



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, June 22, 2023 at 7:00 P.M. in the Nowak Room of the Exeter Town Office building located at 10 Front Street, Exeter, New Hampshire to consider the following:

APPROVAL OF MINUTES: June 8, 2023

NEW BUSINESS:

Continued public hearing on the application of Blind Tiger, LLC for a site plan review for the proposed reconstruction of the club house and additional parking at the Exeter Country Club. The subject property is located at 58 Jady Hill Avenue, in the R-2, Single Family Residential zoning district. Tax Map Parcel #52-1. PB Case #23-2.

Continuation of Planning Land Use Series.

OTHER BUSINESS

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

EXETER PLANNING BOARD

Langdon J. Plumer, Chairman

Posted 06/09/23: Exeter Town Office and Town of Exeter website

1 **TOWN OF EXETER**
2 **PLANNING BOARD**
3 **NOWAK ROOM – TOWN OFFICE BUILDING**
4 **10 FRONT STREET**
5 **JUNE 8, 2023**
6 **DRAFT MINUTES**
7 **7:00 PM**

8 **I. PRELIMINARIES:**

9
10 **BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, Pete Cameron, Clerk, Gwen
11 English, John Grueter, Jen Martel and Nancy Belanger Select Board Representative
12

13 **STAFF PRESENT:** Town Planner Dave Sharples
14

15 **II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7:00 PM and introduced the
16 members.
17

18 **III. OLD BUSINESS**

19
20 **APPROVAL OF MINUTES**

21
22 May 11, 2023
23

24 Mr. Grueter recommended an edit, that the meeting was adjourned by a 7-0-0 vote.
25

26 ***Mr. Grueter motioned to approve the May 11, 2023 minutes, as amended. Ms. Belanger seconded the***
27 ***motion. A vote was taken, all were in favor, the motion passed 5-0-0.***
28

29 May 25, 2023
30

31 The April 13, 2023 minutes and May 11, 2023 minutes had been approved at this meeting and those
32 edits were made. The motion that the minutes were tabled was corrected to read approved as
33 amended.
34

35 ***Ms. Belanger motioned to approve the May 25, 2023 meeting minutes, as amended. Mr. Grueter***
36 ***seconded the motion. A vote was taken, all were in favor, the motion passed 6-0-0.***
37

38 **IV. NEW BUSINESS:**

- 39 1. The application of Elizabeth A. Hewson Revocable Trust for a minor subdivision of an existing
40 2.30-acre parcel into three (3) residential lots.
41 45 Pine Street, R-2 Single Family Residential zoning district

42 Tax Map Parcel #83-59
43 Planning Board Case #23-5

44

45 Chair Plumer read out loud the Public Hearing Notice.

46

47 Mr. Sharples indicated the applicant is seeking a minor subdivision of an existing 2.30-acre
48 parcel located at 45 Pine Street into three (3) residential lots, one with a 1.2-acre parcel with
49 the existing residence with frontage on Pine Street and two (2) new residential lots, each
50 24,004 square feet in area with frontage on Nelson Drive. The applicant submitted a minor
51 subdivision application, plan and supporting documents dated May 8, 2023. There was no
52 Technical Review Committee meeting, however the plans were reviewed by staff or compliance
53 with zoning and subdivision regulations and Doug Eastman the Code Enforcement Officer
54 determined the proposal meets minimum dimensional requirements. There are no waivers
55 being requested.

56

57 Mr. Sharples noted that there could be Conditional Use Permit required for one or both of the
58 lots for the project and rather than have the applicants come back at the end of August he
59 recommended the following condition be proposed in addition to the two standard conditions:
60 that the lot shall be deemed unbuildable until either a CUP is secured, or it is determined by the
61 town that one is not necessary.

62

63 ***Ms. English motioned to open Planning Board Case #23-5. Mr. Grueter seconded the motion.***
64 ***A vote was taken, all were in favor, the motion passed 6-0-0.***

65

66 Henry Boyd of Millenium Engineering presented the plans on behalf of the applicant. He noted
67 the existing dwelling will reside on Lot 1, which will be 52,151 s.f. in size. Lots 2 & 3 shall
68 contain 24,004 s.f. each. He showed the location of the proposed parcels on the plan and
69 noted that at one time they were three parcels voluntarily merged by the prior owner and a
70 building was removed. He noted that two different existing wetland flags were found. He
71 indicated the 100' setback area and the 150' CUP area. He noted the parcels will be on town
72 water/sewer.

73

74 Ms. English asked about driveways off Nelson Drive and Mr. Boyd indicated yes.

75

76 Chair Plumer opened the hearing for public comment at 7:21 PM.

77

78 Mr. Sharples provided the Board with letters dated June 1, 2023 and June 2, 2023 from the
79 owners of 96 Court Street. She expressed concerns with decreased property values and
80 preservation of the trees along the property line on the Court Street side especially the
81 deciduous tree on the corner of Nelson Drive and Court Street to mitigate the aesthetics of

82 Court Street being preserved. She expressed concerns with drainage since the bridge work was
83 done on the Little River which they addressed with the town engineer and manager to no avail.
84 Two photos of the street view were provided.

85
86 Mr. Grueter noted that neither of the two owners were direct abutters, across the street but
87 not directly across.

88
89 Chair Plumer closed public comments on the hearing at 7:22 PM.

90
91 Ms. Martel questioned the drip lines from the roof and pitch of the driveway on either side.

92
93 Mr. Sharples indicated he was not involved with the conversations with the town engineer.

94
95 Mr. Grueter questioned the catch basins and their function.

96
97 Mr. Sharples read out loud the proposed conditions of approval.

- 98
99 1. A dwg file of the plan shall be provided to the Town Planner showing all property lines and
100 monumentation prior to the signing of the final plans. This plan shall be in NAD 1983 State
101 Plane New Hampshire FIPS 2800 feet coordinates;
102 2. All monumentation shall be set in accordance with Section 9.25 of the Site Plan Review and
103 Subdivision Regulations prior to the signing of the final plan; and
104 3. that the lots of the plan shall be deemed unbuildable until either a CUP is secured, or it is
105 determined by the town that one is not necessary.

106
107 ***Ms. Belanger moved that the request of Elizabeth A. Hewson Revocable Trust (Planning Board***
108 ***Case #23-5) for minor subdivision approval be approved with the conditions read by the Town***
109 ***Planner. Mr. Grueter seconded the motion. A vote was taken, all were in favor, the motion***
110 ***passed 6-0-0.***

- 111
112 2. The application of Blind Tiger, LLC for a site plan review for the proposed reconstruction of
113 the club house and additional parking at the Exeter Country Club
114 58 Jady Hill Avenue, R-2, Single-Family Residential zoning district
115 Tax Map Parcel #52-1
116 Planning Board Case #23-2

117
118 Chair Plumer read out loud the Public Hearing Notice.

119
120 Mr. Sharples indicated the case was ready for review purposes

121

122 ***Ms. English motioned to open Planning Board Case #23-2. Mr. Cameron seconded the***
123 ***motion. A vote was taken, all were in favor, the motion passed 6-0-0.***

124
125 Mr. Sharples indicated that the applicant is seeking site plan approval for the proposed
126 reconstruction of the existing club house, additional parking and associated site improvements
127 at the Exeter Country Club located at 58 Jady Hill Avenue. The applicant submitted a site plan
128 review application, plans and supporting documents dated January 24, 2023 for review. A TRC
129 meeting was conducted on February 16, 2023 and it was determined that a second TRC
130 meeting was necessary. A copy of the TRC comment letter dated February 24, 2023 and UEI
131 comment letter dated February 17, 2023 were provided to the Board. Revised plans and
132 supporting documents were received on April 28, 2023. The second TRC meeting was held on
133 May 11, 2023. A second UEI comment letter dated May 12, 2023 was provided to the Board
134 with no further TRC comments or comments from Town Departments. The applicant provided
135 revised plans and supporting documents dated May 24, 2023 addressing the concerns raised at
136 the second TRC meeting and staff is reviewing that submission. The applicant is requesting
137 several waivers in accordance with the waiver requested letter from Emanuel Engineering
138 dated April 25, 2023.

139
140 Bruce Scamman of Emanuel Engineering presented the plan on behalf of the applicant. Mr.
141 Scamman displayed the plan for the project and described the renovation of the 68'x94' club
142 house that would include a restaurant and additional parking. He detailed the proposed
143 elevator, outdoor deck overlooking the 1st and 9th fairways and existing club shop on the first
144 floor and detailed the proposed drainage structures and noted that the Town did not want the
145 applicant to tie into their catch basin.

146
147 Mr. Sharples asked him to explain the change in access from the parking lot. Mr. Scammon
148 showed the proposed entrance and parking islands. There would be a sidewalk to Jady Hill in
149 the Town Right of Way, one of two offsite improvements. He showed the locations of various
150 stormwater management features including a dry well and swale, piping system to the 9th
151 fairway and man-made berm.

152
153 Ms. Martel asked about tree cutting and he showed the 11 large trees that would be cut. She
154 asked about adding trees and changing the cherry tree proposed to a canopy shade tree.

155
156 Mr. Cameron asked the hours, which were not yet determined yet and about the lighting plan.
157 There would be lights on the building itself and the parking lot and all would be LED down
158 facing, dark sky compliant. A lighting intensity plan analysis was provided. They would be going
159 from two to 11 lights to bring them up to current safety standards while as Mr. Sharples noted
160 there is no town requirement to add more lights. Mr. Sharples did note, however, that the

161 town required all lights to be off or reduced in intensity after 10 PM. Mr. Scammon stated they
162 would add a note to that effect to the plan.

163

164 Ms. English asked about the calculation for the number of parking spaces. Mr. Scammon
165 indicated there would be 120 parking spots. At times the golf course would be closed when the
166 restaurant was open. The applicant worked with TRC on that.

167

168 Ms. English asked if the space would be used as an event venue for weddings and other large
169 events. The applicant indicated there would be meetings, smaller gatherings, no weddings or
170 large events.

171

172 Ms. Belanger asked the number of existing spaces. Mr. Sharples indicated 65 parking spaces
173 currently. They would be adding 55.

174

175 Mr. Cameron asked about calculations of impervious surface which Mr. Scammon provided,
176 going from approximately 30,000 SF to 59,000 SF.

177

178 Mr. Cameron asked about landscaping and Mr. Scammon pointed out plans for bushes and a
179 hedge row. Ms. Martel asked about planting near the retaining wall and where paving was
180 being removed at the lowest portion. Ms. English asked about the area next to the building and
181 if the drip edge would be vegetated.

182

183 Ms. English expressed concerns about pedestrian safety and trucks Mr. Scammon noted
184 crosswalks would be impractical due to slopes. He explained how the golf carts would be
185 brought up by attendants from the storage area. He explained the requirement for fire trucks
186 to enter and exit and the grade change driven by town drainage moving the area onto the
187 applicant's property.

188

189 Ms. Martel questioned the loading dock area and also asked if the sidewalks could be wider and
190 push the plant bed so cars won't park into the sidewalk reducing its width. He noted the area
191 will not see much pedestrian traffic. Ms. Martel noted that is where the handicapped parking
192 will be and they will need to get around.

193

194 Chair Plumer opened the hearing to comments and questions from the public at 8:40 PM.

195

196 Greg McCarthy indicated he lived at 4 Webster Avenue and has concerns with drainage which
197 have been reported since 1975. There is a separate project for the Jady Hill sewer system
198 which will tear up the road that was just paved. He would like to keep runoff off Webster
199 Avenue and hopes a solution will be found. He noted he is not convinced the dry well will solve
200 the problem.

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Maria George Carrasquillo of 77 Jady Hill Avenue expressed concerns with runoff and children playing out front, speeding and beverage consumption. She noted patrons change into their golf carts out on the street on the public road.

Jacques Wagemaker of 14 Webster Avenue expressed concerns with drainage and hopes it will be addressed.

Alex Pearson of 1 Webster Avenue expressed concerns with existing drainage and doubling the parking lot and adding to the problem. He stated he was not sure the island would work. He also noted the 11 new lights would be 20' up and was unsure how they could be downcast and dark sky compliant.

Mr. McCarthy stated he was also concerned with failure of the system with more frequent, larger storm systems being experienced.

Mr. Sharples read out loud a letter received from 3 Webster Avenue expressing traffic concerns and requesting a stop sign, as well as concerns with runoff and sewer capacity in the past. Mr. Scammon indicated that the more narrow entrance may help with traffic concerns.

Mr. Sharples questioned whether it was known where the water was coming from and whether the town engineer or UEI could attend the site walk or next planning board meeting to weigh in on that. There may be separate issues.

Mr. Grueter asked about scheduling a site visit. Mr. Grueter proposed June 21st at 8 AM. Ms. English asked that the parking area, storage area and dry well be marked.

Ms. Belanger motioned to table Planning Board Case #23-2 to 7:00 PM on June 22, 2023. Ms. Belanger seconded the motion. A vote was taken, all were in favor, the motion passed 6-0-0.

- 3. The application of Meniscus Financial Holdings, LLC for a preliminary conceptual review for the proposed construction of a vehicle storage/display area and associated site improvements on the property located at 127 Portsmouth Avenue
- C-2, Central Area Commercial zoning district
Tax Map Parcel #52-112-2
Planning Board Case #23-7

Chair Plumer read out loud the Public Hearing Notice.

240 Mr. Sharples indicated the applicant is requesting a preliminary conceptual consultation (non-
241 binding with no abutter notice) with the Board to discuss the proposed phased development of
242 the property located at 127 Portsmouth Avenue. Letter of explanation, application, conceptual
243 site plan and supporting documents dated May 18, 2023 were provided to the Board.

244
245 Christian Smith of Beals Associates presented the conceptual plan on behalf of the applicant.
246 He noted the applicant needed additional inventory storage and display area. The 300'
247 shoreland setback and 150' buffer would be impacted. There were two wetland areas to be
248 filled. They would meet with Conservation at their July 11th meeting. There would be two acres
249 of shoreland impact and 21,000' of impact to the buffer. The swale was determined to be man
250 made according to wetland scientist Jim Gove.

251
252 Ms. Martel recommended the landscape buffer be improved with plantings that would not
253 block the visibility of the vehicles. She noted Hannaford had done something with their
254 frontage.

255
256 Lighting and tree cutting were discussed briefly. There could be a site walk scheduled with
257 Conservation in attendance.

258

259 **VI. OTHER BUSINESS**

- 260 • Master Plan Discussion
- 261 • Field Modifications
- 262 • Bond and/or Letter of Credit Reductions and Release
- 263 Mr. Sharples reported that Ray Farm was all done.

264 **VII. TOWN PLANNER'S ITEMS**

265 Mr. Sharples reviewed the June 1st memo discussed with Kristen Murphy concerning the conflicting
266 criteria in the zoning ordinance for the CUP. The site plan and subdivision regulations were to be
267 revised then COVID hit. Currently stricter regulations would apply. He noted there would be a public
268 hearing scheduled in the near future to correct the ordinance.

269 **VIII. CHAIRPERSON'S ITEMS**

270 **IX. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

271

272 **X. ADJOURN**

273 ***Mr. Cameron motioned to adjourn the meeting at 9:53 PM. Ms. Belanger seconded the motion. A***
274 ***vote was taken all were in favor, the motion passed 6-0-0.***

275 Respectfully submitted,

276 Daniel Hoijer,
277 Recording Secretary

278 Via Exeter TV

OWNER

EXETER COUNTRY CLUB
 P.O. BOX 1088
 EXETER, NH 03833

APPLICANT

BLIND TIGER, LLC
 3 WRIGHT LANE
 EXETER, NH 03833

CIVIL ENGINEER

EMANUEL ENGINEERING, INC.
 118 PORTSMOUTH AVENUE, SUITE A202
 STRATHAM, NH 03885

WETLAND SCIENTIST

GOVE ENVIRONMENTAL SERVICES, INC.
 8 CONTINENTAL DRIVE, BUILDING 2, UNIT H
 EXETER, NH 03833

LAND SURVEYOR

JAMES VERRA & ASSOCIATES, INC.
 101 SHATTUCK WAY, SUITE 8
 NEWINGTON, NH 03801

ARCHITECT

DYNAMIC DESIGNS, P.C.
 259 EAST FRANK STREET
 BIRMINGHAM, MI 48009

LIGHTING

EXPOSURE LIGHTING
 6 SCOTT ROAD, UNIT A
 HAMPTON, NH 03842

LANDSCAPING

THORN AND THISTLE GARDENS
 480 MIDDLE ROAD
 BRENTWOOD, NH 03833

SITE PLAN FOR BLIND TIGER, LLC

EXETER TAX MAP 52 LOT 1
 58 JADY HILL AVENUE (SITE)
 EXETER, NH 03833

APPROVED BY THE TOWN OF EXETER PLANNING BOARD
 CHAIRMAN _____ DATE _____

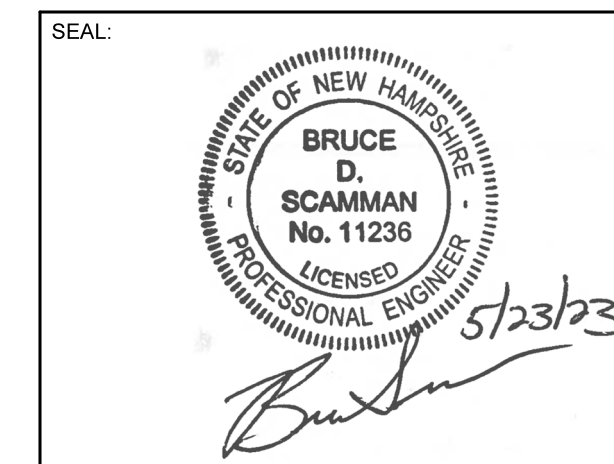
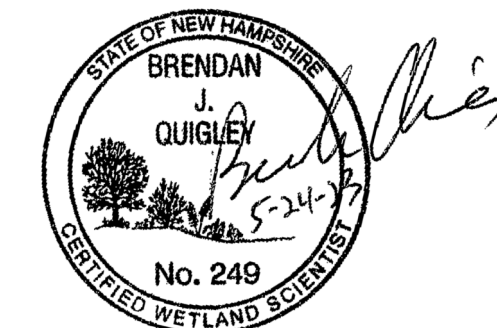


PROJECT DRAWING SET:

- COVER SHEET
- 1 & 2 OF 2 PLAN OF LAND IN EXETER, NH
- EXETER COUNTRY CLUB (BY GREAT BAY ENGINEERING, INC.)
- B1 ABUTTER KEY
- C1 EXISTING CONDITIONS
- C2 SITE PLAN
- C3A & C3B GRADING & DRAINAGE PLAN
- C4A UTILITIES PLAN
- C4B PROPOSED SEPTIC PROFILE
- C5 PAVING & CURBING PLAN
- D1 NOTES & EROSION CONTROL DETAILS
- D2 DRAINAGE DETAILS
- D3 UTILITY DETAILS
- D4 SITE DETAILS
- L01 LIGHTING PLAN (BY EXPOSURE LIGHTING)
- LA1 LANDSCAPING PLAN (BY THORN AND THISTLE GARDENS)

PROJECT LOCUS PLAN

1" = 1,000'



3	MAY 23, 2023	FOR APPROVAL	
2	APR 20, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK.
DRAWN: JJM	DESIGN: JJM		
CHECKED: BDS	CHECKED: BDS		

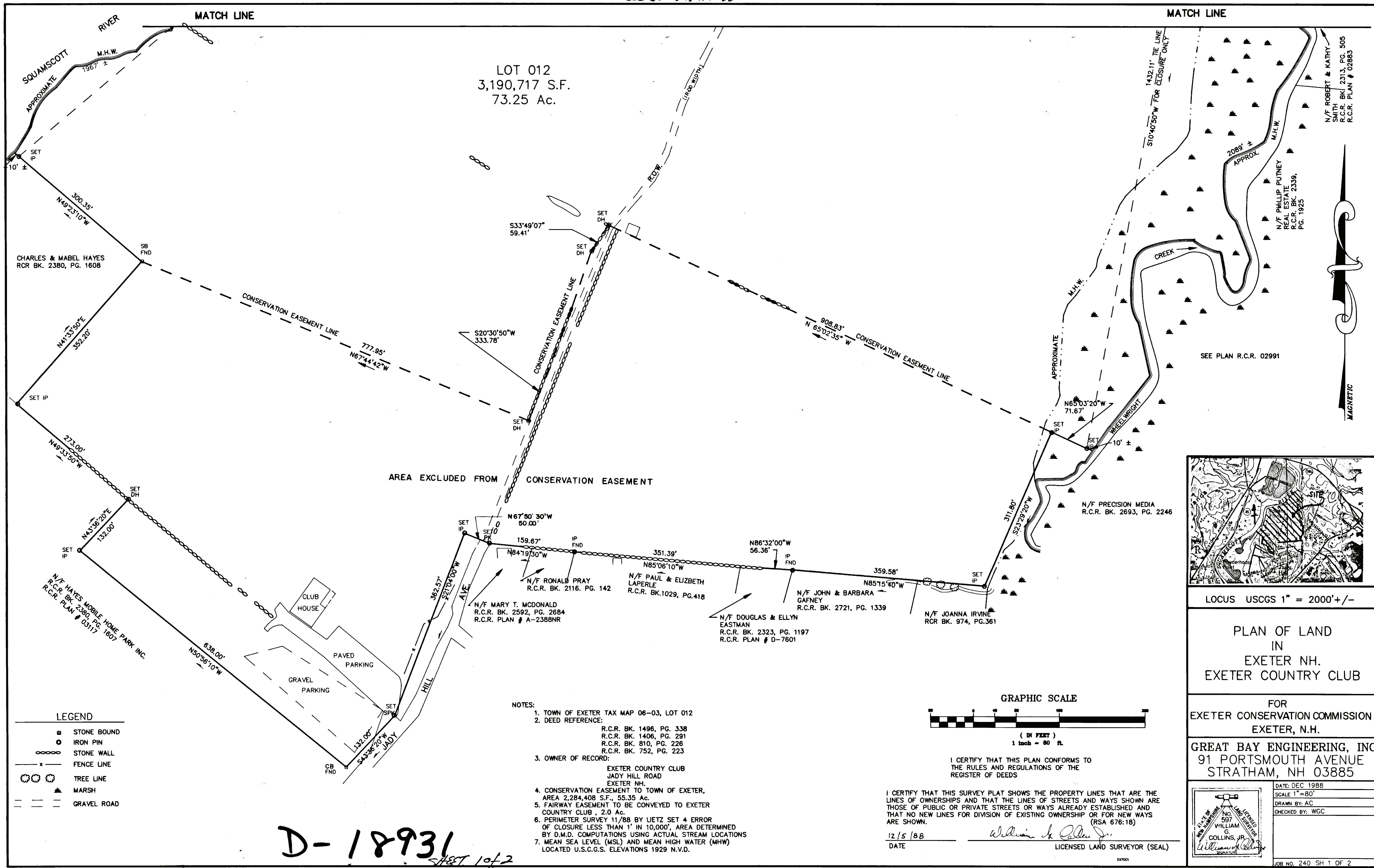


CLIENT:
BLIND TIGER, LLC
 3 WRIGHT LANE
 EXETER, NH 03833

TITLE:
COVER SHEET
 FOR
EXETER COUNTRY CLUB
 58 JADY HILL AVENUE (SITE)
 EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	AS SHOWN	COVER

DEC 30 3 45 PM '88
 64258
 DEC 30 3 45 PM '88



LOT 012
 3,190,717 S.F.
 73.25 Ac.

CHARLES & MABEL HAYES
 R.C.R. BK. 2380, PG. 1608

N/F HAYES MOBILE HOME PARK INC.
 R.C.R. BK. 2380, PG. 1607
 R.C.R. PLAN # 03117

AREA EXCLUDED FROM CONSERVATION EASEMENT

N/F RONALD PRAY
 R.C.R. BK. 2116, PG. 142

N/F MARY T. McDONALD
 R.C.R. BK. 2592, PG. 2684
 R.C.R. PLAN # A-2388NR

N/F PAUL & ELIZBETH
 LAPERLE
 R.C.R. BK. 1029, PG. 418

N/F DOUGLAS & ELLYN
 EASTMAN
 R.C.R. BK. 2323, PG. 1197
 R.C.R. PLAN # D-7601

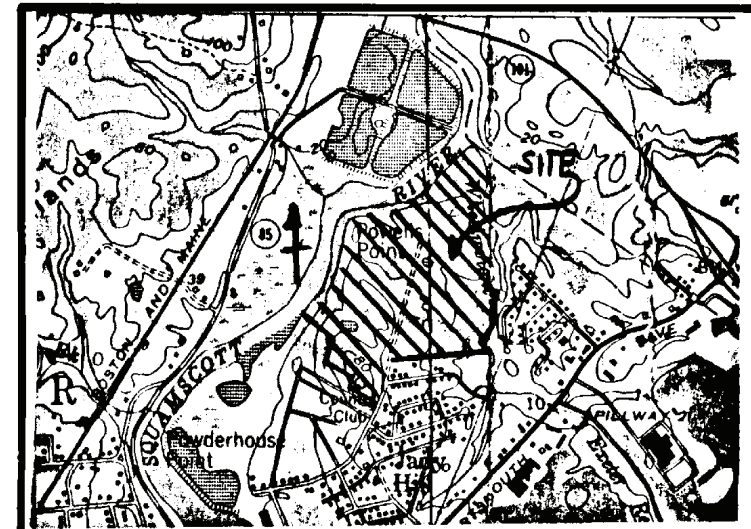
N/F JOHN & BARBARA
 GAFNEY
 R.C.R. BK. 2721, PG. 1339

N/F JOANNA IRVINE
 R.C.R. BK. 974, PG. 361

N/F PHILLIP PUTNEY
 REAL ESTATE
 R.C.R. BK. 2339,
 PG. 1925

N/F ROBERT & KATHY
 SMITH
 R.C.R. BK. 2313, PG. 505
 R.C.R. PLAN # 02883

SEE PLAN R.C.R. 02991



LOCUS USCGS 1" = 2000'+/-

PLAN OF LAND
 IN
 EXETER NH.
 EXETER COUNTRY CLUB

FOR
 EXETER CONSERVATION COMMISSION
 EXETER, N.H.

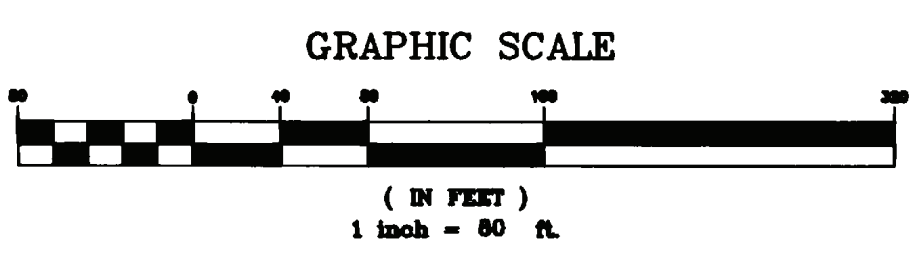
GREAT BAY ENGINEERING, INC
 91 PORTSMOUTH AVENUE
 STRATHAM, NH 03885

	DATE: DEC 1988
	SCALE 1" = 80'
	DRAWN BY: AC
	CHECKED BY: WGC
JOB NO. 240 SH 1 OF 2	

- LEGEND**
- STONE BOUND
 - IRON PIN
 - ⊖ STONE WALL
 - x- FENCE LINE
 - ⊙ TREE LINE
 - ▲ MARSH
 - - - GRAVEL ROAD

- NOTES:**
- TOWN OF EXETER TAX MAP 06-03, LOT 012
 - DEED REFERENCE:
 R.C.R. BK. 1496, PG. 338
 R.C.R. BK. 1406, PG. 291
 R.C.R. BK. 810, PG. 226
 R.C.R. BK. 752, PG. 223
 - OWNER OF RECORD:
 EXETER COUNTRY CLUB
 JADY HILL ROAD
 EXETER NH.

- CONSERVATION EASEMENT TO TOWN OF EXETER, AREA 2,284,408 S.F., 55.35 AC.
- FAIRWAY EASEMENT TO BE CONVEYED TO EXETER COUNTRY CLUB, 2.0 AC.
- PERIMETER SURVEY 11/88 BY LIETZ SET 4 ERROR OF CLOSURE LESS THAN 1' IN 10,000', AREA DETERMINED BY D.M.D. COMPUTATIONS USING ACTUAL STREAM LOCATIONS
- MEAN SEA LEVEL (MSL) AND MEAN HIGH WATER (MHW) LOCATED U.S.C.G.S. ELEVATIONS 1929 N.V.D.



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS

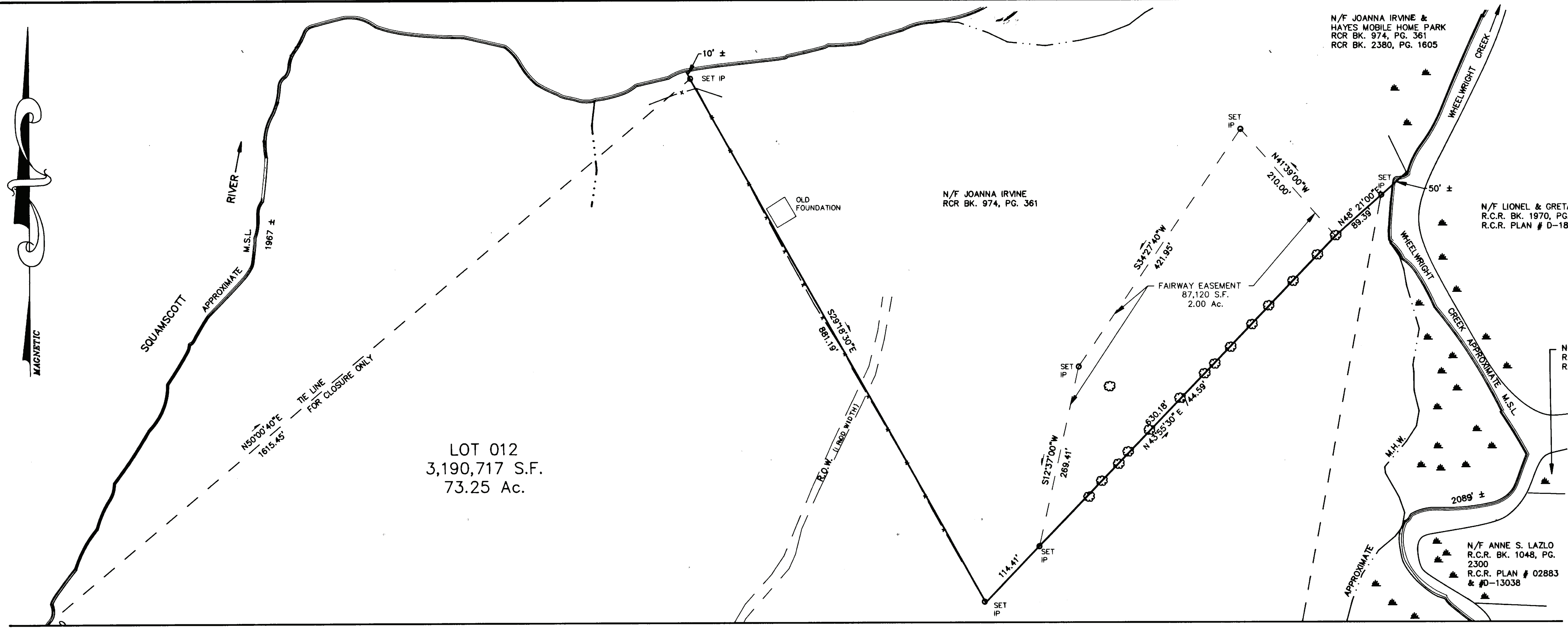
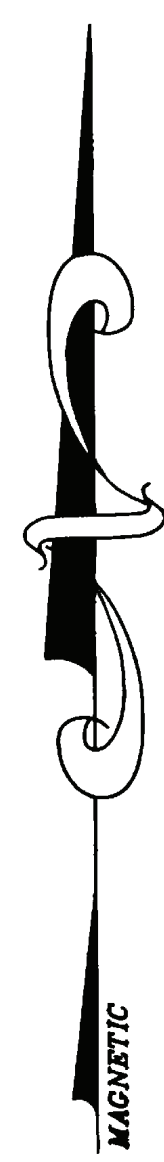
I CERTIFY THAT THIS SURVEY PLAT SHOWS THE PROPERTY LINES THAT ARE THE LINES OF OWNERSHIPS AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (RSA 676:18)

12/5/88 DATE
 LICENSED LAND SURVEYOR (SEAL)

D-18931
 SHEET 1 of 2

Dec 30 3:45 PM '88

Dec 30 3:45 PM '88



LOT 012
3,190,717 S.F.
73.25 Ac.

MATCH LINE

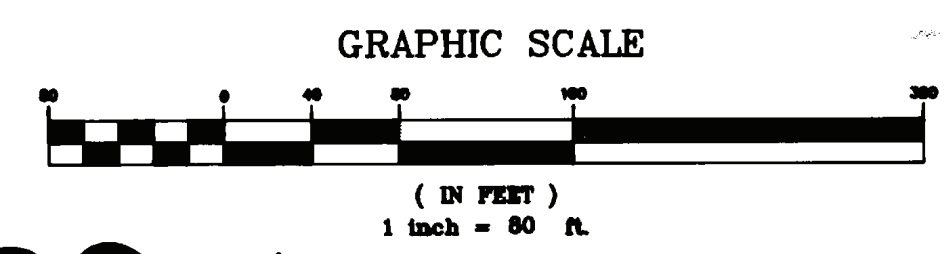
MATCH LINE

SEE SHEET 1 FOR LEGEND AND NOTES.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS

I CERTIFY THAT THIS SURVEY PLAT SHOWS THE PROPERTY LINES THAT ARE THE LINES OF OWNERSHIPS AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (RSA 676:18)

DATE 12/15/88
WILLIAM G. COLLINS, JR.
LICENSED LAND SURVEYOR (SEAL)

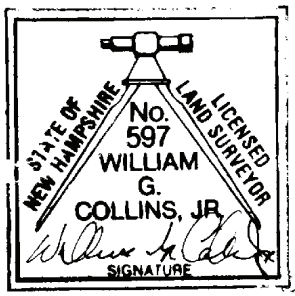


D-18931 Sheet 2 of 2

PLAN OF LAND
IN
EXETER NH.
EXETER COUNTRY CLUB

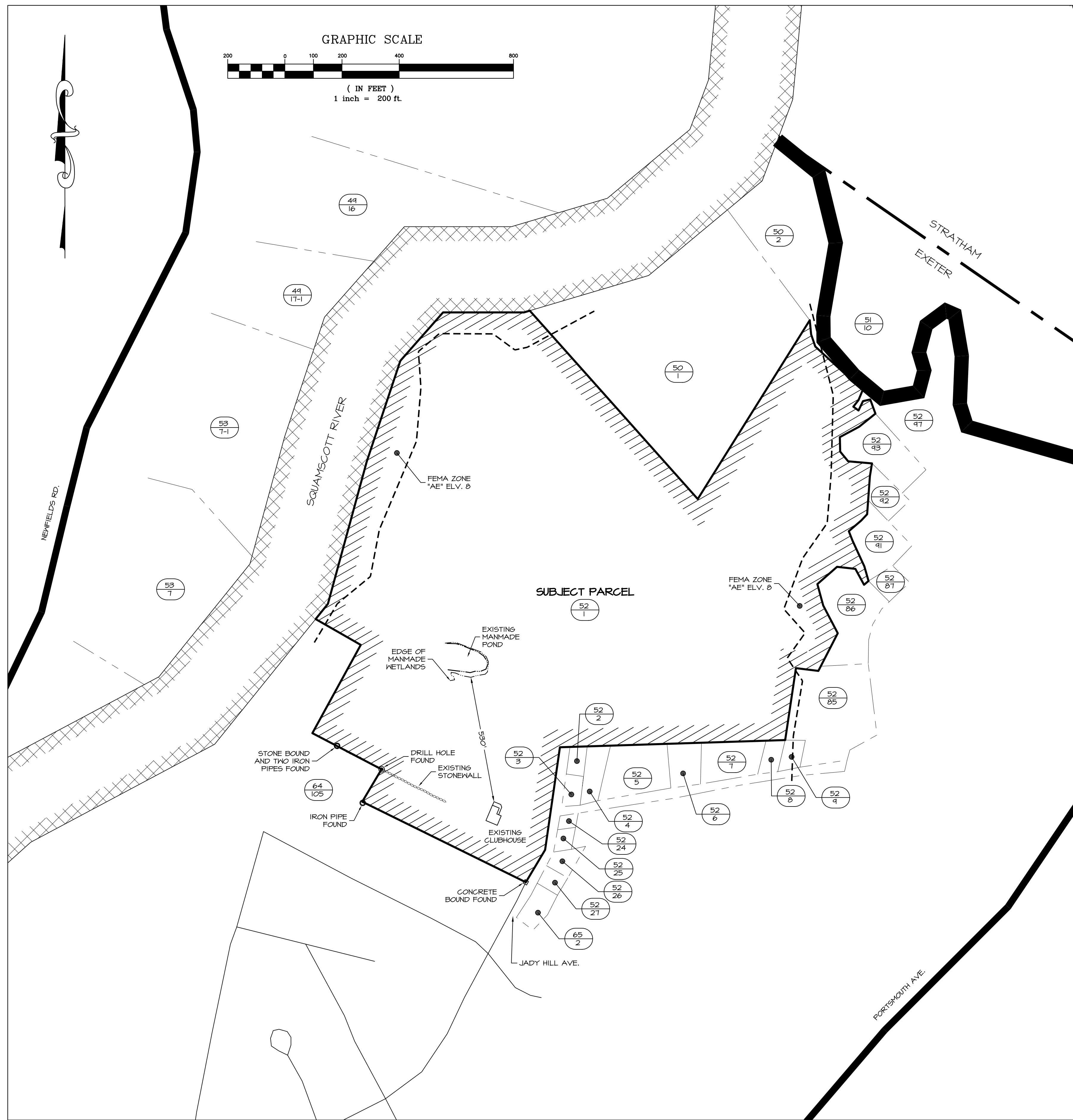
FOR
EXETER CONSERVATION COMMISSION
EXETER NH.

GREAT BAY ENGINEERING, INC
91 PORTSMOUTH AVENUE
STRATHAM, NH 03885



DATE: DEC 1988
SCALE: 1"=80'
DRAWN BY: AC
CHECKED BY: WGC

JOB NO. 240 SH 2 OF 2



SUBJECT PARCEL:

TAX MAP 52 LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 PG0290
USE: GOLF CRSE

ABUTTERS:

TAX MAP 49 LOT 16
RUSSELL F. FREDERICKSEN
11 NEWFIELDS ROAD
EXETER, NH 03833
RCRD BK3488 PG2807
USE: MULTI HSE

TAX MAP 49 LOT 17-1
ABIGAIL A. PHILLIPS
REVOCABLE TRUST
9 NEWFIELDS ROAD
EXETER, NH 03833
RCRD BK3502 PG1209
USE: SINGLE FAM

TAX MAP 50 LOT 1
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
RCRD BK2782 PG0389
USE: EXEMPT FARMLAND

TAX MAP 50 LOT 2
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
RCRD BK2782 PG0400
USE: MUNICIPAL

TAX MAP 51 LOT 10
LABONTE INVESTMENT REALTY LLC
355 ROUTE 125
BRENTWOOD, NH 03833
RCRD BK5561 PG1932
USE: RES ACINUD

TAX MAP 52 LOT 2
JANET A. CHECK
79 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK3241 PG1941
USE: SINGLE FAM

TAX MAP 52 LOT 3
MARIA GEORGE CARRASQUILLO
77 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK5985 PG0579
USE: SINGLE FAM

TAX MAP 52 LOT 4
MARSHMAN FAMILY TRUST
2 WEBSTER AVENUE
EXETER, NH 03833
RCRD BK6402 PG1467
USE: SINGLE FAM

TAX MAP 52 LOT 5
GREGORY MCCARTHY
4 WEBSTER AVENUE
EXETER, NH 03833
RCRD BK5383 PG1401
USE: SINGLE FAM

TAX MAP 52 LOT 6
DOUGLAS B. EASTMAN
12 WEBSTER AVENUE
EXETER, NH 03833
RCRD BK3172 PG0776
USE: SINGLE FAM

TAX MAP 52 LOT 7
JACQUES P. WAGEMAKER
14 WEBSTER AVENUE
EXETER, NH 03833
RCRD BK5517 PG0405
USE: SINGLE FAM

TAX MAP 52 LOT 8
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
RCRD BK2887 PG2683
USE: MUNICIPAL

(ABUTTERS: CONTINUED):

TAX MAP 52 LOT 9
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
RCRD BK3680 PG2336
USE: MUNICIPAL

TAX MAP 52 LOT 24
LEON N. MORSE
73 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK2533 PG0786
USE: SINGLE FAM

TAX MAP 52 LOT 25
MICHAEL S. JOHNSON
71 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK5497 PG0681
USE: SINGLE FAM

TAX MAP 52 LOT 26
TIMOTHY GAGNON
69 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK5601 PG2630
USE: SINGLE FAM

TAX MAP 52 LOT 27
THOMAS NASH
67 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK5954 PG1279
USE: SINGLE FAM

TAX MAP 52 LOT 85
ARUBA CAPITAL
PO BOX 1540
EXETER, NH 03833
RCRD BK4988 PG1827
USE: OFFICE BLD

TAX MAP 52 LOT 86
TRACY J. MIDDLETON
FAMILY TRUST
7 DOWNING COURT
EXETER, NH 03833
RCRD BK6247 PG2422
USE: SINGLE FAM

TAX MAP 52 LOT 87
CLIVE TOMLINSON
1803 TUALATIN STREET
ST. HELENS, OREGON 97051
RCRD BK5873 PG0742
USE: SINGLE FAM

TAX MAP 52 LOT 91
BARRY W SPRACKLIN
2 MELODY LANE
EXETER, NH 03833
RCRD BK2921 PG1464
USE: SINGLE FAM

TAX MAP 52 LOT 92
WILLIAM C. UNGER
1 MELODY LANE
EXETER, NH 03833
RCRD BK5325 PG1379
USE: SINGLE FAM

TAX MAP 52 LOT 93
ANNE S. LASZLO
27 ALLEN STREET
EXETER, NH 03833
RCRD BK2300 PG1084
USE: SINGLE FAM

(ABUTTERS: CONTINUED):

TAX MAP 52 LOT 97
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
RCRD BK2828 PG1102
USE: MUNICIPAL

TAX MAP 53 LOT 7
CATHLEEN A. TOOMEY
REVOCABLE TRUST
1 NEWFIELDS ROAD
EXETER, NH 03833
RCRD BK6361 PG1158
USE: SINGLE FAM

TAX MAP 53 LOT 7-1
CARPE DIEM TRUST
5 NEWFIELDS ROAD
EXETER, NH 03833
RCRD BK5828 PG1557
USE: SINGLE FAM

TAX MAP 64 LOT 105
HAYES MOBILE HOME PARK INC
56 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK3178 PG0286
USE: SINGLE FAM

TAX MAP 65 LOT 2
DANIEL W. CHARTRAND
63 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK5319 PG1110
USE: SINGLE FAM

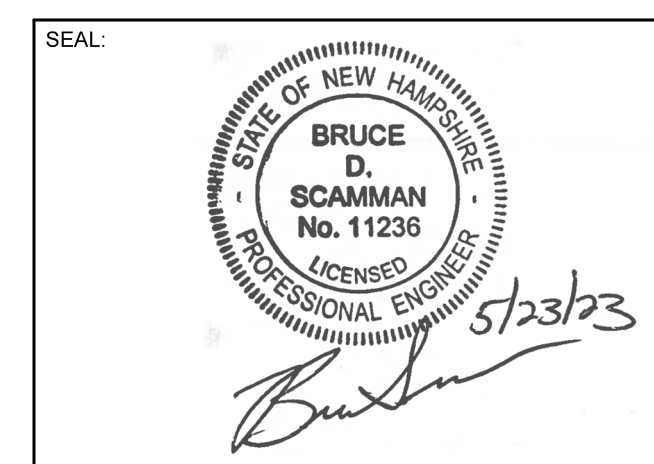
NOTES:

- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 PG0290
- THE INTENT OF THIS PLAN IS TO SHOW ALL THE ABUTTERS AND THEIR INFORMATION OF THE SUBJECT PARCEL LOCATED AT EXETER, NH TAX MAP 52, LOT 1. IT IS ALSO THE INTENT TO SHOW THE SURVEYED BOUNDS OF THE SUBJECT PARCEL THAT ARE NOT IN THE VICINITY OF THE PROPOSED IMPROVEMENTS ON SITE. ONLY A PORTION OF THE BOUNDARY WAS SURVEYED. THIS IS NOT A BOUNDARY PLAN.
- PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
- A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL. 0) AND "X"; REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
- FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
- WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.

WETLAND NOTES:

- WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC. IN SPRING 2022 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 0.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2020 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOVELL, MA, U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5. (2020)

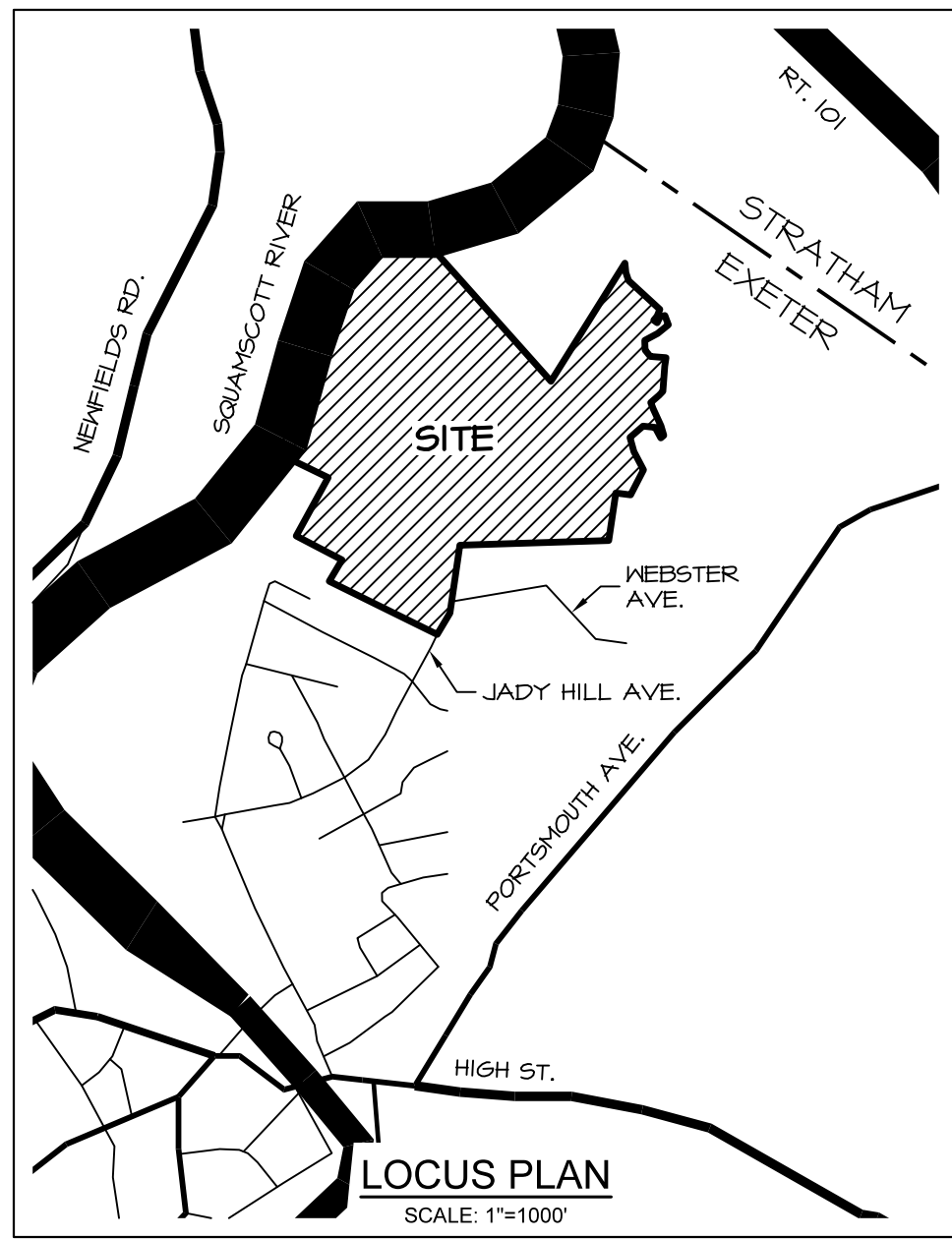
3	MAY 23, 2023	FOR APPROVAL	
2	APR 20, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK:
DRAWN: JJM	DESIGN: JJM		
CHECKED: BDS	CHECKED: BDS		



CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
ABUTTER KEY
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	1"=200'	B1



WETLAND NOTES:

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC. IN SPRING 2022 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2020 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
- U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5, (2020)

NOTES:

- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60240
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AND TOPOGRAPHY FOR EXETER, NH TAX MAP 52, LOT 1.
- PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
- A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL 8) AND "X", REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
- FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
- WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
- ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
- THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
- BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
- THE LOCATION OF THE EXISTING WATER AND GAS LINES WITHIN THE TOWN RIGHT OF WAY WERE LOCATED PER REF. PLAN #3.

REFERENCE PLANS:

- "PLAN OF LAND IN EXETER, NH, EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC., DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-18431.
- "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVENUE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC., DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
- "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PEIRCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

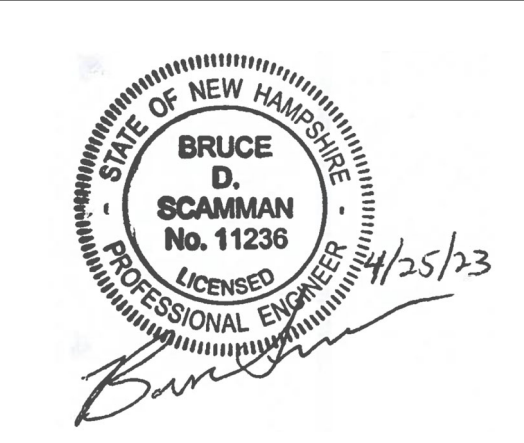
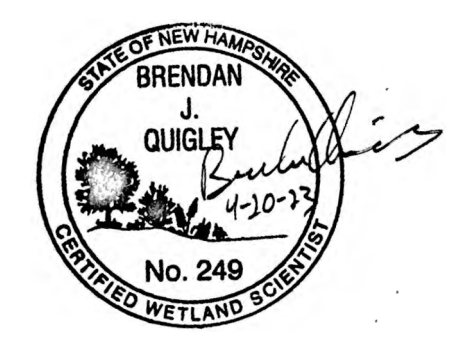
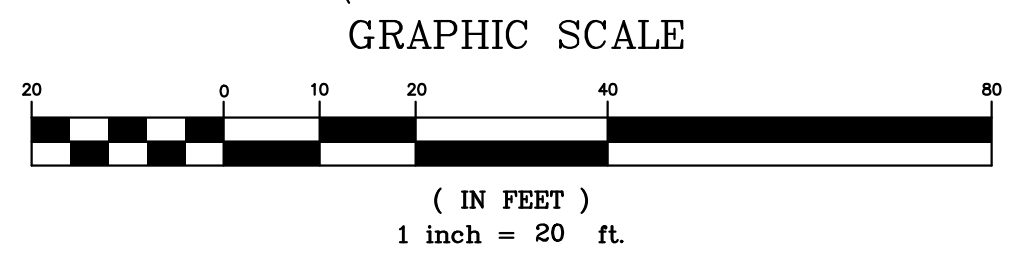
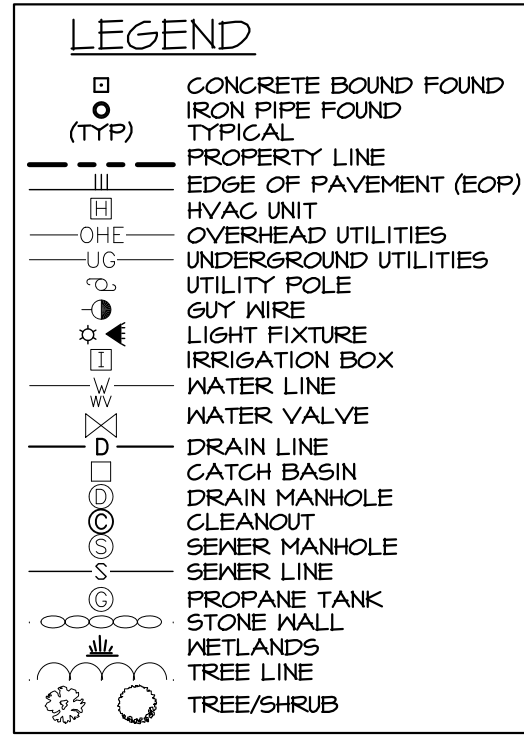
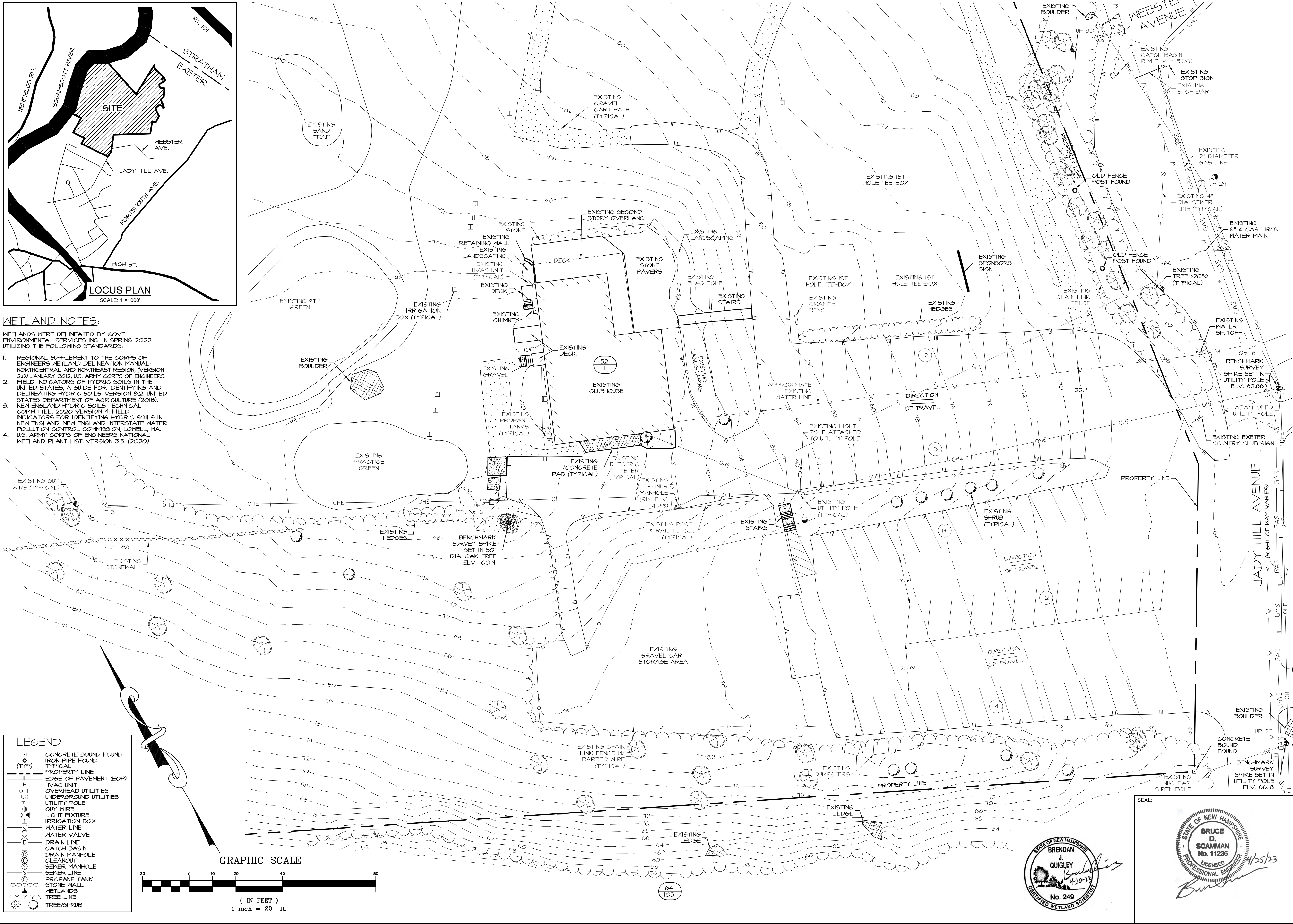
2	APR 20, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK.
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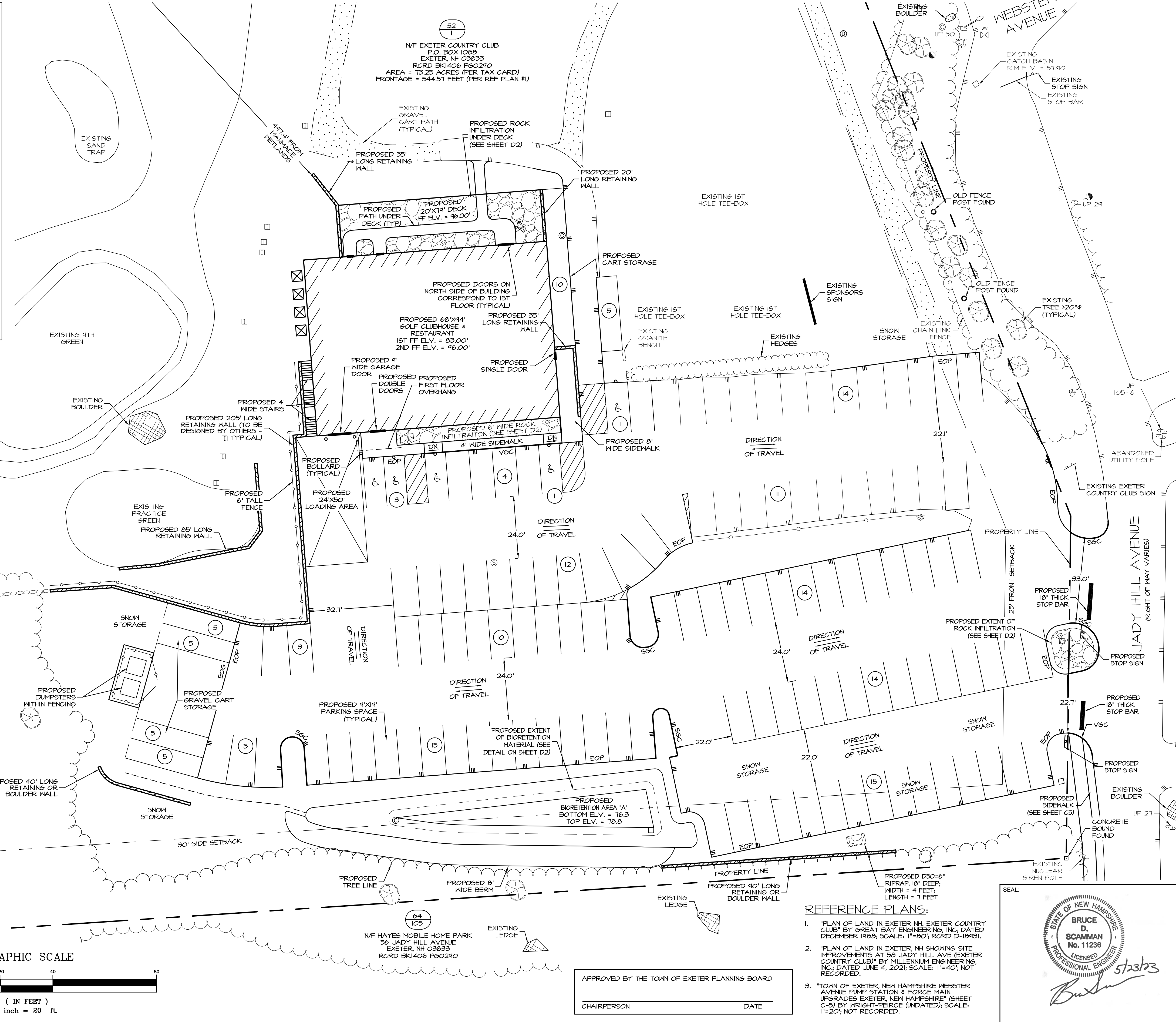
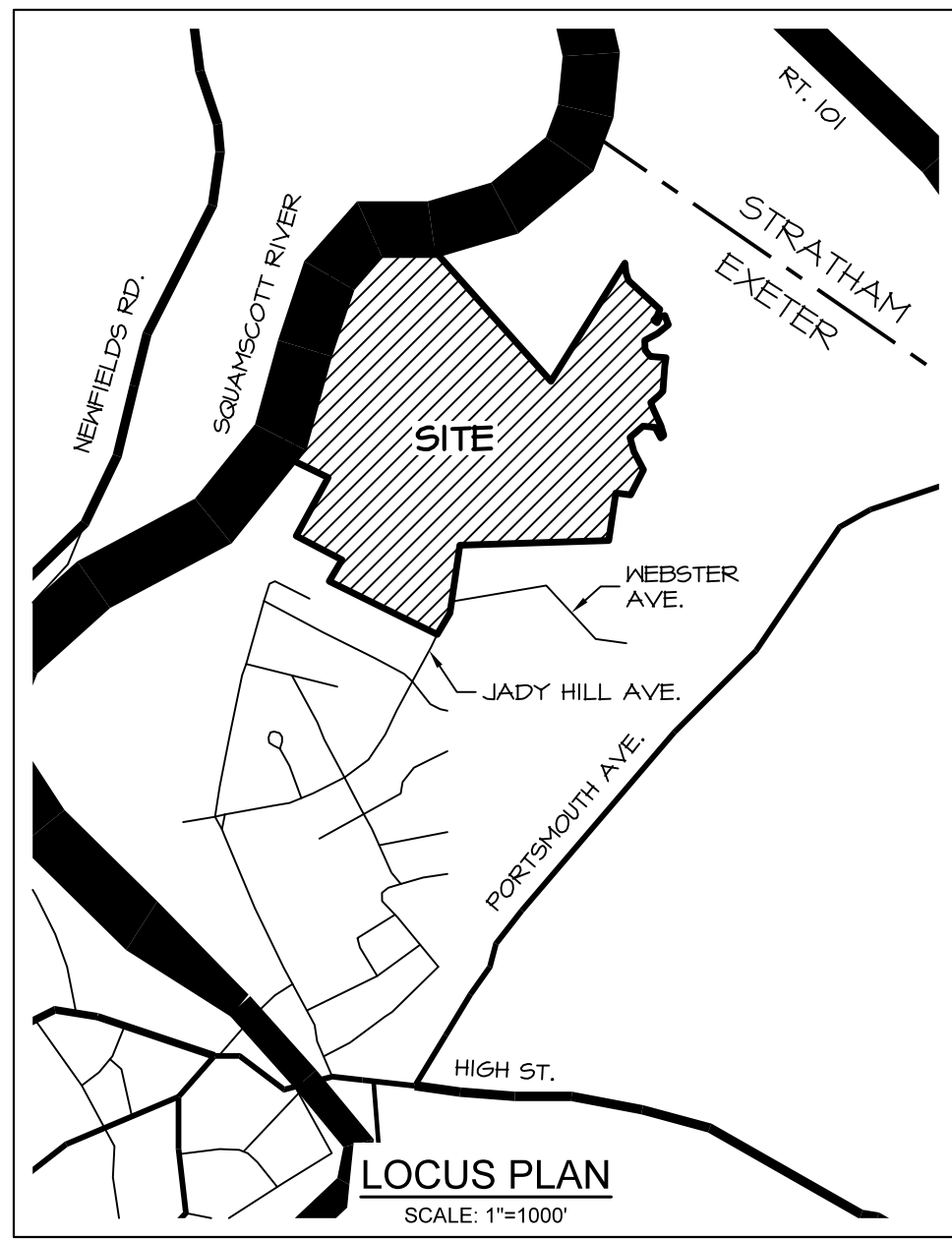


CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
EXISTING CONDITIONS
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C1

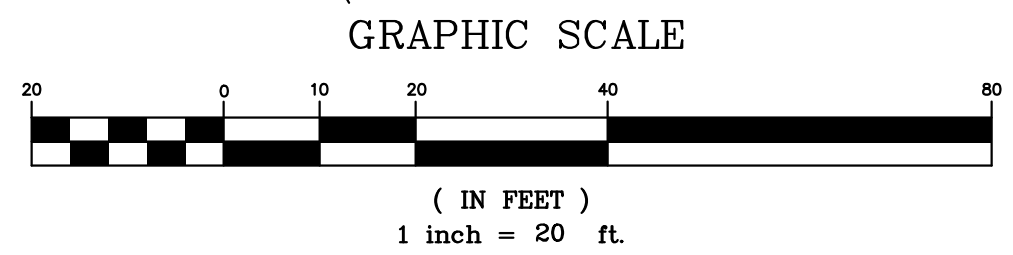




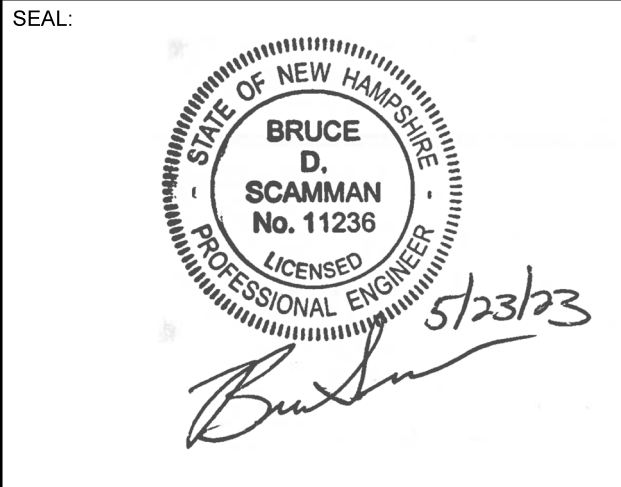
- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60290
 - THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED 68'x14' GOLF CLUBHOUSE & RESTAURANT WITH ATTACHED 20'x14' DECK, GOLF CART STORAGE, AND EXPANDED PARKING.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL. B) AND "X" REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRD; NAVD 1988.
 - WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
 - TOWN OF EXETER ZONING REQUIREMENTS FOR THE "R-2" DISTRICT, PER THE TOWN OF EXETER NH ZONING ORDINANCE DATED MARCH 2022:
 - MINIMUM LOT AREA = 15,000 SF (0.344 ACRES)
 - LOT AREA PROVIDED = 17.25 ACRES
 - MINIMUM LOT WIDTH = 100 FEET
 - LOT WIDTH PROVIDED = >> 100 FEET
 - MINIMUM LOT DEPTH = 100 FEET
 - LOT DEPTH PROVIDED = >> 100 FEET
 - MINIMUM FRONTAGE = 100 FEET
 - FRONTAGE PROVIDED = 544.51 FEET
 - MAXIMUM BUILDING HEIGHT = 35 FEET (3 STORIES)
 - MINIMUM FRONT SETBACK = 25 FEET
 - MINIMUM SIDE SETBACK = 15 FT (ONE) 30 FT (BOTH)
 - MINIMUM REAR SETBACK = 25 FEET
 - MAXIMUM BUILDING COVERAGE = 25%
 - BUILDING COVERAGE PROVIDED = 0.25%
 - MINIMUM OPEN SPACE = 40%
 - IMPERVIOUS AREA (EXCLUDES CART PATHS)=54545 SF
 - OPEN SPACE PROVIDED = 48136
 - PARKING REQUIREMENTS PER THE TOWN OF EXETER, NH SITE PLAN REVIEW & SUBDIVISION REGULATIONS AS AMENDED FEBRUARY 2022, AND THE ZONING ORDINANCE REVISED THROUGH MARCH 2022:
 - PARKING SPACE DIMENSIONS = 9'(W)x19'(L)
 - PARKING ANGLE MINIMUM AISLE WIDTH
 - 45-DEGREES 16-FEET
 - 60-DEGREES 20-FEET
 - 90-DEGREES 22-FEET

LEGEND

□	CONCRETE BOUND FOUND
○	IRON PIPE FOUND
(TYP)	TYPICAL
---	PROPERTY LINE
---	EDGE OF PAVEMENT (EOP)
---	HVAC UNIT
---	OVERHEAD UTILITIES
---	UNDERGROUND UTILITIES
---	UTILITY POLE
---	GUY WIRE
---	LIGHT FIXTURE
---	IRRIGATION BOX
---	WATER LINE
---	WATER VALVE
---	DRAIN LINE
---	CATCH BASIN
---	DRAIN MANHOLE
---	CLEANOUT
---	SEWER MANHOLE
---	PROPANE TANK
---	STONE WALL
---	WETLANDS
---	TREE LINE
---	TREE/SHRUB



- REFERENCE PLANS:**
- "PLAN OF LAND IN EXETER NH, EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC; DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-18431.
 - "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC; DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
 - "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-9) BY WRIGHT-FERGIE (UNDATED); SCALE: 1"=20'; NOT RECORDED.



APPROVED BY THE TOWN OF EXETER PLANNING BOARD

CHAIRPERSON	DATE

4	MAY 23, 2023	FOR APPROVAL	
3	MAY 10, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK.
DRAWN: JIM	DESIGN: JIM		
CHECKED: BDS	CHECKED: BDS		

EMANUEL ENGINEERING
civil & structural consultants, land planners
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
SITE PLAN
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C2

Drainage Structure Chart						
Structure #	Structure	Size	Lid/Rim	Rim Elevation	Sump	Inlet Elevation
ECB1	Concrete Catch Basin	Field Verify	Field Verify	57.90	Field Verify	Lid/Rim
PCB2	HDPE Pipe	12" Diameter	Polylok Pipe Grate	82.50	3'	Lid/Rim
PCB3	Concrete Catch Basin	4' Diameter	Concrete Cover	79.20	3'	(3) 4"x12" Knockouts
PCB4	Concrete Catch Basin	4' Diameter	NEENAH #R-4353	65.50	3'	Lid/Rim
PDW5	Concrete Drywell	4' Diameter	NEENAH #R-3570	64.00	3'	Lid/Rim
PDMH6	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	63.00	3'	None
PDMH7	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	62.00	3'	None

- Notes:**
- Proposed concrete catch basins and drywells to be by Shea Concrete or equal. HDPE Pipe to be ADS or equal.
 - Provide SiltSack Type C within ECB1 & PCB4 during construction. See Detail on Sheet D1.
 - See Sheet D2 for knockout details.
 - Gutters on the southside of the proposed building shall tie into catch basin "PCB2".
 - All concrete structures must be installed in accordance with New Hampshire Department of Transportation Standards and specifications for Road and Bridge Construction.
 - PDW5 to be underlain by Mirafi 140N geotextile fabric extended 10' out in all directions from edge of drywell. See detail on Sheet D2.
 - Foundation drain and retaining wall underdrains to daylight into PCB2.

Drainage Pipe Listing						
Pipe #	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	Material	Pipe Type
PDL1	80.00	77.00	145	0.021	SDR-35	8 Solid
PUD2	74.05	74.05	95	0.000	SDR-35	4 Perforated
PDL3	74.05	73.90	75	0.002	SDR-35	8 Solid
PDL4	63.00	61.10	50	0.038	HDPE	12 Solid
PDL5	61.00	60.35	245	0.003	HDPE	12 Solid
PDL6	60.25	58.50	420	0.004	HDPE	12 Solid
PDL7	58.40	46.10	265	0.046	HDPE	12 Solid

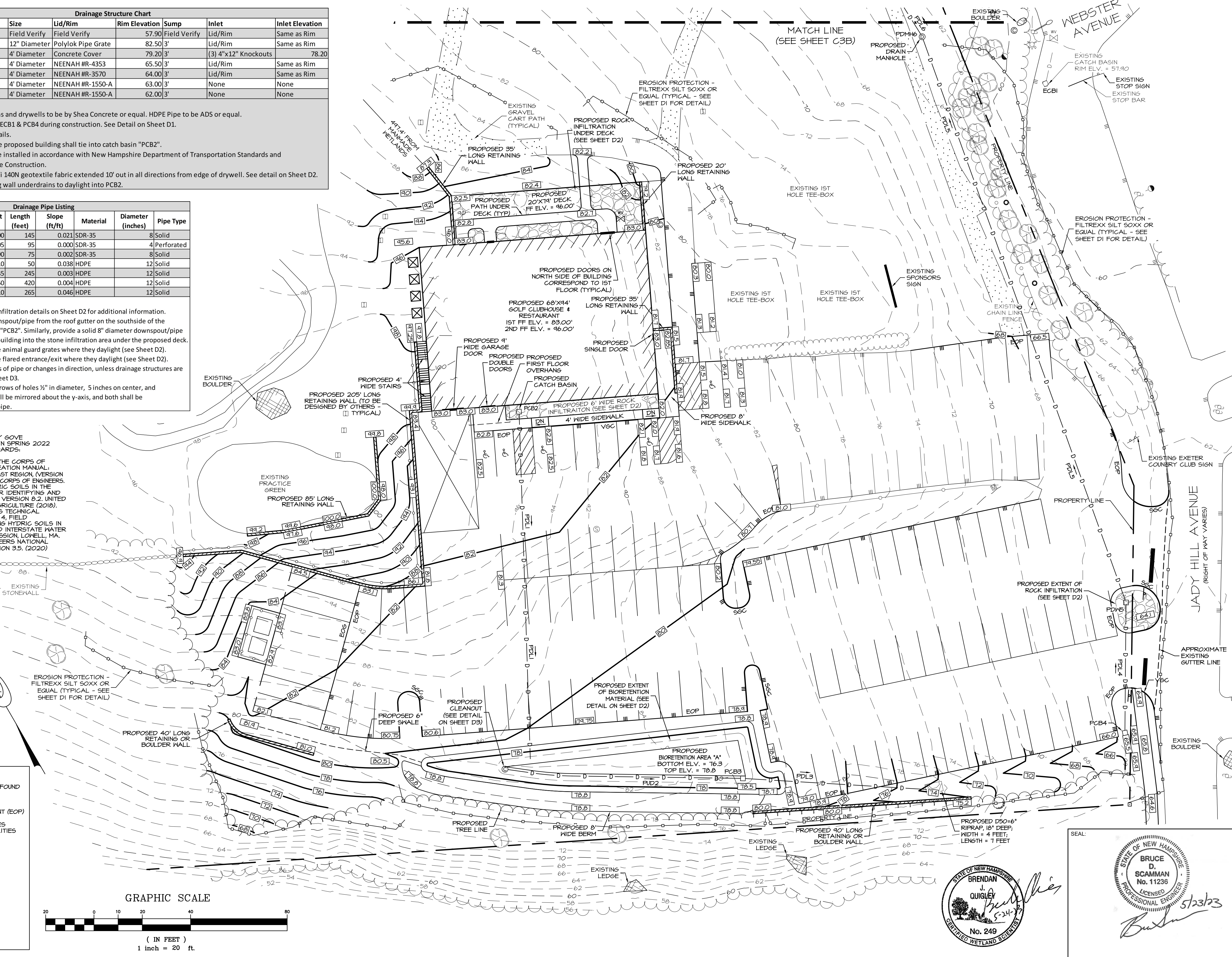
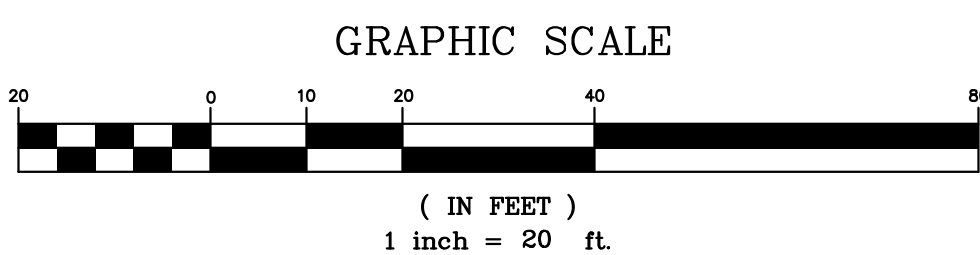
- Notes:**
- See bioretention area and rock infiltration details on Sheet D2 for additional information.
 - Provide a solid 8" diameter downspout/pipe from the roof gutter on the southside of the proposed building into catch basin "PCB2". Similarly, provide a solid 8" diameter downspout/pipe on the northside of the proposed building into the stone infiltration area under the proposed deck.
 - Pipes PDL1, PDL3, & PDL7 to have animal guard grates where they daylight (see Sheet D2).
 - Pipes PDL1, PDL3, & PDL7 to have filtered entrance/exit where they daylight (see Sheet D2).
 - Cleanouts to be provided at ends of pipe or changes in direction, unless drainage structures are already provided. See detail on Sheet D3.
 - Perforated pipes shall have two rows of holes 1/2" in diameter, 5 inches on center, and spaced 120" apart. Perforations shall be mirrored about the y-axis, and both shall be located on the bottom half of the pipe.

WETLAND NOTES:

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
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- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2020 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA, U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5, (2020)

LEGEND	
	CONCRETE BOUND FOUND IRON PIPE FOUND (TYP)
	PROPERTY LINE
	EDGE OF PAVEMENT (EOP)
	HVAC UNIT
	OVERHEAD UTILITIES
	UNDERGROUND UTILITIES
	UTILITY POLE
	GUY WIRE
	LIGHT FIXTURE
	IRRIGATION BOX
	WATER VALVE
	DRAIN LINE
	CATCH BASIN
	DRAIN MANHOLE
	CLEANOUT
	SEWER MANHOLE
	PROPANE TANK
	STONE WALL
	WETLANDS
	TREE LINE
	TREE/SHRUB



- NOTES:**
- OWNER OF RECORD: TAX MAP 55, LOT 1 EXETER COUNTRY CLUB P.O. BOX 1088 EXETER, NH 03833 RCRD BK1406 P60240
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND DRAINAGE ON SITE ASSOCIATED WITH THE PROPOSED SITE IMPROVEMENTS.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN FLOOD HAZARD ZONES "AE" (EL 8) AND "X"; REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
 - WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEFINED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
 - ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
 - PRIOR TO CONSTRUCTION, IT IS NECESSARY TO SUBMIT A NOTICE OF INTENT (NOI) AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP INSPECTOR MUST BE A "QUALIFIED PERSON" WHO IS CERTIFIED ACCORDING TO THE LATEST REGULATIONS GOVERNING SUCH CERTIFICATIONS.
 - TOTAL PROPOSED SITE DISTURBANCE = 16600 SF

REFERENCE PLANS:

- "PLAN OF LAND IN EXETER NH, EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC. DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-10431.
- "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC. DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
- "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PEIRCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

NO.	DATE	DESCRIPTION	CHK.
3	MAY 23, 2023	FOR APPROVAL	
2	APR 20, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	

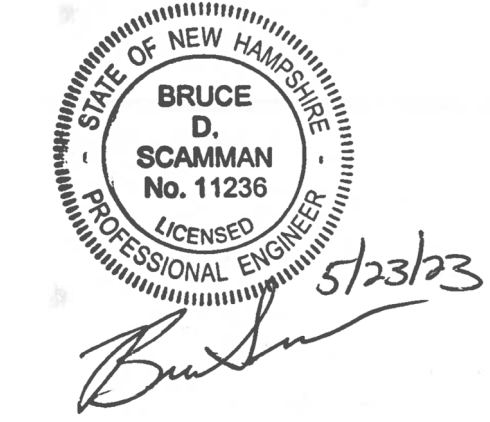
ISS. DATE: DESCRIPTION OF ISSUE: CHK.
 DRAWN: JJM DESIGN: JJM
 CHECKED: BDS CHECKED: BDS

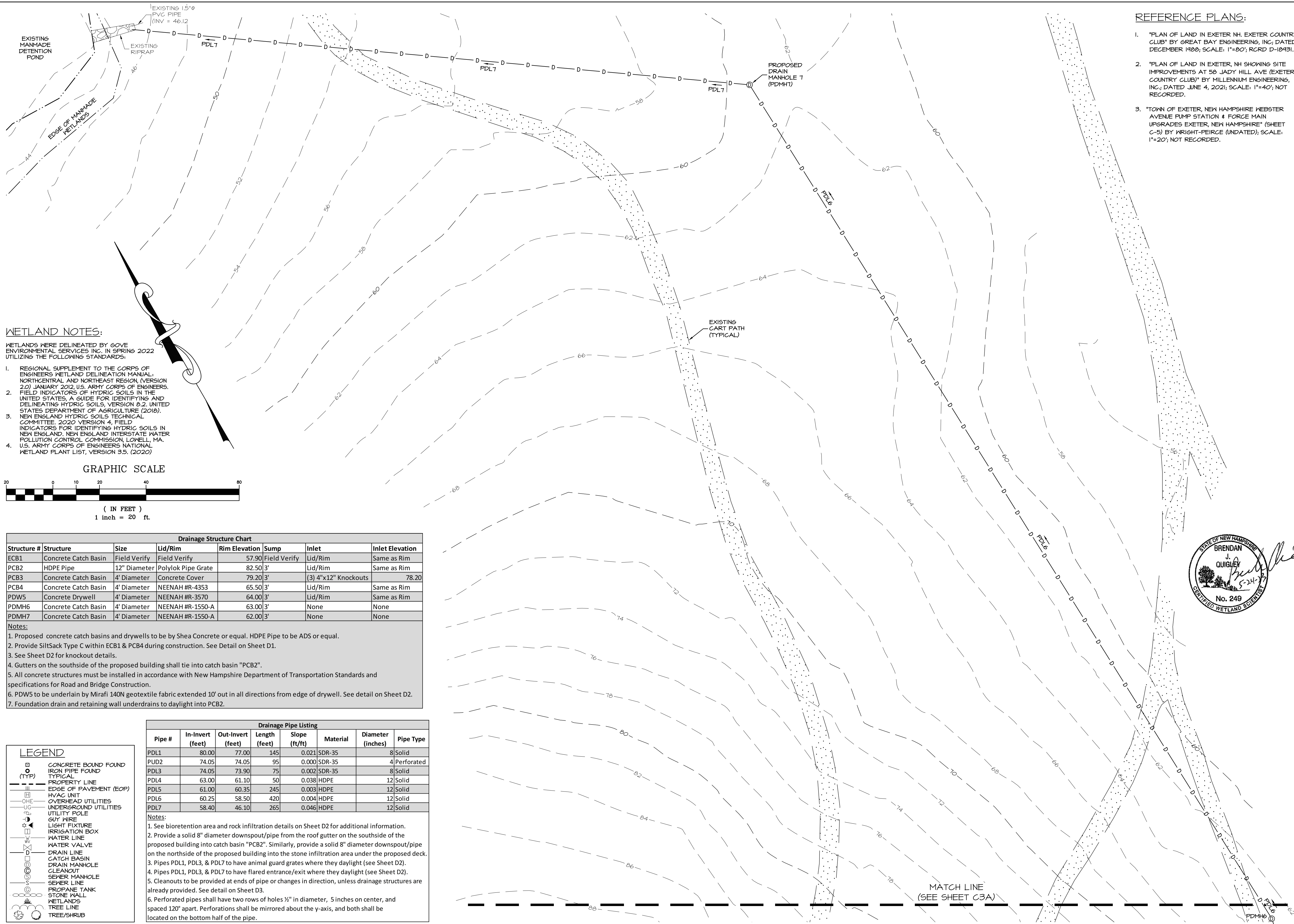
EMANUEL ENGINEERING
 civil & structural consultants, land planners
 118 PORTSMOUTH AVENUE, A202
 STRATHAM, NH 03885
 P: 603-772-4400 F: 603-772-4487
 WWW.EMANUELENGINEERING.COM

CUSTOMER: **BLIND TIGER, LLC**
 3 WRIGHT LANE
 EXETER, NH 03833

TITLE: **GRADING & DRAINAGE PLAN**
 FOR
EXETER COUNTRY CLUB
 58 JADY HILL AVENUE (SITE)
 EXETER, NH 03833

PROJECT: 21-157 SCALE: 1"=20' SHEET: C3A





REFERENCE PLANS:

- "PLAN OF LAND IN EXETER, NH, EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC, DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-10493.
- "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC.; DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
- "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PEIRCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

NOTES:

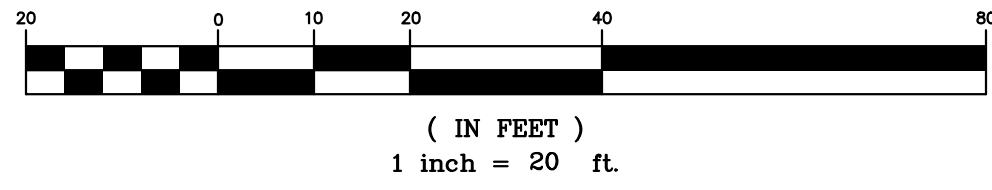
- OWNER OF RECORD: TAX MAP 52, LOT 1 EXETER COUNTRY CLUB P.O. BOX 1088 EXETER, NH 03833 RCRD BK1406 F50240
- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED DRAINAGE ON SITE ASSOCIATED WITH THE PROPOSED SITE IMPROVEMENTS CONVEYING STORMWATER TO THE EXISTING DETENTION POND NORTH OF THE PROPOSED IMPROVEMENTS.
- PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
- A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL B) AND "X"; REFERENCE FLOOD INSURANCE RATE MAPS 33015G0402E & 33015G0406E, DATED MAY 17, 2005.
- FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
- WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
- ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
- THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
- BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- PRIOR TO CONSTRUCTION, IT IS NECESSARY TO SUBMIT A NOTICE OF INTENT (NOI) AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP INSPECTOR MUST BE A "QUALIFIED PERSON" WHO IS CERTIFIED ACCORDING TO THE LATEST REGULATIONS GOVERNING SUCH CERTIFICATIONS.
- TOTAL PROPOSED SITE DISTURBANCE = 76600 SF

WETLAND NOTES:

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC. IN SPRING 2022 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2020 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LONELL, MA, U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5, (2020)

GRAPHIC SCALE



Drainage Structure Chart						
Structure #	Structure	Size	Lid/Rim	Rim Elevation	Sump	Inlet Elevation
ECB1	Concrete Catch Basin	Field Verify	Field Verify	57.90	Field Verify	Lid/Rim
PCB2	HDPE Pipe	12" Diameter	Polylok Pipe Grate	82.50	3'	Lid/Rim
PCB3	Concrete Catch Basin	4' Diameter	Concrete Cover	79.20	3'	(3) 4"x12" Knockouts
PCB4	Concrete Catch Basin	4' Diameter	NEENAH #R-4353	65.50	3'	Lid/Rim
PDW5	Concrete Drywell	4' Diameter	NEENAH #R-3570	64.00	3'	Lid/Rim
PDMH6	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	63.00	3'	None
PDMH7	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	62.00	3'	None

- Notes:**
- Proposed concrete catch basins and drywells to be by Shea Concrete or equal. HDPE pipe to be ADS or equal.
 - Provide SiltSack Type C within ECB1 & PCB4 during construction. See Detail on Sheet D1.
 - See Sheet D2 for knockout details.
 - Gutters on the southside of the proposed building shall tie into catch basin "PCB2".
 - All concrete structures must be installed in accordance with New Hampshire Department of Transportation Standards and specifications for Road and Bridge Construction.
 - PDW5 to be underlain by Mirafi 140N geotextile fabric extended 10' out in all directions from edge of drywell. See detail on Sheet D2.
 - Foundation drain and retaining wall underdrains to daylight into PCB2.

Drainage Pipe Listing						
Pipe #	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	Material	Diameter (inches)
PDL1	80.00	77.00	145	0.021	SDR-35	8
PDL2	74.05	74.05	95	0.000	SDR-35	4
PDL3	74.05	73.90	75	0.002	SDR-35	8
PDL4	63.00	61.10	50	0.038	HDPE	12
PDL5	61.00	60.35	245	0.003	HDPE	12
PDL6	60.25	58.50	420	0.004	HDPE	12
PDL7	58.40	46.10	265	0.046	HDPE	12

- Notes:**
- See bioretention area and rock infiltration details on Sheet D2 for additional information.
 - Provide a solid 8" diameter downspout/pipe from the roof gutter on the southside of the proposed building into catch basin "PCB2". Similarly, provide a solid 8" diameter downspout/pipe on the northside of the proposed building into the stone infiltration area under the proposed deck.
 - Pipes PDL1, PDL3, & PDL7 to have animal guard grates where they daylight (see Sheet D2).
 - Pipes PDL1, PDL3, & PDL7 to have flared entrance/exit where they daylight (see Sheet D2).
 - Cleanouts to be provided at ends of pipe or changes in direction, unless drainage structures are already provided. See detail on Sheet D3.
 - Perforated pipes shall have two rows of holes 1/2" in diameter, 5 inches on center, and spaced 120" apart. Perforations shall be mirrored about the y-axis, and both shall be located on the bottom half of the pipe.

LEGEND

- CONCRETE BOUND FOUND
- IRON PIPE FOUND
- TYPICAL
- PROPERTY LINE
- EDGE OF PAVEMENT (EOP)
- HVAC UNIT
- OVERHEAD UTILITIES
- UNDERGROUND UTILITIES
- UTILITY POLE
- GUY WIRE
- LIGHT FIXTURE
- IRRIGATION BOX
- WATER LINE
- WATER VALVE
- DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- CLEANOUT
- SEWER MANHOLE
- SEWER LINE
- PROPANE TANK
- STONE WALL
- WETLANDS
- TREE LINE
- TREE/SHRUB



SEAL:

2	MAY 23, 2023	FOR APPROVAL	
1	APR 20, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK:
DRAWN: JJM	DESIGN: JJM		
CHECKED: BDS	CHECKED: BDS		

EMANUEL ENGINEERING
land & structural consultants, land planners
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 EXETER, NH 03833

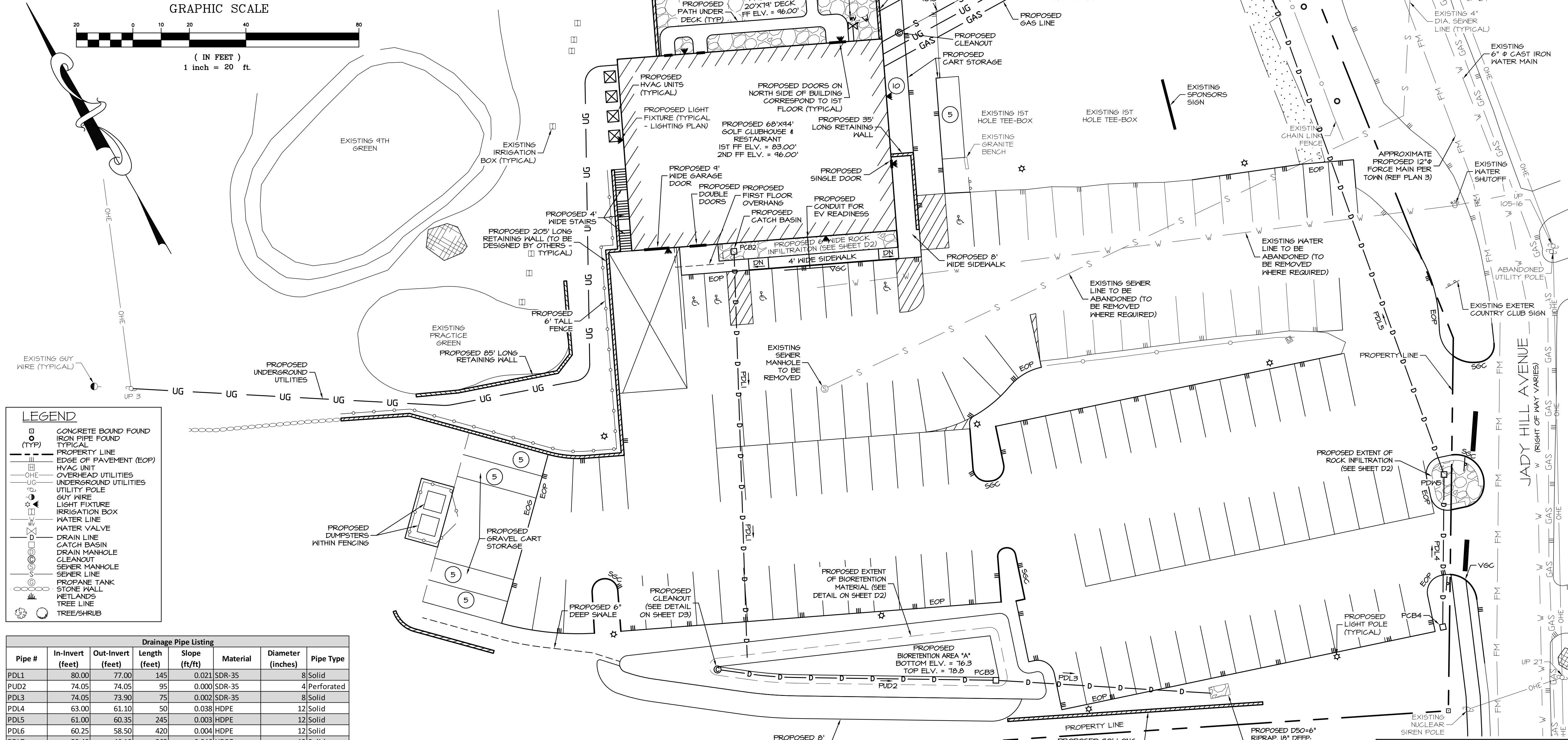
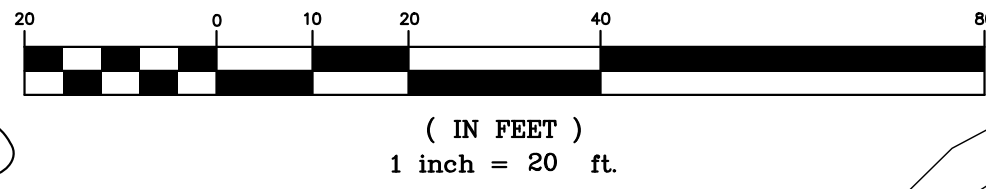
TITLE:
GRADING & DRAINAGE PLAN
 FOR
EXETER COUNTRY CLUB
 58 JADY HILL AVENUE (SITE)
 EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C3B

Drainage Structure Chart						
Structure #	Structure	Size	Lid/Rim	Rim Elevation	Sump	Inlet Elevation
ECB1	Concrete Catch Basin	Field Verify	Field Verify	57.90	Field Verify	Lid/Rim
PCB2	HDPE Pipe	12" Diameter	Polylok Pipe Grate	82.50	3'	Lid/Rim
PCB3	Concrete Catch Basin	4' Diameter	Concrete Cover	79.20	3'	(3) 4"x12" Knockouts
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PDW5	Concrete Drywell	4' Diameter	NEENAH #R-3570	64.00	3'	Lid/Rim
PDMH6	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	63.00	3'	None
PDMH7	Concrete Catch Basin	4' Diameter	NEENAH #R-1550-A	62.00	3'	None

- Notes:**
- Proposed concrete catch basins and drywells to be by Shea Concrete or equal. HDPE Pipe to be ADS or equal.
 - Provide SiltSack Type C within ECB1 & PCB4 during construction. See Detail on Sheet D1.
 - See Sheet D2 for knockout details.
 - Gutters on the southside of the proposed building shall tie into catch basin "PCB2".
 - All concrete structures must be installed in accordance with New Hampshire Department of Transportation Standards and specifications for Road and Bridge Construction.
 - PDW5 to be underlain by Mirafi 140N geotextile fabric extended 10' out in all directions from edge of drywell. See detail on Sheet D2.
 - Foundation drain and retaining wall underdrains to daylight into PCB2.

GRAPHIC SCALE



LEGEND

- CONCRETE BOUND FOUND
- IRON PIPE FOUND
- (TYP) PROPERTY LINE
- EDGE OF PAVEMENT (EOP)
- HVAC UNIT
- OVERHEAD UTILITIES
- UNDERGROUND UTILITIES
- UTILITY POLE
- GUY WIRE
- LIGHT FIXTURE
- IRRIGATION BOX
- WATER LINE
- WATER VALVE
- DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- CLEANOUT
- SEWER MANHOLE
- SEWER LINE
- PROPANE TANK
- STONE WALL
- WETLANDS
- TREE LINE
- TREE/SHRUB

Drainage Pipe Listing

Pipe #	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	Material	Diameter (inches)	Pipe Type
PDL1	80.00	77.00	145	0.021	SDR-35	8	Solid
PDL2	74.05	74.05	95	0.000	SDR-35	4	Perforated
PDL3	74.05	73.90	75	0.002	SDR-35	8	Solid
PDL4	63.00	61.10	50	0.038	HDPE	12	Solid
PDL5	61.00	60.35	245	0.003	HDPE	12	Solid
PDL6	60.25	58.50	420	0.004	HDPE	12	Solid
PDL7	58.40	46.10	265	0.046	HDPE	12	Solid

- Notes:**
- See bioretention area and rock infiltration details on Sheet D2 for additional information.
 - Provide a solid 8" diameter downspout/pipe from the roof gutter on the southside of the proposed building into catch basin "PCB2". Similarly, provide a solid 8" diameter downspout/pipe on the northside of the proposed building into the stone infiltration area under the proposed deck.
 - Pipes PDL1, PDL3, & PDL7 to have animal guard grates where they daylight (see Sheet D2).
 - Pipes PDL1, PDL3, & PDL7 to have flared entrance/exit where they daylight (see Sheet D2).
 - Cleanouts to be provided at ends of pipe or changes in direction, unless drainage structures are already provided. See detail on Sheet D3.
 - Perforated pipes shall have two rows of holes 1/2" in diameter, 5 inches on center, and spaced 120" apart. Perforations shall be mirrored about the y-axis, and both shall be located on the bottom half of the pipe.

PROPOSED SEPTIC CALCULATIONS

USE	UNIT DESIGN FLOW	TOTAL DESIGN FLOW
36 SEAT FUNCTION ROOM	12 GPD/SEAT	432 GPD
80 SEAT RESTAURANT	40 GPD/SEAT	3,200 GPD
47 SEAT BAR	20 GPD/SEAT	940 GPD
20 EMPLOYEES	20 GPD/EMPLOYEE	400 GPD
TOTAL PROPOSED FLOW		4,972 GPD

64
105
NF HAYES MOBILE HOME PARK
56 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK1406 PG0240

- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 PG0240
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED UTILITIES ON SITE ASSOCIATED WITH THE PROPOSED SITE IMPROVEMENTS.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL. B) AND "X"; REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
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 - WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
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 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
 - SEE THE LIGHTING PLAN (SHEET L01) BY EXPOSURE LIGHTING FOR LIGHTING DETAILS.
 - THE NEW GREASE INTERCEPTOR FOR THE PROPOSED RESTAURANT WITHIN THE CLUBHOUSE SHALL BE INSTALLED IN THE INTERIOR OF THE BUILDING.
 - ALL ABANDONED UTILITIES SHALL EITHER BE REMOVED, CAPPED, OR FILLED WITH FLOWABLE FILL.

- REFERENCE PLANS:**
- "PLAN OF LAND IN EXETER, NH. EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC.; DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-18431.
 - "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC.; DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
 - "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PEIRCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

ISS. DATE:	DESCRIPTION OF ISSUE:	CHK.
4 MAY 23, 2023	FOR APPROVAL	
3 MAY 10, 2023	FOR APPROVAL	
1 JAN 24, 2023	FOR APPROVAL	

EMANUEL ENGINEERING
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CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
UTILITIES PLAN
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

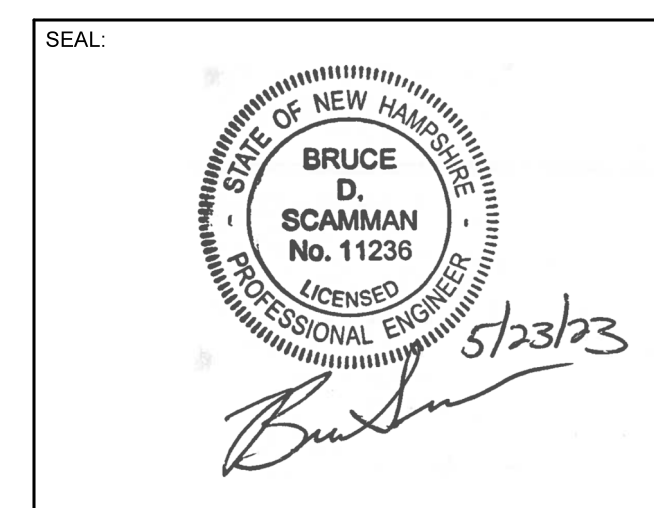
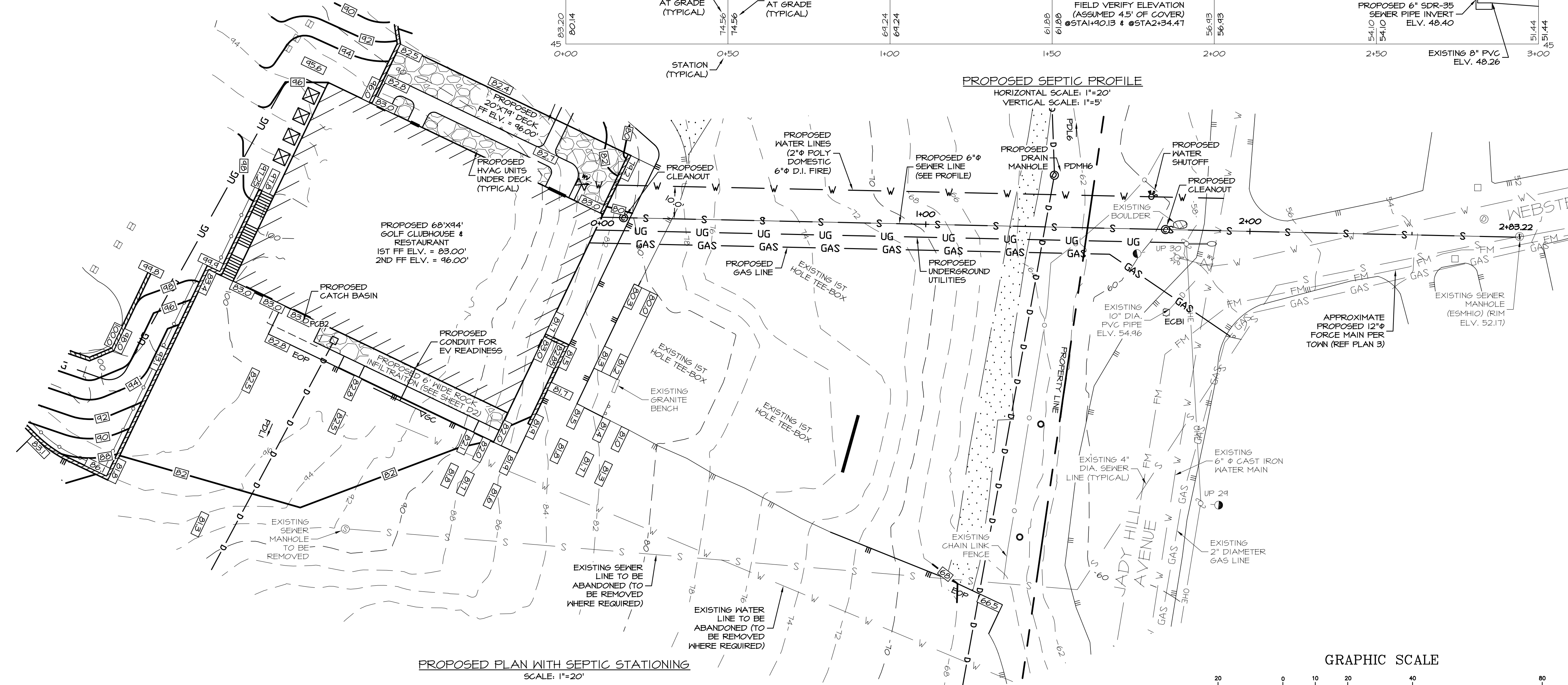
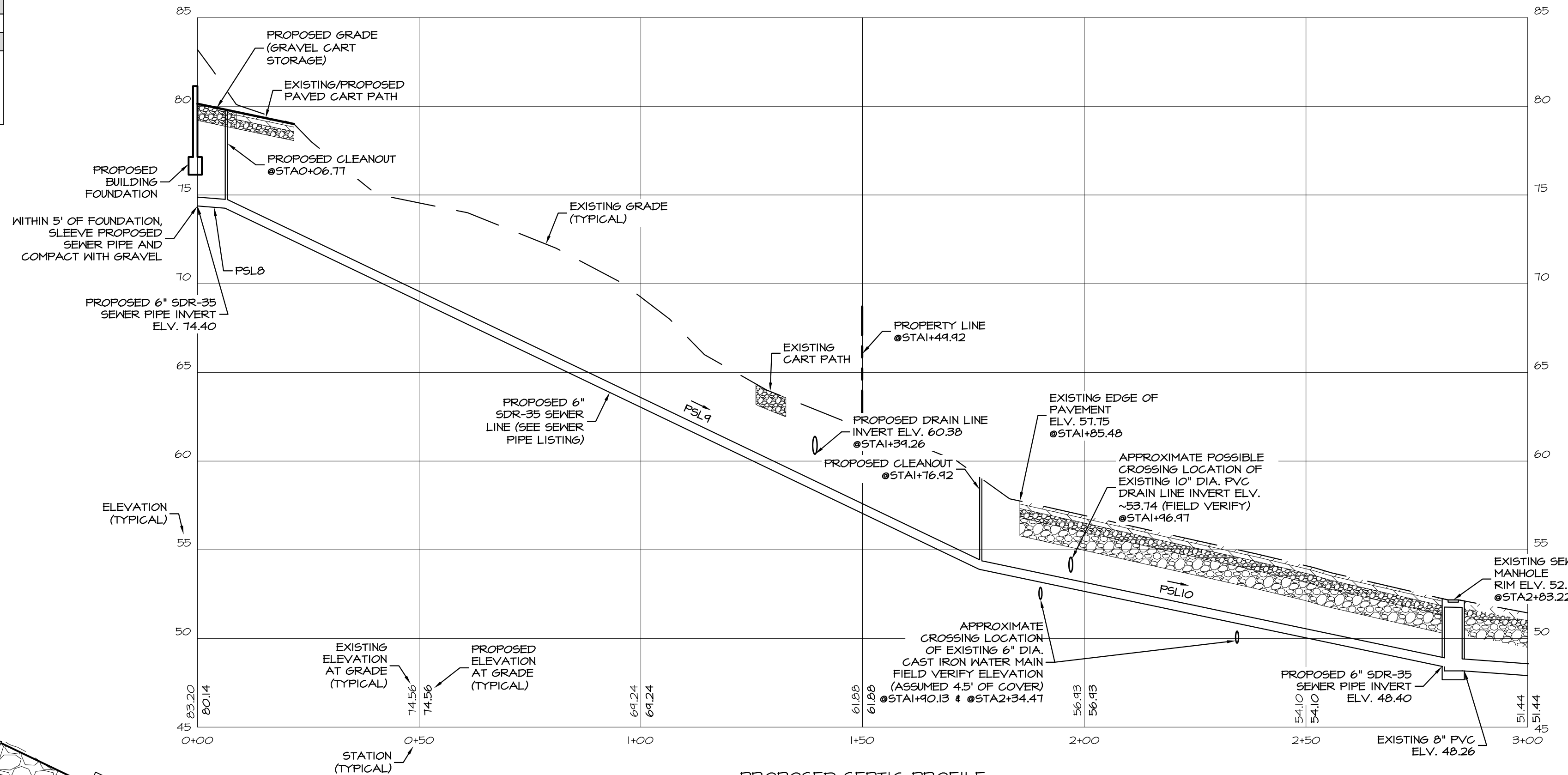
PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C4A

SEAL:
STATE OF NEW HAMPSHIRE
BRUCE D. SCAMMAN
No. 11236
LICENSED PROFESSIONAL ENGINEER
5/23/23

Septic Pipe Listing						
Pipe #	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	Material	Pipe Type
PSL8	74.40	74.25	7	0.021	SDR-35	6 Solid
PSL9	74.25	53.90	170	0.120	SDR-35	6 Solid
PSL10	53.90	48.40	150	0.037	SDR-35	6 Solid

Notes:
 1. Pipe PSL8 shall be sleeved and compacted with gravel within 5' of the proposed foundation.
 2. All joints, inlets, outlets, etc. To be sealed with a non-shrink grout, "water-plug" or equal.
 3. All pipes to be sleeved or encased in concrete within 10' of any water line crossing.

PROPOSED SEPTIC CALCULATIONS		
USE	UNIT DESIGN FLOW	TOTAL DESIGN FLOW
36 SEAT FUNCTION ROOM	12 GPD/SEAT	432 GPD
80 SEAT RESTAURANT	40 GPD/SEAT	3,200 GPD
47 SEAT BAR	20 GPD/SEAT	940 GPD
20 EMPLOYEES	20 GPD/EMPLOYEE	400 GPD
TOTAL PROPOSED FLOW		4,972 GPD



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60240
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROFILE OF THE PROPOSED SEWER LINE REQUIRED FOR THE PROPOSED SITE IMPROVEMENTS.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2014 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL. 8) AND "X"; REFERENCE FLOOD INSURANCE RATE MAPS 33015G0402E & 33015G0406E, DATED MAY 17, 2005.
 - FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
 - WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
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 - THE NEW GREASE INTERCEPTOR FOR THE PROPOSED RESTAURANT WITHIN THE CLUBHOUSE SHALL BE INSTALLED IN THE INTERIOR OF THE BUILDING.
 - ALL ABANDONED UTILITIES SHALL EITHER BE REMOVED, CAPPED, OR FILLED WITH FLOWABLE FILL.

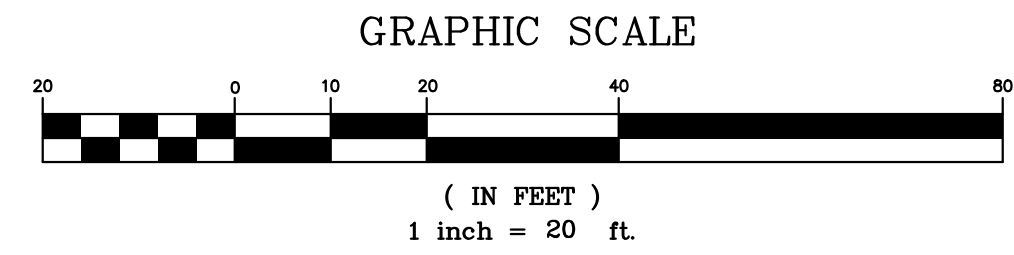
- REFERENCE PLANS:**
- "PLAN OF LAND IN EXETER, NH. EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC.; DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-184931.
 - "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC.; DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
 - "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PERCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

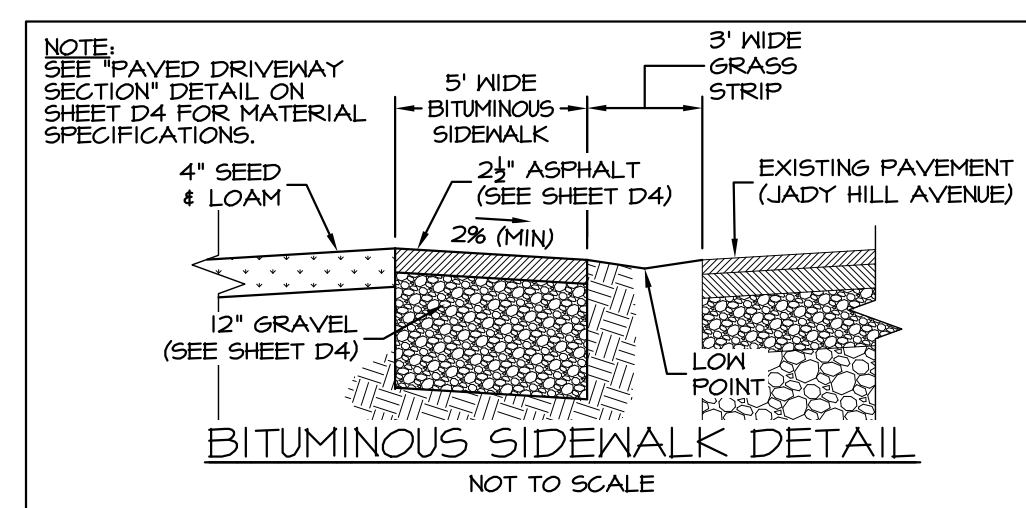
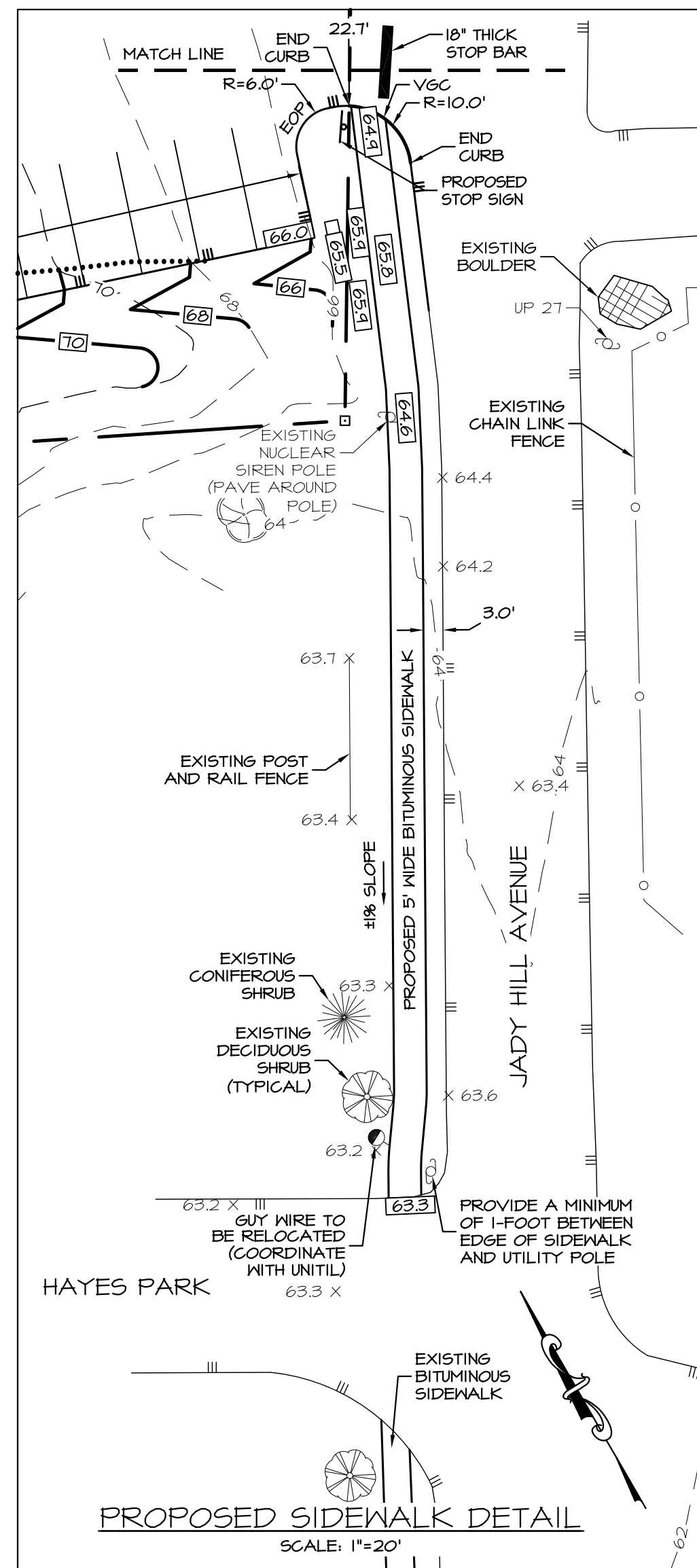
3	MAY 23, 2023	FOR APPROVAL	
2	MAY 10, 2023	FOR APPROVAL	
1	APR 25, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK.
DRAWN: JJM	DESIGN: JJM		
CHECKED: BDS	CHECKED: BDS		

CLIENT:
BLIND TIGER, LLC
 3 WRIGHT LANE
 EXETER, NH 03833

TITLE:
PROPOSED SEPTIC PROFILE FOR EXETER COUNTRY CLUB 58 JADY HILL AVENUE (SITE) EXETER, NH 03833

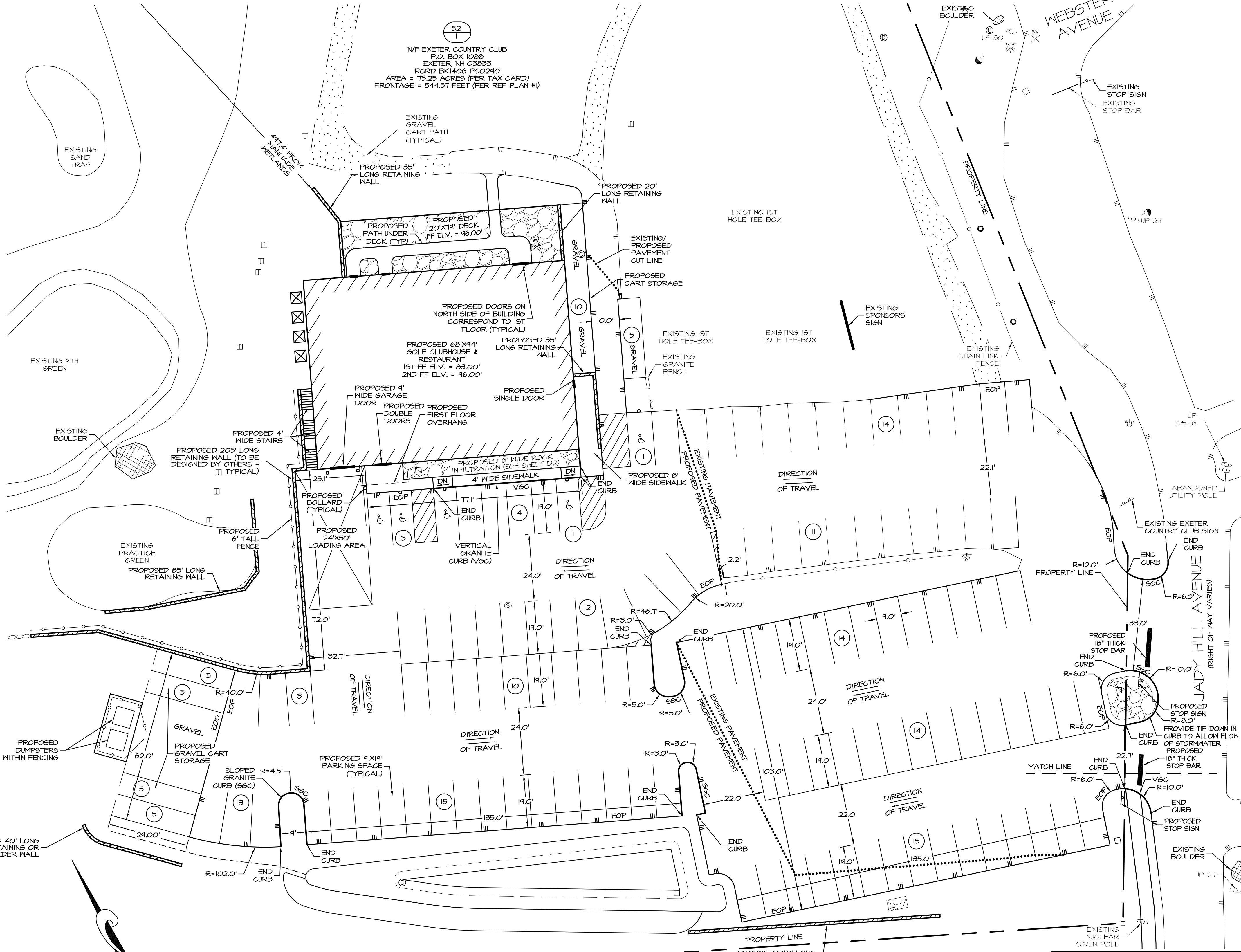
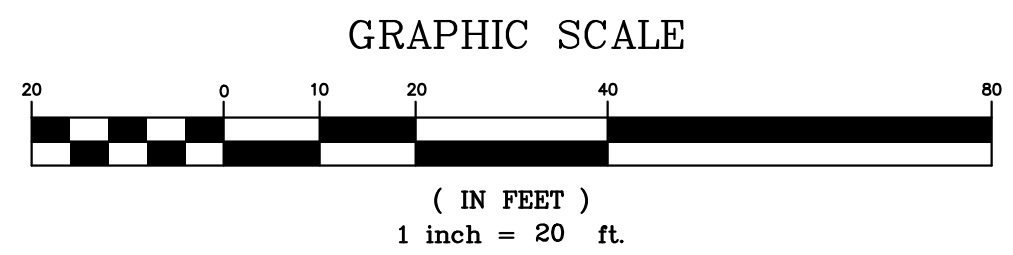
PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C4B





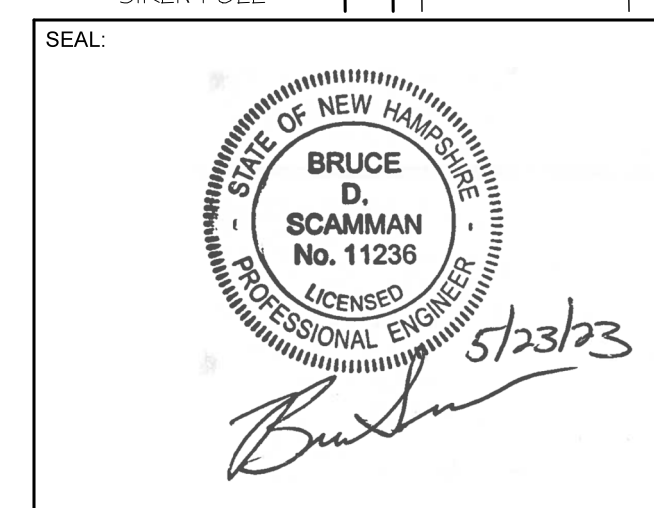
LEGEND

□	CONCRETE BOUND FOUND
○	IRON PIPE FOUND
---	TYPICAL PROPERTY LINE
---	EDGE OF PAVEMENT (EOP)
---	HVAC UNIT
---	OVERHEAD UTILITIES
---	UNDERGROUND UTILITIES
---	UTILITY POLE
---	GUY WIRE
---	LIGHT FIXTURE
---	IRRIGATION BOX
---	WATER LINE
---	WATER VALVE
---	DRAIN LINE
---	CATCH BASIN
---	DRAIN MANHOLE
---	CLEANOUT
---	SEWER MANHOLE
---	SEWER LINE
---	PROPANE TANK
---	STONE WALL
---	METLANDS
---	TREE LINE
---	TREE/SHRUB



NF EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60240
AREA = 13.25 ACRES (PER TAX CARD)
FRONTAGE = 544.51 FEET (PER REF PLAN #)

NF HAYES MOBILE HOME PARK
56 JADY HILL AVENUE
EXETER, NH 03833
RCRD BK1406 P60240



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60240
 - THE INTENT OF THIS PLAN IS TO SHOW THE DIMENSIONS FOR THE PROPOSED PARKING, TRAVEL WAYS, CURBING, AND SIDEWALKS ON SITE.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL 8) AND "X", REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
 - METLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL METLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.

- REFERENCE PLANS:**
- "PLAN OF LAND IN EXETER, NH. EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC., DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-18431.
 - "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC., DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
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2	MAY 23, 2023	FOR APPROVAL	
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EMANUEL ENGINEERING
civil & structural consultants, land planners
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
PAVING & CURBING PLAN
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	1"=20'	C5

EROSION AND SEDIMENTATION CONTROL - CONSTRUCTION PHASING AND SEQUENCING:

- SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
- INSTALL SILT FENCING AND/OR HAY BALE BARRIERS AS PER DETAILS AND AT SEDIMENT MIGRATION.
- CONSTRUCT TREATMENT SWALES, LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S) AS PER DETAIL AND AT LOCATIONS SHOWN ON THE DRAWINGS. MAINTAIN (TOP DRESS) REGULARLY TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS.
- STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL.
- ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
- FINISH GRADE AND COMPACT SITE.
- RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
- STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
- RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
- SILT FENCING AND HAY BALES TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO INSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT FENCING, HAY BALES AND TRAPPED SILT ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
- PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
- ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 12 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDING/LOAMED WITHIN 12 HOURS OF ACHIEVING FINISH GRADE.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- BUOYANCY CALCULATIONS HAVE NOT BEEN PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANCHORAGE FOR ALL TANKS WHERE REQUIRED.

WINTER CONSTRUCTION NOTES (OCTOBER 15 TO MAY 1):

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER MHDOT ITEM 304.3.

ROCK INFILTRATION AREA MAINTENANCE:

THE ROCK INFILTRATION AREA SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE ROCK HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW ANY OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAIL WATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

EROSION AND SEDIMENTATION CONTROL - GENERAL NOTES:

- CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 2 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON NEW HAMPSHIRE STORMWATER MANUAL, VOLUMES 1-3, DATED DECEMBER 2008, PREPARED BY NHDES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- SEE WINTER CONSTRUCTION NOTES IF SCHEDULE AND DATES ARE APPLICABLE.
- ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
- ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED IN THE SHORTEST PRACTICAL TIME. ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE.
- EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED.
- TEMPORARY & LONG TERM SEEDINGS, USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
- STRAW OR HAY BALE BARRIERS AND SILTATION FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT FENCE AND ANY EDGE OF WET AREA.
- SEEDED AREAS WILL BE FERTILIZED AND RE-SEED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
- SEDIMENT BASIN(S), IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
- STRAW BALE AND/OR SILT FENCE BARRIERS WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
- TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430.53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.

SEEDING AND STABILIZATION FOR LOAMED SITE:

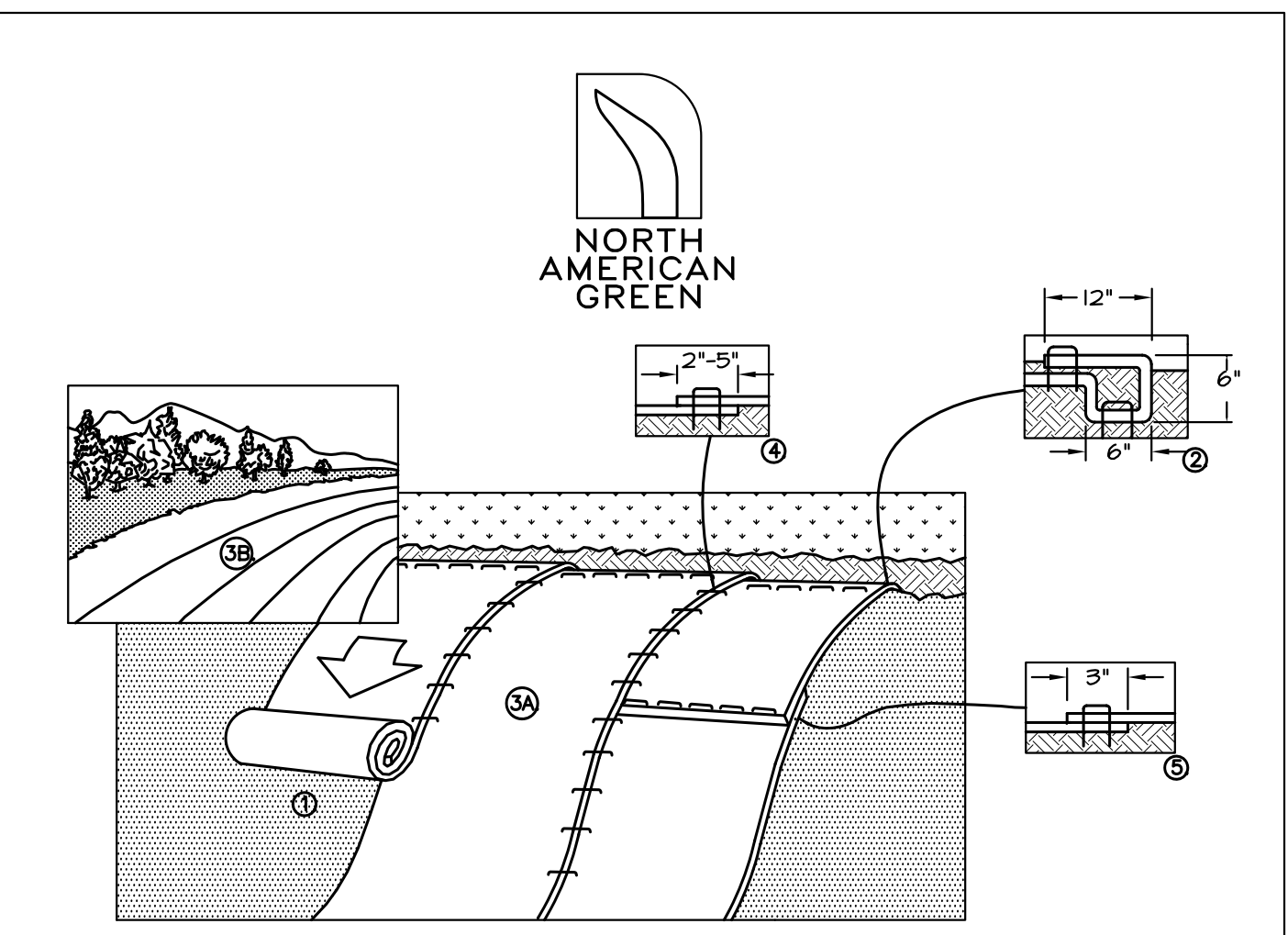
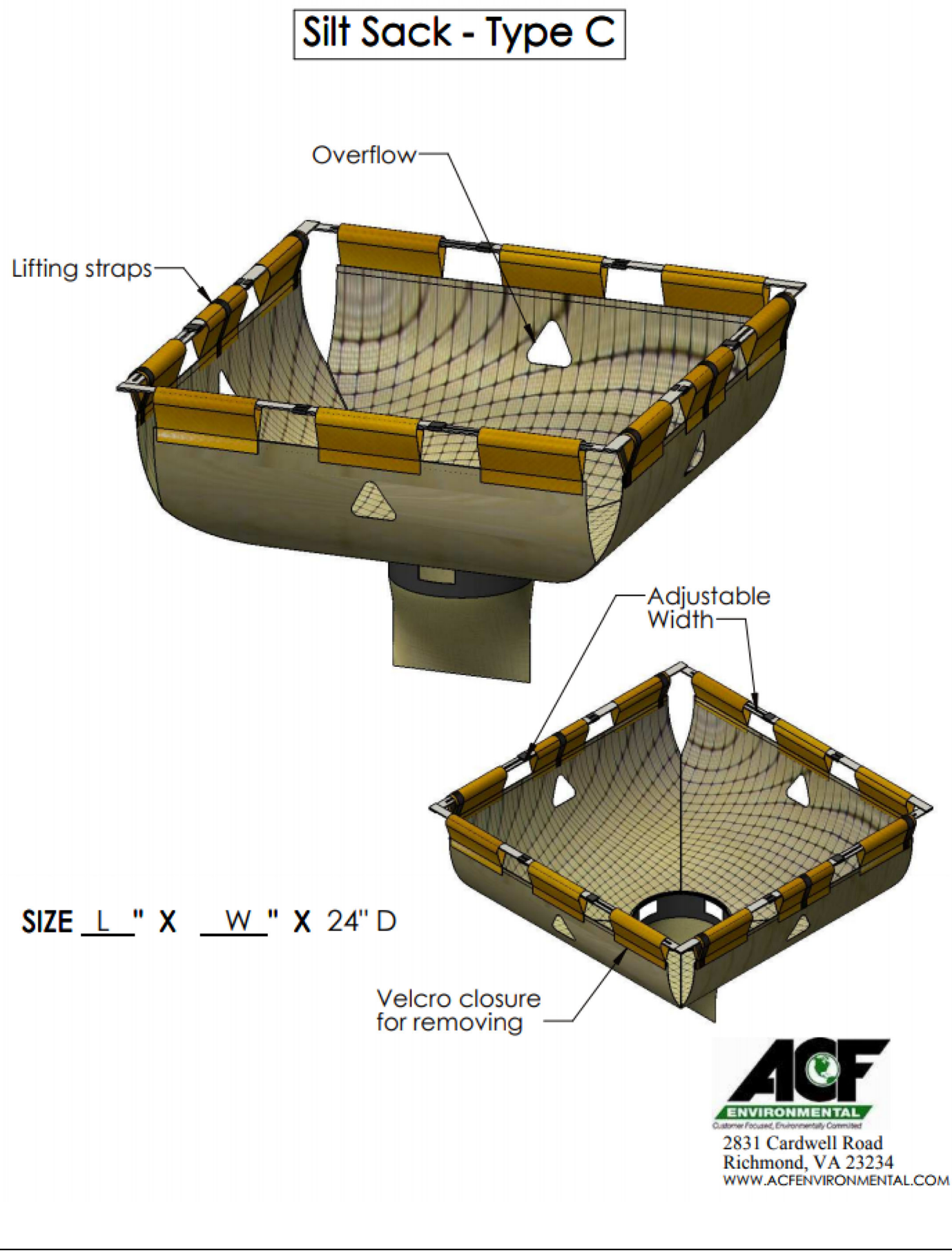
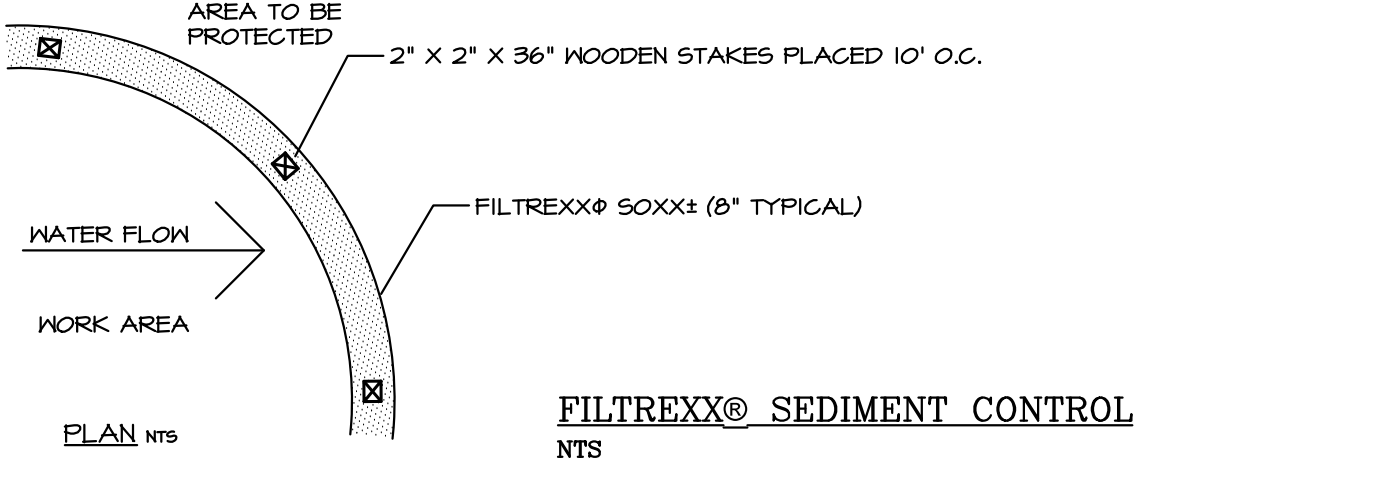
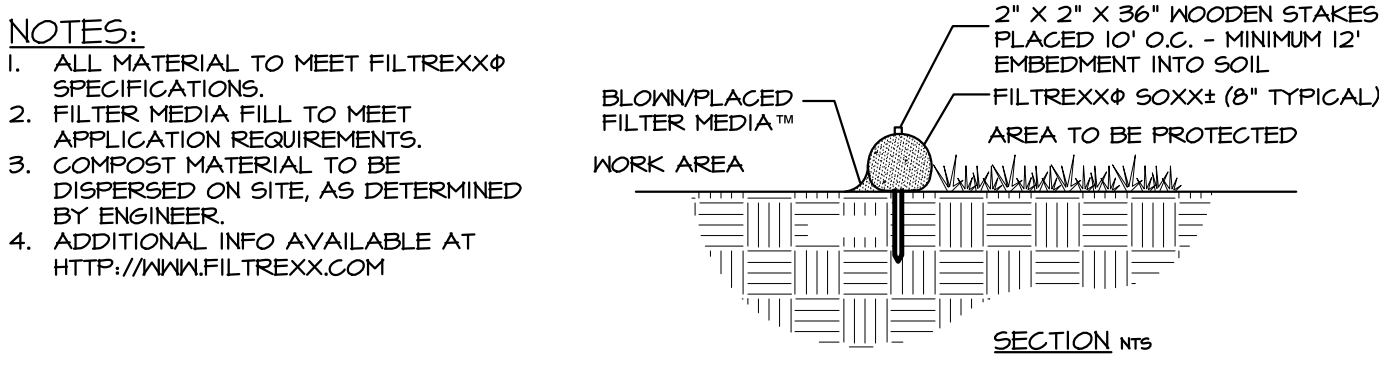
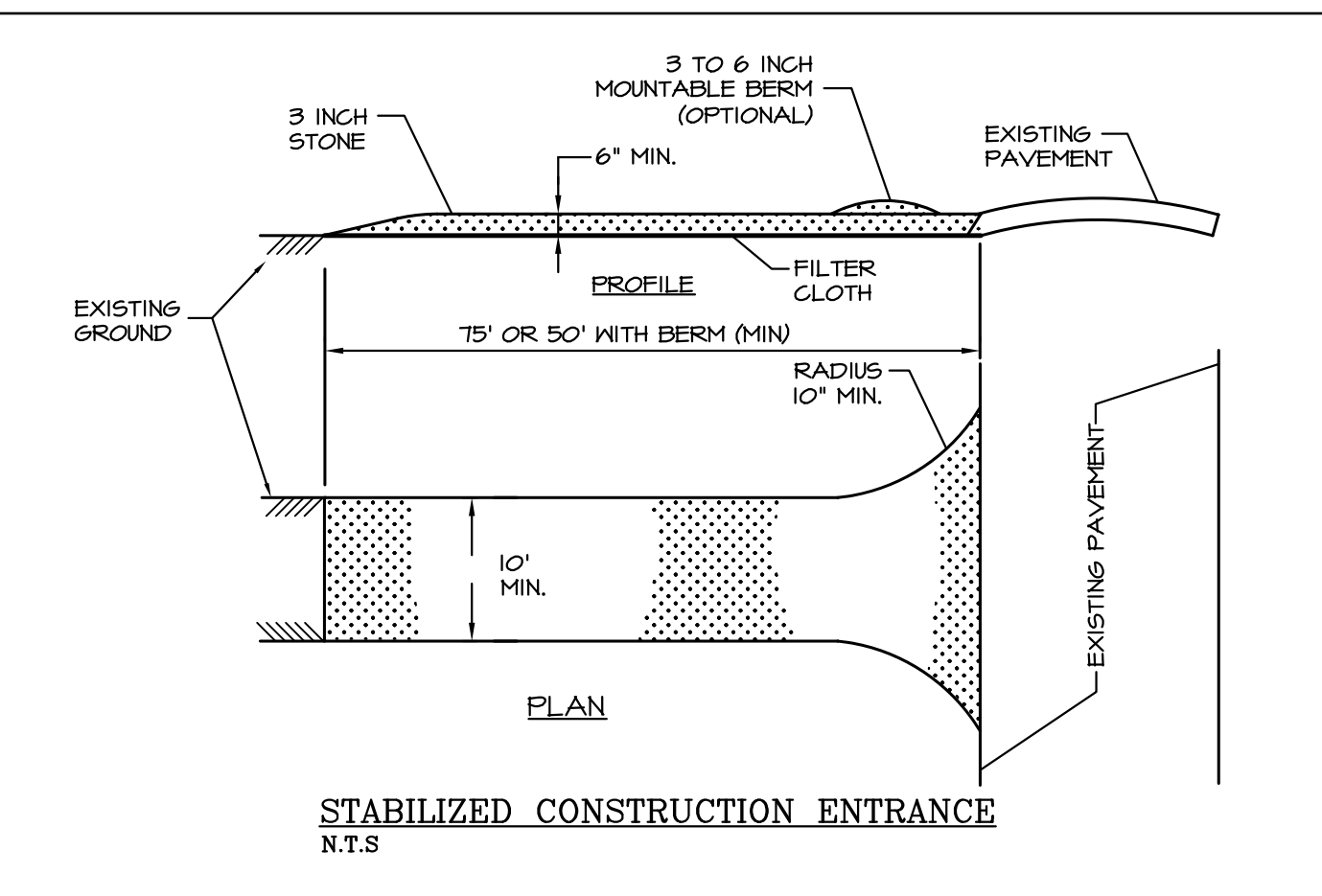
- FOR TEMPORARY & LONG TERM SEEDINGS (BY SEPTEMBER 15 OF THE SAME YEAR OF DISTURBANCE) USE AGWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL.
- COMPONENTS: ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE.
- FERTILIZER & LIME: NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE.
- MULCH: HAY OR STRAW 15-2 TONS/ACRE.
- GRADING AND SHAPING: SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOUING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEED BED PREPARATION - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS. - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

STABILIZATION CONSTRUCTION ENTRANCE SPECIFICATIONS:

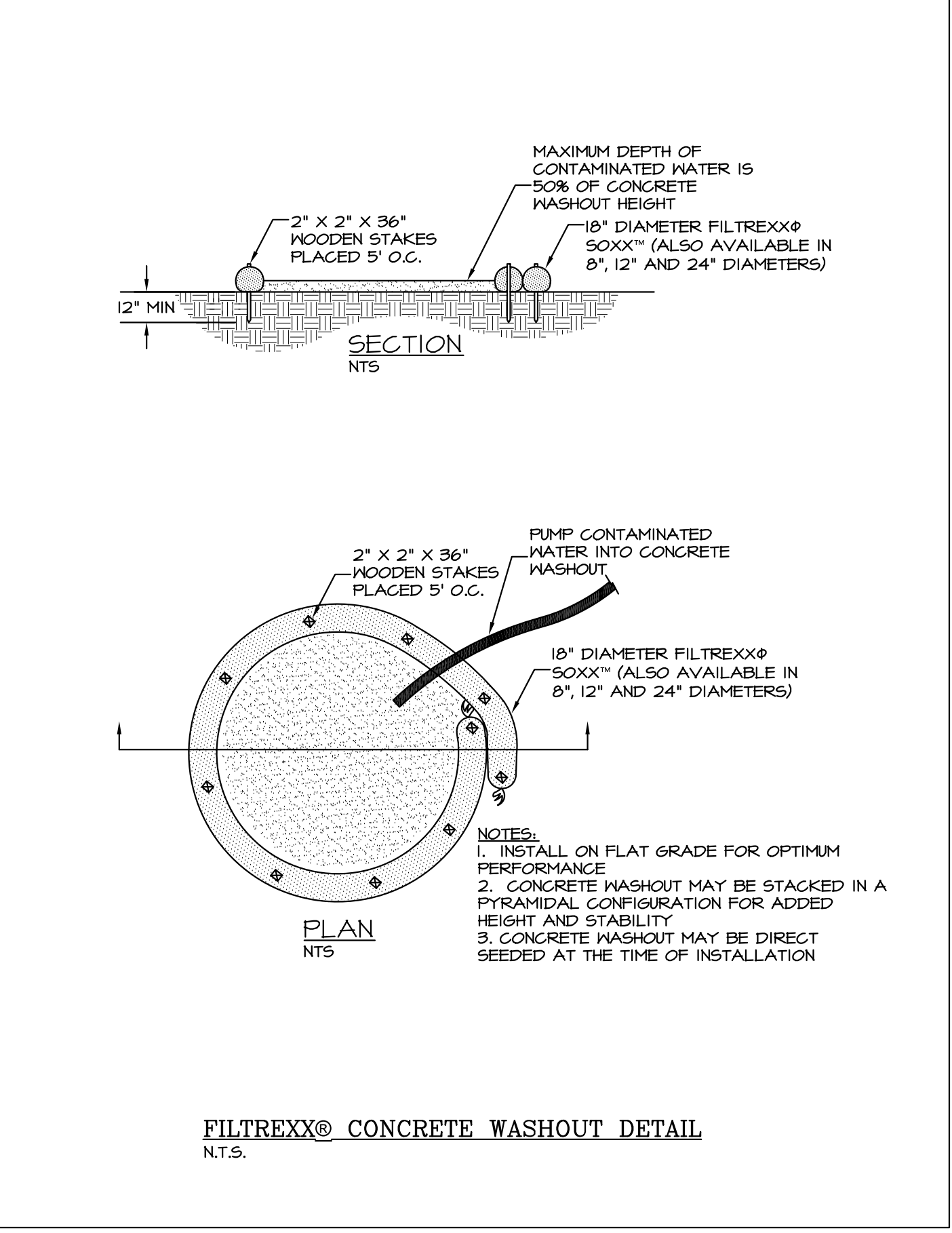
- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE (MINIMUM), RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 15 FEET (OR 50 FEET WITH A 3 TO 6 INCH MOUNTABLE BERM).
- THE THICKNESS OF THE STONE FOR THE STABILIZATION ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET WHICH EVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

FILTREXX LAND IMPROVEMENT SYSTEMS INSPECTION & MAINTENANCE:

- CONSULT FILTREXX SWPP CUT SHEETS FOR ALL FILTREXX PRODUCTS PRIOR TO INSTALLATION AND FOR MAINTENANCE GUIDELINES. [HTTP://WWW.FILTREXX.COM/DESIGN_CUT_SHEETS.HTM](http://www.filtrex.com/design_cut_sheets.htm)
- ROUTINE INSPECTION SHOULD BE CONDUCTED WITHIN 24 HRS OF A RUNOFF EVENT OR AS DESIGNATED BY THE REGULATING AUTHORITY. UNITS SHOULD BE REGULARLY INSPECTED TO MAKE SURE THEY MAINTAIN THEIR SHAPE AND ARE PRODUCING ADEQUATE HYDRAULIC FLOW-THROUGH, DITCH/CHANNEL EROSION CONTROL, AND SEDIMENT REMOVAL.
- IF PONDING BECOMES EXCESSIVE, ADDITIONAL CHECK DAMS, LEVEL SPREADERS, OR SEDIMENT CONTROL UNITS FOR SEDIMENT REMOVAL MAY BE REQUIRED.
- SEDIMENT ACCUMULATION SHOULD BE REMOVED ONCE IT REACHES THE HEIGHT OF THE CHECK DAM OR UNIT. ALTERNATIVELY, ANOTHER UNIT MAY BE INSTALLED SLIGHTLY UPSLOPE ON TOP OF THE EXISTING ONE. THIS PROCESS IS NOT CONSIDERED A SOIL DISTURBING ACTIVITY.
- STORM DEBRIS ACCUMULATION BEHIND CHECK DAMS, LEVEL SPREADER, SEDIMENT CONTROL UNITS, ETC. SHOULD NEVER BE HIGHER THAN THE SIDES OF THE CHECK DAM/UNIT. STORM RUNOFF OVERFLOW SHALL MAINTAIN THE UNITS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
- IF A UNIT HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR REPLACED IF BEYOND REPAIR.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF UNITS WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SOXX, OR AS DIRECTED BY THE ENGINEER.
- AS AN ALTERNATIVE, ANOTHER SOXX UNIT MAY BE INSTALLED ADJACENT AND PARALLEL TO THE UPSLOPE SIDE OF THE ORIGINAL TO INCREASE SEDIMENT STORAGE CAPACITY. SOXX SEDIMENT BACKUP IN CENTER OF THE DITCH/CHANNEL SHALL REMAIN LOWER THAN THE SIDES.
- IF SOXX UNIT BECOMES CLOGGED WITH DEBRIS AND SEDIMENT, IMMEDIATE REMOVAL OF DEBRIS AND SEDIMENT SHOULD BE CONDUCTED TO ASSURE PROPER DRAINAGE AND WATER FLOW THROUGH THE DITCH OR CHANNEL. STORM RUNOFF OVERFLOW OF THE SOXX UNIT IS ACCEPTABLE.
- SOXX UNITS SHALL BE MAINTAINED UNTIL DISTURBED AREA AROUND THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
- THE FILTERMEDIUM MAY BE DISPENSED ON SITE ONCE DISTURBED AREA HAS PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY CEASED, OR DETERMINED BY THE ENGINEER.
- PERMANENT VEGETATED FILTER STRIPS WILL BE LEFT INTACT.



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM MARK ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROTECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- *HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
**IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.
- 16644 HIGHWAY 41 NORTH EVANSVILLE, INDIANA 47125
USA 1-800-712-2040 CANADA 1-800-448-2040
www.nagreen.com



SEAL

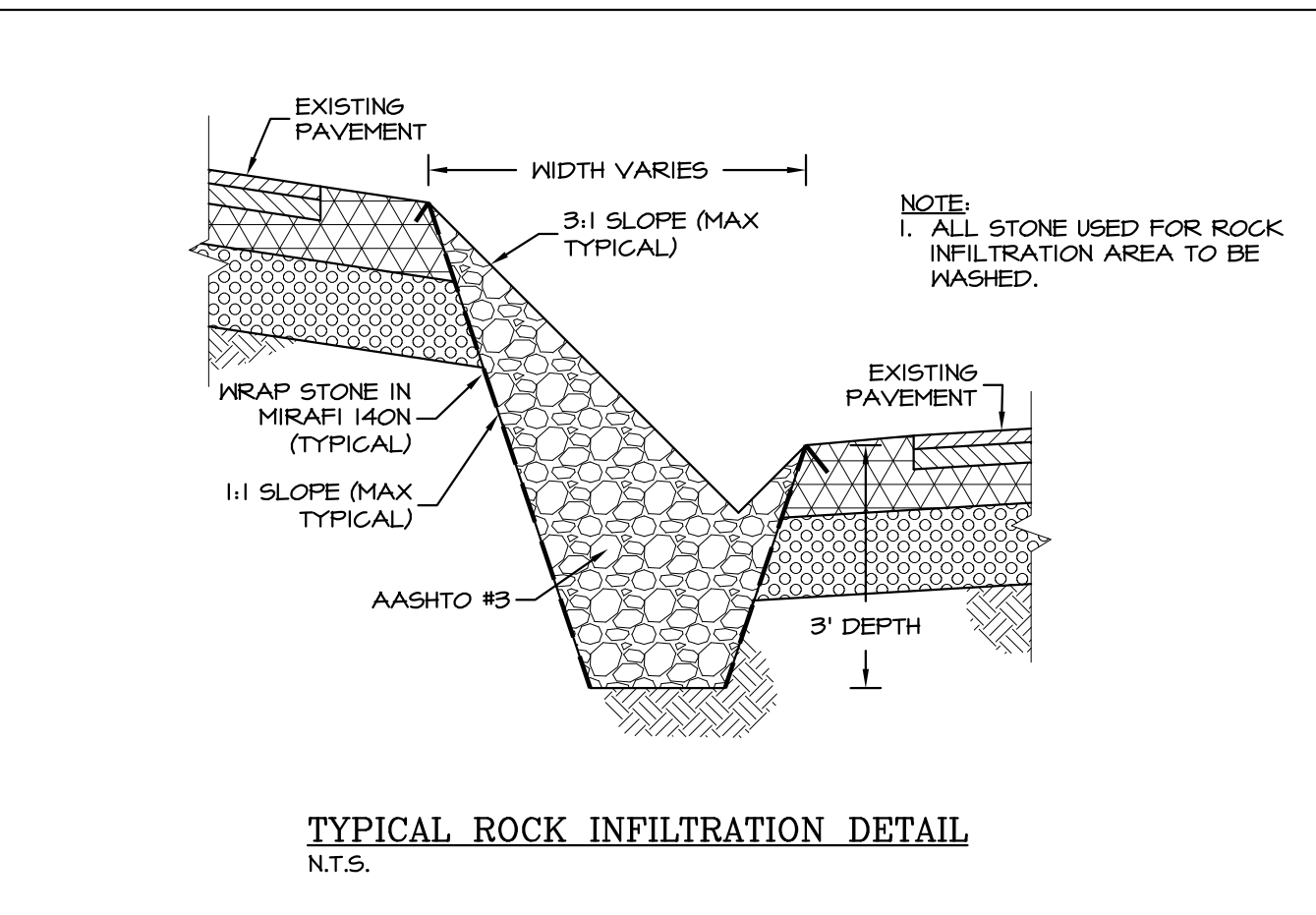
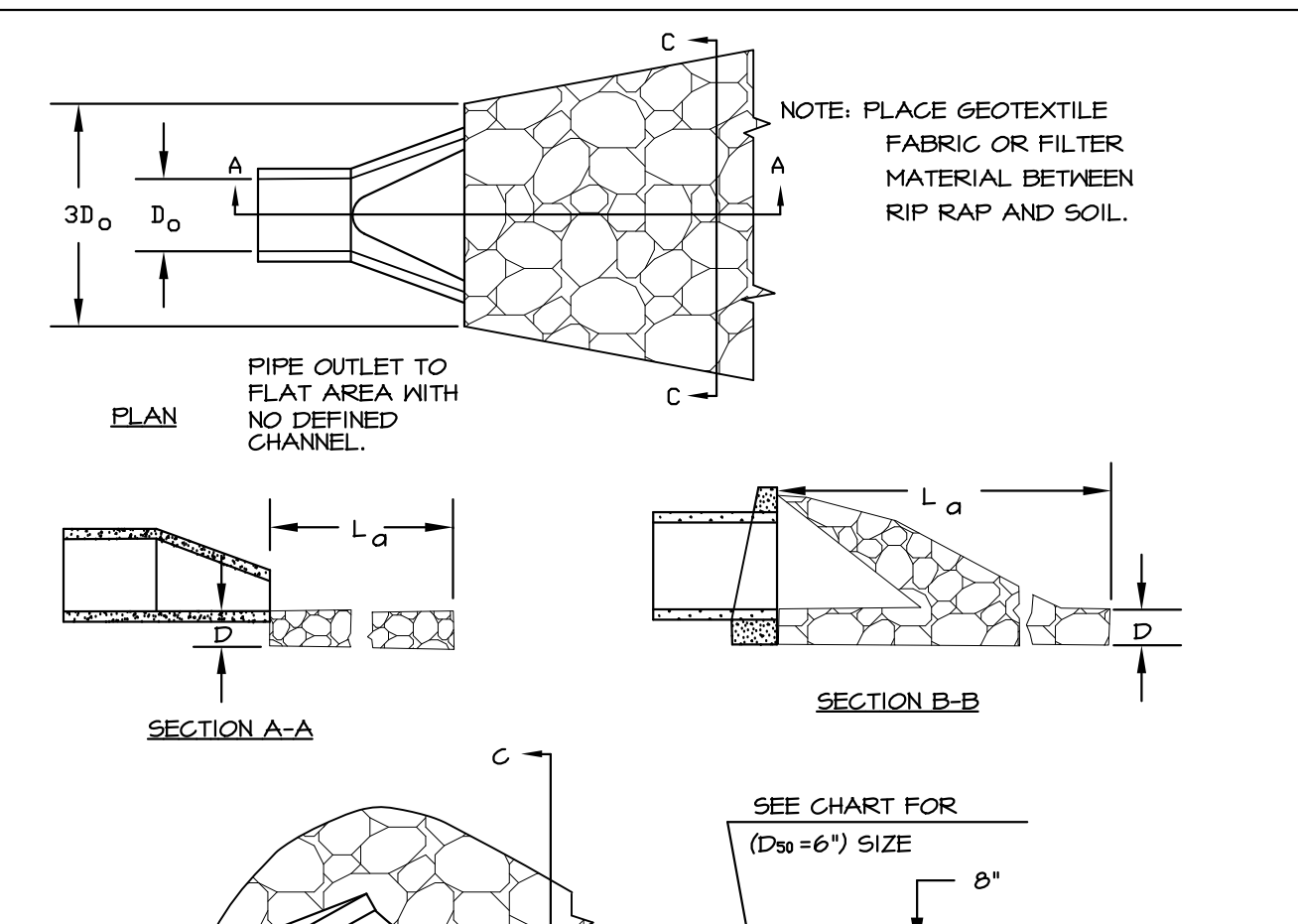
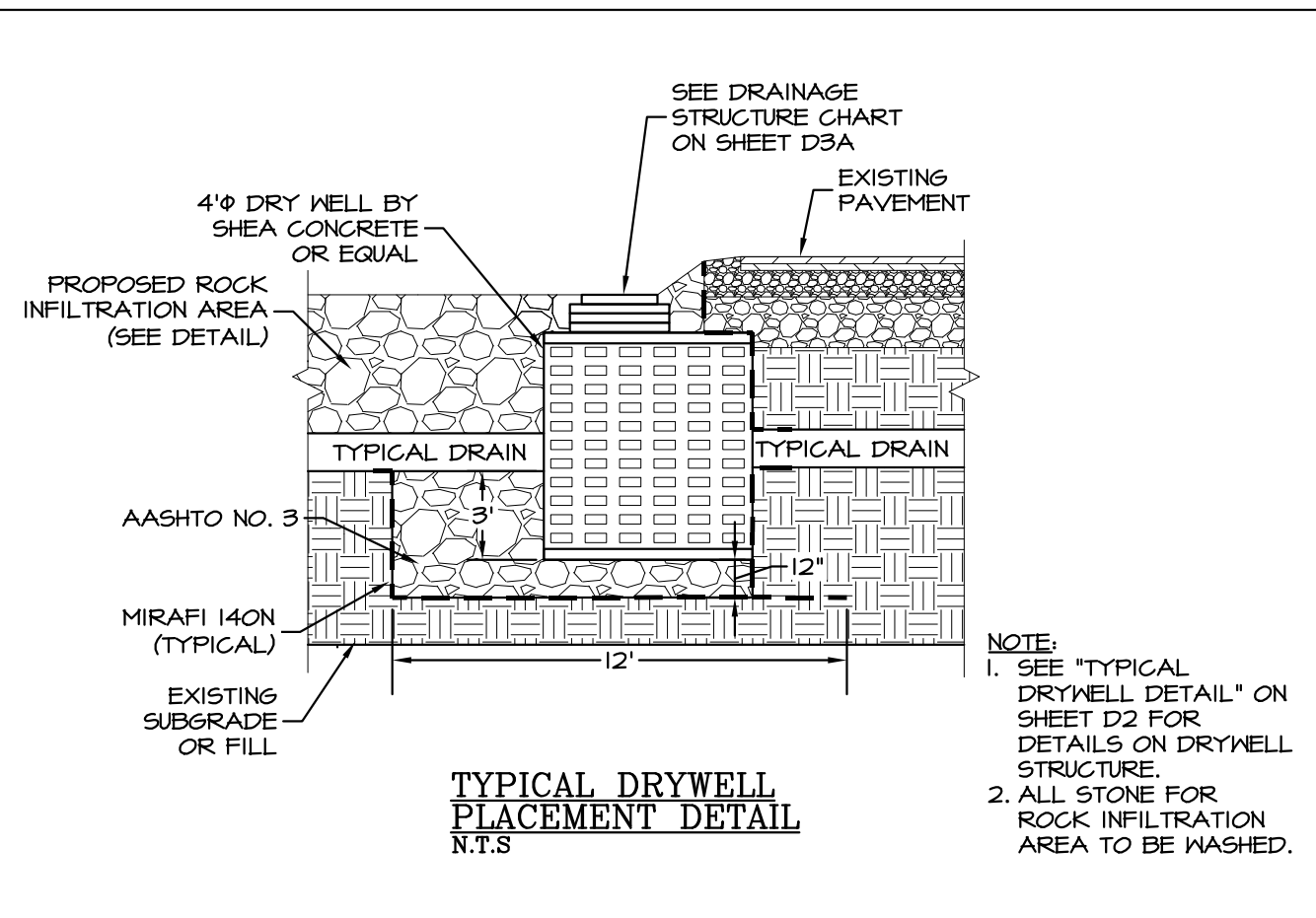
2	APR 20, 2023	FOR APPROVAL	
1	JAN 24, 2023	FOR APPROVAL	
ISS. DATE:	DESCRIPTION OF ISSUE:		CHK.
DRAWN: JJM	DESIGN: JJM		
CHECKED: BDS	CHECKED: BDS		

EMANUEL ENGINEERING
civil & structural consultants, land planners
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

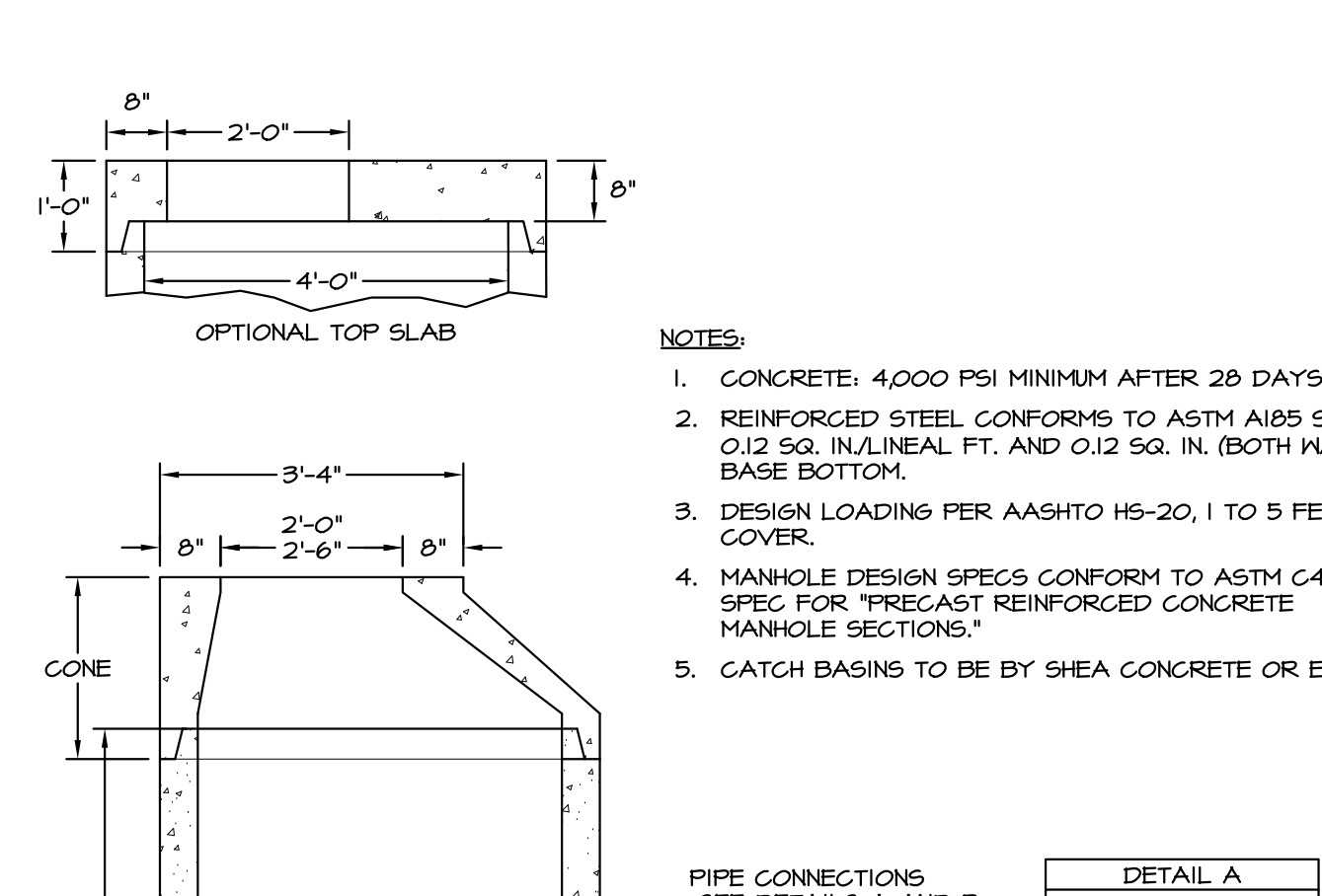
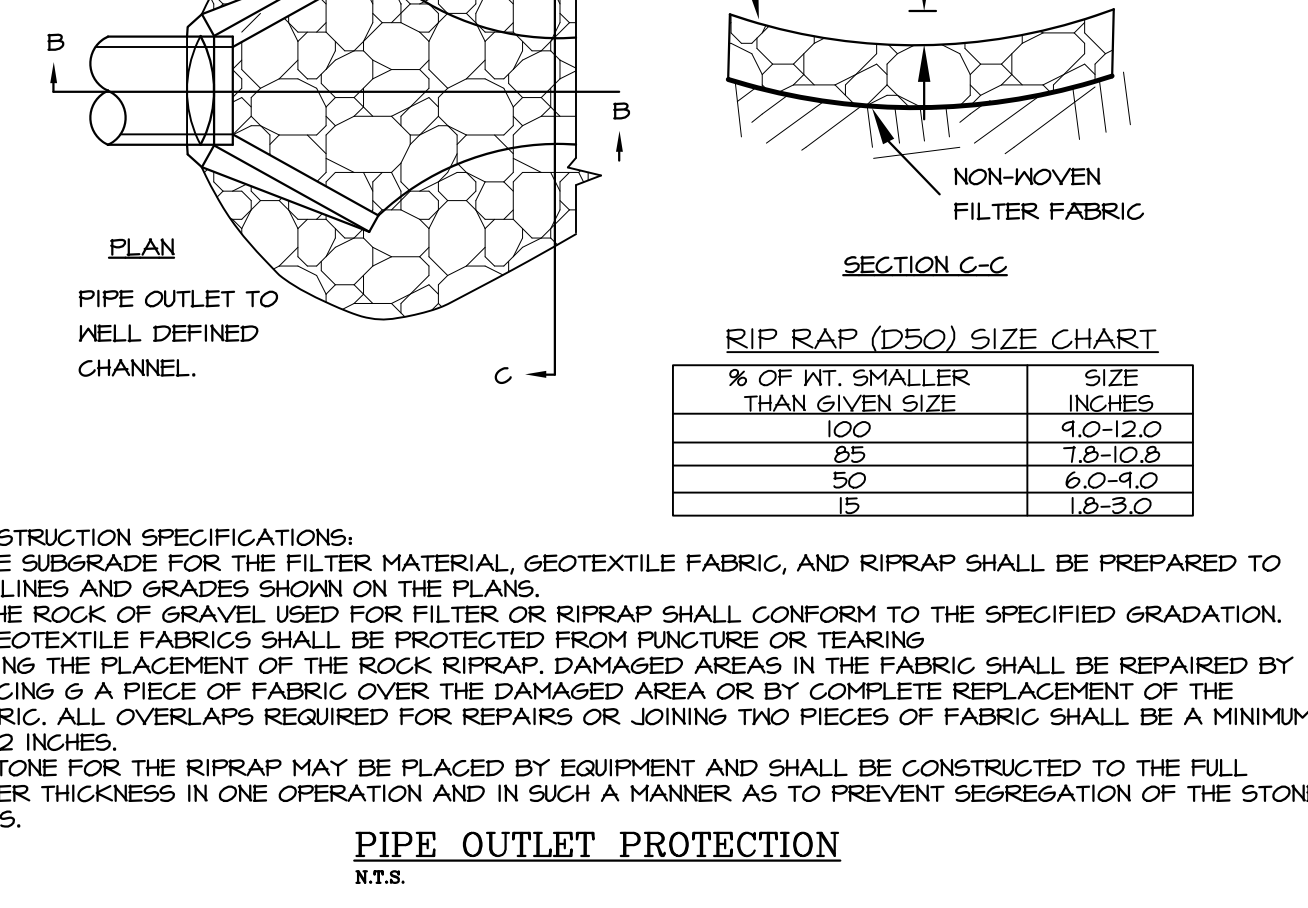
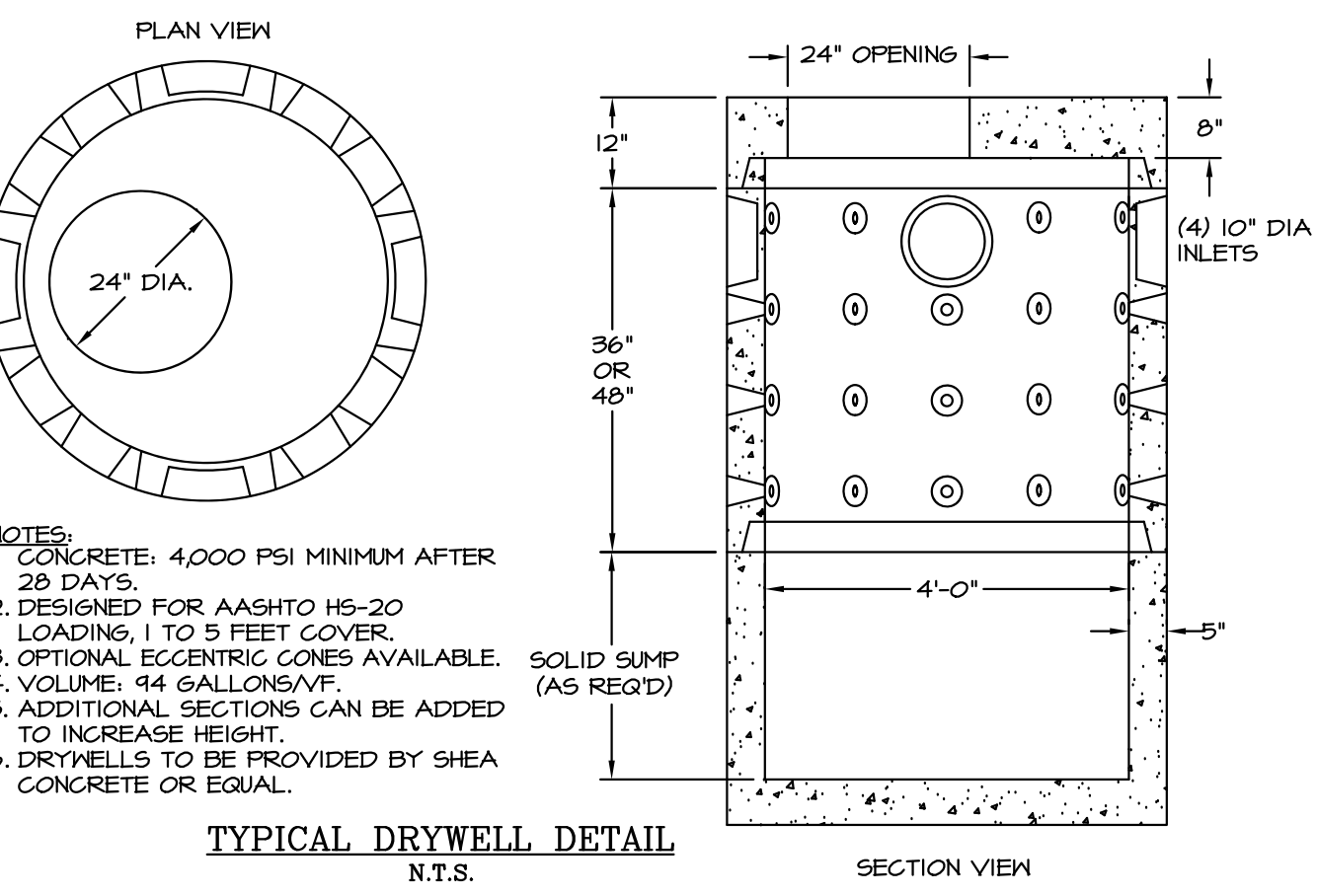
TITLE:
NOTES & EROSION CONTROL DETAILS FOR EXETER COUNTRY CLUB 58 JADY HILL AVENUE (SITE) EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	AS SHOWN	D1

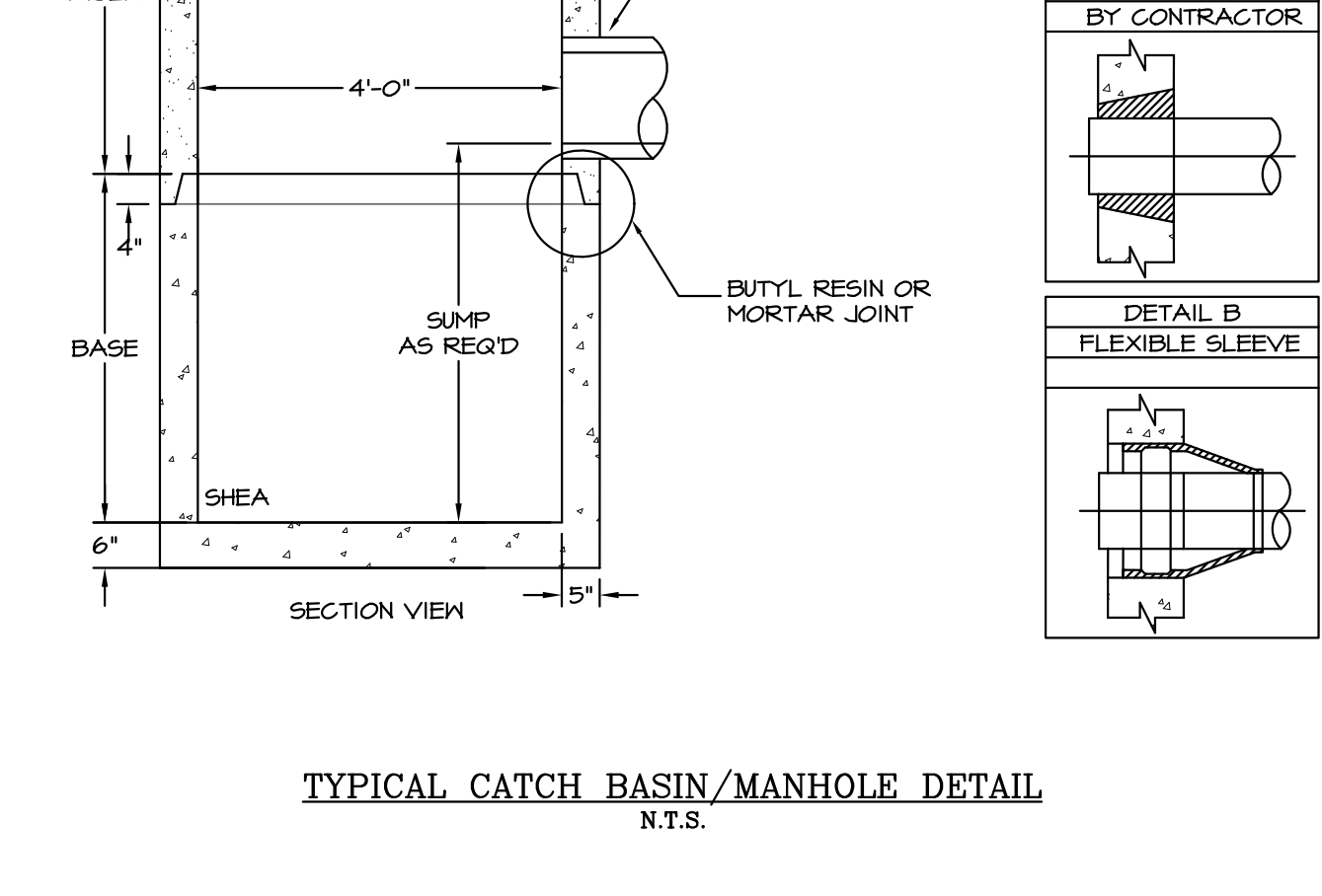
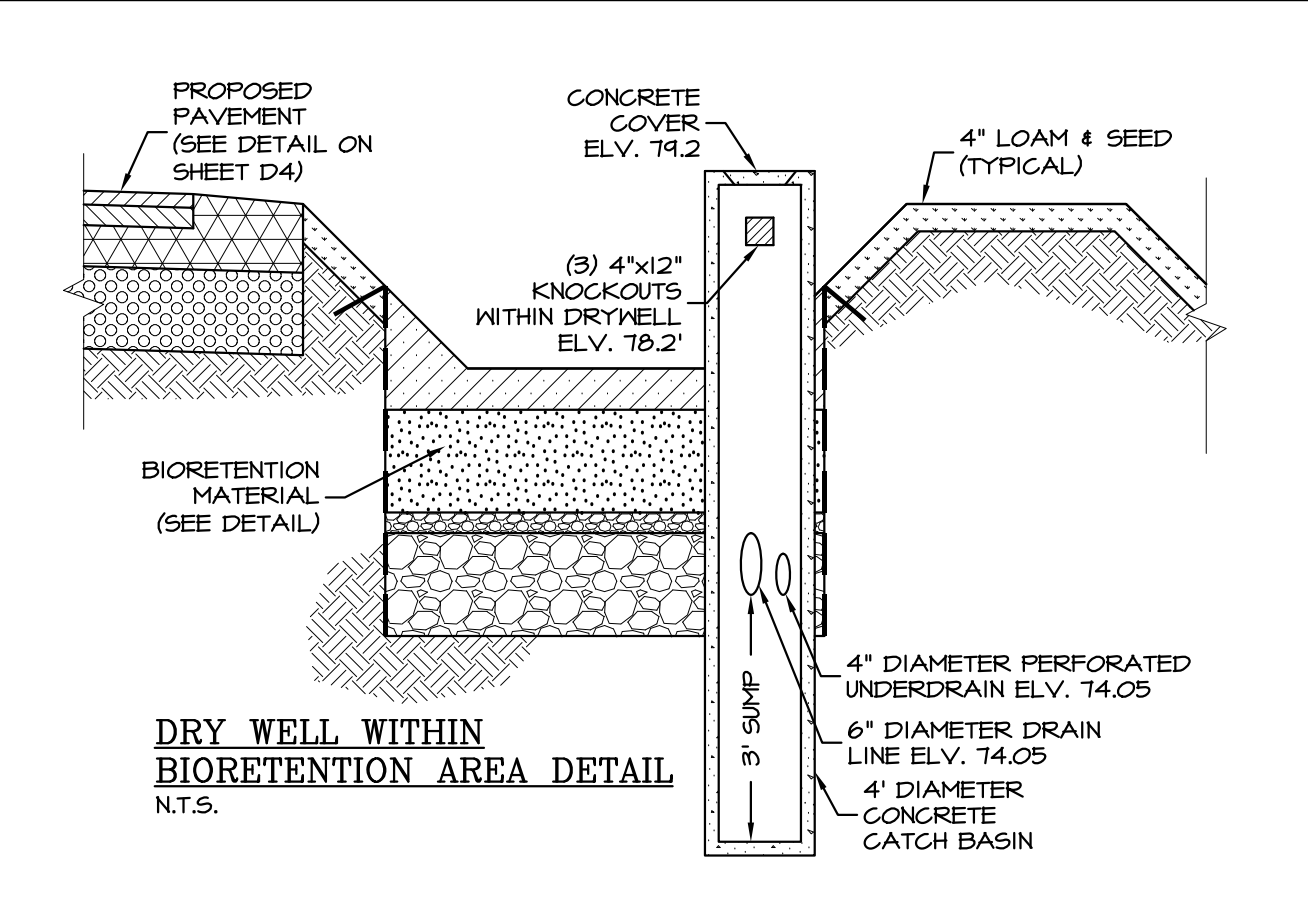
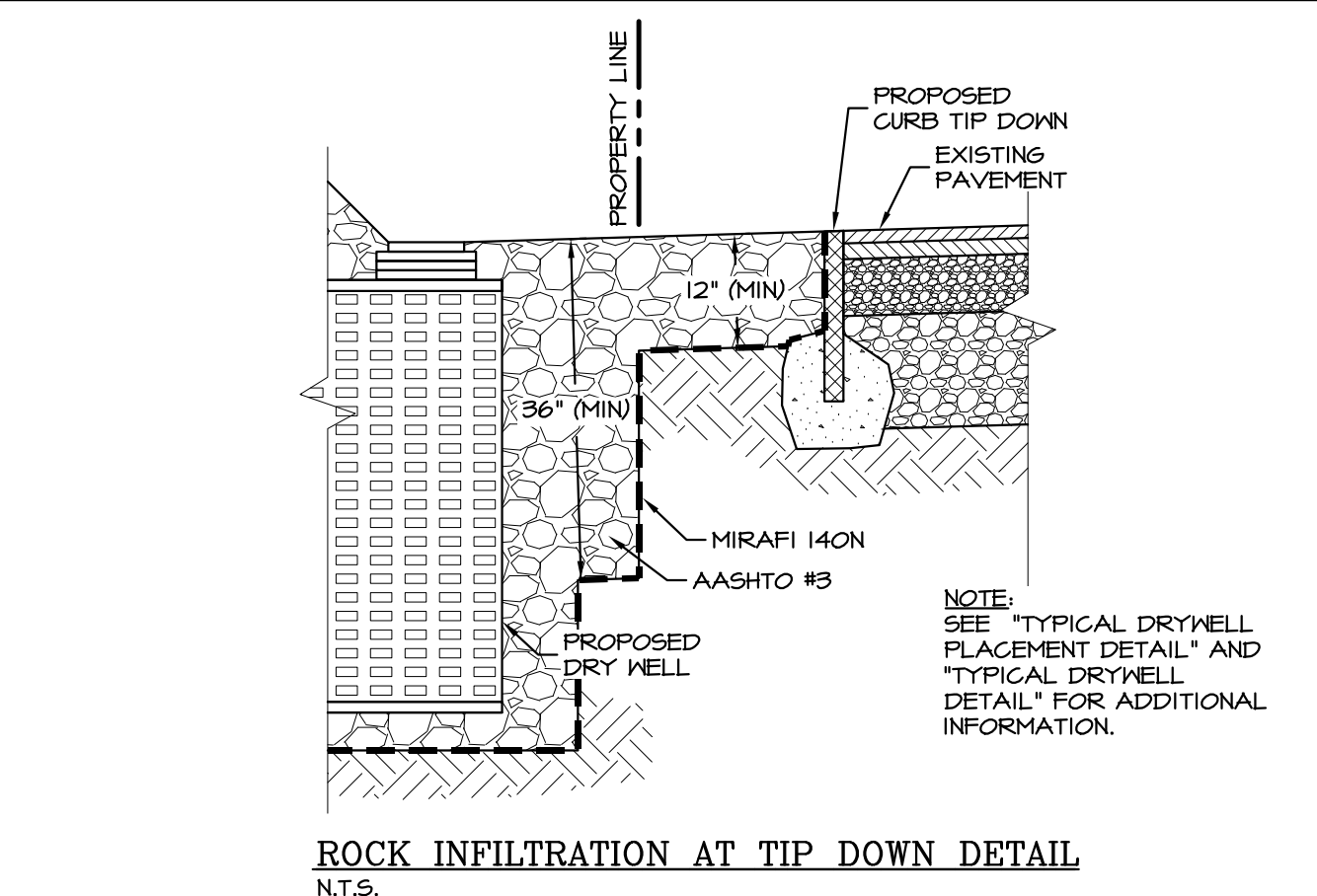


GRADATION FOR AASHTO #3

NOMINAL SIZE SQUARE OPENINGS	AMOUNTS FINER THAN EACH LABORATORY SIEVE (SQUARE OPENINGS), PERCENTAGE BY WEIGHT
100 MM	
4 IN.	
90 MM	
3 1/2 IN.	
75 MM	
3 IN.	
63 MM	100
2 1/2 IN.	
50 MM	90-100
2 IN.	
37.5 MM	35-10
1 1/2 IN.	
25 MM	0-15
1 IN.	
19 MM	
3/4 IN.	
12.5 MM	0-5
1/2 IN.	
4.75 MM	
3/8 IN.	
2.36 MM	
No. 20	
1.18 MM	
No. 16	
600 μm	
No. 30	
300 μm	
No. 50	
150 μm	
No. 100	
75 μm	
No. 200	



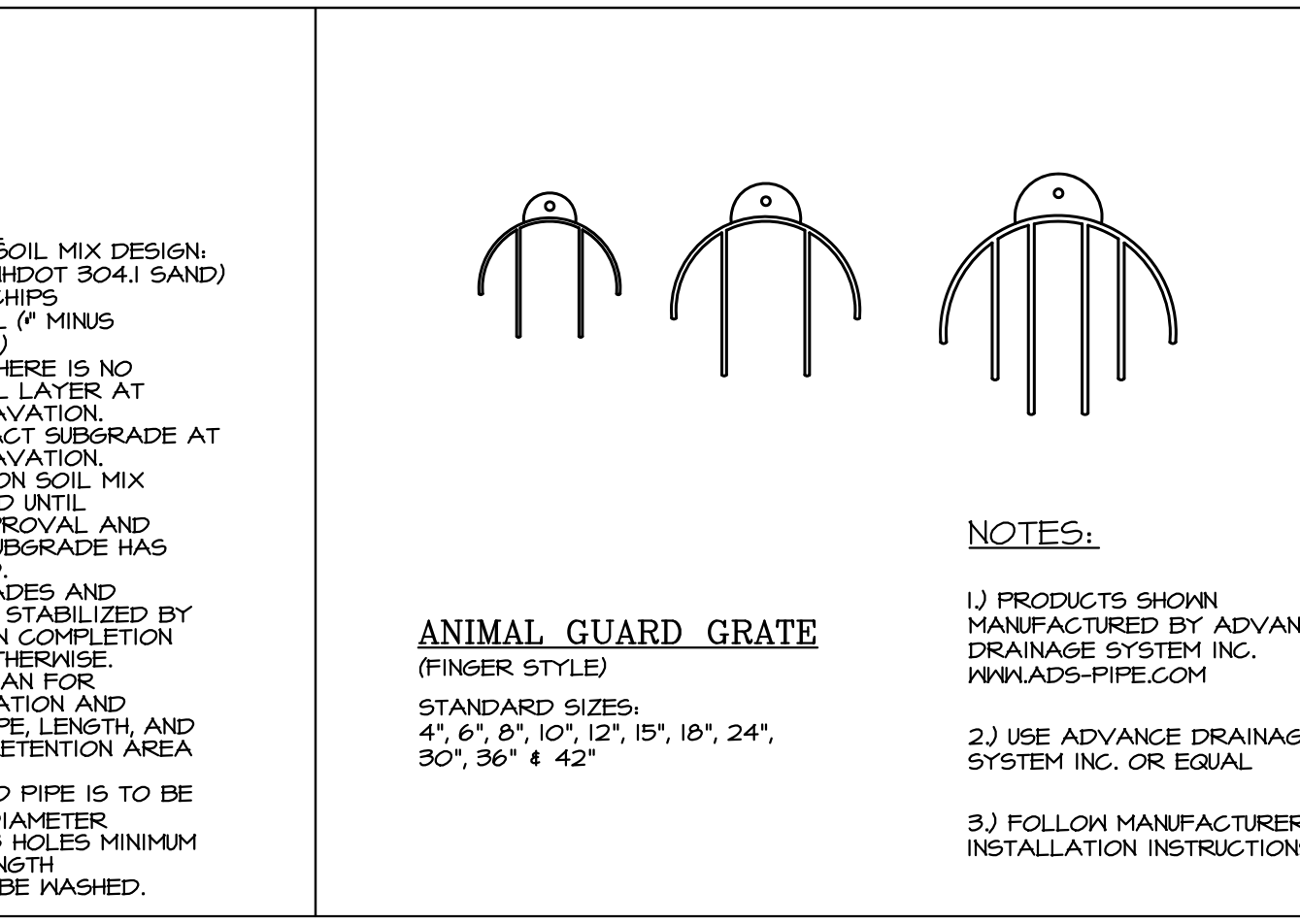
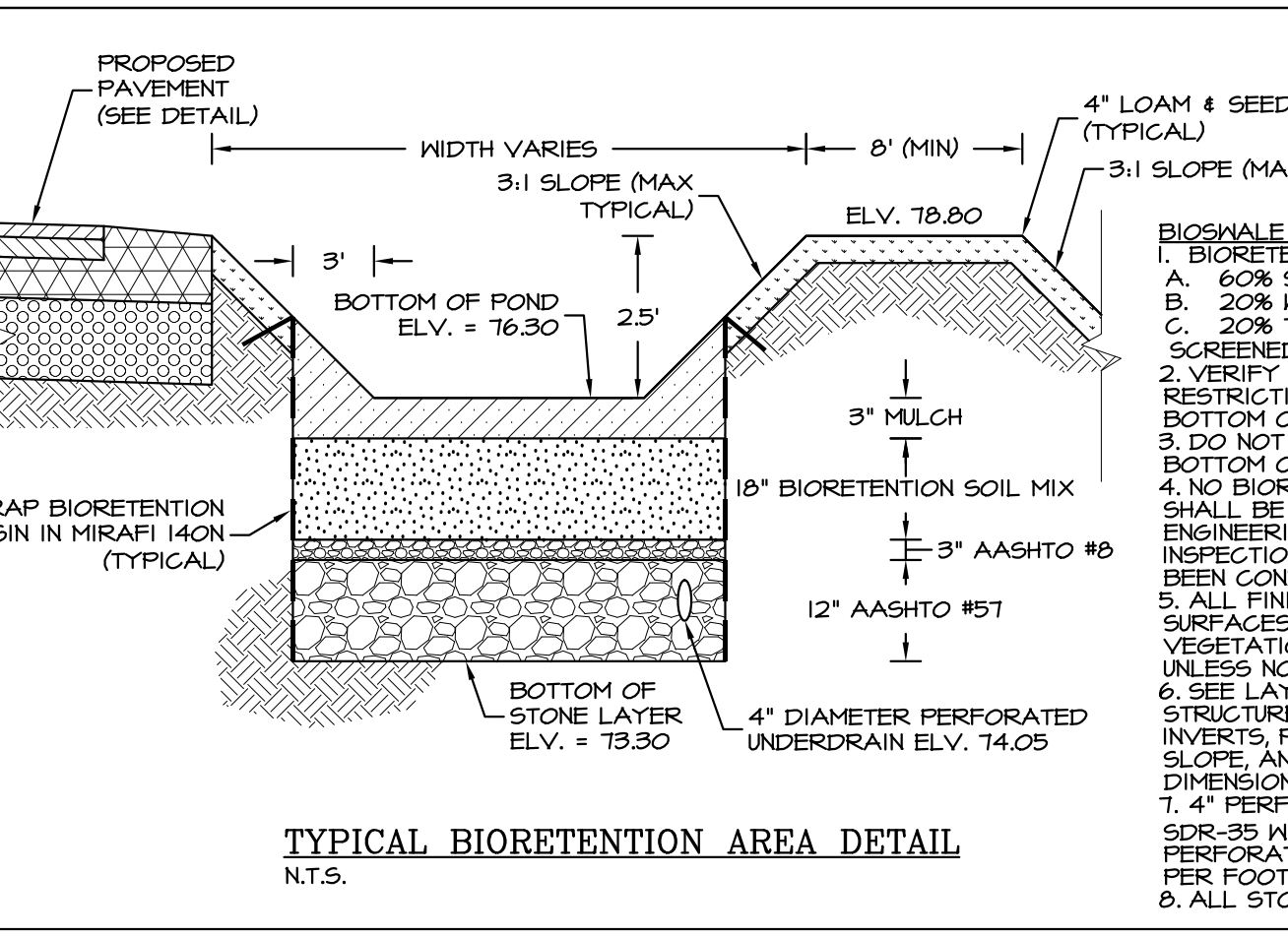
- NOTES:**
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - DESIGN LOADING PER AASHTO H5-20, 1 TO 5 FEET COVER.
 - MANHOLE DESIGN SPECS CONFORM TO ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - CATCH BASINS TO BE BY SHEA CONCRETE OR EQUAL.



FLARED END SECTIONS

SIZE	PRODUCT CODE
10" (250mm)	1015NP
12" (300mm) / 15" (375mm)	1215NP
18" (450mm)	1810NP
24" (600mm)	2410NP
30" (750mm)	3015NP
36" (900mm)	3615NP

FLARED END SECTION



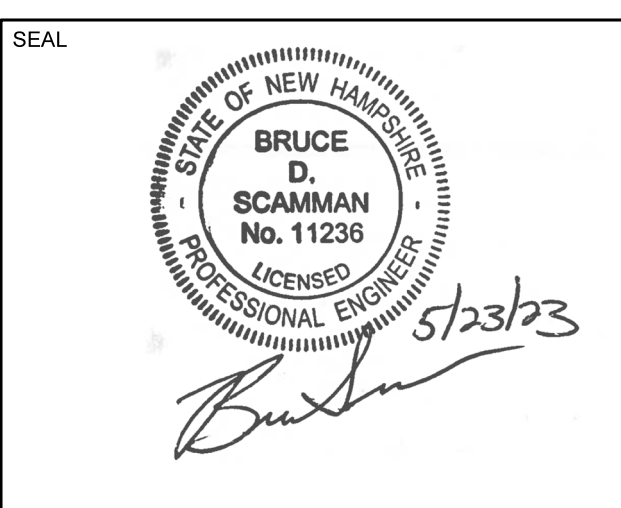
3	MAY 23, 2023	FOR APPROVAL	
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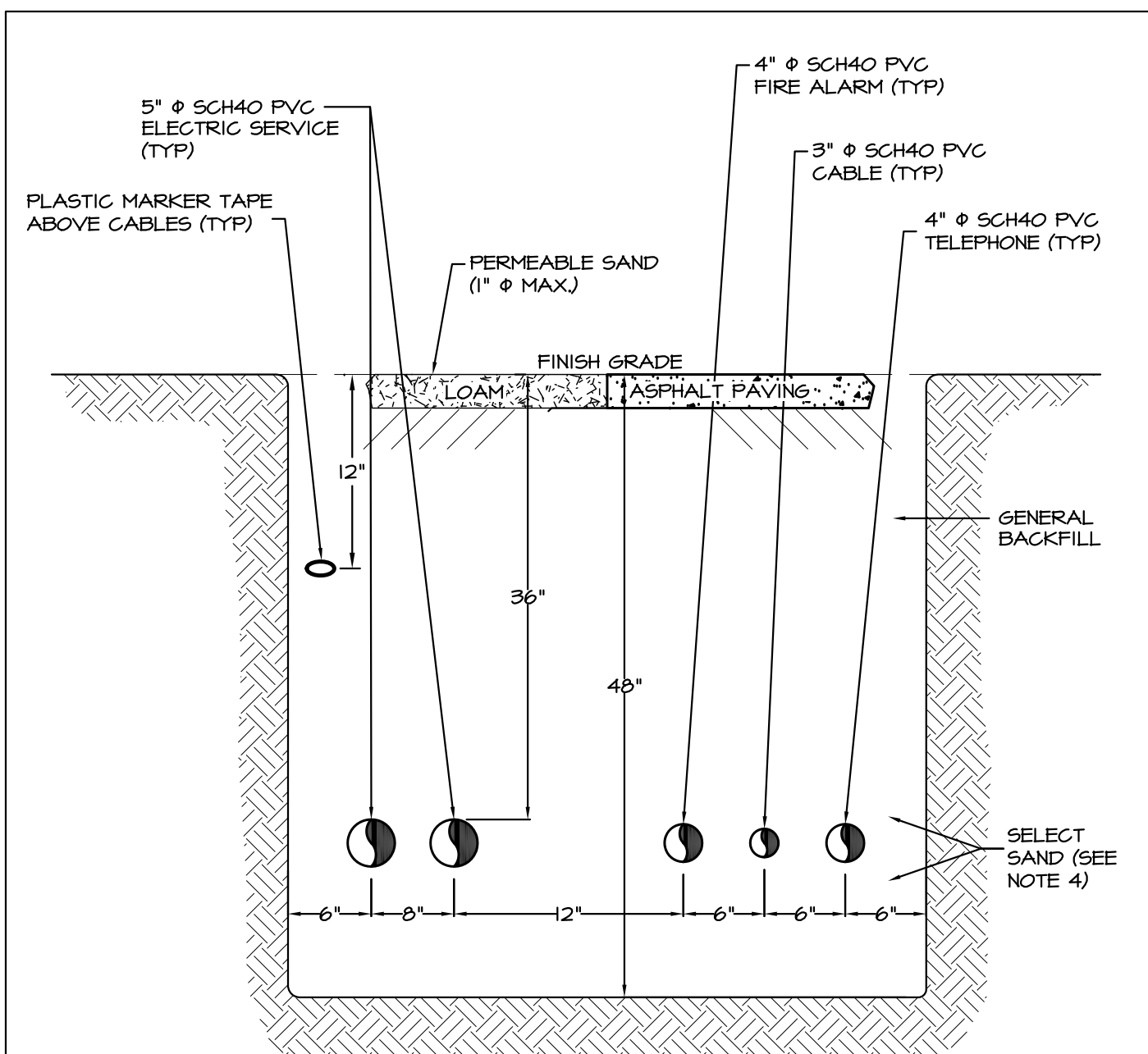
EMANUEL ENGINEERING
Civil & structural consultants, Land planners
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

CUSTOMER:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
DRAINAGE DETAILS
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT: 21-157 SCALE: AS SHOWN SHEET: D2



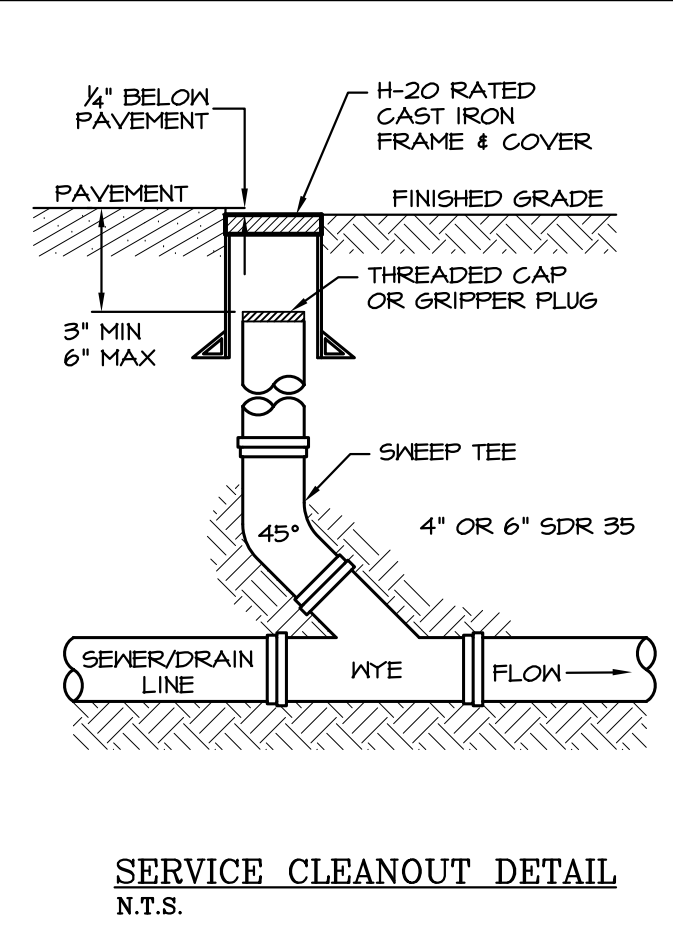
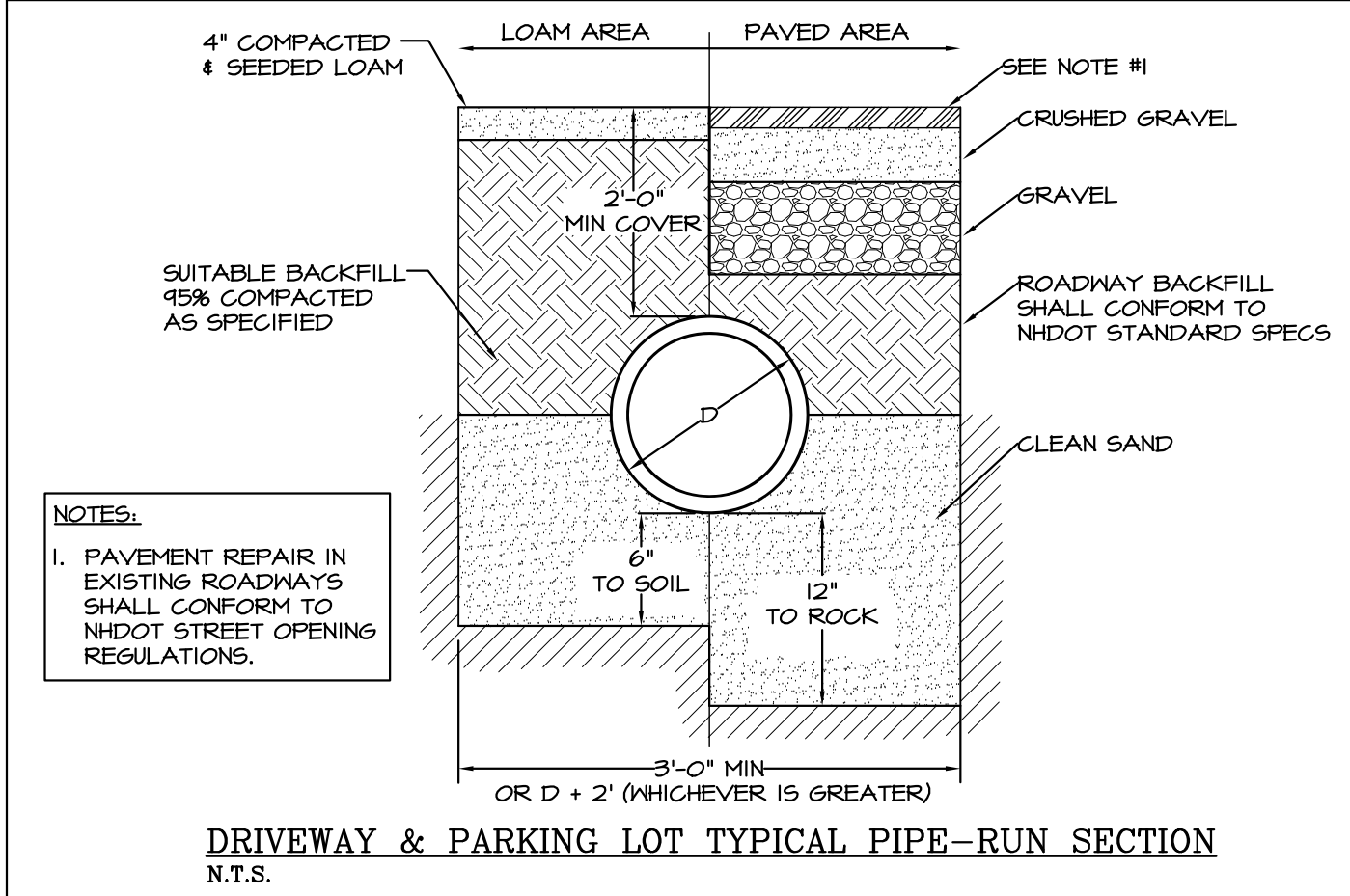
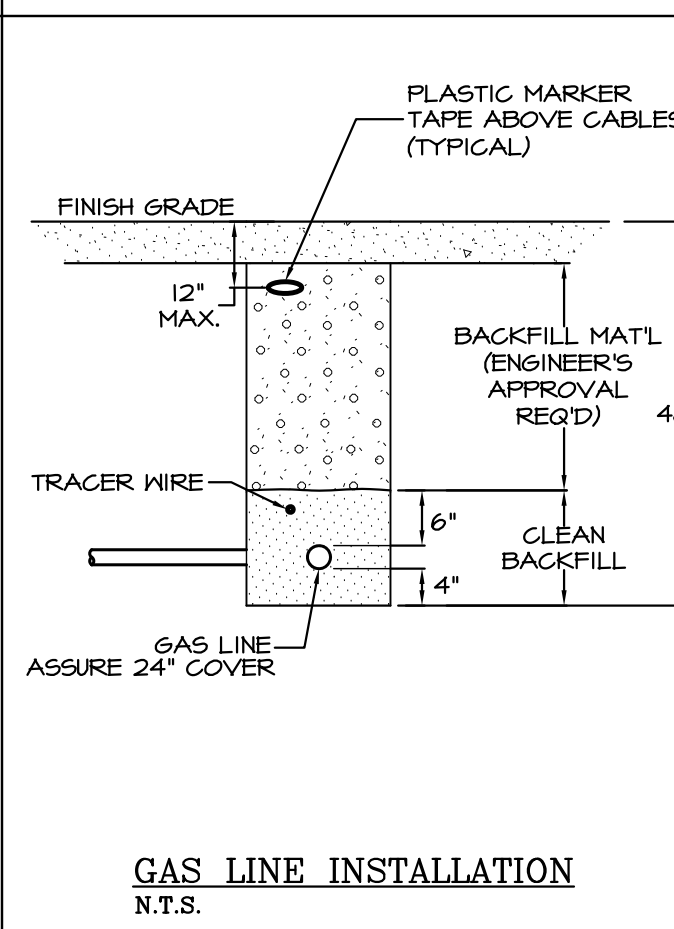
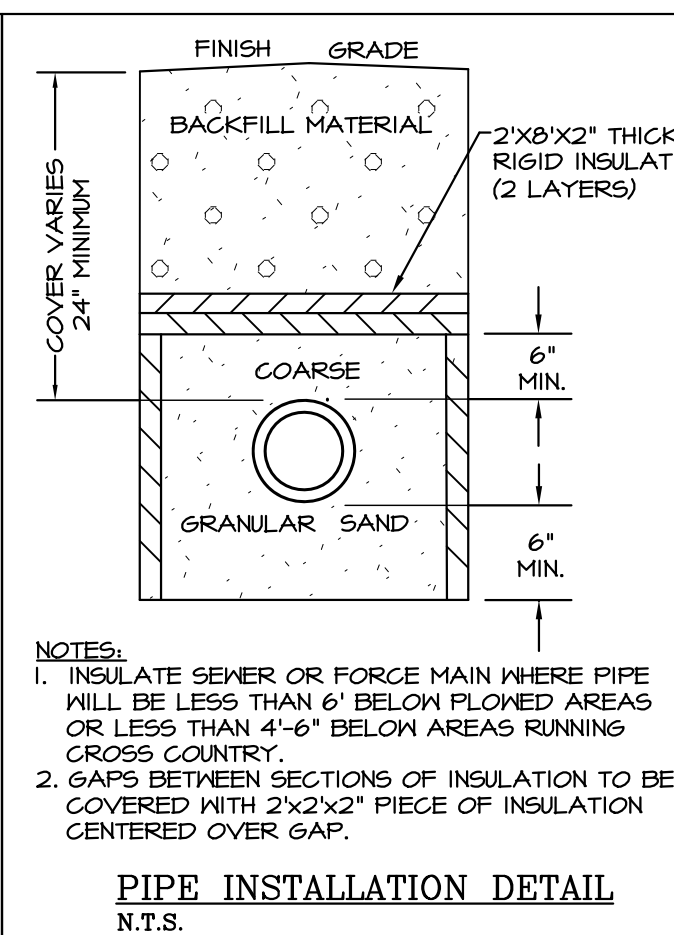
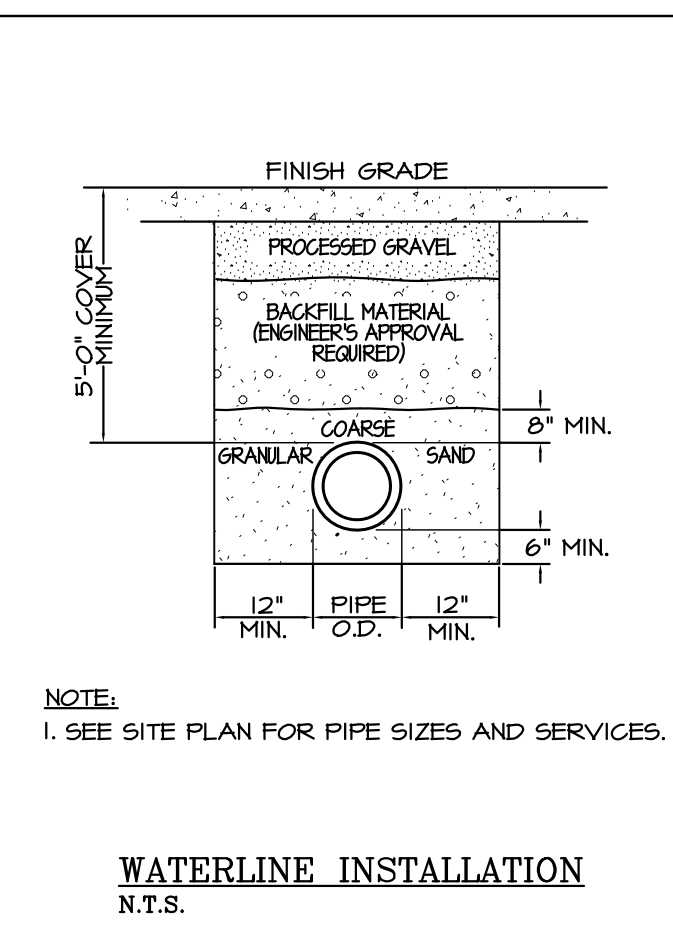
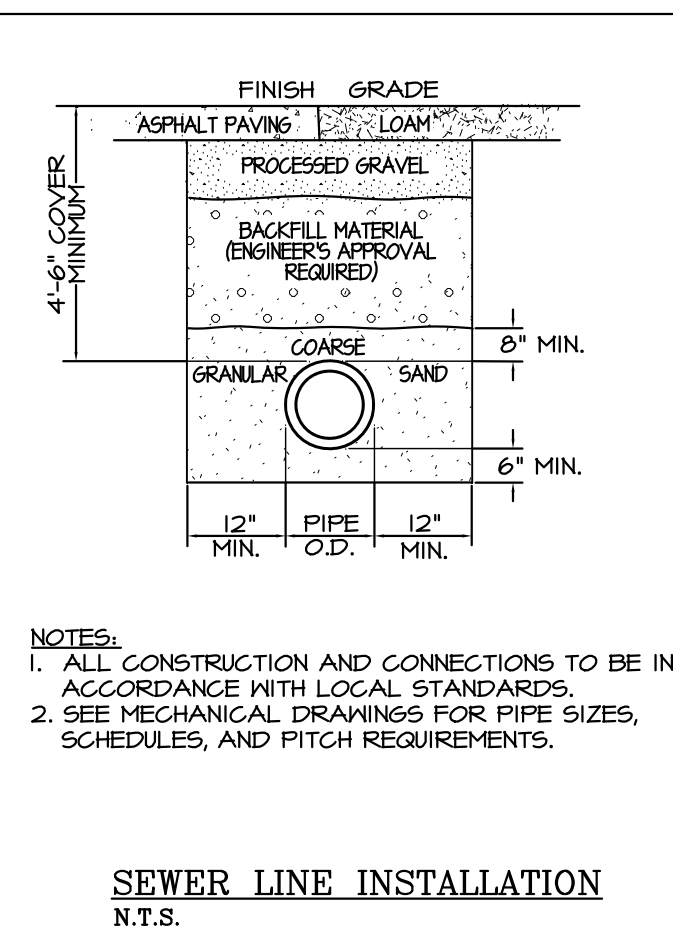


NOTES:

VERIFY NUMBER OF CONDUIT RUNS AND TYPES OF CONDUITS REQUIRED WITH ELECTRICAL AND MECHANICAL DESIGNERS BEFORE INSTALLATION

1. ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.
2. SERVICE BOX CONNECTIONS SHALL BE "FLUSH MOUNT" TO GREATEST EXTENT POSSIBLE AND LOCATED AT PROPERTY LINE CORNERS.
3. PIPE SIZES ARE MINIMUM SIZES TO BE INSTALLED.
4. BACKFILL SHALL BE SELECTED SAND, 100% SHALL PASS THROUGH 1/4" SCREEN, UP TO 1% MAY BE ROUNDED PEBBLES UP TO 3/8" IN SIZE.
5. TRENCH WIDTH IS TO BE 12" MINIMUM, DEPENDING ON NUMBER OF UTILITIES IN TRENCH, UNLESS CABLE IS FLOWED IN.
6. UTILITIES ARE TO BE LOCATED IN ROAD SHOULDERS AND ROWS AS DETERMINED BY PLANS. ALL WORK TO BE COORDINATED WITH UTILITY COMPANIES.
7. THERE MAY BE MORE OR LESS SERVICES TO BE INSTALLED IN TRENCH VERIFY WITH UTILITIES PLAN.
8. VERIFY & REFER TO PROJECT ELECTRICAL DRAWINGS AND DETAILS FOR SPECIFICS.

TYPICAL UTILITY TRENCH DETAIL
N.T.S.



3	MAY 23, 2023	FOR APPROVAL	
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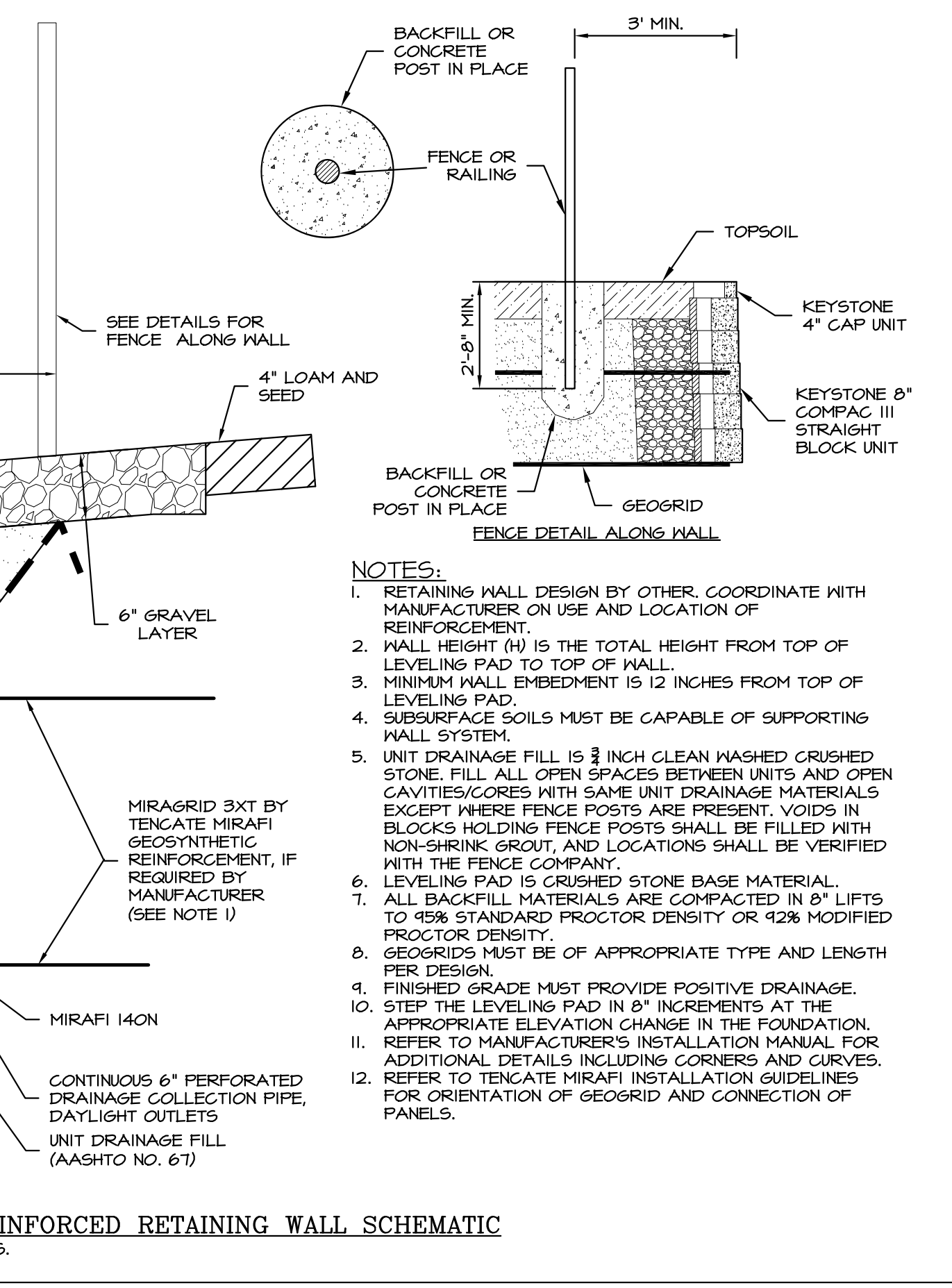
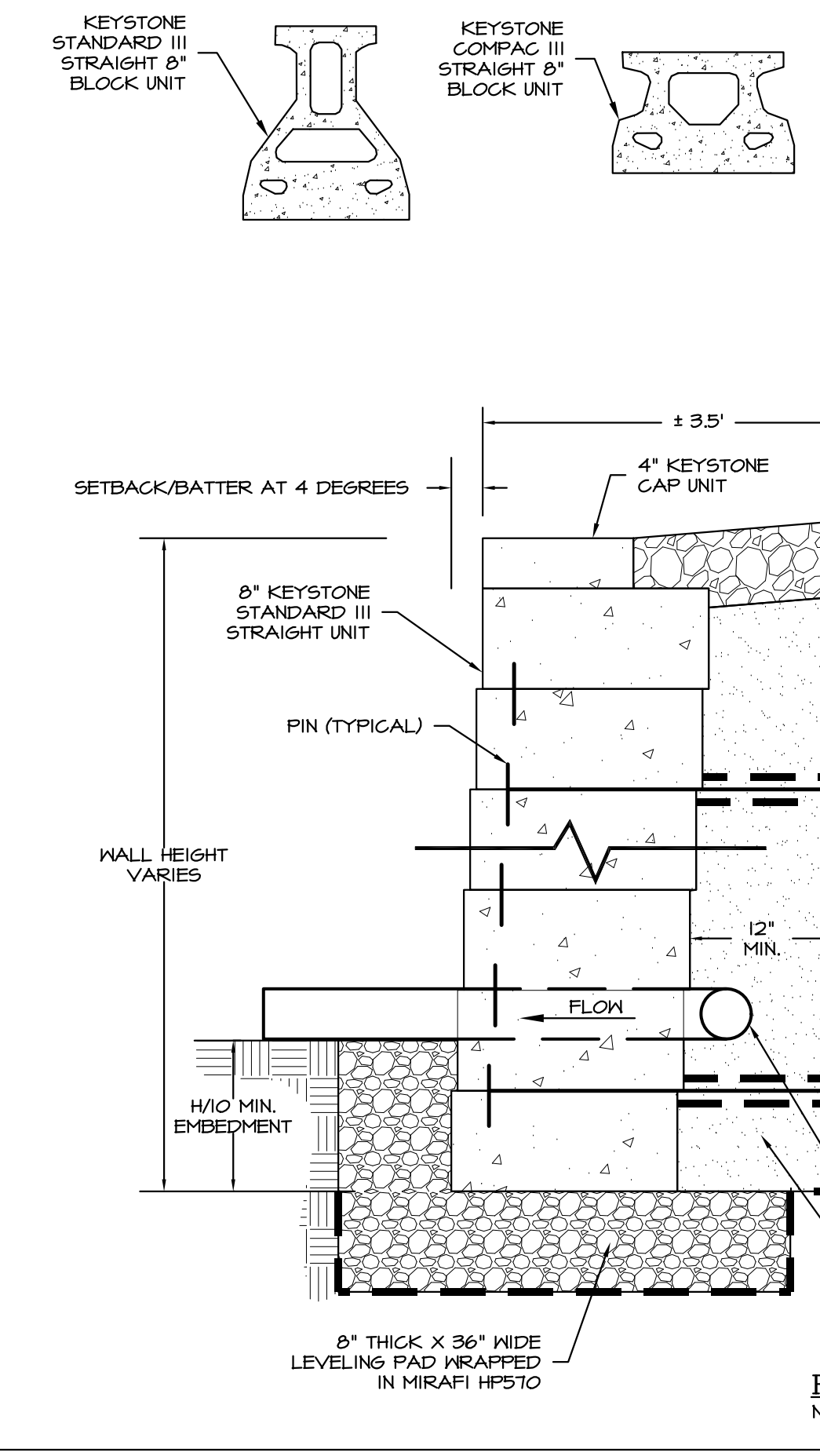
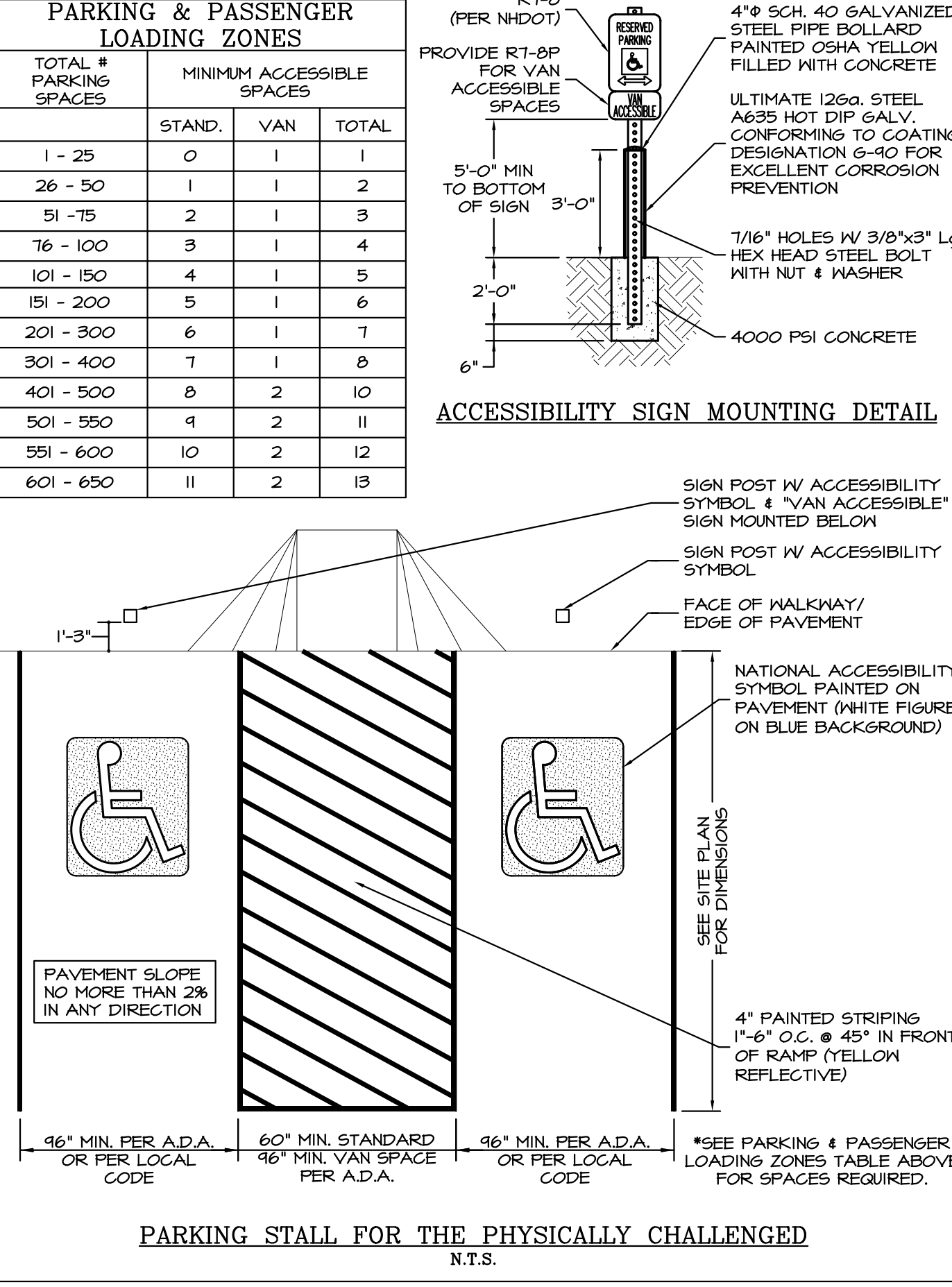
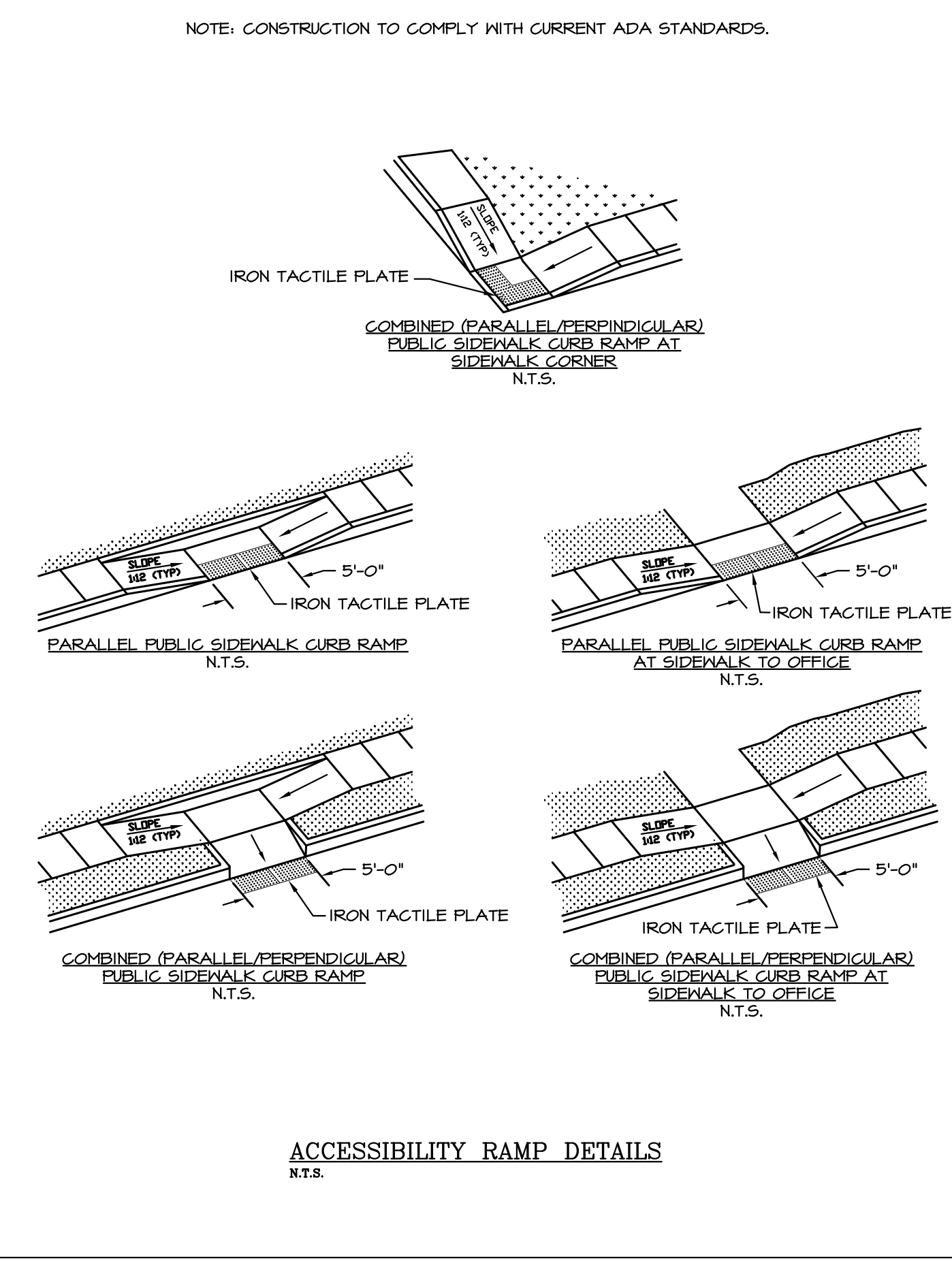
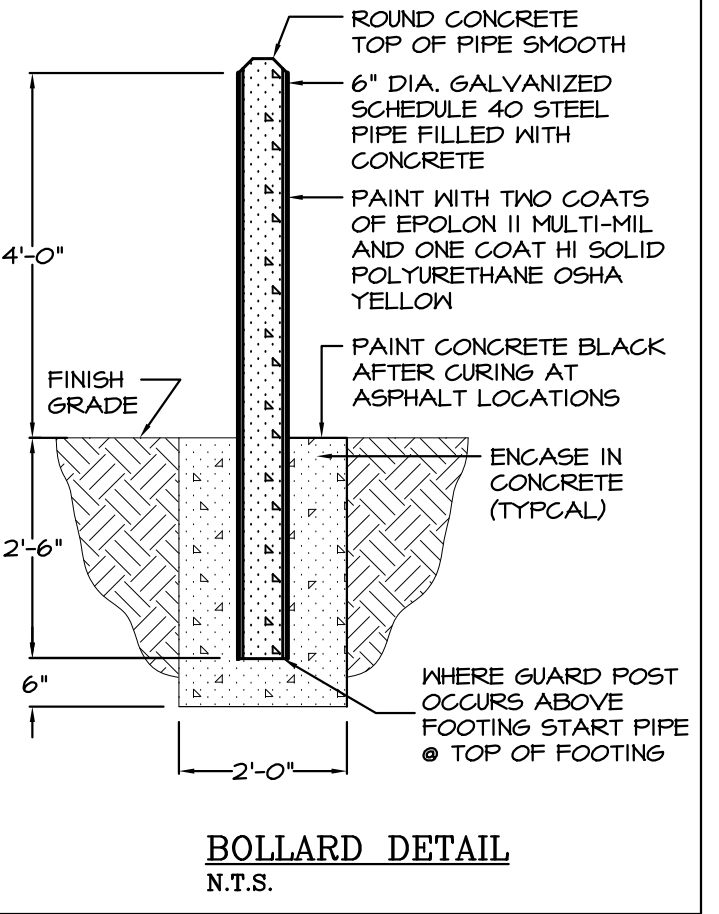
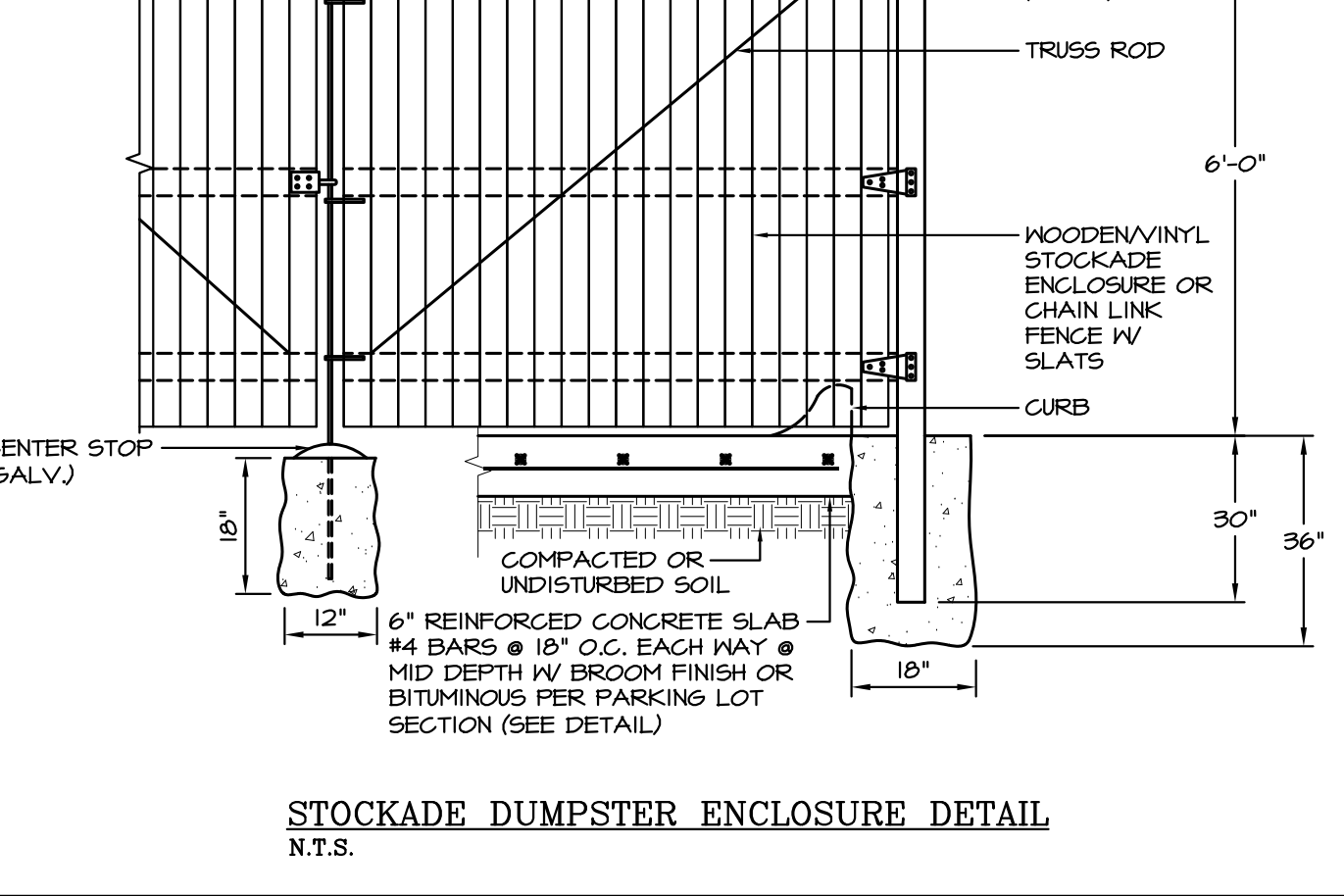
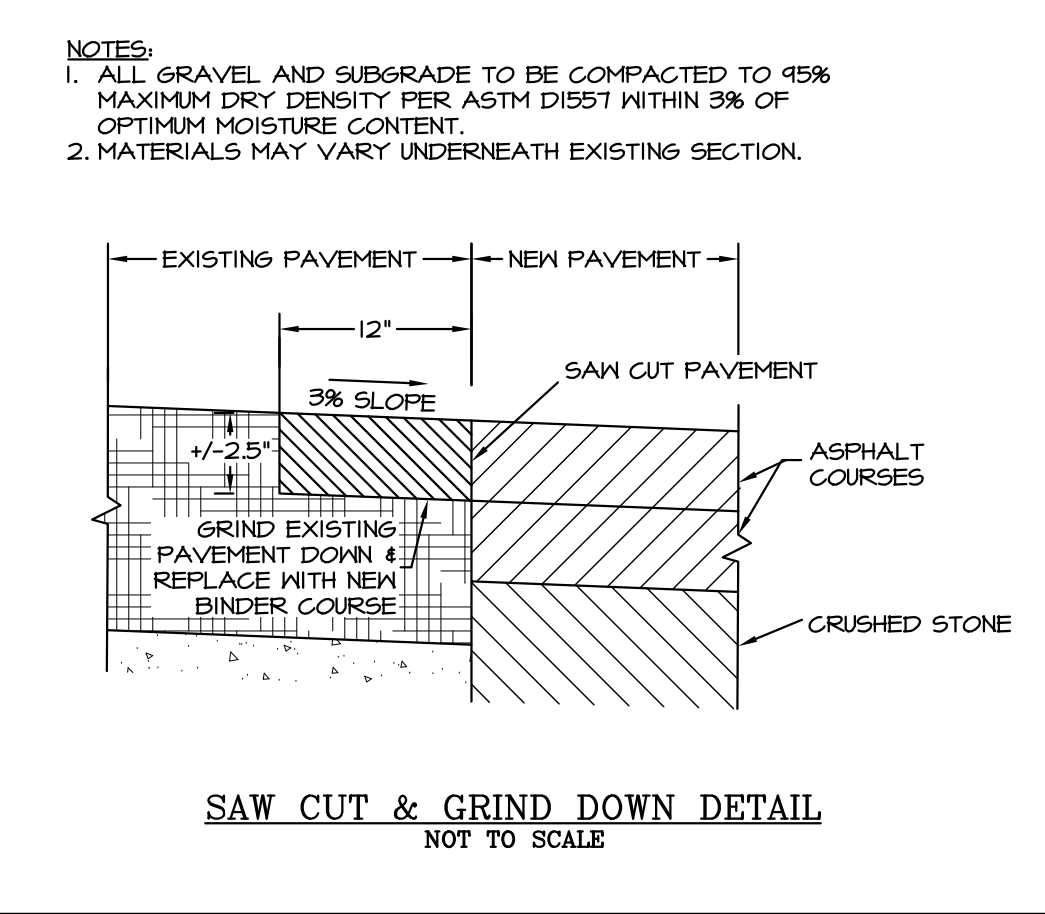
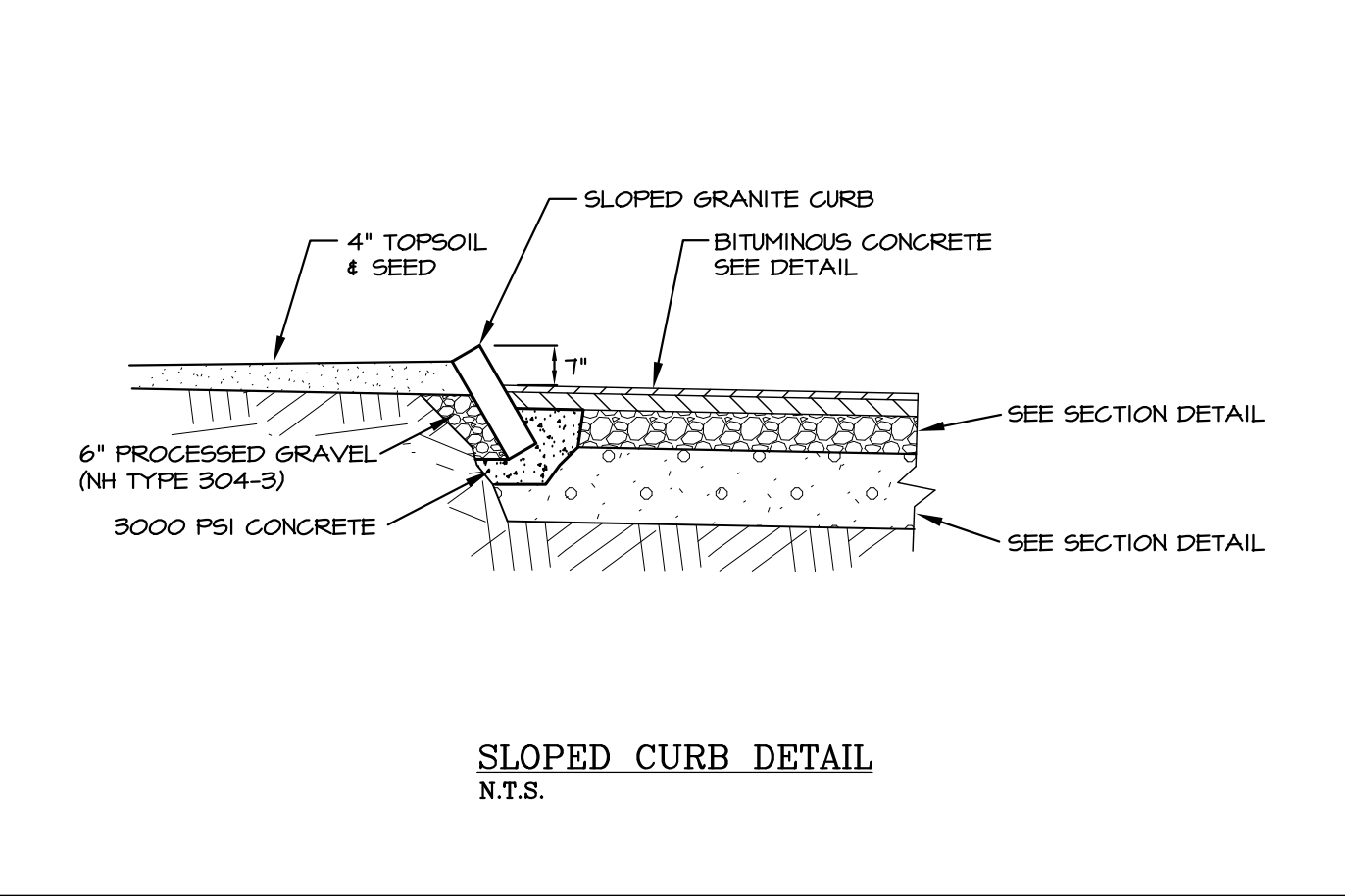
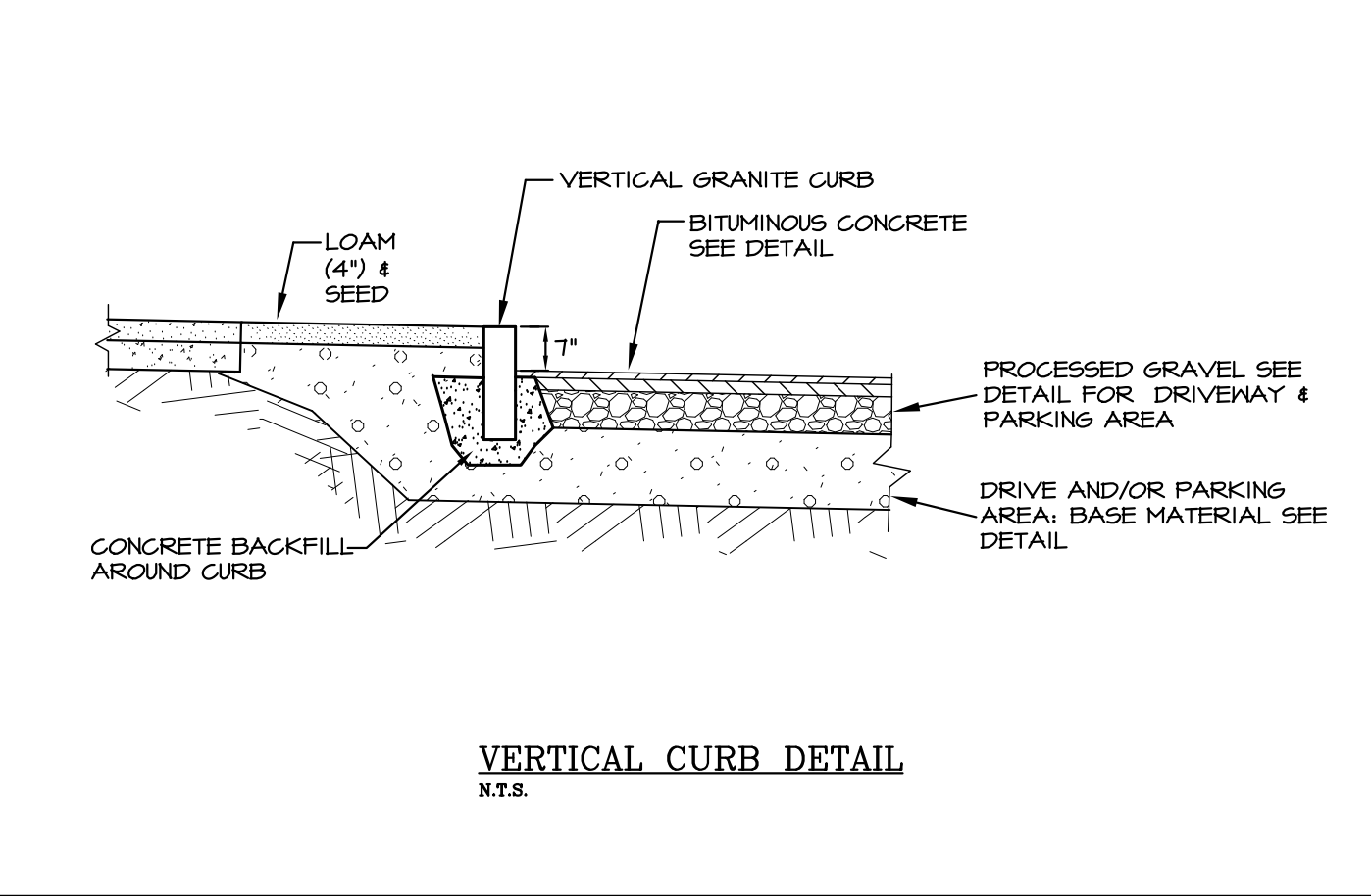
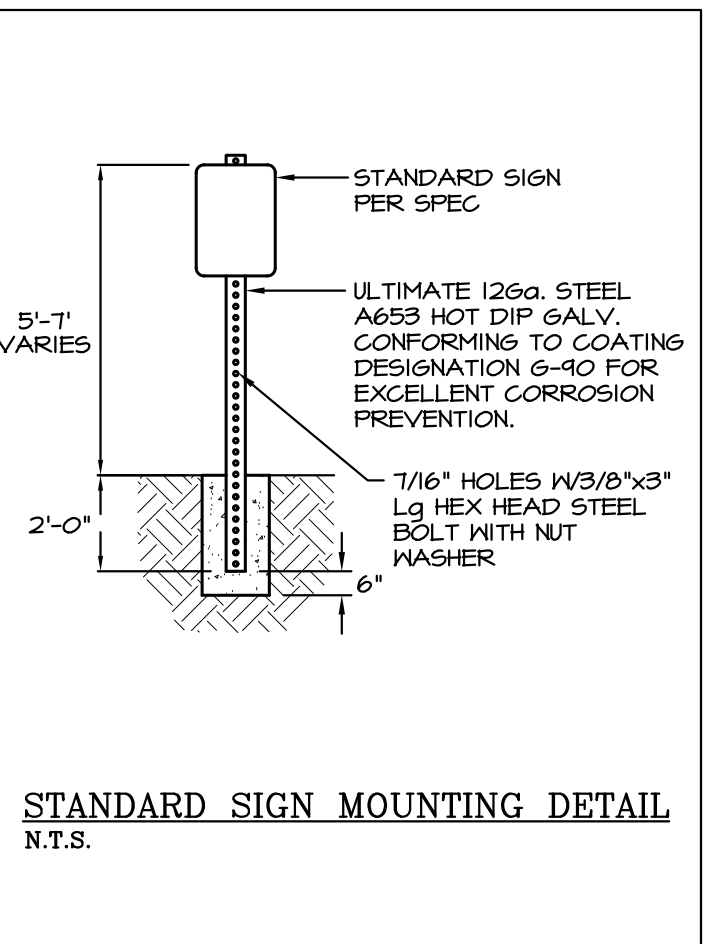
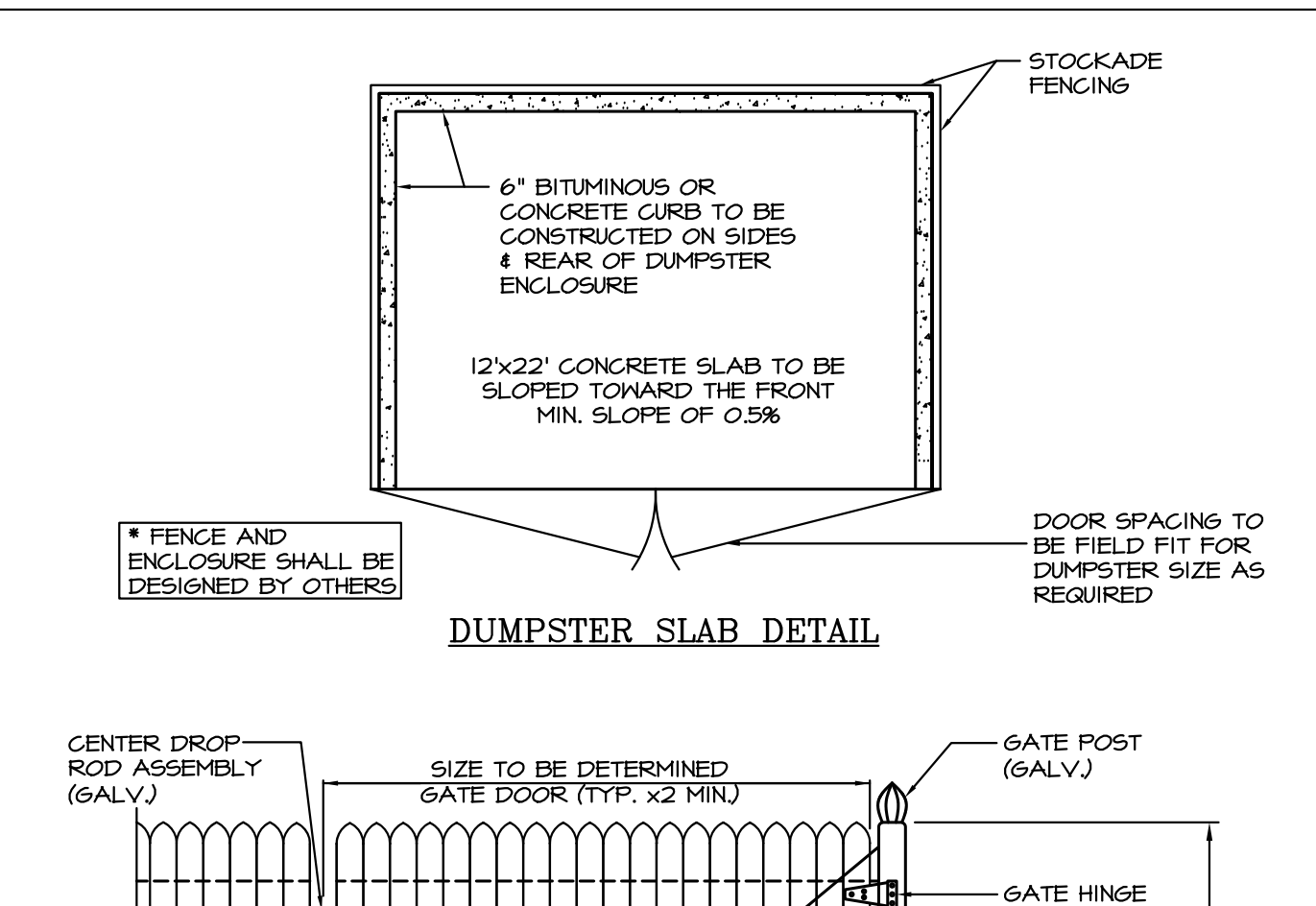
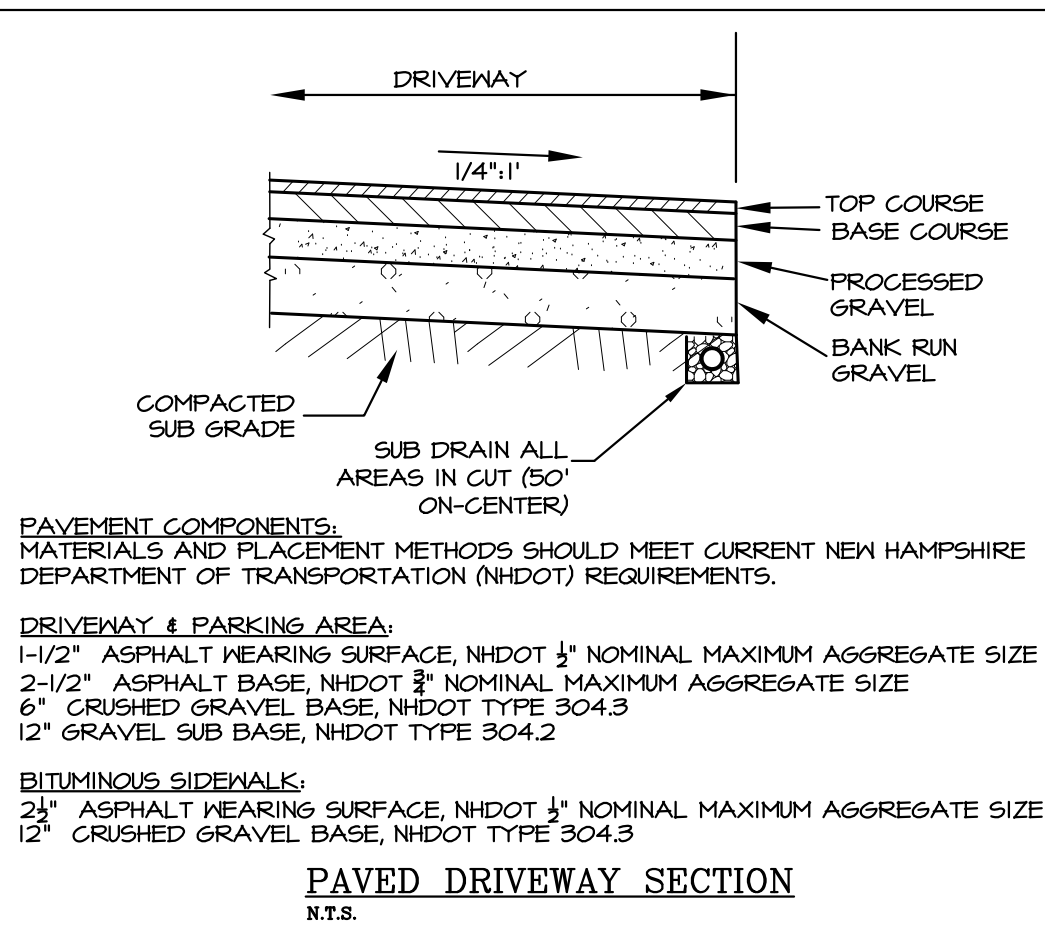
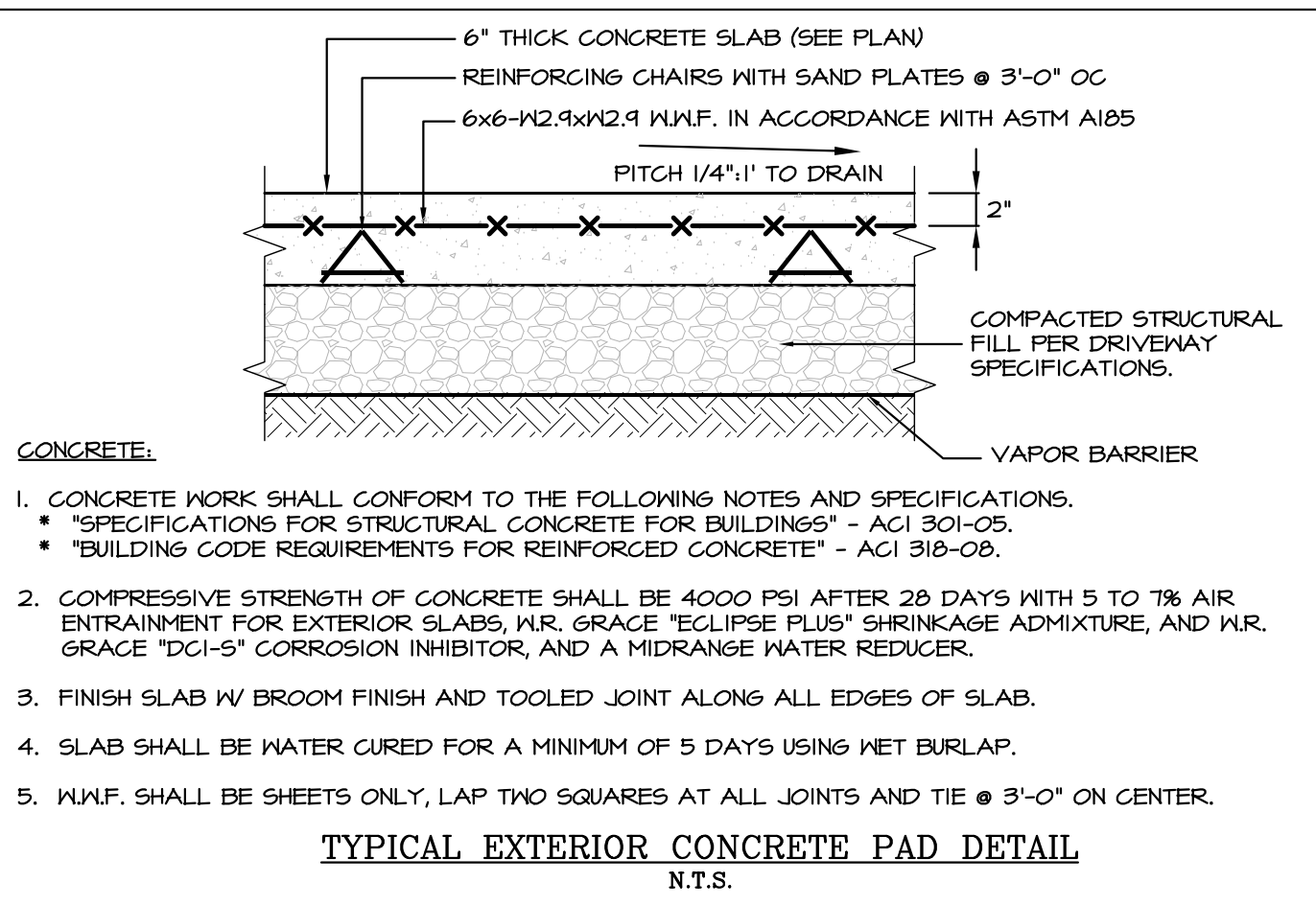
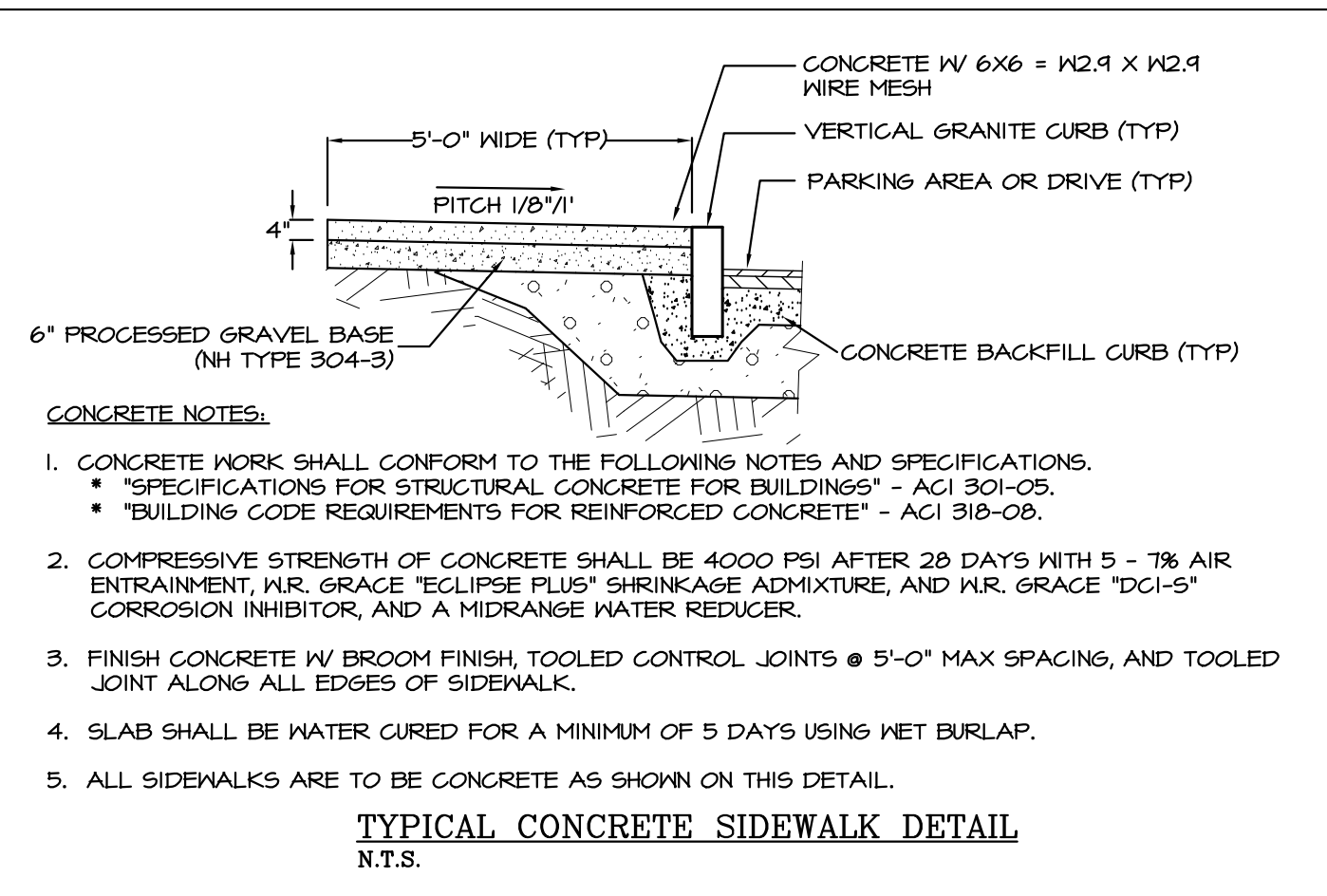
EMANUEL ENGINEERING
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WWW.EMANUELENGINEERING.COM

CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

SEAL
STATE OF NEW HAMPSHIRE
BRUCE D. SCAMMAN
No. 11236
LICENSED PROFESSIONAL ENGINEER
5/23/23
Bruce Scamman

TITLE:
UTILITY DETAILS
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT:	SCALE:	SHEET:
21-157	AS SHOWN	D3



SEAL

BRUCE D. SCAMMAN
No. 11236
LICENSED PROFESSIONAL ENGINEER

2 MAY 23, 2023 FOR APPROVAL
1 APR 20, 2023 FOR APPROVAL

ISS. DATE: DESCRIPTION OF ISSUE: CHK.
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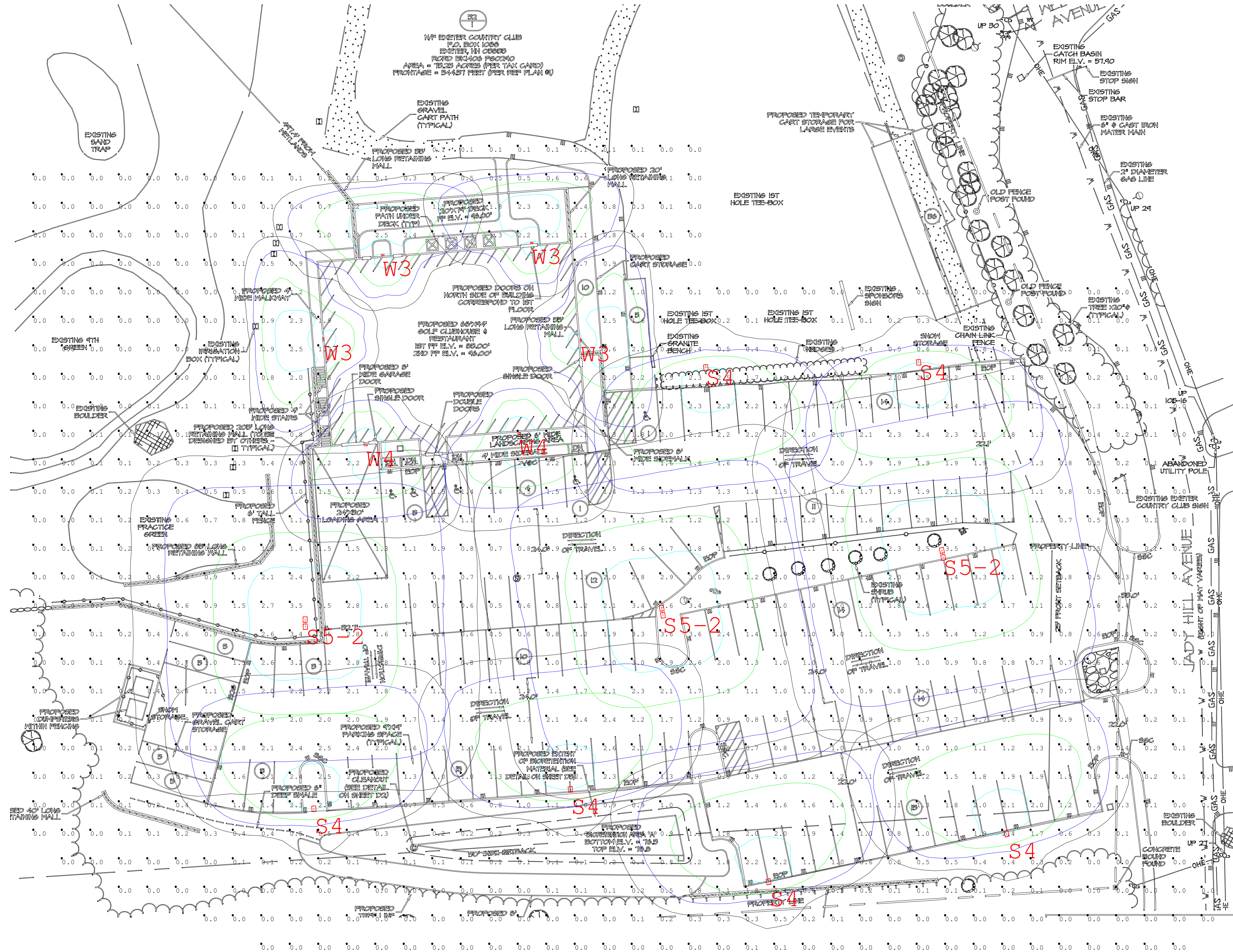
CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
SITE DETAILS
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT: 21-157 SCALE: AS SHOWN SHEET: D4

StatArea_1
 PARKING LOT AREA
 Illuminance (Fc)
 Average = 1.54
 Maximum = 3.6
 Minimum = 0.5
 Avg/Min Ratio = 3.08
 Max/Min Ratio = 7.20

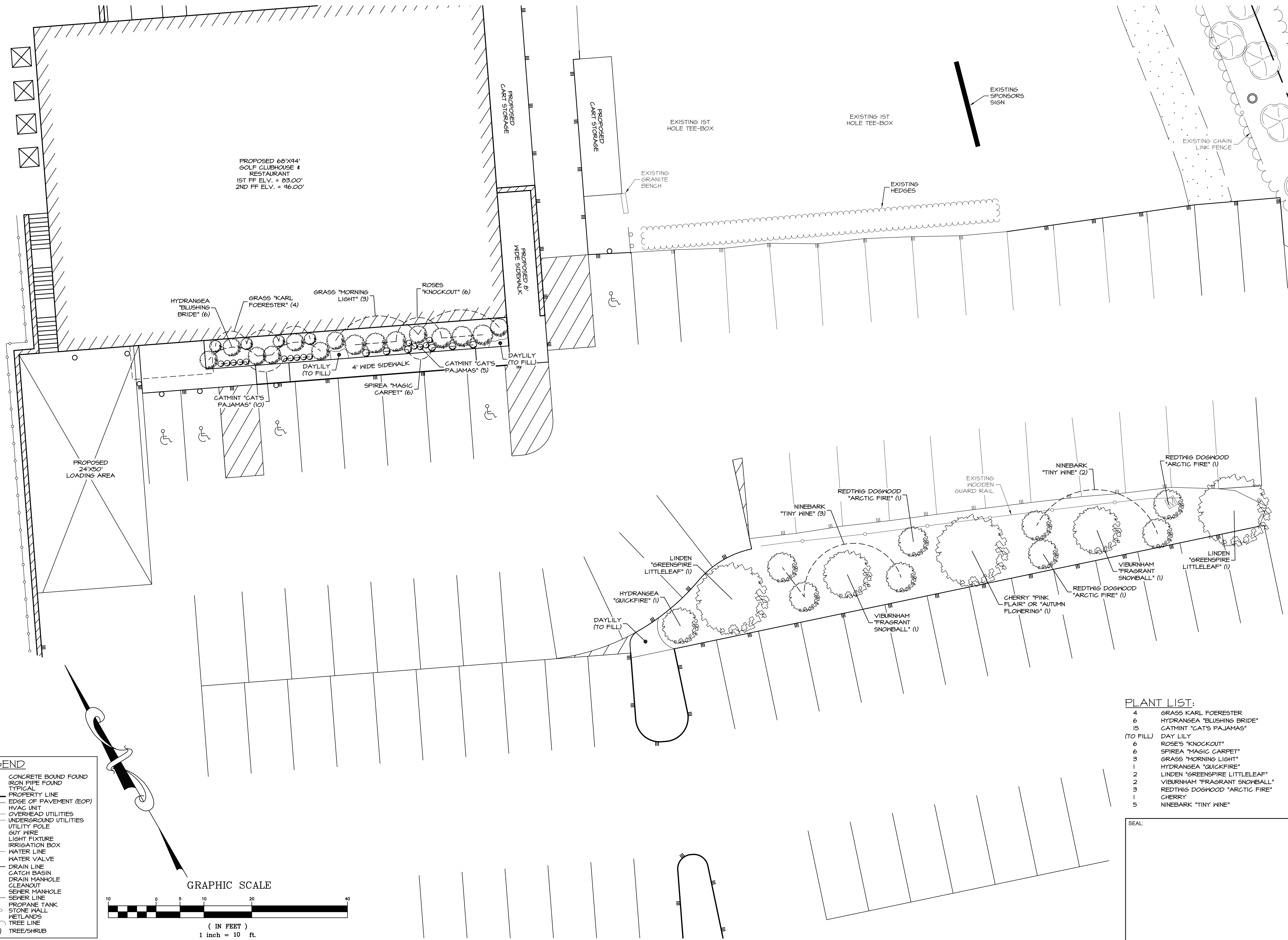
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	[MANUFAC]
	6	S4	Single	MRM-LED-07L-SIL-FT-UNV-DIM-30-70CRI-IH-CXX / 4SQ-B3-S11G-20-S-CXX-GA-4BC (20' AFG)	LSI INDUSTRIES, INC.
	3	S5-2	Back-Back	MRM-LED-07L-SIL-5W-UNV-DIM-30-70CRI-CXX / 4SQ-B3-S11G-20-D180-CXX-GA-4BC (20' AFG)	LSI INDUSTRIES, INC.
	4	W3	Single	XWS-LED-03L-SIL-3-UNV-DIM-30-70CRI-CXX / WALL MTD 12' AFG	LSI INDUSTRIES, INC.
	2	W4	Single	XWS-LED-03L-SIL-FT-UNV-DIM-30-70CRI-CXX / WALL MTD 12' AFG	LSI INDUSTRIES, INC.



#	Date	Comments

#	Date	Comments

Drawn By:
 Checked By:
 Date: 4/13/2023
 Scale:



- NOTES:**
- OWNER OF RECORD:
TAX MAP 52, LOT 1
EXETER COUNTRY CLUB
P.O. BOX 1088
EXETER, NH 03833
RCRD BK1406 P60240
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED LANDSCAPING ON SITE ASSOCIATED WITH THE PROPOSED SITE IMPROVEMENTS.
 - PARCEL IS ZONED R-2 SINGLE FAMILY PER THE 2019 ZONING MAP OF EXETER, NEW HAMPSHIRE.
 - A PORTION OF THE PARCEL IS WITHIN IN FLOOD HAZARD ZONES "AE" (EL B) AND "X", REFERENCE FLOOD INSURANCE RATE MAPS 33015C0402E & 33015C0406E, DATED MAY 17, 2005.
 - FIELDWORK COMPLETED BY JAMES VERRA AND ASSOCIATES, INC. IN SPRING 2022. NH GRID; NAVD 1988.
 - WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN SPRING 2022. THE DELINEATION WAS LIMITED TO THE AREAS OF PROPOSED WORK DEPICTED ON THESE PLANS. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - PROPERTY TO BE SERVICED TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
 - EMANUEL ENGINEERING, INC. (EEI) DID NOT DESIGN THE LANDSCAPING. ALL LANDSCAPING WAS DESIGNED BY THORN AND THISTLE GARDENS. THE LANDSCAPING DESIGN WAS PROVIDED TO EEI BY THE CLIENT.

- REFERENCE PLANS:**
- "PLAN OF LAND IN EXETER, NH, EXETER COUNTRY CLUB" BY GREAT BAY ENGINEERING, INC., DATED DECEMBER 1988; SCALE: 1"=80'; RCRD D-18431.
 - "PLAN OF LAND IN EXETER, NH SHOWING SITE IMPROVEMENTS, AT 58 JADY HILL AVE (EXETER COUNTRY CLUB)" BY MILLENNIUM ENGINEERING, INC., DATED JUNE 4, 2021; SCALE: 1"=40'; NOT RECORDED.
 - "TOWN OF EXETER, NEW HAMPSHIRE WEBSTER AVENUE PUMP STATION & FORCE MAIN UPGRADES EXETER, NEW HAMPSHIRE" (SHEET C-5) BY WRIGHT-PEIRCE (UNDATED); SCALE: 1"=20'; NOT RECORDED.

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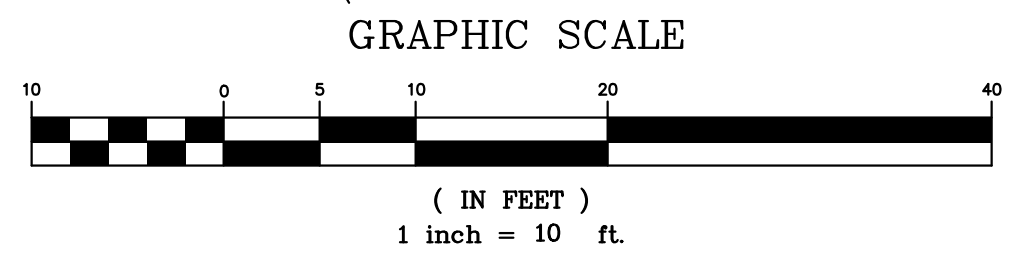
CLIENT:
BLIND TIGER, LLC
3 WRIGHT LANE
EXETER, NH 03833

TITLE:
LANDSCAPING PLAN
FOR
EXETER COUNTRY CLUB
58 JADY HILL AVENUE (SITE)
EXETER, NH 03833

PROJECT: 21-157 SCALE: 1"=10' SHEET: LA1

LEGEND

[Symbol]	CONCRETE BOUND FOUND
[Symbol]	IRON PIPE FOUND
[Symbol]	TYPICAL PROPERTY LINE
[Symbol]	EDGE OF PAVEMENT (EOP)
[Symbol]	HVAC UNIT
[Symbol]	OVERHEAD UTILITIES
[Symbol]	UNDERGROUND UTILITIES
[Symbol]	UTILITY POLE
[Symbol]	GUY WIRE
[Symbol]	LIGHT FIXTURE
[Symbol]	IRRIGATION BOX
[Symbol]	WATER LINE
[Symbol]	WATER VALVE
[Symbol]	DRAIN LINE
[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	SEWER LINE
[Symbol]	PROPANE TANK
[Symbol]	STONE WALL
[Symbol]	WETLANDS
[Symbol]	TREE LINE
[Symbol]	TREE/SHRUB



- PLANT LIST:**
- 4 GRASS KARL FOERESTER
 - 6 HYDRANGEA "BLUSHING BRIDE"
 - 15 CATMINT "CATS PAJAMAS"
 - (TO FILL) DAY LILY
 - 6 ROSES "KNOCKOUT"
 - 6 SPIREA "MAGIC CARPET"
 - 3 GRASS "MORNING LIGHT"
 - 1 HYDRANGEA "QUICKFIRE"
 - 2 LINDEN "GREENSPIRE LITTLELEAF"
 - 2 VIBURNHAM "FRAGRANT SNOWBALL"
 - 3 REDTWIG DOGWOOD "ARCTIC FIRE"
 - 1 CHERRY
 - 5 NINEBARK "TINY WINE"