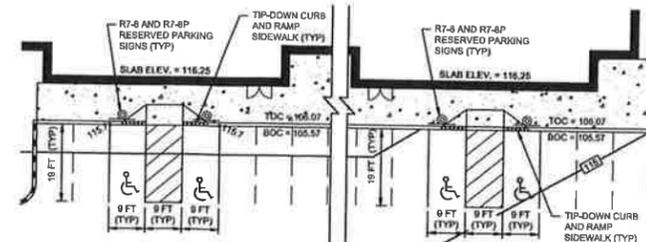
**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



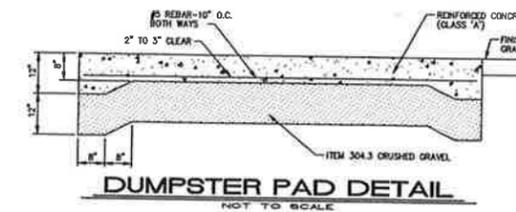
**CHAINLINK (4'-0")  
FENCE DETAIL**  
NOT TO SCALE



**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



**RESERVED PARKING DETAIL**  
SCALE: 1" = 20'



**DUMPSTER PAD DETAIL**  
NOT TO SCALE



**APPROVED  
EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DATE	REVISIONS
1		
2		
3		

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0902

DETAIL SHEET 6 - GENERAL SITE  
(MAP 47)  
**GATEWAY AT EXETER**  
170 EPPING ROAD, NW 1/4  
EXETER, NEW HAMPSHIRE

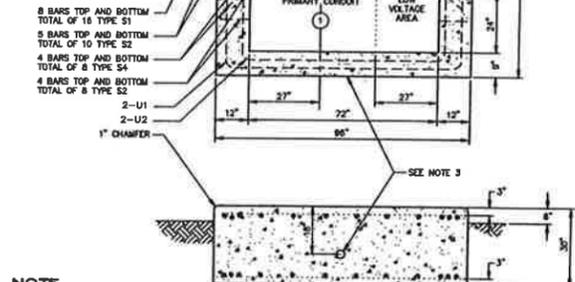
**HISI** Hayner/Swanson, Inc.  
Civil Engineer/Land Surveyor  
16 Middlefield, Exeter, NH 03824  
(603) 853-2077  
www.hisiconsultants.com

DATE: 11/16/2018  
TIME: 10:00 AM  
DRAWN: JAS  
CHECKED: JAS  
SCALE: AS SHOWN

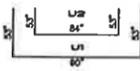
18 OF 30  
DATE: 11/16/2018

CASE No. 19-16

**NOTE**  
CONTRACTOR SHALL VERIFY EXACT SIZE AND LOCATION OF TRANSFORMER PAD WITH THE UTILITY COMPANY PRIOR TO CONSTRUCTION



**NOTE**  
SEE PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE STANDARDS AND DETAILS FOR NOTES AND ADDITIONAL DETAIL

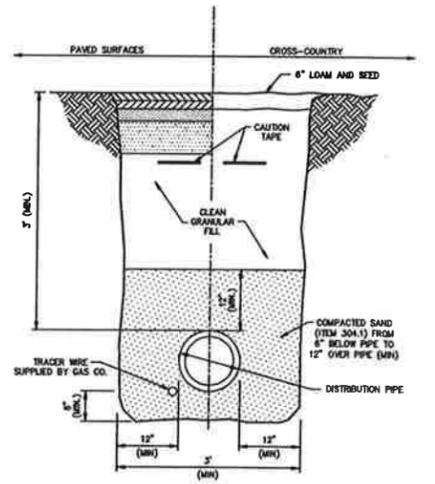


**750 KVA TRANSFORMER PAD**  
NOT TO SCALE

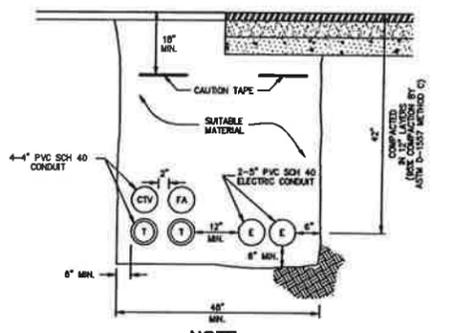
TYPE	NO.	LENGTH	TOTAL
S1	10	4'-6"	72'-0"
S2	10	7'-6"	75'-0"
S3	8	0'-6"	4'-0"
S4	8	2'-0"	18'-0"

CONC VOLUME=4.44 CY  
TOP SECTION ONLY

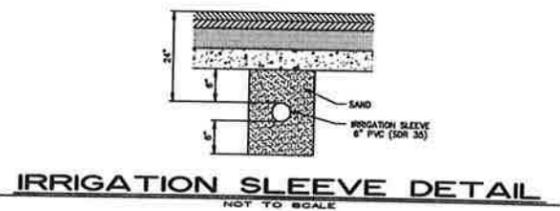
**NOTE**  
THE DETAILS SHOWN ON THIS SHEET ARE FOR GENERAL PURPOSES ONLY. THE CONTRACTOR SHALL CONSTRUCT THE OVERHEAD AND UNDERGROUND UTILITY SYSTEM (FOR POWER AND TELECOMMUNICATIONS) IN ACCORDANCE WITH THE UTILITY COMPANIES SPECIFICATIONS AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL COORDINATE THIS EFFORT PRIOR TO CONSTRUCTION.



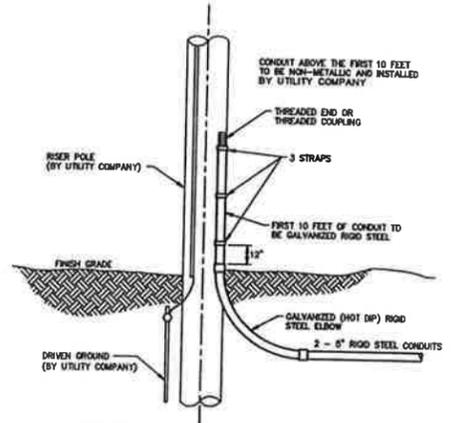
**GAS MAIN TRENCH SECTION**  
NOT TO SCALE



**TYPICAL UTILITY TRENCH**  
NOT TO SCALE



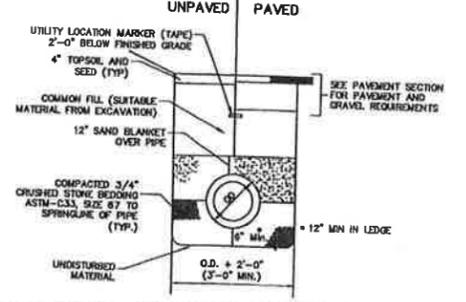
**IRRIGATION SLEEVE DETAIL**  
NOT TO SCALE



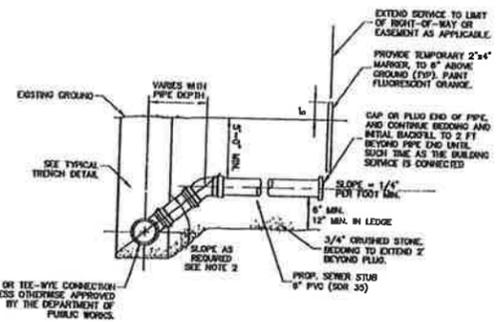
**ELECTRIC RISER PIPE INSTALLATION DETAIL**  
NOT TO SCALE

**PVC PIPE TESTING**

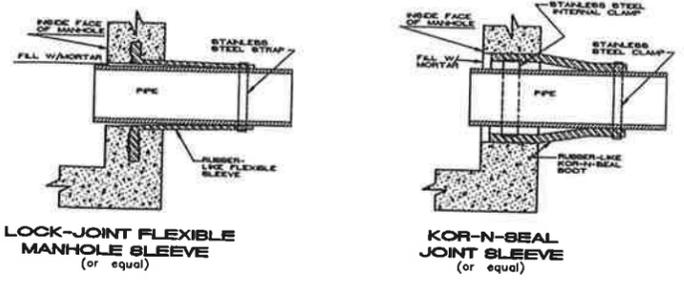
- LOW PRESSURE AIR TEST (IN LIEU OF INFILTRATION OR EXFILTRATION TEST) SHALL BE USED TO TEST GRAVITY SEWERS IN ACCORDANCE WITH ENR-WH 704.07. THE CONTRACTOR SHALL PERFORM LEAKAGE TESTING BY MEANS OF LOW PRESSURE AIR, IN ACCORDANCE WITH ASTM F 1417-92 (2009) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINE USING LOW PRESSURE AIR" OR "UMBRELL PVC PIPE ASSOCIATION UN-6 LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPES". IN GENERAL, THE USE OF SEALANTS, APPLIED FROM THE INSIDE OF THE PIPE, WILL NOT BE APPROVED.
- DEFLECTION TESTS (V.C. SEWER PIPE ONLY): A MAXIMUM OF 3% OF INSIDE PIPE DIAMETER DEFLECTION IN THE PIPE DIAMETER WILL BE ALLOWED. DEFLECTION SHALL BE MEASURED AS THE REDUCTION IN THE VERTICAL DIAMETER OF THE PIPE. TESTING SHALL BE DONE ON ALL PVC PIPE, USING EITHER A RIGID "NO-NO-GO" DEVICE MADE AS RECOMMENDED BY JOHNS-MANNVILLE OR BY AN APPROVED DEFLECTOMETER. TESTING PERSONNEL, APPARATUS AND EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR. TESTING SHALL NOT BE DONE UNTIL AT LEAST 30 DAYS FOLLOWING INSTALLATION IN ACCORDANCE WITH ENR-WH 704.07(6).



**TYPICAL SEWER PIPE TRENCH**  
NOT TO SCALE



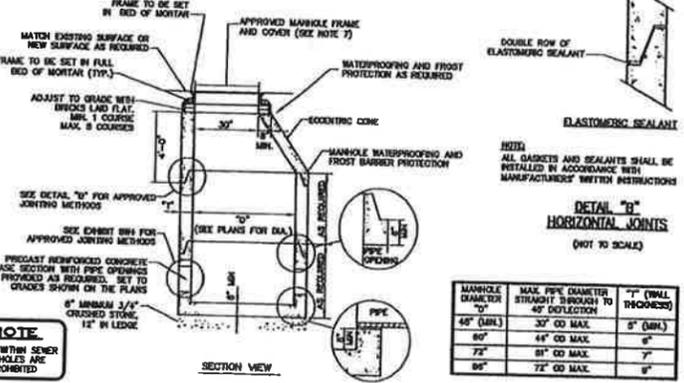
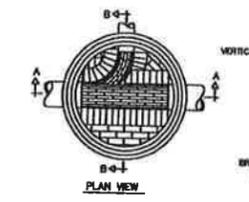
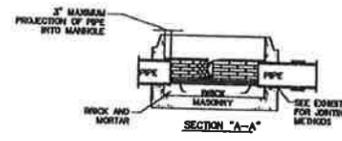
**DETAIL FOR SEWER SERVICE CONNECTION**  
NOT TO SCALE



**STANDARD MANHOLE - DETAILS**

**NOTE**  
PVC PIPE SHALL CONFORM WITH ASTM D3034 AND ASTM D3012

**NOTE**  
PVC JOINT SEALS SHALL CONFORM WITH ASTM D3212



**TYPICAL SEWER MANHOLE**

MANHOLE DIAMETER (")	MAX PIPE DIAMETER (")	1" (WALL THICKNESS) (")
48" (MIN)	30" CO MAX	5" (MIN)
60"	48" CO MAX	6"
72"	60" CO MAX	7"
84"	72" CO MAX	8"

**NOTE**  
STEPS WITHIN SEWER MANHOLES ARE PROHIBITED

- NOTES**
- ALL SERVICE CONNECTIONS TO BE 6" MINIMUM UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
  - USE CHIMNEY DETAIL WHERE SERVICE CONNECTION ENTERS SEWER AT GREATER THAN 90° TO THE HORIZONTAL.



**APPROVED EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES**
- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE EXTENDED SERVICE LIFE OF THE MANHOLE. THE MANHOLE SHALL BE AN ASSEMBLY OF PRECAST CONCRETE SECTIONS, WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND 15-20-HI LONGBOW INCLUDING THE FRAME AND COVER.
  - SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF EXETER AND NHCS REQUIREMENTS. INVERT AND SELF TO BE PLACED AFTER PASSING THE LEAKAGE TEST.
  - CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. BASE SECTION TO BE FULL.
  - MANHOLE CHANNELS INCLUDING CHANGE IN ALIGNMENT ARE TO BE BUILT ON A SMOOTH SLOPE.
  - IN CROSS COUNTRY AREAS BEYOND ROADWAY RIGHT-OF-WAYS, THE MANHOLE FRAME ELEVATION SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE.
  - FRAMES AND COVERS, MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH CURBWISE HEIGHT LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER.

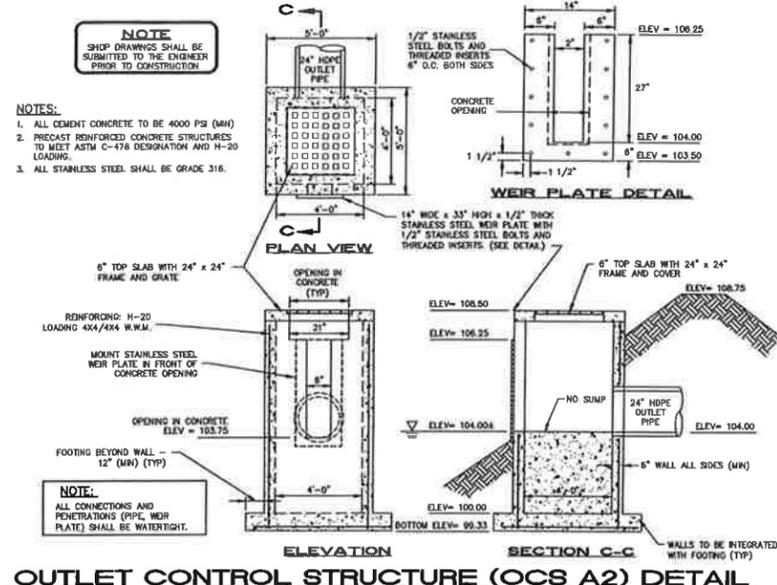
NO.	DATE	REVISION
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PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 THURFAIR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0502

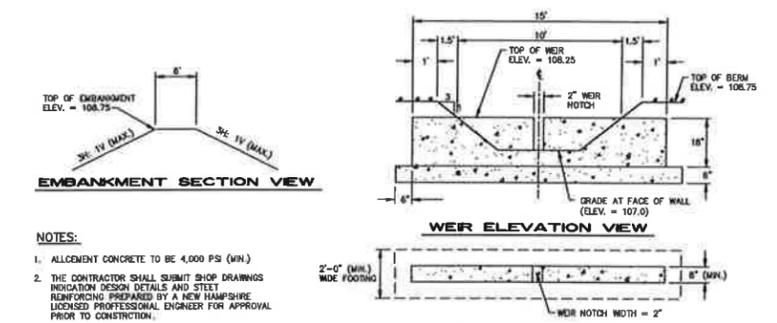
DETAIL SHEET 6 & 7  
**GATEWAY AT EXETER**  
170 EPPING ROAD, N.E. #7  
EXETER, NEW HAMPSHIRE

FIELD BOOK: 12/18/2018  
DATE: 11/06/2018  
DRAWN BY: J. CHAMBERLAIN  
CHECKED BY: J. CHAMBERLAIN  
DATE: 11/06/2018  
SCALE: AS SHOWN  
PROJECT NO.: 18-0001  
DATE: 6 NOVEMBER 2018

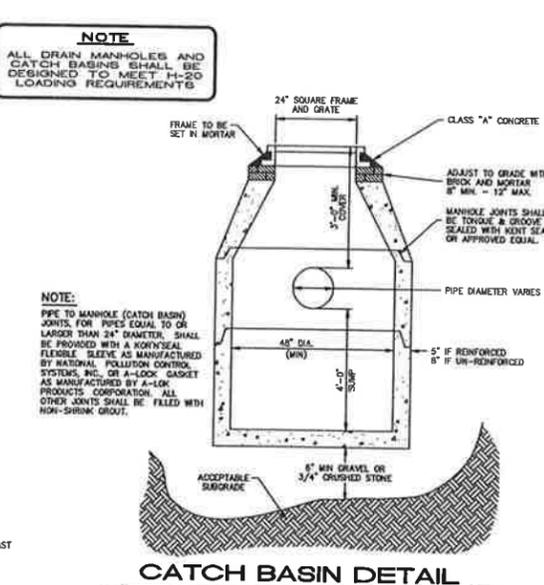
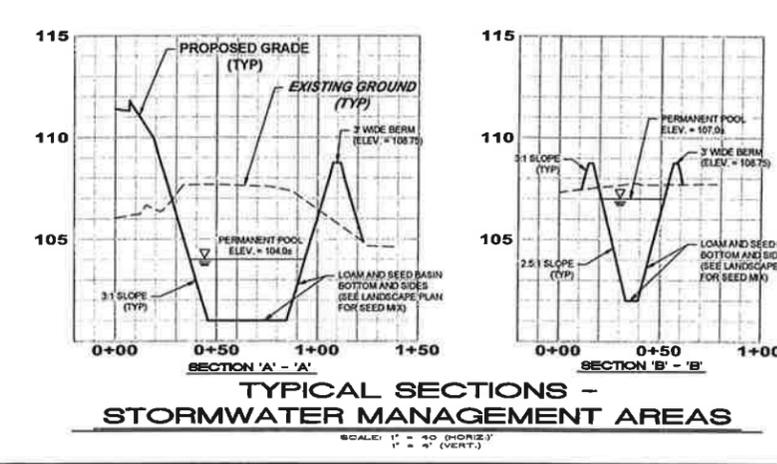
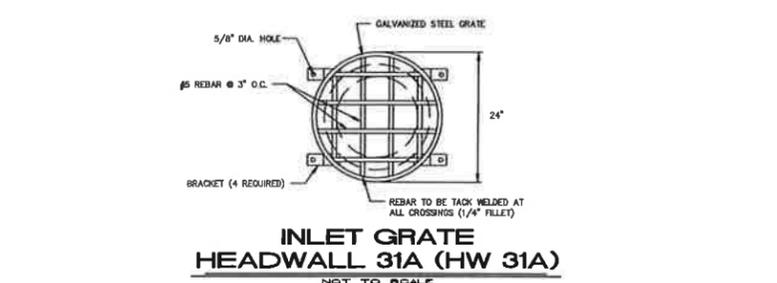
CASE No. 19-16



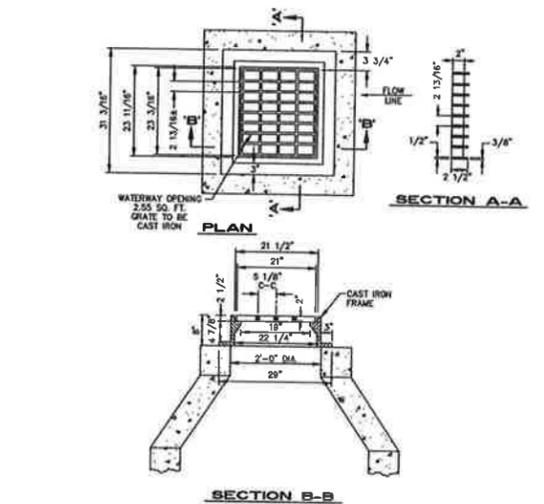
**OUTLET CONTROL STRUCTURE (OCS A2) DETAIL**  
NOT TO SCALE



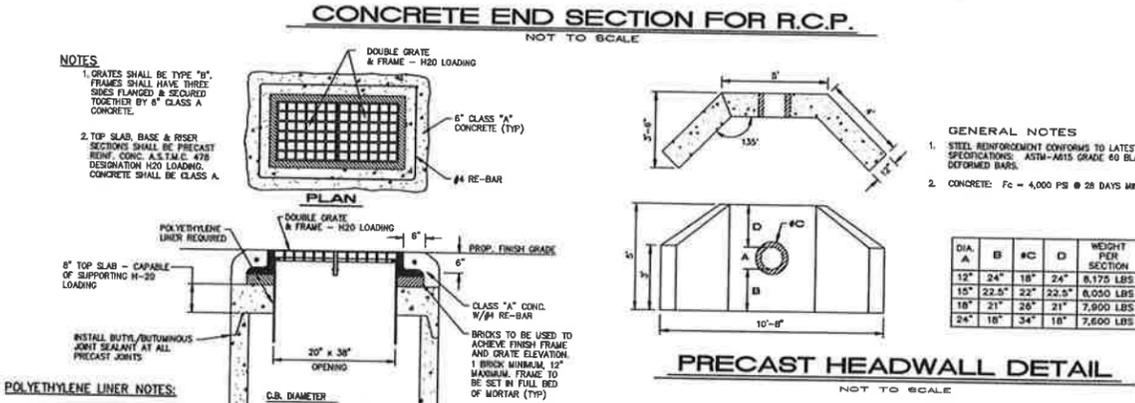
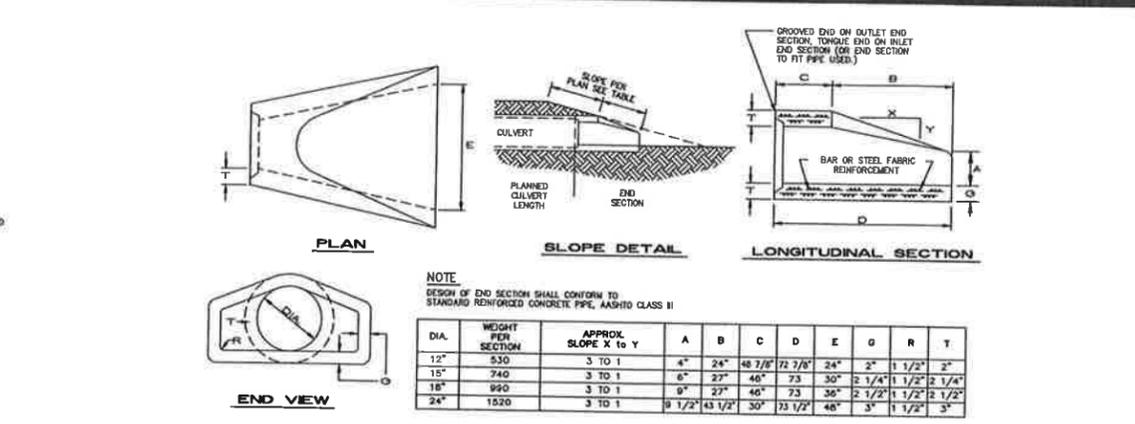
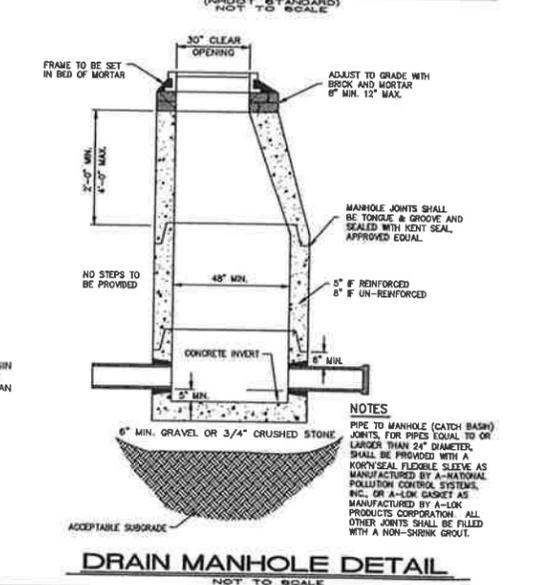
**CONCRETE WEIR WALL OUTLET AT SMA 'B'**  
NOT TO SCALE



**CATCH BASIN - TYPE B FRAME AND COVER DETAIL**  
NOT TO SCALE



**DOUBLE GRATE CATCH BASIN DETAIL**  
NOT TO SCALE



**PRECAST HEADWALL DETAIL**  
NOT TO SCALE

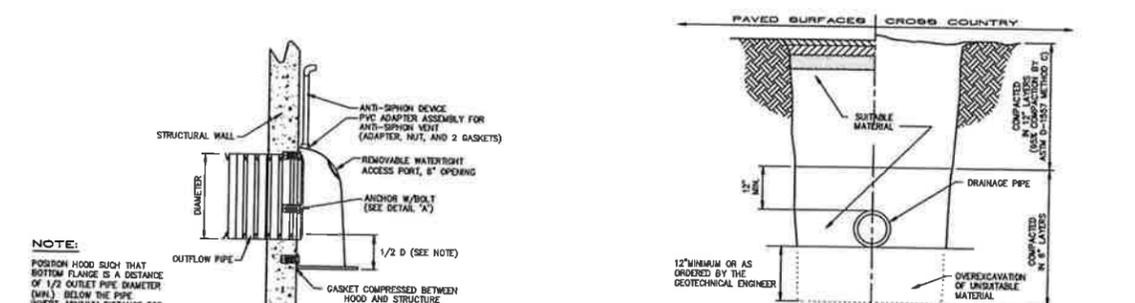
**RIPRAP OUTLET PROTECTION SPECIFICATION TABLE**

LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	# SO (B)	MATERIAL
HW 1	17	30	2	13	ITEM 583.1 RIPRAP 'A'
HW 20	17	28	2	12	ITEM 583.1 RIPRAP 'A'
HW 40	13	22	2	12	ITEM 583.1 RIPRAP 'A'
HW 50	9	15	2	12	ITEM 583.1 RIPRAP 'A'
HW 60	10	15	2	12	ITEM 583.1 RIPRAP 'A'
HW A1	19	33	2	12	ITEM 583.1 RIPRAP 'A'

**SWALE**  
BED WIDTH "W"  
FOR 12" RCP = 2'  
FOR 18" RCP = 3'  
FOR 24" RCP = 4'  
FOR 30" RCP = 5'  
FOR 48" RCP = 6'

**GENERAL NOTES:**  
1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 BLACK DEFORMED BARS.  
2. CONCRETE: Fc = 4000 PSI @ 28 DAYS MINIMUM.

**DOUBLE GRATE CATCH BASIN DETAIL**  
NOT TO SCALE



**TYPICAL DRAINAGE TRENCH SECTION**  
NOT TO SCALE



**DETAIL 'A' SNOUT OIL AND DEBRIS STOP DETAIL**  
NOT TO SCALE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 THINFAULGER SQUARE, STE B10 NASHUA, NH 03063 (603) 886-0802

DATE: 11/15/2018  
NO. 19-16

REVISIONS:

NO.	DATE	REVISION
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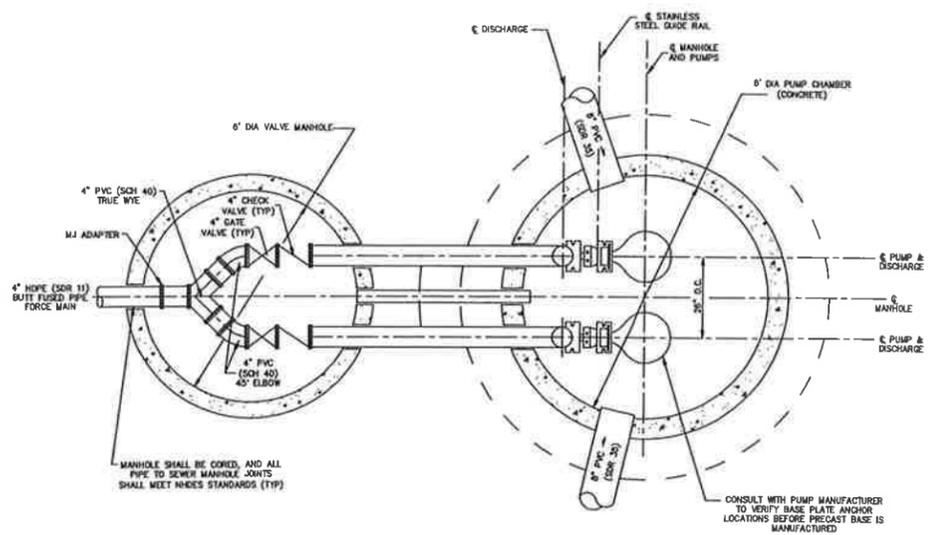
ADDRESS RECORD RECORD OF TOWN COMMENTS  
ADDRESS RECORD RECORD OF TOWN COMMENTS  
ADDRESS RECORD RECORD OF TOWN COMMENTS  
ADDRESS RECORD RECORD OF TOWN COMMENTS

FIELD BOOK: 12/18/2018 DWG. NO. 2 1000010321 UNPL0321 SP11  
DWS: 05/20/2019-SET 1 FROM: AS SHOWN  
DATE: 11/15/2018

**APPROVED EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

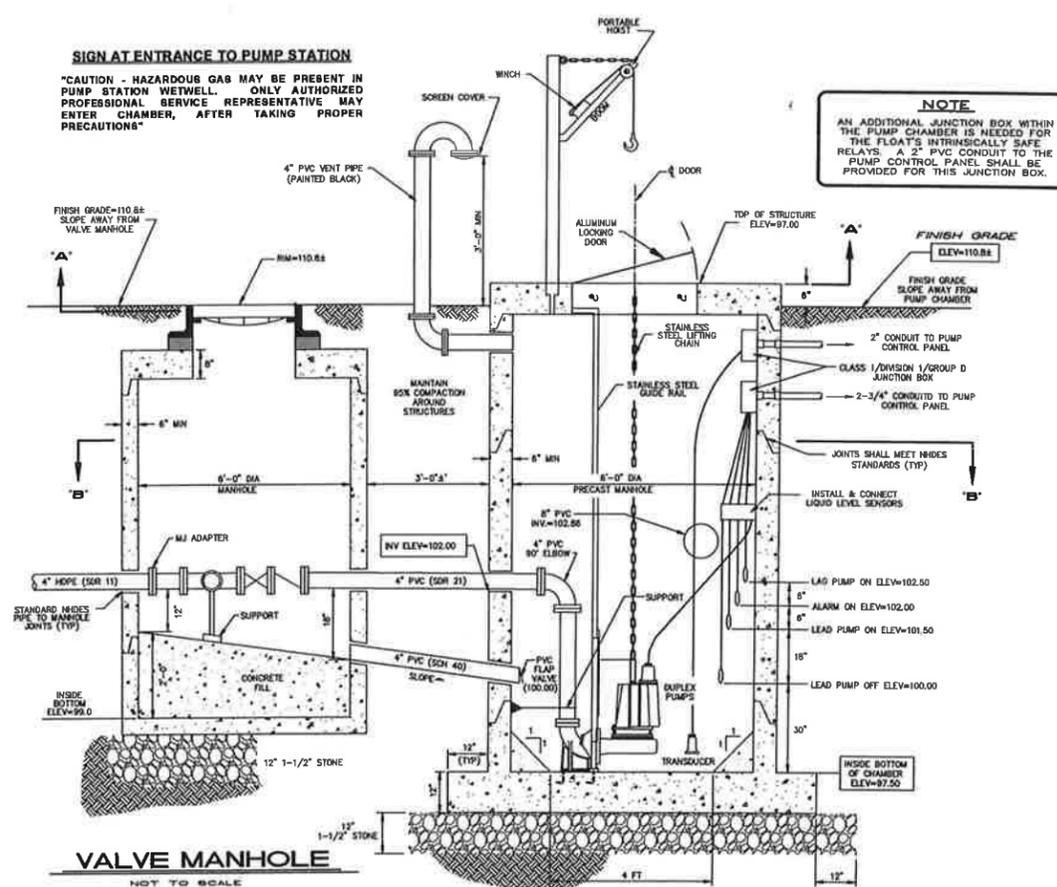
**IHSI** Hyatt/Swanson, Inc.  
Civil Engineers/Architects  
100 Middlebury Ave.  
Nashua, NH 03063  
(603) 883-5007  
www.hyattswanson.com

STATE OF NEW HAMPSHIRE  
JAMES  
18  
PETROPOLAS  
No. 10274  
LICENSED PROFESSIONAL ENGINEER



**SECTION "B" - "B"**  
NOT TO SCALE

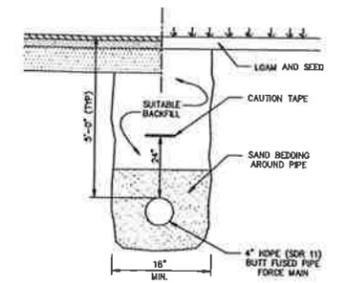
**SIGN AT ENTRANCE TO PUMP STATION**  
"CAUTION - HAZARDOUS GAS MAY BE PRESENT IN PUMP STATION WETWELL. ONLY AUTHORIZED PROFESSIONAL SERVICE REPRESENTATIVE MAY ENTER CHAMBER, AFTER TAKING PROPER PRECAUTIONS"



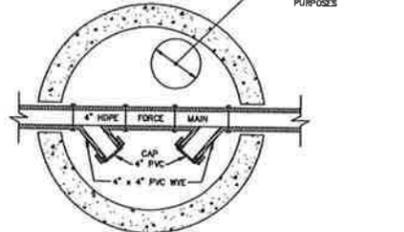
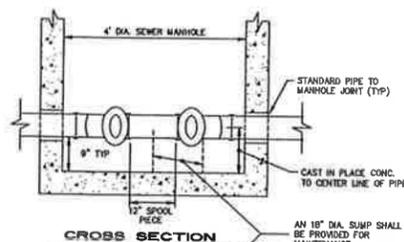
**VALVE MANHOLE**  
NOT TO SCALE

**PUMP CHAMBER**  
NOT TO SCALE

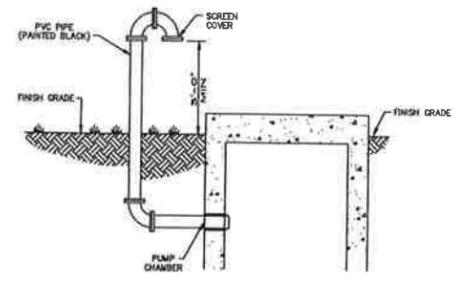
**VALVE MANHOLE & PUMP CHAMBER DETAIL**



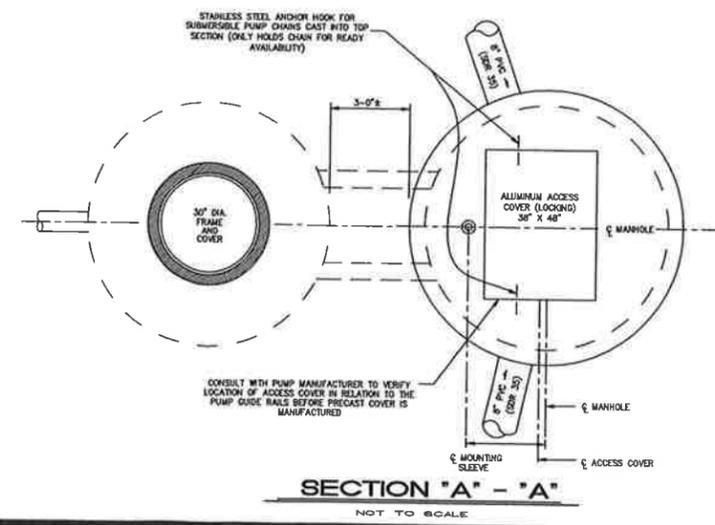
**TYPICAL FORCE MAIN SECTION**  
NOT TO SCALE



**FORCE MAIN CLEANOUT MANHOLE DETAIL**  
NOT TO SCALE



**VENT DETAIL**  
NOT TO SCALE



**SECTION "A" - "A"**  
NOT TO SCALE

**NOTE**  
HDPE FORCE MAIN SHALL CONFORM WITH ASTM D3035

**NOTE**  
FORCE MAIN TESTING SHALL BE IN COMPLIANCE WITH NHDES ENV-Wq 704.09

**GENERAL NOTES**

- [A] GENERAL
- THE CONTRACTOR SHALL FURNISH ALL PLANT, LABOR, EQUIPMENT, APPLIANCES AND MATERIALS, OBTAIN ALL NECESSARY PERMITS, PERFORM ALL OPERATIONS IN CONNECTION WITH THE SATISFACTORY INSTALLATION OF THE PUMP STATION AND INCIDENTAL WORK, AND COMPLETE THE INSTALLATION IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND STANDARD DETAILS AND CONDITIONS OF THE CONTRACT. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, CODE OF ADMINISTRATIVE RULES, ENV-Wq 700.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH FOUR (4) COPIES OF SHOP DRAWINGS OF THE FOLLOWING ITEMS FOR APPROVAL PRIOR TO CONSTRUCTION:
- [A] DETAILS ON INSTALLATION OF PUMPS AND PUMP PERFORMANCE CURVES
  - [B] RAIL SYSTEMS AND QUICK DISCONNECT FITTING DATA
  - [C] PIPING AND VALVES
  - [D] CONTROL PANEL DATA AND STATION WIRING SCHEMATIC
  - [E] PUMP CHAMBER STRUCTURE, ACCESS DOOR, AND VENT PIPING DATA
- [B] MATERIALS

1. **PUMP AND APPURTENANCES:** DUPLEX PUMPS SHALL BE BARNES SERIES 405PM, EXPLOSION PROOF, SOLIDS HANDLING PUMPS WITH A CAPACITY OF 225 GPM AGAINST A TDH OF 27.9 FEET. A SUBMERSIBLE TYPE ELECTRIC MOTOR OF 5 HP, 1750 RPM, 208 VOLT, THREE PHASE, 60 HERTZ, THERMALLY PROTECTED AND UNDERWRITER LISTED FOR CLASS I, DIVISION 1, HAZARDOUS AREAS SHALL BE FURNISHED FOR EACH PUMP. CONTRACTOR TO CONFIRM AVAILABILITY OF POWER PRIOR TO ORDERING PUMPS.
- THE PUMP STATION SHALL BE PROVIDED WITH A LIFTING WINCH WITH BRAKE, STAINLESS STEEL LIFTING CHAIN AND STAINLESS STEEL LIFTING RAIL ASSEMBLIES FOR REMOVAL OF THE PUMPS WITHOUT ENTRY INTO THE PUMP CHAMBER.
- AN UNDERWRITER LISTED DUPLEX CONTROL PANEL IN A NEMA 3R ENCLOSURE SHALL BE REMOTE MOUNTED IN THE MECHANICAL ROOM OF THE BUILDING. FLOAT SWITCHES SHALL BE WIRED INTO THE CONTROL PANEL FOR PUMP OFF, LEAD PUMP ON, LAG PUMP ON, AND ALARM WATER LEVELS. THE PUMPS SHALL OPERATE ALTERNATELY AND SHALL BE PROVIDED WITH RUNNING TIME METERS THAT INDICATE THE CUMULATIVE RUNNING TIME OF EACH PUMP (IN HOURS AND TENTHS OF HOURS) OR CONTINUOUS FLOW RECORDING AND TOTALIZER CAPABILITY. BOTH AUDIBLE (LOCAL, EDUCATOR) AND VISUAL (LIGHT) HIGH WATER ALARMS SHALL BE MOUNTED IN A CONSPICUOUS PLACE ADJACENT TO THE PUMP CONTROL PANEL AND PUMP STATION. THE POWER SOURCE FOR THE ALARM SYSTEM SHALL BE AN INDEPENDENT BATTERY, WITH CONTINUOUS CHARGE OR MAIN LINE POWER WITH A BACK-UP BATTERY SYSTEM WHICH SHALL BE CONNECTED AUTOMATICALLY SHOULD MAIN POWER FAIL. THE ALARM SIGNAL SHALL BE TRANSMITTED THROUGHOUT A 24 HOUR, 7 DAY A WEEK NOTIFICATION SYSTEM (TELEMETRY) TO THE APPROPRIATE UTILITY OPERATOR.
- CONDUIT AND FITTINGS SHALL MEET EXPLOSION PROOF REQUIREMENTS. LIFTING RAILS, CONTROLS AND APPURTENANCES SHALL BE FURNISHED AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE BY ELECTRICIANS LICENSED IN THE STATE OF NEW HAMPSHIRE. ALL ANCHOR BOLTS SHALL BE STAINLESS STEEL. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

2. **PIPE FITTINGS AND APPURTENANCES:** ALL PIPING AND FITTINGS SHALL BE SCHEDULE 40, POLYETHYLENE GLYCOL OR DUCTILE IRON, CLASS 53, AS SHOWN ON PLANS.
3. **PUMP CHAMBER:** THE PUMP CHAMBER SHALL BE PRECAST, REINFORCED CONCRETE WITH 6 INCH MINIMUM WALLS. THE CEILING AND FLOOR THICKNESS SHOULD BE A MINIMUM OF 8 INCHES AND DESIGNED BY A STRUCTURAL ENGINEER FOR H-20 LOADING. THE BASE SLAB SHOULD BE A MINIMUM OF TWELVE (12) INCHES WITH STAINLESS STEEL ANCHOR BOLTS AND ANGLE CONNECTIONS DESIGNED BY A STRUCTURAL ENGINEER FOR HYDROSTATIC LOADS. THE SHOP DRAWINGS SHALL BE STAMPED BY A REGISTERED PROFESSIONAL ENGINEER IN NEW HAMPSHIRE.
- MANHOLE JOINTS SHALL BE SEALED IN AN APPROVED MANNER AND SUBJECT TO THE SAME WATER TIGHTNESS TESTING AS REQUIRED FOR SEWER MANHOLES. AN ACCESS COVER, WITH LOCK, APPROVED BY THE ENGINEER, SHALL BE CAST INTO THE TOP SLAB AS SHOWN ON THE PLANS. MANHOLE SHALL BE TESTED USING EXFILTRATION METHOD AG 300.1 METHOD 825-10M.
- OPENINGS FOR PIPES AND OTHER APPURTENANCES SHALL BE CAST OR CORED BY THE MANUFACTURER AND FURNISHED WITH AN APPROVED PIPE TO MANHOLE JOINT.

4. **VALVE MANHOLE:** THE VALVE MANHOLE SHALL BE PRECAST REINFORCED CONCRETE, 6'-0" INSIDE DIAMETER, WITH 6 INCH MINIMUM WALLS AND FLOOR. THE CEILING THICKNESS SHOULD BE A MINIMUM OF 8 INCHES AND DESIGNATED FOR H-20 LOADING WITH A 30 INCH DIAMETER FRAME AND COVER.
- VALVE MANHOLES SHOULD MEET THE DESIGN REQUIREMENTS OF SANITARY MANHOLES.
- OPENINGS FOR PIPES AND OTHER APPURTENANCES SHALL BE CAST OR CORED BY THE MANUFACTURER AND FURNISHED WITH AN APPROVED PIPE TO MANHOLE JOINT.

5. **PUMP CHAMBER COVER:** THE PUMP CHAMBER COVER SHALL BE A STANDARD SINGLE ALUMINUM COVER WITH A LOADING CAPACITY OF 300 LBS/SF AND CLEAR OPENING SHALL BE 36" X 48" VOGES SHALL BE STEEL HARDWARE AND LOCKING MECHANISM. SIGN ON UNDERSIDE OF ACCESS DOOR TO READ: "WARNING, HAZARDOUS AREA, ENTER ONLY WITH PROPER EQUIPMENT".
6. **UTILITIES:** THIS WORK SHALL CONSIST OF PROVIDING ALL REQUIRED PUBLIC UTILITY SERVICES AND CONNECTIONS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN. ELECTRICAL SERVICE SHALL BE PROVIDED, AS REQUIRED, TO RESULT IN A FULLY OPERABLE SYSTEM.

7. **FIELD ACCEPTANCE TEST:** AFTER INSTALLATION OF THE EQUIPMENT AND AFTER COMPLETION OF THE SERVICES OF THE MANUFACTURER'S REPRESENTATIVE, THE CONTRACTOR SHALL CONDUCT A FIELD ACCEPTANCE TEST AS DIRECTED BY THE ENGINEER. FOUR (4) COPIES OF INSTALLATION AND OPERATION MANUALS FOR ALL ELECTRICAL AND MECHANICAL COMPONENTS SHALL BE PROVIDED.
- ALL FINAL ADJUSTMENTS NECESSARY TO PLACE THE EQUIPMENT IN SATISFACTORY ORDER SHALL BE MADE AT THE TIME OF THE ABOVE TEST.
- ALL LABOR AND MATERIALS NECESSARY FOR THE TEST, INCLUDING WATER, SHALL BE FURNISHED BY THE CONTRACTOR.
- AFTER INSTALLATION, ALL PIPING SHALL BE TESTED FOR TIGHTNESS IN AN APPROVED MANNER. SHOULD LEAKS BE FOUND, FAULTY JOINTS SHALL BE REPAIRED, EVEN TO THE EXTENT OF DISASSEMBLY AND REMAKING THE JOINT. ALL DEFECTIVE PIPES AND FITTINGS SHALL BE REMOVED AND REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER.

8. **GUARANTEE:** THE PUMP STATION SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE ENGINEER.

9. **FLOOD ELEVATION:** THE NEAREST FEDERAL EMERGENCY MANAGEMENT AGENCY MAPPED SPECIAL FLOOD HAZARD AREA ZONE AS IS IS 4.700' SOUTH EAST OF THE PROPERTY AT THE BRIDGE OVER THE LITTLE RIVER ON RTE 115A, ELEVATION OF 47.6 FT (NGVD29) MAP NO. 33015C04DIE, EFFECTIVE DATE: 05/17/05

10. **ELECTRICAL SYSTEM:** ELECTRICAL SYSTEMS AND COMPONENTS INCLUDING MOTORS, LIGHTS, CABLE, CONDUITS SWITCH BOXES, AND CONTROL CIRCUITS IN ENCLOSED OR PARTIALLY ENCLOSED SPACES WHERE FLAMMABLE MIXTURES OCCASIONALLY MAY BE PRESENT, INCLUDING RAW SEWAGE WET WELLS, SHALL BE CERTIFIED BY THEIR MANUFACTURER AS:
- (A) COMPLYING WITH THE NEC REQUIREMENTS ADOPTED BY REFERENCE IN THE STATE BUILDING CODE PURSUANT TO RSA 155-A:1, IV, FOR CLASS I, DIVISION 1 LOCATIONS, OR
  - (B) BEING RATED FOR CLASS 1 DIVISION 2 REQUIREMENTS WHERE MECHANICAL VENTILATION IS PROVIDED IN ACCORDANCE WITH THE NFPA AS ADOPTED IN THE STATE FIRE CODE IN SAF-C 6000.

11. OWNER SHALL SUBMIT PUMP STATION O&M MANUAL TO DES WITHIN 60 DAYS FOLLOWING COMPLETION OF PUMP STATION CONSTRUCTION. O&M MANUAL SHALL PROVIDE INFORMATION AND GUIDANCE FOR PUMP STATION OPERATION AND MAINTENANCE.

12. AN EMERGENCY GENERATOR SHALL BE PROVIDED FOR THE SEWER PUMP STATION. SUFFICIENT ON-SITE FUEL STORAGE SHALL BE PROVIDED TO ALLOW PUMP STATION OPERATION FOR AT LEAST 96 HOURS AT AVERAGE FLOW DESIGN CONDITIONS OR 48 HOURS OPERATION AT PEAK FLOW DESIGN CONDITIONS, WHICHEVER IS GREATER (PER ENV-Wq 705.11 (b)).

13. OWNER CONTACT INFORMATION:  
GATEWAY AT EXETER, LLC  
20 TRAFALGAR SQUARE, SUITE 610  
NASHUA, NH 03063  
ATTN: THOMAS F. MONAHAN  
(603) 880-0502  
thomasm@monahan.com



**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DETAIL SHEET - SEWER PUMP STATION LOTS 6 & 7

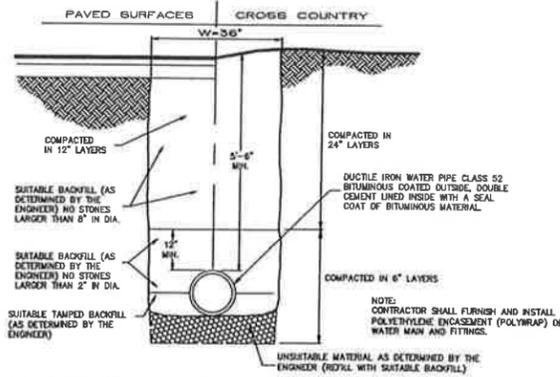
**GATEWAY AT EXETER**  
170 EPPING ROAD, NEW HAMPSHIRE  
EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502

**HESI** Hyman/Swanson, Inc.  
Chief Engineer/Lead Designer  
3 Chesapeake Street  
Nashua, NH 03063  
Phone: 603-245-1400  
www.hyman-swanson.com

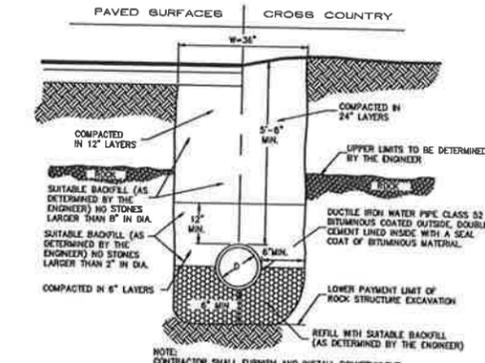
DATE: 11/15/14  
SCALE: AS SHOWN  
NO. OF SHEETS: 2  
SHEET: 2

NOVEMBER 2015

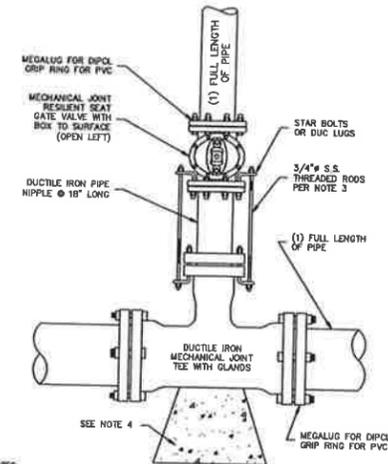


TYPICAL TRENCH SECTION

**TRENCH EDGE QUANTITIES-METHOD OF MEASUREMENT**  
 1. PIPES: PAY LIMITS FOR LEDGE ENCOUNTERED IN PIPE CONSTRUCTION SHALL BE MEASURED AS FOLLOWS:  
 VERTICALLY: VERTICAL PAY LIMITS SHALL BE 6" BELOW PIPE TO LEDGE AS DETERMINED BY THE ENGINEER.  
 HORIZONTALLY: HORIZONTAL PAY LIMITS SHALL BE EQUAL TO "W" AS SPECIFIED IN THE TRENCH SECTION.  
 NO PAYMENT WILL BE MADE FOR ANY OVERBRIDGE BELOW OR BEYOND THE LIMITS SPECIFIED.



TYPICAL TRENCH SECTION LEDGE CONSTRUCTION



TYPICAL TEE INSTALLATION  
 NOTES:  
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.  
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.  
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER SEAR BOLTS OR DUCT LUGS. 10" FITTING OR SMALLER - (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER - (4) 3/4" S.S. RODS & ASSOC. HARDWARE.  
 4. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS APPROVAL OR CONCRETE THRUST BLOCK FOUNDED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.



TYPICAL BLOCKING ARRANGEMENTS

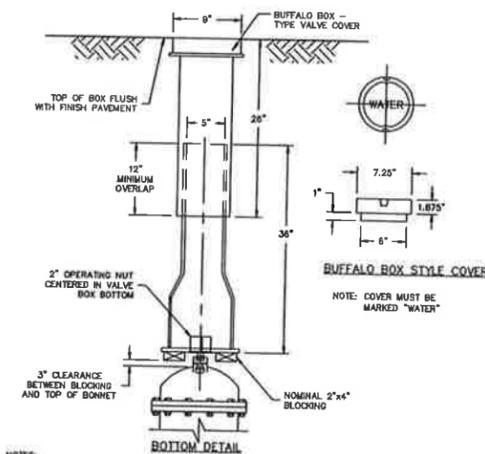


BEND OFFSET  
 TYPICAL BLOCKING ARRANGEMENTS

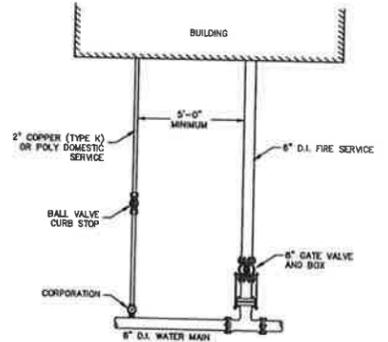
**GENERAL DATA FOR BLOCKING STANDARD FITTINGS**

PIPE SIZE	MINIMUM SURFACE AREA OF CONCRETE BLOCK AGAINST UNDISTURBED EARTH (SQ. FT.)					
	PLUG	TEE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
4"	1.00	1.00	1.50	1.00	1.00	1.00
6"	2.50	2.50	3.00	2.00	1.00	1.00
8"	4.00	4.00	5.50	3.00	1.50	1.00
10"	6.00	6.00	8.50	5.00	2.50	1.50
12"	9.00	9.00	12.50	7.00	3.50	2.00
14"	12.00	12.00	18.50	9.00	5.00	2.50
16"	15.00	15.00	22.00	12.00	6.00	3.00
18"	19.50	19.50	27.50	15.00	8.00	4.00
24"	32.00	32.00	48.50	28.50	13.50	7.00
30"	50.00	50.00	78.00	47.00	21.00	11.00

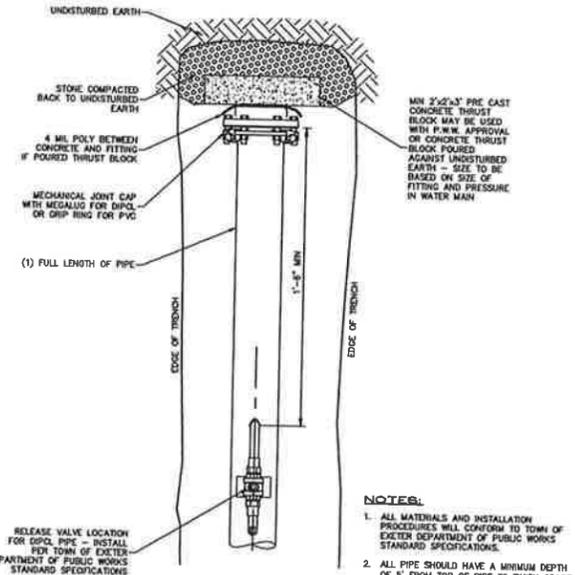
NOTE: MINIMUM SURFACE AREAS SHALL BE INCREASED BY 50% IF DETERMINED NECESSARY BY THE ENGINEER.



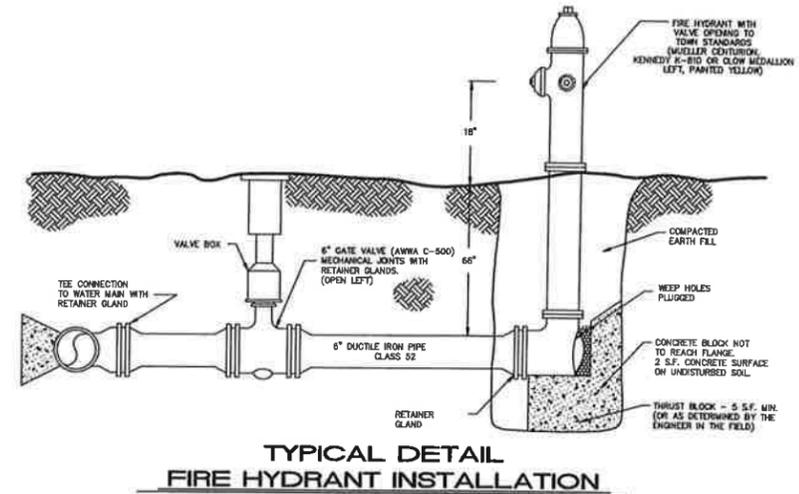
TYPICAL VALVE BOX DETAIL  
 NOTES:  
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.  
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.



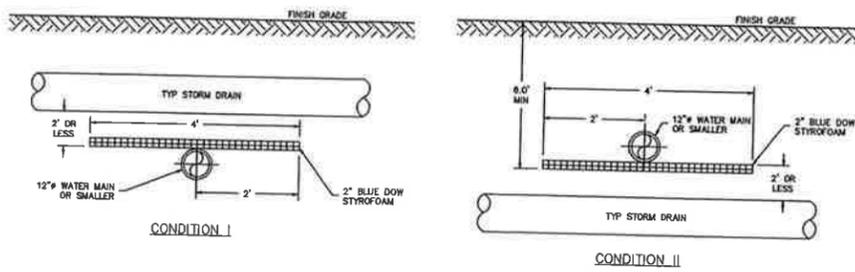
WATER SERVICE CONNECTION DETAIL  
 NOTES:  
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.  
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.



TYPICAL END OF MAIN WITH BLOWOFF ASSEMBLY  
 NOTES:  
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.  
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.



TYPICAL DETAIL FIRE HYDRANT INSTALLATION



STORM DRAIN/WATER MAIN INTERSECTING RUNS-ELEV. VIEW  
 NOTES:  
 1. TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.  
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.  
 3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

**APPROVED EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

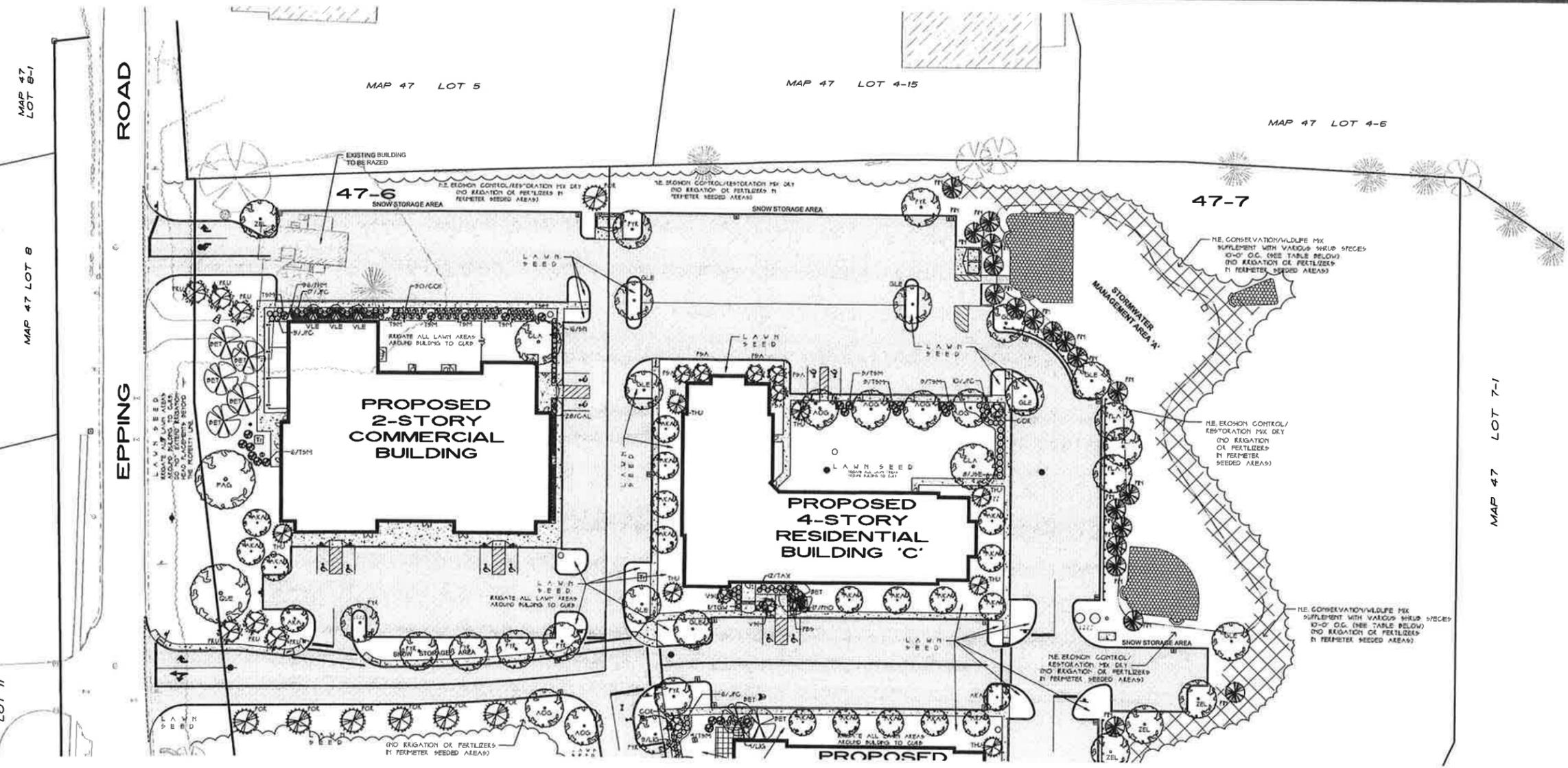
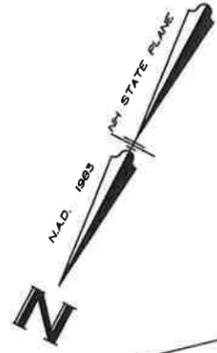
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03093 (603) 880-0502

DETAIL SHEET 6 - WATER  
 (MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD, NEW HAMPSHIRE  
 EXETER, NEW HAMPSHIRE

**HISI** Hayner/Swanson, Inc.  
 Civil Engineer/Lead Surveyor  
 100 Main Street, Middlebury, VT 05753  
 Phone: 802-243-2500 Fax: 802-243-2501  
 www.hisiconsulting.com

NOVEMBER 2019

NO. DATE BY REVISION



SEE SHEET 24 OF 30

SHRUB SPECIES	SIZE
BLACK CHOKEBERRY (ARONIA MELANOCARPA)	#1 POTS
ARROWWOOD (VIBURNUM DENTATUM)	#1 POTS
WINTERBERRY (ILEX VERTICILLATA)	#1 POTS
ALTERNATE-LEAVED DOGWOOD (CORNUS-ALTERNIFOLIA)	#1 POTS

**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**PREPARED BY:**  
BLACKWATER DESIGN  
PHONE: (603) 641-0000 FAX: (603) 641-0000  
Land Planning - Landscape Architecture  
85 Front Lane - Webster, NH 03503

**PREPARED FOR/RECORD OWNER:**  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0902

**LANDSCAPE PLAN, LOTS 6 & 7)**  
**GATEWAY AT EXETER**  
170 EPPING ROAD, NEW 277  
EXETER, NEW HAMPSHIRE

NOVEMBER 2019

FIELD BOOK: 12181234 DWG. LOC. 2 \V000\ASX\UNP\0322 SP119  
DWG. 5532SPP  
23 OF 30 5532SPP  
DATE: 11/15/19

NO.	DATE	REVISION
1	07/17/20	ISSUE FOR PERMITS
2	08/10/20	ISSUE FOR TOWN COMMENTS
3	08/20/20	ADDRESS SECOND ROUND OF TOWN COMMENTS

100 FEET  
80  
60  
40  
0