

SEE SHEET 23 OF 30

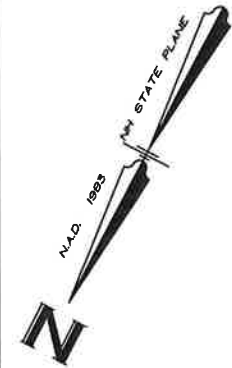
BUILDING 'C'

PROPOSED 4-STORY RESIDENTIAL BUILDING 'B'

PROPOSED 4-STORY RESIDENTIAL BUILDING 'A'

47-7

STORMWATER MANAGEMENT AREA 'B'



CRONIN RD.

EPPING ROAD

MAP 40 LOT 9

MAP 40 LOT 11

MAP 47 LOT 7-1

APPROVED EXETER PLANNING BOARD  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PREPARED BY:  
**BLACKWATER DESIGN**  
PHONE: (603) 641-6000 FAX: (603) 641-6006  
Land Planning & Landscape Architecture  
85 Front Lane - Webster, NH 03333  
FIELD BOOK: 1231234 DWG. LOC. & VACC. 123456789 123456789  
DWG. 55326PP Date: 11/06/19  
Sheet 1 of 40  
6 NOVEMBER 2019

LANDSCAPE PLAN  
(MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
170 EPPING ROAD  
EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAPALGAR SQUARE, STE 910 NASHUA, NH 03083 (603) 880-0902  
CASE No. 19-16

| NO. | DATE     | REVISION                              |
|-----|----------|---------------------------------------|
| 1   | 07/17/20 | ADDRESS TOWN REVIEW COMMENTS          |
| 2   | 08/07/20 | ADDRESS NHES COMMENTS                 |
| 3   | 08/07/20 | ADDRESS SECOND ROUND OF TOWN COMMENTS |

**General Specifications**

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

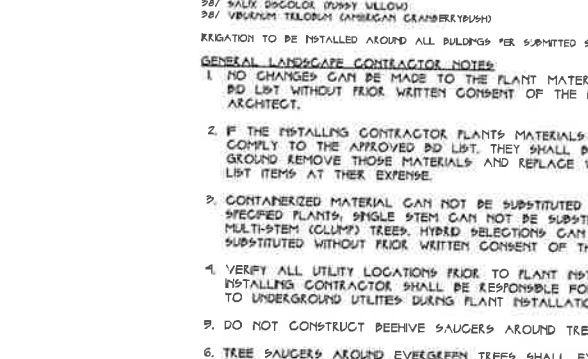
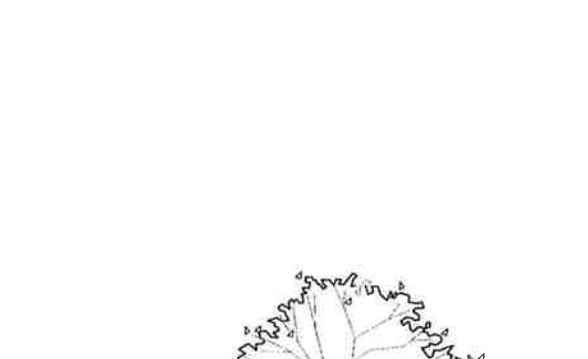
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercrekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

**MATERIAL BID LIST**

| NO.    | DESCRIPTION   | QUANTITY  | UNIT |
|--------|---|-----------|------|
| 28/AAA | ACER RUBRUM (CAROLINA MAPLE)                            | 28-3" CAL |      |
| 6/A00  | ACER RUBRUM (COTONWOOD GLOVE MAPLE)                     | 28-3" CAL |      |
| 8/PBT  | BETULA INSA HERITAGE RIVER BIRCH                        | 12-HCLUMP |      |
| 28/CAL | CALAMAGROSTIS A. (KARL FOEBSTER REED GRASS)             | #3GAL     |      |
| 9/CAL  | CLADASTIS KENTUCKA (PINK YELLOWWOOD)                    | 3-3" CAL  |      |
| 9/COK  | CORNUS MAS (GOLDEN GLOVE CORNELIANCHERRY)               | 8-4" CAL  |      |
| 30/CRO | CORNUS SERICEA (RITC FIRE REDTONG DOGWOOD)              | #9GAL     |      |
| VFAG   | FAGUS SYLV. (KIVERSH OR ROMAN EUROPEAN BEECH)           | 3-3" CAL  |      |
| 12/GLE | GLEDITSIA TL (SHADEMASTER HONEYLOCUST)                  | 28-3" CAL |      |
| 18/3E  | JUNIPERUS CHENSIS (SEA GREEN JUNPER)                    | #9GAL     |      |
| 92/3C  | JUNIPERUS H. FLAMMOA COMPACTA (YOUNGTOWN JUNPER)        | #9GAL     |      |
| 97/LIG | LYSISTRUM VULGARE (CHEYENNE EUROPEAN PRIVET)            | 3-1" CAL  |      |
| 2/1P5  | PIRUS STROBUS (BLUE SHAG WHITE PINE)                    | #10GAL    |      |
| 88/1PM | PANICUM VIRGATUM HEAVY METAL SWITCH GRASS               | 15 GAL    |      |
| 24/1E1 | PIRUS STROBUS (EASTERN WHITE PINE)                      | 6-7" DB   |      |
| 6/PLA  | PLATANUS ACERFOLIA (EXCLAMATION PLANETREE)              | 28-3" CAL |      |
| D/1MO  | PANICUM VIRGATUM (NORTH-FP SWITCH GRASS)                | #9GAL     |      |
| 8/1OR  | PRUNUS SP. (ORIENTAL SPRUCE)                            | 7-8" DB   |      |
| 7/1RU  | PRUNUS SERICATA (KWANZAN CHERRY)                        | 28-3" CAL |      |
| 9/1SA  | PRUNUS SALICENTIS COLUMBIANA (COLUMBIAN SARGENT CHERRY) | 2-2" CAL  |      |
| 9/1PR  | PRUNUS CALLERYANA (CARBONCAT PEAR)                      | 28-3" CAL |      |
| VQVE   | QUERCUS ALBA (WHITE OAK)                                | 3-3" CAL  |      |
| 9/1RE  | RHODODENDRON P.M. ELITE (HYBRID P.M. RHODODENDRON)      | #9GAL     |      |
| 16/191 | SPIRAEA JAPONICA (DEON FLASH SPIREA)                    | #9GAL     |      |
| 9/19A  | SYNINGA RETICULATA (OVARY SILK JAPANESE LILAC TREE)     | 10-HCLUMP |      |
| 12/1AX | TAXUS MEDIA TARTUM (SPREADING YEW)                      | 10-2" DB  |      |
| 27/1GW | TAXUS MEDIA (GREENWAVE YEW)                             | 2-2" DB   |      |
| 8/1TH  | THUJA PLICATA (GREEN GIANT ARBORVITAE)                  | 7-8" DB   |      |
| 10/1SM | THUJA OCC. (EMERALD GREEN ARBORVITAE)                   | 6-7" DB   |      |
| 1/1LM  | YUNIS PAKYFOLIA (CHINESE LACEDARK ELD)                  | 28-3" CAL |      |
| 9/1LE  | VERBENUM LENTAGO (MANTYREY VERBENA)                     | 2-2" CAL  |      |
| 9/1VI  | VERBENUM SEPIDO (SENEGA SEPOLD VERBENA)                 | 9-8" DB   |      |
| 9/1ZEL | ZELKOVA SERKATA (VILVAGE GREEN ZELKOVA)                 | 28-3" CAL |      |

| NO. | DATE | REVISION |
|-----|------|----------|
| 1   |      |          |
| 2   |      |          |
| 3   |      |          |

PREPARED FOR RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03063 (603) 880-0092



**MISCELLANEOUS**  
 PREEM BLEED PINE BARK MULCH IN ALL BEDS AND SAUCERS  
 NEW ENGLAND WETLANDS EROSION CONTROL RESTORATION DRY SITE MIX  
 NEW ENGLAND WETLANDS EROSION CONTROL RESTORATION MOIST SITE  
 NEW ENGLAND WETLANDS CONSERVATION/WILDLIFE MIX W/SUPPLEMENTAL FOOTINGS  
 GENERAL LAWN SEED A DROUGHT TOLERANT ANDY SOIL MIX IE DEERCREKSEED.COM SANDY SOL T.R.F MIX  
 WETLAND FOOTINGS:  
 28/ ALNUS INCANA (SPECKLED ALDER) 3-4  
 28/ ALNUS FRAXINOSA (RED CHOPPER) 3-4  
 28/ CORNUS AMOMIEN (SLAY DOGWOOD) 3-4  
 28/ LEX VERTICILLATA (SWEETBERRY) 3-4  
 28/ LINDERA BENCH (SPICEBUSH) 3-4  
 28/ SALIX DISCOLOR (PUDGY WILLOW) 3-4  
 28/ VERBENUM TILLODIUM (AMERICAN GRASSBERRY) 3-4

**GENERAL LANDSCAPE CONTRACTOR NOTES:**

- NO CHANGES CAN BE MADE TO THE PLANT MATERIALS ON THIS BID LIST WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- IF THE INSTALLING CONTRACTOR PLANTS MATERIALS THAT DO NOT COMPLY TO THE APPROVED BID LIST, THEY SHALL BE REQUIRED TO GROUND REMOVE THOSE MATERIALS AND REPLACE WITH THE BID LIST ITEMS AT THEIR EXPENSE.
- CONTAINERIZED MATERIAL CAN NOT BE SUBSTITUTED FOR SP SPECIFIED PLANTS, SINGLE STEM CAN NOT BE SUBSTITUTED FOR MULTI-STEM (CLUMP) TREES. HYBRID SELECTIONS CAN NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN CONSENT OF THE L.A.
- VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANT INSTALLATION. INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES DURING PLANT INSTALLATION.
- DO NOT CONSTRUCT BEEHIVE SAUCERS AROUND TREES.
- TREE SAUCERS AROUND EVERGREEN TREES SHALL EXTEND A MIN. OF 2' BEYOND THE LOWER BRANCHES. DECIDUOUS TREE SAUCERS SHALL BE A MIN. OF 6" DIAMETER.
- ALL LAWN SEED AREAS SHALL BE MAINTAINED BY THE INSTALLING CONTRACTOR UNTIL FIRST MOWING. CONTRACTOR SHALL BE RESPONSIBLE FOR A WEED FREE DENSE LAWN UNTIL ACCEPTED BY THE OWNER.
- INSTALLING CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL MATERIALS & SEEDED AREAS. CONTRACTOR SHALL BE RESPONSIBLE DURING THIS PERIOD FOR CONTROL OF INSECT INFESTATION/DISEASE AND MONITOR PROPER WATERING OF THE MATERIALS.
- THE SITE PLAN DICTATES MATERIAL QUANTITIES. ALERT THE L.A. IF THERE ARE DISCREPANCIES BETWEEN PLAN AND THE MATERIAL BID LIST QUANTITIES.
- CONTRACTOR SHALL SUBMIT AN IRRIGATION PLAN FOR APPROVAL COVERAGE FOR ALL AREAS AROUND THE BUILDINGS. NO IRRIGATION IS REQUIRED ALL THE PERIMETER EDGES OF THE PROPERTY OR IN THE PARKING LOT ISLANDS.
- NO FERTILIZERS SHALL BE APPLIED ALONG THE PERIMETER EDGES OF THE PROPERTY BEYOND THE CURB EDGES OF THE BUILDING ISLANDS.

MATERIAL REFERENCE CATALOG FOR THIS DESIGN: MLLC/LAN/NURSERY CHESTER, NH. 603-498-6660. NEW ENGLAND WETLANDS PLANTS AMHERST, MA. 403-918-8000

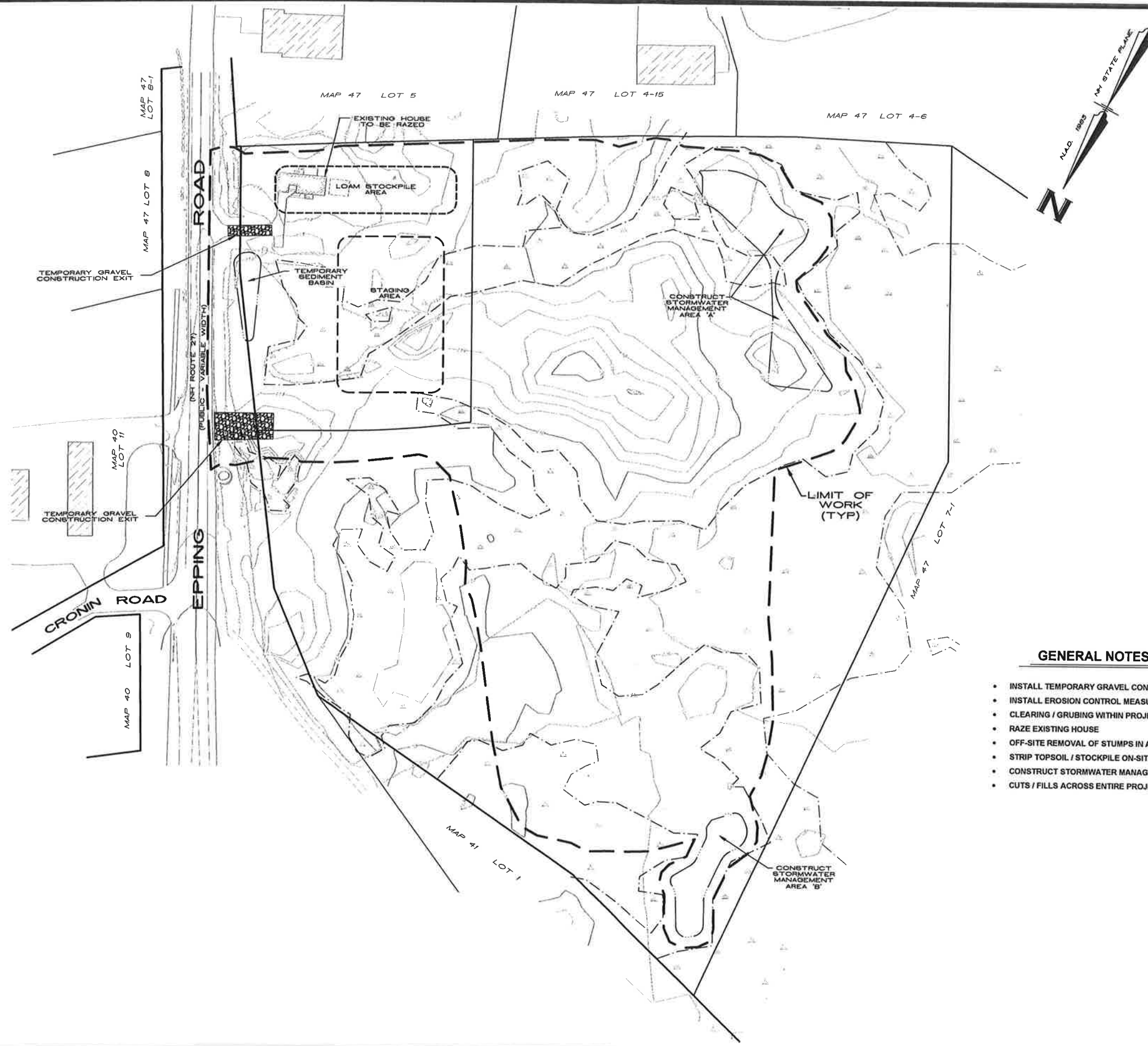
**APPROVED**  
**EXETER PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PREPARED BY:  
**BLACKWATER DESIGN**  
 85 FROST LANE - WEBSTER, NH 03303  
 PHONE (603) 688-4600 FAX (603) 688-4606  
 Land Planning - Landscape Architecture  
 170 EPPING ROAD, STE 277  
 EXETER, NEW HAMPSHIRE  
 03183

DATE: 03/13/2019 TIME: 10:23:00 AM  
 25 OF 30 SHEETS  
 06 NOVEMBER 2019

CASE NO. 19-16



**GENERAL NOTES - PHASE I**

- INSTALL TEMPORARY GRAVEL CONSTRUCTION EXITS
- INSTALL EROSION CONTROL MEASURES
- CLEARING / GRUBBING WITHIN PROJECT AREA
- RAZE EXISTING HOUSE
- OFF-SITE REMOVAL OF STUMPS IN A LEGAL MANNER
- STRIP TOPSOIL / STOCKPILE ON-SITE
- CONSTRUCT STORMWATER MANAGEMENT AREAS
- CUTS / FILLS ACROSS ENTIRE PROJECT AREA



|     |          |     |
|-----|----------|-----|
| NO. | DATE     | BY  |
| 3   | 09/02/20 | JRP |
| 1   | 01/01/20 | JRP |
| 1   | 01/01/20 | JRP |

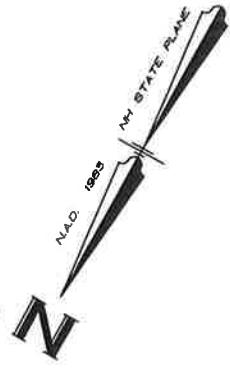
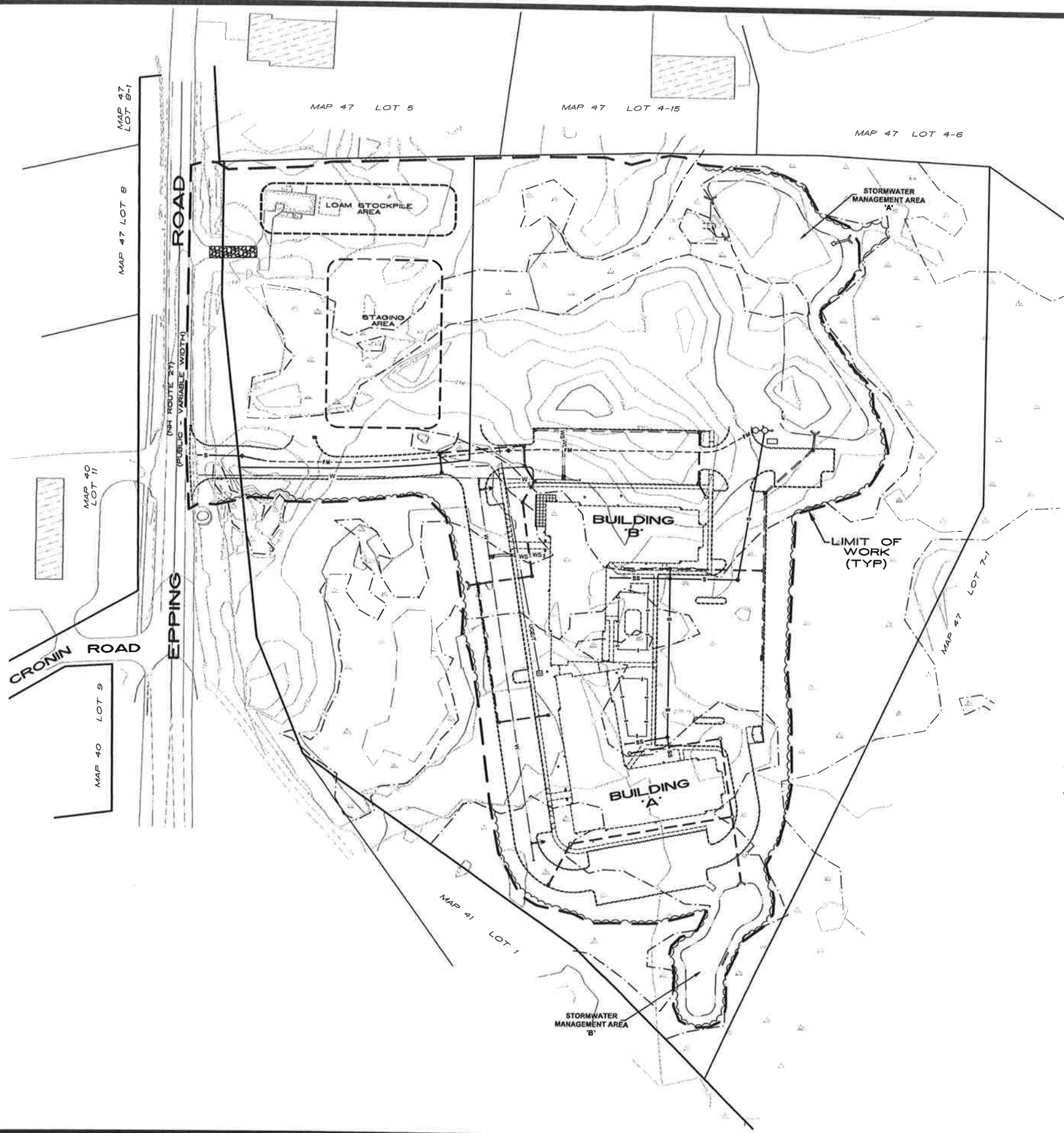
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03083 (603) 880-0502

CASE No. 19-16

CONSTRUCTION PLAN - PHASE I  
 (MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD, NEW HAMPSHIRE  
 EXETER, NEW HAMPSHIRE

**HESI** Hayner/Swanson, Inc.  
 Civil Engineering/Land  
 311 Middlemore Turnpike  
 Burlington, NH 03024  
 (603) 880-5007 www.hesicons.com (603) 243-1521  
 FIELD BOOK 13240234 DATE LOC 1300033333 DRAWN BY JRP  
 SHEET NO. 26 OF 30 5532SPP DATE 6 NOVEMBER 2019  
 FILE NUMBER





**GENERAL NOTES - PHASE II**

- BEGIN FOUNDATION CONSTRUCTION FOR BUILDINGS 'A' & 'B'
- CONSTRUCT SITE UTILITIES TO BUILDINGS 'A' & 'B'
- CONSTRUCT SANITARY SEWER PUMP STATION
- CONSTRUCT PAVEMENT AREAS AROUND BUILDINGS 'A' & 'B' AND MAIN SITE ENTRANCE
- MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THIS PHASE



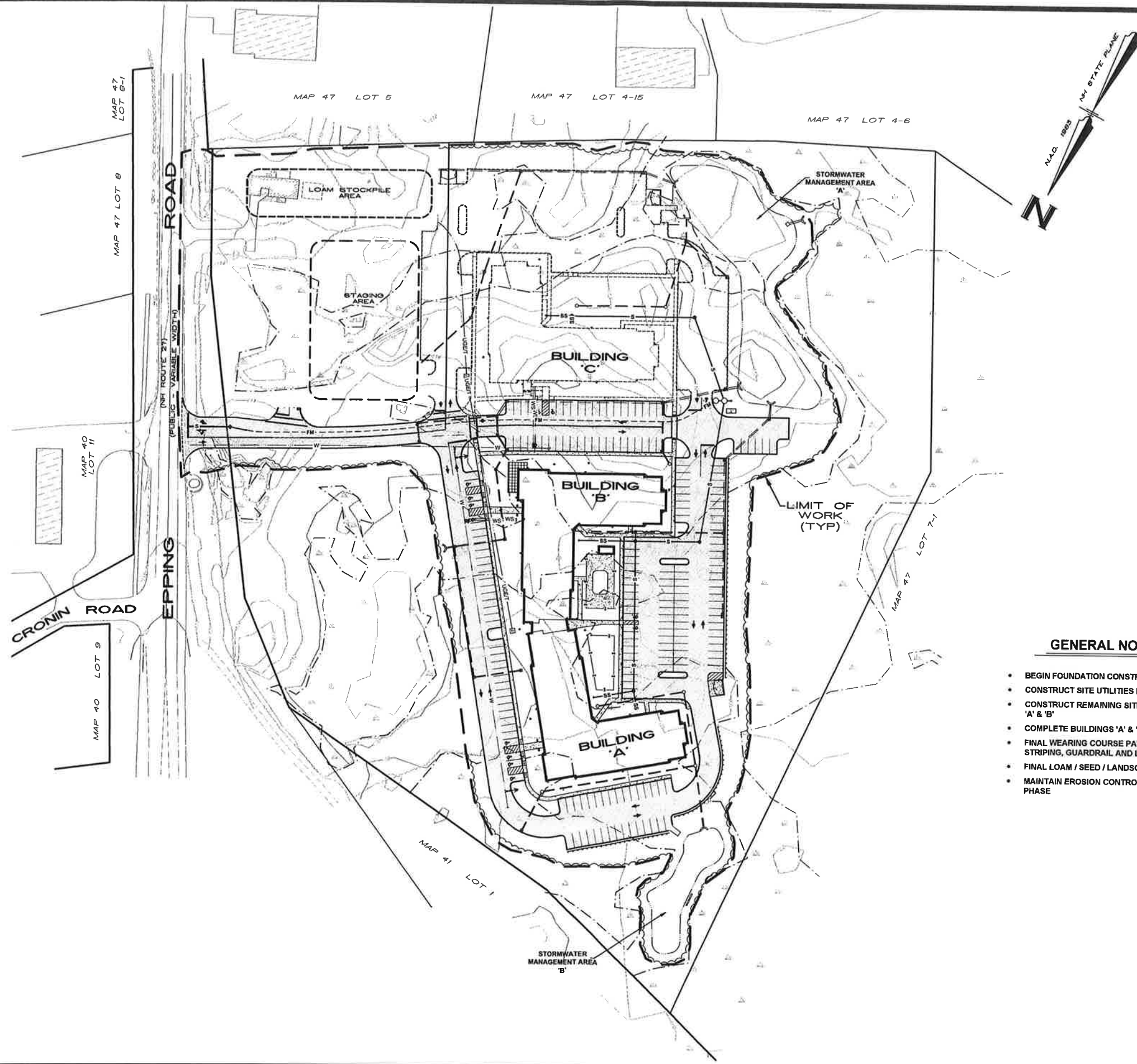
**HESI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03063  
 (603) 883-5077  
 www.haynerswanson.com

CONSTRUCTION PLAN - PHASE II  
 (MAP 47, LOTS 6 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD, NEW EXETER,  
 EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03063 (603) 880-0502

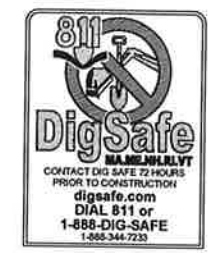
| NO. | DATE     | REVISION                              |
|-----|----------|---------------------------------------|
| 3   | 09/05/20 | ADDRESS RECORD BOARD OF TOWN COMMENTS |
| 2   | 07/07/20 | ADDRESS INDEX COMMENTS                |
| 1   | 07/07/20 | ADDRESS TOWN REVIEW COMMENTS          |
| 0   |          |                                       |

27 of 30 | 55325PFP | DATE: 16 NOVEMBER 2019  
 DWS: 55325PFP-1981 | SCALE: 1" = 60'  
 SHEET: 19-16



**GENERAL NOTES - PHASE III**

- BEGIN FOUNDATION CONSTRUCTION FOR BUILDING 'C'
- CONSTRUCT SITE UTILITIES FOR BUILDING 'C'
- CONSTRUCT REMAINING SITE IMPROVEMENTS AROUND BUILDINGS 'A' & 'B'
- COMPLETE BUILDINGS 'A' & 'B' CONSTRUCTION
- FINAL WEARING COURSE PAVEMENT, CURBS, SIDEWALKS, STRIPING, GUARDRAIL AND LIGHTING AROUND BUILDINGS 'A' & 'B'
- FINAL LOAM / SEED / LANDSCAPING AROUND BUILDINGS 'A' & 'B'
- MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THIS PHASE



**HESI** Haynes/Swanson, Inc.  
 Civil Engineering/Surveying  
 11 Chapman Avenue, Exeter, NH 03833  
 Phone: (603) 852-2007  
 Fax: (603) 852-2007  
 www.haynes-swanson.com

FILED BOOK: 12381234 | ENG. LIC. #: 000013332 | VENT. LIC. #: 000013332 | 09/19/19  
 DATE: 10/30/2019 | TIME: 10:55 AM | SCALE: 1" = 60'  
 SHEET: 28 OF 30 | 5532SPP | DATE: 16 NOVEMBER 2019

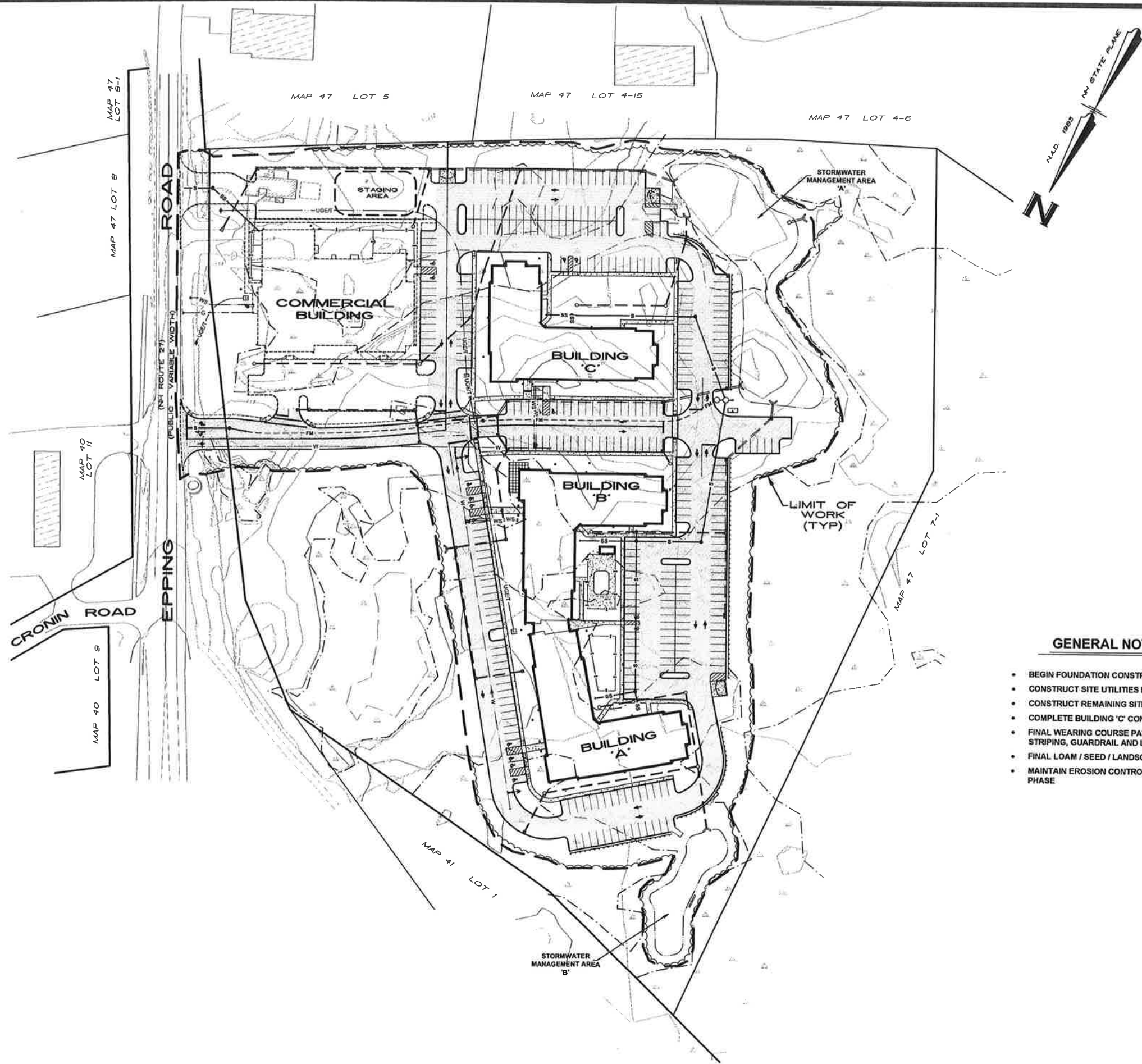
CONSTRUCTION PLAN - PHASE III  
 (MAP 47, LOTS 8 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD, NEW SITE  
 EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610, NASHUA, NH 03063 (603) 860-0502

**CASE No. 19-16**

| N.O. | DATE     | REVISION                              |
|------|----------|---------------------------------------|
| 3    | 09/02/20 | ADDRESS SECOND BOARD OF TOWN COMMENTS |
| 2    | 04/02/20 | ADDRESS NAKES COMMENTS                |
| 1    | 01/07/20 | ADDRESS TOWN REVIEW COMMENTS          |
| 0    |          |                                       |

DATE: 10/30/2019  
 TIME: 10:55 AM  
 SCALE: 1" = 60'  
 SHEET: 28 OF 30



**GENERAL NOTES - PHASE IV**

- BEGIN FOUNDATION CONSTRUCTION FOR COMMERCIAL BUILDING
- CONSTRUCT SITE UTILITIES FOR COMMERCIAL BUILDING
- CONSTRUCT REMAINING SITE IMPROVEMENTS AROUND BUILDING 'C'
- COMPLETE BUILDING 'C' CONSTRUCTION
- FINAL WEARING COURSE PAVEMENT, CURBS, SIDEWALKS, STRIPING, GUARDRAIL AND LIGHTING AROUND BUILDING 'C'
- FINAL LOAM / SEED / LANDSCAPING AROUND BUILDING 'C'
- MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THIS PHASE



**HESI** Hayner/Swanson, Inc.  
 Civil Engineers/Lead Surveyors  
 3 Court St. Suite 200  
 North Andover, MA 01850  
 (978) 853-2577  
 www.haynerswanson.com

FIELD BOOK: 123181234 DATE: 10/22/2019  
 SHEET: 29 OF 30  
 SCALE: 1" = 60'

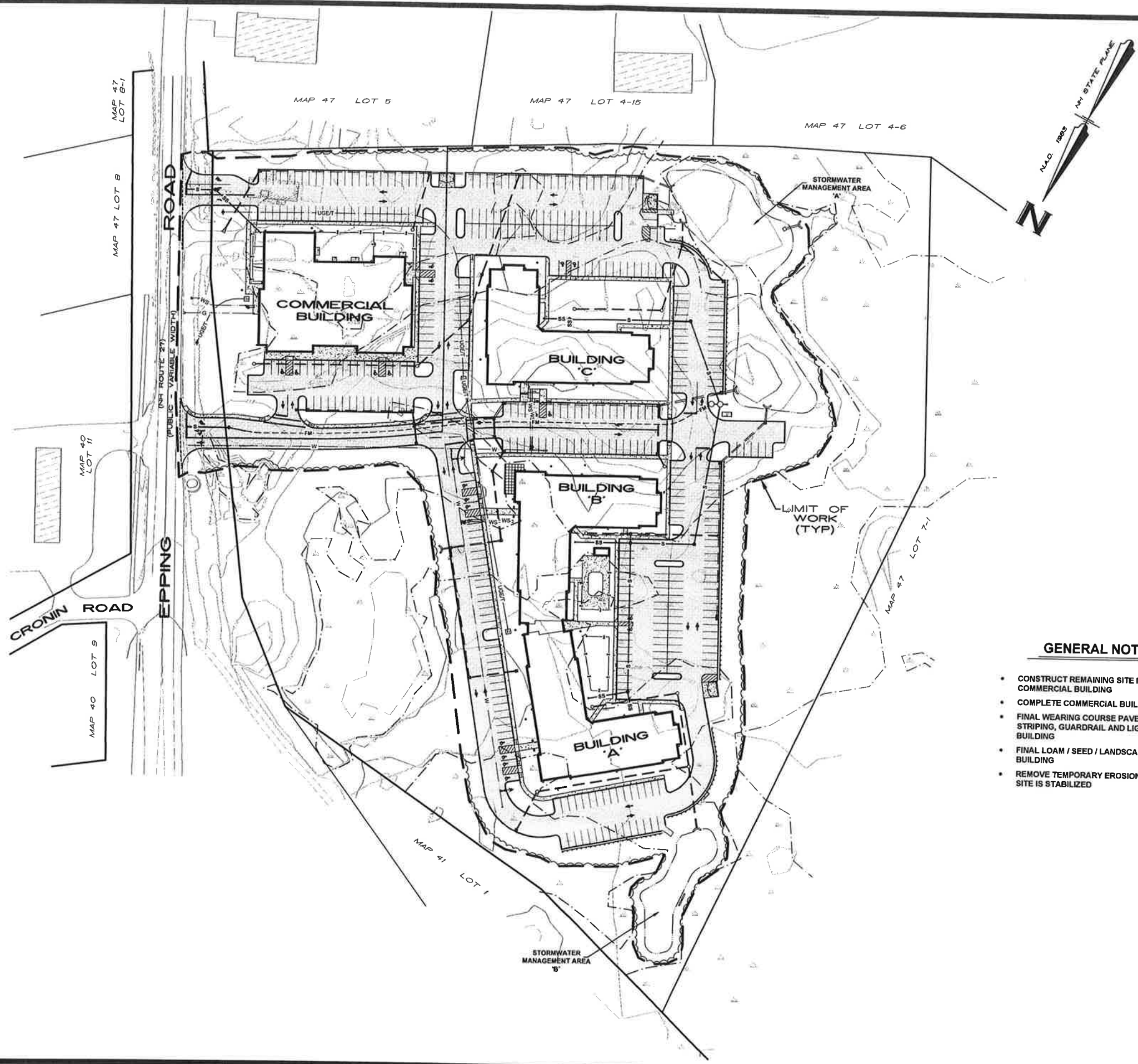
**CONSTRUCTION PLAN - PHASE IV**  
 (MAP 47, LOTS 8 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD  
 EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03063 (603) 886-0562

**CASE No. 19-16**

| NO. | DATE     | REVISION                              | BY  |
|-----|----------|---------------------------------------|-----|
| 3   | 05/05/20 | ADDRESS RECORD BOARD OF TOWN COMMENTS | JSP |
| 2   | 04/07/20 | ADDRESS INK/KEY COMMENTS              | JSP |
| 1   | 03/10/20 | ADDRESS TOWN REVIEW COMMENTS          | JSP |
| 00  |          |                                       |     |





**GENERAL NOTES - PHASE V**

- CONSTRUCT REMAINING SITE IMPROVEMENTS AROUND COMMERCIAL BUILDING
- COMPLETE COMMERCIAL BUILDING CONSTRUCTION
- FINAL WEARING COURSE PAVEMENT, CURBS, SIDEWALKS, STRIPING, GUARDRAIL AND LIGHTING AROUND COMMERCIAL BUILDING
- FINAL LOAM / SEED / LANDSCAPING AROUND COMMERCIAL BUILDING
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE THE SITE IS STABILIZED



**CONSTRUCTION PLAN - PHASE V**  
 (MAP 47, LOTS 8 & 7)  
**GATEWAY AT EXETER**  
 170 EPPING ROAD  
 EXETER, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03003 (603) 880-0502

**HISI** Engineer/Architect, Inc.  
 Civil Engineer/Lead Surveyor  
 3 Courthouse Square, 2nd Floor  
 Nashua, NH 03006  
 (603) 883-3577 www.hisi-engineers.com

FIELD BOOK: 123456789 | SHEET NO.: 0000/0000/0000/0000/0000/0000  
 DATE: 08/22/2018  
 30' x 30' 5532SPP  
 1" = 60'  
 6 NOVEMBER 2018

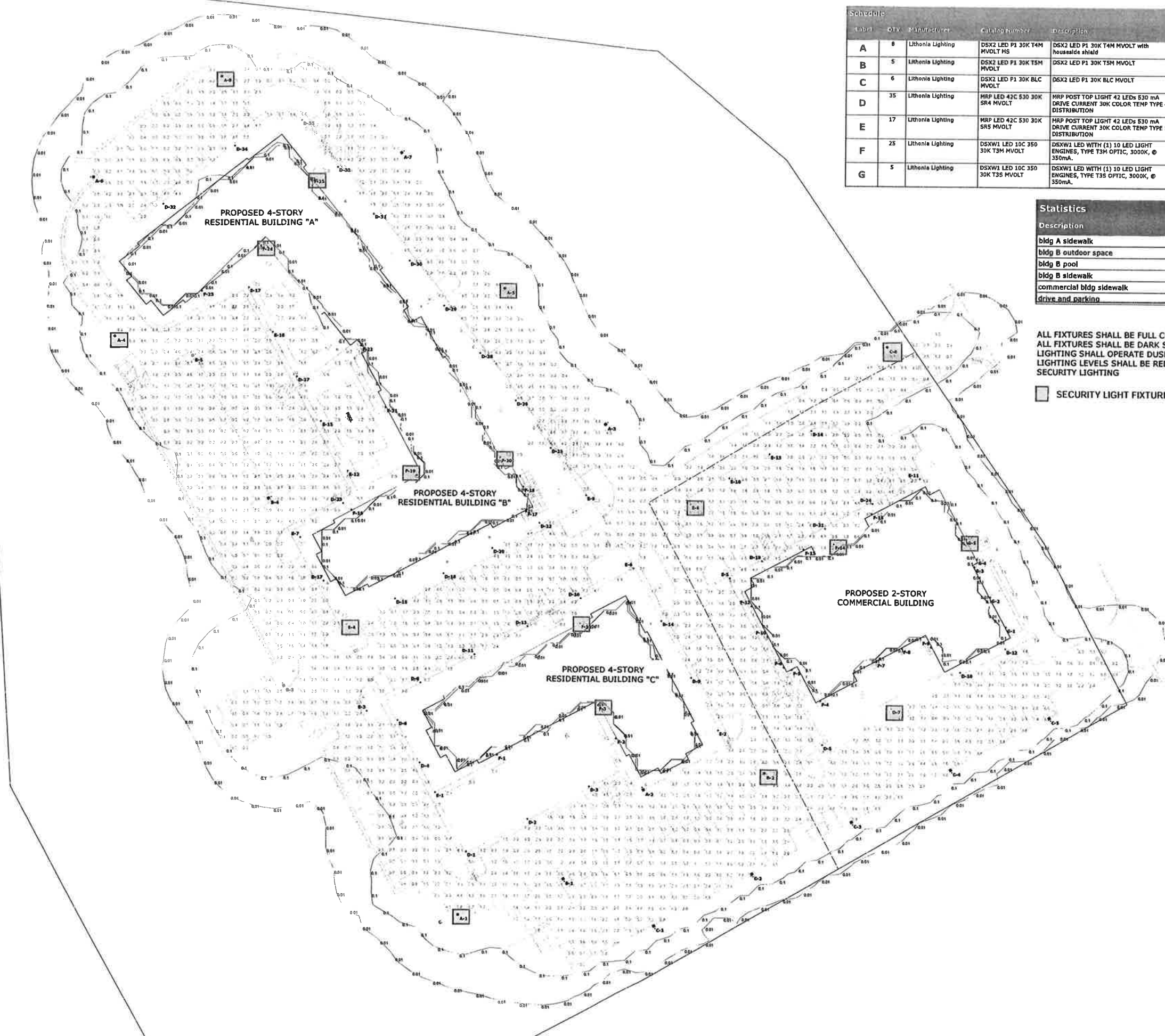
| NO. | DATE     | REVISION                       |
|-----|----------|--------------------------------|
| 1   | 08/22/18 | ADDRESS BOARD OF TOWN COMMENTS |
| 2   | 09/05/18 | ADDRESS BOARD OF TOWN COMMENTS |
| 3   | 09/10/18 | ADDRESS TOWN ENGINEER COMMENTS |

0 60 120 180 240 FEET

© Haynes/Swanson, Inc.

Luminaire Locations

| No. | Label | HL    | Tilt |
|-----|-------|-------|------|
| 1   | A     | 19.50 | 0.00 |
| 2   | A     | 19.50 | 0.00 |
| 3   | A     | 19.50 | 0.00 |
| 4   | A     | 19.50 | 0.00 |
| 5   | A     | 19.50 | 0.00 |
| 6   | A     | 19.50 | 0.00 |
| 7   | A     | 19.50 | 0.00 |
| 8   | A     | 19.50 | 0.00 |
| 1   | B     | 19.50 | 0.00 |
| 2   | B     | 19.50 | 0.00 |
| 3   | B     | 19.50 | 0.00 |
| 4   | B     | 19.50 | 0.00 |
| 5   | B     | 19.50 | 0.00 |
| 1   | C     | 19.50 | 0.00 |
| 2   | C     | 19.50 | 0.00 |
| 3   | C     | 19.50 | 0.00 |
| 4   | C     | 19.50 | 0.00 |
| 5   | C     | 19.50 | 0.00 |
| 6   | C     | 19.50 | 0.00 |
| 1   | D     | 12.00 | 0.00 |
| 2   | D     | 12.00 | 0.00 |
| 3   | D     | 12.00 | 0.00 |
| 4   | D     | 12.00 | 0.00 |
| 5   | D     | 12.00 | 0.00 |
| 6   | D     | 12.00 | 0.00 |
| 7   | D     | 12.00 | 0.00 |
| 8   | D     | 12.00 | 0.00 |
| 9   | D     | 12.00 | 0.00 |
| 10  | D     | 12.00 | 0.00 |
| 11  | D     | 12.00 | 0.00 |
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| 13  | D     | 12.00 | 0.00 |
| 14  | D     | 12.00 | 0.00 |
| 15  | D     | 12.00 | 0.00 |
| 16  | D     | 12.00 | 0.00 |
| 17  | D     | 12.00 | 0.00 |
| 18  | D     | 12.00 | 0.00 |
| 19  | D     | 12.00 | 0.00 |
| 20  | D     | 12.00 | 0.00 |
| 21  | D     | 12.00 | 0.00 |
| 22  | D     | 12.00 | 0.00 |
| 23  | D     | 12.00 | 0.00 |
| 24  | D     | 12.00 | 0.00 |
| 25  | D     | 12.00 | 0.00 |
| 26  | D     | 12.00 | 0.00 |
| 27  | D     | 12.00 | 0.00 |
| 28  | D     | 12.00 | 0.00 |
| 29  | D     | 12.00 | 0.00 |
| 30  | D     | 12.00 | 0.00 |
| 31  | D     | 12.00 | 0.00 |
| 32  | D     | 12.00 | 0.00 |
| 33  | D     | 12.00 | 0.00 |
| 34  | D     | 12.00 | 0.00 |
| 35  | D     | 12.00 | 0.00 |
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| 2   | E     | 12.00 | 0.00 |
| 3   | E     | 12.00 | 0.00 |
| 4   | E     | 12.00 | 0.00 |
| 5   | E     | 12.00 | 0.00 |
| 6   | E     | 12.00 | 0.00 |
| 7   | E     | 12.00 | 0.00 |
| 8   | E     | 12.00 | 0.00 |
| 9   | E     | 12.00 | 0.00 |
| 10  | E     | 12.00 | 0.00 |
| 11  | E     | 12.00 | 0.00 |
| 12  | E     | 12.00 | 0.00 |
| 13  | E     | 12.00 | 0.00 |
| 14  | E     | 12.00 | 0.00 |
| 15  | E     | 12.00 | 0.00 |
| 16  | E     | 12.00 | 0.00 |
| 17  | E     | 12.00 | 0.00 |
| 1   | F     | 12.00 | 0.00 |
| 2   | F     | 12.00 | 0.00 |
| 3   | F     | 12.00 | 0.00 |
| 4   | F     | 12.00 | 0.00 |
| 5   | F     | 12.00 | 0.00 |
| 6   | F     | 12.00 | 0.00 |
| 7   | F     | 12.00 | 0.00 |
| 8   | F     | 12.00 | 0.00 |
| 9   | F     | 12.00 | 0.00 |
| 10  | F     | 12.00 | 0.00 |
| 11  | F     | 12.00 | 0.00 |
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| 14  | F     | 12.00 | 0.00 |
| 15  | F     | 12.00 | 0.00 |
| 16  | F     | 12.00 | 0.00 |
| 17  | F     | 12.00 | 0.00 |
| 18  | F     | 12.00 | 0.00 |
| 19  | F     | 12.00 | 0.00 |
| 20  | F     | 12.00 | 0.00 |
| 21  | F     | 12.00 | 0.00 |
| 22  | F     | 12.00 | 0.00 |
| 23  | F     | 12.00 | 0.00 |
| 24  | F     | 12.00 | 0.00 |
| 25  | F     | 12.00 | 0.00 |
| 1   | G     | 12.00 | 0.00 |
| 2   | G     | 12.00 | 0.00 |
| 3   | G     | 12.00 | 0.00 |
| 4   | G     | 12.00 | 0.00 |
| 5   | G     | 12.00 | 0.00 |



| Label | Qty | Manufacturer      | Catalog Number                  | Description  | Lamp | Number Lamps | Lumens per Lamp | LF | Wattage |
|-------|-----|-------------------|---------------------------------|--|------|--------------|-----------------|----|---------|
| A     | 8   | Lithonia Lighting | DSX2 LED P1 30K T4M MVOLT HS    | DSX2 LED P1 30K T4M MVOLT with house/aid shield                                    | LED  | 1            | 13365           | 1  | 140     |
| B     | 5   | Lithonia Lighting | DSX2 LED P1 30K T5M MVOLT       | DSX2 LED P1 30K T5M MVOLT  | LED  | 1            | 18265           | 1  | 140     |
| C     | 6   | Lithonia Lighting | DSX2 LED P1 30K BLC MVOLT       | DSX2 LED P1 30K BLC MVOLT  | LED  | 1            | 14424           | 1  | 140     |
| D     | 35  | Lithonia Lighting | MRP LED 42C 530 30K SR4 MVOLT   | MRP POST TOP LIGHT 42 LEDs 530 mA DRIVE CURRENT 30K COLOR TEMP TYPE 4 DISTRIBUTION | LED  | 1            | 5399            | 1  | 75      |
| E     | 17  | Lithonia Lighting | MRP LED 42C 530 30K SR5 MVOLT   | MRP POST TOP LIGHT 42 LEDs 530 mA DRIVE CURRENT 30K COLOR TEMP TYPE 5 DISTRIBUTION | LED  | 1            | 5748            | 1  | 75      |
| F     | 25  | Lithonia Lighting | DSXW1 LED 10C 350 30K T3M MVOLT | DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 3000K, @ 350mA.           | LED  | 1            | 1385            | 1  | 13.3    |
| G     | 5   | Lithonia Lighting | DSXW1 LED 10C 350 30K T3S MVOLT | DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 3000K, @ 350mA.           | LED  | 1            | 1399            | 1  | 13.3    |

| Description              | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|--------------------------|--------|--------|--------|--------|---------|---------|
| bdg A sidewalk           | X      | 2.9 fc | 7.5 fc | 0.7 fc | 10.7:1  | 4.1:1   |
| bdg B outdoor space      | X      | 1.5 fc | 2.7 fc | 0.2 fc | 13.5:1  | 7.5:1   |
| bdg B pool               | X      | 1.5 fc | 2.6 fc | 0.5 fc | 5.2:1   | 3.0:1   |
| bdg B sidewalk           | X      | 3.2 fc | 7.9 fc | 0.1 fc | 79.0:1  | 32.0:1  |
| commercial bldg sidewalk | X      | 2.6 fc | 6.0 fc | 0.3 fc | 20.0:1  | 8.7:1   |
| drive and parking        | X      | 1.9 fc | 7.5 fc | 0.0 fc | N/A     | N/A     |

ALL FIXTURES SHALL BE FULL CUT-OFF  
 ALL FIXTURES SHALL BE DARK SKY COMPLIANT  
 LIGHTING SHALL OPERATE DUSK TILL DAWN VIA PHOTOCELL  
 LIGHTING LEVELS SHALL BE REDUCED BY 50% AFTER 10PM EXCLUDING SECURITY LIGHTING

SECURITY LIGHT FIXTURE LOCATION



GATEWAY AV EXETER  
 EPPING RD  
 EXETER NH

Designer: REMcCarthy  
 Date: 05/06/2020  
 Scale: Not to Scale  
 Drawing No.:  
 Summary:



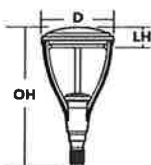


### MRP LED LED Area Luminaire



#### Specifications

EPA: 1,125 ft<sup>2</sup>  
(103.6 sq m)  
Luminaire Height: 6-3/8"  
(162.7 mm)  
Overall Height: 32"  
(813 mm)  
Diameter: 18"  
(457 mm)  
Weight (max): 37.5 lbs  
(17 kg)



Catalog Number \_\_\_\_\_  
Notes \_\_\_\_\_  
Type \_\_\_\_\_

#### A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL<sup>®</sup> controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM<sup>®</sup> or XPoint<sup>™</sup> Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL DLL](#)



#### Ordering Information

EXAMPLE: MRP LED 42C 700 40K SR5 MVOLT DDBXT

| Series  | LEDs                     | Wire current  | Color temperature                   | Distribution   | Voltage  | Mounting   | Finish  |
|---------|--------------------------|---|-------------------------------------|--|--|--|---|
| MRP LED | 42C 42 LEDs (one engine) | 350 350mA<br>530 530mA<br>700 700mA<br>1000 1000mA (IA) | 30K 3000K<br>40K 4000K<br>50K 5000K | SR2 Type II<br>SR3 Type III<br>SR4 Type IV<br>SR5 Type V | MVOLT <sup>1</sup><br>277 <sup>2</sup><br>347 <sup>2</sup><br>480 <sup>2</sup> | Shipped included (black) Fits 4"OD round pole<br>Shipped separately <sup>3</sup> MRP730 3-1/2" tenon diffuser<br>MRP735 4" tenon diffuser<br>MRP730 3"OD round pole adapter<br>MRP735 2-1/2" tenon diffuser<br>MRP735 5"OD round pole adapter <sup>4</sup> | Dark bronze<br>Black<br>Natural aluminum<br>White |

| Control options   | Other options  | Finish  |
|---|--|---|
| <b>Shipped installed</b>                                      | SF Single face (130, 277, 347V) <sup>1</sup><br>DF Double face (208, 240, 480V) <sup>1</sup>   | DDBXD Dark bronze<br>DLBXD Black<br>DNAXD Natural aluminum<br>DWHXD White                                     |
| PER <sup>5</sup> 100% dimming (see separate page for details) | PHM700 Part eight, dim 0-100% <sup>6</sup><br>PHM750 Part eight, dim 5-100% <sup>6</sup><br>PHM760 Part eight, dim 0-100% <sup>6</sup><br>PHM770 Part eight, dim 7-100% <sup>6</sup> | DDBXD Textured dark bronze<br>DLBXD Textured black<br>DNAXD Textured natural aluminum<br>DWHXD Textured white |

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
© 2011-2019 Acuity Brands Lighting, Inc. All rights reserved. MRP LED Rev. 10/23/19



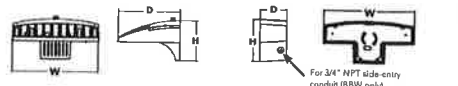
### D-Series Size 1 LED Wall Luminaire



#### Specifications Luminaire

Width: 13-3/4"  
(349 mm)  
Depth: 10"  
(254 mm)  
Height: 6-3/8"  
(162 mm)

Weight: 12 lbs  
(5.4 kg)  
Back Box (BBW, ELCW)  
Width: 13-3/4"  
(349 mm)  
Depth: 4"  
(102 mm)  
Height: 6-3/8"  
(162 mm)



Catalog Number \_\_\_\_\_  
Notes \_\_\_\_\_  
Type \_\_\_\_\_

#### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

#### Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBXTD

| Series    | LEDs                  | Drive Current   | Color temperature                   | Distribution  | Package  | Mounting  | Control Options  | Other Options  | Finish   |
|-----------|-----------------------|---|-------------------------------------|---|--|---|--|--|--|
| DSXW1 LED | 100 LEDs (one engine) | 350 350mA<br>530 530mA<br>700 700mA<br>1000 1000mA (IA) | 30K 3000K<br>40K 4000K<br>50K 5000K | T2S Type II Short<br>T2M Type II Medium<br>T3S Type III Short<br>T3M Type III Medium<br>T4M Type IV Medium<br>TFTM Forward Throw Medium<br>ASVDY Asymmetric diffuse | MVOLT <sup>1</sup><br>120 <sup>1</sup><br>208 <sup>1</sup><br>240 <sup>1</sup><br>347 <sup>2</sup><br>480 <sup>2</sup> | Surface mounting bracket<br>Surface-mounted back box (for conduit entry) <sup>3</sup> | Shipped included<br>PE Planar electric coil, button type <sup>4</sup><br>DMG 0-10V dimming driver (no external sensor, <15' range) <sup>5</sup><br>PIR 180° motion/ambient light sensor, <15' range <sup>6</sup><br>PIR 180° motion/ambient light sensor, 15-30' range <sup>6</sup><br>ELW Emergency battery backup (includes external component enclosure) <sup>7</sup> | Shipped installed<br>SF Single face (120, 277 or 347V) <sup>1</sup><br>DF Double face (208, 240 or 480V) <sup>1</sup><br>DMG 0-10V dimming driver (no external sensor, <15' range) <sup>5</sup><br>HS House-side shield <sup>8</sup><br>SPD Separate surge protector <sup>9</sup><br>BSW Bidirectional sensor <sup>10</sup><br>WQ Wire guard<br>VG Vinyl guard<br>DOL Diffused drop lens | DDBXD Dark bronze<br>DLBXD Black<br>DNAXD Natural aluminum<br>DWHXD White<br>DDBXD Textured dark bronze<br>DLBXD Textured black<br>DNAXD Textured natural aluminum<br>DWHXD Textured white |

**NOTES**  
1. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with DF, DF options, or photocontrol (PE) option.  
2. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIR.  
3. Back box ships installed on luminaire. Cannot be field installed. Cannot be ordered as an accessory.  
4. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensor (PIR or PIR).  
5. PIR requires the Sensor Switch 360A-1000V control. PIRH requires the Sensor Switch 360A-1000V control. See Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocontrol). Dimming other standard. Not available with 25 LED 1000-mA configuration (DSXW1 LED 20C 1000).  
6. Cold weather (LSDC) rated. Not compatible with standard entry applications. Not available with BEV mounting option. Not available with facing. Not available with 347 or 480-voltage options. Emergency components located in back box housing. Emergency mode LED also located on product page [www.lithonia.com](http://www.lithonia.com).  
7. Single face (DF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.  
8. Also available as a separate accessory. See Accessories information.  
9. See the electrical section on page 3 for more details.

#### Accessories

| Accessory | Description                     |
|-----------|---------------------------------|
| DSXW1B    | House-side shield (see page 10) |
| DSXW1C    | Bi-directional sensor           |
| DSXW1D    | Wire guard                      |
| DSXW1E    | Vinyl guard                     |

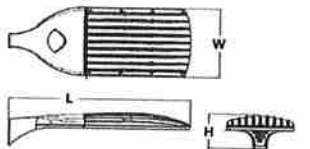


### D-Series Size 2 LED Area Luminaire



#### Specifications

EPA: 1,1 ft<sup>2</sup>  
(10.1 sq m)  
Length: 40"  
(1016 mm)  
Width: 15"  
(381 mm)  
Height: 7-1/4"  
(184 mm)  
Weight (max): 36 lbs  
(16.3 kg)



#### Ordering Information

EXAMPLE: DSX2 LED P7 T3M MVOLT SPA DDBXD

| Series   | LEDs  | Color temperature  | Distribution   | Voltage  | Mounting  |
|----------|---|--|--|--|---|
| DSX2 LED | Forward optics<br>P1 P5<br>P2 P6<br>P3 P7<br>P4 P8<br>Rotated optical <sup>1</sup><br>P10 P13<br>P11 P14<br>P12 | 30K 3000K<br>40K 4000K<br>50K 5000K<br>AMBPC Amber phosphor converted <sup>2</sup> | T1S Type I Short<br>T2S Type II Short<br>T3M Type III Medium<br>T3S Type III Short<br>T3M Type III Medium<br>T4M Type IV Medium<br>TFTM Forward Throw Medium | MVOLT <sup>3</sup><br>120 <sup>3</sup><br>208 <sup>3</sup><br>240 <sup>3</sup><br>277 <sup>3</sup><br>347 <sup>3</sup><br>480 <sup>3</sup> | Shipped included<br>SPA Square pole mounting<br>RFA Round pole mounting<br>WBA Wall bracket<br>SPUMBA Square pole universal mounting adaptor <sup>4</sup><br>RPUMBA Round pole universal mounting adaptor <sup>4</sup><br>Shipped separately<br>RNAS DDBXD U Must accompany entry bracket adaptor (specify finish) <sup>5</sup> |

| Control options          | Other options  | Finish   |
|--------------------------|--|--|
| <b>Shipped installed</b> | PIR180 180° motion sensor, 15-30' mounting height, ambient sensor enabled at 15' 11"<br>BL30 Bi-level switched dimming, 30% 11"<br>BL50 Bi-level switched dimming, 50% 11"<br>PHM700 Part eight, dim 0-100% <sup>6</sup><br>PHM750 Part eight, dim 5-100% <sup>6</sup><br>PHM760 Part eight, dim 0-100% <sup>6</sup><br>PHM770 Part eight, dim 7-100% <sup>6</sup><br>FAO Field Adjustable Output <sup>7</sup> | DDBXD Dark bronze<br>DLBXD Black<br>DNAXD Natural aluminum<br>DWHXD White<br>DDBXD Textured dark bronze<br>DLBXD Textured black<br>DNAXD Textured natural aluminum<br>DWHXD Textured white |

DSX2 LED Rev. 03/27/18 Page 1 of 7

GATEWAY AT EXETER  
LEPPING RD  
EXETER NH

Designer  
REMcCarthy  
Date  
03/27/2020  
Scale  
Not to Scale  
Drawing No.  
Summary





GATEWAY AT EXETER - EXETER, NH

12  
MAY  
2020

 **PROCON**  
CONNECT • CREATE • CONSTRUCT





SOUTH ELEVATION



EAST ELEVATION





NORTH ELEVATION



WEST ELEVATION



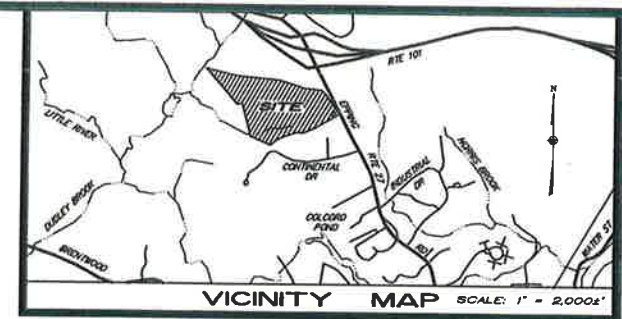
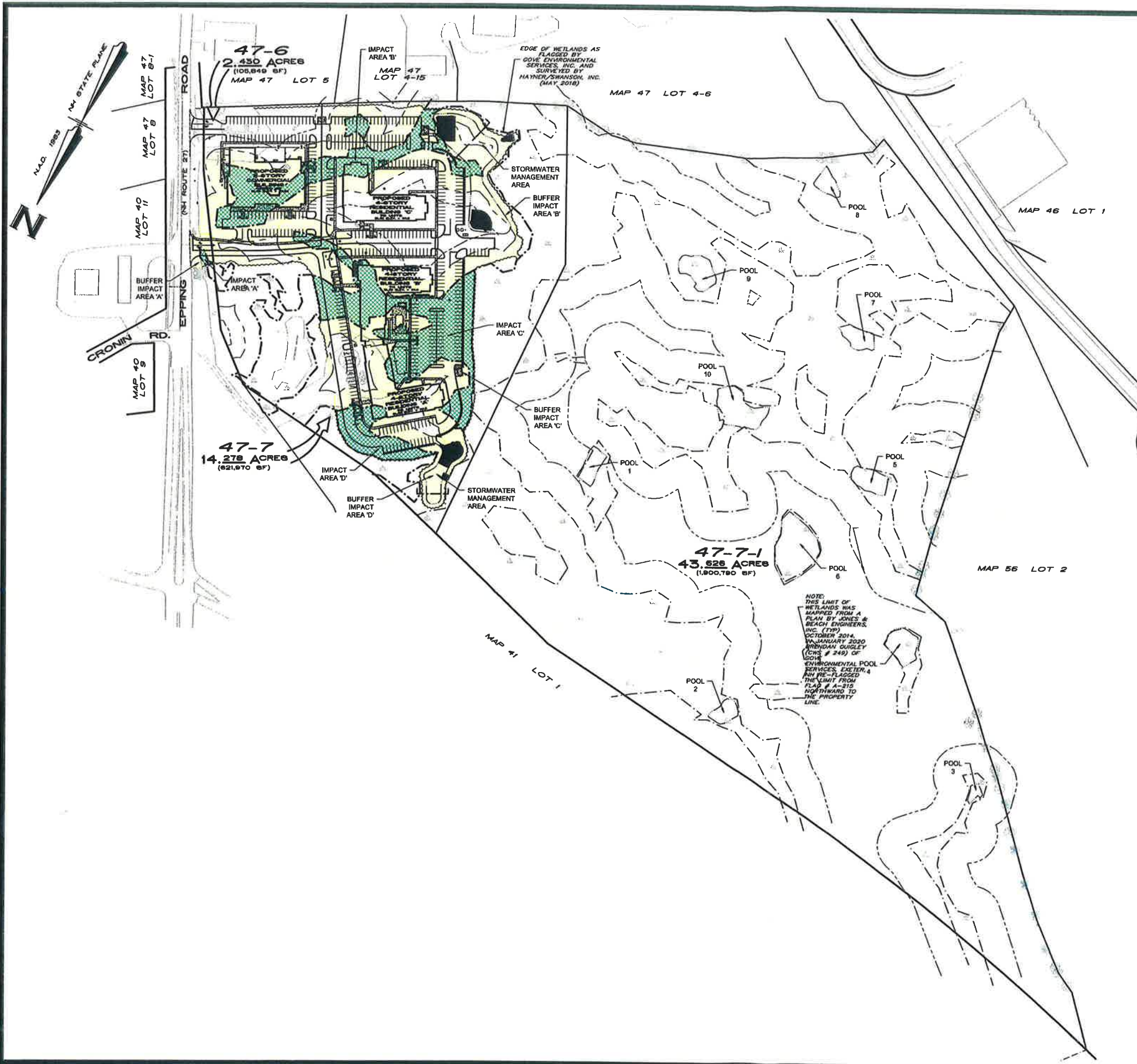


GATEWAY AT EXETER - EXETER, NH

12  
MAY  
2020







**NOTES:**

- TOTAL SITE AREA: 80.9454 ACRES (2,628,000 SF)
- PRESENT ZONING: C-3; EPPING ROAD HIGHWAY COMMERCIAL
- LOT NUMBERS REFER TO THE TOWN OF EXETER ASSESSORS MAPS 40, 41, 46, 47 AND 56.
- SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY EXETER PUBLIC WORKS, UNDERGROUND POWER, TELECOMMUNICATIONS AND GAS UTILITIES.
- PURPOSE OF PLAN: TO SHOW TOWN OF EXETER WETLAND AND WETLAND BUFFER IMPACTS FOR THE PROJECT.
- OWNER OF RECORD: MAP 47, LOTS 6 & 7, GATEWAY AT EXETER, LLC 20 TRAFALGAR SQUARE, SUITE 610 NASHUA NH 03063 BK 8976, PG 2195

**CONSULTANT CONTACTS**

**HAYNERSWANSON, INC.**  
 ATTN: JAMES H. PETROPoulos, P.E.  
 3 CONGRESS STREET  
 NASHUA, NH 03062  
 (603) 863-2057

**GOVE ENVIRONMENTAL SERVICES:**  
 ATTN: JAMES GOVE, CHW  
 8 CONTINENTAL DRIVE  
 EXETER, NH 03833  
 (603) 778-0544

**LEGEND**

- WETLAND FLAGGING LIMIT BY GOVE ENVIRONMENTAL SERVICES
- WETLAND FLAGGING LIMIT BY JONES AND BEACH ENGINEERS, INC.
- WETLAND BUFFER LINE
- TREE LINE
- AREA OF WETLAND IMPACT
- AREA OF BUFFER IMPACT

NOTE: THIS LIMIT OF WETLANDS WAS MARKED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014. IN JANUARY 2020 BRINDAN OUGLEY (CRS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM PLAT # A-215 NORTHWARD TO THE PROPERTY LINE.

**RECEIVED**  
 MAY 13 2020

**EXETER PLANNING OFFICE**



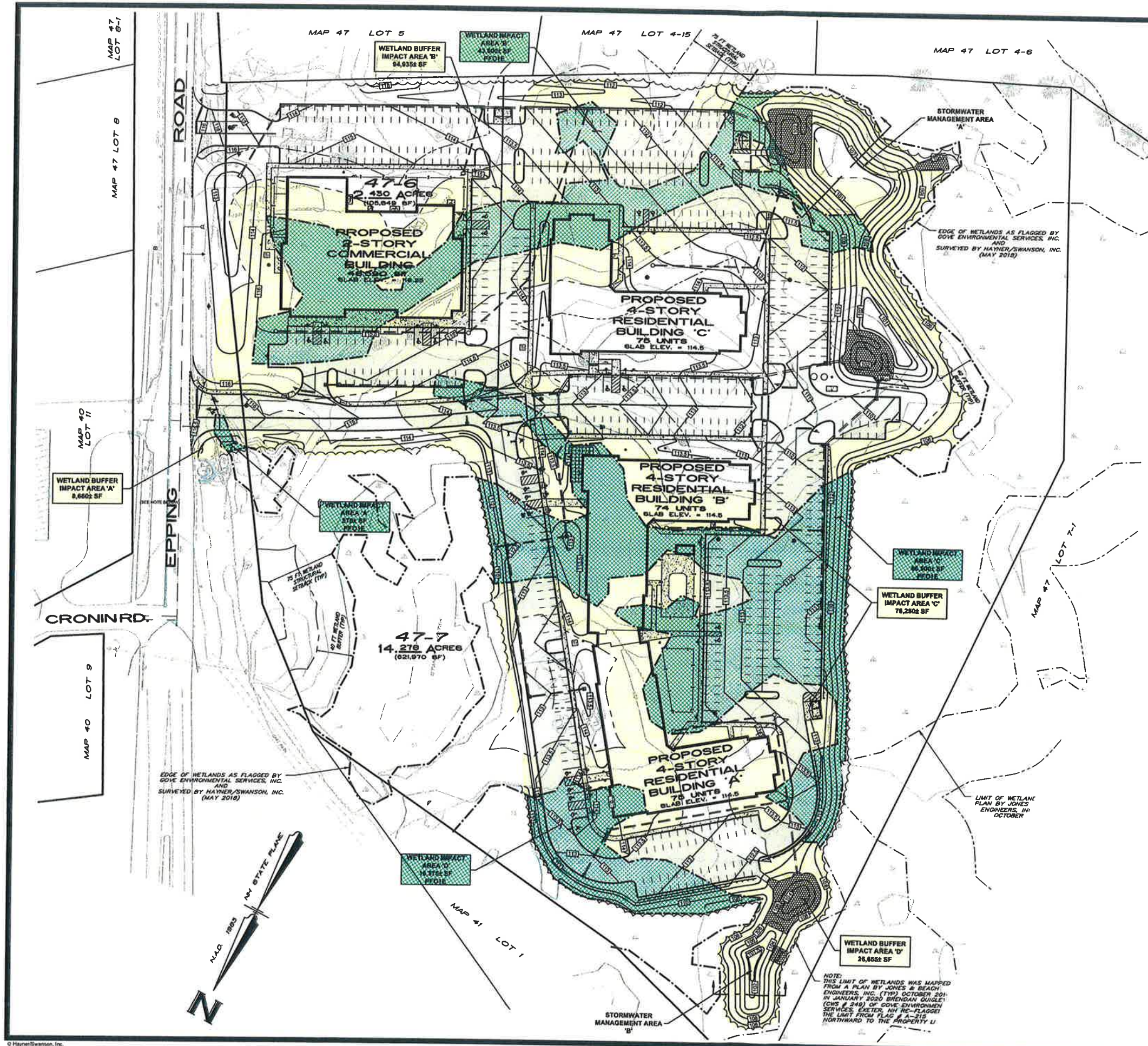
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 860-0502

WETLAND/BUFFER IMPACT PLAN  
 (MAP 47, LOTS 6 & 7)  
**PROPOSED MIXED-USE DEVELOPMENT**  
 EPPING ROAD #2  
 EXETER, NEW HAMPSHIRE

**HESI** Haynes Swanson, Inc.  
 Civil Engineering & Surveying  
 100 Main Street  
 Exeter, NH 03833  
 (603) 863-2057  
 www.haynes-swanson.com

DATE OF NEW IMPROVEMENT  
 11 OCTOBER 2019  
 SHEET NO. 1 OF 2  
 SCALE: 1" = 120'  
 FIELD BOOK: 123456789  
 DATE: 10/11/19





**NOTES**

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MAY OF 2018 AND OCTOBER OF 2014 IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2018 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

| IMPACT INFORMATION |                     |                                  |
|--------------------|---------------------|----------------------------------|
| AREA               | WETLAND IMPACT (SF) | 40 FT WETLAND BUFFER IMPACT (SF) |
| A                  | 570                 | 8,680                            |
| B                  | 43,600              | 84,935                           |
| C                  | 68,600              | 78,250                           |
| D                  | 16,376              | 26,855                           |
| TOTAL              | 127,046             | 208,500                          |

| NO. | DATE     | REVISION                              |
|-----|----------|---------------------------------------|
| 1   | 05/20/18 | ADDRESS SECOND ROUND OF TOWN COMMENTS |

PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 810 NASHUA, NH 03063 (603) 880-0902

WETLAND/BUFFER IMPACT PLAN  
 (MAP #7, LOTS 6 & 7)  
**PROPOSED MIXED-USE DEVELOPMENT**  
 EPPING ROAD #27  
 EXETER, NEW HAMPSHIRE

**HSI** Haymer/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 120 Main Street, Exeter, NH 03824  
 (603) 231-2000  
 www.haymerswanson.com

FIELD BOOK: 120120231 ENG. LOG. 2, 10/03/2018, 10/03/2018, 10/03/2018  
 DATE: 10/03/2018  
 SCALE: 1" = 50'  
 SHEET: 2 OF 2  
 PROJECT: 11 OCTOBER 2019

EDGE OF WETLANDS AS FLAGGED BY GOVE ENVIRONMENTAL SERVICES, INC. AND SURVEYED BY HAYMER/SWANSON, INC. (MAY 2018)



NOTE: THIS LIMIT OF WETLANDS WAS MAPPED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2011 IN JANUARY 2010 BENCHMARK GUIDE (CRS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # A-215 NORTHWARD TO THE PROPERTY LINE.