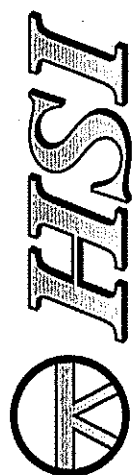


3 Congress Street Nashua, NH 03062 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
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Hayner/Swanson, Inc.



**MAP 47, LOTS 6 & 7**  
**LOT LINE ADJUSTMENT/SUBDIVISION PLAN**

**170 EPPING ROAD**

**NH  
 ROUTE  
 27**

**EXETER, NEW HAMPSHIRE**

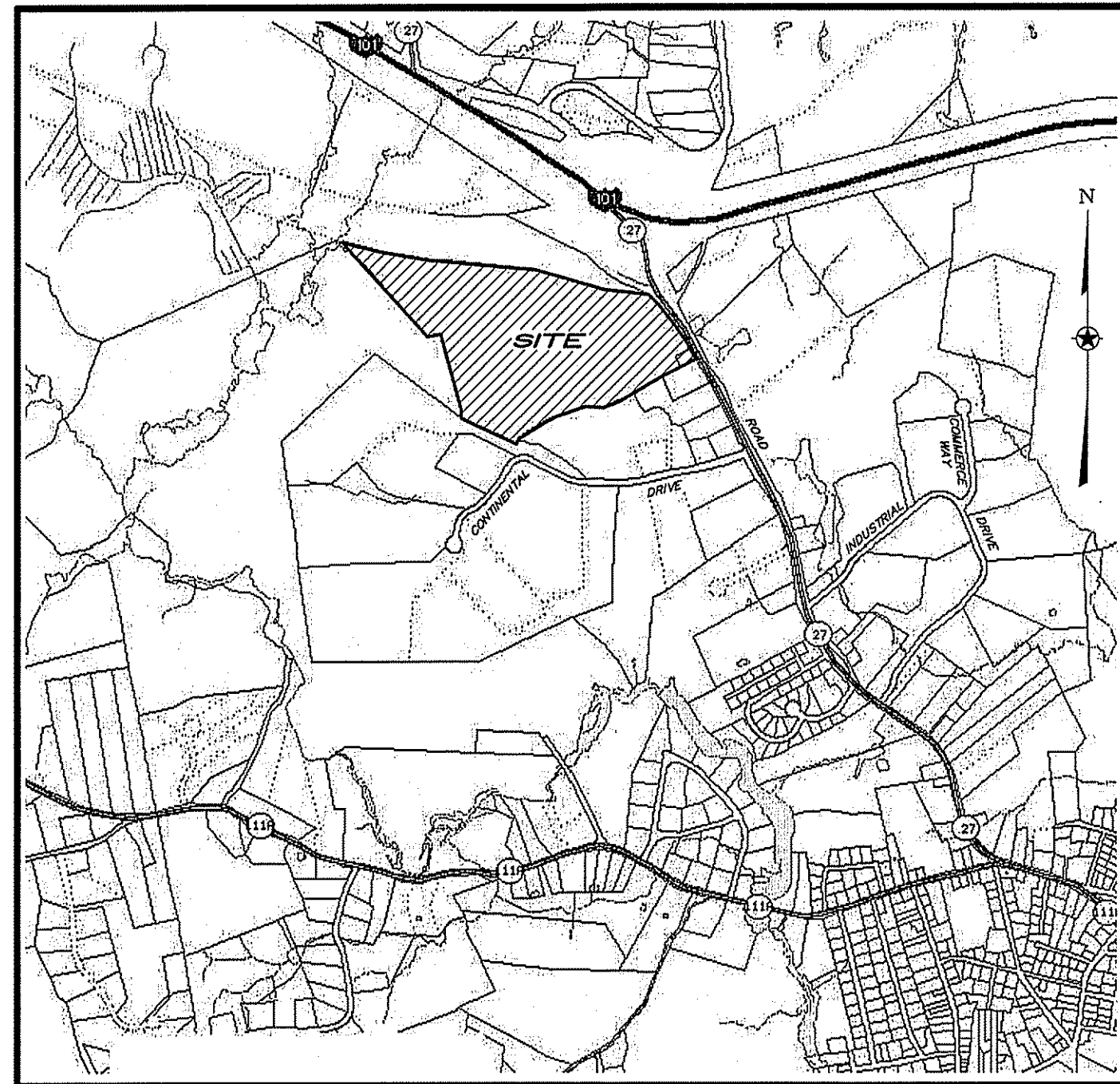
**PREPARED FOR/RECORD OWNER**

**GATEWAY AT EXETER, LLC**

20 TRAFALGAR SQUARE, SUITE 610  
 NASHUA, NH 03063  
 (603) 880-0502

**6 NOVEMBER 2019**

REVISED  
 21 JANUARY 2020  
 12 JUNE 2020



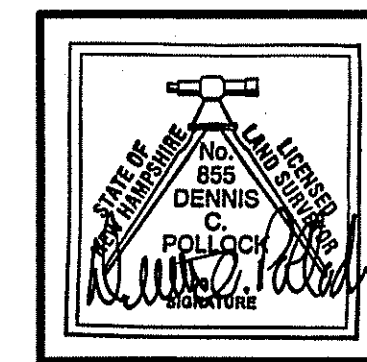
**VICINITY PLAN** SCALE: 1"=1,364'±

**INDEX OF PLANS**

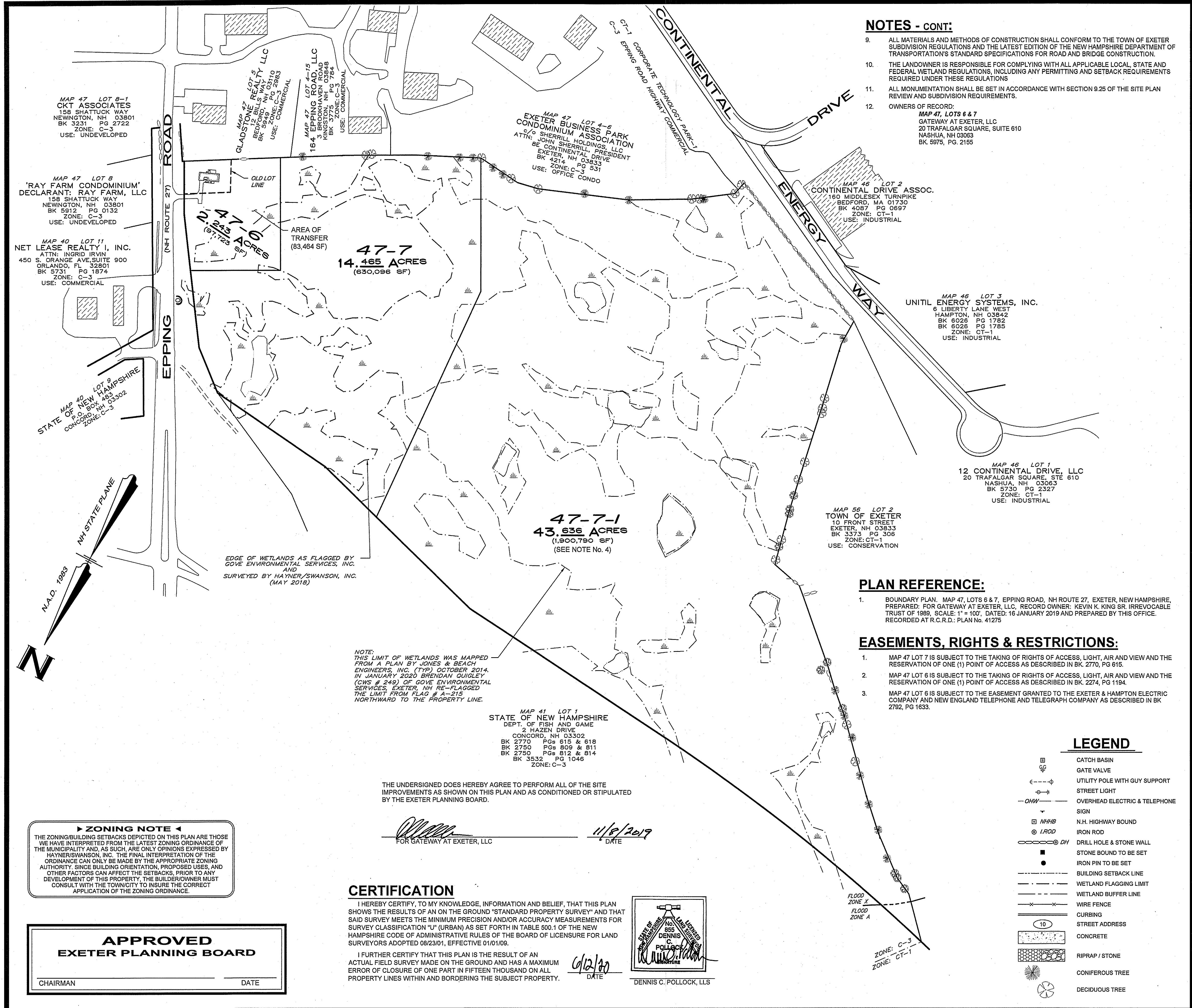
SHEET No.	TITLE	
1 OF 5	MASTER LOT LINE ADJUSTMENT/SUBDIVISION PLAN	1"= 150'
2-3 OF 5	LOT LINE ADJUSTMENT/SUBDIVISION PLAN	1"= 80'
4-5 OF 5	TOPOGRAPHIC LOT LINE ADJUSTMENT/SUBDIVISION PLAN	1"= 80'



**Civil Engineers/Land Surveyors**  
 3 Congress Street Nashua, NH 03062 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
 www.hayner-swanson.com

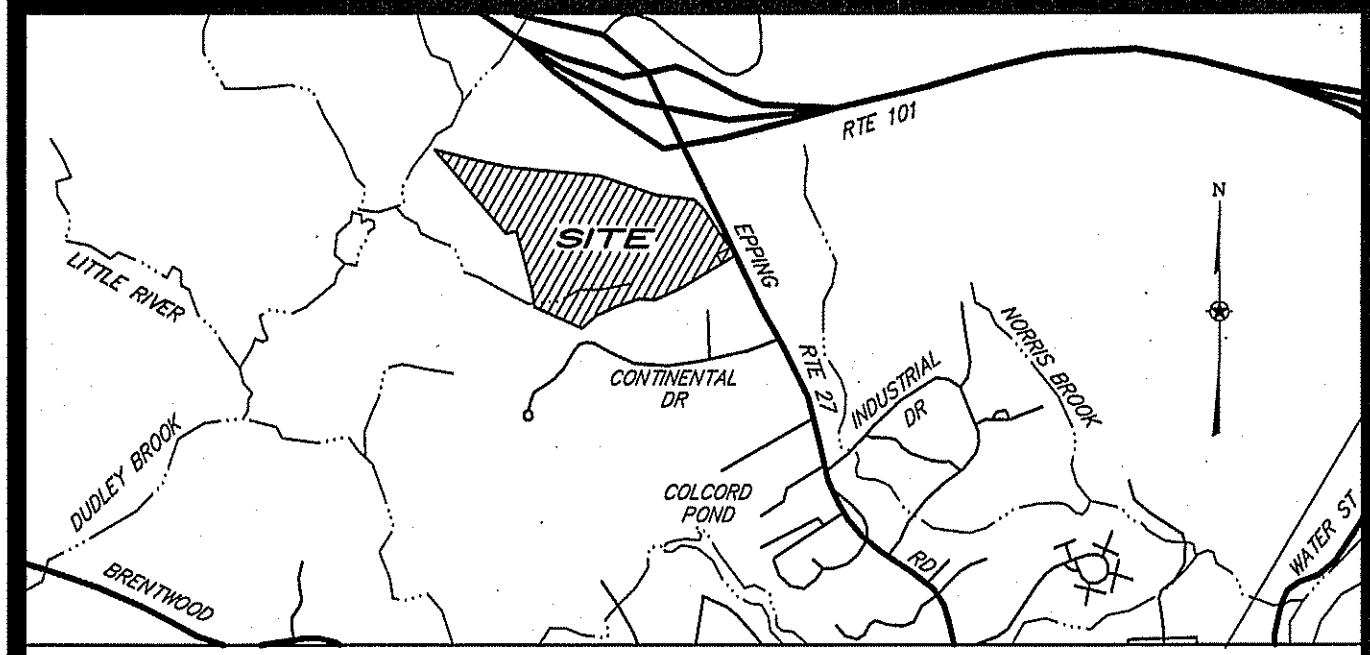


**CASE No. 19-15**



**NOTES - CONT:**

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF EXETER SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL MONUMENTATION SHALL BE SET IN ACCORDANCE WITH SECTION 9.25 OF THE SITE PLAN REVIEW AND SUBDIVISION REQUIREMENTS.
- OWNERS OF RECORD:  
 MAP 47, LOTS 6 & 7  
 GATEWAY AT EXETER, LLC  
 20 TRAFALGAR SQUARE, SUITE 610  
 NASHUA, NH 03063  
 BK. 5975, PG. 2155



**NOTES:**

- PURPOSE OF PLAN:  
 A. TO RELOCATE LOT LINE BETWEEN LOTS 6 & 7, MAP 47.  
 B. TO SUBDIVIDE NEWLY CREATED LOT 7, MAP 47, INTO TWO NEW LOTS.
- SITE AREA:  

LOT	EXISTING	PROPOSED
LOT 47-6	14,289 SF 0.327 ACRES	97,723 SF 2.243 ACRES
LOT 47-7	2,614,350 SF 60.017 ACRES	630,096 SF 14.465 ACRES
LOT 47-7-1	N/A	1,900,790 SF 43.636 ACRES
TOTAL	60,344 ACRES	60,344 ACRES
- PRESENT ZONING: EPPING ROAD HIGHWAY COMMERCIAL  
 MINIMUM LOT REQUIREMENTS:  
 -LOT AREA 40,000 SF  
 -LOT WIDTH 175 FT  
 -LOT DEPTH 225 FT  
 -BUILDING HEIGHT 50 FT  
 -MAX. BUILDING COVERAGE 40%  
 -MIN. OPEN SPACE 20%  
 MINIMUM BUILDING SETBACKS:  
 -FRONT YARD 50 FT  
 -SIDE YARD 30 FT  
 -REAR YARD 60 FT  
 ON MAY 21, 2019 THE EXETER ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO PERMIT A MULTI-FAMILY RESIDENTIAL COMPLEX AS PART OF A MIXED-USE DEVELOPMENT PLAN WITH THE FOLLOWING CONDITIONS:  
 • THE REMAINING APPROXIMATE 45± ACRES TO THE REAR OF THE SITE REMAIN UNDEVELOPED  
 • THAT 25% OF THE RESIDENTIAL RENTAL UNITS QUALIFY AS WORKFORCE HOUSING RENTAL UNITS AS DEFINED UNDER THE NH WORKFORCE HOUSING STATUTE.  
 • THAT THE RESTRICTIONS FOR WORKFORCE RENTAL SHALL BE FOR NOT LESS THAN 30 YEARS.  
 • THAT THE RESIDENTIAL PORTION SHALL REMAIN AS RENTAL UNITS FOR NOT LESS THAN 30 YEARS.  
 • THE MULTI-FAMILY PORTION OF THE COMPLEX SHALL INCLUDE NOT MORE THAN 224 RESIDENTIAL RENTAL UNITS.
- LOT USE:  

LOT	EXISTING	PROPOSED
LOT 47-6	DWELLING	COMMERCIAL
LOT 47-7	UNDEVELOPED	MULTI-FAMILY RESIDENTIAL
LOT 47-7-1	N/A	UNDEVELOPED

 NOTE: IT IS INTENDED THAT MAP 47, LOT 7-1 BE CONVEYED TO THE TOWN OF EXETER FOR CONSERVATION PURPOSES. AT THAT TIME IT SHALL BE CONSOLIDATED, BY THE TOWN OF EXETER, WITH ABUTTING MAP 56, LOT 2, BY VOLUNTARY MERGER FORM.
- LOT NUMBERS REFER TO THE TOWN OF EXETER ASSESSORS MAPS 40, 41, 46, 47 AND 56.
- LOTS ARE TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY EXETER PUBLIC WORKS, UNDERGROUND POWER, TELECOMMUNICATIONS AND GAS UTILITIES.
- THIS PARCEL CONTAINS AREAS IDENTIFIED AS ZONE X AND ZONE A AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), ROCKINGHAM, TOWN OF EXETER, NEW HAMPSHIRE, COMMUNITY No. 330130, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33015C0401E, DATED: MAY 17, 2005.
- THIS PLAN CONSISTS OF FIVE (5) SHEETS, OF WHICH SHEETS 1 THRU 3 WILL BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE ENTIRE PLAN SET WILL ALSO BE ON FILE AT THE TOWN OF EXETER PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.

**PLAN REFERENCE:**

- BOUNDARY PLAN, MAP 47, LOTS 6 & 7, EPPING ROAD, NH ROUTE 27, EXETER, NEW HAMPSHIRE, PREPARED: FOR GATEWAY AT EXETER, LLC, RECORD OWNER: KEVIN K. KING SR. IRREVOCABLE TRUST OF 1989, SCALE: 1" = 100', DATED: 16 JANUARY 2019 AND PREPARED BY THIS OFFICE. RECORDED AT R.C.R.D.: PLAN No. 41275

**EASEMENTS, RIGHTS & RESTRICTIONS:**

- MAP 47 LOT 7 IS SUBJECT TO THE TAKING OF RIGHTS OF ACCESS, LIGHT, AIR AND VIEW AND THE RESERVATION OF ONE (1) POINT OF ACCESS AS DESCRIBED IN BK. 2770, PG 615.
- MAP 47 LOT 6 IS SUBJECT TO THE TAKING OF RIGHTS OF ACCESS, LIGHT, AIR AND VIEW AND THE RESERVATION OF ONE (1) POINT OF ACCESS AS DESCRIBED IN BK. 2274, PG 1194.
- MAP 47 LOT 6 IS SUBJECT TO THE EASEMENT GRANTED TO THE EXETER & HAMPTON ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BK 2792, PG 1633.

**LEGEND**

- CATCH BASIN
- GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- SIGN
- N.H. HIGHWAY BOUND
- IRON ROD
- DRILL HOLE & STONE WALL
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- BUILDING SETBACK LINE
- WETLAND FLAGGER LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CURBING
- STREET ADDRESS
- CONCRETE
- RIPRAP / STONE
- CONIFEROUS TREE
- DECIDUOUS TREE

MAP 47 LOT 8-1  
 CKT ASSOCIATES  
 158 SHATTUCK WAY  
 NEWINGTON, NH 03801  
 BK 3231 PG 2722  
 ZONE: C-3  
 USE: UNDEVELOPED

MAP 47 LOT 8  
 'RAY FARM CONDOMINIUM'  
 DECLARANT: RAY FARM, LLC  
 158 SHATTUCK WAY  
 NEWINGTON, NH 03801  
 BK 5912 PG 0132  
 ZONE: C-3  
 USE: UNDEVELOPED

MAP 40 LOT 11  
 NET LEASE REALTY I, INC.  
 ATTN: INGRID IRVIN  
 450 S. ORANGE AVE., SUITE 900  
 ORLANDO, FL 32801  
 BK 5731 PG 1874  
 ZONE: C-3  
 USE: COMMERCIAL

MAP 40 LOT 9  
 STATE OF NEW HAMPSHIRE  
 P.O. BOX 453  
 CONCORD, NH 03302  
 ZONE: C-3

MAP 47 LOT 4-6  
 EXETER BUSINESS PARK  
 CONDOMINIUM ASSOCIATION  
 ATTN: JOHN SHERRILL, PRESIDENT  
 BE CONTINENTAL DRIVE  
 EXETER, NH 03833  
 BK 4214 PG 531  
 ZONE: C-3  
 USE: OFFICE CONDO

MAP 46 LOT 2  
 CONTINENTAL DRIVE ASSOC.  
 160 MIDDLESEX TURNPIKE  
 BEDFORD, MA 01730  
 BK 4087 PG 0697  
 ZONE: CT-1  
 USE: INDUSTRIAL

MAP 46 LOT 3  
 UNITIL ENERGY SYSTEMS, INC.  
 6 LIBERTY LAKE WEST  
 HAMPTON, NH 03842  
 BK 6026 PG 1782  
 BK 6026 PG 1785  
 ZONE: CT-1  
 USE: INDUSTRIAL

MAP 46 LOT 1  
 12 CONTINENTAL DRIVE, LLC  
 20 TRAFALGAR SQUARE, STE 610  
 NASHUA, NH 03063  
 BK 5730 PG 2327  
 ZONE: CT-1  
 USE: INDUSTRIAL

MAP 56 LOT 2  
 TOWN OF EXETER  
 19 FRONT STREET  
 EXETER, NH 03833  
 BK 3373 PG 306  
 ZONE: CT-1  
 USE: CONSERVATION

MAP 41 LOT 1  
 STATE OF NEW HAMPSHIRE  
 DEPT. OF FISH AND GAME  
 2 HAZEN DRIVE  
 CONCORD, NH 03302  
 BK 2770 Pgs 615 & 618  
 BK 2750 Pgs 809 & 811  
 BK 2750 Pgs 812 & 814  
 BK 3532 PG 1046  
 ZONE: C-3

NOTE:  
 THIS LIMIT OF WETLANDS WAS MAPPED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYPE) OCTOBER 2014, IN JANUARY 2020 BRENDAN QUIGLEY (CWS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # A-215 NORTHWARD TO THE PROPERTY LINE.

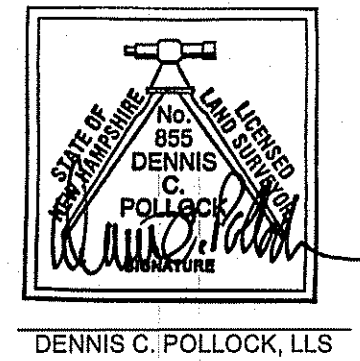
THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE EXETER PLANNING BOARD.

FOR GATEWAY AT EXETER, LLC  
 DATE 11/8/2019

**CERTIFICATION**

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

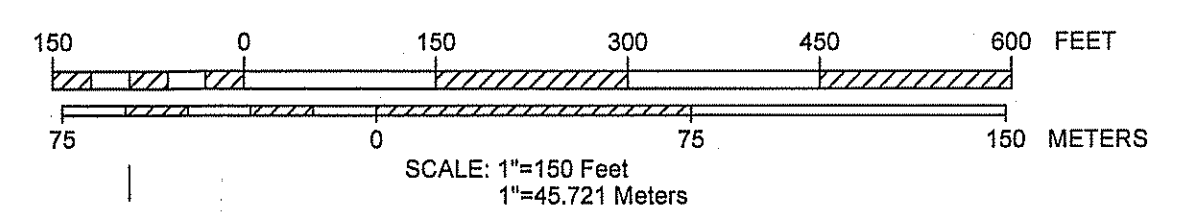


**ZONING NOTE**  
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**APPROVED**  
**EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

CASE No. 19-15  
 MASTER LOT LINE ADJUSTMENT/  
 SUBDIVISION PLAN  
 (MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD** NH ROUTE 27  
 EXETER, NEW HAMPSHIRE

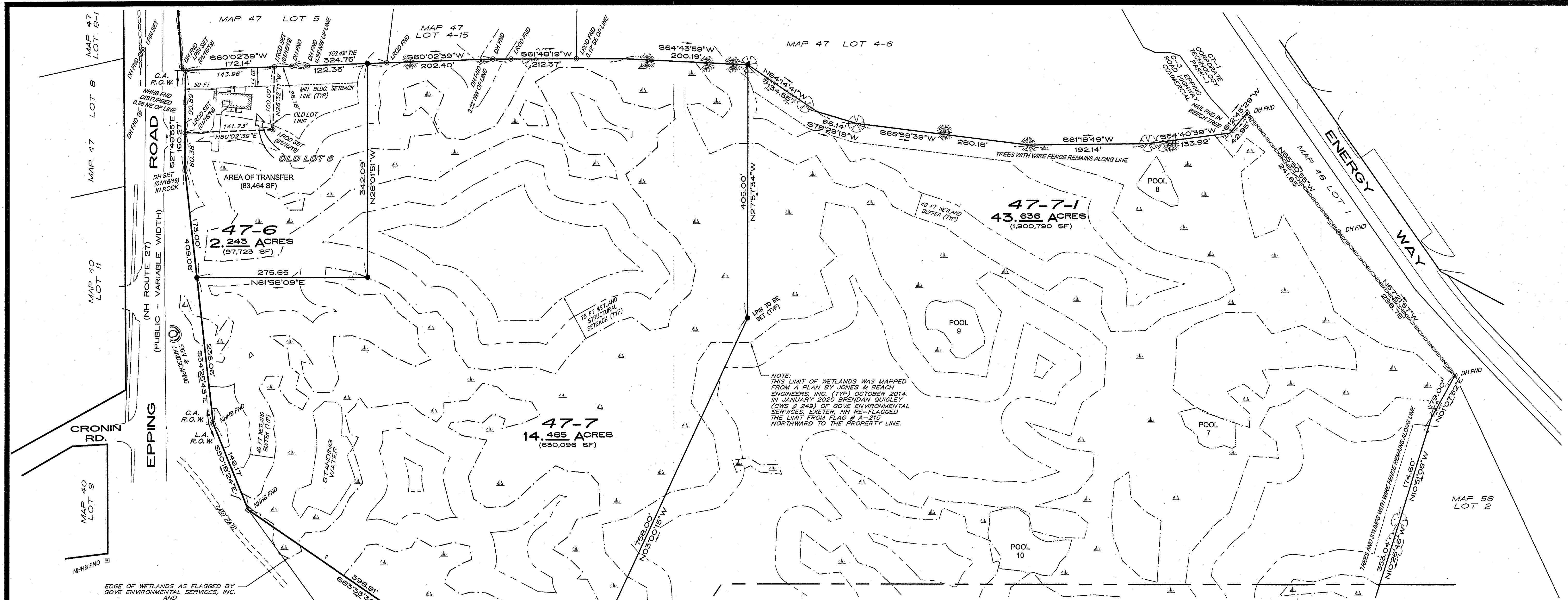
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
 20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502



6 NOVEMBER 2019

**HSI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03062  
 (603) 883-2057  
 131 Middlesex Turnpike  
 Burlington, MA 01803  
 (781) 203-1501  
 www.hayner-swanson.com





NOTE:  
THIS LIMIT OF WETLANDS WAS MAPPED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014. IN JANUARY 2020 BRENDAN QUIGLEY (CWS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # A-219 NORTHWARD TO THE PROPERTY LINE.

MATCH LINE SEE SHEET 3 OF 5

**WETLAND NOTES:**

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MAY OF 2018 AND OCTOBER OF 2014 IN ACCORDANCE WITH:

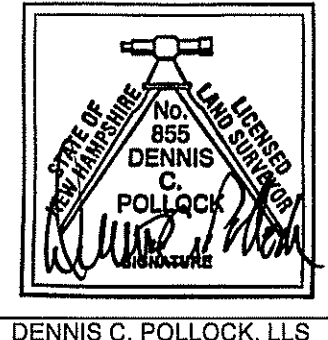
1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2018 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

**CERTIFICATION**

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

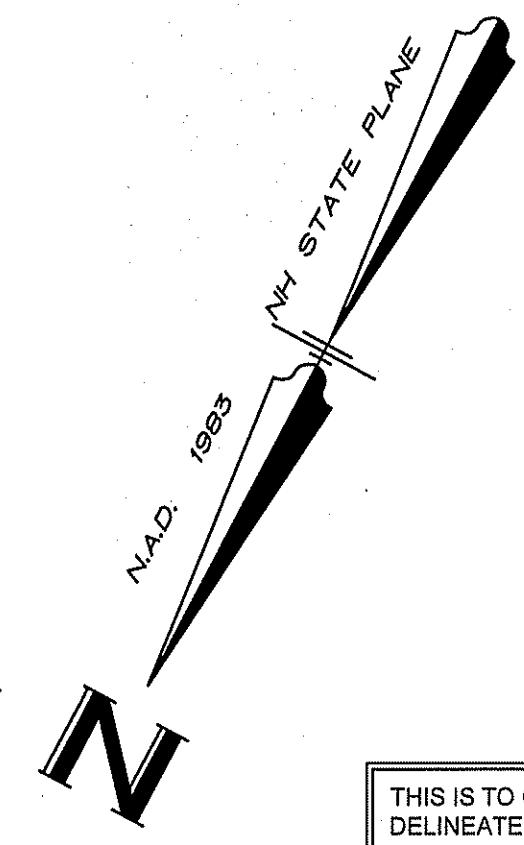
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

6/12/20  
DATE

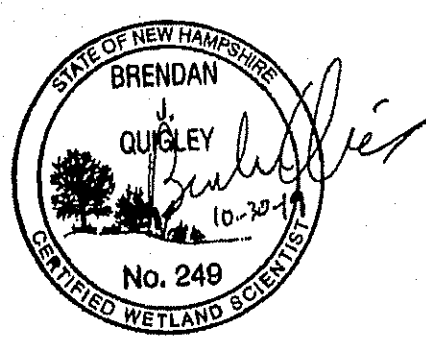


DENNIS C. POLLOCK, L.L.S.

EDGE OF WETLANDS AS FLAGGED BY GOVE ENVIRONMENTAL SERVICES, INC. AND SURVEYED BY HAYNER/SWANSON, INC. (MAY 2018)



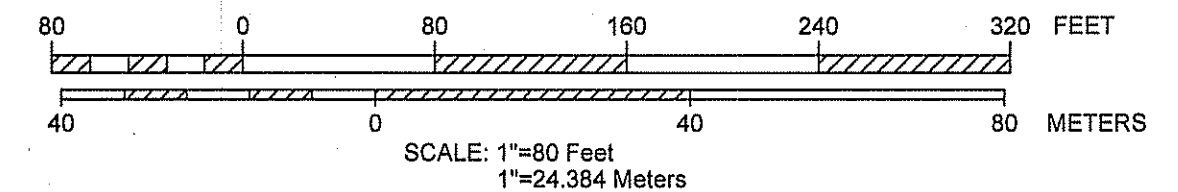
THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS, JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).  
WETLAND DELINEATION PREPARED BY:  
GOVE ENVIRONMENTAL SERVICES  
BRENDAN J. QUIGLEY  
CERTIFIED WETLAND SCIENTIST (#249)



**APPROVED**  
**EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DATE	REVISION	BY
2	06/12/20	REVISE LOT LINE AND AREAS	JNP
1	01/12/20	ADDRESS TRC COMMENTS	JNP

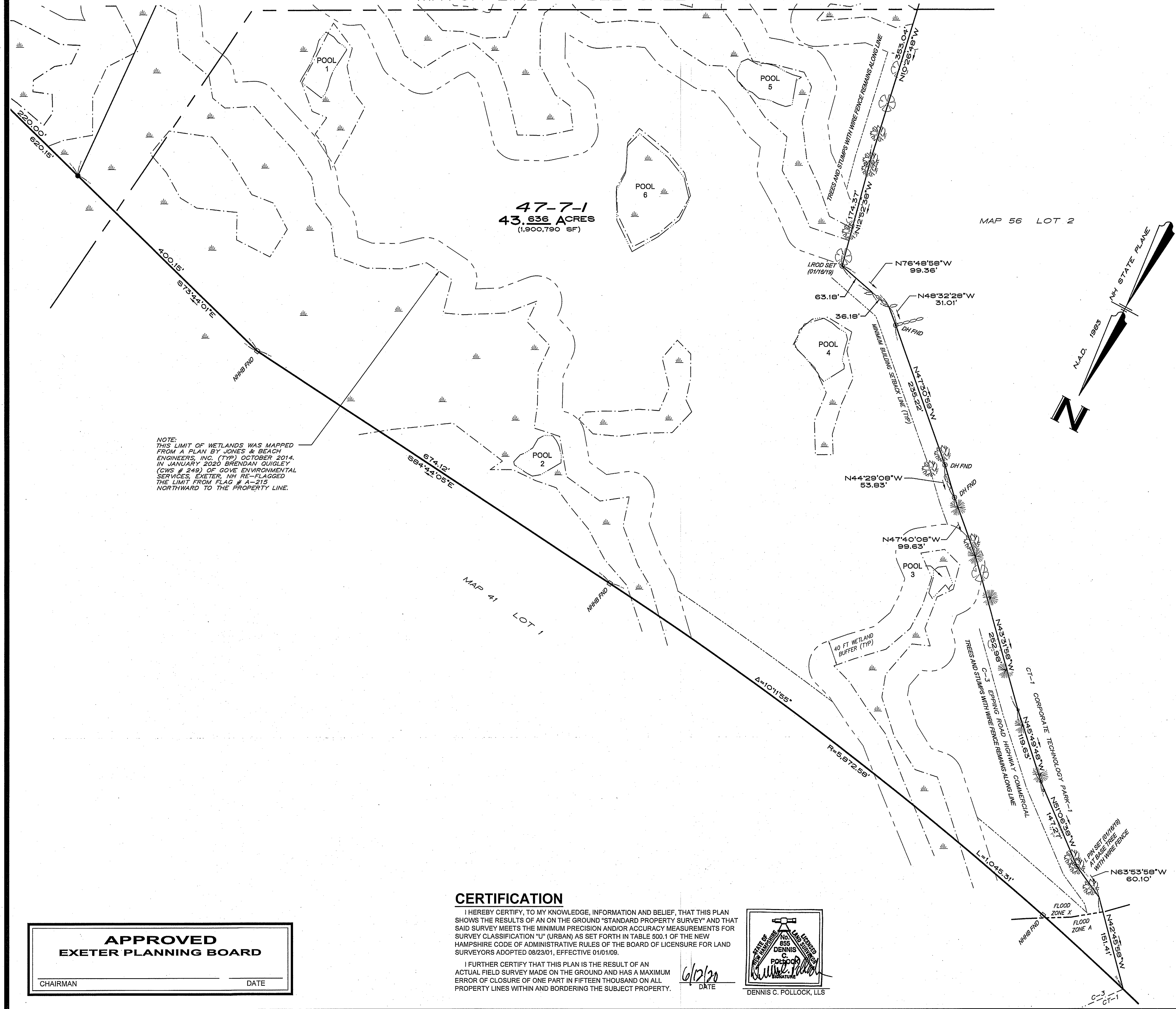
CASE No. 19-15  
LOT LINE ADJUSTMENT/ SUBDIVISION PLAN  
(MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD** NH ROUTE 27  
EXETER, NEW HAMPSHIRE  
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502



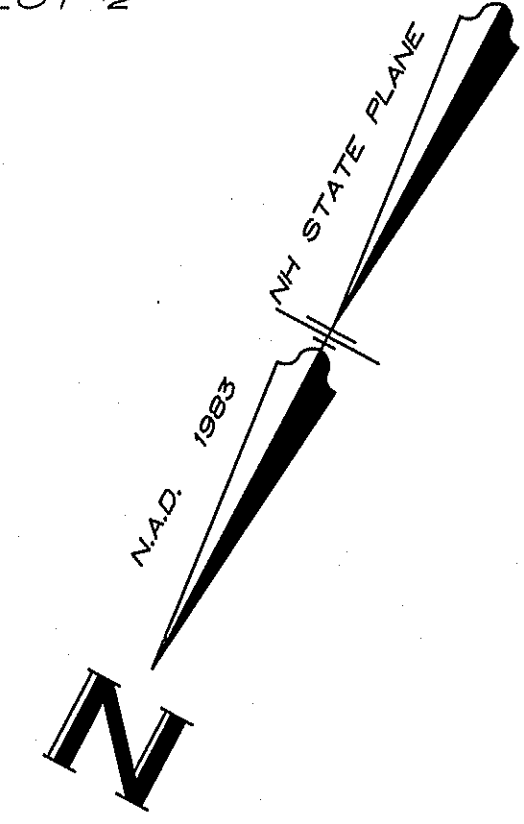
6 NOVEMBER 2019

**HSI** Hayner/Swanson, Inc.  
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MATCH LINE SEE SHEET 2 OF 5

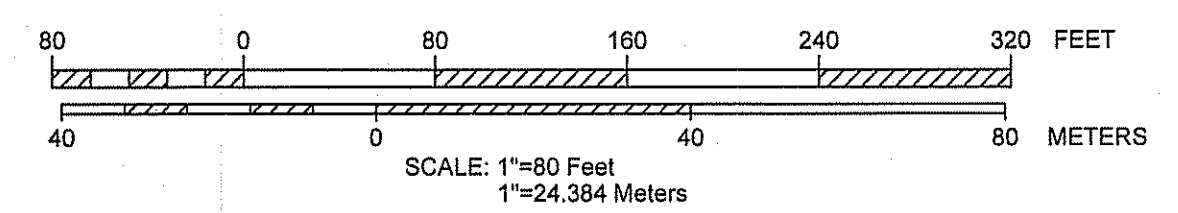


NOTE:  
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No.	DATE	REVISION	BY
2	06/12/20	REVISE LOT LINE AND AREAS	JNP
1	01/21/20	ADDRESS TRC COMMENTS	JNP

CASE No. 19-15  
 LOT LINE ADJUSTMENT/ SUBDIVISION PLAN  
 (MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD** NH ROUTE 27  
 EXETER, NEW HAMPSHIRE  
 PREPARED FOR/RECORD OWNER:  
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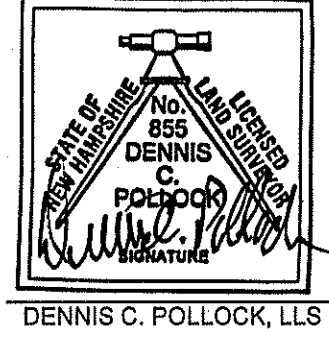


6 NOVEMBER 2019

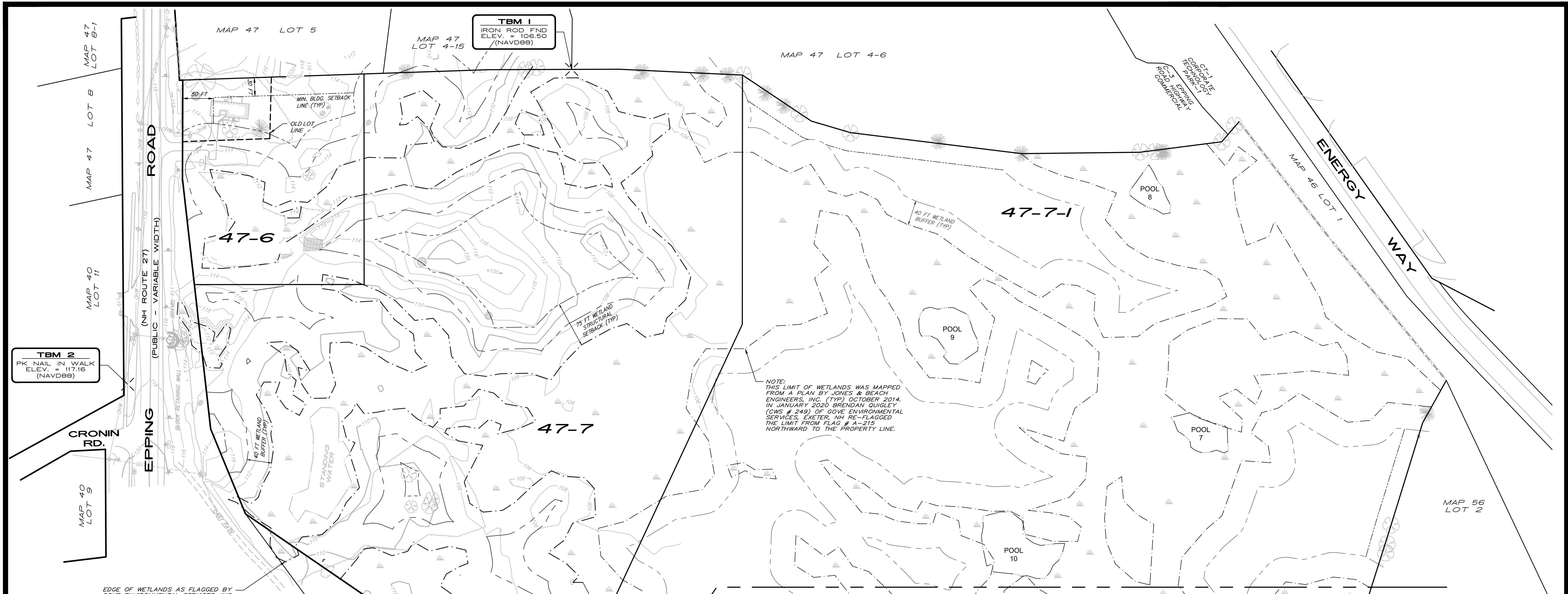
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[www.hayner-swanson.com](http://www.hayner-swanson.com)

**APPROVED**  
**EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION**  
 I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.  
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.  
 6/12/20 DATE  
 DENNIS C. POLLOCK, LLS





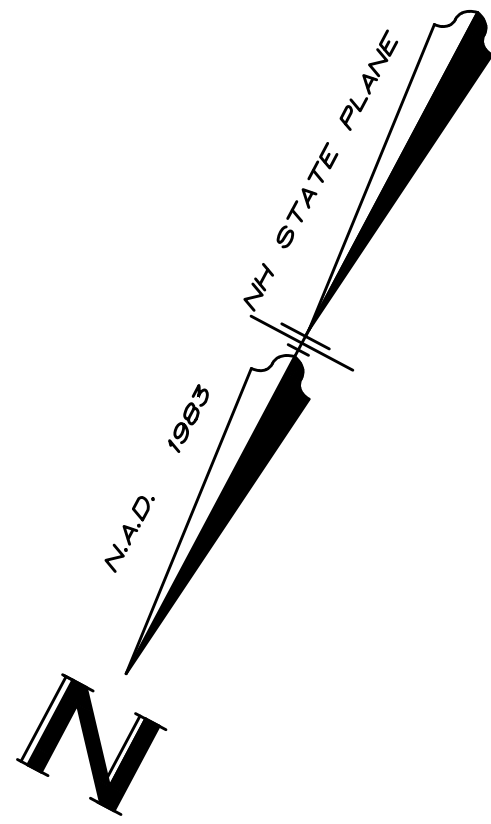


**TBM 2**  
PK NAIL IN WALK  
ELEV. = 117.16  
(NAVD88)

**TBM 1**  
IRON ROD FND  
ELEV. = 106.50  
(NAVD88)

NOTE:  
THIS LIMIT OF WETLANDS WAS MAPPED  
FROM A PLAN BY JONES & BEACH  
ENGINEERS, INC. (TYP) OCTOBER 2014.  
IN JANUARY 2020 BRENDAN QUIGLEY  
(CWS # 249) OF GOVE ENVIRONMENTAL  
SERVICES, EXETER, NH RE-FLAGGED  
THE LIMIT FROM FLAG # A-215  
NORTHWARD TO THE PROPERTY LINE.

EDGE OF WETLANDS AS FLAGGED BY  
GOVE ENVIRONMENTAL SERVICES, INC.  
AND  
SURVEYED BY HAYNER/SWANSON, INC.  
(MAY 2018)



**GENERAL NOTES:**

1. THE EXISTING PLANIMETRIC INFORMATION AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN APRIL 2018 AND JULY 2019.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:  
HORIZONTAL DATUM: NAD83  
HORIZONTAL PROJECTION: NH STATE PLANE  
VERTICAL DATUM: NAVD88  
UNITS: US SURVEY FEET

MATCH LINE SEE SHEET 5 OF 5

**LEGEND**

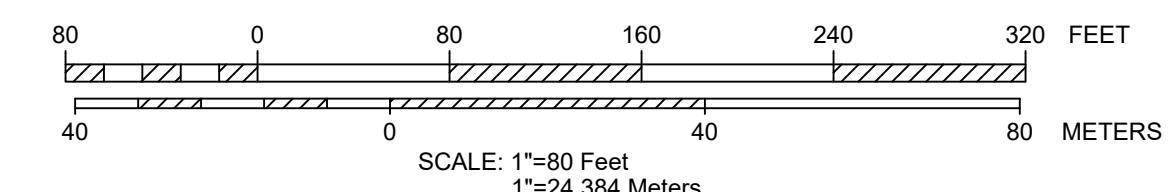
- 100 — EXISTING GROUND CONTOUR
- ☐ CATCH BASIN
- ⊕ GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- SIGN
- TREE LINE
- ▭ N.H. HIGHWAY BOUND
- ⊙ IRON ROD
- ⊙ DRILL HOLE & STONE WALL
- ⊙ TBM 1
- — — BUILDING SETBACK LINE
- — — WETLAND FLAGGING LIMIT
- — — WETLAND BUFFER LINE
- x — WIRE FENCE
- — — CURBING
- ▨ CONCRETE
- ▨ RIPRAP / STONE
- ▨ LEDGE
- ⊙ TEST PIT LOCATION & IDENTIFIER
- ⊙ ROCK/BOULDER
- ☀ CONIFEROUS TREE
- ☀ DECIDUOUS TREE

**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**APPROVED**  
**EXETER PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

No.	DATE	REVISION	BY
2	06/12/20	REVISE LOT LINE AND AREAS	JNP
1	01/21/20	ADDRESS TRC COMMENTS	JNP

**CASE No. 19-15**  
**TOPOGRAPHIC LOT LINE ADJUSTMENT / SUBDIVISION PLAN**  
(MAP 47, LOTS 6 & 7)  
**170 EPPING ROAD NH ROUTE 27**  
**EXETER, NEW HAMPSHIRE**  
PREPARED FOR/RECORD OWNER:  
**GATEWAY AT EXETER, LLC**  
20 TRAFALGAR SQUARE, STE 610 NASHUA, NH 03063 (603) 880-0502

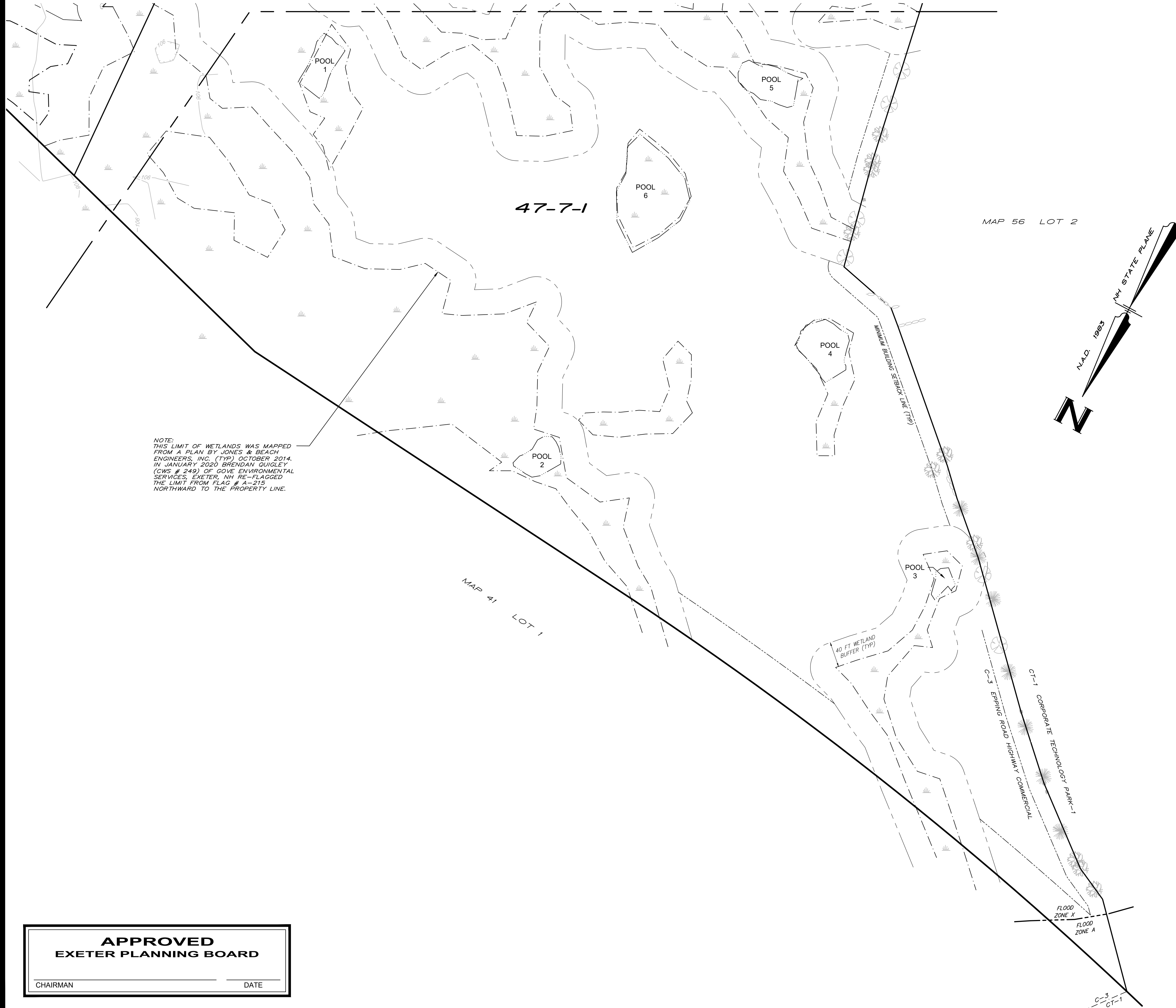


6 NOVEMBER 2019

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street Nashua, NH 03062  
131 Middlesex Turnpike Burlington, MA 01803  
(603) 883-2057 (781) 203-1501  
www.haynerswanson.com

FIELD BOOK: 1231/1234	DRAWING NAME: 5532SPP19 SUB-FT81	5532	4 OF 5
DRAWING LOC: J:\5000\5532\DWG\5532 SPP19		File Number	Sheet

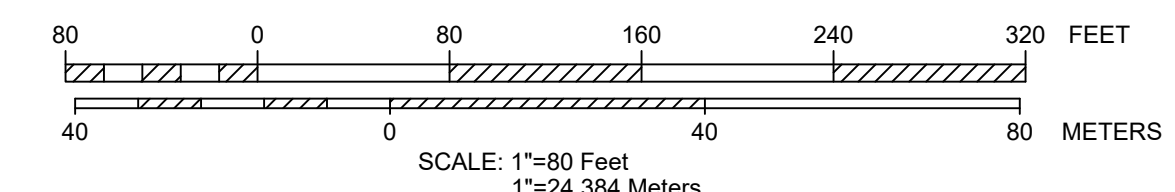
MATCH LINE SEE SHEET 4 OF 5



NOTE:  
THIS LIMIT OF WETLANDS WAS MAPPED FROM A PLAN BY JONES & BEACH ENGINEERS, INC. (TYP) OCTOBER 2014. IN JANUARY 2020 BRENDAN QUIGLEY (CWS # 249) OF GOVE ENVIRONMENTAL SERVICES, EXETER, NH RE-FLAGGED THE LIMIT FROM FLAG # A-215 NORTHWARD TO THE PROPERTY LINE.

No.	DATE	REVISION	BY
2	06/12/20	REVISE LOT LINE AND AREAS	JNP
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**CASE No. 19-15**  
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 (MAP 47, LOTS 6 & 7)  
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**APPROVED**  
**EXETER PLANNING BOARD**  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

FIELD BOOK: 1231/1234	DRAWING NAME: 5532SPP19 SUB-FT81	5532	5 OF 5
DRAWING LOC: J:\5000\5532\DWG\5532 SPP19		File Number	Sheet