



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, August 24, 2023 at 6:30 P.M. in the Nowak Room of the Exeter Town Office building located at 10 Front Street, Exeter, New Hampshire to consider the following:

APPROVAL OF MINUTES: August 10, 2023

NEW BUSINESS:

Second public hearing on the 2024 Capital Improvements Program (CIP) projects as presented by the Town Departments. Copies of the proposed document(s) will be available at the Planning Department Office prior to the meeting.

The application of Ross Engineering LLC for a multi-family site plan review and Shoreland Conditional Use Permit (CUP) for the proposed redevelopment of the property at 14 Hobart Street into three residential condominium units along with associated site improvements. The subject property is located in the R-2, Single Family Residential zoning district, Tax Map Parcel #74-89. PB Case #23-8.

The application of Eversource Energy for a Wetland Conditional Use Permit (CUP) for the proposed replacement of thirty-six (36) existing transmission poles associated with the A126 and H141 lines within the existing Eversource ROW in various locations. The subject properties are located in the RU-Rural and R-1, Low Density Residential zoning districts and are identified as Tax Map Parcels #30-8, 30-9, 29-31, 29-32, 28-3, 28-6, 28-13, 28-18, 17-19, 18-3, 19-3, 19-2, 19-1, 19-16, 19-16-1, 24-1, 25-1, 20-8, 24-3 & 24-30. PB Case #23-9.

The application of Douglas and Christine Rupp (on behalf of Richard & Debbi Schaefer) for a minor subdivision of the existing 21+/- acre parcel located at 24 Powder Mill Road to create a new residential lot with frontage on Powder Mill Road; and a Wetlands Conditional Use Permit (CUP) for the proposed construction of a driveway for a single-family residence within the wetlands and wetlands buffer area. The subject property is located at 24 Powder Mill Road, in the R-1, Low Density Residential zoning district. Tax Map Parcel #102-4. PB Case #23-11.

The application of Franklin Associates, LLC for a minor subdivision and Wetlands Conditional Use Permit (CUP) for the proposed subdivision of an existing 8.74-acre parcel into two residential lots. The subject property is located at 18 Beech Hill Road, in the RU-Rural zoning district. Tax Map Parcel # 32-11. PB Case #23-10.

The application of Elizabeth A. Hewson Revocable Trust for a minor subdivision and a Shoreland Conditional Use Permit (CUP) for the proposed subdivision of an existing 2.30-acre parcel into three (3) residential lots. The subject property is located at 45 Pine Street, in the R-2, Single Family Residential zoning district. Tax Map Parcel #83-59. PB Case #23-12.

A public hearing to amend Section 9.9. Wetland and Shoreland Buffers of the Board Site Plan Review & Subdivision Regulations by eliminating the wetland waiver process and therefore eliminating the duplicity in regulations.

(over)

OTHER BUSINESS

- Glerups, Inc. – PB Case #22-9
Request for extension of conditional approval – 19 Continental Drive, TM Parcel #47-7-2
- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

EXETER PLANNING BOARD

Langdon J. Plumer, Chairman

Posted 08/07/23: Exeter Town Office and Town of Exeter website

1 **TOWN OF EXETER**
2 **PLANNING BOARD**
3 **NOWAK ROOM – TOWN OFFICE BUILDING**
4 **10 FRONT STREET**
5 **AUGUST 10, 2023**
6 **DRAFT MINUTES**
7 **7:00 PM**

8 **I. PRELIMINARIES:**
9

10 **BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, Vice-Chair Aaron Brown,
11 Pete Cameron, Clerk, Gwen English, John Grueter, Jennifer Martel, and Nancy Belanger Select
12 Board Representative (remotely)
13

14 **STAFF PRESENT:** Town Planner Dave Sharples
15

16 **II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7:00 PM and introduced the
17 members.
18

19 **III. OLD BUSINESS**
20

21 **APPROVAL OF MINUTES**
22

23 June 8, 2023 - *Tabled*
24

25 June 22, 2023 – *Tabled*
26

27 July 13, 2023 – *Tabled*
28

29 *Mr. Cameron motioned to table review and approval of the meeting minutes until the Planning*
30 *Board's August 24, 2023 meeting at 7:00 PM. Mr. Cameron seconded the motion. A vote was taken,*
31 *all were in favor, the motion passed 7-0-0.*
32

33 **IV. NEW BUSINESS:**

34 1. Public Hearing on the 2024 Capital Improvements Program (CIP) projects as presented by
35 the Town Departments. (Copies of the proposed document(s) will be available at the Planning
36 Department Office prior to the meeting).
37

38 Mr. Sharples presented the draft CIP for 2024-2029 including project sheets and a draft table of
39 contents. He explained how the CIP process gives the Department Heads an opportunity to
40 specify their major needs for studies, equipment, facilities, etc. He noted it assists with
41 budgeting and to stabilize the tax rate. He explained that per state law the Planning Board has

42 the purview of adopting the CIP which is then finalized with a transmittal letter from the Board
43 and moves on to the Budget Committee, Select Board and on to the Warrant Article. He
44 indicated that tonight the Board would be hearing from the Police Department, Fire
45 .Department, Recreation, Department of Public Works, Planning Department and Conservation
46 Commission. There would be another public hearing on August 24th to adopt the CIP.

47

48 **POLICE DEPARTMENT - Deputy Police Chief Josh McCain**

49

50 Deputy Police Chief McCain presented the first of three projects which he noted the last two
51 would be joint with the Fire Department.

52

53 CRIME SCENE VAN – (pg. 47) \$60,000 FY 25

54

55 Deputy Police Chief McCain presented a request to put a crime scene van in the CIP,
56 referencing details found on Page 47 with an estimated cost of \$60,000. He stated that the
57 Police Department does not have a vehicle to keep crime scene processing materials in, such as
58 barriers, shields, lighting, generators, etc. They had a retrofitted ambulance at one time which
59 reached its end of life. Now equipment is stored in multiple places and brought to the scene in
60 multiple vehicles. He proposed purchasing a Ford Transit or E-Cargo van which would be
61 appropriate for the size of the department.

62

63 Mr. Grueter asked if all of the equipment was owned by the Town and he responded yes.

64

65 Ms. English asked how often the Department responds to a situation in which they wish they
66 had this and he responded once or twice per week. He referenced the EZ Market robbery and
67 the train accident as two large such incidents.

68

69 Ms. English asked if the van would be used exclusively for that and he responded yes, it would
70 be set up for use by the criminal investigative unit.

71

72 Mr. Cameron asked if the vehicle would be under the department's control and who would
73 drive it and he answered that any officer could but it would fall under the detective division and
74 no additional staff would be added to drive it.

75

76 DISPATCH CONSOLE (pg. 11) \$281,000 FY 24

77

78 Assistant Fire Chief Justin Pizon presented the request for a two-seat dispatch center console at
79 the Safety Complex on Court Street. When looking into cost estimates for the safety complex
80 presented last year he was notified this was severely out of date and can no longer be
81 supported and is a top priority for public safety.

82 Mr. Grueter asked what would happen if the brand-new unit were struck by lightning. Chair
83 Plumer echoed his concerns about having a back-up method of communication. He noted they
84 could switch to Rockingham County dispatch in an event like that, but it is not ideal as they are
85 already overburdened. There is a mobile radio for worst case scenarios. A second radio would
86 be embedded in the replacement system.

87

88 NEW POLICE COMPLEX WITH FIRE SUBSTATION (pg. 4) \$17,600,000 FY 24

89

90 Deputy Police Chief McCain submitted the request to put the Safety Complex, joint with the
91 Fire Department, at Continental Drive, on the CIP. He indicated it was presented to the voters
92 last year and feels like turnout was low due to the storm and it did not pass by about 45 votes.
93 He expressed concerns that the estimated cost is 7.5% higher now, last year's estimate was
94 \$16,300,000 and no changes have been proposed.

95

96 Mr. Sharples noted it was unfortunate that one cost saving measure was mis-interpreted by
97 residents as an unnecessary deck. He described how the design change led to the space
98 overhang which really didn't serve any other practical purpose at the time.

99

100 Deputy Police Chief McCain explained some of the challenges faced by the police department
101 working in what he described as crowded conditions with less than desirable spaces for
102 interviewing residents reporting crimes and safety concerns, he had with releasing booked
103 offenders through the area where administrative staff are working. He described using offices
104 and utility closets and the lack of space in the meeting room. He expressed concerns about
105 mobility issues with the second-floor interview room and meeting space and not having training
106 space. He stated that a utility room with wires hanging down is not a safe place to interview a
107 resident reporting a sensitive crime. He expressed safety concerns about not having a secure
108 parking area for the cruisers and employees walking out to their cars. He stated the cruisers
109 are at risk of vandalism and disgruntled people have waited for officers to walk out to their cars
110 and confront them. He welcomed the Board to tour the Court Street facility shared with the
111 Fire Department.

112

113 Fire Chief Eric Wilking described how some residents responded negatively to the fitness area.
114 Mr. Grueter asked if such a small gym is standard for fire and police use. Chief Wilkin described
115 the need to keep officers physically fit and to relieve stress from the job. He described how the
116 Court Street location has out grown the space and officers have desks in closets and utility
117 rooms. The original station was built for five people and the staff has increased. There will
118 always be a presence on Court Street even with the new satellite location which would increase
119 response time, which is a four-minute standard in the industry, from 82% to 95% and be closer
120 to the High School.

121

122 Vice-Chair Brown asked if they got a sense of what other communities have for department
123 sizes and he reviewed Portsmouth who has three fire stations, Bedford has two and
124 Londonderry has three. Exeter is experiencing double the call volume, from 1800 to 3800 in the
125 past twenty years. There are also attractions which bring non-residents to Town who need
126 services, such as events and use of the train station.

127
128 Vice-Chair Brown asked about retention and recruiting and Chief Wilking indicated they are a
129 full department now but had retention issues before and want to attract quality candidates.
130 Things have changed and there are more job openings than respondents. He stated they are
131 interviewing us now.

132
133 **FIRE DEPARTMENT**

134
135 COMMUNICATION REPEATER SITE - \$100,000/\$76,000 (pg.12) FY 24

136
137 Assistant Fire Chief Justin Pizon reviewed the request to put the Communication Repeater Site
138 on the CIP. He reviewed the location of repeater sites, and detailed the radios program which
139 began years ago and cost for the final year of the program of \$76,000.

140
141 Mr. Cameron asked if this was an ongoing ten-year project and if the equipment purchased at
142 the start of the program is out of date or would be in the near future. He noted that the
143 technology is IP based, compatible and current with no foreseeable end of life in the next
144 decade.

145
146 Chief Wilkings submitted a request sheet entitled:

147
148 COURT STREET FIRE STATION RENOVATION AND/OR CONSTRUCTION, DESIGN, ENGINEERING &
149 CONSTRUCTION (pg. 13) TBD

150
151 **VEHICLES/HEAVY EQUIPMENT – Fire Chief Erik Wilking**

152
153 AMBULANCE 2 REPLACEMENT (pg. 41) \$312,341 FY 25
154 CAR ONE REPLACEMENT (pg. 43) \$60,606 FY 24
155 CAR FOUR REPLACEMENT (pg. 45) \$60,805
156 UTILITY ONE PICKUP REPLACEMENT (pg. 51) \$72,455 FY 24
157 ENGINE 3 REPLACEMENT (pg. 49) \$715,000 FY 27

158
159 Fire Chief Wilking submitted the request for vehicles for the 2024-2029 CIP. He explained the
160 request is to replace the 16-year-old utility pickup truck with tow trailer, which is the first

161 priority and indicated Car One, which he drives, is 10 years old. He indicated the ambulance
162 replacement is funding by the Ambulance Revolving Fund.

163

164 **PARKS & RECREATION – Greg Bisson**

165

166 PLANET PLAYGROUND RENOVATION (pg. 15) \$595,000 FY 24

167

168 Mr. Bisson reported that the design work was done last year, and they are still working on
169 negotiations for the land. He indicated the LWCF grant would cover 50% of the cost and that
170 the project would not move forward without the LWCF funds. Some improvements he
171 highlighted included the playground area and using solid surfacing methods to improve
172 accessibility and have no loose material.

173

174 PARK IMPROVEMENT FUND (pg. 14) \$100,000 YR. FY 24-29

175

176 Mr. Bisson described some of the projects planned which would be funded by the Improvement
177 Fund such as replacing the bath house, and rebuilding tennis courts.

178

179 Chair Plumer asked how it was funded and Mr. Bisson indicated the unassigned fund balance.

180

181 Ms. Belanger asked if the skate park was on the list because she observed some ramps are
182 rusted.

183

184 10 HAMPTON ROAD RENOVATIONS (pg. 6) \$998,240 FY 24

185

186 Mr. Bisson reported that a grant was received to finish renovations at 10 Hampton Road under
187 the Community Center Investment Program and has a 15% match of \$155,000. He reported the
188 Select Board approved encumbrances on Monday and construction would start at the end of
189 the year. The Town would have until 2025 to finish. He detailed ADA accessible improvements
190 on the second floor and access/egress issues to be addressed with stairs. He noted the new
191 HVAC system would improve energy efficiency.

192

193 Vice-Chair Brown asked about negotiations with the out-of-state owners after the expiration of
194 the lease and Mr. Bisson indicated the company had purchased the property without realizing
195 there was a lease for a public park on the property. Negotiations are ongoing.

196

197 Ms. Martel asked if there was a backup plan if LCWF funds fall through and Mr. Bisson indicated
198 fundraising.

199

200 A CIP Request sheet was submitted for associated

201 10 HAMPTON ROAD PARKING LOT EXPANSION (pg. 5) TBD

202

203 PARKS & RECREATION VEHICLE REQUESTS:

204

205 REPLACEMENT DUMP TRUCK #83 (pg. 53) \$55,000 FY 27

206 REPLACE TRUCK #84 (pg. 55) \$60,000 FY 25

207 VAN #81 (pg. 57) \$55,000 FY 28

208 VAN #85 (pg. 59) \$89,000 FY 25

209

210 **DEPARTMENT OF PUBLIC WORKS – Paul Vlasich, P.E. Town Engineer, Public Works Director**

211

212 Mr. Vlasich provided copies of documents to the Board.

213

214 FACILITY FUEL ISLAND REPLACEMENT (pg. 1) \$460,000 FY 24

215

216 Mr. Vlasich presented the request to put replacement of the Facility Fuel Island on the CIP with
217 an estimated cost of \$460,000. He indicated the facility was deteriorating and needed
218 replacement. The location is to be determined.

219

220 Ms. English asked if tanks would be underground, and he indicated they would be.

221

222 Mr. Grueter asked if there were any concerns with removing the old tanks and Mr. Vlasich
223 indicated leaks had been repaired previously and demolition is included in the cost.

224

225 FACILITY CONDITION ASSESSMENT (pg. 2) \$750,000

226

227 Mr. Vlasich recommended removing this from the CIP to decide on what type of improvements
228 are foreseen for the 13 Town-owned buildings. He estimated the yearly CIP cost to be
229 \$163,000.

230

231 NEW SURFACE WATER TREATMENT PLANT (pg. 13) \$28,400,000

232

233 FY 24 \$2,500,000 FY 26 \$25,900,000

234

235 Mr. Vlasich detailed the request for replacement of groundwater supply built in 1886. He
236 indicated preapproval for \$2.5 million with the SRF Loan. The final design plan will be studied.

237

238 Chair Plumer asked how the state would get involved in the project and Mr. Vlasich indicated
239 they would be project partners protecting their investment of funds for clean drinking water.

240 GREAT BAY TOTAL NITROGEN PERMIT (pg. 17) 205,000

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FY 24 \$105,000 FY 26 TBD FY 28 TBD
FY 25 \$100,000 FY 27 TBD FY 29 TBD

Mr. Vlasich noted that approximately \$90,000 is incentives for replacing septic systems with Advanced Septic under the treatment program with priority on systems close to water bodies. He noted there is a fertilizer use component as well as stormwater improvements.

Mr. Brown asked how many septic systems were new or replaced each year and he noted approximately six.

PICKPOCKET DAM (pg. 20) \$50,000 Consulting FY 24

Mr. Vlasich summarized the notice of high hazard deficiency received and reported the Town has until June 2024 to make a decision how to fix the deficiency or possibly consider removal of the dam. The Town would have until December of 2027 to complete the work. The \$50,000 requested would be for consulting and assistance with grant applications.

STORM DRAIN, WATER/SEWER MAIN REHABILITATION (pg. 24) \$0

Mr. Vlasich indicated this submittal was a reminder of annual replacements of drains, water and sewer components.

CIP Requests were submitted for:

WATER MAIN REHABILITATION PROGRAM (pg. 40) \$3,460,000
FY 27 \$1,730,000 FY 29 \$1,730,000

DRINKWATER ROAD CULVERT REPLACEMENT (pg. 16) TBD

NEW GROUNDWATER SOURCE DEVELOPMENT (pg. 37) \$5,000,000 FY 25

SCHOOL STREET AREA RECON (pg. 22) \$6,510,000
FY 24 \$533,600 FY 25 \$5,976,400

Mr. Vlasich submitted the CIP request for main replacements and sewer and stormwater improvements. He indicated there was preapproval for SRF Loan with 35% principal forgiveness for \$2.6 million dollars.

281 WATER STREET AREA RECON (pg. 27) \$7,005,000

282

283 FY 24 \$100,000 FY 26 \$6,305,000

284 FY 25 \$600,000

285

286 Mr. Vlasich explained the SRF Loan process and identified this as a water main project with
287 100% principal forgiveness. \$100,000 is estimated for planning.

288

289 WASHINGTON STREET IMPROVEMENT (pg. 26) \$2,480,000

290

291 FY 26 \$250,000 FY 27 \$2,230,000

292

293 Mr. Vlasich indicated this project is or replacement of sewer main, traffic considerations and
294 stormwater treatment.

295

296 CIP request sheets were also submitted for:

297

298 TAN LANE DRAINAGE IMPROVEMENTS (pg. 25) TBD

299

300 PORTSMOUTH AVE RECON (pg. 21) \$5,285,000

301

302 FY 27 \$75,000 FY 29 \$4,910,000

303 FY 28 \$300,000

304

305 SIDEWALK PROGRAM (pg. 23) \$1,200,000

306

307 FY 24 \$200,000 FY 26 \$200,000 FY 28 \$200,000

308 FY 25 \$200,000 FY 26 \$200,000 FY 29 \$200,000

309

310 Mr. Vlasich estimated the cost of the Sidewalk Program to be \$200,000 per year.

311

312 SEPTAGE RECEIVING FACILITY (pg. 31) \$675,000 FY 24

313

314 Mr. Vlasich provided the construction estimate of \$675,000 and noted there would be revenues
315 of approximately \$101,000 annually for septic companies who drop septage from their pump
316 tankers. Some funds were encumbered last year for design.

317

318

319 SEWER CAPACITY REHAB (pg. 32) \$3.4 Million/FY 29 \$1,284,000

320

321 Mr. Vlasich reported design work was done in FY 2023. This would add capacity. He noted the
322 project went through the SRF process last year and will be submitted this year.

323

324 WEBSTER AVE PUMP STATION UPGRADE (pg. 36) \$884,000 FY 24 (shortfall estimate for
325 consultants)

326

327 Mr. Vlasich proposed that the SRF Loan for this project could be amended potentially.

328

329 CROSS ROAD TOWER MIXING & CLEANING (pg. 38) \$32,000 FY 24

330

331 Mr. Vlasich recommended pulling the CIP project for this year with the hope that something
332 different will come up and not require. He noted the project is to improve water quality in the
333 area.

334

335 Also submitted were CIP sheets for the following projects:

336

337 GREEN STREET NEIGHBORHOOD UTILITY RECON (pg. 18) TBD

338

339 COURT STREET PUMP STATION DPW (pg. 30) TBD

340

341 WWTF EFFLUENT FLUME (pg. 34) \$192,000

342

343 WWTF UPGRADES PHASE 1 DPW (pg. 35) \$2,750,000

344

345 FY 27 \$200,000 FY 28 \$2,550,000

346

347 RIVER RAW WATER TRANSMISSION CLEANING (pg. 39) TBD

348

349 **VEHICLES AND EQUIPMENT**

350

351 #102 REPLACE AIR COMPRESSOR (pg. 61) \$45,000 FY 24

352

353 Mr. Vlasich noted the air compressor runs the tools.

354

355 VEHICLES – WATER/SEWER (6 YR CIP)

356

357 REPLACE #13 CROWN VICTORIA (pg. 63) \$56,500/\$53,500 FY 24

358 REPLACE DUMP TRUCK #33 (pg. 65) \$120,000 FY 24

359 Mr. Vlasich noted two vehicle replacements were stretched out an additional year, one is used
360 by the meter reader (Crown Victoria with 112,500 miles) and they would like to replace the
361 other with a 4x4 Pick-Up so they can do their own plowing. There are nine Water Works pump
362 stations.

363

364 Ms. Martel asked if they had considered electric vehicles and charging stations.

365

366 #33 – HIGHWAY SIX-WHEEL DUMP TRUCK (pg. 65) \$120,000 – Jay Perkins

367

368 Mr. Perkins requested that a Ford F-550 be put on the CIP to replace the six-wheel dump truck.

369

370 **DPW/HIGHWAY/MAINTENANCE – Jay Perkins, Highway Superintendent**

371

372 Mr. Perkins submitted CIP request sheets detailing the following projects:

373

374 INTERSECTION IMPROVEMENTS PROGRAM (pg. 19) \$50,000 FY 25

375

376 WATERFRONT SEAWALL (pg. 28) TBD

377

378 CLEMSON LAGOON (pg. 29) \$125,750 FY 25

379

380 VEHICLES & EQUIPMENT

381

382 #58 – SIDEWALK TRACTOR (pg. 69) \$225,000 FY 24

383

384 Mr. Perkins described the vehicle requested for replacement mows, sweeps, snow blows and
385 plows sidewalks.

386

387 Ms. English asked if there were multiples of these and he noted there were two primary.

388

389 #48 – REPLACE STREET SWEEPER (pg. 71) \$370,000 FY 24

390

391 Ms. Martel asked how often the street sweeper is used and Mr. Perkins indicated curbed areas
392 are twice a year and downtown parking lots weekly. Mr. Vlasich was not sure if a grant would
393 be available.

394

395 REPLACE #51 JEEP DPW (pg. 67) \$37,500/\$31,500 FY 24

396

397

398 **PLANNING & CONSERVATION – Town Planner Dave Sharples**

399

400 **PLANNING**

401

402 CAPTIAL RESERVE FUND FOR ADA IMPROVEMENTS (pg. 7) (\$50,000) FY 24

403

404 Mr. Sharples reported the Town approved a warrant article in 2019 to create an ADA
405 Improvements Plan for Town facilities and infrastructure to improve accessibility for all users.
406 This Fund will be established over time to fund these improvements. Last year the Town
407 approved \$50,000.

408

409 COMPLETE STREET STUDY (pg. 8) \$25,000 FY 25

410

411 Mr. Sharples reported the Bike & Pedestrian Master Plan was begun two years ago and there is
412 overlap with the Master Plan Oversight Committee. He discussed the Downtown Parking Flow
413 Analysis proposal.

414

415 MASTER PLAN UPDATE FY 2028 (pg. 9) \$50,000

416

417 Mr. Sharples reported the Master Plan was last done in 2018 and will be updated in 2028. The
418 document must be updated between five and ten years. He reported almost 67 action items
419 have been completed.

420

421 **CONSERVATION**

422

423 RAYNES BARN IMPROVEMENTS (pg. 10) \$56,200

424

425 Mr. Sharples reported that in 2022 a cost increase of \$249,600 was identified due to rising
426 costs. The improvements being funded include clapboards, painting, staircase replacement, fire
427 alarm and are contingent upon receiving grant funds

428

429 \$76,200 FY 2024 less \$20,000 Moose Plate Grant

430

431 **VI. OTHER BUSINESS**

432

- Master Plan Discussion

433

- Field Modifications

434

- Bond and/or Letter of Credit Reductions and Release

435

Mr. Sharples reported the Department continues working with Finance to

436

release old, outdated bonds and LOC on a variety of projects.

437 **VII. TOWN PLANNER'S ITEMS**

438 **VIII. CHAIRPERSON'S ITEMS**

439 Chair Plumer reported there will be a Town public meeting next Tuesday at the High School gym.

440 **IX. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

441 Mr. Cameron reported there will be a Housing Advisory Committee meeting tomorrow at 8:30 AM.

442 **X. ADJOURN**

443 *Ms. Brown motioned to adjourn the meeting at 9:51 PM. Mr. Cameron seconded the motion. A vote*
444 *was taken all were in favor, the motion passed 7-0-0.*

445 Respectfully submitted,

446 Daniel Hoijer,
447 Recording Secretary
448 Via Exeter TV



TOWN OF EXETER

Planning and Building Department

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www.exeternh.gov

Date: June 29, 2023
To: Planning Board
From: Dave Sharples, Town Planner
Re: Ross Engineering LLC PB Case #23-8

The Applicant is seeking approval of a minor site plan and Shoreland Conditional Use Permit (CUP) for a proposed multi-family condominium development on the existing 1.06-acre parcel located at 14 Hobart Street. The Applicant is proposing to create three (3) residential units by utilizing the existing structures on the property and adding some small additions. The subject property is located in the R-2, Single Family Residential zoning district and is identified as Tax Map Parcel #74-89.

The Applicant submitted a multi-family site plan review application, Shoreland CUP application, plans and supporting documents, dated May 30th, 2023 which are enclosed for your review.

A Technical Review Committee (TRC) meeting was held on June 22, 2023 and the TRC comment letter, dated June 26, 2023 is provided for your review. There was no review of this project by Underwood Engineers (UEI).

Revised plans have not been received as of the writing of this memorandum. I'm writing the memo a week earlier than usual due to a pending vacation. I will update the board on my review of the revised plans at the meeting. The revised plans should be in the packet as Barb will be here next week to send out the packet.

There are no waivers being requested for this application.

The Applicant appeared before the Zoning Board of Adjustment at their February 21st, 2023 meeting and was granted special exception approval for the conversion with the condition that site plan approval be obtained from the Planning Board. A copy of the decision letter and minutes for the ZBA meeting are enclosed for your review.

The Applicant appeared before the Conservation Commission at their June 13th, 2023 meeting to present their Shoreland Conditional Use Permit (CUP). The Commission recommended approval with conditions. Please see enclosed CC memo from Chair Andrew Koff, to Exeter Planning Board, dated June 22, 2023.

I will be prepared with suggested conditions of approval at the meeting in the event the board decides to act on the request.

Planning Board Motion:

Conditional Use Permit (Shoreland) Motion: After reviewing the criteria for a Shoreland Conditional Use permit, I move that the request of Ross Engineering LLC (PB Case #23-8) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Multi-Family Site Plan Motion: I move that the request of Ross Engineering LLC (PB Case #23-8) for Multi-Family Site Plan approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures



TOWN OF EXETER

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Exeter Planning Board

Langdon Plumer, Chair

Aaron Brown, Vice-Chair

Pete Cameron, Clerk

Gwen English

John Grueter

Jennifer Martel

Nancy Belanger, Select Board Rep

Dan Chartrand, Select Board Rep Alternate

Robin Tyner, Alternate

August 24, 2023

Re: Capital Improvement Program 2024-2029

Honorable members of the Select Board:

On August 10, 2023 and August 24, 2023, the Planning Board held public hearings on the Capital Improvement Program 2024-2029. At the hearings, department heads presented their requests followed by an open discussion and dialogue between the board and the various Town departments submitting requests. After review, the Planning Board endorses the proposed plan with the following recommendations.

The Town should consider the availability of federal funding to help determine the timing of Capital Improvement projects. They should actively pursue any applicable funding and be open to the possibility of moving projects forward in a timely manner should funding be secured.

After review, the Planning Board endorses the proposed plan **(ADD ANY ADDITIONAL COMMENTS)**

Respectively submitted,

Langdon Plumer

Planning Board Chair

enc (1)

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Town of Exeter
2024 -2029 Capital Improvement Program

Background

The Town of Exeter Capital Improvement Program (CIP) identifies the significant capital needs of the town and indicates how these improvements might be funded over a six-year period. It describes long-term capital needs for all municipal departments including highway, police, fire, parks and recreation, water, sewer, public library and other departments.

The Capital Improvement Program is a planning level document. It identifies and sequences projects, but does not provide for funding. Under the Town's form of government, the deliberative session and the voters make final decisions on the funding of recommended capital improvements.

The Capital Improvement Program is updated annually and projects change as circumstances change. Adjustments are made for new mandates, regulations, growth in population, transportation alternatives, changes in priorities, or other needs. One effective use of the CIP is that it provides for considerable advance project identification, public discussion, project design and definition of scope, cost estimating, and financial planning.

Purpose

The goal of the CIP is to establish a system of procedures and priorities by which to evaluate public improvement projects in terms of public safety, public need, project continuity, financial resources, and the strategic goals for the Town. The CIP allows town departments to establish a methodology and priority system to providing efficient and effective services. It also provides an opportunity for citizens and interested parties to voice their requests for community improvement projects.

Process

The Capital Improvement Program is coordinated annually by the Town's Planning Department. Municipal departments submit a 6-year listing of proposed CIP projects, including vehicle and equipment needs that are in excess of \$25,000. The requests are then reviewed and updated by the Town Manager and Town Planner and after some revision, presented to the Planning Board. The Planning Board provides recommendations at a working meeting in August and later in September, adopts the CIP, forwarding it to the Selectmen. Both the Budget Committee and Board of Selectmen review the CIP, with the latter determining the final list of projects to be presented at the Town Meeting each year. Under SB2, selected projects are then voted on by the voters at the March elections.

Guiding Principles

The guiding principles used to develop the Capital Improvement Program (CIP) are as follows:

- To preserve and improve town owned infrastructure through proper public facility planning, construction, rehabilitation and maintenance;
- To maximize the useful life of capital investments by scheduling major renovations and modifications at the appropriate time in the life-cycle of the facility;
- To identify and examine current and future infrastructure needs and establish priorities among projects so that available resources are used to the town's best advantage;
- To improve financial planning by comparing needs with resources, estimating future bond issues as required, and identifying potential fiscal implications to Exeter taxpayers and ratepayers;
- To provide a forward looking planning tool for the purpose of contributing to the creation of a stable property tax rate;
- To aid the Town's elected officials, appointed committees, and department heads in the prioritization, coordination, and sequencing of various municipal improvements;
- To inform residents, business owners and developers of needed and planned improvements.

About This Document:

This report is divided into multiple sections which are as follows:

Section 1: Facilities

Section 2: General Fund Projects

Section 3: Sewer Fund Projects

Section 4: Water Fund Projects

Section 5: Vehicles and Equipment – All Funds (General, Water, Sewer, Revolving)

Section 6: Financial Schedules

- Project Listing – General Fund
- Project Listing – Water Fund
- Project Listing – Sewer Fund
- Project Listing – Vehicles & Equipment
- Existing Debt Service – All Funds
- Proposed Debt Service – All Funds



Town of Exeter, New Hampshire

2024- 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: Public Works Facility - Fuel Island

Project Type: Highway - Facilities

Project Cost: \$460,000

Department: Public Works

Contact Name: Jeff Beck

Project Ranking: _____ of _____

Useful Life (Years): 50

Master Plan (Y/N): Y

Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other Clean Water SRF candidate

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

General Project Description:

The Highway/Mechanics Garage was constructed in 1969 and expanded in the 1970's. The 50-year old facility is does not meet current building code for snow load, lacks ventilation, lacks adequate meeting space and locker room space, lacks a women's locker room altogether, lacks space for storm/emergency management, lacks adequate space for storage of vehicles and equipment and lacks adequate space for maintenance of fire apparatus.

In FY19 and FY20 Lassel Architects conducted an analysis of the existing facility and performed the programming for a new facility. In FY21 a survey of the recently obtained parcel next to the DPW site was undertaken. At the same time wetlands were delineated.

The FY22 request for \$50,000 was not approved. The request was for \$50,000 so that the architect and site engineer could collaborate on locating facilities and fuel islands with site circulation in mind. Investigations into above ground fuel tanks vs in-ground were to be explored. A preliminary full facility site layout, including the fuel island, was to be the result of this task. A conceptual development budget was to be prepared for site considerations and the building facility.

FY23

The condition of the fuel island remains a concern for the department. Items such as: the electronics for tracking fuel and vehicle usage; the siphon pumps are outdated and near the end of their useful life; and the canopy and island base are deteriorating. Costs for these items were not included in FY23's request but need to be monitored until replacement is completed. Through discussions with vendors, the future fuel tanks will be constructed under ground.

The \$50,000 expenditure was approved and is to develop a facility site layout with the new facility. Also included in this figure is a comprehensive study of DPW operations to fully identify current and futrue operational staffing needs.

FY24

The fuel island is in need of replacement. The location may potentially change depending upon the site circulation concepts developed in calendar year 2023. Vendors have reverified cost issues for the fueling island. Estimate = \$415,350; adding 10% contingency = \$460,000.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$460,000	TBD	TBD				

Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost:	TBD
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024-2029 CIP Project Request Form

Date Submitted: 6/23/2023

Project Title: New Surface Water Treatment Plant

Project Type: Utility-Water

Project Cost: \$28,400,000

Department: Department of Public Works

Contact Name: Steve Dalton

Year Funding is Requested: 2024

Project Ranking: _____ of _____

Useful Life (Years): 50

Master Plan (Y/N): N

Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

Rationale: Both surface water (SW) and groundwater (GW) supplies are required to meet the Town's total water supply needs in accordance with our Integrated Management approach to water supply. The need for SW supply has become more apparent since testing in 2020 has shown that three of the existing groundwater supplies have less sustainable capacity than originally estimated, about 1.0 million gallons per day (MGD) while current peak demand is about 1.6 MGD. The Town is moving forward with development of additional groundwater supply capacity, but we must also address upgrading or replacing the surface water treatment plant (SWTP) which is currently providing 50-60% of the Town's water. The SWTP was initially constructed in 1905, and upgraded in 1924, 1972 and most recently in 1992 or 30 years ago. Based on the age of the facilities, limitations of the process, the constrained site, and the location in a flood zone that has resulted in two major flood events at the existing SWTP, rebuilding on this site is not recommended. It is noted that the potential for flooding is only expected to increase with climate change and predicted sea level rise. Therefore, construction of a new SWTP at a new site is recommended. The goal is for this new SWTP to supplement the GW supplies and provide closer to 30%-40% of the Town's water. An early estimate of the required capacity is 1.3 to 1.5 MGD, about half of the capacity of the SWTP proposed and designed in the early 2000's. Options for a new site are limited. The Town-owned "Sportsmans Club" parcel has been previously identified due to its higher elevation and proximity to the Exeter Reservoir and should be evaluated, including the need for lead shot remediation, and compared to other potential sites. A planning/preliminary design effort is necessary to evaluate potential sites, establish the required capacity, the most appropriate treatment process and refine projected costs. This evaluation would include looking at options to utilize existing infrastructure such as the existing reservoir intake and repurposing of the existing SWTP site.

Description:

A Planning and Preliminary Design effort is required to do the following:

- Confirm design flow for SWTP, depending on GW supplies
- Site alternatives investigations
- Refine water main connections to new plant
- Collect seasonal water quality data for final design
- Piloting of treatment alternatives
- Refine treatment processes and plant configuration
- Develop opinions of costs
- Evaluate repurposing of existing site

Project Cost:

The cost for the preliminary planning and design, final design, and projected construction cost estimates efforts is \$2,500,000. This project is contingent upon receiving NHDES grant funding.

Schedule and Phases: Planning and Site investigations, Preliminary Design (2024); Permitting and Final Design (2025); Start Construction (2026); Substantial Completion (2029); Decommission Existing Plant (2030)

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$2,500,000	\$0	\$25,900,000	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY24-FY26	
Salaries & Wages:	\$0
Employees Benefits:	\$0
Expenses:	\$28,400,000
Other:	\$0
Total:	\$28,400,000
Estimated Project Cost:	<u>\$0</u>
Estimated Fiscal Capital Cost	
\$28,400,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: **2024**

Project Title: New Police Complex with Fire Substation

Project Type: Municipal Facilities

Project Cost: \$17,522,500

Department: Police & Fire

Contact Name: Chief Stephan Poulin & Chief Eric Wilking

Useful Life (Years): 50-100

Master Plan (Y/N): Yes

Growth Related (Y/N): Yes

Service Related (Y/N): Yes

Externally Mandated (Y/N): No



Project Description

The proposed new Exeter Police Department and Fire substation is located on the corner of Continental Drive and Jillian Lane. The site is relatively flat in the front and slopes up toward the back of the property requiring retaining walls to accommodate the PD and FD secure parking, auto impound, a 2-bay detached garage, and a trash enclosure. A 60' apparatus apron will be provided from the FD substation with direct access to Continental Drive.

The proposed two-story building is approximately 23,165 gross square feet (16,285 for the Police Department and 6,880 for the Fire Substation). Visitors will enter the building from the east side of the property under a covered entry entering a two-story vestibule/lobby which will allow natural light into the building. A community/meeting room will also serve as the town's back-up emergency operations center, can be accessed from the Main Lobby allowing flexible day or nighttime use directly from the public lobby. The police officers and staff, and fire crews will enter the building from the rear allowing direct access to their secure departments.

The exterior of the building will be constructed with brick veneer, decorative concrete masonry units (cmu), maintenance-free clapboard siding, asphalt roofing shingles, and high-efficient exterior doors and windows.

Some additional key features to the building are listed below:

- A two-stall sally port with a secure entry from the rear of the PD building.
- Secure parking for PD vehicles, PD staff, and FD staff.
- A two-bay apparatus floor will accommodate a large fire truck, EMS ambulance, utility pick-up and associated FD storage.
- The fire substation provides decontamination spaces and healthy firefighter living and work areas.

Sustainability initiatives

1. The proposed building will meet and/or exceed the current NH energy code.
2. The building will be designed with all electrical equipment which will be Net Zero or Passive House ready in the future for solar panels.
3. Sustainable materials, Low flow fixtures and LED lights will be used throughout the project

In addition to supporting all police operations, the new facility will be staffed with 3 fire/ems personnel. A lieutenant and 2 firefighter/emt's will be reassigned from the current Court St. station to the sub-station. Staffing the fire-substation will not require any additional personnel or equipment.

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$17,522,500	\$0	\$0	TBD	\$0	\$0

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year	FY24	FY25	FY26	FY27	FY28	FY29
	\$0	\$0	\$0	\$0	\$0	\$0

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "

Salaries & Wages:
 Employees Benefits:
 Expenses:
 Other:

Total: _____

Estimated Project Cost: _____

Estimated Fiscal Capital Cost

\$17,522,500



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

Year Funding is Requested: 2027

Project Title: 10 Hampton Rd Parking Lot expansion

Project Type: Multiple

Project Cost: TBD

Useful Life (Years): 30

Master Plan (Y/N): Y

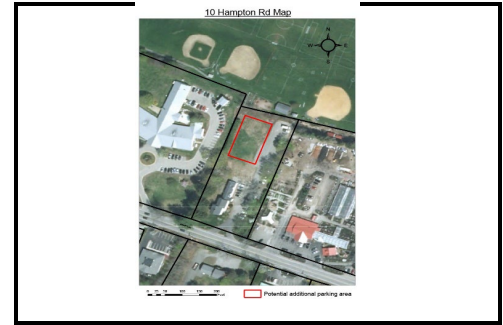
Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N

Department: Parks and Recreation

Contact Name: Greg Bisson



Project Description

The property currently has 50 unmarked parking spaces. Depending on design and layout, the property can accommodate an additional 20-30 spaces. The property will need to be engineered to allow drainage so as not to impact the current building on site or abutters. Parking will be a priority once the building is fully developed. The Parks and Recreation Department will work with Public Works to develop the parking lot expansion along with an outside vendor.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

	FY24	FY25	FY26	FY27	FY28	FY29
Operating Budget Impact by Fiscal Year	\$0	\$0	\$0	TBD	\$0	\$0
Total Operating Expense (estimated) by Fiscal Year	\$0	\$0	\$0	TBD	\$0	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	
Total:	\$ -
Estimated Project Cost:	
Estimated Fiscal Capital Cost	
	-



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

Year Funding is Requested: 2024

Project Title: 10 Hampton Rd Renovations
Project Type: Multiple
Project Cost: \$998,240.00

Useful Life (Years): 30
Master Plan (Y/N): Y
Growth Related (Y/N): Y
Service Related (Y/N): Y
Externally Mandated (Y/N): N

Department: Parks and Recreation
Contact Name: Greg Bisson



Project Description

10 Hampton Rd will have a complete building renovation starting late 2023 into 2024 due to the town being awarded the Community Center Investment Program grant through CDFA. This grant specifically targets a project that will create a community center for a community. The following projects are needed to make 10 Hampton Rd into the multigenerational space the town is looking to create.

- ADA access to the 2nd floor.
- Replacement of all the flooring with an ADA-approved surface
- Creation of programming spaces on the 2nd floor
- Address egress issues with existing building and potential programming space.
- Renovation of the upstairs bathroom creating an ADA bathroom on the 2nd floor
- Replace the HVAC for the entire building to make it more efficient.
- Create a tight building envelope to increase energy efficiency

The town and the parks and recreation department found alternative funding in the State of NH's Community Center Investment Program. The town applied for the full amount and received the full amount. This should fully renovate the community center.

The Town offered the following to meet the grants 15% match requirement.

- Recreation Revolving Funds: \$37,000
- Recreation Impact Fees: \$36,000
- Park Improvement Fund: \$25,000
- Previously Expended Funds*: \$25,800
- Level 2 Energy Assessment: \$1,200 (Town contribution)
- Utility Credit-NH Saves: \$30,000 (From the work to be conducted)
- Total: \$155,000

The town will receive \$841,240,00 and work with a Grant Administrator, Donna Lane.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

	FY24	FY25	FY26	FY27	FY28	FY29
\$998,240						
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$998,240	\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	
Total:	\$ -
Estimated Project Cost:	\$ 998,240
Estimated Fiscal Capital Cost	
	998,240

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Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/17/2023

Year Funding is Requested: 2024

Project Title: Capital Reserve Fund for ADA Improver

Project Type: Improvements

Project Cost: \$50,000

Department: Planning

Contact Name: Dave Sharples

Project Ranking: _____ of _____

Useful Life (Years): TBD

Master Plan (Y/N): Yes

Growth Related (Y/N): Yes

Service Related (Y/N): No

Externally Mandated (Y/N): No



Project Description

The Town approved a warrant article in 2019 for the purpose of conducting and creating an American Disability Act (ADA) improvements plan for town facilities and infrastructure including roads, sidewalks, and other pedestrian safety improvements. This plan has been completed and includes a list of projects that will improve accessibility for all users. This Capital Reserve Fund will be established to fund these improvements over time.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$50,000					

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year

\$0	\$0	\$0	\$0	\$0	\$0
-----	-----	-----	-----	-----	-----

" Annual Operating Impact "

Salaries & Wages:
 Employees Benefits:
 Expenses: 0
 Other:

Total: \$0

Estimated Project Cost: \$0

Estimated Fiscal Capital Cost

\$0



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/17/2023

Year Funding is Requested: 2025

Project Title: Complete Streets Study

Project Type: Planning/Study

Project Cost: \$25,000

Department: Planning

Contact Name: Dave Sharples

Project Ranking: _____ of _____

Useful Life (Years): TBD

Master Plan (Y/N): Yes

Growth Related (Y/N): Yes

Service Related (Y/N): No

Externally Mandated (Y/N): No



Project Description

This project would provide funding for a consultant to conduct an evaluation of Town and State roads in Exeter that could qualify to fall under a complete streets program. The concept of complete streets takes into account all manner in which a road/right of way can be used: pedestrians, bicyclists, automobiles, and other transportation needs (ie buses or other modes). A complete street may include sidewalks, bike lanes, special bus lanes, etc.. Currently the Town has no standing policy or a basis to adopt a policy regarding complete streets in Exeter. This study would review the potential to apply complete streets concepts in key areas of the Town that are known to be well traveled by bicyclists, important pedestrian areas, etc.. A strategic plan would then be devised around these concepts to give the Select Board, Planning Board, and Public Works Department guidance when large scale projects are being designed, such as the Portsmouth Avenue reconstruction. See www.completestreets.org for a review by the National Complete Streets Coalition, Washington DC.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: Long range planning document

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
	\$25,000				

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "

Salaries & Wages:
 Employees Benefits:
 Expenses: 25000
 Other:

Total: \$25,000

Estimated Project Cost: \$25,000

Estimated Fiscal Capital Cost

\$25,000



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/17/2023

Year Funding is Requested: 2028

Project Title: Master Plan Update

Project Type: Planning/Study

Project Cost: \$50,000

Department: Planning

Contact Name: Dave Sharples

Project Ranking: _____ of _____

Useful Life (Years): TBD

Master Plan (Y/N): Yes

Growth Related (Y/N): Yes

Service Related (Y/N): No

Externally Mandated (Y/N): No



Project Description

The Town approved a warrant article in 2017 for the purpose of updating our Master Plan. The Master Plan update was formally adopted by the Planning Board in 2018. The Town has been active in pursuing the Action Agenda in the 2018 Master Plan and has either completed or is currently working on a majority of the action items. State statutes recommend updating the Master Plan every 5-10 years. It is anticipated by 2028 that the Town will be ready to update the current Master Plan.

Check all that apply

2023 - 2028 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
				\$50,000	

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "

Salaries & Wages:
 Employees Benefits:
 Expenses: 0
 Other: _____

Total: \$0

Estimated Project Cost: \$0

Estimated Fiscal Capital Cost

\$0



Town of Exeter, New Hampshire

2024-2029

Date Submitted: 6/5/2023

First Year Funding is Requested: 2024

Project Title: Raynes Barn Improvements

Project Type: Building Maintenance

Project Cost: \$56,200

Project Ranking: _____ of _____

Useful Life (Years): 50+

Master Plan (Y/N): Yes

Growth Related (Y/N): No

Service Related (Y/N): Yes

Externally Mandated (Y/N): No

Department: Conservation Commission

Contact Name: Kristen Murphy



Project Description

On behalf of the Town, the Conservation Commission acquired and maintains the 50 acre Raynes Farm property on Newfields Road. The property includes an active agricultural field, wooded streamside trail and Raynes Barn which is the largest remaining barn in Exeter. This historic structure, listed on the State Register of Historic Places, provides a tangible link for modern day Exeter to its agricultural past. The Conservation Commission and Raynes Farm Stewardship Committee has put considerable effort to expand public use of the site, now referred to as the Conservation Center at Raynes Farm.

Frequent visitors enjoy passive recreation opportunities such as hiking, bird watching, sledding and even bird dog training in the fields and on the trail. We have held numerous events on the property and in the barn such as full moon snowshoe and cocoa, fall festival and pumpkin toss, disc golf weekend, meetings and workshops. We consistently receive feedback about the potential this property has to further serve the public as a facility for use. Currently we are limited in our ability to expand use based on the physical condition of the barn itself.

In 2022, we identified \$249,600 in repairs necessary to address needed repairs to improve structural integrity, ensure a protective building envelope, and public safety. We were successful in securing funds through a combination of a Land Community Heritage Investment Program grant, a voter-approved warrant article and contribution from the Exeter Conservation Fund. Unfortunately, the post-pandemic building costs increased and we were not able to achieve all the repairs identified. We are seeking an additional \$76,200 to complete the remaining work. This includes clapboards and paint on the north and west sides, installation of an interior staircase, and fire alarm detection.

****NOTE:** We intend to apply for a \$20,000 Mooseplate Grant to offset a portion of those costs. The town request is contingent on receiving this grant.

A.	Clapboard & Paint (N/W sides)	\$ 47,500	
B.	Stairway to Basement	\$ 4,000	
C.	Fire Alarm Detection	\$ 12,000	
			\$63,500
	10% Contingency	\$ 6,350	
	10% Constr Cost (staging, dumpster)	\$ 6,350	
	Total Cost:		\$76,200

AS	FY24	FY25	FY26	FY27	FY28	FY29

Check all that apply

2024 - 2029 Source of Funding

GO Bond/Borrowing

Grants

Taxes

Water Fees

Sewer Fees

Impact Fees

Revolving Funds

Other _____

Project Benefits

Reduces Liability

Health or Safety

Reduces Long Term Debt

Other: _____ Building _____

" Annual Operating Impact "

Salaries & Wages:

Employees Benefits:

Expenses:

Other: _____

Total: _____

Estimated Project Cost: _____ \$0

Estimated Fiscal Capital Cost

\$0



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/16/2023

First Year Funding is Requested: **2024**

Project Title: Dispatch Console MCC 7500E

Project Type: Public Safety

Project Cost: \$281,000

Department: Police and Fire

Contact Name: Chief Stephan Poulin

Useful Life (Years): 10 years
Master Plan (Y/N): No
Growth Related (Y/N): Yes
Service Related (Y/N): Yes
Externally Mandated (Y/N): No



Project Description

The current Dispatch console is a MCC 5500 (10 years old) which has been discontinued and is no longer supported by Motorola for service. The new consoles are the MCC 7500E IP and provide full console interface with our radio network. They are IP based and allows dispatch to work fully off of one single interface with redundancy built in the Ethernet connections to ensure high availability of the systems. \$281,000 is the cost for a direct upgrade replacement of the console that we have including equipment and configuration. Should the opportunity arise to relocate into a new building, this console would be able to be moved without any issues.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$281,000			\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
			\$0	\$0	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	
Total:	_____
Estimated Project Cost:	_____
Estimated Fiscal Capital Cost	
\$281,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: 2027

Court Street Fire Station

Project Title: **Renovation and/or Construction
Design, Engineering & Construction**

Project Type: Municipal Facilities
Project Cost: TBD

Department: Fire
Contact Name: Chief Eric Wilking

Useful Life (Years): 50-100
Master Plan (Y/N): Yes
Growth Related (Y/N): Yes
Service Related (Y/N): Yes
Externally Mandated (Y/N): No



Project Description

1. General Project Description? Upon completion of the new Police Station/Fire Substation on Continental Drive, an updated space needs assessment and fire/ems operational survey will be conducted to determine the best use of the current public safety complex. Several different alternatives were discussed during the planning of the new police station/fire substation. They range from renovating the existing space used by both the police department and fire department to better support the fire/ems operations, renovating and building additional apparatus bays on the Bow St. side of the building, to totally razing the current structure and building new. A feasibility study and conducting public informational sessions to determine a preferred alternative will be key to the project's success. The cost of design, engineering, and construction will be determined at that time and discussed thoroughly. A likely timetable for this discussion could be in early 2026, with ample time for all committees and interested parties to weigh in and present the preferred alternative during the budget process for inclusion on the 2027 town warrant.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$0	TBD	\$0	\$0

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year					
			\$0	\$0	\$0

" Annual Operating Impact "

Salaries & Wages:
Employees Benefits:
Expenses:
Other:

Total: _____

Estimated Project Cost: _____

Estimated Fiscal Capital Cost

TBD



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

Year Funding is Requested: 2023-2028

Project Title: Park Improvement Fund

Project Type: Multiple

Project Cost: \$100,000.00

Department: Parks and Recreation

Contact Name: Greg Bisson

Useful Life (Years): 30

Master Plan (Y/N): Y

Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Project Description

The Park Improvement fund is important in the revitalization of our parks system. The following projects for 2024 would be examples of projects on the horizon that could be accomplished if funded. These projects were carried over from 2023 due to the high estimates and other projects that were deemed a higher priority due to safety and infrastructure deficiencies as well as timing. These projects all need to be completed but is subject to cost.

Project 1: Tennis Court Crack Repair: The courts continue to crack. This surface will be 20 years old in 2024. Repairing the cracks are just a patch until the full court rebuild is scheduled. A rebuild will be more than \$400,000, all the fence needs to be replaced at \$118,000 as well as the surface. Until then, Patching will maintain a safe playing surface. Estimate: \$25,000

Project 2: Irrigation of Park St Common- The last step in revitalizing Park St. An irrigation system will help develop a stronger With the playground planning on going adding irrigation to the park will create a healthy turf for the residents to enjoy. Estimates in 2023 came in high. Estimate:\$17,000

Project 3: Gilman Park baseball infield renovation- The infield at Gilman Park was not done correctly. The infield is a mix of loam and sand. We need to dig out the infield and replace the mix with something that drains better. Estimates in 2023 came in high. Estimate: \$14,000

Project 4: Water to Gilman Park-The water line was disconnected several years ago when the pump station was brought back on line. Unfortunately, This isn't an easy fix. A new line will need to be run from Bell Ave to a location in the green space where a water fountain once stood. This will be the first step in bringing water back into the park to provide drinking water and irrigation back into the park. Estimate: \$9,000

Project 5: Spray Pad repair- The spray pad is now 15 years old. It was the first municipal spray pad in the state of NH. Unfortunately, we have discovered several leaks causing us to lose water thus we had to shut off some elements. To make a proper repair, the site needs to be excavated to locate all the leaks. We will either need to abandon some elements or try to repair them. A new cement pad will need to be poured. Estimate: \$35,000

We have multiple park improvements not listed to accomplish in the parks due to the backlog of maintenance items. The items listed above are only a small fraction of the needed renovations and improvements.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

	FY24	FY25	FY26	FY27	FY28	FY29
	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
	\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	
Total:	\$ -
Estimated Project Cost:	
Estimated Fiscal Capital Cost	
	100,000



Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: **6/23/2023**

Project Title: Planet Playground Renovation

Project Type: Playground Renovation

Project Cost: \$595,000.00

Department: Parks and Recreation

Contact Name: Greg Bisson

First Year Funding is Requested: **2024**

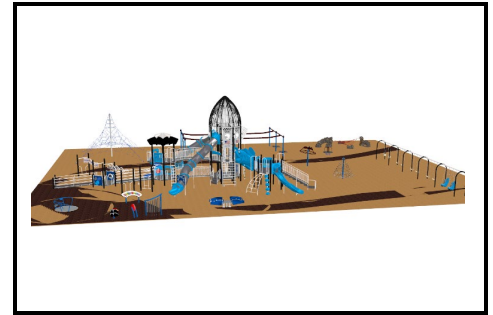
Useful Life (Years): 30

Master Plan (Y/N): Y

Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Project Description

Planet Playground is an iconic park in Exeter that has become the destination park for the community. The playground is 26 years old and needs to be replaced. We are currently working with the current landowner to come to an agreement on the purchase of the property. The town has submitted a letter of intent to apply for Land, and Water Conservation Funds to redevelop the area, LWCF is a 50% match. \$297,500 will be the match if the Town receives the grant. The location the current playground is an ideal location when looking at the flow of the park. This project would entail the removal of the entire structure and subsurface well as the construction of a new accessible playground. A survey was sent out in the spring of 2022. That data was then sent to all of the playground manufacturers' reps to create a design that would meet our goals of accessibility while providing ample playing opportunities for the residents of Exeter. Final voting on the design was select with keeping with a space theme. Miracle Playgrounds was the top choice. This would not move forward unless the town receives the LWCF grant.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$595,000					
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$595,000		\$0	\$0	\$0	\$0

" Annual Operating Impact "

Salaries & Wages:

Employees Benefits:

Expenses:

Other:

Total: \$ -

Estimated Project Cost: _____

Estimated Fiscal Capital Cost

595,000



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2027

Project Title: Drinkwater Rd Culvert Replacement

Project Type: Highway

Project Cost: TBD

Department: Public Works - Highway

Contact Name: Jay Perkins

Project Ranking: of

Useful Life (Years): 50

Master Plan (Y/N): NO

Growth Related (Y/N): YES

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

This project will evaluate mitigation strategies to reduce flood vulnerabilities along Drinkwater Rd and Prentiss Way due to an undersized stream crossing. During some storm events, the undersized infrastructure causes overtopping of Drinkwater Rd and flooding of upstream properties. Previous studies identified this as a flood hazard crossing: Climate Adaptation Plan for Exeter (CAPE), 2018 Hazard Mitigation Plan, and 2017 Climate Risk in the Seacoast Vulnerability Assessment. The CAPE study found that the Drinkwater stream crossing is inundated by 5-feet of water during the 100-YR storm event. The 2017 Climate Risk Vulnerability Assessment ranked this culvert with failing hydraulic rating for the 25-, 50-, and 100-YR storm events.

The Town had applied for the 2022 Critical Flood Risk Infrastructure Grant (CFRING) with the help of a consultant. The Town was not selected for the grant.

The costs from the CFRING application for a basis of design study have been carried forward at \$100,000. Design and construction costs for a future date are TBD.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
			\$100,000	TBD	TBD	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
<hr/>	
Total:	<u>TBD</u>
Estimated Project Cost:	<u>TBD</u>
<hr/>	
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: Great Bay Total Nitrogen General Permit

Project Type: Environmental

Project Cost: \$205,000

Department: Public Works - Highway & Sewer

Contact Name: Paul Vlasich

Project Ranking: _____ of _____

Useful Life (Years): 35

Master Plan (Y/N): NO

Growth Related (Y/N): YES

Service Related (Y/N): YES

Externally Mandated (Y/N): YES



Project Description

The Great Bay Total Nitrogen General Permit has been issued to NH communities with wastewater treatment facilities whose discharges reach Great Bay. The permit is for five years and includes an adaptive management process for possible nutrient reductions in non-point source (NPS) stormwater runoff. This voluntary NPS nitrogen reduction was included as a way to stem more stringent WWTF effluent restrictions at the end of the permit. The current request is for Year 4 of the permit.

The NPS adaptive management framework consists of five categories:

- Water Quality Monitoring
- Nitrogen Tracking
- Nitrogen Source Reduction Plan
- Threshold Study
- TMDL - Total Maximum Daily Load timeline development

The Town entered into an Intermunicipal Agreement with other Great Bay communities to partner in this adaptive management framework including cost sharing responsibilities. The Town submitted an adaptive management plan to EPA for the permit term in July 2021. These programs are anticipated to be funded partially through the capital improvement program, the highway stormwater budget and sewer budget. Although the permit is necessitated by wastewater discharges, the NPS stormwater discharge improvements are generally paid from the general fund.

Elements of the Adaptive Management Plan that are supported by the budget process include:

- Water Quality Monitoring, Nitrogen tracking, Threshold Study: Donations to Municipal Alliance from sewer budget
- Catch basin replacements - \$28,000/yr from general fund budget
- Land Use Regulation Review - In-house Planning Dept.

The Town is also the recipient of a 319 Watershed Assistance Grant to study a fertilizer program, incentivizing an advanced septic system program and BMP retrofit study.

Nitrogen source reduction efforts

- Advanced Septic System Program - \$90,000/yr starting in FY24 and continued in FY25
- Stormwater nutrient removal - ID & prioritize locations for treatment (similar to Winter St mitigation) - \$10,000/yr in FY24 & FY25
- Fertilizer reduction education programs - \$5,000 in FY24 only

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$105,000	\$100,000	TBD	TBD	TBD	TBD

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year

\$0	\$0	\$0	\$0	\$0	\$0
-----	-----	-----	-----	-----	-----

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "

FY 2024 - 2029

Salaries & Wages:	
Employees Benefits:	
Expenses:	\$205,000
Other:	
Total:	\$205,000

Estimated Project Cost: \$ 205,000

Estimated Fiscal Capital Cost

\$205,000



Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2027

Project Title: Green St Neighborhood Utility Reconstruction
Project Type: Utility Replacements
Project Cost: TBD

Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): N
Growth Related (Y/N): N
Service Related (Y/N): Y
Externally Mandated (Y/N): N

Department: Public Works - Engineering
Contact Name: Paul Vlasich



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

Where possible, the Public Works department prefers to replace several utilities at the same time in a street. For the purposes of this project, the Green St neighborhood consists of: Green St, Cass St, Dewey St and portions of both Park St and Summer St.

The watermains need to be replaced and upgraded as confirmed by a distribution flow analysis. The sewer and drain lines are in poor condition. The streets will be reconstructed after the utilities are replaced.

A consultant is currently quantifying and estimating the costs of this project. The costs will be updated as that information becomes available.

Designs are anticipated in FY27 with construction in FY28.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	TBD	TBD	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost:	TBD
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: Intersection Improvements Program

Project Type: Roads/Sidewalks

Project Cost: \$50,000

Department: Public Works - Highway

Contact Name: Jay Perkins

Project Ranking: _____ of _____

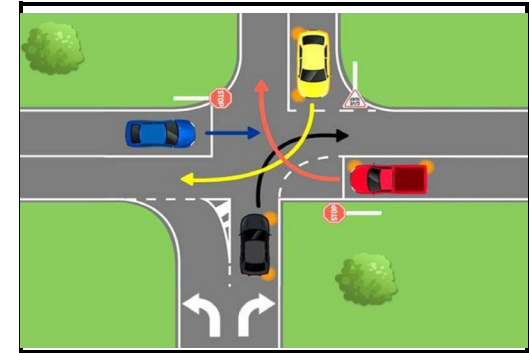
Useful Life (Years): 35

Master Plan (Y/N): YES

Growth Related (Y/N): YES

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Project Description

Phase 1 of the intersection study has been completed. The report can be found on the Town website. That study looked at four intersections evaluating traffic operations and safety concerns:

- Water Street at Front Street
- Front Street at Pine and Linden Streets
- Water Street at High, Clifford and Franklin Streets
- Winter Street at Railroad and Columbus Avenues

Another Phase II Intersection Study was funded in FY22 at \$50,000 which can evaluate several more intersections similar to the Phase I study. Phase II includes:

- Hampton Road and Guniea Road,
- Hampton Road and Holland Way,
- Hampton Road and Hampton Fall Rd (Rt 88),
- Brentwood Road and Dogtown Rd.

It is anticipated that the intersection improvement program will be an ongoing investigation. A Phase III study is proposed in FY25 and list to be determined.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$50,000	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$50,000
Other:	
Total:	\$50,000
Estimated Project Cost:	\$ 50,000
Estimated Fiscal Capital Cost	
\$50,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: Pickpocket Dam Modification
Project Type: Dam Modifications
Project Cost: TBD

Project Ranking: of
Useful Life (Years): 50
Master Plan (Y/N): NO
Growth Related (Y/N): NO
Service Related (Y/N): YES
Externally Mandated (Y/N): YES



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

A Letter of Deficiency (LOD) was issued to the Town in March 2011 by the NHDES Dam Bureau. The LOD required a breach analysis to be performed and submitted to the Bureau. In January 2018, the Town submitted the breach analysis and survey performed by consultants. In March 2018, the Dam Bureau reclassified the dam from low-hazard to high-hazard because of the downstream impacts that would result if the dam failed. The high-hazard classification now requires additional planning, analysis and dam modifications. In FY19 CIP, \$40,000 was approved for an update to the Emergency Action Plan (EAP) and to address breach analysis comments by NHDES. In FY20, \$110,000 was approved to begin the analysis work. However, because of COVID-19 projected impacts on town revenues the consultant contract had been delayed. The design storm event was developed and the dam cannot accommodate the river flows at this flow rate and still meet NHDES dam discharge capacity requirements. The Town was approved for a \$40,000 Coastal Resilience Grant and a \$100,000 Stormwater SRF grant. Town ARPA funds of \$185,000 will fully fund the feasibility study.

A Request for Action allowed for deadline extensions which are:

- 1- decision and dam modification application by June 2024, and
- 2- construction completed by Dec 2027.

The solution to the Pickpocket Dam modification is currently unknown and the feasibility study, which is currently underway, will determine possible course(s) of action. The draft Final Feasibility Report is anticipated in January 2024. The Final Report is expected in April 2024.

The FY24 request for \$50,000 is two-fold. First, these funds can be used to supplement any additional analysis that may come out of the feasibility study. The second reason is that grant funding will be sought for the design, permitting and construction of the approved modifications. Some funds can be used to compensate the consultants for exploring and applying for appropriate grants.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$50,000	TBD	TBD	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$50,000
Other:	
<hr/>	
Total:	<u>TBD</u>
Estimated Project Cost:	<u>TBD</u>
<hr/>	
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2027

Project Title: Portsmouth Ave. Reconstruction

Project Type: Roads/Sidewalks

Project Cost: \$5,285,000

Department: Public Works - Engineering

Contact Name: Paul Vlasich

Project Ranking: _____ of _____

Useful Life (Years): 25

Master Plan (Y/N): YES

Growth Related (Y/N): YES

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description: To correct drainage utility, traffic flow, signal, roadway, stormwater, sidewalk and streetscape deficiencies in Portsmouth Avenue. The project timing allows for the planning studies of bike lanes, complete streets and downtown circulation to occur prior to developing improvement concepts.

2. Rationale: The project extends from High St to the vicinity of the previous Provident Bank. Phase I included sewer and watermain improvements and was approved for construction in 2013. Water and sewer improvements were finished in 2014 and the pavement overlaid in 2015. The drain lines are in a state of deterioration and will be corrected in Phase II. Traffic flow will be improved by adjusting lane configurations and coordinating traffic signals throughout the corridor.

3. Cost Estimate: Phase II costs were established by a consultant in 2012. The phases were originally proposed to be concurrent. However, through the 2013 CIP process it was decided to delay Phase II for later years. The 2012 estimates are as shown and the costs were adjusted 3% annually. \$75,000 is recommended in FY27 to allow project development discussions to restart with stakeholders and to fine tune the draft plans and budgets that were prepared to date.

Phase II	2012 Estimate	2029 Projected
Drainage Improvements	\$ 525,000.00	\$ 870,000
Traffic Signals	\$ 100,000.00	\$ 275,000
Road and Sidewalk	\$ 1,945,000.00	\$ 3,220,000
Legal and Bonds	\$ -	\$ 20,000
Construction Admin & Inspection	\$ 265,000.00	\$ 525,000 (12% of construction cost)
Total	\$ 2,835,000.00	\$ 4,910,000
FY 28 - Design	\$ 300,000.00	

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	\$75,000	\$300,000	\$4,910,000	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$5,285,000
Other:	
Total:	\$5,285,000
Estimated Project Cost:	\$5,285,000
Estimated Fiscal Capital Cost	
\$5,285,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: School St Area Reconstruction
Project Type: Special Projects
Project Cost: \$6,510,000

Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): NO
Growth Related (Y/N): NO
Service Related (Y/N): YES
Externally Mandated (Y/N): NO



Check all that apply

2024- 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

This project includes Garfield St, Kossuth St, School St, and Union St (including former Garfield Ct) where water, sewer, drainage, roads, and sidewalks have all been identified as deficient. The water mains in this area are 4-inch and 6-inch cast iron (CI) which have insufficient capacity for fire flows which were identified in the 2015 asset management plan as being a high priority. The sewer mains are 8-inch and 10-inch vitrified clay pipe (VCP) in poor condition. The drainage system has been identified as being in poor condition with the potential for flooding. The roads and sidewalks in this neighborhood are inadequate size and in poor condition. SRF loan pre-applications have been submitted for the project. If selected, ARPA funds may be available.

A consultant provided the planning estimates and SRF pre-applications for the project. The pre-app includes both design and construction.

The project roughly replaces: 2,650 LF roadway, 2,800 LF watermain, 2,700 LF sewer main and 2,000 LF of drain lines.

FY24	Engineering Design and Permitting		
	Road, Sidewalk, Stormwater Design	\$	181,400
	Sewer Replacement Design	\$	213,400
	Water Replacement Design	\$	138,800
	<u>Subtotal</u>	\$	533,600
FY25	Roadway, Sidewalk, Stormwater construction	\$	1,814,300
	Sewer Construction	\$	2,134,300
	Water Construction	\$	1,387,500
	<u>Subtotal</u>	\$	5,336,100
	Construction Inspection/Administration		
	Road, Sidewalk, Stormwater	\$	217,700
	Sewer Replacement	\$	256,100
	Water Replacement	\$	166,500
	<u>Subtotal</u>	\$	640,300
FY24 Total		\$	5,976,400

Total Capital Cost by Fiscal Year						
	FY24	FY25	FY26	FY27	FY28	FY29
	\$ 533,600	\$ 5,976,400	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
	\$0	\$0	\$0	\$0	\$0	\$0

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$6,510,000
Other:	
Total:	<u> </u>
Estimated Project Cost:	<u>\$6,510,000</u>
Estimated Fiscal Capital Cost	
\$6,510,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: Ongoing

Project Title: Sidewalk Program

Project Type: Roads/Sidewalks

Project Cost: \$1,200,000

Department: Public Works - Highway

Contact Name: Jay Perkins

Project Ranking: _____ of _____

Useful Life (Years): 35

Master Plan (Y/N): YES

Growth Related (Y/N): NO

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

This asset management program identifies the level of funding needed to reconstruct and repair deteriorated sidewalks. The sidewalk network in town consists of about 32 miles of sidewalk and had little to no funding for years preceding 2014. The Department inventoried and inspected the sidewalks in 2011; approximately 27% of sidewalks were in good condition, 41% in fair condition, 27% in poor condition and 5% in very poor condition. A sidewalk management program was developed using these data and linked to the Town's GIS for infrastructure management. Future projects will be developed based on sidewalk condition, use and proximity to pedestrian-centric facilities and concurrent roadway paving projects. Sidewalk material will be concrete along arterial roadways within the urban compact areas and urban connectors; the remainder, and majority, will be asphalt.

The sidewalk annual expenditure of \$120,000 was developed in 2014. Using the current unit costs the annual expenditure needs to be increased to \$200,000/yr. This figure is good for the next four years assuming that construction inflation is less than 3% annually.

For more information, see the Sidewalk Presentation provided in 2014 at https://www.exeternh.gov/sites/default/files/fileattachments/public_works/page/14771/sw14_presentation_june_30.pdf

Following is a summary of recent sidewalk improvements funded via the Sidewalk Repair and Replacement Capital Reserve Fund (CRF), project specific warrant article or SB 38 (2017) additional Highway Block Grant allotment.

- 2014: \$80,000 added to Capital Reserve Fund (1st year established); High Street (from Great Bridge to Portsmouth Ave)
- 2015: \$580,000 Warrant Article for Water St (Great Bridge to Swasey Parkway) and Front St (Water St to Spring St) constructed 2016
- 2017: \$108,252 Warrant Article for Epping Rd, Spring St, Winter St NHDOT TAP Grant (Plan Dept managed, non CRF) construction 2020
- 2017: State issued \$254,066 in additional Highway Block Grant (SB 38); \$160,000 used for Lincoln St sidewalks in 2019; \$45,000 used for Sidewalk TAP project in 2020; current SB 38 balance \$49,066
- 2018: \$20,000 added to Capital Reserve Fund
- 2019: \$60,000 added to Capital Reserve Fund
- 2020: \$60,000 added to Capital Reserve Fund; current CRF balance \$145,000
- 2022 & 2023: \$296,000 proposed for Linden Street sidewalk (from Little River to Exeter River) will deplete CRF & SB 38 funds; and \$52,000 for Colonial Way and Heritage Way sidewalks will have to be paid for out of road paving budget.

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$1,200,000
Other:	
Total:	\$1,200,000
Estimated Project Cost:	\$ 1,200,000
Estimated Fiscal Capital Cost	
\$1,200,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: NA

Project Title: Storm Drain Rehabilitation Program

Project Type: Highway

Project Cost: \$0

Department: Public Works - Engineering

Contact Name: Paul Vlasich

Project Ranking: of

Useful Life (Years): 50

Master Plan (Y/N): YES

Growth Related (Y/N): NO

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Project Description

A storm drainage system replacement or rehabilitation program was identified as a need based on the asset management plan that was developed in December 2020.

Based on 2020 costs the average annual expenditure to renew the storm drainage system is \$1,213,000 per year. Annual expenditures will need to be adjusted as inflation and current pricing changes.

The rehabilitation funds are requested where there is not a large street project that includes drainage. As proposed in this year's 6-Year CIP plan, drain rehabilitations are adequately covered. This write-up is a place holder if future project scheduling has a gap in drainage improvements.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$0
Other:	
Total:	\$0
Estimated Project Cost:	\$0
Estimated Fiscal Capital Cost	
	\$0



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2028

Project Title: Tan Lane Drainage Improvements

Project Type: Highway

Project Cost: TBD

Department: Public Works - Highway

Contact Name: Jay Perkins

Project Ranking: of

Useful Life (Years): 50

Master Plan (Y/N): NO

Growth Related (Y/N): YES

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

Tan Ln has been subject to flooding for many years as a result of rainfall events. The covers of drainage manholes have been bolted down to keep them from being pushed off the manholes during storm events. The drainage system downstream from Tan Ln discharges into the Squamscott River, a tidal estuary. Tidal influence creates a backwater in the drainage system at rain events. The flooding at the low point in Tan Ln reaches a depth of 2-feet on occasion which impacts the Phillips Exeter Academy buildings. A previous 2006 Tan Lane Stormwater System Evaluation & Analysis Report had identified several improvements which the Town implemented. This study will build upon that study with the current and projected rainstorm events. The potential for reducing upstream stormwater flow contributions will also be evaluated.

The Town had applied for the 2022 Critical Flood Risk Infrastructure Grant (CFRING) with the help of a consultant. The Town was not selected for the grant. With the help of the same consultant, a Stormwater Clean Water SRF pre-application has been submitted.

The costs from the CFRING application for a basis of design study have been carried forward at \$100,000. Design and construction costs for a future date are TBD.

Total Capital Cost by Fiscal Year							
FY24	FY25	FY26	FY27	FY28	FY29		
\$0	\$0	\$0	\$0	\$100,000	TBD		
Operating Budget Impact by Fiscal Year							
Total Operating Expense (estimated) by Fiscal Year							
\$0	\$0	\$0	\$0	\$0	\$0		

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost:	<u>TBD</u>
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2026

Project Title: Washington St Improvements
Project Type: Highway / Sewer
Project Cost: \$2,480,000

Project Ranking: of
Useful Life (Years): 50
Master Plan (Y/N): NO
Growth Related (Y/N): NO
Service Related (Y/N): YES
Externally Mandated (Y/N): NO



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

The purpose of this project is to replace the poor condition sewer mains and to upgrade the roadway and sidewalks. The sewer asset management program has the age listed as at least 60 years old. Cracking and root intrusion are present in the old clay sewer. The clay piping will be replaced with new PVC and new precast manholes will be constructed to help eliminate I/I. Additionally, the drain lines will be checked for adequate capacities. The street acts as a collector type street because it links Front St (Rt 111) and Brentwood Rd (Rt 111A). Since the Columbus Ave / Brentwood Rd / Epping Rd was reconfigured, some residents of the street have complained about additional traffic and safety concerns. The street portion of this project will look at these issues including potential sidewalk improvements for the final road layout. The project will begin with design and neighborhood meetings in FY26 with construction to follow in FY27.

Estimate from consultant helping with a previous SRF pre-application:

FY 26 Design	<u>\$250,000</u>		
SF	\$95,000		
GF	\$155,000		
FY27 Construction	<u>\$2,055,000</u>	FY27 - Const. Admin and Inspection	<u>\$175,000</u>
SF	\$783,500	SF	\$66,500
GF	\$1,271,500	GF	\$108,500

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$250,000	\$2,230,000	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	\$0

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$2,480,000
Other:	
Total:	\$2,480,000
Estimated Project Cost:	<u>\$2,480,000</u>
Estimated Fiscal Capital Cost	
\$2,480,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Project Title: Water St Reconstruction
Project Type: Utility Reconstruction
Project Cost: \$7,005,000

Department: Public Works - Engineering
Contact Name: Paul Vlasich

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Ranking: of
Useful Life (Years): 50
Master Plan (Y/N): NO
Growth Related (Y/N): NO
Service Related (Y/N): YES
Externally Mandated (Y/N): NO



Project Description

The project limits are the northern end of Water Street from Main Street to Norris Brook. A watermain needs to be increased from a 6-inch main to 12-inch for approximately 2,400 LF. When hydrants are flowed on Newfields Rd, pressure and water flow is lost in the neighborhood. The drain lines are undersized and in poor condition for approximately 2,300 LF. The sewer lines are in poor condition, except for those in the immediate location of the Housing Authority complex. It's anticipated that the 12-inch sewer mains will be replaced (600 LF) and that the larger mains can be re-lined (900 LF). The sidewalks will be replaced along with the roadway. There are several areas where groundwater and runoff enters the roadway will need to be mitigated.

A consultant provided the planning estimates in FY22. A FY24 SRF pre-application for a planning grant was submitted in the amount of \$100,000. Design is anticipated in FY25 and construction in FY26.

FY24	Project Planning		\$	100,000
FY25	Engineering Design and Permitting			
	Road, Sidewalk, Stormwater Design	\$	300,000	
	Sewer Replacement Design	\$	150,000	
	Water Replacement Design	\$	150,000	
	Subtotal		\$	600,000
FY26	Roadway, Sidewalk, Stormwater construction	\$	2,890,000	
	Sewer Construction	\$	1,305,000	
	Water Construction	\$	1,510,000	
	Subtotal		\$	5,705,000
	Construction Inspection/Administration			
	Road, Sidewalk, Stormwater	\$	300,000	
	Sewer Replacement	\$	150,000	
	Water Replacement	\$	150,000	
	Subtotal		\$	600,000
	FY26 Total		\$	6,305,000
	FY 24, 25 & 26 Project Total		\$	7,005,000

Check all that apply

2024- 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$7,005,000
Other:	
Total: \$7,005,000	
Estimated Project Cost: <u>\$7,005,000</u>	
Estimated Fiscal Capital Cost	
\$7,005,000	

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$100,000	\$600,000	\$6,305,000	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2028

Project Title: Waterfront Seawall
Project Type: Special Projects
Project Cost: TBD

Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): N
Growth Related (Y/N): N
Service Related (Y/N): N
Externally Mandated (Y/N): N

Department: Public Works - Maintenance
Contact Name: Jeff Beck



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General project description:

The construction of a granite seawall, with sidewalk, to form a full length walkway along the Squamscott River from Stewart Park to the end of the wooden "Riverwalk". The new seawall will provide the ability to expand waterfront access for recreation. Similar seawall construction at Stewart Park consists of dry laid granite blocks with brick walkway, and landscaping in keeping with the original waterfront construction as seen at String Bridge, and along the roadway behind the Water Street stores. The new granite seawall will replace the wooden walkway known as the "Riverwalk". The 1990's era wooden walkway is in deteriorated condition with worn uneven deck planks and checked and cupped railings. The wood walkway construction is approaching the end of useful lifespan of 25 years and will eventually need a full replacement if current use is to continue. The cost of replacement of the wooden walkway is yet to be determined and will include disposal, permitting, design submittals, and construction. The lifespan will remain at 25 years for a new replacement wood structure. Due to the short lifespan it is recommended that the investment in a granite seawall, with an indefinite lifespan, and full riverfront access will bring opportunities that do not exist with the wooden structure. A granite wall with either brick or concrete sidewalk with costs yet to be determined. The distance from Stewart Park to the String Bridge (southeasterly) end of the wooden walkway is 500 feet. Additional costs will include wetlands survey, engineering, and permitting.

2. Rationale:

Recent inspections have determined the wooden walkway planks and handrails can be spot repaired to extend the useful life of the structure for several years. The wooden structure will be evaluated annually to determine if spot repair or replacement is recommended.

3. Budget Impact:

To be determined in the next couple of years, the wooden boardwalk will be upgraded with plank or rail replacements as necessary. Complete replacement is scheduled for FY28 when the rip-rap shoreline may be replaced with granite or similar blocks.

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$0	\$0	TBD	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost:	TBD
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: Clemson Lagoon

Project Type: Utility - Sewer

Project Cost: \$125,750

Department: Public Works - Water Sewer

Contact Name: Steve Dalton

Project Ranking: _____ of _____

Useful Life (Years): 10

Master Plan (Y/N): N

Growth Related (Y/N): N

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Project Description

Due to combined sewer overflow discharges into Clemson Pond during heavy rain events, a large mass has formed in front of the two 36" CSO barrels. Also, the CSO siphon barrels are the same vintage as the two 8" siphon barrels that have been identified as failing. The project consists of two parts:

Remove/displace the large mass of vegetation and sediment that is almost completely blocking the two 36" CSO barrels. (\$57,000) .

Clean, dewater, and inspect the two 36" CSO siphon barrels. (\$68,750)

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$125,750	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$125,750
Other:	
Total:	\$125,750
Estimated Project Cost:	\$125,750
Estimated Fiscal Capital Cost	
	\$125,750



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2026

Project Title: Court St Pump Station

Project Type:

Project Cost: TBD

Department: Public Works - Water Sewer

Contact Name: Steve Dalton

Project Ranking: _____ of _____

Useful Life (Years):

Master Plan (Y/N):

Growth Related (Y/N):

Service Related (Y/N):

Externally Mandated (Y/N):

50
N
Y
Y
N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

The Court Street sewage pump station pumps sewage from the Linden and Court Street areas to the higher elevation gravity sewers located on High Street and the Pine Street and Court Street intersection. The station pumps use an older 6 inch 870 foot long force main (FM) to Pine Street and a newer 5,000 foot long 10 inch FM to the High Street and Gilman Lane manhole. During the April 2017 High Street sewer collapse, the 6 inch FM was used versus the regularly used 10 inch FM. This was very beneficial as it reduced the sanitary sewer overflow (SSO) at Gilman Lane, and the sewage volume pumped to the damaged High Street gravity sewer. However, the older 6 inch pipe was very restrictive and the three pumps strained to keep up with flow due to the restricted 6 inch size with a SSO nearly occurring. This proposed project would increase the FM size to Pine Street to either 8 inches or 10 inches. A process known as pipe bursting could be used to enlarge the existing line in place, or a new 8 inch or 10 inch directional bored pipeline could be installed. The 10 inch directional bore option, while more costly, is preferable as it entails less risk than pipe bursting and provides a desirable larger diameter FM pipe. Recent sewage collection system events, such as the High Street sewer collapse, have shown that proactive upgrades of infrastructure are less costly than reactive projects.

In addition to the force main upgrades, new pumps have been approved to be installed in 2023 due to the original pumps having exhausted their useful life. Parts were no longer readily available, and new parts had to be built and machined from scratch. The installation of the new pumps will give the Town some time to get a better understanding of how the \$2,000,000 grant that the Exeter River Co-op received to make necessary improvements to their private sewer infrastructure, will affect the incoming flows to Court St Pump Station.

2026- \$500,000 for design of forcemains, building upgrades, electrical upgrades, and other necessary appurtances.

2027- Funds TBD for construction.

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$500,000	TBD	\$0	\$0

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year

\$0	\$0	\$0	\$0	\$0	\$0
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FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost: <u>TBD</u>	
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: Septage Receiving Facility
Project Type: Utility - Sewer
Project Cost: \$675,000

Department: Public Works - Water Sewer
Contact Name: Steve Dalton

Project Ranking: _____ of _____
Useful Life (Years): _____
Master Plan (Y/N): _____
Growth Related (Y/N): _____
Service Related (Y/N): _____
Externally Mandated (Y/N): _____

50
N
Y
Y
N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

In 2020, upgrades were completed to the wastewater treatment facility which allowed the facility to receive septage. Through these upgrades, the existing Grit Building was converted to the Septage Receiving Building. The upgrades in 2020 were designed with the assumption for a future upgrade to install a septage receiving unit (SRU) to improve information tracking and dewatering. Due to a recent requirement from the Department of Labor to improve safety, this project is the installation of equipment that will make the process more automated, safer, and allow the wastewater operators to perform other required tasks at the facility as well as provide accurate accounting of the septage received.

The estimated total cost of the project is \$880,000. The design phase began in 2022 with \$155,000 that was encumbered to complete the design of this project. The cost of this upgrade will be recovered with the revenue generated from the septage haulers.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$675,000	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$675,000
Other:	
Total:	\$675,000
Estimated Project Cost:	\$675,000
Estimated Fiscal Capital Cost	
\$675,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Project Title: Sewer Capacity Rehabilitation-Phase I
Project Type: Utilities: Sewer
Project Cost: 2023-Design High St & Cross Country Sewer Main Upgrades
 2024- Construction; 2025-TBD
Department: Department of Public Works
Contact Name: Paul Vlasich

Date Submitted: 6/23/2023
Year Funding is Requested: 2024
Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): N
Growth Related (Y/N): Y
Service Related (Y/N): Y
Externally Mandated (Y/N): N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

Description: There are 12,525 feet of cross country gravity sewer main that cross through the woods from Phinney Lane to High Street at the Gilman Lane Intersection which are difficult to access and maintain. The overall project consists of permitting in areas of wetlands, temporary matting/dunnage installation for remote access to the pipe and manhole locations, cleaning and inspection of the pipe conditions, relining and rehabilitating sewer mains and manholes, and installing new sewer mains where necessary. In 2021, a capacity issue was identified on High St and the Cross Country sewer main on Gilman Lane. The project involves installing 550 linear feet of 24" PVC sewer main in High St, installing 2,100 linear feet of 18" PVC sewer main in Gilman Lane, and relining 2,500 linear feet of the cross country sewer main up to Drinkwater Road.

Rationale: The Town needs to make sure there is proper capacity and structural integrity to the sewer mains that are difficult to clean, inspect and repair. Expansion requests from commercial properties on the East Side of Exeter have been received. We have confirmed capacity and conditions of infrastructure in this area, and are still considering granting expansions. The Town needs to continue developing plans with consulting assistance for permitting, coordination, rehabilitation, new installation. To gain capacity through relining and rehab, the projects would be geared toward reducing any Inflow and Infiltration (I & I), or through manhole rehabilitation. If additional capacity is necessary more than rehabilitation can provide, then a new sewer main will need to be designed and constructed.

In 2021, verification of the sewer capacities within the actual sewer mains was completed at the locations called out in the interim study. The study identified capacity issues at the High St and Gilman Ln intersection, and the downstream sewer main flowing towards Great Bridge. A manhole that accepts flows from the cross country sewer main referenced above, the forcemain from Court St Pump Station, and the partial sewer flow from the East Side of Town is under capacity, and the downstream sewer main is under capacity.

Costs:

Design Engineering	= \$380,000 (Approved and underway in 2023)
Construction Engineering	= \$410,000
Construction	= \$2,450,000
Contingency	= \$560,000

A FY24 CWSRF pre-application has been prepared for \$3,420,000. Phase II-TBD; the next project will be determined after the continued sewer capacity evaluation is completed.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$3,420,000	TBD	TBD	TBD	TBD	TBD	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY 24	
Salaries & Wages:	\$0
Employees Benefits:	\$0
Expenses:	\$3,420,000
Other:	\$0
Total:	\$3,420,000
Estimated Project Cost: <u>TBD</u>	
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2026

Project Title: Sewer Main Rehabilitation Program

Project Type: Utilities: Sewer

Project Cost: \$1,284,000

Department: Public Works - Engineering

Contact Name: Paul Vlasich

Project Ranking: _____ of _____

Useful Life (Years): 50

Master Plan (Y/N): YES

Growth Related (Y/N): NO

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Project Description

A sewer line replacement or rehabilitation program was established in FY10.

A sanitary sewer asset management plan was developed in Dec 2020.

Based on 2020 costs the average annual expenditure to renew the sewer mains is \$1,284,000 per year.

Inflation or future costs will need to be applied to the 2020 calculated annual expenditure for up to date expenditures in that year.

The rehabilitation funds are requested where and when there is not a large street project that includes sewer replacement.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	\$0	\$0	\$1,284,000	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$1,284,000
Other:	
Total:	\$1,284,000
Estimated Project Cost:	\$1,284,000
Estimated Fiscal Capital Cost	
\$1,284,000	



Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: **WWTF Effluent Flume**
 Project Type: Utility - Sewer
 Project Cost: \$192,000

Project Ranking: _____ of _____
 Useful Life (Years): 50
 Master Plan (Y/N): N
 Growth Related (Y/N): N
 Service Related (Y/N): Y
 Externally Mandated (Y/N): N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

The effluent flume and disinfection structures of the new wastewater treatment facility are the original structures from the old wastewater treatment facility. The concrete was etched by Williamson Pump in 2020 to apply SprayRoq coating. The coating did not adhere and the concrete has been left with deep etch marks that provide more area for bacteria to grow. This project would remove the etching, repair the concrete, and apply a coating that will adhere. The effluent flume is where the permit required bacteria sample is taken and should be as clean and smooth as possible in order to help stay in compliance with NHDES and EPA.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$192,000	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$192,000
Other:	
Total:	\$192,000
Estimated Project Cost:	\$192,000
Estimated Fiscal Capital Cost	
\$192,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Project Title: WWTF Upgrades Phase I
Project Type: Utilities: Sewer
Project Cost: 2027-design, engineering construction
 \$2,750,000
Department: Department of Public Works
Contact Name: Steve Dalton

Date Submitted: 6/23/2023
Year Funding is Requested: 2027
Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): N
Growth Related (Y/N): Y
Service Related (Y/N): Y
Externally Mandated (Y/N): N



Project Description

Description: This project would be to install a new biosolids drying unit to reduce the amount of water within the biosolids that are hauled off site to a landfill or other sludge processing location. Currently the sludge that is hauled off site has an approximate 20-25% solids content (75%-80% water) and cost approximately \$300,000 to remove in 2022. By drying the sludge, it reduces the water weight and the material that is trucked reaches up to a 80% solids content (20% water). Drying the sludge also expands the usefulness of the biosolids so it can be hauled to more locations and would also reduce the disposal charges by 50-60%. Using 2022 disposal fees that would be a \$150,000 - \$180,000 savings per year for disposal.

Rationale:

Costs: Design, Engineering, Constuction
 Design = \$200,000
 Engineering Services = \$100,000
 Construction = \$2,000,000
 Contingency = \$450,000

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$0	\$200,000	\$2,550,000	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
FY 27	
Salaries & Wages:	\$0
Employees Benefits:	\$0
Expenses:	\$2,750,000
Other:	\$0
Total:	\$2,750,000
Estimated Project Cost:	\$2,750,000
Estimated Fiscal Capital Cost	
\$2,750,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2024

Project Title: Webster Pumpstation

Project Type: Utilities: Sewer

Project Cost: \$884,000

Department: Public Works - Engineering

Contact Name: Paul Vlasich

Project Ranking: _____ of _____

Useful Life (Years): 50

Master Plan (Y/N): N

Growth Related (Y/N): Y

Service Related (Y/N): Y

Externally Mandated (Y/N): N



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

Description:

The Webster Avenue sewer pump station pumps sewage from the Portsmouth Avenue sewer-shed over Jady Hill to the sewer collection system to the siphons under the Squamscott River which in turn flow to the Main Pump Station on Water Street.

In FY22 the design of the this pump station up grade was approved for \$5,700,000. This cost was offset with a \$1,050,000 Congressionally Directed Spending grant, \$1,395,000 in State ARPA funds and \$325,500 in principal forgiveness through the Clean Water State Revolving Fund.

The consultants have estimated that an additional \$884,000 beyond the currently available funding, will be required to construct the project. The project design is underway and construction is expected in 2024.

An CWSRF amendment may be a way of financing the additional required funding. However, town approval would be required for this amendment.

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$884,000	\$0	\$0	\$0	\$0	\$0

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$0	\$0	\$0	\$0

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$884,000
Other:	
Total:	\$884,000

Estimated Project Cost: \$884,000

Estimated Fiscal Capital Cost

\$884,000



Town of Exeter, New Hampshire

2024-2029 CIP Project Request Form

Project Title: New Groundwater Source Development
Project Type: Utilities: Water
Project Cost: \$5,000,000

Department: Department of Public Works
Contact Name: Steve Dalton

Date Submitted: 6/23/2023
Year Funding is Requested: 2025
Project Ranking: _____ of _____
Useful Life (Years): 50
Master Plan (Y/N): N
Growth Related (Y/N): Y
Service Related (Y/N): Y
Externally Mandated (Y/N): N



Project Description

Rationale: Additional groundwater sources are necessary to supplement the existing three groundwater sources (Stadium, Gilman and Lary Lane Wells) and the surface water sources (Exeter River & Exeter Reservoir) in accordance with the Town's Integrated Management Plan for water supply and to meet projected demands. The existing groundwater sources were developed in the 1950's and 1960's and are treated for iron, manganese and arsenic removal at the Lary Lane Groundwater Treatment Plant (GWTP) constructed in 2015, which has a capacity of 1.6 million gallons per day (MGD). Testing of the three existing wells in 2020 has indicated a total sustainable capacity of about 1 MGD, which is significantly less than originally projected. New groundwater supplies will allow more flexible rotation of the wells, allowing rest and recovery of all wells. If treatment is required, they can be piped to the GWTP to use the available capacity which the Town has already invested in. This will reduce the volume of water which must be treated at the Surface Water Treatment Plant which has a higher per-gallon treatment cost. Hydrogeologists and engineers working for the Town have identified 3 groundwater development zones where geophysical testing has been done, and where test well work will be conducted in 2020-2021 to identify the most favorable option to pursue. A site has been selected for further test drilling, and the next steps include well development and testing, permitting, production well installation, design and construction of a pumping station, access, electrical extension and piping to connect it to the existing system.

The project, which began with initial identification and evaluation of GW development zones in 2019, then geophysical and test well investigations in 2020-2021, will be phased from 2021 to 2025 as follows:

- 2021 – Additional test well work and preliminary pump testing, preliminary hydrogeological report and production well drilling. **PASSED; Done**
- 2022 – Safe yield, water quality testing, extended pump testing, environmental assessments and submission of final hydrogeological report.
- 2023-2025 – Land acquisition and design of all required infrastructure, Construction of access road, electrical, pump station and water main connections, rehabilitation of Lary Lane Well and building

Project Cost:
 Budget estimates were prepared by hydrogeologic and engineering consultant team of Underwood Engineers and Emery & Garrett/GZA.

Item Cost:

Well development, testing, env. assessments, permitting & installation -	\$1,000,000	approved in March 2021
Continue efforts to develop groundwater sources-	\$500,000	approved in March 2023
Pump station, access, electrical, sitework, water main to ex. system* -	\$4,550,000*	
Lary Lane Rehabilitation	\$450,000	
Total-	\$6,500,000	

*Includes engineering and contingencies. To be conservative, costs are based on most distant potential well site in highest priority zone being pumped to Lary Lane GWTP. Actual costs will depend on the well location(s) and level of treatment required.

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$5,000,000	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

Check all that apply
2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "	
FY 25	
Salaries & Wages:	\$0
Employees Benefits:	\$0
Expenses:	\$5,000,000
Other:	\$0
Total:	\$5,000,000
Estimated Project Cost:	\$5,000,000
Estimated Fiscal Capital Cost	
\$5,000,000	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: River Raw Water Transmission Cleaning
Project Type: Utility - Water
Project Cost: TBD

Project Ranking: _____ of _____
Useful Life (Years): _____
Master Plan (Y/N): _____
Growth Related (Y/N): _____
Service Related (Y/N): _____
Externally Mandated (Y/N): _____



?
N
N
Y
N

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description
 Clean and inspect the 12" asbestos concrete (ac) water transmission line that conveys the raw (untreated) water from the River Pump Station on Gilman Lane to the Surface Water Treatment Plant located at 109 Portsmouth Ave, approximately 1.1 miles away. This will determine the lines remaining useful life.
 The water line was installed circa 1920 and there are no records of cleaning or maintenance. This water line provides the majority of the water that is treated and used as potable water during the spring through fall seasons and is a critical piece of infrastructure.
 The project cost is to be determined, however it is expected to be well above the \$30,000 threshold for CIP.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	TBD	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	TBD
Other:	
Total:	TBD
Estimated Project Cost:	TBD
Estimated Fiscal Capital Cost	
TBD	



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2026

Project Title: Watermain Rehabilitation Program

Project Type: Utilities: Water

Project Cost: \$3,460,000

Department: Public Works - Engineering

Contact Name: Paul Vlasich

Project Ranking: _____ of _____

Useful Life (Years): 50

Master Plan (Y/N): YES

Growth Related (Y/N): NO

Service Related (Y/N): YES

Externally Mandated (Y/N): NO



Project Description

A watermain replacement or rehabilitation program was established in FY10.

In May 2015, a Public Water System Asset Management Plan was prepared with the help of a NHDES grant. The following is an excerpt from Section 6.1 Recommendations and Conclusions section (page 44) of that report.

"Replacement of 1% of a system each year (a 100-YR replacement cycle) is a reasonable guideline, based on industry experience and analysis, for water systems that have historically maintained a regular replacement schedule. Although the Town has recently adopted a regular water main replacement program, a large backlog of work remains due to a historical lapse in regular replacement. In this case it is not unreasonable to expect replacement of up to 2% of the system per year. This would equate to approximately 6,900 linear feet of water main replacement each year as a guideline. Regular rehabilitation of water mains reduces main failures, leakage, and water quality issues."

2% annual = 6,900LF x \$335/LF (avg) = \$2,312,000

1.5% annual = \$1,734,000

1% annual = \$1,156,000

Please note that these suggested expenditures have not been adjusted for construction inflation since the 2015 guidelines. Any future year funding scenario will need to adjust the 2015 guideline costs by inflation to that future year's cost.

The department suggests less than a 2% annual replacement program because of the large costs involved. The CIP is populated with the 1.5% annual replacement program using the financial figures established in 2015. This program is proposed when and where a complete street utility project is not proposed.

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$0	\$0	\$0	\$1,730,000	\$0	\$1,730,000	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

FY 2024 - 2029	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$3,460,000
Other:	
<hr/>	
Total:	<u> </u>
Estimated Project Cost:	<u>\$3,460,000</u>
<hr/>	
Estimated Fiscal Capital Cost	
\$3,460,000	

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Town of Exeter Vehicle Replacement Guidelines

Department: Vehicle Name or Number: Vehicle Registration: VIN #	Fire						Date:	6/1/2023
	Ambulance 2						Fuel Type:	Unleaded
	G10485							
	1FDXE4FSXKDC41426							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Medium Trucks 1-Tons & Ambulances	6 or 100,000	5	12	3	2	1	3	26
Age: 1 point for each year of chronological age, based on in-service date		2019						
Miles/Hours: 1 point for each 10,000 miles or 750 hours			38,510					
EVT conversion from engine hours to miles is 33 mph		3,615	119,295					
Type of Service: 1, 3, or 5 points are assigned based on type of service								
1 point for Department Heads & Commuter use								
3 points for medium duty, ambulances, parks & rec, service vehicles								
5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair								
1 point for a vehicle in the shop once every 3 months for Preventive Maint								
2 points for a vehicle in the shop once every 2 or 3 months								
3 points for a vehicle in the shop each month for repairs								
4 points for a vehicle in the shop twice a month for repairs								
5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs								
1 point for maintenance & repair costs less than 20% of original purchase cost								
2 points for maintenance & repair costs totalling 20-40% of original purchase cost								
3 points for maintenance & repair costs totalling 40-60% of original purchase cost								
4 points for maintenance & repair costs totalling 60-80% of original purchase cost								
5 points for maintenance & repair costs totalling 80-100% of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: **2024**

Project Title: Car 1 Replacement
Project Type: Vehicles & Heavy Equipment
Project Cost: \$60,606

Useful Life (Years): 10
Master Plan (Y/N): No
Growth Related (Y/N): No
Service Related (Y/N): Yes
Externally Mandated (Y/N): No

Department: Fire
Contact Name: Chief Eric Wilking



Project Description

1. General Project Description? Replace a 2014 Ford Explorer with a new Hybrid Ford Explorer. We have explored the use of electric and/or hybrid vehicles and believe the vehicle that serves as Department Head Transportation, command & control at emergency incidents, and is occasionally used to move personnel and equipment to emergencies, practical training exercises and classes, is an ideal candidate for an hybrid vehicle replacement. The new vehicle will be large enough to fit 4 personnel with all associated protective equipment & turnout gear.

2. Rationale? The 10 year old vehicle will is become more difficult to predict service & maintenance needs. **This vehicle currently receives a Mercury Fleet Study score of 28, which indicates "Qualifies for Replacement" with 2,886 engine hours and equivalent road mileage of 95,238.** With any older vehicle unexpected costs in addition to routine maintenance always has the potential to be higher than budgeted in the operating portion of the budget.

3. Operating Budget Impact? A new hybrid vehicle will reduce operating costs, fuel consumption and provide for a more sustainable future for the Town of Exeter. Vehicle, Hybrid Ford Explorer - \$46,147; Radio - \$7,146, Lights/Siren \$7,313.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$60,606					
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0					

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	_____
Total:	_____
Estimated Project Cost:	_____
Estimated Fiscal Capital Cost	
\$60,606	

Town of Exeter Vehicle Replacement Guidelines

Department: Vehicle Name or Number: Vehicle Registration: VIN #	Fire						Date:	6/1/2023
	Car 1						Fuel Type:	Unleaded
	G18218							
	1FM5K8ARXEGA09326							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	10 or 100,000	10	10	1	2	2	3	28
Age: 1 point for each year of chronological age, based on in-service date		2014						
Miles/Hours: 1 point for each 10,000 miles or 750 hours EVT conversion from engine hours to miles is 33 mph		2,886	67,765 95,238					
Type of Service: 1, 3, or 5 points are assigned based on type of service 1 point for Department Heads & Commuter use 3 points for medium duty, ambulances, parks & rec, service vehicles 5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair 1 point for a vehicle in the shop once every 3 months for Preventive Maint 2 points for a vehicle in the shop once every 2 or 3 months 3 points for a vehicle in the shop each month for repairs 4 points for a vehicle in the shop twice a month for repairs 5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs 1 point for maintenance & repair costs less than 20% of original purchase cost 2 points for maintenance & repair costs totalling 20-40% of original purchase cost 3 points for maintenance & repair costs totalling 40-60% of original purchase cost 4 points for maintenance & repair costs totalling 60-80% of original purchase cost 5 points for maintenance & repair costs totalling 80-100% or greater of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: 2028

Project Title: Car 4 Replacement
Project Type: Vehicles & Heavy Equipment
Project Cost: \$60,805

Useful Life (Years): 10
Master Plan (Y/N): No
Growth Related (Y/N): No
Service Related (Y/N): Yes
Externally Mandated (Y/N): No

Department: Fire
Contact Name: Chief Eric Wilking



Project Description

1. General Project Description? Replace a 2018 Ford F250 Pickup, with a new F250 pick-up. The current vehicle currently serves as the command post at emergency incidents and is used to move personnel to emergencies, practical training exercises and classes. The new vehicle will be large enough to fit 4 personnel with all associated protective equipment & turnout gear, and serve as a command post at emergency scenes.

2. Rationale? With increased awareness of cancer and the known carcinogens associated with fire and our turnout gear, the enclosed bed of a pickup truck helps reduce the likely contamination of the interior of an SUV style vehicle. A pickup truck style vehicle is far more versatile and could be used for many different assignments while still being available for use as a command vehicle at emergency incidents.

3. Operating Budget Impact? The 10 year old vehicle will become more difficult to predict service & maintenance needs. The vehicle currently receives a **This vehicle currently receives a Mercury Fleet Study score of 16, which indicates "Excellent Condition" with 1,030 engine hours and equivalent road mileage of 33,990.** With any older vehicle unexpected costs in addition to routine maintenance always has the potential to be higher than budgeted in the operating portion of the budget. A new vehicle has the potential of reducing the operating budget while the new vehicle warranty is in effect and reduced maintenance costs with a new vehicle should be realized. Vehicle, F250 Pick-up - \$37,320; Cap with lighting \$5,328; Emergency Lights/Siren \$9,156; Radio \$7,146; Lettering \$1,855

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
				\$60,805	
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0					

" Annual Operating Impact "

Salaries & Wages:
 Employees Benefits:
 Expenses:
 Other: _____
 Total: _____
 Estimated Project Cost: _____

Estimated Fiscal Capital Cost

\$60,805

Town of Exeter Vehicle Replacement Guidelines

Department:	Fire						Date:	6/1/2023
Vehicle Name or Number:	Car 4						Fuel Type:	Unleaded
Vehicle Registration:	G20056							
VIN #	1FT7X2B64KEC69650							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	10 or 100,000	6	3	3	1	1	2	16
Age: 1 point for each year of chronological age, based on in-service date		2018						
Miles/Hours: 1 point for each 10,000 miles or 750 hours EVT conversion from engine hours to miles is 33 mph		1030	20,453 33,990					
Type of Service: 1, 3, or 5 points are assigned based on type of service 1 point for Department Heads & Commuter use 3 points for medium duty, ambulances, parks & rec, service vehicles 5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair 1 point for a vehicle in the shop once every 3 months for Preventive Maint 2 points for a vehicle in the shop once every 2 or 3 months 3 points for a vehicle in the shop each month for repairs 4 points for a vehicle in the shop twice a month for repairs 5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs 1 point for maintenance & repair costs less than 20% of original purchase cost 2 points for maintenance & repair costs totalling 20-40% of original purchase cost 3 points for maintenance & repair costs totalling 40-60% of original purchase cost 4 points for maintenance & repair costs totalling 60-80% of original purchase cost 5 points for maintenance & repair costs totalling 80-100% of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/16/2023

First Year Funding is Requested: **2025**

Project Title: Crime Scene Van Ford E-Transit Cargo

Project Type: Public Safety

Project Cost: \$60,000

Department: Police

Contact Name: Chief Stephan Poulin

Useful Life (Years): 10 years

Master Plan (Y/N): No

Growth Related (Y/N): Yes

Service Related (Y/N): Yes

Externally Mandated (Y/N): No



Project Description

The prior Crime Scene Unit was beyond its life expectancy as it also was previously an Exeter Ambulance. It suffered from rust/rot and mechanical issues and was traded to McFarland Ford several years ago. Currently, we are utilizing cramped storage areas in the sally port and in remote locations for our crime scene materials. This is not adequate for detectives to be fully prepared in responding to crime scenes and to have all of their processing needs quickly deployed. Crime scene processing materials include large items such as canopies and other physical barriers in addition to the evidence collection materials. The Exeter Police needs a replacement van that will be more practical for housing and storing our crime scene materials and equipment. The estimated \$60,000 for a Ford E350 Transit Cargo van will include outfitting.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$60,000	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
			\$0	\$0	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	
Total:	_____
Estimated Project Cost:	_____
Estimated Fiscal Capital Cost	
\$60,000	

NO POINTS PAGE PROVIDED



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: 2027

Project Title: Engine 3 Replacement
Project Type: Vehicles & Heavy Equipment
Project Cost: \$715,000

Department: Fire
Contact Name: Chief Eric Wilking

Useful Life (Years): 15/20
Master Plan (Y/N): No
Growth Related (Y/N): No
Service Related (Y/N): Yes
Externally Mandated (Y/N): No



Project Description

1. General Project Description? Replace the 2007 Crimson Pumper (Engine 3) with a new 1500 GPM engine.

2. Rationale? This vehicle was placed in service in April, 2007. The cost of the engine in 2007 was \$420,189. Nearly \$100,000 has been spent on the engine since 2007. **This vehicle currently receives a Mercury Fleet Study score of 42, which indicates "Needs Immediate Consideration" with 3,360 engine hours and equivalent road mileage of 110,880.** This vehicle is in service today. The vehicle has already had corrosion repairs and re-paint in 2015, and is starting to show more signs of electrical system and HVAC. The recent CPSM study recommends the EFD consider, budget permitting, a change to a 15-year replacement schedule for engine apparatus, with an additional 5 years of service in "reserve". Apparatus over 15 years of age often include only a few of the safety upgrades required by the most recent editions of NFPA 1901 (NFPA 1901 is generally updated every five years).

3. Operating Budget Impact? A new vehicle would likely reduce the operating budget as new vehicle warranties and reduced maintenance costs would be realized. Improvements in vehicle engines and emissions have reduced fuel consumption as compared with existing older vehicles. We would recommend a 5 year lease/purchase as with previous engines to keep a level debt service, and follow the CPSM recommended 15 years replacement schedule with an additional 5 years of service in "Reserve Status" for engine/pumpers.

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
			\$715,000		

Operating Budget Impact by Fiscal Year	
Total Operating Expense (estimated) by Fiscal Year	
	\$0

" Annual Operating Impact "	
Salaries & Wages:	
Employees Benefits:	
Expenses:	
Other:	_____
Total:	_____
Estimated Project Cost:	_____
Estimated Fiscal Capital Cost	
\$715,000	

Town of Exeter Vehicle Replacement Guidelines

Department:	Fire						Date:	6/1/2023
Vehicle Name or Number:	Engine 3						Fuel Type:	Diesel
Vehicle Registration:	G10417							
VIN #	4S7BU2D907C056982							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Heavy Trucks Plow Trucks, Fire Engines other large vehicles	20 or 250,000	17	11	5	3	2	4	42
Age: 1 point for each year of chronological age, based on in-service date		2007						
Miles/Hours: 1 point for each 10,000 miles or 750 hours			40,163					
EVT conversion from engine hours to miles is 33 mph		3,360	110,880					
Type of Service: 1, 3, or 5 points are assigned based on type of service								
1 point for Department Heads & Commuter use								
3 points for medium duty, ambulances, parks & rec, service vehicles								
5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair								
1 point for a vehicle in the shop once every 3 months for Preventive Maint								
2 points for a vehicle in the shop once every 2 or 3 months								
3 points for a vehicle in the shop each month for repairs								
4 points for maintenance & repair twice a month for repairs								
5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs								
1 point for maintenance & repair costs less than 20% of original purchase cost								
2 points for maintenance & repair costs totalling 20-40% of original purchase cost								
3 points for maintenance & repair costs totalling 40-60% of original purchase cost								
4 points for maintenance & repair costs totalling 60-80% of original purchase cost								
5 points for maintenance & repair costs totalling 80-100% or greater of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/1/2023

First Year Funding is Requested: **2024**

Project Title: Utility 1 - Pickup Replacement

Project Type: Vehicles & Heavy Equipment

Project Cost: \$72,455

Department: Fire

Contact Name: Chief Eric Wilking

Useful Life (Years): 15

Master Plan (Y/N): No

Growth Related (Y/N): No

Service Related (Y/N): Yes

Externally Mandated (Y/N): No



Project Description

1. General Project Description? Replace a 2008 Ford F350 Pick-up with a new Ford F350 Pickup with plow package. While we have explored the use of electric and/or hybrid vehicles, they currently do not meet the department needs for a vehicle larger enough to transport necessary personnel and equipment, plow snow and serve as a tow vehicle for department trailers and boat. We have looked at vehicles with increased fuel mileage and reduced fuel consumption, as compared with existing older vehicles. The current vehicle currently serves as a utility vehicle with snow plow and is used to pull both emergency and non-emergency trailers to incidents scenes and projects around town, as well as pick up used equipment after fires and other incidents. Examples of the trailers transported include, Point of Distribution, Acute Care and Shelter trailers for Public Health; Hazardous Materials Response trailer; Confined Space and Trench Rescue Trailer; the department boat.

2. Rationale? The 16 year old vehicle will become more difficult to predict service & maintenance needs. We had Exeter Public Works Mechanics replace the corroded body mounts and cross members in 2018 and they feel it will be serviceable for "3-4 more years". **This vehicle currently receives a Mercury Fleet Study score of 39, which indicates "Needs Immediate Consideration" with 3,483 engine hours and equivalent road mileage of 114,939.** With any older vehicle unexpected costs in addition to routine maintenance always has the potential to be higher than budgeted in the operating portion of the budget. A Ford F350 pickup truck will help standardize both our fleet and the town's vehicle inventory. Service needs, parts and inventory at the DPW service area can be better managed and less potential inventory or common items could be bulk purchased for additional savings.

3. Operating Budget Impact? A new vehicle has the potential of reducing the operating budget while the new vehicle warranty is in effect and reduced maintenance costs with a new vehicle should be realized. Vehicle, F350 Pick-up \$54,049; 7'6" Plow package \$7,395; Lights/Siren \$9,156; and Lettering \$1,855

Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Total Capital Cost by Fiscal Year

FY24	FY25	FY26	FY27	FY28	FY29
\$72,455					

\$72,455

Operating Budget Impact by Fiscal Year

Total Operating Expense (estimated) by Fiscal Year

\$0

" Annual Operating Impact "

Salaries & Wages:

Employees Benefits:

Expenses:

Other:

Total: _____

Estimated Project Cost: _____

Estimated Fiscal Capital Cost

\$72,455

Town of Exeter Vehicle Replacement Guidelines

Department:	Fire							Date:	6/1/2023
Vehicle Name or Number:	Utility 1							Fuel Type:	Diesel
Vehicle Registration:	G12959								
VIN #	1FTWF31R38EC44764								
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenace & Repairs Costs	Condition Interior/Exterior	Total Points	
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	10 or 100,000	16	12	3	2	2	4	39	
Age: 1 point for each year of chronological age, based on in-service date		2008							
Miles/Hours: 1 point for each 10,000 miles or 750 hours			43,623						
EVT conversion from engine hours to miles is 33 mph		3,483	114,939						
Type of Service: 1, 3, or 5 points are assigned based on type of service									
1 point for Department Heads & Commuter use									
3 points for meduim duty, ambulances, parks & rec, service vehicles									
5 points for rough duty, plows, fire engines,etc...									
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair									
1 point for a vehicle in the shop once every 3 months for Preventive Maint									
2 points for a vehicle in the shop once every 2 or 3 months									
3 points for a vehicle in the shop each month for repairs									
4 points for a vehicle in the shop twice a month for repairs									
5 points for a vehicle in the shop 3 or more times a month									
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs									
1 point for maintenance & repair costs less than 20% of original purchase cost									
2 points for maintenance & repair costs totalling 20-40% of original purchase cost									
3 points for maintenance & repair costs totalling 40-60% of original purchase cost									
4 points for maintenance & repair costs totalling 60-80% of original purchase cost									
5 points for maintenance & repair costs totalling 80-100% of original purchase cost									
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...									
1 point for like new condition									
2 points for excellent condition									
3 points for good condition									
4 points for fair/average condition									
5 points for poor condition (Not Inspectable)									





Town of Exeter, New Hampshire
2024 - 2029 CIP Project Request Form

Date Submitted: **6/23/2023**

First Year Funding is Requested: **2027**

Project Title: Replace Dump Truck #83
Project Type: Parks Vehicles
Project Cost: \$55,000

Project Ranking: 1 of 4
Useful Life (Years): 8
Master Plan (Y/N): no
Growth Related (Y/N): No
Service Related (Y/N): Yes
Externally Mandated (Y/N): No

Department: Parks and Recreation
Contact Name: Greg Bisson



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "	
FY 27	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$50,000
Other:	
Total:	\$50,000
Estimated Project Cost:	\$50,000
Estimated Fiscal Capital Cost	
\$55,000	

Project Description						
General Project Description- Truck #83 was replaced in 2018. This truck will not be used for any plowing operations as it is not equipped for it. It is good shape.						
Rationale- This vehicle is the on of the primary trucks for the Departments.						
Operating Budget Impact- The price was developed from the NH State bid + 4.5% (1yr) + costs of strobe lights, miscellaneous parts, stainless steel body (Donovon Equip), and radio; Current vehicle has 12746 miles ; This price does not reflect a trade at this time.						
Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
	\$0	\$0	\$55,000	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
	\$0	\$0	\$55,000	\$0	\$0	

Town of Exeter Vehicle Replacement Guidelines

Department:	Parks & Recreation						Date:	June 23, 2023
Vehicle Name or Number:	Truck #83						Fuel Type:	Gas
Vehicle Registration:	2018 Ford 1-Ton with Dump Body							
VIN #								
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Medium Trucks 1-Tons & Ambulances	7 or 100,000	1	1	3	1	1	1	8
Age: 1 point for each year of chronological age, based on in-service date								
Miles/Hours: 1 point for each 10,000 miles or 750 hours								
Type of Service: 1, 3, or 5 points are assigned based on type of service								
1 point for Department Heads & Commuter use								
3 points for medium duty, ambulances, parks & rec, service vehicles								
5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair								
1 point for a vehicle in the shop once every 3 months for Preventive Maint								
2 points for a vehicle in the shop once every 2 or 3 months								
3 points for a vehicle in the shop each month for repairs								
4 points for a vehicle in the shop twice a month for repairs								
5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs								
1 point for maintenance & repair costs totalling 20% of original purchase cost								
2 points for maintenance & repair costs totalling 40% of original purchase cost								
3 points for maintenance & repair costs totalling 60% of original purchase cost								
4 points for maintenance & repair costs totalling 80% of original purchase cost								
5 points for maintenance & repair costs totalling 100% or greater of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: Replace Truck #84
Project Type: Parks Vehicles
Project Cost: \$60,000

Project Ranking: 3 of 4
Useful Life (Years): 12
Master Plan (Y/N): no
Growth Related (Y/N): No
Service Related (Y/N): Yes
Externally Mandated (Y/N): No

Department: Parks and Recreation
Contact Name: Greg Bisson



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "	
FY 25	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$60,000
Other:	
Total:	\$60,000
Estimated Project Cost:	\$60,000
Estimated Fiscal Capital Cost	
\$60,000	

Project Description

1. General Project Description- Replace the existing Parks & Recreation vehicle Truck #84 with 1 ton truck 4x4 pick up. The truck was purchased in 2012. The recommended useful life is 8 years according to the Town of Exeter Vehicle Replacement Schedule (VRS). The truck repairs have been routine maintenance. The truck is in good shape. .

2. Rationale- This vehicle is the on of the primary trucks for the Departments. The department uses this vehicle to tow our mowing trailer.

3. Operating Budget Impact- The price was developed from the NH State bid + 4.5% inflation rate (8 yrs) + costs for strobe lights, miscellaneous parts. ; Current vehicle has 42,134 miles; This price does not reflect a trade.

Total Capital Cost by Fiscal Year					
FY23	FY24	FY25	FY26	FY27	FY28
\$0	\$0	\$60,000	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$60,000	\$0	\$0	\$0

Town of Exeter Vehicle Replacement Guidelines

Department:	Parks & Recreation							Date:	June 23, 2023
Vehicle Name or Number:	Truck #84							Fuel Type:	GAS
Vehicle Registration:			2012 Ford F-350 4 X 4 with Plow Package						
VIN #									
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points	
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	6 and 75,000 or any year and 100,000 miles	9	3	3	2	2	3	22	
Age: 1 point for each year of chronological age, based on in-service date									
Miles/Hours: 1 point for each 10,000 miles or 750 hours									
Type of Service: 1, 3, or 5 points are assigned based on type of service 1 point for Department Heads & Commuter use 3 points for medium duty, ambulances, parks & rec, service vehicles 5 points for rough duty, plows, fire engines, etc...									
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair 1 point for a vehicle in the shop once every 3 months for Preventive Maint 2 points for a vehicle in the shop once every 2 or 3 months 3 points for a vehicle in the shop each month for repairs 4 points for a vehicle in the shop twice a month for repairs 5 points for a vehicle in the shop 3 or more times a month									
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs 1 point for maintenance & repair costs totalling 20% of original purchase cost 2 points for maintenance & repair costs totalling 40% of original purchase cost 3 points for maintenance & repair costs totalling 60% of original purchase cost 4 points for maintenance & repair costs totalling 80% of original purchase cost 5 points for maintenance & repair costs totalling 100% or greater of original purchase cost									
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...									
1 point for like new condition									
2 points for excellent condition									
3 points for good condition									
4 points for fair/average condition									
5 points for poor condition (Not Inspectable)									





Town of Exeter, New Hampshire
 2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2028

Project Title: Van #81
 Project Type: Parks Vehicles
 Project Cost: \$55,000

Project Ranking: 4 of 4
 Useful Life (Years): 8
 Master Plan (Y/N): no
 Growth Related (Y/N): No
 Service Related (Y/N): Yes
 Externally Mandated (Y/N): No

Department: Parks and Recreation
 Contact Name: Greg Bisson



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

" Annual Operating Impact "	
FY 28	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$55,000
Other:	
Total:	\$55,000
Estimated Project Cost:	\$55,000
Estimated Fiscal Capital Cost	
\$55,000	

Project Description


1. General Project Description- Replace the existing Parks & Recreation vehicle Van #81. The van was purchased in 2018 for \$37,737. The recommended useful life is 8 years according to the Town of Exeter Vehicle Replacement Schedule (VRS). The van repairs have been routine maintenance. The Van is in very good shape.

2. Rationale- This vehicle is used during everyday activities, travelling to events, and used to transport residents.

3. Operating Budget Impact- The price was an estimated price; Current vehicle has 28,889 miles; This price does not reflect a trade.

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$0	\$0	\$0	\$55,000	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$55,000	\$0

Town of Exeter Vehicle Replacement Guidelines

Department:	Parks & Recreation						Date:	June 23, 2023
Vehicle Name or Number:	Van #81						Fuel Type:	GAS
Vehicle Registration:				2010 Ford Van				
VIN #	1FTBF2A6XCEC27063							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	6 and 75,000 or any year and 100,000 miles	11	4	1	2	3	3	24
Age: 1 point for each year of chronological age, based on in-service date								
Miles/Hours: 1 point for each 10,000 miles or 750 hours								
Type of Service: 1, 3, or 5 points are assigned based on type of service 1 point for Department Heads & Commuter use 3 points for medium duty, ambulances, parks & rec, service vehicles 5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair 1 point for a vehicle in the shop once every 3 months for Preventive Maint 2 points for a vehicle in the shop once every 2 or 3 months 3 points for a vehicle in the shop each month for repairs 4 points for a vehicle in the shop twice a month for repairs 5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs 1 point for maintenance & repair costs totalling 20% of original purchase cost 2 points for maintenance & repair costs totalling 40% of original purchase cost 3 points for maintenance & repair costs totalling 60% of original purchase cost 4 points for maintenance & repair costs totalling 80% of original purchase cost 5 points for maintenance & repair costs totalling 100% or greater of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

First Year Funding is Requested: 2025

Project Title: Van #85
 Project Type: Parks Vehicles
 Project Cost: \$89,000

Project Ranking: 4 of 4
 Useful Life (Years): 8
 Master Plan (Y/N): no
 Growth Related (Y/N): No
 Service Related (Y/N): Yes
 Externally Mandated (Y/N): No



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants (If available)
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other Transportation Fund

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description- Replace the existing Parks & Recreation vehicle Van #85 to purchase an ADA accessible van. The current van was purchased in 2010. The recommended useful life is 8 years according to the Town of Exeter Vehicle Replacement Schedule (VRS). The van repairs have been routine maintenance. ADA Vans are customized vans that can have multiple configurations.

2. Rationale- This vehicle is used during everyday activities, travelling to events, and used to transport residents. Adding an ADA van . We would recommend entering into a vehicle purchase lease with a yearly payment to reduce the upfront costs.

3. Operating Budget Impact- The price was an estimated price; Current vehicle has 42,859 miles; This price does not reflect a trade which the current van has no value except for internal use.

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$0	\$89,000	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$89,000	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
FY 25	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$89,000
Other:	
Total:	\$89,000
Estimated Project Cost:	\$89,000
Estimated Fiscal Capital Cost	
\$89,000	

Town of Exeter Vehicle Replacement Guidelines

Department:	Parks & Recreation						Date:	June 23, 2023
Vehicle Name or Number:	Van #85						Fuel Type:	GAS
Vehicle Registration:			2018 Ford Tranist Van					
VIN #	1FBVU4MXJKA44494							
Vehicle Category	Recommended Replacement Years/Miles	Age	Miles/Hours Nearest 10,000	Type of Service	Reliability	Maintenance & Repairs Costs	Condition Interior/Exterior	Total Points
Passenger Vehicles & Light Trucks, 4x2 & 4x4 Police Sedans, SUV's	6 and 75,000 or any year and 100,000 miles	4	3	3	1	1	1	13
Age: 1 point for each year of chronological age, based on in-service date								
Miles/Hours: 1 point for each 10,000 miles or 750 hours								
Type of Service: 1, 3, or 5 points are assigned based on type of service 1 point for Department Heads & Commuter use 3 points for medium duty, ambulances, parks & rec, service vehicles 5 points for rough duty, plows, fire engines, etc...								
Reliability: Points are assigned depending on the frequency that a vehicle is in the shop for repair 1 point for a vehicle in the shop once every 3 months for Preventive Maint 2 points for a vehicle in the shop once every 2 or 3 months 3 points for a vehicle in the shop each month for repairs 4 points for a vehicle in the shop twice a month for repairs 5 points for a vehicle in the shop 3 or more times a month								
Maintenance & Repair Costs: Points are assigned based on total life Maintenance & Repair costs 1 point for maintenance & repair costs totalling 20% of original purchase cost 2 points for maintenance & repair costs totalling 40% of original purchase cost 3 points for maintenance & repair costs totalling 60% of original purchase cost 4 points for maintenance & repair costs totalling 80% of original purchase cost 5 points for maintenance & repair costs totalling 100% or greater of original purchase cost								
Condition: This category takes into consideration body condition, rust, interior condition, accident history, anticipated repairs, etc...								
1 point for like new condition								
2 points for excellent condition								
3 points for good condition								
4 points for fair/average condition								
5 points for poor condition (Not Inspectable)								





Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Project Title: Replace #102 Air Compressor

Project Type: Vehicles & Heavy Equipment

Project Cost: \$45,000

Department: Public Works

Contact Name: Jeff Beck

Date Submitted: 7/14/2023

Year Funding is Requested: 2024

Project Ranking: _____ of _____

Useful Life (Years): 12-15yrs

Master Plan (Y/N):

Growth Related (Y/N):

Service Related (Y/N): Y

Externally Mandated (Y/N):



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

UPDATE THIS INFO. USE ALT + enter button for a new paragraph line.

1. General Project Description: Replace 1994 rotary screw construction compressor for water sewer department.

2. Rationale: The current compressor is a 1994 model year and is overdue for replacement. This compressor is used by the water/sewer street crew during construction and repair process of the Town's infrastructure/pipelines. This unit also provides back up air for the new wastewater processing plant should any problems arise with the compressors in the plant as compressed air is crucial to the process.

3. Operating Budget Impact: Pricing for the replacement of this equipment was developed through industry leading dealer networks for construction equipment.

Is this vehicle assigned to or used by more than one department? This equipment is primarily used by the water/sewer departments but could be used occasionally by others.

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.) 5-7 days per week

Assigned to Single Operator? (Y/N): N

Mileage/date taken: 1200 hours 7/14/23

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$45,000	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$45,000
Other:	
Total:	\$45,000
Estimated Project Cost:	\$45,000
Estimated Fiscal Capital Cost	
\$45,000	

NO POINTS PAGE PROVIDED



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 7/14/2023

Year Funding is Requested: 2024

Project Title: Replace #13 Crown Victoria
 Project Type: Vehicles & Heavy Equipment
 Project Cost: \$56,500

Project Ranking: _____ of _____
 Useful Life (Years): 7-9yrs
 Master Plan (Y/N):
 Growth Related (Y/N):
 Service Related (Y/N): Y
 Externally Mandated (Y/N):



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description: Purchase a vehicle for expanding Water & Sewer needs, specifically a WWTF vehicle, and replace the existing Sedan #13. Sedan #13 was previously utilized by the Fire Chief and then Town Office. When Sedan #13 was retired from Town Office, it was repurposed in the Public Works fleet because it was in fair condition and there was a need for additional transportation. The new vehicle will be Truck #13 with a 1/2 Ton 4 X 4 crew cab Hybrid pickup truck with plow package. This vehicle will support the expanding tasks at the new WWTF site, snowing clearing, equipment & trailer hauling, and provide expanded capacity for transportation for the operators. Wastewater treatment operational staff have increased from 2 to 5 operators with the expansion of the new wastewater treatment facility. The operators need to conduct multiple work tasks in different locations at the new WWTF site. The recommended useful life is 8 years according to the Town of Exeter Vehicle Replacement Schedule (VRS).

2. Rationale: This vehicle is one of the Water & Sewer vehicles used during everyday activities, water & sewer breaks, wastewater sample collection, snow removal for SWTP/GWTP/Distribution pump stations/WWTF/Collection pump station sites; travel to classes

3. Operating Budget Impact: The price was developed from the 2023 NH State bid list + 4.5% inflation rate (4 yr) + costs for strobe lights, miscellaneous parts (\$1,000), plow and equipment (\$6,000), and radio (\$3,000).

Is this vehicle assigned to or used by more than one department? If so, list additional department: Sewer Department

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.) 5-7 days/week

Assigned to Single Operator? (Y/N): No. Used by 5 wastewater treatment operators. Operational staff have increased from 2 to 5 operators with the expansion of the new wastewater treatment facility.

Mileage/date taken: 112,500 miles 7/14/23

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$53,500	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$53,500
Other:	
Total:	\$53,500
Estimated Project Cost:	\$53,500
Estimated Fiscal Capital Cost	
	\$53,500

NO POINTS PAGE PROVIDED



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

Year Funding is Requested: 2024

Project Ranking: _____ of _____

Useful Life (Years): 10yrs

Master Plan (Y/N):

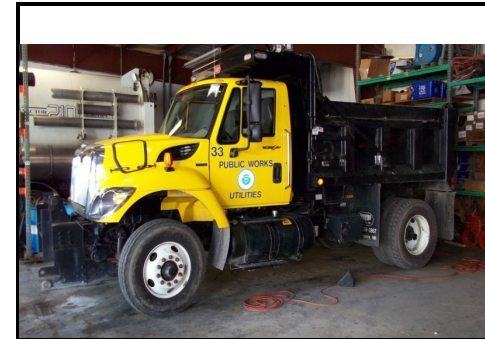
Growth Related (Y/N):

Service Related (Y/N): Y

Externally Mandated (Y/N):

Project Title: Replace Dump Truck #33
Project Type: Vehicles & Heavy Equipment
Project Cost: \$120,000

Department: Public Works
Contact Name: Jeff Beck



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

General Project Description: Truck #33 was originally assigned to the Water/Sewer Department, then was rotated to Highway Dept in the fall of 2018. This truck was originally purchased in 2008 for \$98,607. The recommended useful life is 10 years according to the Town of Exeter Vehicle Replacement Schedule (VRS), and is currently delayed by 5 years for replacement. It is now a first response salt/sand/plow truck that is under-powered. The truck repairs have been routine maintenance. This replacement will be a hook-lift truck on an F550 chassis with a smaller wing and plow.

2. Rationale: This vehicle is a first response unit in the winter months and used for heavy hauling the rest of the year.

3. Operating Budget Impact: This price is from 2019 Liberty International & Donovan Equipment purchase + 4.5% inflation rate (4 yrs) + costs for strobe lights, miscellaneous parts, and radio (\$5,000).

Is this vehicle assigned to or used by more than one department? No.

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.) Up to 7 days/week in winter.

Assigned to Single Operator? (Y/N): No

Mileage/date taken: 5,212 hours/June 2022

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$120,000	\$0	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$ 120,000
Other:	
Total:	\$120,000
Estimated Project Cost:	\$120,000
Estimated Fiscal Capital Cost	
\$120,000	

NO POINTS PAGE PROVIDED



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Project Title: Replace #51 Jeep
Project Type: Vehicles & Heavy Equipment
Project Cost: \$37,500

Department: Public Works
Contact Name: Jeff Beck

Date Submitted: 7/14/2023

Year Funding is Requested: 2024

Project Ranking: _____ of _____
Useful Life (Years): 7-9yrs
Master Plan (Y/N):
Growth Related (Y/N):
Service Related (Y/N): Y
Externally Mandated (Y/N):



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description: This car is an older retired Public Works Director vehicle that the W/S Utility Clerks use during the work day, or other employees take to required classes. SUV #51 will be replaced w/ a Ford Escape Hybrid or equivalent. The recommended useful life for DPW use is 6 years according to the Town of Exeter Vehicle Replacement Schedule (VRS). W/S acquired the vehicle in 2017, and was scheduled for replacement in 2022.

2. Rationale: Replacement due to age and wear; lower repair costs; DPW had a scheduled replacement in 2022

3. Operating Budget Impact: The replacement cost was developed from discussion with Public Works Maintenance Superintendent. This price does not reflect a trade.

Is this vehicle assigned to or used by more than one department? If so, list additional department: Water & Sewer Department

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.): 5 days/week

Assigned to Single Operator? (Y/N): Yes, but used by others if necessary

Mileage/date taken: 81,500 7/14/23

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$31,500	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$ 31,500
Other:	
Total:	\$31,500
Estimated Project Cost:	\$31,500
Estimated Fiscal Capital Cost	
\$31,500	

NO POINTS PAGE PROVIDE



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 7/14/2023

Year Funding is Requested: 2024

Project Title: Replace Sidewalk Tractor
Project Type: Vehicles & Heavy Equipment
Project Cost: \$225,000

Department: Public Works
Contact Name: Jeff Beck

Project Ranking: _____ of _____
Useful Life (Years): 12-15yrs
Master Plan (Y/N): N
Growth Related (Y/N): _____
Service Related (Y/N): Y
Externally Mandated (Y/N): _____



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description: Replace/Update an existing Highway Sidewalk Tractor #58. These tractors serve primarily as snow removal units for sidewalk maintenance however, with recent expansion of available optional equipment/attachments they are now being used all year round for mowing, sweeping and asphalt grinding operations.

2. Rationale: This unit is a 1991 model year at 32 years old it is showing it's age. It is becoming increasingly difficult to procure replacement parts and newer units are safer and easier to operate as well as being more comfortable during long hours of snow removal operations which leads to lower operator fatigue.

3. Operating Budget Impact: The price was developed from industry leading manufacturers dealer networks.

Is this vehicle assigned to or used by more than one department? This piece of equipment is primarily used by the highway dept. but could be used occasionally by others.

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.) 5-7 days per week, Weather and schedule dependant.

Assigned to Single Operator? (Y/N): No This equipment could be operated by anyone of several staff members throughout the Town departments in order to facilitate snow removal operations as well as it's other seasonal functions.

Mileage/date taken: 4,000 plus hours 7/14/23

Total Capital Cost by Fiscal Year					
FY24	FY25	FY26	FY27	FY28	FY29
\$225,000	\$0	\$0	\$0	\$0	\$0
Operating Budget Impact by Fiscal Year					
Total Operating Expense (estimated) by Fiscal Year					
\$0	\$0	\$0	\$0	\$0	\$0

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$ 225,000
Other:	
Total:	\$225,000
Estimated Project Cost:	\$225,000
Estimated Fiscal Capital Cost	
\$225,000	

NO POINTS PAGE PROVIDED



Town of Exeter, New Hampshire

2024 - 2029 CIP Project Request Form

Date Submitted: 6/23/2023

Year Funding is Requested: 2024

Project Title: Replace Street Sweeper
Project Type: Vehicles & Heavy Equipment
Project Cost: \$370,000

Project Ranking: _____ of _____
Useful Life (Years): 5-7yrs
Master Plan (Y/N):
Growth Related (Y/N):
Service Related (Y/N): Y
Externally Mandated (Y/N): Y



Check all that apply

2024 - 2029 Source of Funding

- GO Bond/Borrowing
- Grants
- Taxes
- Water Fees
- Sewer Fees
- Impact Fees
- Revolving Funds
- Other _____

Project Benefits

- Reduces Liability
- Health or Safety
- Reduces Long Term Debt
- Other: _____

Project Description

1. General Project Description: Replace 2015 model year Tymco Street Sweeper. This vehicle provides both clean streets and is an integral part of our storm water and air pollutant control and reporting measures Town wide. As this equipment sees only extreme duty service in the worst conditions the maintenance of this unit is very expensive and time consuming therefore the useful life is limited.

2. Rationale: This equipment operates daily in the worst environmental conditions with dust and debris constantly degrading critical components.

A preapplication for a Stormwater CWSRF loan with a potential portion of principle forgiveness has been submitted. An additional \$5,000 was added to the estimated sweeper cost for a consultant effort to account for pollutant removals as a way to make the loan more attractive to NHDES. The additional investment is for an increased tracking and accounting effort to demonstrate pollutants removed from stormwater through the enhanced sweeping program.

3. Operating Budget Impact: The replacement cost of this equipment was developed by industry leading dealer networks in this type of equipment.

Is this vehicle assigned to or used by more than one department? No

Approximate Weekly Use in Days (5 days per week, less than 5, seven days per week, etc.) 5 Days per week

Assigned to Single Operator? (Y/N): primarily assigned to two operators only

Mileage/date taken: 5800 hours 7/14/23

Total Capital Cost by Fiscal Year						
FY24	FY25	FY26	FY27	FY28	FY29	
\$370,000	\$0	\$0	\$0	\$0	\$0	
Operating Budget Impact by Fiscal Year						
Total Operating Expense (estimated) by Fiscal Year						
\$0	\$0	\$0	\$0	\$0	\$0	

" Annual Operating Impact "	
FY24	
Salaries & Wages:	
Employees Benefits:	
Expenses:	\$ 370,000
Other:	
Total:	\$370,000
Estimated Project Cost:	\$370,000
Estimated Fiscal Capital Cost	
	\$370,000

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Vehicles and Equipment

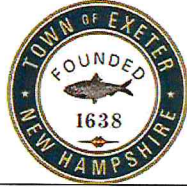
7/14/2023

	2024	2025	2026	2027	2028	2029
#33 Dump Truck	\$ 120,000					
#58 Sidewalk Tractor	\$ 225,000					
#48 Sweeper	\$ 370,000					
#13 Crown Victoria	\$ 53,558					
#51 Jeep	\$ 37,500					
#102 Air Compressor	\$ 44,944					
#24 Crown Victoria		\$ 30,000				
#52 Dump Body		\$ 120,000				
#30 6-Wheel Dump		\$ 220,925				
#44 Loader with Wing Plow		\$ 340,000				
#120 Valve Operator		\$ 115,041				
#14 3/4 Ton PU			\$ 55,453			
#7 Sedan			\$ 35,000			
#12 Cargo Van			\$ 30,000			
#29 Dump Rack Body			\$ 63,599			
#6 Van			\$ 40,052			
#59 Sidewalk Tractor			\$ 225,000			
#28 6-Wheel Dump			\$ 247,602			
Sidewalk Paver			\$ 54,218			
#53 Backhoe				\$ 197,570		
#31 6-Wheel Dump				\$ 225,000		
#27 Dump Truck				\$ 257,493		
#32 Truck				\$ 85,783		
#4 HW PU					\$ 40,000	
#17 Sedan					\$ 35,000	
#23 1-Ton PU					\$ 45,000	
#10 3/4 Ton PU					\$ 57,000	
#8 Sedan					\$ 35,000	
#55 Truck					\$ 62,825	
#45 Roller						\$ 33,116
#19 Utility Box						\$ 79,700
#56 Sidewalk Bombadier						\$ 225,000
#1 Sedan						\$ 34,000
#11 Forklift						\$ 44,354
#2 Utility Body						\$ 65,000
	\$ 851,002	\$ 825,966	\$ 750,924	\$ 765,846	\$ 274,825	\$ 481,170

Capital Improvement Plan 2018-2023
Fire Department Vehicle Replacement Schedule with Projected Costs

Fire Department									2024							
Vehicle #	Make	Model	Year Purch.	Useful Life	Replace. Year	Original Cost	Replace. Cost	Priority Rank	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	Total for 6-yr Period	
SUV's, PICKUP TRUCKS																
Car 1	Ford	Explorer	2014	10	2024	25,565	\$ 60,606	2	60,412	-	-	-	-	-	-	\$ 60,412
Car 2	Ford	Hybrid Explorer	2023	10	2033	40,796	\$ 49,313		-	-	-	-	-	-	-	\$ -
Car 3	Ford	F-250 Pickup	2023	10	2033	37,320	\$ 58,461		-	-	-	-	-	-	-	\$ -
Car 4	Ford	F-250 Pickup	2018	10	2028	37,320	\$ 60,805		-	-	-	-	58,461	-	-	\$ -
Forestry	Dodge	Ram 5500	2016	15	2031	33,475	\$ 57,248		-	-	-	-	-	-	-	\$ -
Utility	Ford	F-350	2008	15	2023	33,465	\$ 72,455	1	72,455	-	-	-	-	-	-	\$ 72,455
AMBULANCES																
A1	Ford	E-450	2024	6	2030	\$ 283,946	\$ 245,000		-	-	-	-	-	-	-	\$ -
A2	Ford	E-450	2019	6	2025	\$ 244,822	\$ 312,341		-	-	312,341	-	-	-	-	\$ 312,341
FIRE APPARATUS & SPECIALTY EQUIPMENT																
E2	E-One	1500 GPM Pumper	2010	20	2030	\$ 455,000	\$ 786,500		-	-	-	-	-	-	-	\$ -
E3	Crimson	1500 GPM Pumper	2007	20	2027	\$ 422,439	\$ 715,000		-	-	-	715,000	-	-	-	\$ 715,000
E4	E-One	1500 GPM Pumper	2019	20	2039	\$ 515,875	\$ 865,150		-	-	-	-	-	-	-	\$ -
E5	E-One	1500 GPM Pumper	2024	20	2044	\$ 650,000	\$ 951,665		-	-	-	-	-	-	-	\$ -
L1	KME	109' Ladder	2014	20	2034	\$ 854,097	\$ 1,400,000		-	-	-	-	-	-	-	\$ -
TRAILERS																
Emer. Mgmt.	Landscape	Emer. Mgmt Equipment	2010	20	2030				-	-	-	-	-	-	-	\$ -
POD	Cargo	#3 Health - POD Equip.	2010	20	2030				-	-	-	-	-	-	-	\$ -
Shelter	Cargo	#1 Health - Shelter Equip.	2009	20	2029				-	-	-	-	-	-	-	\$ -
ACS	Cargo	#2 Health - Acute Care	2009	20	2029				-	-	-	-	-	-	-	\$ -
Rescue	Cargo	Tech. Rescue Equip.	2004	20	2024				-	-	-	-	-	-	-	\$ -
Fire Alarm		Wire Reel Trailer	1988	20	2008				-	-	-	-	-	-	-	\$ -
Lighting	Alma	Generator/Lighting	1997	20	2017				-	-	-	-	-	-	-	\$ -
Utility	Cargo	Utility Trailer	2016	20	2036				-	-	-	-	-	-	-	\$ -
Car Hauler	KME	Steamer Trailer	2001	20	2021				-	-	-	-	-	-	-	\$ -
6 year General Fund Total															\$ 1,160,208	

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**TOWN OF EXETER
NOR SUBDIVISION, M NO
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION**

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

MINOR SITE PLAN
 **MINOR (3lots or less)
SUBDIVISION** **LOTS**

LOT LINE ADJUSTMENT

_____	APPLICATION
_____	DATE RECEIVED
_____	APPLICATION FEE
_____	PLAN REVIEW FEE
_____	ABUTTER FEE
_____	LEGAL NOTICE FEE
_____	INSPECTION FEE
_____	TOTAL FEES
_____	AMOUNT REFUNDED

1. **NAME OF LEGAL OWNER OF RECORD:** Janine L. Richards Rev. Trust-2022

ADDRESS: 14 Hobart St, Exeter, NH 03833

_____ **TELEPHONE:** (603) 501-1947

2. **NAME OF APPLICANT:** Ross Engineering LLC

ADDRESS: 909 Islington St #6, Portsmouth, NH 03801

_____ **TELEPHONE:** (603)433-7560

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:** _____

Agent

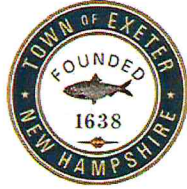
(Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:**

ADDRESS: 14 Hobart St, Exeter, NH 03833

TAX MAP: 74 **PARCEL #:** 89 **ZONING DISTRICT:** R-2

AREA OF ENTIRE TRACT: 1.06 Acres **PORTION BEING DEVELOPED:** 0.04 Acres



5. **EXPLANAT ON OF PROPOSAL:** A three unit condo conversion is proposed by utilizing the existing
structures and adding small additions. ZBA approval was granted with the condition that Planning Board site plan
approval is obtained.

6. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** Yes
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. 2019 Zoning Map	1
B. Tax Map 74	1
C. _____	_____
D. _____	_____
E. _____	_____
F. _____	_____

8. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** No IF YES, ATTACH COPY.

9. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**

NAME: Alex Ross
ADDRESS: 909 Islington St, Suite #6, Portsmouth, NH 03801
PROFESSION: Civil Engineer **TELEPHONE:** (603) 433-7560

10. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:** 3 Condo Units utilizing
existing structures with small additions, pervious asphalt driveway, overhead electric to be provided, 2 new pairs
of sewer and water lines to be installed.



11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) Yes IF YES, LIST BELOW AND NOTE ON PLAN.

Article 4, Section 4.2, Schedule 1

Article 5, Section 5.2

NOTICE:

I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE: 5/30/23 APPLICANT'S SIGNATURE [Signature]

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.

Ross Engineering, LLC

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

October 6, 2022

Planning Department
Town of Exeter
10 Front Street
Exeter, NH 03833

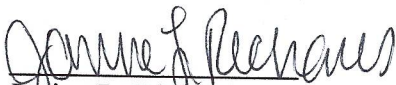
RE: 14 Hobart St & 16-18 Hobart St
Tax Map 74, Lots 88 & 89
Exeter, NH 03833

Owners: Janine L. Richards
14 Hobart St
Exeter, NH 03833

Innoethos, LLC
16-18 Hobart St
Exeter, NH 03833

Please be advised that Alex Ross of Ross Engineering is authorized to be my agent for the above application process. Should you have any questions, please contact me.

Sincerely,



Janine L. Richards
14 Hobart St
Exeter, NH 03833



David Richards, Manager
Innoethos, LLC
16-18 Hobart St
Exeter, NH 03833

**Ross Engineering, LLC
Civil / Structural Engineering**

**909 Islington Street
Portsmouth, NH 03801**

**603-433-7560
alexross@comcast.net**

Project Narrative

**Site Plan Review
14 Hobart St
Tax Map 74, Lot 88
Exeter, NH 03833**

This project is for minor site improvements to an existing developed parcel. A three-unit condo conversion is proposed by utilizing the existing structures and adding small additions. As per the attached ZBA Notice of Decision, ZBA approval was granted with the condition that Planning Board site plan approval is obtained.



Town of Exeter Planning Board Application

Conditional Use Permit: Shoreland Protection District In accordance with Zoning Ordinance Article: 9.3

SUBMITTAL REQUIREMENTS:

(see Conservation Commission and Planning Board meeting dates and submission deadlines)

1. One (1) electronic copy of full application, including plans (color copy if available)
2. Fifteen (15) copies of the Application
3. Fifteen (15) 11"x17" and three (3) full sized copies of the plan which must include:
 - Existing Conditions
 - a. Property Boundaries
 - b. Edge of Shoreland and associated Buffer (Shoreland Protection District – SPD)
 - c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - Proposed Conditions
 - a. Edge of Shoreland and Shoreland Buffers and distances to the following:
 - i. Edge of Disturbance
 - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - b. Name and phone number of all individuals whose professional seal appears on the plan
4. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
5. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
6. A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:		
Planning Board Fee: \$50.00	Abutter Fee: \$10.00	Recording Fee (if applicable): \$25.00

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: Alex Ross
	Address: 909 Islington St #6, Portsmouth, NH 03801
	Email Address: alexross@comcast.net
	Phone: (603) 433-7560
PROPOSAL	Address: 14 Hobart St, Exeter, NH 03833
	Tax Map # <u>74</u> Lot# <u>88</u> Zoning District: <u>R-2</u>
	Owner of Record: Janine L. Richards Revocable Trust
Person/Business performing work outlined in proposal	Name: Alex Ross - Ross Engineering LLC
	Address: 909 Islington St #6, Portsmouth, NH 03801
	Phone: (603) 433-7560
Professional that delineated wetlands	Name: Marc Jacobs
	Address:
	Phone:

**Town of Exeter
Planning Board Application
Conditional Use Permit: Shoreland Protection District**

Due to the fact that this parcel lies within the 250' buffer zone of a shoreland, a shoreland permit is required.

The existing 0.71 acre developed upland portion of the site includes an existing house, driveway, garage, patio, deck, barn and shed. Proposed improvements include:

- Alteration of existing house, garage and barn. The footprint of the garage will be unchanged.
- Construction of new driveway along with two 400 SQ.FT garage.
- Expansion of the existing driveway

Shoreland Protection District Impact (in square footage):

Water Body	Little River	
Temporary Impact		<input checked="" type="checkbox"/> 300 Foot SPD <u>5,434 sf</u>
		<input checked="" type="checkbox"/> 150 foot SPD <u>3,033 sf</u>
		<input checked="" type="checkbox"/> SPD Building Setback <u>3,033 sf</u>
		<input checked="" type="checkbox"/> 75 Vegetative Buffer <u>484 sf</u>
Permanent Impact		<input checked="" type="checkbox"/> 300 Foot SPD <u>800 sf</u>
		<input checked="" type="checkbox"/> 150 foot SPD <u>400 sf</u>
		<input checked="" type="checkbox"/> SPD Building Setback <u>400 sf</u>
		<input type="checkbox"/> 75 Vegetative Buffer _____
Impervious Lot Coverage		SF of Lot within District <u>46,308 sf</u>
		SF of Impervious within District <u>3,945 sf</u>
		% of Impervious within District <u>8.5%</u>

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

See ZBA Notice of Decision attached - exception per Article 4, Section 4.2, Schedule I: Permitted Uses and Article 5, Section 5.2 to permit the conversion of the existing single-family home and accessory structures into up to four condominium units

Describe how your proposal meets the conditions of Article 9.3.4.G.2 of the Zoning Ordinance (attached for reference):

There is a decrease in total impervious area, which will have no negative effect on the water quality. There is no waste discharged on site, and the proposed work is minimally invasive, reducing the impact on the surrounding habitat. The total impervious area is decreased below the limit of 10%.

Conditional Use Permit Criteria
Shoreland Protection District

9.3.4 G Conditional Uses:

2. The Planning Board may grant a Conditional Use Permit for those uses listed above only after written findings of fact are made which have been reviewed by technical experts from the Rockingham Conservation District, if required by the Planning Board, at the cost of the developer, provided that all of the following are true:

- a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.
- b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined.
- c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.
- d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article.
- e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose.

**Ross Engineering, LLC
Civil / Structural Engineering**

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

Project Narrative

**Conditional Use Permit Application
14 Hobart St
Tax Map 74, Lot 88
Exeter, NH 03833**

This project is for minor site improvements to an existing developed parcel. A three-unit condo conversion is proposed by utilizing the existing structures and adding small additions. The design incorporates pervious surfaces so that the end result will be less impervious surface than currently exists, which will benefit the wetland buffer and surrounding wetlands.

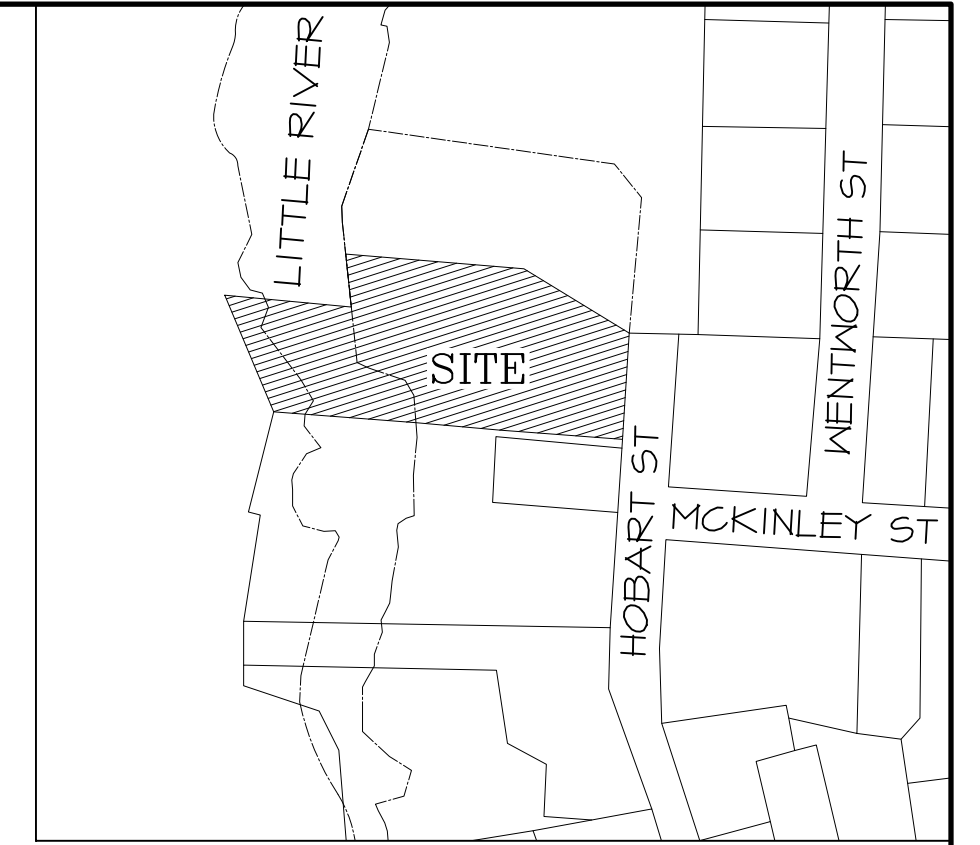
SEE NOTE 2

REFERENCE PLANS

- "SUBDIVISION PLAN" BY JONES & BEACH ENGINEERS, INC. DATED JULY 23, 2013. RCRD D-38224
- "LOT LINE ADJUSTMENT HOBART STREET EXETER N.H." BY T.D. BROUILLETTE LAND SURVEYING DATED MARCH 8, 2013. RCRD D-37119

NOTES

- OWNER OF RECORD:
JANINE L RICHARDS REVOCABLE TRUST-2022
TAX MAP 74, LOT 88
14 HOBART ST
EXETER, NH 03833
RCRD: 6444-1232
AREA: 34676 SF, 0.80 ACRES
- BASIS OF BEARING HELD FROM PLAN REFERENCE #2.
- PARCEL IS IN RESIDENTIAL SINGLE FAMILY ZONE (R-2) & SHORELAND PROTECTION DISTRICT:
MINIMUM LOT AREA.....15,000 SF
MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....100 FT
SETBACKS:
FRONT.....25 FT
SIDE.....15 FT
REAR.....25 FT
MAXIMUM BUILDING HEIGHT.....35 FT
MAXIMUM BUILDING COVERAGE.....25%
MINIMUM OPEN SPACE.....40%
MAXIMUM LOT COVERAGE.....10%
- THE PARCEL IS PARTIALLY WITHIN FEMA FLOOD ZONE AE AND REGULATORY FLOODWAY "LITTLE RIVER", AS PER FLOOD INSURANCE RATE MAP #33015C0401E, PANEL 401 OF 681, DATED MAY 17, 2005. VERTICAL DATUM IS NGVD 1929.
- AS PER EXETER ZONING ORDINANCE 9.3.3.A, THIS LOT IS WITHIN THE SHORELAND PROTECTION DISTRICT.
- NO BUILDING, SEPTIC SYSTEM, OR LEACH FIELD SHALL BE CONSTRUCTED WITHIN 150' OF THE SHORELINE OF THE LITTLE RIVER AS PER EXETER ZONING ORDINANCE 9.3.4.C.
- NO ALTERATION OF NATURAL VEGETATION OR MANAGED WOODLAND WITHIN 75 FEET OF THE SHORELINE OF THE LITTLE RIVER IS PERMITTED AS PER EXETER ZONING ORDINANCE 9.3.4.E.
- A RIGHT OF WAY EXISTS OVER LAND OF LOT 90 TO THE PREMISES OF LOT 89 FROM THE HOBART ST EXTENSION, OF SUCH A WIDTH THAT SHALL PERMIT CONVENIENT ACCESS TO LOT 89 BY MOTOR VEHICLE OR OTHERWISE. SEE RCRD 1825-0020.



**LOCUS PLAN
N.T.S.**

LEGEND

- 100-- EXISTING CONTOUR
- ⊕ MONUMENT SET
- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
- CHICKEN WIRE FENCE
- WOODEN FENCE
- D— DRAIN LINE
- W— WATER LINE
- E— ELECTRIC LINE
- S— SEWER LINE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ▨ WETLANDS
- LAWN
- STONE WALL
- ORDINARY HIGH WATER MARK
- ORDINARY HIGH WATER SETBACK

5	6/2/2023	CC SUBMITTAL	
4	5/30/2023	PB SUBMITTAL	
3	2/6/2023	ZBA SUBMITTAL	
2	1/3/2023	FOR REVIEW	
1	10/7/2022	FOR REVIEW	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE 1" = 20'			
CHECKED	A.ROSS		
DRAWN	D.D.D.		

ROSS ENGINEERING
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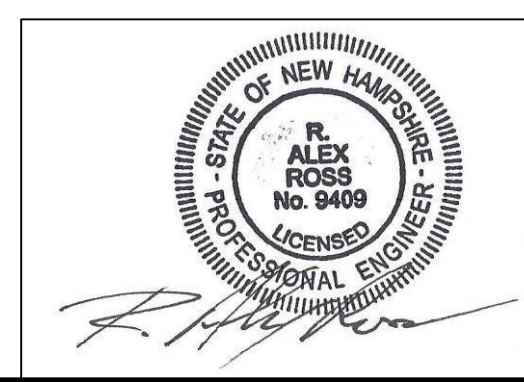
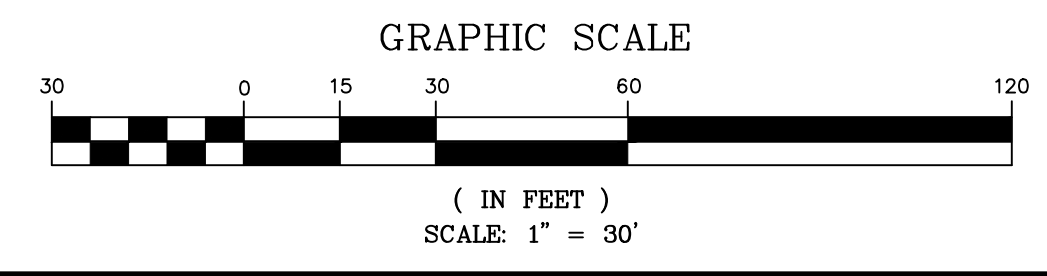
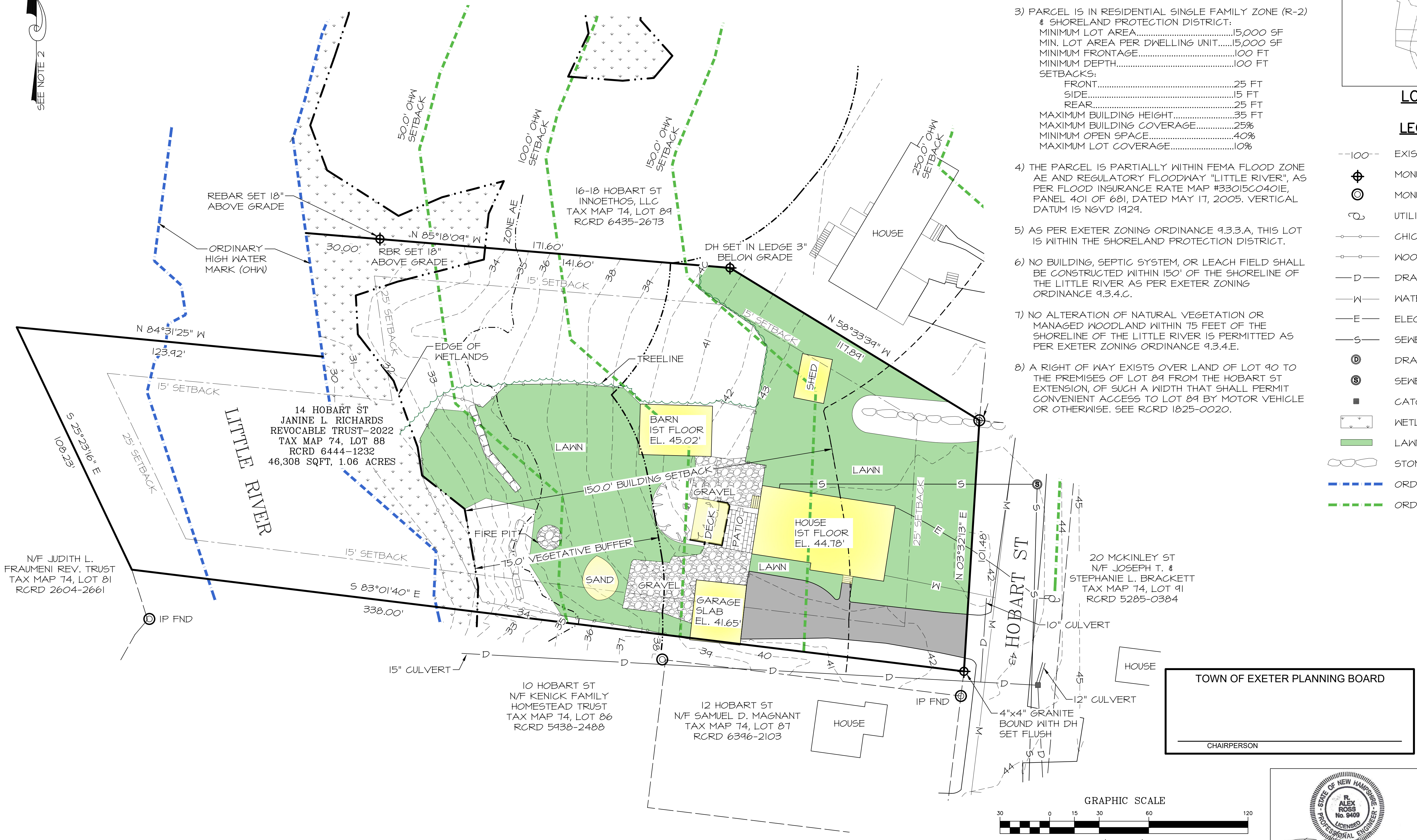
CLIENT
DAVID A. RICHARDS
14 HOBART ST
EXETER, NH 03833

TOWN OF EXETER PLANNING BOARD
CHAIRPERSON

**EXISTING
CONDITIONS
PLAN**

14 Hobart St
EXETER, NH 03833
TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	1 OF 5	5



LEGEND

- 100-- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100x00 SPOT ELEVATION
- ⊕ MONUMENT SET
- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- CHICKEN WIRE FENCE
- WOODEN FENCE
- DRAIN LINE
- WATER LINE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- WETLANDS
- STONE WALL
- ORDINARY HIGH WATER MARK
- ORDINARY HIGH WATER SETBACK
- LIMITED COMMON AREA
- PERVIOUS ASPHALT



NOTES

- 1) OWNER OF RECORD:
 JANINE L. RICHARDS REVOCABLE TRUST-2022
 TAX MAP 74, LOT 88
 14 HOBART ST
 EXETER, NH 03833
 RCRD: 6444-1232
 AREA: 46,308 SF, 1.06 ACRES
- 2) PARCEL IS IN RESIDENTIAL SINGLE FAMILY ZONE (R-2) & SHORELAND PROTECTION DISTRICT:
 MINIMUM LOT AREA.....15,000 SF
 MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
 MINIMUM FRONTAGE.....100 FT
 MINIMUM DEPTH.....100 FT
 SETBACKS:
 FRONT.....25 FT
 SIDE.....15 FT
 REAR.....25 FT
 MAXIMUM BUILDING HEIGHT.....35 FT
 MAXIMUM BUILDING COVERAGE.....25%
 MINIMUM OPEN SPACE.....40%
 MAXIMUM LOT COVERAGE.....10%
- 3) THE EXETER ZONING BOARD OF ADJUSTMENT AT ITS 2/21/2023 MEETING APPROVED A SPECIAL EXEMPTION TO ARTICLE 4, SECTION 4.2, SCHEDULE 1 & ARTICLE 5, SECTION 5.2 OF THE EXETER ZONING ORDINANCE TO PERMIT THE CONVERSION OF THE EXISTING SINGLE-FAMILY HOME AND ACCESSORY STRUCTURES INTO UP TO FOUR RESIDENTIAL UNITS.

4) LOT COVERAGE

EXISTING LOT COVERAGE	
HOUSE.....	1,596 SF
BARN.....	593 SF
GARAGE.....	496 SF
SHED.....	223 SF
DECK & STAIRS.....	251 SF
PATIO.....	196 SF
GRASSED LAWN.....	12,316 SF
SAND & GRAVEL.....	1,572 SF
ASPHALT.....	1,735 SF
LOT COVERAGE	19,038 SF = 41.1%

PROPOSED LOT COVERAGE	
CONDO BUILDINGS.....	2,491 SF
GARAGE.....	800 SF
SHED.....	223 SF
DECK & STAIRS.....	238 SF
PATIO.....	196 SF
GRASSED LAWN.....	12,572 SF
LOT COVERAGE	16,520 SF = 35.7%

5) NHDES SHORELAND COVERAGE
 THE ENTIRE LOT IS WITHIN THE 250' SHORELAND BUFFER

EXISTING LOT COVERAGE	
HOUSE.....	1,596 SF
BARN.....	593 SF
GARAGE.....	496 SF
SHED.....	223 SF
DECK & STAIRS.....	251 SF
PATIO.....	196 SF
SAND & GRAVEL.....	1,572 SF
ASPHALT.....	1,735 SF
LOT COVERAGE	6,662 SF = 14.4%

PROPOSED LOT COVERAGE	
CONDO BUILDING.....	2,491 SF
GARAGE.....	800 SF
SHED.....	223 SF
DECK & STAIRS.....	238 SF
PATIO.....	196 SF
LOT COVERAGE	3,948 SF = 8.5%

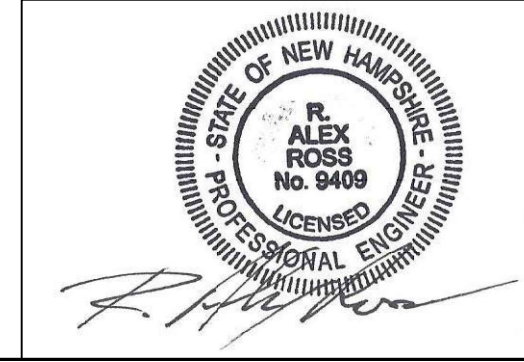
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4	5/30/2023	PB SUBMITTAL
3	2/6/2023	ZBA SUBMITTAL
2	1/3/2023	FOR REVIEW
1	10/7/2022	FOR REVIEW

SCALE 1" = 20'
 CHECKED A. ROSS
 DRAWN D.D.D.

ROSS ENGINEERING
 Civil/Structural Engineering & Surveying
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 Portsmouth, NH 03801
 (603) 433-7560

CLIENT
 DAVID A. RICHARDS
 14 HOBART ST
 EXETER, NH 03833

TOWN OF EXETER PLANNING BOARD
 CHAIRPERSON



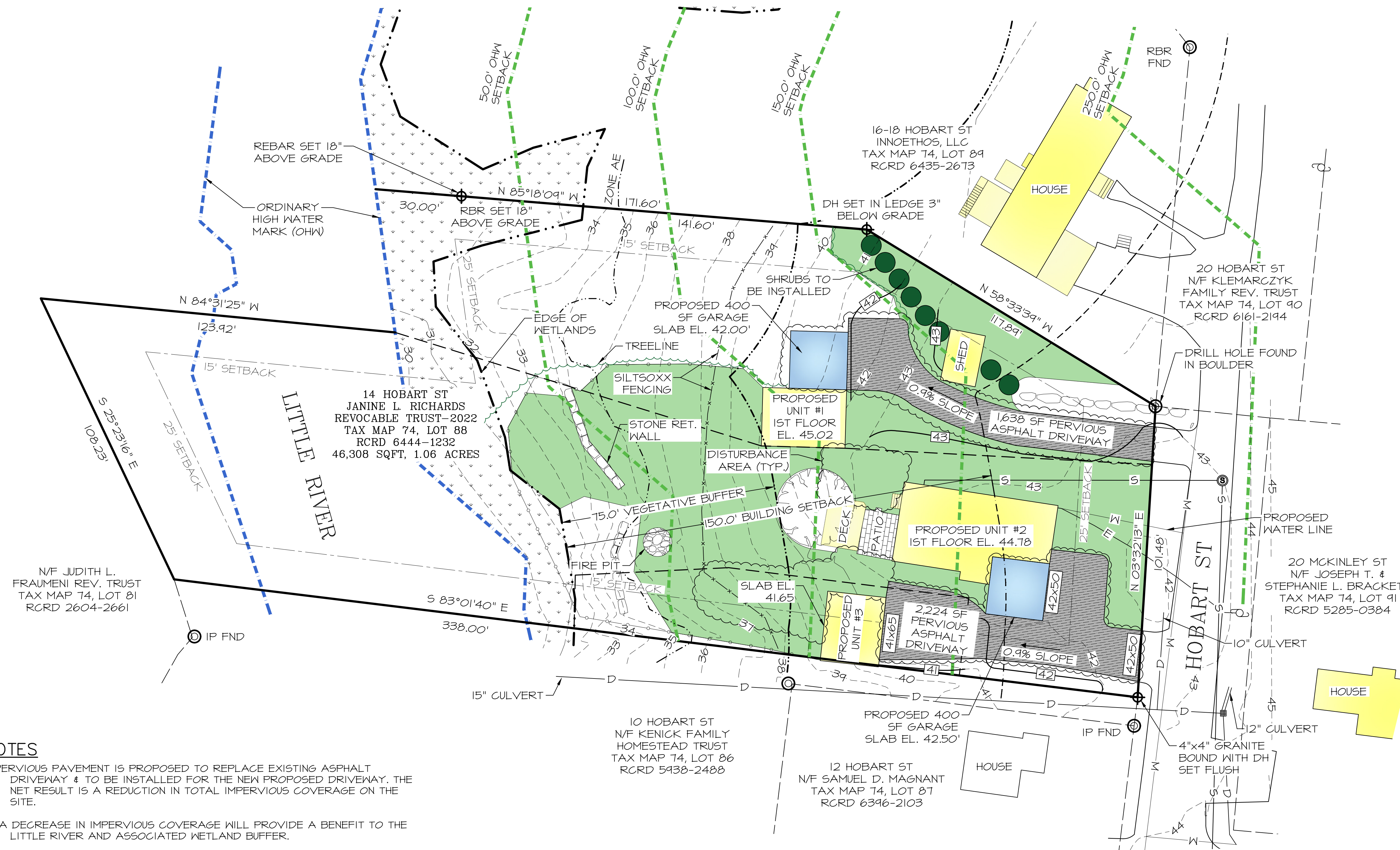
TITLE
SITE PLAN

14 Hobart St
 EXETER, NH 03833
 TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	2 OF 5	5

LEGEND

- 100-- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100x00 SPOT ELEVATION
- ⊕ MONUMENT SET
- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
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- WOODEN FENCE
- DRAIN LINE
- WATER LINE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- WETLANDS
- STONE WALL
- ORDINARY HIGH WATER MARK
- ORDINARY HIGH WATER SETBACK
- LIMITED COMMON AREA
- PERVIOUS ASPHALT



NOTES

- 1) PERVIOUS PAVEMENT IS PROPOSED TO REPLACE EXISTING ASPHALT DRIVEWAY & TO BE INSTALLED FOR THE NEW PROPOSED DRIVEWAY. THE NET RESULT IS A REDUCTION IN TOTAL IMPERVIOUS COVERAGE ON THE SITE.
- 2) A DECREASE IN IMPERVIOUS COVERAGE WILL PROVIDE A BENEFIT TO THE LITTLE RIVER AND ASSOCIATED WETLAND BUFFER.

ISS.	DATE	DESCRIPTION OF ISSUE
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SCALE 1" = 20'

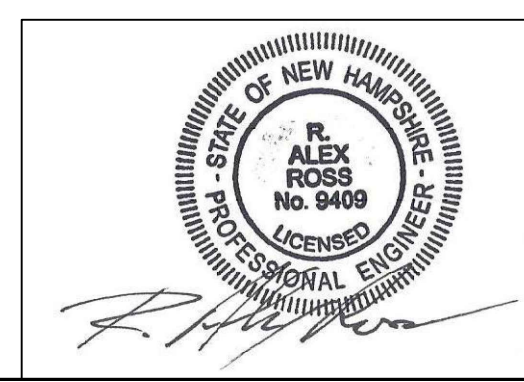
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 (603) 433-7560

CLIENT
 DAVID A. RICHARDS
 14 HOBART ST
 EXETER, NH 03833

TITLE
**STORMWATER
 MANAGEMENT
 PLAN**
 14 Hobart St
 EXETER, NH 03833
 TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	3 OF 5	5



CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT

REFERENCE DOCUMENT: UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, UNH STORMWATER CENTER, FEBRUARY, 2014.

INSTALLATION RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE POROUS ASPHALT PAVEMENT IS PROPERLY INSTALLED.

- THE FULL PAVEMENT SPECIFICATION MUST BE FOLLOWED CONSCIENTIOUSLY DURING CONSTRUCTION. IT IS BASED ON UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS. THE UNH SPECIFICATION INCLUDE NUMEROUS VITAL PROVISIONS FOR AGGREGATE AND BITUMINOUS MATERIALS, THEIR PLACEMENT, AND QUALITY CONTROL. AMONG ITS NOTABLE PROVISIONS ARE THE FOLLOWING EXAMPLES:
 - OPEN-GRADED AGGREGATE TO MAKE ALL PAVEMENT LAYERS POROUS AND PERMEABLE;
 - STIFF ASPHALT BINDER TO ADHERE TO THE AGGREGATE PARTICLES AND RESIST "DRAINDOWN" THROUGH THE PAVEMENT'S PORES, ENHANCING THE MATERIAL'S PERFORMANCE AND DURABILITY;
 - A SPECIFIC LIMIT ON ALLOWABLE DRAINDOWN, AND ADDITION OF A STYRENE-BUTADIENE-STYRENE (SBS) POLYMER ADDITIVE TO HELP MEET THAT REQUIREMENT;
 - THE POROUS PAVEMENT IS TO BE INSTALLED ONLY AFTER MAJOR CONSTRUCTION IS COMPLETED, SO THAT CONSTRUCTION TRAFFIC WILL NOT TRACK POTENTIALLY CLOGGING SEDIMENT ONTO THE PAVEMENT SURFACE. FOR CONSTRUCTION ACCESS, A TEMPORARY SURFACE WILL BE INSTALLED, SIMILAR IN CONSTRUCTION TO A STANDARD STABILIZED CONSTRUCTION ENTRANCE. THIS TYPE OF SURFACE CAN BEAR CONSTRUCTION TRAFFIC WITHOUT ERODING.
 - PROMINENT AND REPEATED STATEMENTS OF THE SPECIAL NATURE AND PURPOSE OF POROUS PAVEMENT, AND THE NECESSITY OF COMPLYING STRICTLY WITH THESE DISTINCTIVE SPECIFICATIONS.
 - PROTECTION OF THE FINISHED POROUS ASPHALT SURFACE FROM TRACKING OF CONSTRUCTION SEDIMENT.
- THOROUGH COMMUNICATION WITH THE POROUS ASPHALT SUPPLIER AND PAVEMENT INSTALLER IS ESSENTIAL. THEY MUST UNDERSTAND THE POROUS PAVEMENT'S SPECIAL OBJECTIVES, THE SPECIAL MATERIALS AND PROCEDURES NECESSARY TO MAKE IT EFFECTIVE, AND WHY COMPLIANCE WITH SPECIFICATIONS IS ESSENTIAL. TO THIS END, THE SPECIFICATIONS STATE PROMINENTLY AND REPEATEDLY THE SPECIAL NATURE AND PURPOSE OF THE POROUS MATERIALS. IN ADDITION, THE PROJECT ENGINEER SHOULD MEET WITH THE CONTRACTORS IN PERSON TO REVIEW THE SPECIFICATIONS AND MAKE SURE THE CONTRACTORS UNDERSTAND THE OBJECTIVES. HE SHOULD OBSERVE THE CONTRACTORS ON-SITE FREQUENTLY, TO MAKE SURE THE OBJECTIVES ARE CARRIED OUT. HE SHOULD MAINTAIN A WRITTEN RECORD DOCUMENTING REVIEW AND APPROVAL AT CRITICAL PROJECT STAGES SUCH AS EXCAVATION OF THE SUB GRADE AND QUALITY CHECKS OF BASE AND SURFACE MATERIALS. HE SHOULD INSPECT THE SITE TO MAKE SURE CONSTRUCTION VEHICLES ARE NOT ALLOWED TO TRAVERSE EXCAVATED SUB GRADE OR THE PAVEMENT STRUCTURE AT ANY INAPPROPRIATE STAGE. HE SHOULD FORBID CONSTRUCTION TRAFFIC FROM TRACKING SOIL ONTO THE FINISHED PAVEMENT SURFACE.

INSTALLATION

- PERCOLATION BEDS
 - OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
 - SUB GRADE PREPARATION
 - EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
 - WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
 - BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSIONS, PONDING, OR TRAFFIC COMPACTED BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
 - RECHARGE BED INSTALLATION
 - UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
 - PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
 - INSTALL COARSE AGGREGATE (CRUSHED STONE) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 45% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL FILTER COARSE (BANK RUN GRAVEL) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL CHOKER BASE COURSE (SEE MATERIALS SECTION) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO LESS THAN 4-INCH IN DEPTH.
- SURROUNDING AREAS
 - BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ON THE PAVEMENT SURFACE.
 - TO ACCOMPLISH THIS, A SEQUENCE OF TEMPORARY SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPHILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PLANTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVENAYS.
 - BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.

INSTALLATION (CONT...)

- POROUS ASPHALT
 - TRANSPORTING MATERIAL
 - TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
 - THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
 - POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
 - ASPHALT PLACEMENT
 - THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE OR TWO LIFTS DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO DEPTH INDICATED. IF LAID IN TWO LIFTS THE PAVEMENT SHALL BE CLEANED AND INSPECTED BY THE ENGINEER BEFORE PLACEMENT OF THE SECOND LIFT.
 - THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT (BASED ON RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
 - INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
 - THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
 - THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SCREED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
 - COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST AN 8-12 TON ROLLER. BREAKDOWN ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 215 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT. INTERMEDIATE ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 150 DEGREES FAHRENHEIT AND 200 DEGREES FAHRENHEIT. THE CESSATION TEMPERATURE OCCURS AT APPROXIMATELY 175 DEGREES FAHRENHEIT, AT WHICH POINT THE MIX BECOMES RESISTANT TO COMPACTION. IF COMPACTION HAS NOT BEEN DONE AT TEMPERATURE GREATER THAN THE CESSATION TEMPERATURE, THE PAVEMENT WILL NOT ACHIEVE ADEQUATE DURABILITY.
 - IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
 - AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE; REMOVE AT THE DISCRETION OF THE ENGINEER.
 - STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
 - PAVEMENT-MARKING PAINT; LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-P-1452.
 - SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
 - PAINT 4 INCH WIDE PARKING STRIPING AND TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
 - WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK. TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
 - POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
 - REPAIR OF DAMAGED PAVING
 - ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
 - FULL QUALITY CONTROL
 - THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE, WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
 - TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS, REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
 - SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT

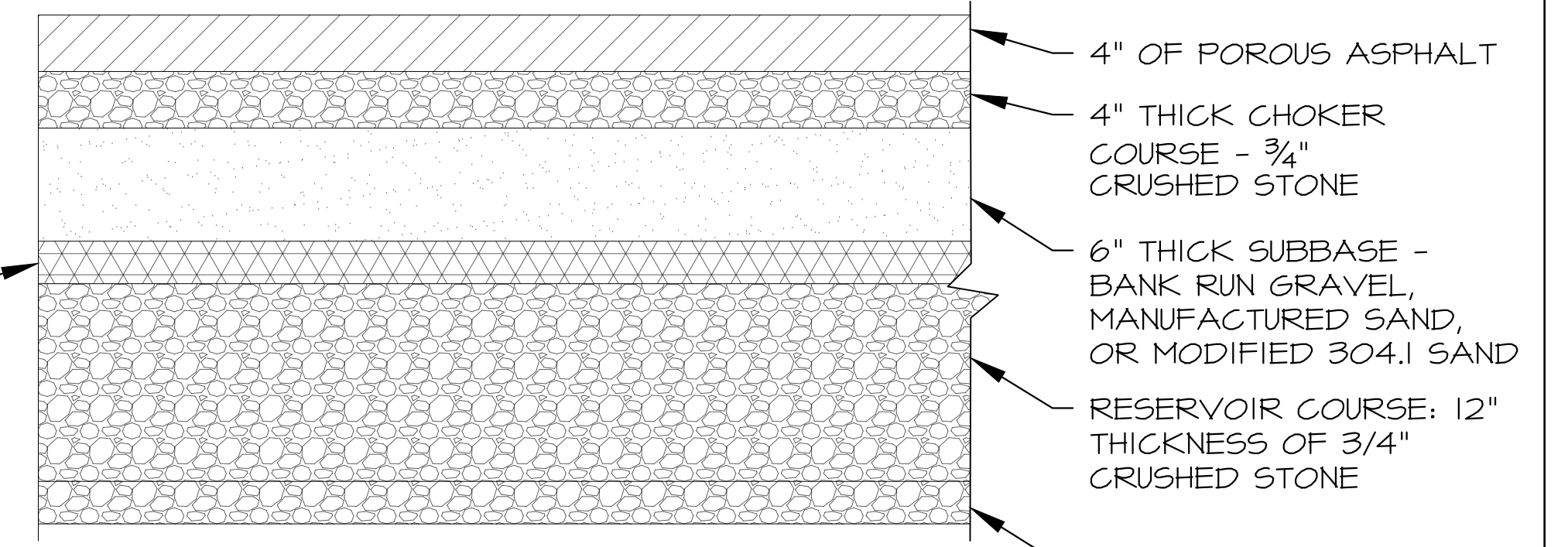
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

- SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NaCl, MgCl2, OR EQUIVALENT). REDUCED SALT APPLICATION OF 50% OVER TRADITIONAL PAVEMENT APPLICATION RATES, NONTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
- PLOWING IS ALLOWED, BLADE SHOULD BE SLIGHTLY RAISED (ALTHOUGH NOT NECESSARY, THIS WILL PREVENT PAVEMENT SCARING). ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED AFTER 2 TO 4 INCHES OF SNOW ACCUMULATION.

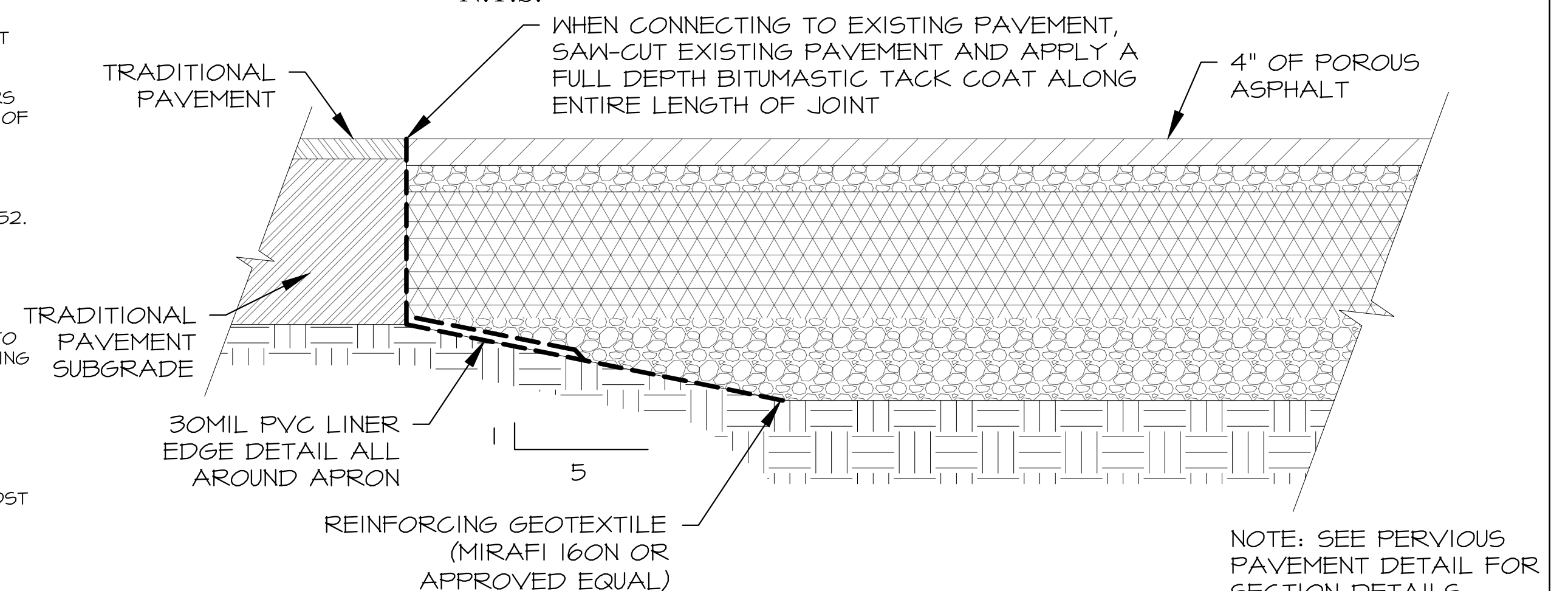
ROUTINE MAINTENANCE:

- ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
- THE PAVEMENT SURFACE SHOULD BE VACUUMED 2 TO 4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
- PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
- IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
- DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
- REPAIRS: FOR THE POROUS ASPHALT PARKING LOT, POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM. REPAIRS TO THE POROUS ASPHALT SIDEWALK SHALL BE MADE WITH A PERVIOUS MIX.
- WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.



PERVIOUS PAVEMENT DETAIL

N.T.S.



PERVIOUS PAVEMENT TRANSITION DETAIL

N.T.S.

STORMWATER INSPECTION & MAINTENANCE LOG

ACTIVITY	DATE OF INSPECTION	WHO INSPECTED	SATISFACTORY: YES, NO, N/A	MAINTENANCE NEEDED	IMPLEMENTED DATE OF CORRECTIVE ACTION	FINDINGS OF INSPECTOR
PERVIOUS ASPHALT						

KEEP MAINTENANCE LOG ON SITE. FILL OUT AS PER THE DIRECTIONS IN THE MAINTENANCE NOTES.

5	6/2/2023	CC SUBMITTAL	
4	5/30/2023	PB SUBMITTAL	
3	2/6/2023	ZBA SUBMITTAL	
2	1/3/2023	FOR REVIEW	
1	10/7/2022	FOR REVIEW	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE 1" = 20'			
CHECKED A. ROSS			
DRAWN D.D.D.			

ROSS ENGINEERING
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909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

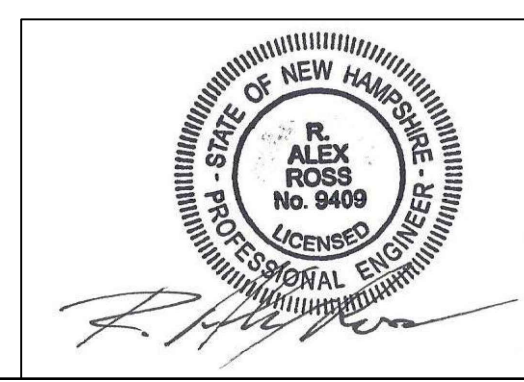
CLIENT
DAVID A. RICHARDS
14 HOBART ST
EXETER, NH 03833

TITLE

DETAILS

14 Hobart St
EXETER, NH 03833
TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	4 OF 5	5



**EROSION AND SEDIMENTATION CONTROL
CONSTRUCTION PHASING AND SEQUENCING**

1. SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
2. INSTALL SILT/SOXX FENCING AS PER DETAILS AND AT SEDIMENT MIGRATION.
3. CONSTRUCT TREATMENT SWALES, LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
4. STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL & COVER WHERE PRACTICABLE.
5. MINIMIZE DUST THROUGH APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES ON SITE.
6. ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
7. FINISH GRADE AND COMPACT SITE.
8. RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
9. STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
10. RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
11. SILT SOXX FENCING TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO ENSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT SOXX FENCING ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
12. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
13. ALL TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC. MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
14. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
15. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
16. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
17. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
18. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
19. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
20. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. ALL TREES AND SHRUBS SHALL HAVE WATER SAUCERS BUILT AROUND THEIR BASES AND THESE SHALL BE MULCHED WITH 4" OF DARK BROWN AGED BARK MULCH. MULCH MUST BE KEPT 2" AWAY FROM THEIR TRUNKS.
4. ALL TREES AND SHRUBS SHALL BE PLANTED AND MULCHED BEFORE LAWN IS SEEDED.

MAINTENANCE REQUIREMENTS:

1. ALL TREES, SHRUBS, AND PERENNIALS WILL NEED TO BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
2. AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT ACCEPTABLE FOR IRRIGATING TREES AND SHRUBS.

SEEDING AND STABILIZATION FOR LOAMED SITE:

FOR TEMPORARY & LONG TERM SEEDINGS USE AGWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL COMPONENTS. ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE, FERTILIZER & LIME:
NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE
MULCH:
HAY OR STRAW 1.5-2 TONS/ACRE

A) GRADING AND SHAPING

- 1) SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

B) SEED BED PREPARATION

- 1) SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- 2) STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

1. CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 2 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
3. ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
4. ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED WITHIN 24 HOURS OF EARTH-DISTURBING ACTIVITIES BEING CEASED, AND WILL BE FULLY STABILIZED NO LONGER THAN 14 DAYS AFTER INITIATION, (SEE NOTE II FOR DEFINITION OF STABLE). ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE. ALL TEMPORARY OR LONG TERM SEEDING MUST BE APPLIED TO COMPLY WITH "WINTER CONSTRUCTION NOTES" (SEE WINTER CONSTRUCTION NOTES). EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED (SEE NOTE II FOR DEFINITION OF STABLE).
5. TEMPORARY & LONG TERM SEEDING: USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
6. SILT/SOXX FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT/SOXX AND ANY EDGE OF WET AREA.
7. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
8. SEDIMENT BASIN(S), IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
9. SILT/SOXX FENCING WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
10. TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
11. AN AREA SHALL BE CONSIDERED FULLY STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON STANDARDS AND SPECIFICATIONS SET FORTH IN THE STORM WATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (DECEMBER 2008 OR LATEST) PREPARED BY ROCKINGHAM COUNTY CONSERVATION DISTRICT, N.H. DES AND NRCS.

WINTER CONSTRUCTION NOTES

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.;
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

LONG TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C	lb/ACRE	lb/1000SF
TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED CLOVER (ALSIKE)	20	0.45
TOTAL	48	1.35

LIME: AT 2 TONS PER ACRE OR 100 LBS PER 1,000 S.F.
FERTILIZER: 10 20 20 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.
SEEDBED PREPARATION:
SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED. SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

SHORT TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C	#/ACRE	#/1000SF
FOR APRIL 1 - AUGUST 15		
ANNUAL RYE GRASS	40	1
FOR FALL SEEDING		
WINTER RYE	112	2.5

LIME: AT 1 TON PER ACRE OR 100 LBS PER 1,000 S.F.
FERTILIZER: 10 10 10 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.

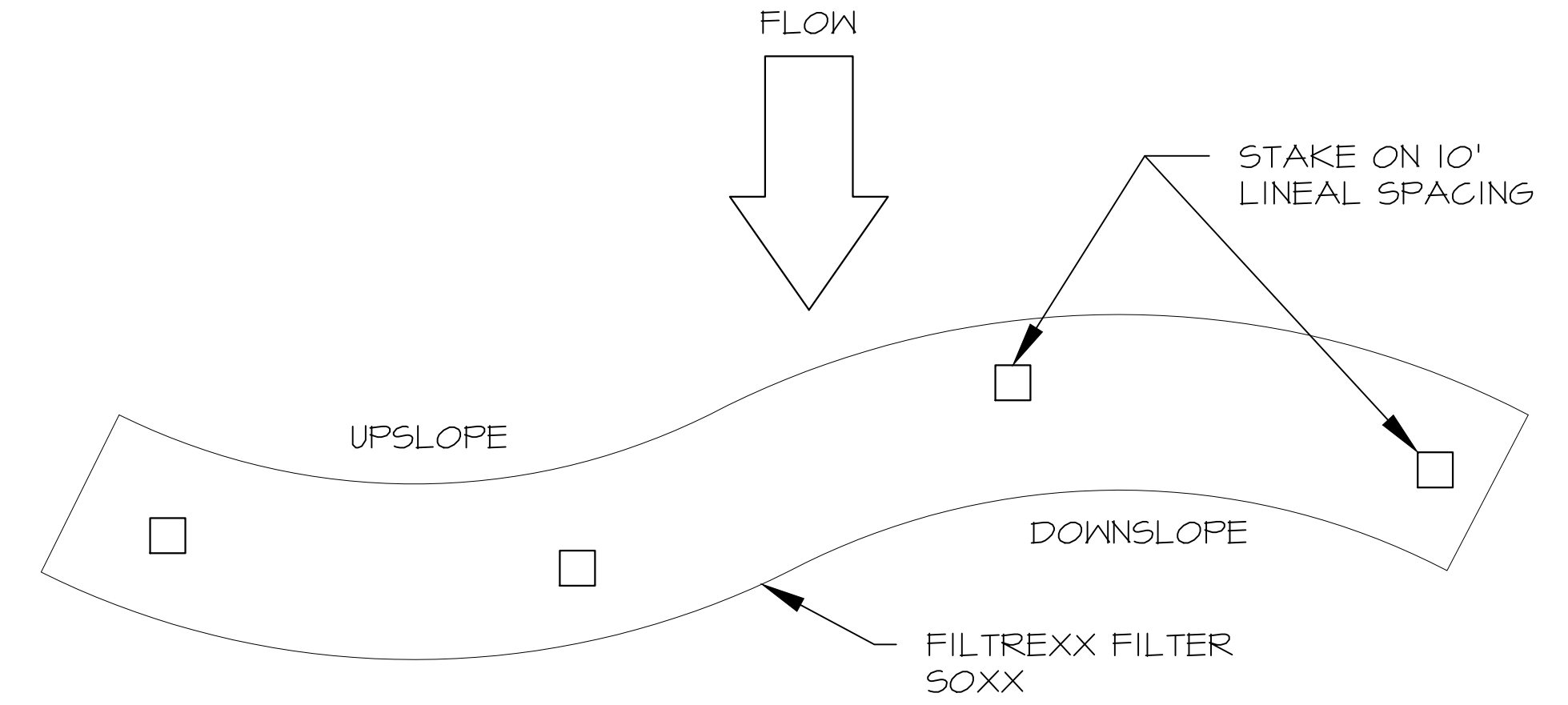
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* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

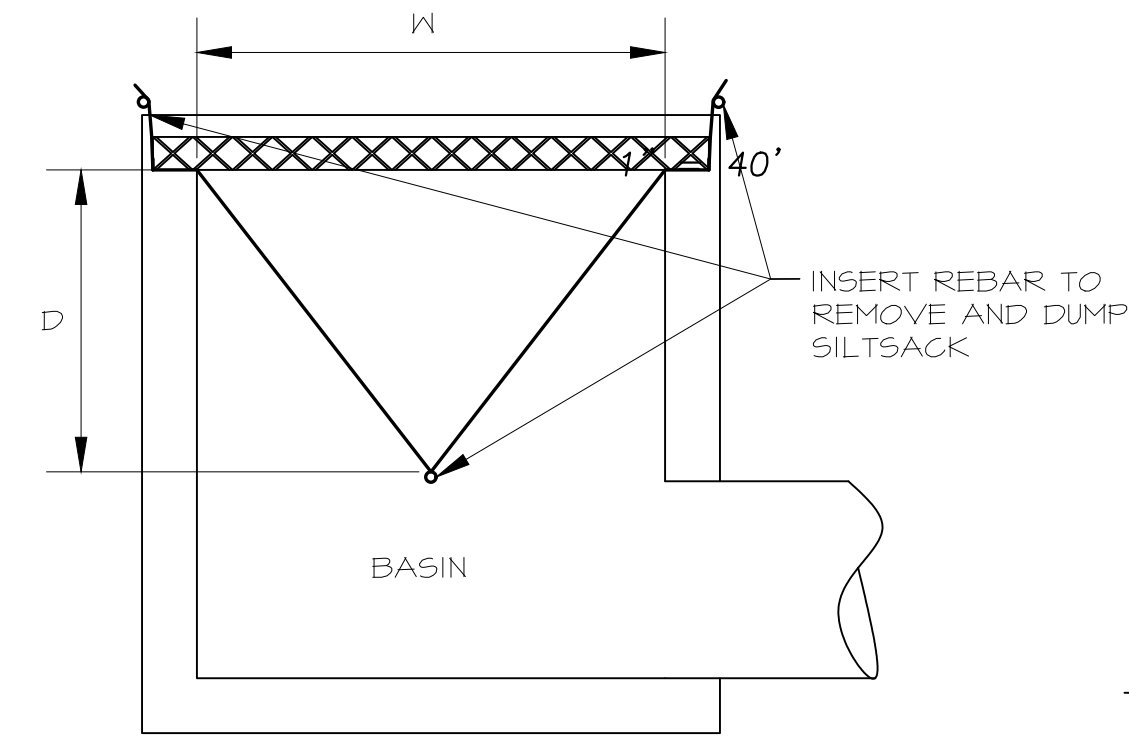
WHEN PROPOSED FOR ALTERATION DURING CONSTRUCTION AS BEING INFESTED WITH INVASIVE SPECIES SHALL BE MANAGED APPROPRIATELY USING THE DISPOSAL PRACTICES IDENTIFIED IN "NHDOT - BEST MANAGEMENT PRACTICES FOR ROADSIDE INVASIVE PLANTS - 2008" AND "METHODS FOR DISPOSING NON-NATIVE INVASIVE PLANTS - UNH COOPERATIVE EXTENSION - 2010"

SEED MIXES SHALL NOT CONTAIN ANY SPECIES IDENTIFIED BY THE NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST.



Filtrexx SiltSoxx Plan View

N.T.S.



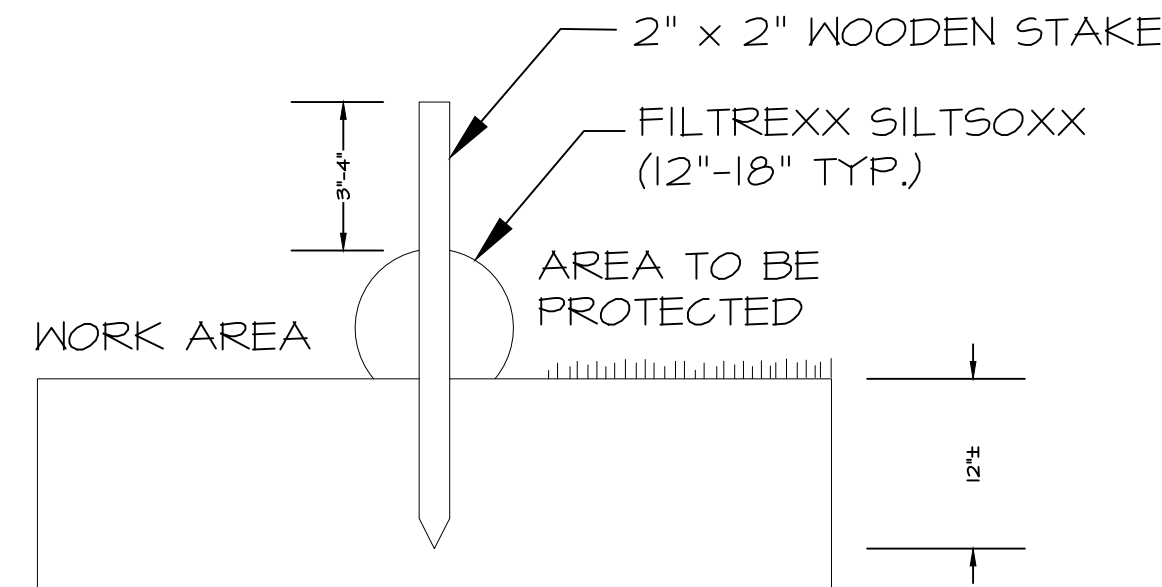
SILT SACK IS TO BE SECURED BY WEIGHT OF BASIN GRATE TO PREVENT SEDIMENT FROM ENTERING THE DRAIN LINE

INSTALL SILT SACK TO CATCH BASINS 1, 2, & 3 PRIOR TO CONSTRUCTION & TO CATCH BASINS A, B, C & D DURING CONSTRUCTION. DO NOT REMOVE SILT SACK UNTIL CONSTRUCTION IS COMPLETE.

Silt sack
N.T.S.

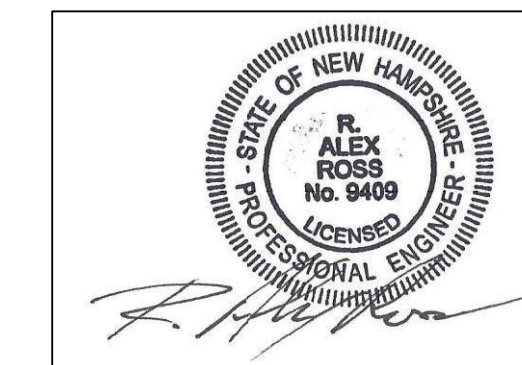
FILTREXX SILT/SOXX NOTES

- 1) ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
- 2) SILT/SOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



Filtrexx SiltSoxx Section

N.T.S.



5	6/2/2023	CC SUBMITTAL	
4	5/30/2023	PB SUBMITTAL	
3	2/6/2023	ZBA SUBMITTAL	
2	1/3/2023	FOR REVIEW	
1	10/7/2022	FOR REVIEW	

ISS.	DATE	DESCRIPTION OF ISSUE
SCALE	1" = 20'	
CHECKED	A. ROSS	
DRAWN	D.D.D.	

ROSS ENGINEERING
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
DAVID A. RICHARDS
14 HOBART ST
EXETER, NH 03833

TITLE

EROSION CONTROL PLAN

14 Hobart St
EXETER, NH 03833
TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	5 OF 5	5

**Ross Engineering
Civil / Structural Engineering**

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

List of Abutters

Dated 5-30-23

Applicant & Land Owner's Name:
Janine L. Richards
Janine L. Richards Revocable Trust-2022
14 Hobart St
Exeter, NH 03833

Location of Land:
14 Hobart St
Exeter, NH 03833
Tax Map 74, Lot 88

Abutters:

- | | |
|--|--|
| 1) Kenick Family Homestead Trust
10 Hobart St
Exeter, NH 03833
Tax Map 74, Lot 86 | 2) Joseph T. Brackett
16 Mckinley St
Exeter, NH 03833
Tax Map 74, Lot 91 |
| 3) Samuel D. Magnant & Paige L. Smith
12 Hobart St
Exeter, NH 03833
Tax Map 74, Lot 87 | 4) Judith L. Fraumeni Rev. Trust
7 Glenn Dr.
Lynnfield, MA 01940
Tax Map 74, Lot 81 |
| 5) The 16-18 Hobart Street Rev. Trust
49 Liberty Hill Rd
Bedford, NH 03110
Tax Map 74, Lot 89 | 6) Geoffrey F. Simard
2 Crestview Dr
Exeter, NH
Tax Map 74, Lot 92 |
| 7) Klemarczyk Family Rev. Trust
20 Hobart St
Exeter, NH 03833
Tax Map 74, Lot 90 | 8) Brett Kostolansky
4 Crestview Dr.
Exeter, NH 03833
Tax Map 74, Lot 93 |

Owners:

- 9) Janine L. Richards
Janine L. Richards Revocable Trust-2022
14 Hobart St
Exeter, NH 03833

Professionals:

- | | |
|---|--|
| 10) Alex Ross, Ross Engineering, LLC
909 Islington St.
Portsmouth, NH 03801 | 11) Marc Jacobs CSS, CWS
P.O. Box 417
Greenland, NH 03840-0417 |
|---|--|

TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: June 26, 2023

To: Alex Ross, P.E., Ross Engineering LLC
Dave Richards, property owner

From: Dave Sharples, Town Planner

Re: Site Plan Review TRC Comments Ross Engineering LLC
PB Case #23-8
14 Hobart Street Tax Map Parcel #74-89

The following comments are provided as a follow-up for technical review of the site plans and supporting documents submitted on May 30th and June 2nd, 2023 for the above-captioned project. The TRC meeting was held on June 22, 2023 and materials were reviewed by Town departments.

TOWN PLANNER COMMENTS

1. Are there any known environmental hazards onsite? Have any environmental studies been completed and, if so, please provide copies;
2. Monumentation shall be set in accordance with Section 9.25;
3. Provide a stormwater maintenance checklist for all stormwater features that lists all tasks needed to maintain the systems and frequency they need to be accomplished. A completed checklist will need to be submitted to the Town of Exeter each year to insure proper ongoing maintenance.
4. Proposed Unit # 3 is partially located on the adjacent property. This needs to be resolved prior to the Planning Board issuing an approval.
5. There is proposed grading within 5' of a property line that is prohibited per section 9.3.6.4 of the Site Plan Review and Subdivision Regulations.
6. All units shall tie into municipal water and sewer. Show connections on plans.
7. Provide LLS stamp on plans.
8. Condo documents shall be submitted when available. Final site plan approval cannot occur until these documents are reviewed and approved by the Town.

PUBLIC WORKS COMMENTS

No comments received.

FIRE DEPARTMENT COMMENTS

Per e-mail from Deputy Chief Jason Fritz, dated 6/27/23, he has been working with the Applicant directly regarding fire department access.

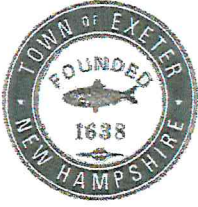
NATURAL RESOURCE PLANNER COMMENTS

At the June 13th, 2023 meeting, the Conservation Commission recommended approval of the Shoreland Conditional Use Permit with the following conditions:

- Condominium documents to include maintenance requirements for pervious pavement
- Condominium documents to reference fertilizer use limitations as defined by zoning ordinance 9.3.4.F.12

Should design changes occur in a way that alters impacts to the buffers, we would request an opportunity for additional review.

In order to be heard at the July 13th, 2023 Planning Board meeting, please submit any revised plans along with a letter responding to these comments (and other review comments, if applicable) **no later than June 30th, 2023** but sooner if possible, to allow staff adequate time to review the revisions and responses prior to the planning board hearing.



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

February 22, 2023

Sharon Cuddy Somers, Esquire
Donahue, Tucker & Ciandella PLLC
16 Acadia Lane
POB 630
Exeter, New Hampshire 03833

Re: Zoning Board of Adjustment Case #23-4 – Special Exception for Janine L. Richards
14 Hobart Street, Exeter, N. H.
Tax Map Parcel #74-88

Dear Attorney Somers:

This letter will serve as official confirmation that the Zoning Board of Adjustment, at its February 21st, 2023 meeting, voted to grant the above-captioned application for a special exception per Article 4, Section 4.2, Schedule I: Permitted Uses and Article 5, Section 5.2 to permit the conversion of the existing single-family home and accessory structures (detached barn and garage) located at 14 Hobart Street into up to four (4) residential condominium units, as presented, with the commitment from the Applicant that additional screening will be provided along the northern and southern property lines. This approval was granted subject to the condition that site plan review approval be obtained from the Planning Board and that the condominium units shall be owner-occupied.

Please be advised that in accordance with Article 12, Section 12.4 of the Town of Exeter Zoning Ordinance entitled "Limits of Approval" that all approvals granted by the Board of Adjustment shall only be valid for a period of three (3) years from the date such approval was granted; therefore, should substantial completion of the improvements, modifications, alterations or changes in the property not occur in this period of time, this approval will expire.

If you should have any questions, please do not hesitate to contact the Building Department office at (603) 773-6112.

Sincerely,

Robert V. Prior
Vice Chairman
Exeter Zoning Board of Adjustment

cc: Janine L. and David Richards, property owner
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Whitten, Town Assessor

RVP: bsm

265 David Taylor of 117 Court Street said he brings the perspective of a non-
266 neighbor. He's concerned about the number of cars and increase in traffic.
267 There's a bottleneck in traffic downtown, especially with the bridge. The
268 application has a reliance on the MUND but this isn't mixed use, it's a couple of
269 bathrooms in a building facing the parking lot. Also, who will be maintaining the
270 "ambassador suite"?

271 Attorney Phoenix said he's surprised at the level of opposition. What the
272 applicant proposed is a vast improvement on what's there. Legally, since we
273 comply, the parking issue is a Planning Board issue, but since there is concern,
274 we request to withdraw our application for now so we can take more time to
275 address their concerns. We are not asking for a continuance.
276

277 Ms. Davies made a motion to accept the applicant's request to withdraw. Ms. Olson-Murphy
278 seconded. Mr. Prior, Ms. Olson-Murphy, Ms. Davies, Mr. Mirsky, and Ms. Montagno voted aye,
279 and the motion passed 5-0.

280
281
282 C. The application of Janine L Richards for a special exception per Article 4, Section
283 4.2, Schedule I: Permitted Uses and Article 5, Section 5.2 to permit the
284 conversion of the existing single-family home and accessory structures
285 (detached barn and garage) located at 14 Hobart Street into four (4) residential
286 condominium units. The subject property is located in the R-2, Single Family
287 Residential zoning district. Tax Map Parcel #74-88. ZBA Case #23-4.

288 Attorney Sharon Somers of DTC spoke on behalf of the applicant Janine
289 Richards, who was not present. The applicant's husband, David Richards, was
290 also present.

291 Attorney Somers said the relief sought is to authorize the single-family
292 property to be converted into 4 residential units. She added that Mr. Richards is
293 not sure whether he wants to go up to 4, so she requests to amend the relief to
294 allow "up to 4 units". She presented a tax card with a photo of the property; to the
295 left of the house is the garage, which is also noted on the plan. The tax map has
296 asterisks which note the lots in the vicinity that have multiple units. Most have 2
297 units, but one has 5 units.

298 Attorney Somers said the existing conditions are a single family house
299 with barn, garage, and shed. The site plan shows the existing driveway. We're
300 proposing to have 1 or 2 units in the single family house. If 2, there would be a
301 second garage attached to service the second unit. One unit is proposed for the
302 existing garage and one unit is proposed in the barn. The barn would have a new
303 400 square foot attached garage and new driveway. Each of the proposed units,
304 other than the garage unit, will have its own separate garage. We conform with
305 setbacks with the existing garage, and with the impervious surface requirements.
306 There won't be any change to the site other than the new driveway and the
307 creation of 2 or 3 garage spaces depending on how many units are created in the
308 single-family house. There are other properties in the neighborhood that are

309 multi-family. The proposed units are condominium units and will be owner-
310 occupied. The property is serviced by municipal water and sewer.

311 Attorney Somers went through the special exception criteria. A) The use
312 is a permitted special exception as set forth in Article 4.2, Schedule I; yes.
313 B) That the use is so designed, located and proposed to be operated that the
314 public health, safety, welfare, and convenience would be protected; yes.
315 C) That the proposed use will be compatible with the zone district and adjoining
316 post-1972 development where it is to be located; yes. D) That adequate
317 landscaping and screening are provided; yes, the site plan shows that there will
318 be a fence between the existing garage and 12 Hobart Street. Between the
319 property and 16-18 Hobart Street, there's a stone wall, and that wall and some
320 landscaping will act as screening between the barn unit and 16-18 Hobart Street.
321 E) That adequate off-street parking and loading is provided and ingress and
322 egress is so designed as to cause minimum interference with traffic on abutting
323 streets; yes, each unit will have its own garage. F) That the use conforms with all
324 applicable regulations governing the district where located; yes. G) The applicant
325 may be required to obtain Planning Board or Town Planning approval; yes, we
326 are aware that the Planning Board will have to review the proposal. H) That the
327 use shall not adversely affect abutting or nearby property values; yes, the
328 proposed use is residential, and all the properties in the area are single-family or
329 multi-family residential.

330 Ms. Davies asked if the buildings would be single-story. Mr. Richards said
331 we're planning to adhere to the rules that make it smaller than 400 square feet.
332 We haven't designed it yet. He's envisioning them being a standard garage
333 height. Mr. Prior asked if the existing footprint of the buildings would not change,
334 and Attorney Somers confirmed that the footprint would not change.

335 Ashley Comarsik of 20 Hobart Street said she has a right of way with the
336 neighbors at 16 and 18 Hobart. Her concern is parking. This was proposed years
337 ago and the concern then was impact on the neighborhood. This is a narrow
338 dead-end street which tapers off toward the end of the road. 16-18 Hobart has
339 four cars. There's a lot of traffic and turning around. Mailboxes have been hit and
340 people have driven off the road. How will the infrastructure of the road be
341 upgraded? Pipes are collapsing and water is spraying into the road. Does the
342 proposed driveway cut into 20 Hobart Street's property? The applicant mentioned
343 moving a rock wall, how will that be moved?

344 Cassandra Shawver of 16-18 Hobart Street, a direct abutter, said she has
345 concerns about traffic and parking. The spot where the driveway comes out at
346 McKinley and Hobart is a chokepoint. There are garages proposed, but where
347 will visitors park?

348 Ms. Davies said she has a question about the lot lines. Attorney Somers
349 said there was a lot line adjustment a few months ago, which is reflected in the
350 plan but not the tax map. The effect of the lot line adjustment made the 14 lot
351 larger in order to meet the dimensional requirements.

352 Attorney Somers said the total of parking spaces required is 9 spaces for
353 the 4 units. There will be 3-4 bedrooms in unit 1 in the barn, 3 bedrooms each in
354 units 2 and 3 but that may decrease, and 2 bedrooms in unit 4. The garages
355 themselves will house 6 cars, and the remaining 3 cars can be parked in the
356 driveway, so we believe there is adequate space to house the cars on the
357 property. Traffic will be a Planning Board issue. She agrees that it's a little tight
358 down there. The stone wall is on the 14 Hobart Street property. It wouldn't be
359 moved, but the length might be extended and some additional greenery might be
360 installed.

361 Mr. Prior asked for further public comment, but there was none. He
362 brought the discussion to the Board for deliberation.

363 Mr. Prior said the application is for up to 4 units in existing structures. It
364 meets all of the other requirements for setbacks and parking.

365 Ms. Olson-Murphy asked about the current condition of the garage and
366 barn. Can they be rehabbed? Mr. Prior said that's up to them and the Code
367 Enforcement Officer. It just has to be the same footprint.

368 Ms. Davies asked if there needs to be a permit for the second driveway,
369 and Mr. Eastman said we can require them to get a driveway permit. Ms. Davies
370 asked if there's any problem with two driveways for a certain amount of frontage,
371 and Mr. Eastman said no.

372 Ms. Davies went through the special exception criteria. A) The use is a
373 permitted special exception as set forth in Article 4.2, Schedule 1; yes, it is
374 permitted. B) That the use is so designed, located and proposed to be operated
375 that the public health, safety, welfare, and convenience would be protected; yes,
376 there are mild concerns from the nearby property owners, but that's more about
377 the public right of way than this proposal. She doesn't see this proposal as
378 presenting significant concerns. There's not a great change in the physical
379 aspects of the property, other than the addition of the three garages. C) That the
380 proposed use will be compatible with the zone district and adjoining post-1972
381 development where it is to be located; yes, there are no new structures other
382 than the garages, and there are multiple properties nearby that have more than
383 one unit. D) That adequate landscaping and screening are provided; the Board
384 should condition the approval on the assertions made by the applicant regarding
385 the screening. E) That adequate off-street parking and loading is provided and
386 ingress and egress is so designed as to cause minimum interference with traffic
387 on abutting streets; yes, she's satisfied that there is adequate off-street parking
388 between the garages and the driveway parking. F) That the use conforms with all
389 applicable regulations governing the district where located; yes, it does conform.
390 They don't require any additional relief. G) The applicant may be required to
391 obtain Planning Board or Town Planner approval; yes, they are intending to go to
392 the Planning Board. Mr. Prior said we should make that a condition of any
393 motion. H) That the use shall not adversely affect abutting or nearby property
394 values; yes, there will be an increase in the number of units, but not the physical

395 aspects other than the garages. The property is well within its lot coverage and
396 other requirements. I) and J) do not apply.

397 Ms. Montagno asked if the owner-occupied condition would be looked at
398 by the Planning Board to ensure that it gets into the condo documents. Mr.
399 Eastman said that would go through the Planning Office. Mr. Prior said when we
400 approve the application as presented, that would become part of the acceptance.
401

402 Ms. Davies moved to accept the application of Janine L Richards for a special exception
403 per Article 4, Section 4.2, Schedule I: Permitted Uses and Article 5, Section 5.2 to permit
404 the conversion of the existing single-family home and accessory structures at 14 Hobart
405 Street into up to four residential condominium units as presented, with the commitment
406 of the applicant to provide screening on the north and south property lines and with a
407 condition that the site plan be reviewed by the Planning Board. This is ZBA case #23-4.
408 Ms. Olson-Murphy seconded. Mr. Mirsky asked if we have to require that the units be
409 owner-occupied. Mr. Prior said it's useful to repeat that as a condition of acceptance, but
410 it is in the application as presented.
411

412 Mr. Mirsky moved to amend the motion to include that the application is being voted on
413 based on the presentation by the applicant, and that the applicant intends to convey the
414 units as condominium units and prevent them from becoming rental units. The
415 condominium documents will require that the units be owner-occupied. Ms. Montagno
416 seconded. Mr. Mirsky, Ms. Olson-Murphy, Mr. Prior, Ms. Davies, and Ms. Montagno
417 voted aye, and the amendment passed 5-0.
418

419 On the amended motion, Mr. Mirsky, Ms. Olson-Murphy, Mr. Prior, Ms. Davies, and Ms.
420 Montagno voted aye, and the amended motion passed 5-0.
421

422
423 The Board took a short break and reconvened at 9:10 PM.
424

425 D. The application of Samuel Lightner for a variance from Article 4, Section 4.3
426 Schedule II: Density & Dimensional Regulations-Residential to permit the
427 proposed construction of a 200 S.F. addition to the existing residence at 25
428 Clover Street with less than the required minimum front yard setback. The
429 subject property is located in the R-3, Single Family Residential zoning district.
430 Tax Map Parcel #64-66. ZBA Case #23-5.

431 Attorney Somers spoke on behalf of the applicants, owners Sam and
432 Colleen Lightner, who were also present. Attorney Somers said the applicants
433 are looking to create an addition to the front of their existing home. The setback
434 would be 12.8 feet from the street as opposed to the required 25 feet. The corner
435 of the proposed building is 13.9 to the street and the roof corner is 12.8. It's a two
436 story structure. Exhibit 4 depicts a fence around the boundary of the property and
437 shows the trees that are on the property itself, including a large maple tree to the
438 right of the existing structure.

**TOWN OF EXETER
CONSERVATION COMMISSION MEMORANDUM**

Date: June 22, 2023
To: Exeter Planning Board
From: Andrew Koff, Chair, Exeter Conservation Commission
Subject: Shoreland Conditional Use Permit

Project Information:

Project Location: 14 Hobart Street, Exeter, NH
Map/Lot: Map 74, Lots 88
CC Review Date: 6/13/23
PB CASE: #23-08

Following a presentation and review of the conditional use permit criteria, the Exeter Conservation Commission voted as follows:

They recommend approval of the Shoreland Conditional Use Permit with the following conditions:

- Condominium documents to include maintenance requirements for pervious pavement
- Condominium documents to reference fertilizer use limitations as defined by zoning ordinance 9.3.4.F.12

Should design changes occur in a way that alters impacts to the buffers, we would request an opportunity for additional review.



Andrew Koff
Chair, Exeter Conservation Commission

Ross Engineering
Civil/Structural Engineering & Surveying

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

June 30, 2023

Dave Sharples, Town Planner
10 Front St
Exeter, NH 03833

RE: Site Plan Review TRC Comments
Ross Engineering LLC
PB Case #23-8
14 Hobart St
Tax Map Parcel #74-89

Dear Mr. Sharples,

I am writing in response to your letter dated June 26, 2023. Your concerns are italicized with our comments below in bold.

Town Planner Comments

- 1. Are there any known environmental hazards onsite? Have any environmental studies been completed and, if so, please provide copies;*

There are no known environmental hazards onsite. No studies have been completed.

- 2. Monumentation shall be set in accordance with Section 9.25;*

Monumentation will be set in accordance with Section 9.25 of the Exeter Site Plan Review and Subdivision Regulations. Corners of the property to be monumented have been shown as monuments to be set.

- 3. Provide a stormwater maintenance checklist for all stormwater features that lists all tasks needed to maintain systems and frequency they need to be accomplished. A completed checklist will need to be submitted to the Town of Exeter each year to insure proper ongoing maintenance.*

A stormwater operations and maintenance manual has been added to this submission. A checklist is provided in this manual to be submitted to the Town of Exeter annually.

- 4. Proposed Unit #3 is partially located on the adjacent property. This needs to be resolved prior to the Planning Board issuing an approval.*

Unit #3 does not encroach on the abutting property. Proposed Unit #3 will be constructed to ensure it does not encroach on the abutting property.

Ross Engineering
Civil/Structural Engineering & Surveying

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

5. *There is proposed grading within 5' of a property line that is prohibited per section 9.3.6.4 of the Site Plan Review and Subdivision Regulations.*

Grading along the southern driveway has been removed. Proposed pervious asphalt driveway to follow the same grade as the existing asphalt driveway. No fill is proposed 5' from the property line.

6. *All units shall tie into municipal water and sewer. Show connections on plans.*

Sheet 4 "Utility Plan" has been added to this plan set. One configuration for tie-ins to municipal water and sewer has been shown. Contractor to coordinate with the Public Works Department and install as per their specifications.

7. *Provide LLS stamp on plans.*

An LLS stamp has been added to the Existing Conditions Plan.

8. *Condo documents shall be submitted when available. Final site plan approval cannot occur until these documents are reviewed and approved by the Town.*

Condo documents will be submitted to the Town when completed.

Natural Resource Planner Comments

1. *Condominium documents to include maintenance requirements for pervious pavement.*

Condominium documents will include maintenance requirements for pervious pavement.

2. *Condominium documents to reference fertilizer use limitations as defined by zoning ordinance 9.3.4.F.12.*

Condominium documents will reference fertilizer use limitations as defined by zoning ordinance 9.3.4.F.12

Sincerely,

Alex Ross, P.E.

STORMWATER MANAGEMENT OPERATION & MAINTENANCE

14 Hobart St, Exeter, NH

Inspection and Maintenance of Facilities and Property

A. Maintenance of Common Facilities or Property

1. Future owners or assigns are responsible for maintenance of all stormwater infrastructure associated with the facility and the property. This includes the pervious asphalt and landscaping.

B. General Inspection and Maintenance Requirements

1. Permanent stormwater and sediment and erosion control facilities to be maintained on the site include but are not limited to the following:
 - a. Pervious Asphalt
 - b. Landscaped areas
2. Maintenance of permanent measures shall follow the following schedule:

a. Pervious Asphalt:

Visually inspect pavement to ensure it is clean of debris, de-waters between storms and is clean of sediments. Maintain all adjacent and upland areas. Keep surface free of sediment by blowing, and vacuuming as needed. Avoid any sealing or repaving with impervious materials.

1. Inspect every 6 months during the first year of operation. Adjust the inspection interval based on previous observations of sediment accumulation and high water elevations. Adjustment to the inspection interval timeframe shall not be greater than 12 months.
2. Conduct jetting and vactoring annually or when inspection shows that maintenance is necessary.

The following requirements will help assure that the pervious asphalt system is maintained to preserves its effectiveness.

Ross Engineering

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

- i. Inspection of site shall occur monthly for the first few months after construction. Then inspections can occur on an annual basis, preferably after rain events when clogging can occur and be obvious. Pervious asphalt requires minimal maintenance; however, maintenance is absolutely necessary to ensure a proper working system.
- ii. Asphalt seal coating is absolutely forbidden. Surface seal coating is not reversible.
- iii. Street sweepers with vacuums, water, and brushes can be used to restore permeability. Follow sweeping with high-pressure hosing of the surface pores. Surface should be vacuumed periodically (2-4 times per year), and at any additional times sediment is spilled, eroded, or tracked onto the surface.
- iv. Planted areas adjacent to pervious pavers should be well maintained to prevent soil washout onto the pavement. If any bare spots or eroded areas are observed within the planted areas, they should be replanted and/or stabilized at once.
- v. Immediately clean any soil deposited on pavers. Superficial dirt does not necessarily clog the voids. However, dirt that is ground in repeatedly by tires can lead to clogging. Therefore, trucks or other heavy vehicles should be prevented from tracking or spilling dirt onto the pavement.
- vi. Do not allow construction staging, soil/mulch storage, etc. on unprotected pavers surface.
- vii. No winter sanding. Mechanical snow and ice removal preferred.
- viii. Written and verbal communication to the porous paver's future owner should make clear the special purpose and special maintenance requirements such as those listed here.

b. **Landscaped Areas:**

Annual inspection of site's vegetation and landscaping. Any areas that are bare shall be reseeded and mulched with hay or, if the case is extreme, loamed and seeded or sodded to ensure adequate vegetative cover. Landscape specimens shall be replaced in-kind, if they are found to be dead or dying.

Owners shall provide a report on activities performed throughout the year. Report shall include documentation that pavement cleaning is accomplished per this document and a certification that the system continues to function as designed.

Ross Engineering

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

Annual Operations and Maintenance Report

Activity	Date of Inspection	Who Inspected	Satisfactory: Yes, No, N/A	Maintenance Needed	Implemented date of corrective action	Findings of Inspector
Pervious Asphalt (Annual Inspection of Sediment Accumulation)						
Pervious Asphalt (Sweeping & Vacuuming)						
Landscaped Areas						

Checklist of Required Inspection

Inspected Annually

Pervious Asphalt

- Visual Inspection for sediment accumulation has been performed
- Jetting/Vactoring
 - Jetting/Vactoring has been conducted; **OR**
 - Jetting/Vactoring has been deemed not necessary

Landscaping

- Visual inspection of bare areas
 - No Bare Areas; **OR**
 - Bare Areas have been reseeded and mulched; **OR**
 - Bare areas have been loamed and seeded

Inspected Twice Annually

Pervious Asphalt

- Vacuum and sweep surface #1
- Vacuum and sweep surface #2

*This checklist must be submitted to the Town of Exeter each year to insure proper ongoing maintenance.

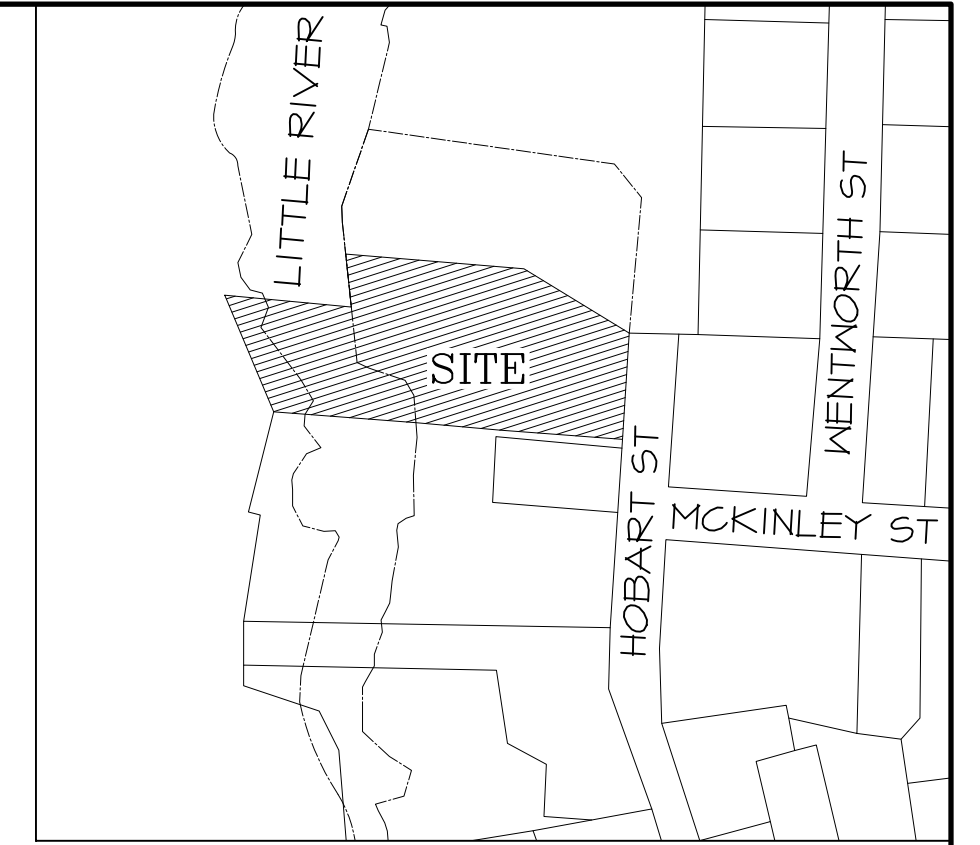
SEE NOTE 2

REFERENCE PLANS

- "SUBDIVISION PLAN" BY JONES & BEACH ENGINEERS, INC. DATED JULY 23, 2013. RCRD D-38224
- "LOT LINE ADJUSTMENT HOBART STREET EXETER N.H." BY T.D. BROUILLETTE LAND SURVEYING DATED MARCH 8, 2013. RCRD D-37119

NOTES

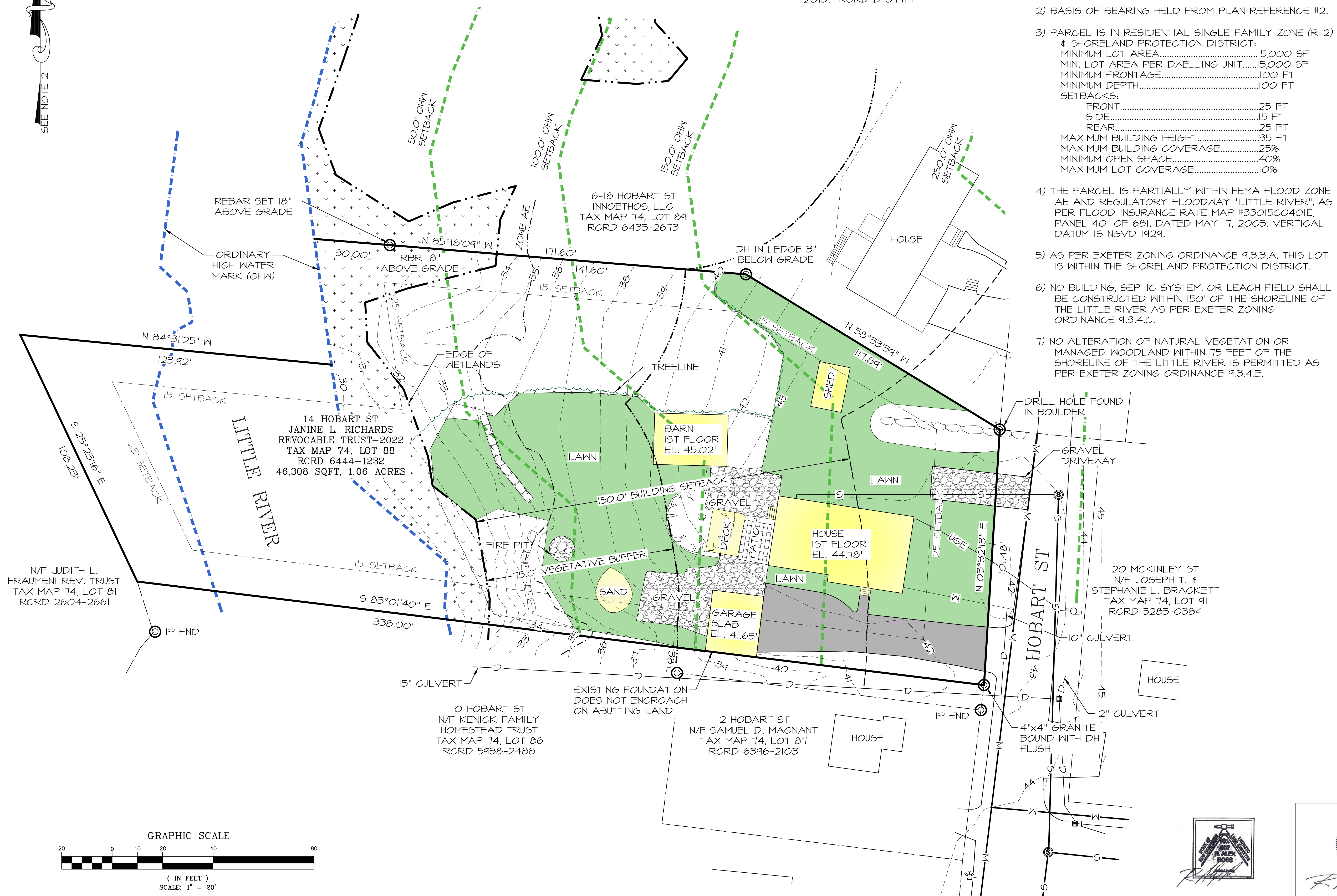
- OWNER OF RECORD:
JANINE L RICHARDS REVOCABLE TRUST-2022
TAX MAP 74, LOT 88
14 HOBART ST
EXETER, NH 03833
RCRD: 6444-1232
AREA: 46,308 SF, 1.06 ACRES
- BASIS OF BEARING HELD FROM PLAN REFERENCE #2.
- PARCEL IS IN RESIDENTIAL SINGLE FAMILY ZONE (R-2) & SHORELAND PROTECTION DISTRICT:
MINIMUM LOT AREA.....15,000 SF
MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....100 FT
SETBACKS:
FRONT.....25 FT
SIDE.....15 FT
REAR.....25 FT
MAXIMUM BUILDING HEIGHT.....35 FT
MAXIMUM BUILDING COVERAGE.....25%
MINIMUM OPEN SPACE.....40%
MAXIMUM LOT COVERAGE.....10%
- THE PARCEL IS PARTIALLY WITHIN FEMA FLOOD ZONE AE AND REGULATORY FLOODWAY "LITTLE RIVER", AS PER FLOOD INSURANCE RATE MAP #33015C0401E, PANEL 401 OF 681, DATED MAY 17, 2005. VERTICAL DATUM IS NGVD 1929.
- AS PER EXETER ZONING ORDINANCE 9.3.3.A, THIS LOT IS WITHIN THE SHORELAND PROTECTION DISTRICT.
- NO BUILDING, SEPTIC SYSTEM, OR LEACH FIELD SHALL BE CONSTRUCTED WITHIN 150' OF THE SHORELINE OF THE LITTLE RIVER AS PER EXETER ZONING ORDINANCE 9.3.4.C.
- NO ALTERATION OF NATURAL VEGETATION OR MANAGED WOODLAND WITHIN 75 FEET OF THE SHORELINE OF THE LITTLE RIVER IS PERMITTED AS PER EXETER ZONING ORDINANCE 9.3.4.E.



**LOCUS PLAN
N.T.S.**

LEGEND

- 100-- EXISTING CONTOUR
- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- ⊕ CHICKEN WIRE FENCE
- ⊕ WOODEN FENCE
- D- DRAIN LINE
- W- WATER LINE
- UGE- UNDERGROUND ELECTRIC
- S- SEWER LINE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WETLANDS
- LAWN
- ⊕ STONE WALL
- - - - ORDINARY HIGH WATER MARK
- - - - ORDINARY HIGH WATER SETBACK



6	6/30/2023	PB SUBMITTAL	
5	6/2/2023	CC SUBMITTAL	
4	5/30/2023	PB SUBMITTAL	
3	2/6/2023	ZBA SUBMITTAL	
2	1/3/2023	FOR REVIEW	

ISS. DATE DESCRIPTION OF ISSUE
SCALE 1" = 20'
CHECKED A. ROSS
DRAWN D.D.D.

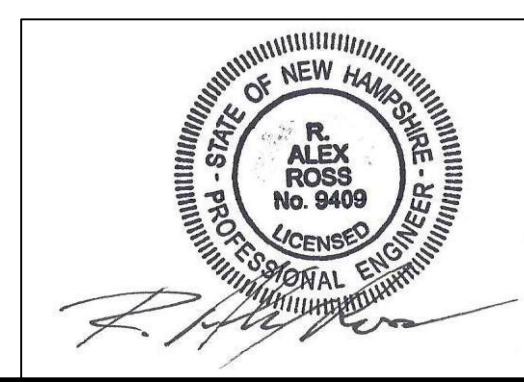
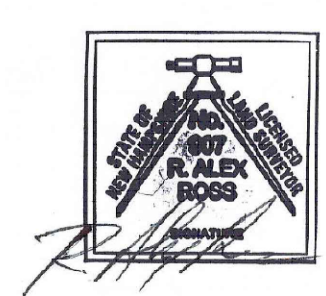
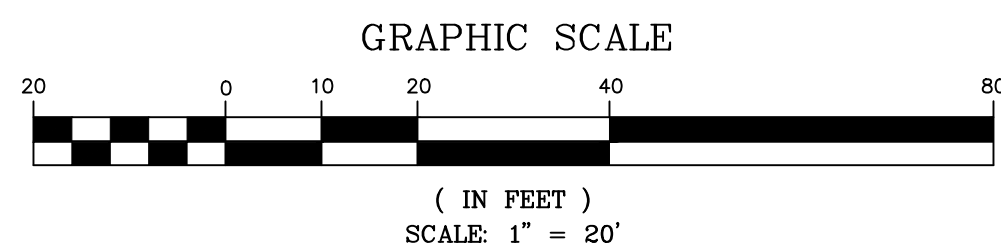
ROSS ENGINEERING
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
DAVID A. RICHARDS
14 HOBART ST
EXETER, NH 03833

EXISTING CONDITIONS PLAN

14 Hobart St
EXETER, NH 03833
TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	1 OF 6	6



LEGEND

- 100-- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100x00 SPOT ELEVATION
- ⊕ MONUMENT TO BE SET
- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
- CHICKEN WIRE FENCE
- WOODEN FENCE
- D- DRAIN LINE
- W- EXISTING WATER LINE
- PW- PROPOSED WATER LINE
- UGE- UNDERGROUND ELECTRIC
- S- EXISTING SEWER LINE
- PS- PROPOSED SEWER LINE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- WETLANDS
- STONE WALL
- ORDINARY HIGH WATER MARK
- ORDINARY HIGH WATER SETBACK
- LIMITED COMMON AREA
- PERVIOUS ASPHALT



NOTES

- 1) OWNER OF RECORD:
 JANINE L. RICHARDS REVOCABLE TRUST-2022
 TAX MAP 74, LOT 88
 14 HOBART ST
 EXETER, NH 03833
 RCRD: 6444-1232
 AREA: 46,308 SF, 1.06 ACRES
- 2) PARCEL IS IN RESIDENTIAL SINGLE FAMILY ZONE (R-2) & SHORELAND PROTECTION DISTRICT:
 MINIMUM LOT AREA.....15,000 SF
 MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
 MINIMUM FRONTAGE.....100 FT
 MINIMUM DEPTH.....100 FT
 SETBACKS:
 FRONT.....25 FT
 SIDE.....15 FT
 REAR.....25 FT
 MAXIMUM BUILDING HEIGHT.....35 FT
 MAXIMUM BUILDING COVERAGE.....25%
 MINIMUM OPEN SPACE.....40%
 MAXIMUM LOT COVERAGE.....10%
- 3) THE EXETER ZONING BOARD OF ADJUSTMENT AT ITS 2/21/2023 MEETING APPROVED A SPECIAL EXEMPTION TO ARTICLE 4, SECTION 4.2, SCHEDULE 1 & ARTICLE 5, SECTION 5.2 OF THE EXETER ZONING ORDINANCE TO PERMIT THE CONVERSION OF THE EXISTING SINGLE-FAMILY HOME AND ACCESSORY STRUCTURES INTO UP TO FOUR RESIDENTIAL UNITS.

4) LOT COVERAGE

EXISTING LOT COVERAGE	
HOUSE.....	1,596 SF
BARN.....	593 SF
GARAGE.....	496 SF
SHED.....	223 SF
DECK & STAIRS.....	251 SF
PATIO.....	196 SF
GRASSED LAWN.....	12,041 SF
SAND & GRAVEL.....	1,901 SF
ASPHALT.....	1,730 SF
LOT COVERAGE	19,027 SF = 41.1%
PROPOSED LOT COVERAGE	
CONDO BUILDINGS.....	2,491 SF
GARAGE.....	800 SF
SHED.....	223 SF
DECK & STAIRS.....	238 SF
PATIO.....	196 SF
GRASSED LAWN.....	12,558 SF
LOT COVERAGE	16,506 SF = 35.6%

5) NHDES SHORELAND COVERAGE

THE ENTIRE LOT IS WITHIN THE 250' SHORELAND BUFFER

EXISTING LOT COVERAGE	
HOUSE.....	1,596 SF
BARN.....	593 SF
GARAGE.....	496 SF
SHED.....	223 SF
DECK & STAIRS.....	251 SF
PATIO.....	196 SF
SAND & GRAVEL.....	1,901 SF
ASPHALT.....	1,730 SF
LOT COVERAGE	6,906 SF = 15.1%
PROPOSED LOT COVERAGE	
CONDO BUILDING.....	2,491 SF
GARAGE.....	800 SF
SHED.....	223 SF
DECK & STAIRS.....	238 SF
PATIO.....	196 SF
LOT COVERAGE	3,948 SF = 8.5%

6	6/30/2023	PB SUBMITTAL	
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2	1/3/2023	FOR REVIEW	
ISS.	DATE	DESCRIPTION OF ISSUE	

SCALE 1" = 20'
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CLIENT
 DAVID A. RICHARDS
 14 HOBART ST
 EXETER, NH 03833

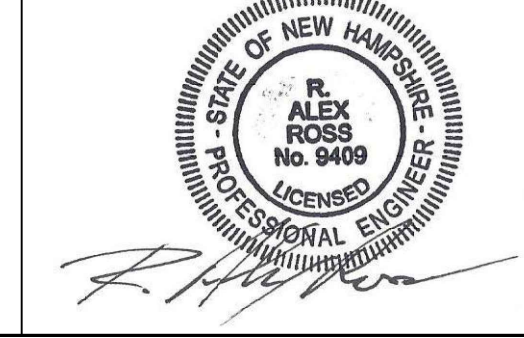
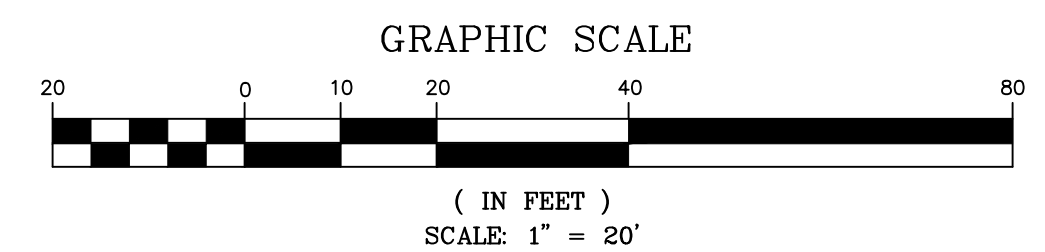
TOWN OF EXETER PLANNING BOARD
 CHAIRPERSON

TITLE

SITE PLAN

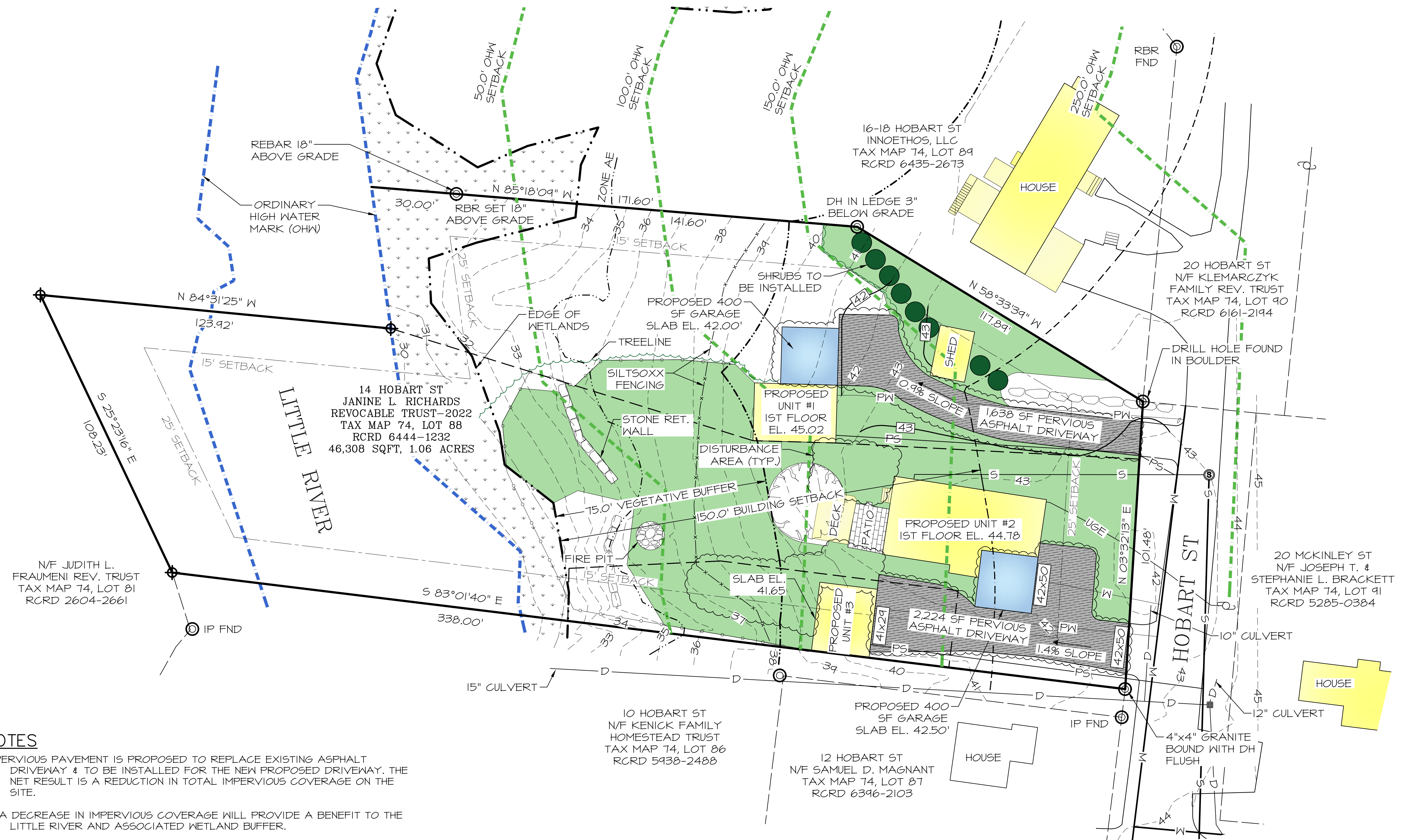
14 Hobart St
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 TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
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LEGEND

- 100-- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100x00 SPOT ELEVATION
- ⊕ MONUMENT TO BE SET
- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- CHICKEN WIRE FENCE
- WOODEN FENCE
- DRAIN LINE
- EXISTING WATER LINE
- PW --- PROPOSED WATER LINE
- UGE --- UNDERGROUND ELECTRIC
- S --- EXISTING SEWER LINE
- PS --- PROPOSED SEWER LINE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- WETLANDS
- STONE WALL
- ORDINARY HIGH WATER MARK
- ORDINARY HIGH WATER SETBACK
- LIMITED COMMON AREA
- PERVIOUS ASPHALT



NOTES

- 1) PERVIOUS PAVEMENT IS PROPOSED TO REPLACE EXISTING ASPHALT DRIVEWAY & TO BE INSTALLED FOR THE NEW PROPOSED DRIVEWAY. THE NET RESULT IS A REDUCTION IN TOTAL IMPERVIOUS COVERAGE ON THE SITE.
- 2) A DECREASE IN IMPERVIOUS COVERAGE WILL PROVIDE A BENEFIT TO THE LITTLE RIVER AND ASSOCIATED WETLAND BUFFER.
- 3) THE USE OF FERTILIZER SHALL BE RESTRICTED AS DESCRIBED IN THE EXETER ZONING ORDINANCE, SECTION 4.3.4.F.12.
- 4) CONDOMINIUM DOCUMENTS TO INCLUDE MAINTENANCE REQUIREMENTS FOR PERVIOUS PAVEMENT.
- 5) CONDOMINIUM DOCUMENTS TO REFERENCE FERTILIZER USE LIMITATIONS AS DEFINED BY ZONING ORDINANCE 4.3.4.F.12.

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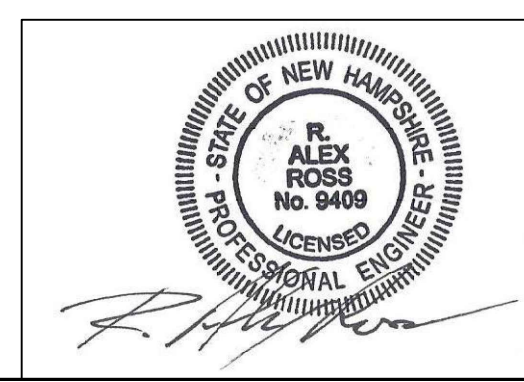
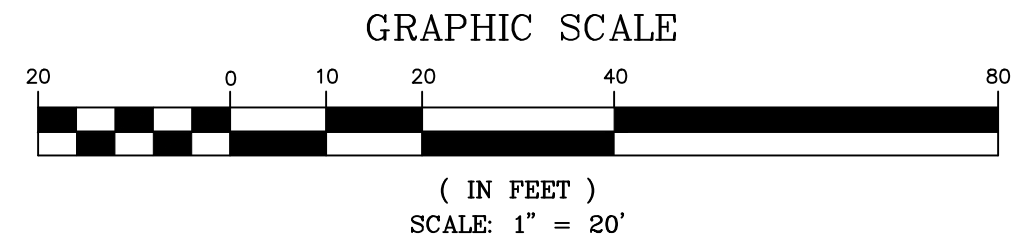
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TITLE
**STORMWATER
 MANAGEMENT
 PLAN**
 14 Hobart St
 EXETER, NH 03833
 TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	3 OF 6	6



LEGEND

- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- D— DRAIN LINE
- W— EXISTING WATER LINE
- PW— PROPOSED WATER LINE
- S— EXISTING SEWER LINE
- PS— PROPOSED SEWER LINE
- UGE— UNDERGROUND ELECTRIC
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊗ WATER STOP
- ⬡ STONE WALL
- - - LIMITED COMMON AREA
- ▨ PERVIOUS ASPHALT



GENERAL NOTES

- 1) ALL UNITS SHALL TIE INTO MUNICIPAL WATER & SEWER. UNIT #2 IS CURRENTLY TIED INTO TOWN WATER & SEWER. CONTRACTOR TO REVIEW ALL SURFACING TYPES, UTILITY TIE INS, AND MATERIAL SPECIFICATIONS WITH EXETER PUBLIC WORKS.
- 2) ALL NECESSARY NHDOT, NHDES & TOWN PERMITS MUST BE OBTAINED.
- 3) ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST REVISION, AND STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE, LATEST REVISION. CONTRACTOR SHALL MEET STATE AND TOWN REQUIREMENTS, TO ASSURE TYPE, SEPARATION, COVER, ETC. ALWAYS CALL DIGSAFE PRIOR TO DIGGING. UTILITIES SHOWN ARE APPROXIMATE AND MUST BE VERIFIED.
- 4) FINAL CONFIGURATION, LAYOUT, AND CONNECTIONS OF SEWER AND WATER LINES TO BE REVIEWED AND APPROVED BY EXETER PUBLIC WORKS DEPARTMENT.
- 5) APPLICABLE NFPA & IRC REQUIREMENTS SHALL BE MET, DUE TO THE PROXIMITY OF UNIT #3 RELATIVE TO UNIT #2, SPECIAL BUILDING MATERIAL MAY BE NECESSARY.

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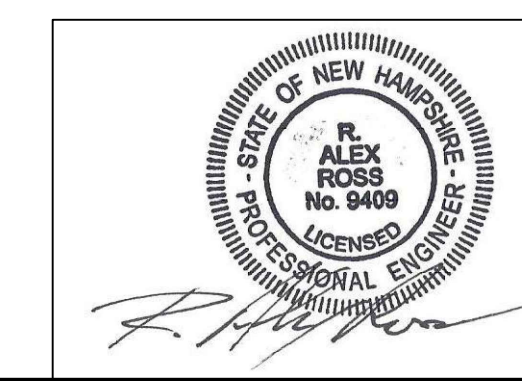
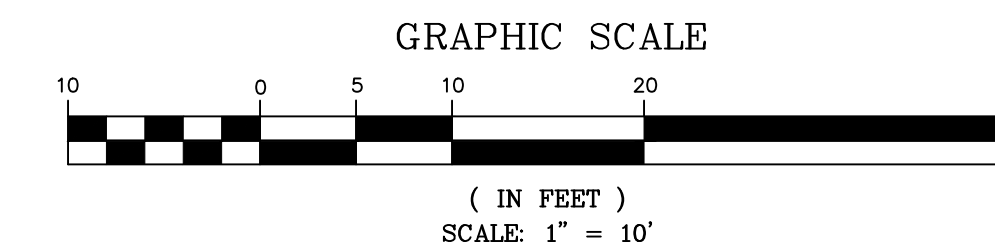
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TITLE

UTILITY PLAN

14 Hobart St
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 TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
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CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT

REFERENCE DOCUMENT: UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, UNH STORMWATER CENTER, FEBRUARY, 2014.

INSTALLATION RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE POROUS ASPHALT PAVEMENT IS PROPERLY INSTALLED.

- THE FULL PAVEMENT SPECIFICATION MUST BE FOLLOWED CONSCIENTIOUSLY DURING CONSTRUCTION. IT IS BASED ON UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS. THE UNH SPECIFICATION INCLUDE NUMEROUS VITAL PROVISIONS FOR AGGREGATE AND BITUMINOUS MATERIALS, THEIR PLACEMENT, AND QUALITY CONTROL. AMONG ITS NOTABLE PROVISIONS ARE THE FOLLOWING EXAMPLES:
 - OPEN-GRADED AGGREGATE TO MAKE ALL PAVEMENT LAYERS POROUS AND PERMEABLE;
 - STIFF ASPHALT BINDER TO ADHERE TO THE AGGREGATE PARTICLES AND RESIST "DRAINDOWN" THROUGH THE PAVEMENT'S PORES, ENHANCING THE MATERIAL'S PERFORMANCE AND DURABILITY;
 - A SPECIFIC LIMIT ON ALLOWABLE DRAINDOWN, AND ADDITION OF A STYRENE-BUTADIENE-STYRENE (SBS) POLYMER ADDITIVE TO HELP MEET THAT REQUIREMENT;
 - THE POROUS PAVEMENT IS TO BE INSTALLED ONLY AFTER MAJOR CONSTRUCTION IS COMPLETED, SO THAT CONSTRUCTION TRAFFIC WILL NOT TRACK POTENTIALLY CLOGGING SEDIMENT ONTO THE PAVEMENT SURFACE. FOR CONSTRUCTION ACCESS, A TEMPORARY SURFACE WILL BE INSTALLED, SIMILAR IN CONSTRUCTION TO A STANDARD STABILIZED CONSTRUCTION ENTRANCE. THIS TYPE OF SURFACE CAN BEAR CONSTRUCTION TRAFFIC WITHOUT ERODING.
 - PROMINENT AND REPEATED STATEMENTS OF THE SPECIAL NATURE AND PURPOSE OF POROUS PAVEMENT, AND THE NECESSITY OF COMPLYING STRICTLY WITH THESE DISTINCTIVE SPECIFICATIONS.
 - PROTECTION OF THE FINISHED POROUS ASPHALT SURFACE FROM TRACKING OF CONSTRUCTION SEDIMENT.
- THOROUGH COMMUNICATION WITH THE POROUS ASPHALT SUPPLIER AND PAVEMENT INSTALLER IS ESSENTIAL. THEY MUST UNDERSTAND THE POROUS PAVEMENT'S SPECIAL OBJECTIVES, THE SPECIAL MATERIALS AND PROCEDURES NECESSARY TO MAKE IT EFFECTIVE, AND WHY COMPLIANCE WITH SPECIFICATIONS IS ESSENTIAL. TO THIS END, THE SPECIFICATIONS STATE PROMINENTLY AND REPEATEDLY THE SPECIAL NATURE AND PURPOSE OF THE POROUS MATERIALS. IN ADDITION, THE PROJECT ENGINEER SHOULD MEET WITH THE CONTRACTORS IN PERSON TO REVIEW THE SPECIFICATIONS AND MAKE SURE THE CONTRACTORS UNDERSTAND THE OBJECTIVES. HE SHOULD OBSERVE THE CONTRACTORS ON-SITE FREQUENTLY, TO MAKE SURE THE OBJECTIVES ARE CARRIED OUT. HE SHOULD MAINTAIN A WRITTEN RECORD DOCUMENTING REVIEW AND APPROVAL AT CRITICAL PROJECT STAGES SUCH AS EXCAVATION OF THE SUB GRADE AND QUALITY CHECKS OF BASE AND SURFACE MATERIALS. HE SHOULD INSPECT THE SITE TO MAKE SURE CONSTRUCTION VEHICLES ARE NOT ALLOWED TO TRAVERSE EXCAVATED SUB GRADE OR THE PAVEMENT STRUCTURE AT ANY INAPPROPRIATE STAGE. HE SHOULD FORBID CONSTRUCTION TRAFFIC FROM TRACKING SOIL ONTO THE FINISHED PAVEMENT SURFACE.

INSTALLATION

- PERCOLATION BEDS
 - OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
 - SUB GRADE PREPARATION
 - EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
 - WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
 - BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSIONS, PONDING, OR TRAFFIC COMPACTION BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
 - RECHARGE BED INSTALLATION
 - UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
 - PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
 - INSTALL COARSE AGGREGATE (CRUSHED STONE) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL FILTER COARSE (BANK RUN GRAVEL) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL CHOKER BASE COURSE (SEE MATERIALS SECTION) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO LESS THAN 4-INCH IN DEPTH.
- SURROUNDING AREAS
 - BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ON THE PAVEMENT SURFACE.
 - TO ACCOMPLISH THIS, A SEQUENCE OF TEMPORARY SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPHILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PLANTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVENAYS.
 - BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.

INSTALLATION (CONT...)

- POROUS ASPHALT
 - TRANSPORTING MATERIAL
 - TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
 - THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
 - POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
 - ASPHALT PLACEMENT
 - THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE OR TWO LIFTS DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO DEPTH INDICATED. IF LAID IN TWO LIFTS THE PAVEMENT SHALL BE CLEANED AND INSPECTED BY THE ENGINEER BEFORE PLACEMENT OF THE SECOND LIFT.
 - THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT (BASED ON RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
 - INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT;
 - THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
 - THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SCREED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
 - COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST AN 8-12 TON ROLLER. BREAKDOWN ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT. INTERMEDIATE ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 150 DEGREES FAHRENHEIT AND 200 DEGREES FAHRENHEIT. THE CESSATION TEMPERATURE OCCURS AT APPROXIMATELY 175 DEGREES FAHRENHEIT, AT WHICH POINT THE MIX BECOMES RESISTANT TO COMPACTION. IF COMPACTION HAS NOT BEEN DONE AT TEMPERATURE GREATER THAN THE CESSATION TEMPERATURE, THE PAVEMENT WILL NOT ACHIEVE ADEQUATE DURABILITY.
 - IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
 - AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE; REMOVE AT THE DISCRETION OF THE ENGINEER.
 - STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
 - PAVEMENT-MARKING PAINT; LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-P-1452.
 - SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
 - PAINT 4 INCH WIDE PARKING STRIPING AND TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
 - WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK. TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
 - POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
 - REPAIR OF DAMAGED PAVING
 - ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
 - FULL QUALITY CONTROL
 - THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE, WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
 - TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS, REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
 - SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT

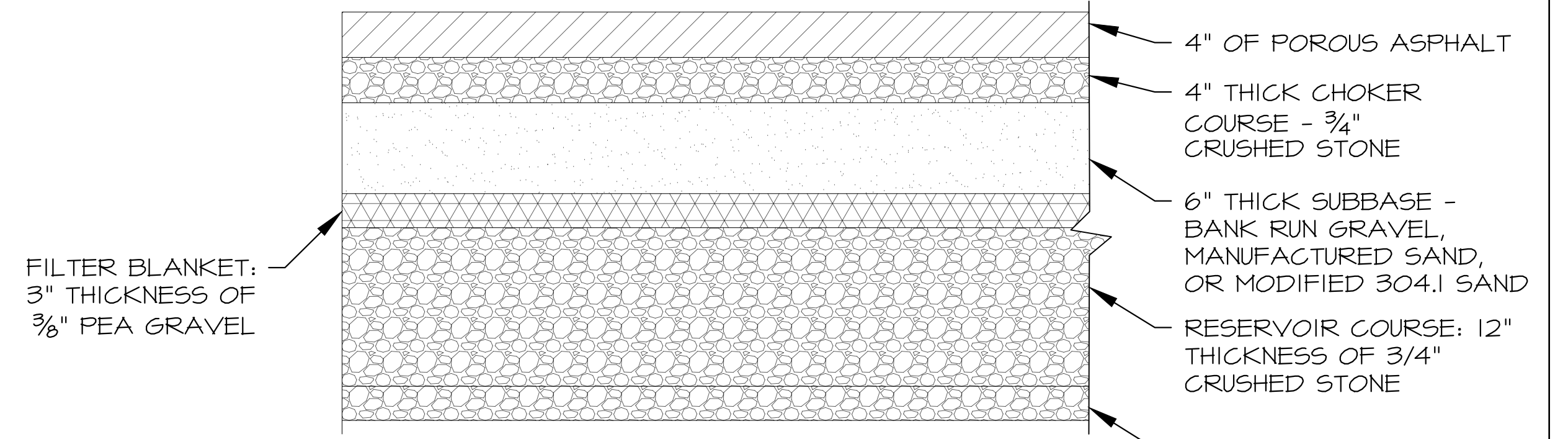
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

- SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NaCl, MgCl2, OR EQUIVALENT). REDUCED SALT APPLICATION OF 50% OVER TRADITIONAL PAVEMENT APPLICATION RATES, NONTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
- PLOWING IS ALLOWED, BLADE SHOULD BE SLIGHTLY RAISED (ALTHOUGH NOT NECESSARY, THIS WILL PREVENT PAVEMENT SCARING). ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED AFTER 2 TO 4 INCHES OF SNOW ACCUMULATION.

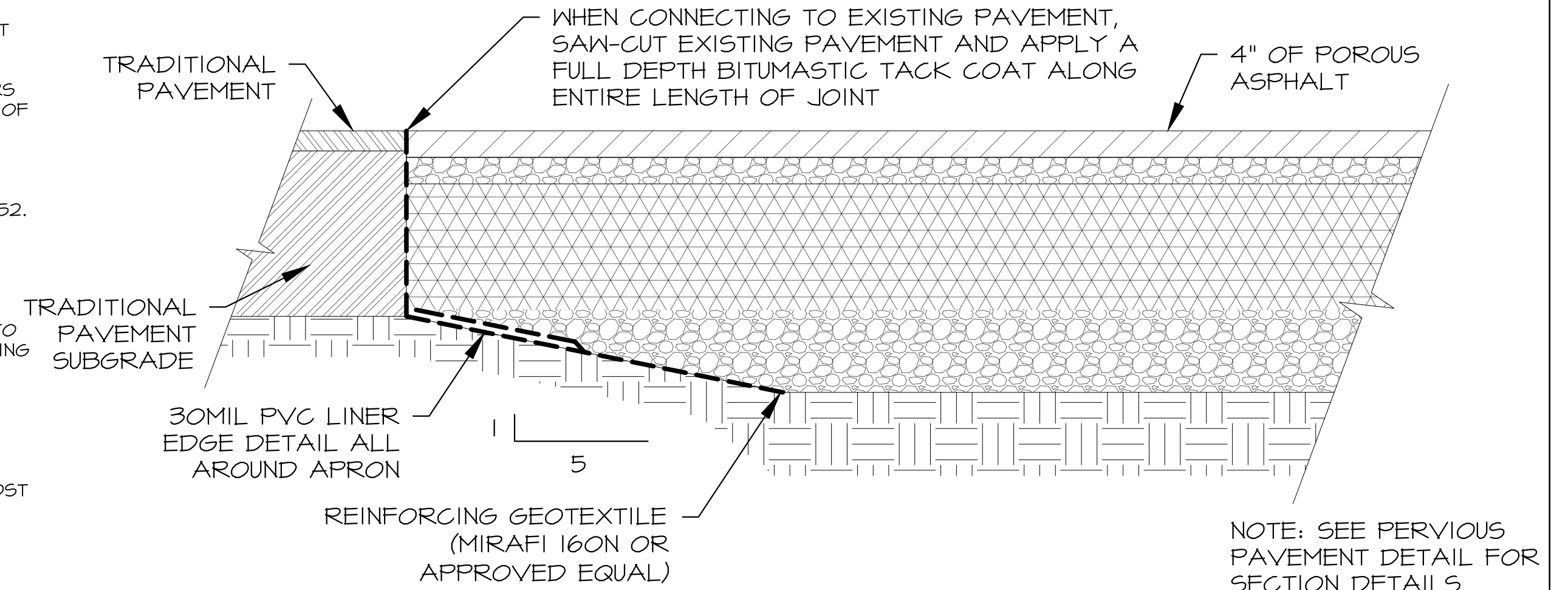
ROUTINE MAINTENANCE:

- ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
- THE PAVEMENT SURFACE SHOULD BE VACUUMED 2 TO 4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
- PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
- IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
- DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
- REPAIRS: FOR THE POROUS ASPHALT PARKING LOT, POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM. REPAIRS TO THE POROUS ASPHALT SIDEWALK SHALL BE MADE WITH A PERVIOUS MIX.
- WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.



PERVIOUS PAVEMENT DETAIL

N.T.S.



PERVIOUS PAVEMENT TRANSITION DETAIL

N.T.S.

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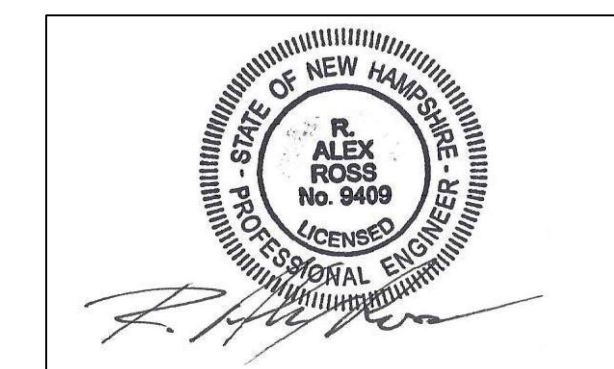
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DETAILS

14 Hobart St
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TAX MAP 74, LOT 88



JOB NUMBER	DWG. NO.	ISSUE
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**EROSION AND SEDIMENTATION CONTROL
CONSTRUCTION PHASING AND SEQUENCING**

1. SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
2. INSTALL SILT/SOXX FENCING AS PER DETAILS AND AT SEDIMENT MIGRATION.
3. CONSTRUCT TREATMENT SWALES, LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
4. STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL & COVER WHERE PRACTICABLE.
5. MINIMIZE DUST THROUGH APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES ON SITE.
6. ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
7. FINISH GRADE AND COMPACT SITE.
8. RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
9. STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
10. RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
11. SILT SOXX FENCING TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO ENSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT SOXX FENCING ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
12. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
13. ALL TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC. MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
14. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
15. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
16. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
17. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
18. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
19. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
20. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. ALL TREES AND SHRUBS SHALL HAVE WATER SAUCERS BUILT AROUND THEIR BASES AND THESE SHALL BE MULCHED WITH 4" OF DARK BROWN AGED BARK MULCH. MULCH MUST BE KEPT 2" AWAY FROM THEIR TRUNKS.
4. ALL TREES AND SHRUBS SHALL BE PLANTED AND MULCHED BEFORE LAWN IS SEEDED.

MAINTENANCE REQUIREMENTS:

1. ALL TREES, SHRUBS, AND PERENNIALS WILL NEED TO BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
2. AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT ACCEPTABLE FOR IRRIGATING TREES AND SHRUBS.

SEEDING AND STABILIZATION FOR LOAMED SITE:

FOR TEMPORARY & LONG TERM SEEDINGS USE AGWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL COMPONENTS. ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE, FERTILIZER & LIME: NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE
MULCH: HAY OR STRAW 1.5-2 TONS/ACRE

A) GRADING AND SHAPING

- 1) SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

B) SEED BED PREPARATION

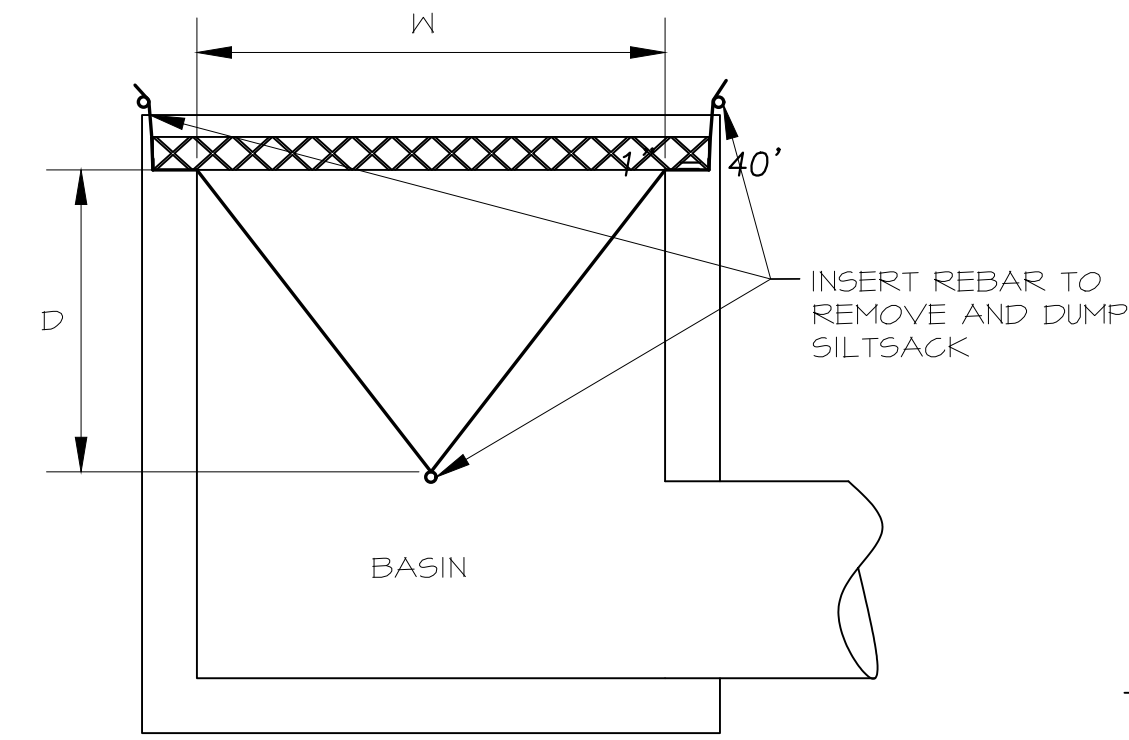
- 1) SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- 2) STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

1. CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 2 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
3. ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
4. ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED WITHIN 24 HOURS OF EARTH-DISTURBING ACTIVITIES BEING CEASED, AND WILL BE FULLY STABILIZED NO LONGER THAN 14 DAYS AFTER INITIATION, (SEE NOTE II FOR DEFINITION OF STABLE). ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE. ALL TEMPORARY OR LONG TERM SEEDING MUST BE APPLIED TO COMPLY WITH "WINTER CONSTRUCTION NOTES" (SEE WINTER CONSTRUCTION NOTES). EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED (SEE NOTE II FOR DEFINITION OF STABLE).
5. TEMPORARY & LONG TERM SEEDING: USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
6. SILT/SOXX FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT/SOXX AND ANY EDGE OF WET AREA.
7. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
8. SEDIMENT BASIN(S), IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
9. SILT/SOXX FENCING WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
10. TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
11. AN AREA SHALL BE CONSIDERED FULLY STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON STANDARDS AND SPECIFICATIONS SET FORTH IN THE STORM WATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (DECEMBER 2008 OR LATEST) PREPARED BY ROCKINGHAM COUNTY CONSERVATION DISTRICT, N.H. DES AND NRCS.

WINTER CONSTRUCTION NOTES

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT;
 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
 3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



INSTALL SILT SACK TO CATCH BASINS 1, 2, & 3 PRIOR TO CONSTRUCTION & TO CATCH BASINS A, B, C & D DURING CONSTRUCTION. DO NOT REMOVE SILT SACK UNTIL CONSTRUCTION IS COMPLETE.

Silt sack
N.T.S.

LONG TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C	lb/ACRE	lb/1000SF
TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED CLOVER (ALSIKE)	20	0.45
TOTAL	48	1.35

LIME: AT 2 TONS PER ACRE OR 100 LBS PER 1,000 S.F.
FERTILIZER: 10 20 20 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.
SEEDBED PREPARATION:
SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED. SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

SHORT TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C	#/ACRE	#/1000SF
FOR APRIL 1 - AUGUST 15		
ANNUAL RYE GRASS	40	1
FOR FALL SEEDING		
WINTER RYE	112	2.5

LIME: AT 1 TON PER ACRE OR 100 LBS PER 1,000 S.F.
FERTILIZER: 10 10 10 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.

SEEDBED PREPARATION:

SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED. SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

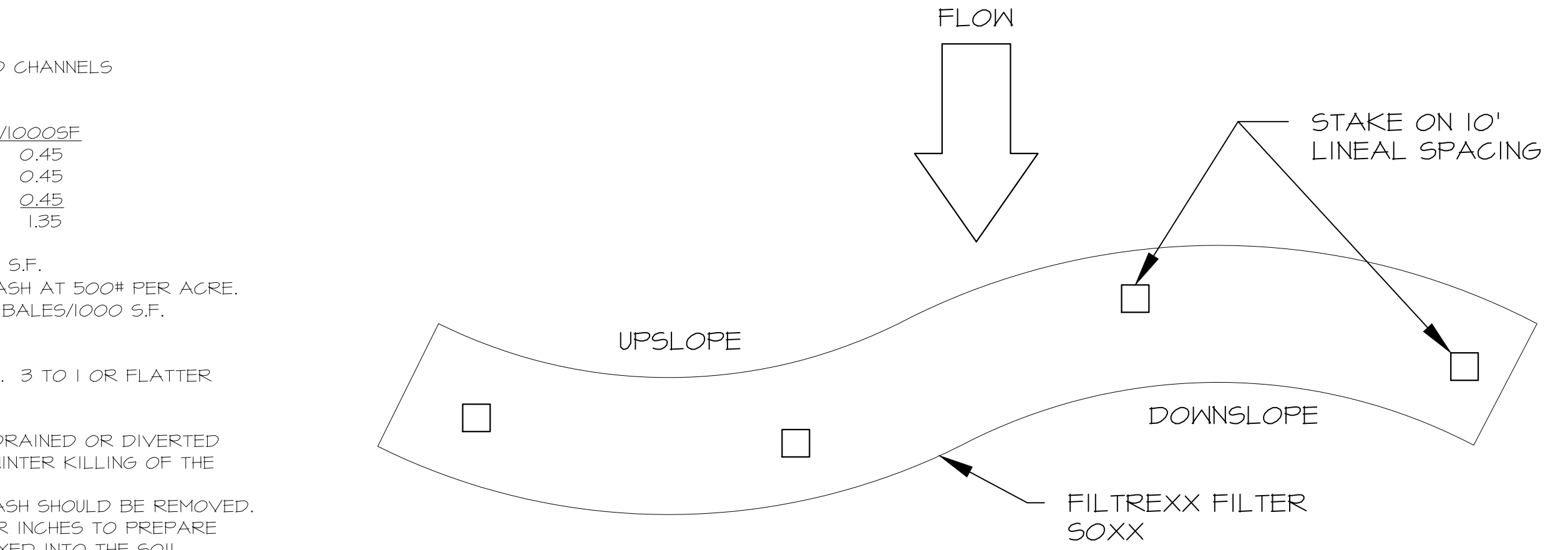
* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

WHEN PROPOSED FOR ALTERATION DURING CONSTRUCTION AS BEING INFESTED WITH INVASIVE SPECIES SHALL BE MANAGED APPROPRIATELY USING THE DISPOSAL PRACTICES IDENTIFIED IN "NHDOT - BEST MANAGEMENT PRACTICES FOR ROADSIDE INVASIVE PLANTS - 2008" AND "METHODS FOR DISPOSING NON-NATIVE INVASIVE PLANTS - UNH COOPERATIVE EXTENSION - 2010"

SEED MIXES SHALL NOT CONTAIN ANY SPECIES IDENTIFIED BY THE NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST.

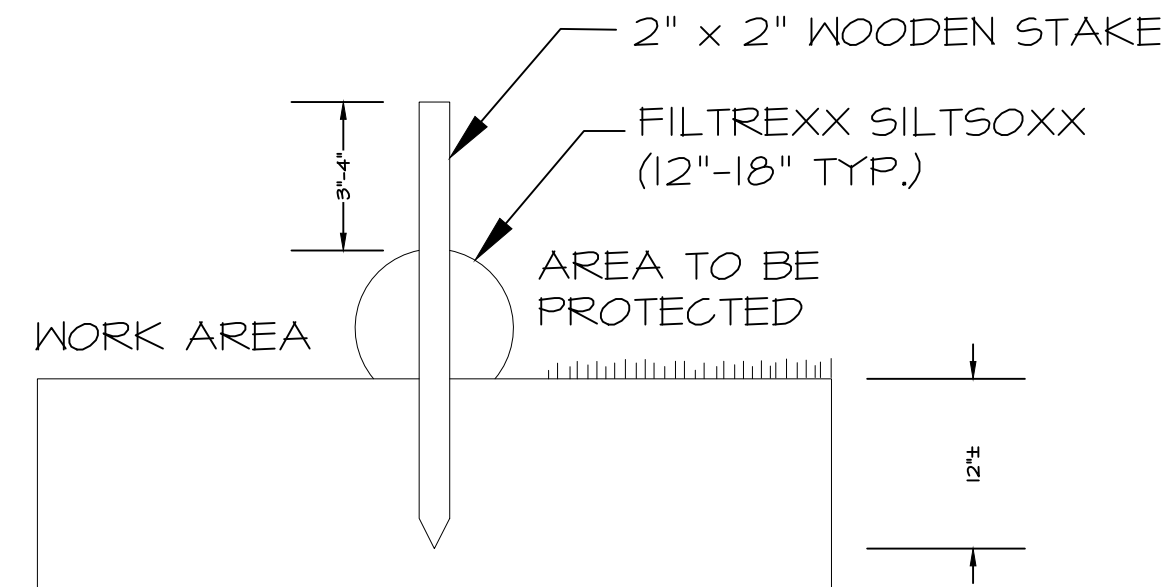
FILTREXX SILT/SOXX NOTES

- 1) ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
- 2) SILT/SOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



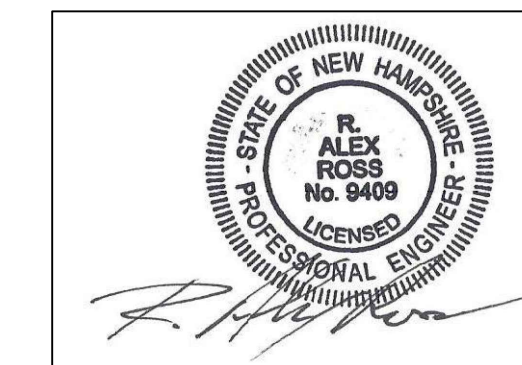
Filtrex SiltSoxx Plan View

N.T.S.



Filtrex SiltSoxx Section

N.T.S.



6	6/30/2023	PB SUBMITTAL	
5	6/2/2023	CC SUBMITTAL	
4	5/30/2023	PB SUBMITTAL	
3	2/6/2023	ZBA SUBMITTAL	
2	1/3/2023	FOR REVIEW	

ISS: DATE DESCRIPTION OF ISSUE
SCALE

CHECKED: A. ROSS
DRAWN: D.D.D.

ROSS ENGINEERING
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT: DAVID A. RICHARDS
14 HOBART ST
EXETER, NH 03833

TITLE

EROSION CONTROL PLAN

14 Hobart St
EXETER, NH 03833
TAX MAP 74, LOT 88

JOB NUMBER	DWG. NO.	ISSUE
22-049	6 OF 6	6



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: July 6, 2023
To: Planning Board
From: Dave Sharples, Town Planner
Re: Eversource Energy PB Case #23-9

The Applicant is seeking approval of a Wetlands Conditional Use Permit (CUP) for proposed replacement of thirty-six (36) existing transmission poles associated with the A126 and H141 lines within the existing Eversource ROW in various locations. The project is being identified as the RASH Structure Replacement project.

The subject properties included in the project footprint are located in the RU-Rural and R-1, Low Density Residential zoning districts and are identified as Tax Map Parcels # 30-8, 30-9, 29-31, 29-32, 28-3, 28-6, 28-13, 28-18, 17-19, 18-3, 19-3, 19-2, 19-1, 19-16, 19-16-1, 24-1, 25-1, 20-8, 24-3 & 24-30

The Applicant submitted plans and supporting documents, dated May 30, 2023, which are enclosed for your review.

The Applicant appeared before the Conservation Commission at their June 13th, 2023 meeting and presented their proposal. The Commission had no objection to the application and recommended approval, as presented. A copy of the draft meeting minutes and a memo from Conservation and Sustainability Planner Kristen Murphy, dated June 27, 2023, are enclosed for your review.

No TRC meeting was held but the materials were distributed to staff for review. If any comments are received I will update the board at the meeting.

There are no waivers being requested for this application. I will be prepared with suggested conditions of approval at the meeting in the event the board decides to act on the request.

Our office has received notification that Normandeau Associates, on behalf of the Applicant, has filed a Utility Maintenance Activity Statutory Permit-by-Notification with the NH Department of Environmental Services.

Planning Board Motion:

Conditional Use Permit (Wetlands) Motion: After reviewing the criteria for a Wetlands Conditional Use permit, I move that the request of Eversource Energy (PB Case #23-9) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures



May 25, 2022

Langdon Plumer, Chair
Exeter Planning Board
10 Front Street
Exeter, NH 03833

**Re: Town of Exeter Conditional Use Permit Application
Letter of Intent and Authorization
RASH Structure Replacement Project – Exeter, New Hampshire**

Dear Mr. Plumer:

On behalf of Eversource Energy (Eversource), Normandeau Associates, Inc. (Normandeau) is submitting this Conditional Use Permit Application for proposed utility maintenance work on the existing A126 and H141 115-kV transmission lines in Exeter, NH. This Conditional Use Permit is being submitted in accordance with *Article 9.1.6* of the Town's Zoning Ordinance. A Conditional Use Permit is required for the proposed maintenance work to allow impacts to wetlands protected under the Wetlands Conservation District and their associated buffers.

Project Description

Eversource proposes to replace thirty-six (36) existing 115-kV transmission poles associated with the existing A126 and H141 lines in several stretches of the existing Eversource ROW: from the Brentwood-Exeter boundary line near Route 101; off Old Town Farm Road; and from Beechhill Road to Raynes Farm off Newfields Road. Replacement of these structures is necessary to continue providing reliable electrical power to customers while maintaining safe operation. The structures will be replaced in-kind as H-frame configurations; however, structure will need to be increased in height generally 0-15 feet to meet current National Electrical Safety Code requirements. The new structures will be steel rather than wood as the steel is expected to last longer and be less susceptible to environmental degradation such as woodpeckers, weathering, and rot. Most of the structures to be replaced are in upland areas, however several structures are located within wetlands themselves or their upland buffers.

The proposed project is scheduled to commence in August 2023 following receipt of all regulatory approvals. The project will utilize existing access routes within the existing Eversource ROW to the greatest extent practicable through on-site evaluations of access routes and work pad placements. Work will be conducted in accordance with Eversource's standard Best Management Practices (BMPs) as designated by the *NHDES Best Management Practices Manual for Utility Maintenance in and Adjacent to Wetlands and Waterbodies in New Hampshire* dated March 2019. Where necessary, perimeter protective measures consisting of wildlife-friendly silt fence, straw wattle, mulch, ECM berms, or straw bales will be installed around the structures to minimize potential impacts to nearby resource areas. All protective measures will be wildlife friendly and not contain openings larger than 1/8-inch square. Water bars will be installed in areas of road improvements with steep slopes as identified by the Contractor. If necessary and based on localized site conditions, a silt fence may be used. Erosion controls will be implemented during construction as detailed in Attachment B – Construction Plan Set note sheets 1 through 3 to minimize potential impacts during construction. Mowing of shrubs and

saplings will occur as necessary as part of establishing access routes and work pads for the project; however no tree clearing or expansion of the right-of-way (ROW) is proposed.

In upland areas, existing access routes are proposed to be improved as part of this project through the application of top dressing with gravel/stone up to 16-foot-wide and new gravel roads shall be established where there are no existing roads/trails. Gravel work pads a maximum of 100-ft by 100-ft will be constructed around structures to be replaced in upland area. These work pads are necessary to stage the construction equipment and vehicles necessary to replace the structures. Work pads will be constructed using clean modified stone and will be top-dressed with smaller diameter clean stone.

Timber matting (16-foot by 4-foot) will be used to construct access roads and work pads in and immediately adjacent to all wetlands and where temporary stream crossings are required, as well as in upland areas where an access road or work pad is in a maintained property owner lawn, farm fields, and near or within sensitive archaeological resource areas. Timber matting will be placed from either upland areas or from timber matting that has already been installed, thereby limiting soil disturbance.

Following access and work pad establishment, the structures to be replaced will be cut at the ground surface. In addition to the removal of old structures, old cross-arms, wires, and accessory equipment will be removed off-site and disposed of. Old structure butts may be dug up and removed depending on field conditions and whether the remaining pole butt would impact the structural integrity of new structures. Installation of the replacing structures consists of drilling an approximately 4-ft diameter hole for each pole to install a caisson approximately 7 to 15 ft below the ground surface. New structure poles will be installed in caissons and backfilled with clean, suitable materials. Spoils produced from drilling will be disposed in approved upland areas at a minimum distance of 100 feet from wetland areas.

Upon completion of the structure replacement work, the gravel upland work pads will be reduced to a 30-foot by 60-foot gravel maintenance work pad. Timber matting will be removed in the reverse of the process used to install the mats with equipment working from non-wetland areas or other mats. The restored portions of the gravel work pads and disturbed upland areas in proximity to the project area will be seeded and mulched with straw for stabilization. Soil disturbance where timber matting is used is expected to be minimal and appropriate restoration measures will be implemented where required including application of wetland or upland seed mix. Additionally, removal of BMPs will occur during these restoration activities. The improvement and/or establishment of the gravel upland access roads and maintenance roads and maintenance work pads will provide reliable, permanent, and efficient access to utility structures for future maintenance activities and when emergency repairs are required.

Natural Resources

Portions of the proposed project will take place within the Town of Exeter Wetlands Conservation Overlay District. Eight of the structures to be replaced are located in wetlands, while others and their associated access routes and work pads will also result in temporary impacts to wetlands and temporary and permanent impacts to their upland buffers.

Wetlands along the project ROW were previously delineated in 2013/2014 by Vanasse Hangen Brustlin (VHB) and GZA GeoEnvironmental, Inc (GZA). On April 11th and 13th, 2023, Normandeau Associates, Inc. (Normandeau) wetland scientists, including a NH Certified Wetland Scientist, reviewed and confirmed all previously delineated wetland areas in the vicinity of work areas associated with this project and confirmed or adjusted boundaries as needed within the project areas. Wetland boundary review was performed in

accordance with the *Corps of Engineers Wetland Delineation Manual and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0* (January 2012), the *Northcentral-Northeast Regional Wetland Plant List* published by the U.S. Army Corps of Engineers, the *Field Indicators of Hydric Soils in the United States, Version 8.2* published by the Natural Resources Conservation Service (“NRCS”), and the *Field Indicators for Identifying Hydric Soils in New England, Version 4* published by the New England Interstate Water Pollution Control Commission. Wetlands were classified following the *Classification of Wetlands and Deepwater Habitats of the United States* (Cowardin et al., 1979, revised 1998). Functions and values were assessed using the *Highway Methodology Workbook Supplement* (USACE, 1999).

The wetlands that were delineated within the project area are primarily palustrine scrub-shrub (PSS) and palustrine emergent (PEM) wetlands. The vegetation along the ROW is routinely maintained via mechanical mowing to maintain a safe vertical distance between vegetation and the existing transmission lines, thus maintaining a shrub/emergent habitat. Species typically found within these wetlands include tree species, which are not permitted to grow beyond a sapling growth stage, including red maple (*Acer rubrum*), poplar (*Populus* spp.), and birch (*Betula* spp.). Common shrub species found within these wetlands include meadowsweet (*Spiraea* spp.), winterberry (*Ilex verticillata*), speckled alder (*Alnus incana*), and willow (*Salix* spp.). PEM wetlands are typically dominated by New England aster (*Symphotrichum novae-angliae*), woolgrass (*Scripus cyperinus*), interrupted fern (*Osmunda claytoniana*), sensitive fern (*Onoclea sensibilis*), and bristly dewberry (*Rubis hispida*), cinnamon fern (*Osmundastrum cinnamoemeum*), sedges (*Carex* spp.), cattail (*Typha latifolia*) and other typical herbaceous species.

Soil series within these wetlands vary greatly, but typically consist of stony glacial tills. Evidence of hydrology observed during field studies include drainage patterns, saturated soils, geomorphic position, water-stained leaves, and a water table observed within 10 inches of the soil surface. Common functions and values observed in these wetlands include floodflow alteration, groundwater recharge/discharge, sediment/toxicant retentions, nutrient removal/retention, and wildlife habitat.

A total of seven of the twenty-nine wetlands within the project area are mapped as Prime Wetland and three contain a vernal pool. Wetlands in the vicinity of the project were mapped with upland buffers in accordance with the Town’s Zoning Ordinance ranging from 40 to 100 feet. The exceptions to this were wetlands EXW15 and EXW24 for which no upland buffer was mapped due to the determination that they are wetlands with somewhat poorly drained soils, a category that is not outlined as requiring an upland buffer in the Town’s Zoning Ordinance.

Please see Attachment B – USGS Topographic Map and Construction Plan Set for the overall project locations and aerial photo maps showing the proposed impact footprint, wetland locations and type, and upland buffers. The buffers for wetlands within the project area were determined by a NH Certified Wetland Scientist based the criteria outlined in *Article 9.1.3* of the Town’s Zoning Ordinance.

Proposed Impacts

The proposed work to replace 36 structures on the A126 and H141 lines will require approximately 102,790 square feet (SF) of temporary wetland impacts for matting in wetlands, 43,204 SF of temporary impacts to upland buffers where gravel access routes shall be removed following completion of work in alignment with the previous agreement with the Town of Exeter to restore all disturbed areas between Watson Road and Captains Way, and 107,156 SF of permanent impacts to upland buffers for the establishment of new gravel

access roads and work pads. No permanent impacts within wetlands, streams, vernal pools, or the buffers of vernal pools is proposed.

Table 1. Summary of Determined Wetland Buffers, Soil Drainage Classifications, and Cowardin Classifications.

Wetland ID	Determined Buffer (ft)	Soils (Drainage Classification)	Cowardin Class (%)
EXW1*	100	Poorly drained	PSS1B (100%)
EXW2*	100	Poorly drained	PSS1E (100%)
EXW3*	100	Very poorly drained	PSS1E (100%)
EXW4*	100	Poorly drained	PSS1E (100%)
EXW6	40	Poorly drained	PSS1E (100%)
EXW7	40	Poorly drained	PSS1B (100%)
EXW8	40	Poorly drained	PSS1E (100%)
EXW10	40	Poorly drained	PSS1E (100%)
EXW11*	100	Very poorly drained	PSS1E (100%)
EXW12*	100	Very poorly drained	PEM1E/PSS1E (90/10%)
EXW13	50	Very poorly drained	PFO1E (100%)
EXW14+	50	Very poorly drained	PSS1E (100%)
EXW15	No buffer	Somewhat poorly drained	PSS1E (100%)
EXW16+	50	Very poorly drained	PEM1E/PFO1E (90/10%)
EXW17	50	Very poorly drained	PSS1E(100%)
EXW18*	100	Very poorly drained	PEM1E/PSS1E (80/20%)
EXW19+	50	Very poorly drained	PEM1E/PSS1E (80/20%)
EXW20	40	Poorly drained	PSS1F (100%)
EXW21	50	Very poorly drained	PSS1E (100%)
EXW22	50	Very poorly drained	PFO1F (100%)
EXW23	50	Very poorly drained	PSS1E (100%)
EXW24	No buffer	Somewhat poorly drained	PEM1E (100%)
EXW25	40	Poorly drained	PSS1B (100%)
EXW26	50	Very poorly drained	PEM1E/PSS1E (90/10%)
EXW27	50	Very poorly drained	PSS1E (100%)
EXW28	40	Poorly drained	PEM1B (100%)
EXW29	40	Poorly drained	PEM1E (100%)

* Prime Wetland.

+ Contains vernal pool.

Conditional Use Permit – Permissible Uses

In accordance with the requirements for a Conditional Use Permit, the construction and maintenance of powerlines in the Wetlands Conservation District is an allowable use if the Planning Board determines the conditions found in *Article 9.1.6.B* of the Town’s Zoning Ordinance are met. Evidence that the proposed project meets these conditions is provided below.

1. That the proposed use is permitted in the underlying zoning district

The proposed project is maintenance of existing utility assets within an existing transmission line ROW. This maintenance is proposed to increase the reliability of the transmission lines within the ROW. Since the Eversource 115-kV transmission system is an integral part of the regional power system delivering electricity to customers throughout New England, it is critical that the 115-kV system remain operational without interruption from preventable outages. This project to replace these selected wooden structures with steel structures contributes to Eversource's regional effort to reduce the need for future work and emergency repairs.

2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible.

The least impactful access route and work pad alignment has been chosen to complete the structure replacement within the Wetlands Conservation District. The project will utilize existing access routes within the existing ROW to the greatest extent practicable. Selection of new access routes were made through a combination of on-site evaluations of potential access routes and remote mapping informed with wetland delineations to avoid wetland and upland buffer impacts to the greatest extent practicable.

3. A wetland scientist has provided an impact evaluation that includes the "functions and values" of the wetland(s), an assessment of the potential project-related impacts, and concluded to the extent feasible, the proposed impact is not detrimental to the value and functions of the wetland(s) or the greater hydrologic system.

As stated above, common functions and values observed in the wetlands in the vicinity of the proposed work include floodflow alteration, groundwater recharge/discharge, sediment/toxicant retentions, nutrient removal/retention, and wildlife habitat. In wetland areas, temporary timber matting will be used to construct access routes and work pads to reduce impacts to the wetlands by reducing soil compaction through more even distributing of the weight of the heavy equipment necessary to complete the work. Proposed structure replacements in wetland areas are in-kind with existing structures, and therefore there will not be a net increase of structures within wetland areas. The combination of timber matting and in-kind replacements will not have a detrimental effect on the existing functions and values of wetlands within the existing ROW. Erosion control BMPs, restoration, and other BMPs in coordination with NHDES and NHFG will further serve to minimize impacts to wetlands, streams and the greater hydrologic systems.

In upland areas, proposed impacts have been minimized where possible, while still allowing for safe and stable work areas. Work pads will be reduced in size to 30-feet by 60-feet and all disturbed areas will be stabilized following construction. The same erosion control BMPs, restoration, and other BMPs will further serve to minimize impacts to wetlands, streams and the greater hydrologic systems located near proposed work areas.

Eversource has minimized the project's impact on wetlands, streams, and other associated areas to the greatest extent feasible. Maintenance within Eversource's transmission line ROWs is frequently needed to maintain reliable service for Eversource customers and for the surrounding states which rely upon Eversource's network of transmission lines and substations. Construction of reliable access roads within upland areas to support current and future maintenance activities will reduce the need for frequent re-disturbance each time a maintenance activity is required. Over time, this will result in a

reduction of impacts to areas near existing structures and in upland areas located between other structures.

- 4. *That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer.***

Eversource will use timber matting in wetland areas located with the Wetlands Conservation Overlay District. Timber mats will limit the amount of soil disturbance and impact of the project on wetland and wetland buffer functions and values. Following work at the site, the timber matting will be removed and any exposed soils will be stabilized and seeded with the appropriate upland or wetland seed mix. Existing vegetation, temporarily mowed, will be allowed to revegetate naturally within the matted work areas associated with the Wetlands Conservation Overlay District. All disturbed areas on the stretch between Watson Road and Captain's Way will be restored to pre-construction conditions in alignment with a previous agreement with the Town of Exeter. During project work, crews will install and maintain erosion and sediment control barriers in accordance with the permitting plans and details, New Hampshire Department of Environmental Services (NHDES) conditions, and the *Best Management Practices Manual for Utility Maintenance in and Adjacent to Wetlands and Waterbodies in New Hampshire* ('Utility BMP Manual,' March 2019), published by the New Hampshire Department of Natural and Cultural Resources (NHDNCR).

- 5. *That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons.***

Only temporary impacts to wetlands are proposed and no risks to individual or public health are anticipated as part of this project work.

- 6. *The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland.***

All impacts to wetlands shall be temporary and no increase to any wetland buffers is proposed as part of this maintenance project.

- 7. *In cases where the proposed use is temporary or where construction activity disturbs areas adjacent the immediate use, the applicant has included a restoration proposal revegetating any disturbed areas within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.***

The timber matting proposed in wetland and upland areas will limit the amount of soil disturbance and impact of the project on wetland and wetland buffer functions and values. Following removal of these timber mats and removal of gravel access roads and work pads between Watson Road and Captain's Way, exposed soils will be stabilized and seeded with the appropriate upland or wetland seed mix. Existing vegetation, temporarily mowed for the project work, will be allowed to revegetate naturally within the matted work areas associated with the Wetlands Conservation Overlay District.

- 8. *That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire***

Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.

Other regulatory permits and notifications anticipated for the proposed work in Exeter are summarized below:

Agency	Permit/Notification	Status
Local		
Town of Exeter	Conditional Use Permit	<i>Pending</i>
State		
NHDES Alteration of Terrain Bureau	Alteration of Terrain Permit	<i>Pending</i>
NHDES Wetlands Bureau	One Utility Maintenance Activity Statutory Permit-By-Notifications (SPN)	<i>Pending</i>
NHDES Shorelands Program	One Shoreland Permit By Notifications (PBN)	<i>Pending</i>
Federal		
EPA (Construction General Permit)	Stormwater Pollution Prevention Plan (SWPPP) and USACE Self-Verification under the NH CGP	<i>Pending</i>

Property Ownership and Abutters

All proposed work will occur within the limits of an existing electric utility ROW that is either owned in fee or maintained as easement by Eversource. All owners of parcels where impacts related to the project are to occur, as well as owners of parcels who abut or are located across the street from these properties will be notified of the proposed project in accordance with the Town of Exeter’s Conditional Use Permit application process. Please see Attachment A for the lists of the tax map numbers, address, and property owners for all properties within the project footprint and all abutters. Please see Attachment C for a notification letter for all property owners within and abutting the project and for the relevant easement numbers.

If you have questions or require additional information, please contact Mr. William McCloy at 802.855.1246 or wmccloy@normandeau.com.

Sincerely,



William McCloy, NH CWS, PWS

Project Manager

ATTACHMENT A - Town of Exeter Conditional Use Permit Application Form

Town of Exeter



Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

March 2020

	Address: 279 Eppings Road Exeter, NH 03833
	Tax Map # <u>29</u> Lot# <u>32</u> Zoning District: <u>R-1</u>
	Owner of Record: Carl E. Bouchard
	Address: Old Town Farm Road Exeter, NH 03833
	Tax Map # <u>28</u> Lot# <u>3</u> Zoning District: <u>RU</u>
	Owner of Record: Robert M. Noel
	Address: 36 Old Town Farm Road Exeter, NH 03833
	Tax Map # <u>28</u> Lot# <u>6</u> Zoning District: <u>RU</u>
	Owner of Record: Kenneth Bolster
	Address: Old Town Farm Road
	Tax Map # <u>28</u> Lot# <u>13</u> Zoning District: <u>RU</u>
	Owner of Record: Town of Exeter
	Address: 27 Old Town Farm Road
	Tax Map # <u>28</u> Lot# <u>18</u> Zoning District: <u>R-1</u>
	Owner of Record: Michael D. Wissler
	Address: Beech Hill Road
	Tax Map # <u>17</u> Lot# <u>19</u> Zoning District: <u>RU</u>
	Owner of Record: State of New Hampshire
	Address: 70 Beech Hill Road
	Tax Map # <u>18</u> Lot# <u>3</u> Zoning District: <u>RU</u>
	Owner of Record: Kenneth P. Barker II
	Address: 104 Watson Road
	Tax Map # <u>19</u> Lot# <u>3</u> Zoning District: <u>RU</u>
	Owner of Record: St. Laurent Irrevocable Trust
	Address: 102 Watson Road
	Tax Map # <u>19</u> Lot# <u>2</u> Zoning District: <u>RU</u>
	Owner of Record: Joshua E. Bauer
	Address: 90 Watson Road
	Tax Map # <u>19</u> Lot# <u>1</u> Zoning District: <u>RU</u>
	Owner of Record: Matthew N. Ross
	Address: Watson Road
	Tax Map # <u>19</u> Lot# <u>16</u> Zoning District: <u>RU</u>
	Owner of Record: Town of Exeter
	Address: Watson Road
	Tax Map # <u>19</u> Lot# <u>16-1</u> Zoning District: <u>None provided</u>
	Owner of Record: Oaklands Forest Ridge
	Address: 54 Newfields Road
	Tax Map # <u>24</u> Lot# <u>1</u> Zoning District: <u>RU</u>
	Owner of Record: Keith Randall Limberg II
	Address: Newfields Road
	Tax Map # <u>25</u> Lot# <u>1</u> Zoning District: <u>RU</u>
	Owner of Record: Town of Exeter

	Address: The Oaklands
	Tax Map # <u>20</u> Lot# <u>8</u> Zoning District: <u>None provided</u>
	Owner of Record: Town of Exeter
	Address: Newfields Road
	Tax Map # <u>24</u> Lot# <u>3</u> Zoning District: <u>RU</u>
	Owner of Record: Captains Meadow Homeowners
	Address: 61 Newfields Road
	Tax Map # <u>24</u> Lot# <u>30</u> Zoning District: <u>RU</u>
	Owner of Record: Town of Exeter
Person/Business performing work outlined in proposal	Name: Jeremy Fennell [Eversource Energy]
	Address: 13 Legends Drive Hooksett, NH 03106
	Phone: 603-634-3396
Professional that delineated wetlands	Name: William McCloy [Normandeau Associates, Inc.]
	Address: 25 Nashua Road Bedford, NH 03110
	Phone: 802-861-7038

**Town of Exeter
 Planning Board Application
 Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)
Please see the attached Cover Letter Report.

Wetland Conservation Overlay District Impact (in square footage):				
Temporary Impact <small>Temporary impacts are defined as areas which are to be matted or areas where gravel access road or work pad will be restored to pre-construction conditions following completion of work.</small>	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	<input checked="" type="checkbox"/> Prime Wetlands	<u>89,880</u>	<input checked="" type="checkbox"/> Prime Wetlands	<u>11,134</u>
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input checked="" type="checkbox"/> Vernal Pools (>200SF)	<u>17,663</u>
	<input checked="" type="checkbox"/> VPD	<u>8,754</u>	<input checked="" type="checkbox"/> VPD	<u>9,789</u>
	<input checked="" type="checkbox"/> PD	<u>4,072</u>	<input checked="" type="checkbox"/> PD	<u>3,504</u>
	<input checked="" type="checkbox"/> Inland Stream	<u>84</u>	<input checked="" type="checkbox"/> Inland Stream	<u>1,114</u>
Permanent Impact	Wetland:		Buffer:	
	<input type="checkbox"/> Prime Wetlands	_____	<input checked="" type="checkbox"/> Prime Wetlands	<u>69,572</u>
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input checked="" type="checkbox"/> VPD	<u>27,452</u>
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD	<u>10,132</u>
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream	_____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):
Please see the attached Cover Letter Report.

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 029-010-0001
NAME Silver Granada Realty LLC
ADDRESS 131 Pine Rd, Brentwood NH 03833

TAXMAP 030-010-0000
NAME State of New Hampshire
ADDRESS PO BOX 483, Concord NH 03302

TAX MAP 029-030-0000
NAME Joseph G. Clark
ADDRESS PO Box 383, Newfields NH 03856

TAX MAP 028-007-0000
NAME Kasnet Revocable Trust
ADDRESS 42 Old Town Farm Rd, Exeter NH 03833

TAX MAP 018-004-0000
NAME State of New Hampshire
ADDRESS 11 Hazen Dr, Concord NH 03301

TAXMAP 019-005-0000
NAME Perrin T. Prescott Revocable Trust
ADDRESS 110 Watson Rd, Exeter NH 03833

TAX MAP 021-001-0000
NAME Captain Meadows Homeowners
ADDRESS PO Box 544, Exeter NH 03833

TAX MAP 028-014-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 018-004-0021
NAME Publicover Eric Dean Revocable Trust
ADDRESS 8 Oaklands Rd, Exeter NH 03833

TAX MAP 018-008-0000
NAME Michael L. Perreault
ADDRESS 9 Oaklands Rd, Exeter NH 03833

TAX MAP 035-003-0008
NAME Joseph King
ADDRESS 685 Third Ave 4th Fl, New York NY 10017

TAX MAP 030-004-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 029-022-0000
NAME Homeowners Association
ADDRESS 6 Anna Louise Dr, Exeter NH 03833

TAX MAP 028-019-0000
NAME Hilary M Skovron H Trust
ADDRESS 25 Old Town Farm Rd, Exeter NH 03833

TAX MAP 018-002-0000
NAME Kenneth P. Barker II
ADDRESS 62 Beech Hill Rd, Exeter NH 03833

TAX MAP 018-009-0000
NAME Edward J. Kotkowski
ADDRESS 7 Oaklands Rd, Exeter NH 03833

TAX MAP 027-012-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 019-016-0011
NAME Mark E. Johnson
ADDRESS 4 Wood Ridge Ln, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 035-003-0007
NAME Dustin R. Garvey
ADDRESS 14 Walters Way, Exeter NH 03833

TAXMAP 020-001-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 023-004-0000
NAME Boston and Maine Railroad
ADDRESS 1700 Iron Horse Park, North Billerica MA 01862

TAX MAP 030-002-0001
NAME Carl E. Bouchard
ADDRESS PO Box 219, Exeter NH 03833

TAX MAP 016-004-0000
NAME Exeter Region Cooperative
ADDRESS 30 Linden St, Exeter NH 03833

TAXMAP 031-009-0000
NAME Field and Forest Realty Trust
ADDRESS PO Box 189, Rollinsford NH 03869

TAX MAP 028-005-0000
NAME David E. Richard
ADDRESS 26 Old Town Farm Rd, Exeter NH 03833

TAX MAP 017-009-0000
NAME State of New Hampshire
ADDRESS 11 Hazen Dr, Concord NH 03301

TAX MAP 028-015-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 018-001-0000
NAME 249 Atlantic LLC
ADDRESS 16 Stone Meadow Way, Greenland NH 03840

TAX MAP 018-011-0000
NAME Vincent P. Corson
ADDRESS 3 Oaklands Rd, Exeter NH 03833

TAX MAP 026-009-0000
NAME Elaine A. Mendzela Revocable Trust
ADDRESS 830 Radcliffe Ave, Pacific Palisades CA 90272

TAX MAP 026-013-0000
NAME Ellen Whitman TR
ADDRESS 84 Watson Rd, Exeter NH 03833

TAX MAP 019-016-0012
NAME Benjamin Thompson
ADDRESS 6 Wood Ridge Ln, Exeter NH 03833

TAX MAP 020-002-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 022-017-0000
NAME David Patrick Moore
ADDRESS 67 Newfields Rd, Exeter NH 03833

TAX MAP 031-010-0000
NAME Stephanie L. Shea-Estabrook
ADDRESS 263 Epping Rd, Exeter NH 03833

TAX MAP 028-004-0000
NAME Richard E. Croston
ADDRESS 22 Old Town Farm Rd, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 028-011-0000
NAME Bruce D. Michaud
ADDRESS 9A Old Town Farm Rd, Exeter NH 03833

TAXMAP 027-010-0000
NAME Calkins Family Trust
ADDRESS 58 Beech Hill Rd, Exeter NH 03833

TAX MAP 018-013-0000
NAME Shawn A. Roussin
ADDRESS 1 Oaklands Rd, Exeter NH 03833

TAX MAP 026-011-0000
NAME William F. Hoyt
ADDRESS 82 Watson Rd, Exeter NH 03833

TAX MAP 019-016-0013
NAME Greg Cochran
ADDRESS 8 Wood Ridge Ln, Exeter NH 03833

TAXMAP 024-032-0000
NAME Francis T. & Donna L. Harrington Rev Tr
ADDRESS 15 Ladyslipper Ln, Newmarket NH 03857

TAX MAP 020-003-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 031-011-0000
NAME Marshall J. Ramini
ADDRESS 261 Epping Rd, Exeter NH 03833

TAX MAP 028-002-0000
NAME Robert M. Noel
ADDRESS 18 Old Town Farm Rd, Exeter NH 03833

TAX MAP 028-012-0000
NAME Carol A. Eaton
ADDRESS 35 Old Town Farm Rd, Exeter NH 03833

TAX MAP 027-009-0000
NAME Carl J. Korzeniewski
ADDRESS 56 Beech Hill Rd, Exeter NH 03833

TAX MAP 024-031-0000
NAME Trevor G. Roenick
ADDRESS 51 Newfields Rd, Exeter NH 03833

TAX MAP 028-001-0000
NAME Frank J. Pickard
ADDRESS 14 Old Town Farm Rd, Exeter NH 03833

TAX MAP 027-008-0000
NAME Kenneth P. Swaine
ADDRESS 54 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0100
NAME Watson Woods Hmeown Assoc
ADDRESS 17 Commerce Dr, Bedford NH 03110

TAX MAP 024-002-0000
NAME Craig A. Maclean
ADDRESS 64 Newfields Rd, Exeter NH 03833

TAX MAP 027-007-0000
NAME John J. Casey III
ADDRESS 52 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0010
NAME Spencer E. Paulick
ADDRESS 2 Wood Ridge Ln, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 024-029-0000
NAME Benjamin C. Anderson
ADDRESS 66 Newfields Rd, Exeter NH 03833

TAXMAP 027-006-0000
NAME Gary Chamberlain Living Trust
ADDRESS 50 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0005
NAME Jessica S. Johnson
ADDRESS 9 Wood Ridge Ln, Exeter NH 03833

TAX MAP 027-005-0000
NAME Robert Mitrook
ADDRESS 46 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0006
NAME Eric R. Benson
ADDRESS 11 Wood Ridge Ln, Exeter NH 03833

TAXMAP 021-035-0000
NAME Bruce B. Norton Rev Tr
ADDRESS 74 Newfields Rd, Exeter NH 03833

TAX MAP 027-004-0000
NAME Matthew K. Greene
ADDRESS 44 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0007
NAME Sherry A. Merrifield
ADDRESS 13 Wood Ridge Ln, Exeter NH 03833

TAX MAP 022-001-0000
NAME Julie L. Olson
ADDRESS 76 Newfields Rd, Exeter NH 03833

TAX MAP 027-003-0000
NAME Linda J. Haswell Rev Tr
ADDRESS 40 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0008
NAME Paul B. Satow
ADDRESS 15 Wood Ridge Ln, Exeter NH 03833

TAX MAP 021-036-0011
NAME Steber/Medanich 2006 Trust
ADDRESS 3 Sloans Brook Dr, Exeter NH 03833

TAX MAP 027-002-0000
NAME Terrence Bickhardt
ADDRESS 30 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-016-0009
NAME Ryan Cunningham
ADDRESS 17 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0024
NAME Christopher L. Walstad
ADDRESS 1 Terrys Way, Exeter NH 03833

TAX MAP 021-036-0010
NAME Jonathan C. Everett
ADDRESS 5 Sloans Brook Dr, Exeter NH 03833

TAX MAP 032-006-0000
NAME Paul R. Slemp
ADDRESS 5 Stella Way, Exeter NH 03833

TAX MAP 019-016-0014
NAME Nicholas Devonshire
ADDRESS 10 Wood Ridge Ln, Exeter NH
03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 011-018-0023
NAME Heath R. Meattey
ADDRESS 3 Terry's Way, Exeter NH 03833

TAX MAP 019-016-0015
NAME Caitlin A. Desoye
ADDRESS 12 Wood Ridge Ln, Exeter NH
03833

TAX MAP 021-036-0008
NAME Stewart Family Trust
ADDRESS 9 Sloans Brook Dr, Exeter NH
03833

TAX MAP 019-016-0016
NAME Matthew A. Stough
ADDRESS 14 Wood Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0056
NAME David P. Stewart
ADDRESS 16 Wood Ridge Ln, Exeter NH
03833

TAX MAP 019-016-0058
NAME Bradley A. Tumbleston
ADDRESS 20 Wood Ridge Ln, Exeter NH
03833

TAX MAP 011-018-0001
NAME Steph Eugene Small
ADDRESS 19 Wood Ridge Ln, Exeter NH
03833

TAX MAP 011-018-0003
NAME Pemantell-Martel Family Rev Liv Tr
ADDRESS 23 Wood Ridge Ln, Exeter NH
03833

TAX MAP 011-018-0005
NAME Gabriel J. Klaff III
ADDRESS 27 Wood Ridge Ln, Exeter NH 03833

TAXMAP 021-036-0009
NAME James P. Despelteau
ADDRESS 7 Sloans Brook Dr, Exeter NH 03833

TAX MAP 011-018-0022
NAME Marc R. Bozenski
ADDRESS 5 Terry's Way, Exeter NH 03833

TAXMAP 027-011-0000
NAME Shawn P. Macdonald
ADDRESS 55 Beech Hill Rd, Exeter NH 03833

TAX MAP 011-018-0021
NAME Gordon Family Trust
ADDRESS 7 Terry's Way, Exeter NH 03833

TAX MAP 019-016-0057
NAME Messier Family Revocable Trust
ADDRESS 18 Wood Ridge Ln, Exeter NH
03833

TAX MAP 011-018-0012
NAME Melike B. Talay
ADDRESS 22 Wood Ridge Ln, Exeter NH
03833

TAX MAP 011-018-0002
NAME Jonathan C. Wilhelm
ADDRESS 21 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0004
NAME Mark Severson
ADDRESS 25 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0017
NAME Nutbrown Family Rev Trust
ADDRESS 4 Terry's Way, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 011-018-0007
NAME Robert L. Macomber
ADDRESS 31 Wood Ridge Ln, Exeter NH 03833

TAXMAP 011-012-0000
NAME David A. Oliver
ADDRESS 43 Oaklands Rd, Exeter NH 03833

TAX MAP 011-018-0026
NAME David A. Oliver
ADDRESS 43 Oaklands Rd, Exeter NH 03833

TAX MAP 011-013-0000
NAME Jack Stephen Jochums
ADDRESS 39 Oaklands Rd, Exeter NH 03833

TAX MAP 007-001-0000
NAME Davis Family Trust
ADDRESS 25 Oaklands Rd, Exeter NH 03833

TAXMAP 007-002-0000
NAME Davis Family Trust
ADDRESS 25 Oaklands Rd, Exeter NH 03833

TAX MAP 007-005-0000
NAME Avery True
ADDRESS 47 Oaklands Rd, Exeter NH 03833

TAX MAP 007-004-0000
NAME Christopher E. Soave
ADDRESS 55 Oaklands Rd, Newfields NH
03856

TAX MAP 007-006-0000
NAME Thomas K. Bassett Living Trust
ADDRESS 41 Oaklands Rd, Newfields NH
03856

TAX MAP 011-011-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 010-001-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 010-007-0000
NAME Olive L. Rugg Tr
ADDRESS PO Box 1023, Newfields NH 03856

TAX MAP 010-009-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 010-010-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 010-008-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 020-005-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 020-006-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 020-007-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 035-002-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAXMAP 026-015-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 011-018-0025
NAME Salvatore Renzulli
ADDRESS 2 Stone Ridge Ln, Exeter NH
03833

TAX MAP 019-016-0053
NAME Mohammd H. Golparvar
ADDRESS 8 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0052
NAME Kristen L. Deshaies
ADDRESS 10 Stone Ridge Ln, Exeter NH
03833

TAXMAP 019-016-0051
NAME Desjarlais Family Revocable Trust
ADDRESS 12 Stone Ridge Ln, Exeter NH
03833

TAX MAP 019-016-0050
NAME David N. Rasmussen Rev Tr
ADDRESS 11 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0049
NAME 9 Stone Ridge Ln
ADDRESS 9 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0048
NAME Nichols Family Rev Tr
ADDRESS 7 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0047
NAME Jean Marie McNamara
ADDRESS 5 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0046
NAME Matthew Courchesne
ADDRESS 3 Stone Ridge Ln, Exeter NH 03833

TAX MAP 019-016-0045
NAME Thomas M. Jelinek
ADDRESS 1 Stone Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0020
NAME Daniel P. Mattson
ADDRESS 9 Terry's Way, Exeter NH 03833

TAX MAP 011-018-0019
NAME Brandee Cariddi
ADDRESS 8 Terry's Way, Exeter NH 03833

TAX MAP 011-018-0016
NAME Michael P. Kumph
ADDRESS 6 Terry's Way, Exeter NH 03833

TAX MAP 011-018-0009
NAME Gregory Alan Lazar
ADDRESS 35 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0010
NAME Gregory R. Seaman
ADDRESS 37 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-018-0011
NAME Sante Revocable Trust
ADDRESS 39 Wood Ridge Ln, Exeter NH
03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 011-018-0014
NAME Wood Ridge Revocable Trust
ADDRESS 26 Wood Ridge Ln, Exeter NH 03833

TAXMAP 011-018-0015
NAME David Scroggins
ADDRESS 28 Wood Ridge Ln, Exeter NH 03833

TAX MAP 011-001-0000
NAME Andre P. Baillargeon
ADDRESS 128 Watson Rd, Exeter NH 03833

TAX MAP 019-011-0000
NAME John P. Lyons
ADDRESS 123 Watson Rd, Exeter NH 03833

TAX MAP 019-008-0000
NAME Glenn D, Cypher Jr.
ADDRESS 120 Watson Rd, Exeter NH 03833

TAXMAP 019-012-0000
NAME Taylor J. Smalley
ADDRESS 115 Watson Rd, Exeter NH 03833

TAX MAP 019-013-0000
NAME 107 Watson Road Realty Tr
ADDRESS 107 Watson Rd, Exeter NH 03833

TAX MAP 019-014-0000
NAME 107 Watson Road Realty Tr
ADDRESS 107 Watson Rd, Exeter NH 03833

TAX MAP 019-015-0000
NAME Philip R. Lyster
ADDRESS 101 Watson Rd, Exeter NH 03833

TAX MAP 019-006-0000
NAME Margaret Caroline Blitzer
ADDRESS 112 Watson Rd, Exeter NH 03833

TAX MAP 020-004-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 021-002-0000
NAME Michael A. Mills
ADDRESS 22 Captains Way, Exeter NH 03833

TAX MAP 021-003-0000
NAME Christian O. Smith
ADDRESS 20 Captains Way, Exeter NH 03833

TAX MAP 021-004-0000
NAME Justin D. Jumper
ADDRESS 18 Captains Way, Exeter NH 03833

TAX MAP 021-005-0000
NAME Jonathan P. Hall
ADDRESS 16 Captains Way, Exeter NH 03833

TAX MAP 021-006-0000
NAME Eva H. Bleich 2006 Rev Tr
ADDRESS 1 Moore Ln, Exeter NH 03833

TAX MAP 021-007-0000
NAME Scott E. Jones
ADDRESS 3 Moore Ln, Exeter NH 03833

TAX MAP 021-008-0000
NAME Dorton Family Rev Trust
ADDRESS 5 Moore Ln, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 021-009-0000
NAME Sara Rogers Williamson
ADDRESS 6 Moore Ln, Exeter NH 03833

TAXMAP 021-010-0000
NAME Grossman Family Rev Tr
ADDRESS 4 Moore Ln, Exeter NH 03833

TAX MAP 021-011-0000
NAME Gutstein Family Rev Tr
ADDRESS 2 Moore Ln, Exeter NH 03833

TAX MAP 021-012-0000
NAME Anthony P. Theos
ADDRESS 14 Captains Way, Exeter NH 03833

TAX MAP 021-013-0000
NAME Murray Family Trust
ADDRESS 12 Captains Way, Exeter NH 03833

TAXMAP 021-014-0000
NAME Daniel P. Walsh
ADDRESS 1 Half Penny Ln, Exeter NH 03833

TAX MAP 021-015-0000
NAME Kevin S. Tobin
ADDRESS 3 Half Penny Ln, Exeter NH 03833

TAX MAP 021-016-0000
NAME Mark Brian Connelly
ADDRESS 5 Half Penny Ln, Exeter NH 03833

TAX MAP 021-017-0000
NAME Paula S. Walsh 1990 Trust
ADDRESS PO Box 9, Exeter NH 03833

TAX MAP 021-018-0000
NAME Deeptha Nair Sastry
ADDRESS 9 Half Penny Ln, Exeter NH 03833

TAX MAP 021-019-0000
NAME Travis Dion
ADDRESS 11 Half Penny Ln, Exeter NH 03833

TAX MAP 021-020-0000
NAME Jaye L. Carr Revocable Trust
ADDRESS 10 Half Penny Ln, Exeter NH 03833

TAX MAP 021-021-0000
NAME David Kaufman
ADDRESS 8 Half Penny Ln, Exeter NH 03833

TAX MAP 021-022-0000
NAME Larry Grubb Jr,
ADDRESS 6 Half Penny Ln, Exeter NH 03833

TAX MAP 021-023-0000
NAME Jonathan D. Berenson
ADDRESS 4 Half Penny Ln, Exeter NH 03833

TAX MAP 021-024-0000
NAME Stephen Lachance
ADDRESS 2 Half Penny Ln, Exeter NH 03833

TAX MAP 021-025-0000
NAME Mary L. Joseph R
ADDRESS 10 Captains Way, Exeter NH 03833

TAX MAP 021-026-0000
NAME James D. Mcewen
ADDRESS 9 Captains Way, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 021-027-0000
NAME Amy Sullivan
ADDRESS 11 Captains Way, Exeter NH 03833

TAXMAP 021-028-0000
NAME Kimmarie Mclean
ADDRESS 13 Captains Way, Exeter NH 03833

TAX MAP 021-029-0000
NAME Gary Muligian Jr.
ADDRESS 15 Captains Way, Exeter NH 03833

TAX MAP 021-030-0000
NAME Francis and Richard Nolan
ADDRESS 17 Captains Way, Exeter NH 03833

TAX MAP 021-032-0000
NAME Richard J. Bertani
ADDRESS 21 Captains Way, Exeter NH 03833

TAXMAP 021-031-0000
NAME Elizabeth C. Andrada Revocable Trust
ADDRESS 19 Captains Way, Exeter NH 03833

TAX MAP 021-033-0000
NAME Stephen E. Bernacki
ADDRESS 7 Captains Way, Exeter NH 03833

TAX MAP 024-016-0000
NAME Marlene J. Kaplan Rev Living Tr
ADDRESS 23 Captains Way, Exeter NH 03833

TAX MAP 024-020-0000
NAME Raymond L. Southworth Jr. Rev Tr
ADDRESS 3 Captains Way, Exeter NH 03833

TAX MAP 024-021-0000
NAME Salvatore Mazzola III
ADDRESS 5 Captains Way, Exeter NH 03833

TAX MAP 024-017-0000
NAME Gregory S. Dishart Rev Tr
ADDRESS 25 Captains Way, Exeter NH 03833

TAX MAP 024-018-0000
NAME Richard A. Kruppa
ADDRESS 27 Captains Way, Exeter NH 03833

TAX MAP 024-019-0000
NAME Scott J. Bly Rev Tr
ADDRESS 1 Captains Way, Exeter NH 03833

TAX MAP 024-015-0000
NAME Ashley Mitchell
ADDRESS 24 Captains Way, Exeter NH 03833

TAX MAP 024-014-0000
NAME Scott Dustin Powell
ADDRESS 26 Captains Way, Exeter NH 03833

TAX MAP 024-013-0000
NAME Luanne S. Rogers
ADDRESS 28 Captains Way, Exeter NH 03833

TAX MAP 024-012-0000
NAME Kristina C. Seid
ADDRESS 30 Captains Way, Exeter NH 03833

TAX MAP 024-011-0000
NAME Christopher K. Surette
ADDRESS 32 Captains Way, Exeter NH 03833

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 024-010-0000
NAME Joseph Nathan Llames Bautista
ADDRESS 34 Captains Way, Exeter NH 03833

TAXMAP 024-009-0000
NAME Jeffrey S. Koroski
ADDRESS 36 Captains Way, Exeter NH 03833

TAX MAP 024-008-0000
NAME Brian Bailey
ADDRESS 38 Captains Way, Exeter NH 03833

TAX MAP 024-007-0000
NAME Matthew A. Gailing
ADDRESS 40 Captains Way, Exeter NH 03833

TAX MAP 024-006-0000
NAME Matthew A. Gailing
ADDRESS 40 Captains Way, Exeter NH 03833

TAXMAP 024-005-0000
NAME Steven D. Fullwood
ADDRESS 44 Captains Way, Exeter NH 03833

TAX MAP 024-004-0000
NAME Lisa S. Hopper
ADDRESS 46 Captains Way, Exeter NH 03833

TAX MAP 024-024-0000
NAME Patrick A. Bosa
ADDRESS 2 Captains Way, Exeter NH 03833

TAX MAP 024-023-0000
NAME Edward V. Gerety
ADDRESS 4 Captains Way, Exeter NH 03833

TAX MAP 024-022-0000
NAME Jaclyn Bouchard
ADDRESS 6 Captains Way, Exeter NH 03833

TAX MAP 024-025-0000
NAME Hammond Family Revocable Trust
ADDRESS 1 Senyar Farm Ln, Exeter NH 03833

TAX MAP 024-026-0000
NAME Marcus Niemi
ADDRESS 3 Senyar Farm Ln, Exeter NH 03833

TAX MAP 021-034-0000
NAME Trevor Nagle
ADDRESS 8 Captains Way, Exeter NH 03833

TAX MAP 024-027-0000
NAME Dewitt Family Revocable Trust
ADDRESS 4 Senyar Farm Ln, Exeter NH 03833

TAX MAP 024-028-0000
NAME Daniel J. Ahern IV
ADDRESS 2 Senyar Farm Ln, Exeter NH 03833

TAX MAP 035-009-000D
NAME ZV Investments LLC.
ADDRESS PO Box 10711, Bedford NH 03110

TAX MAP 030-008-0000
NAME Silver Granada Realty LLC.
ADDRESS 131 Pine Rd, Brentwood NH 03833

TAX MAP 030-009-0000
NAME PROPERTIES INC.
ADDRESS PO Box 270, Hartford CT 06141-0270

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 029-031-0000
NAME Michelle Lebor
ADDRESS 289 Epping Rd, Exeter NH 03833

TAXMAP 029-032-0000
NAME Carl E. Bouchard
ADDRESS PO Box 219, Exeter NH 03833

TAX MAP 028-003-0000
NAME Robert M. Noel
ADDRESS 18 Old Town Farm Rd, Exeter NH 03833

TAX MAP 028-006-0000
NAME Marie M. Bolster
ADDRESS 36 Old Town Farm Rd, Exeter NH 03833

TAX MAP 028-013-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAXMAP 028-018-0000
NAME Michael D. Wissler
ADDRESS 27 Old Town Farm Rd, Exeter NH 03833

TAX MAP 018-003-0000
NAME Kenneth P. Barker II.
ADDRESS 62 Beech Hill Rd, Exeter NH 03833

TAX MAP 019-003-0000
NAME St. Laurent Irrevocable Trust
ADDRESS 104 Watson Rd, Exeter NH 03833

TAX MAP 019-002-0000
NAME Joshua E. Bauer
ADDRESS 102 Watson Rd, Exeter NH 03833

TAX MAP 019-001-0000
NAME Matthew N. Ross
ADDRESS 90 Watson Rd, Exeter NH 03833

TAX MAP 019-016-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 019-016-0001
NAME Oaklands Forest Ridge
ADDRESS 8 Newmarket Rd, Suite 2, Durham NH 03824

TAX MAP 024-001-0000
NAME Keith Randall Limberg II
ADDRESS 54 Newfields Rd, Exeter NH 03833

TAX MAP 025-001-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 020-008-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 024-003-0000
NAME Captains Meadow Homeowners
ADDRESS PO Box 544, Exeter NH 03833

TAX MAP 024-030-0000
NAME Town of Exeter
ADDRESS 10 Front St, Exeter NH 03833

TAX MAP 017-009-0000
NAME State of New Hampshire
ADDRESS 11 Hazen Drive Concord, NH 03301

Please attach additional sheets if needed

ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 017-005-0000
NAME Christopher B. Johnson
ADDRESS 63 Old Town Farm Road
Exeter, NH 03833

TAXMAP 017-009-0002
NAME Kevin Karwaski
ADDRESS 84 Beech Hill Road
Exeter, NH 03833

TAX MAP 017-004-0000
NAME Bryce W. Pynn
ADDRESS 67 Old Town Farm Road
Exeter, NH 03833

TAX MAP 017-009-0001
NAME Michael S. Shairs
ADDRESS 82 Beech Hill Road
Exeter, NH 03833

TAX MAP 017-003-0000
NAME Tristan & Katelyn Nowak
ADDRESS 71 Old Town Farm Road
Exeter, NH 03833

TAXMAP 018-016-0000
NAME Todd W. McAvey
ADDRESS 80 Beech Hill Road
Exeter, NH 03833

TAX MAP 017-002-0001
NAME Margaret Rose Carlman
ADDRESS 73 Old Town Farm Road
Exeter, NH 03833

TAX MAP 018-014-0000
NAME Anthony J. Carter
ADDRESS 81 Beech Hill Road
Exeter, NH 03833

TAX MAP 017-002-0000
NAME William Stiner Revocable Trust
ADDRESS 79 Old Town Farm Road
Exeter, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 013-001-0000
NAME Judith Nichols
ADDRESS 100 Beech Hill Road
Exeter, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 017-009-0005
NAME Nicholas Gustav Nordin
ADDRESS 90 Beech Hill Road
Exeter, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 017-009-0004
NAME Drew Taggart
ADDRESS 88 Beech Hill Road
Exeter, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 017-009-0003
NAME Kristin M. Bennett
ADDRESS 86 Beech Hill Road
Exeter, NH 03833

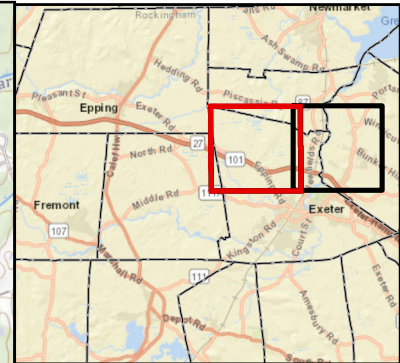
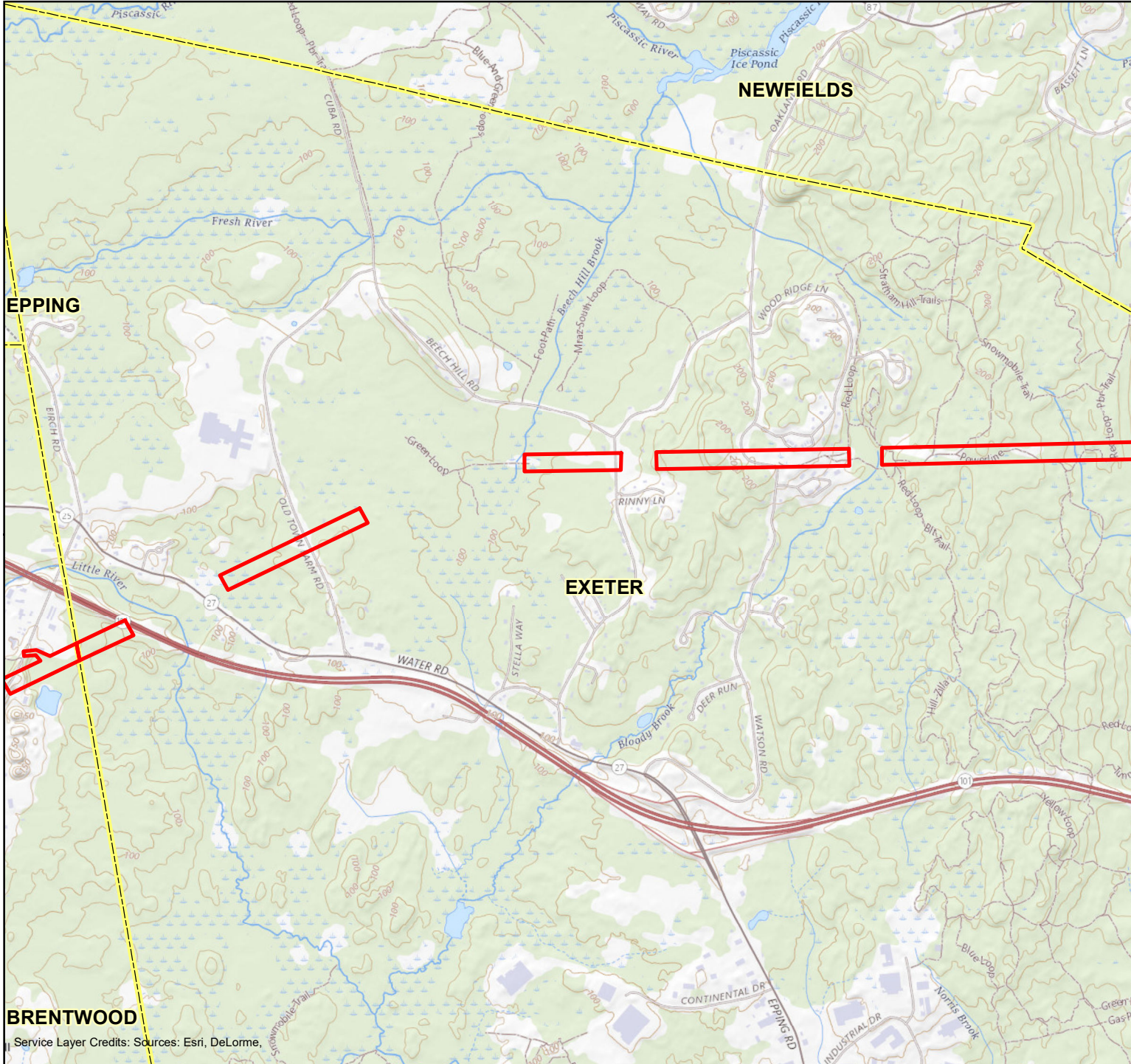
TAX MAP _____
NAME _____
ADDRESS _____

Please attach additional sheets if needed

9.1.6. B: Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

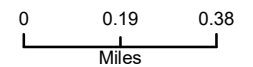
1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;

ATTACHMENT B – USGS Topographic Map and Construction Plan Set



**Orthophoto Map
Eversource RASH Project
2023 Structure Replacement
Maintenance Project
in Exeter, NH
Map 1 of 2
Date: 5/26/2023**

- RASH Project Areas
- Town Border



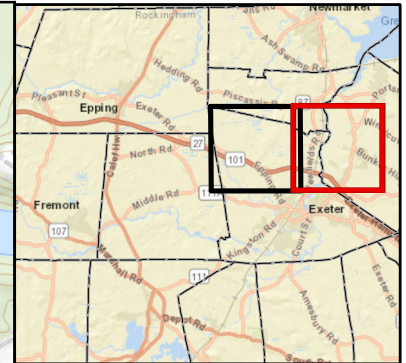
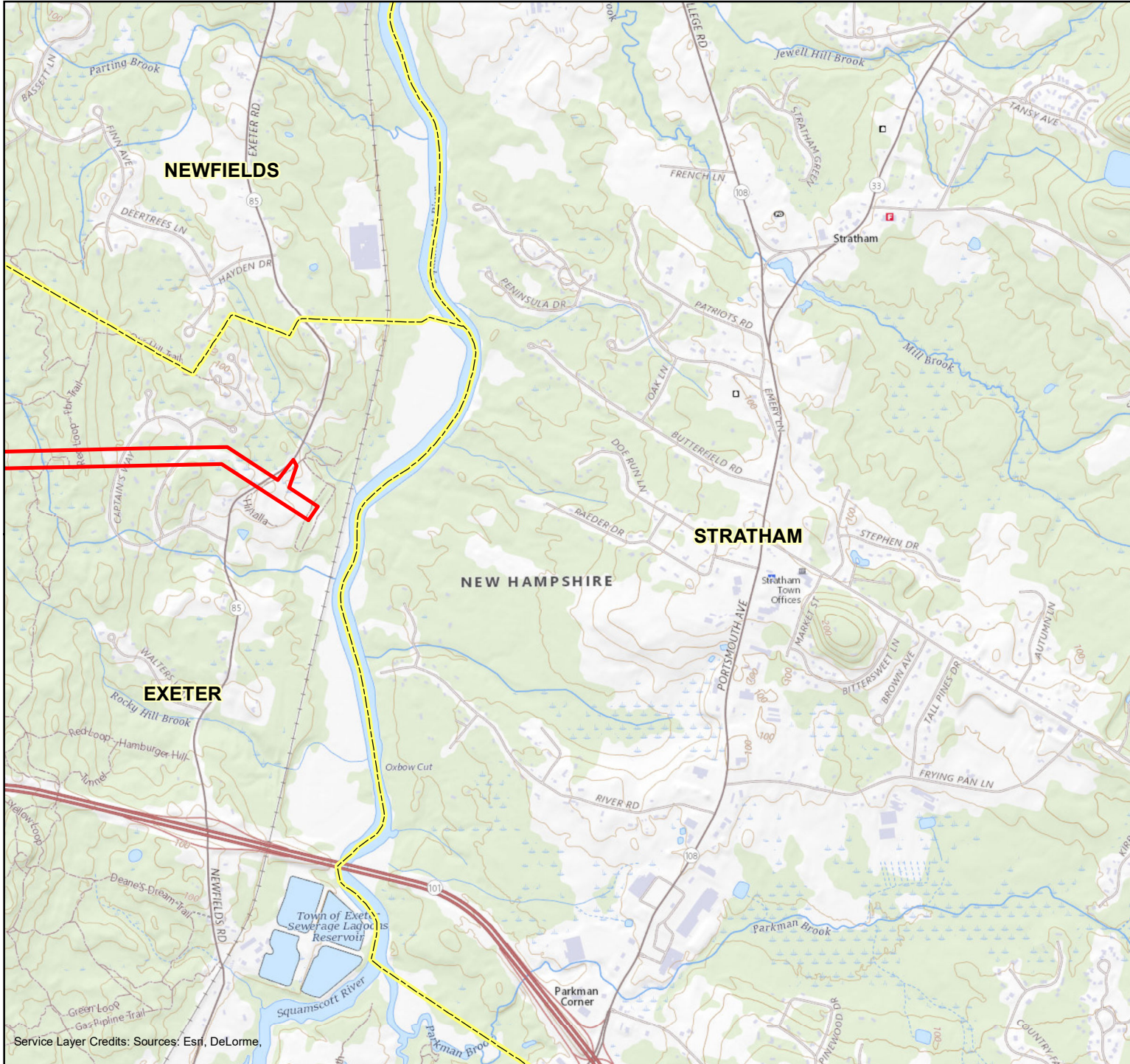
1 in equals 0.38 miles

1:24,000





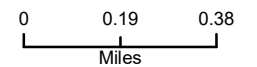
BRENTWOOD

Service Layer Credits: Sources: Esri, DeLorme,



**Orthophoto Map
Eversource RASH Project
2023 Structure Replacement
Maintenance Project
in Exeter, NH
Map 2 of 2
Date: 5/26/2023**

-  RASH Project Areas
-  Town Border



1 in equals 0.38 miles

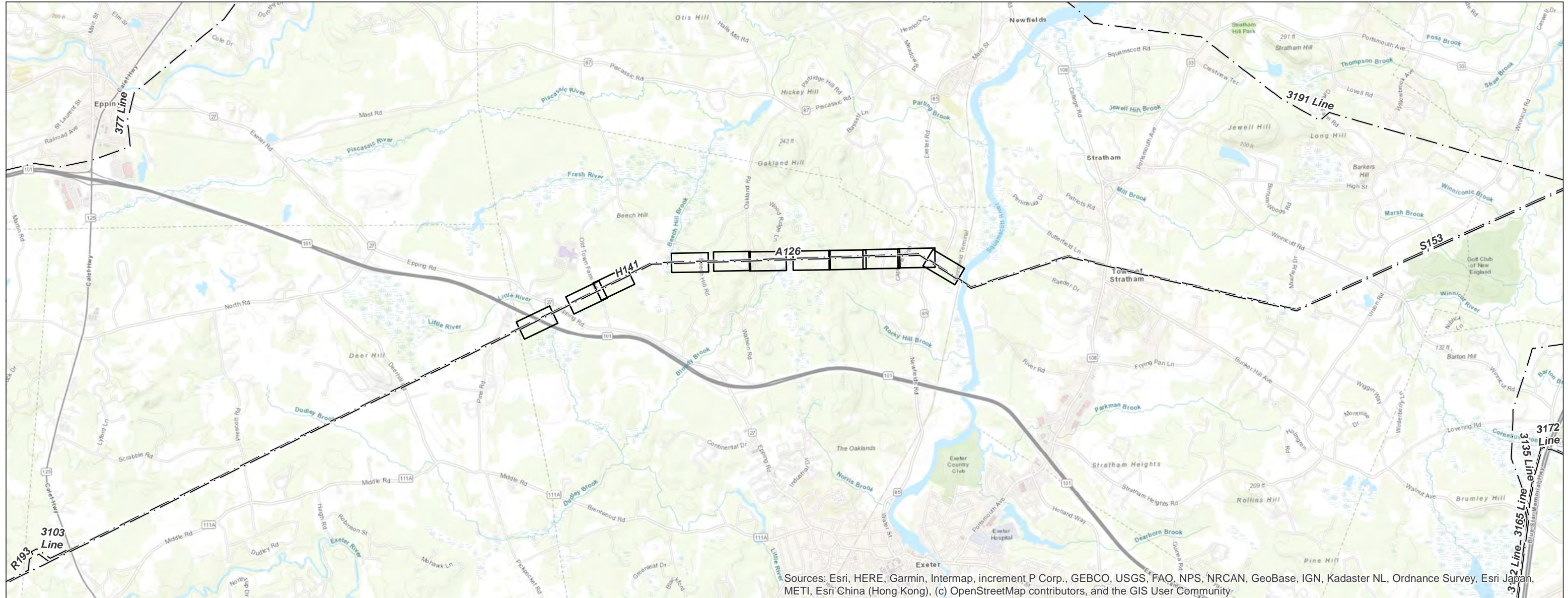
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RASH - Structure Replacement Project

EXETER, NEW HAMPSHIRE

Date: May 25, 2023



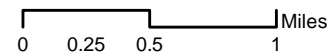
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

PREPARED FOR:
EVERSOURCE

107 Selden Street
 Berlin, CT 06037



--- Transmission Lines



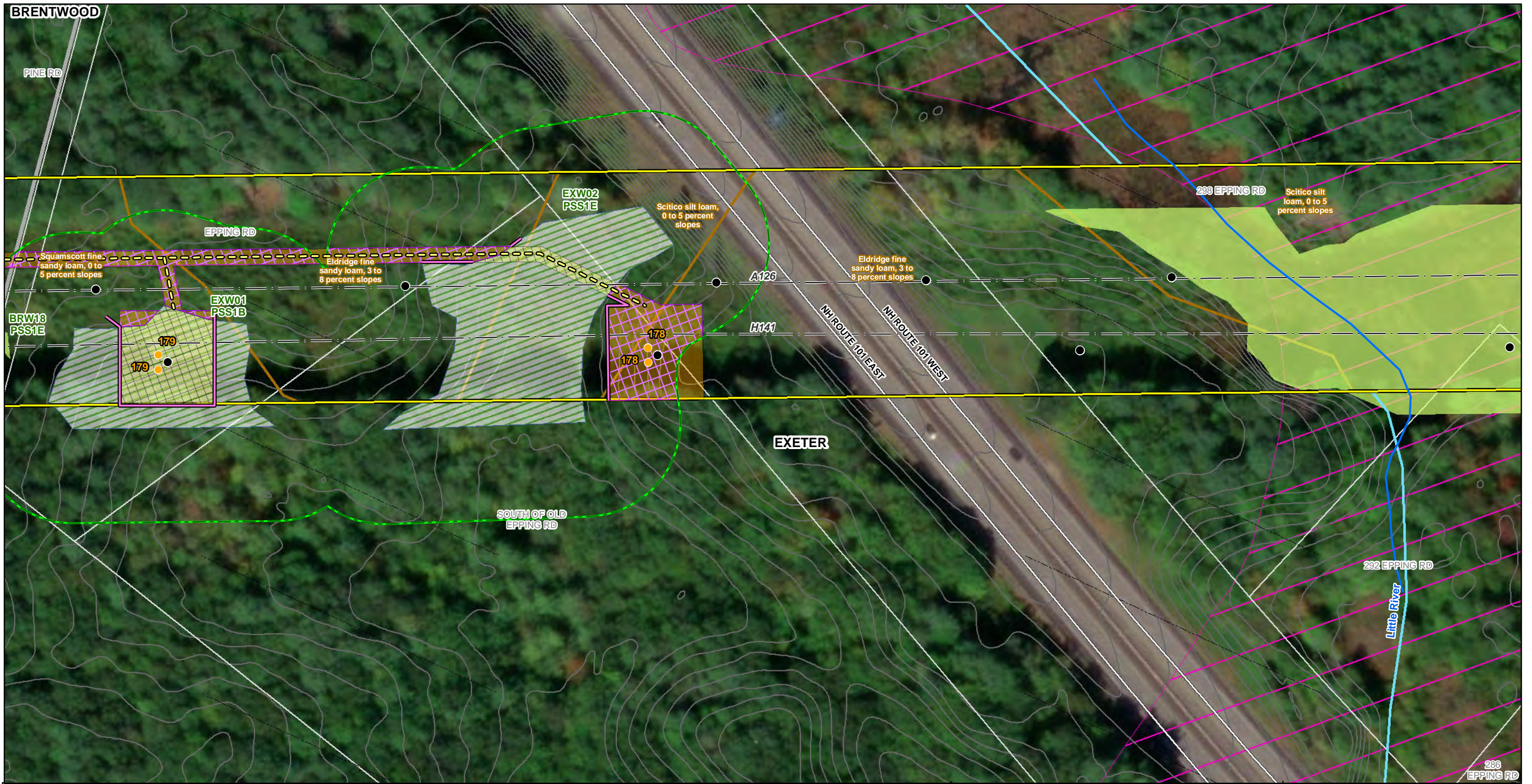
INDEX OF FIGURES

Title Sheet / Index Map
 Map Sheets 1-11

NO.	DATE	REVISIONS

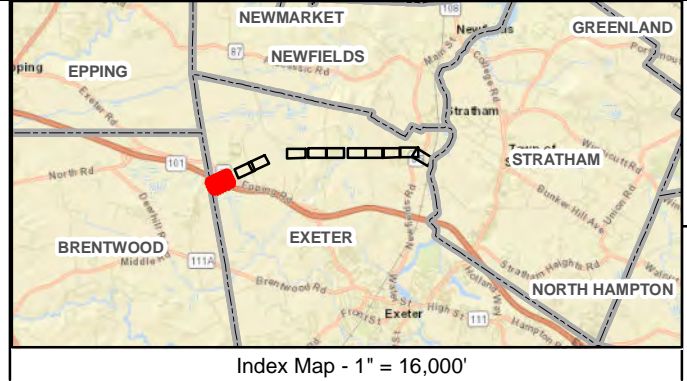
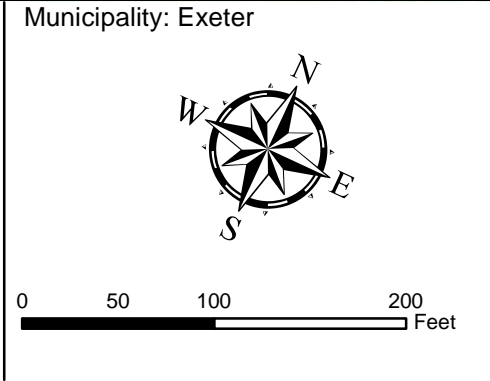
PREPARED BY:





Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
Existing Structure *	Right of Way	Conservation Land
Proposed Access Road	Delineated Wetland	Exeter Wetland Buffer
Existing Access Road	Delineated Prime Wetland	Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer
Delineated Stream	Existing Access	Upland Matting in Exeter Wetland Buffer
Erosion Control	Proposed Gravel Access	Stream Channel Buffer Impact
Transmission Lines	Upland Matting	Stream Channel 25' Buffer
NHD Streams	Wetland Matting	Stream Channel
2 Foot Contours	NRCS Soils	
Vernal Pool Buffer	Municipal Boundary	

* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind

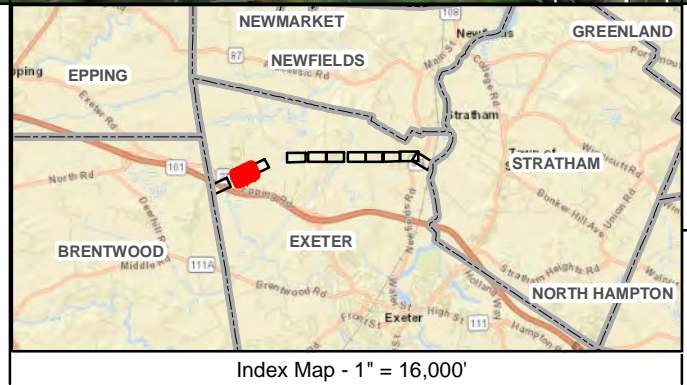
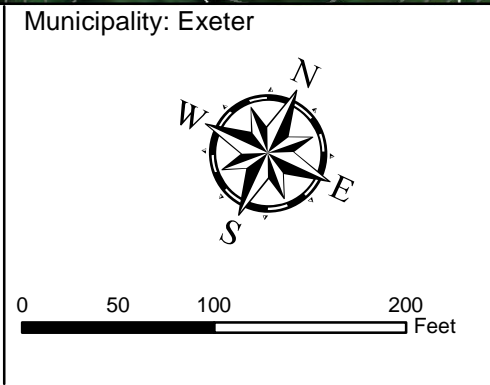


Eversource - RASH
 Exeter Plan Set
 Page 1 of 11
 Date: 5/25/2023

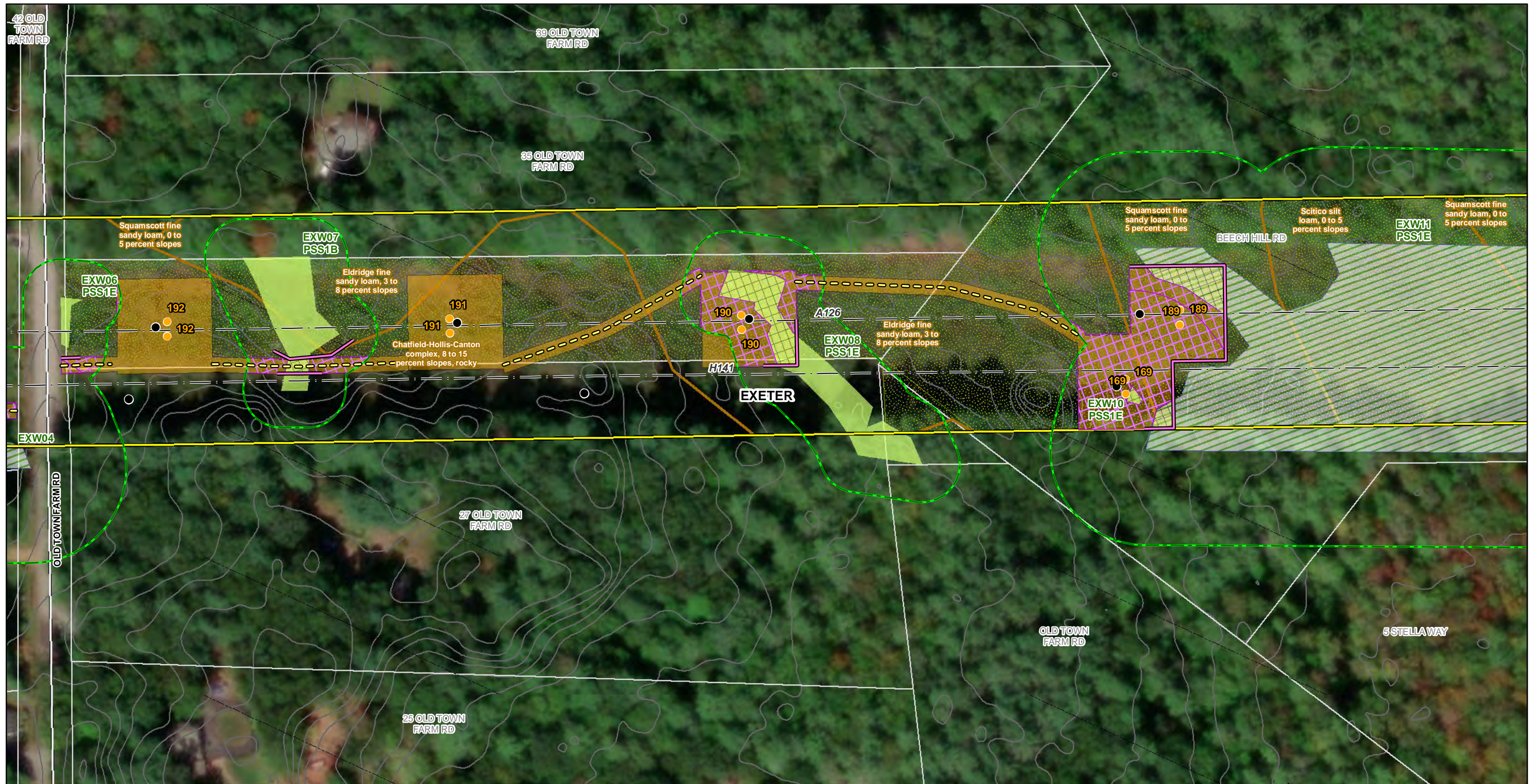


Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
Existing Structure *	Right of Way	Conservation Land
Proposed Access Road	Delineated Wetland	Exeter Wetland Buffer
Existing Access Road	Delineated Prime Wetland	Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer
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NHD Streams	Wetland Matting	Stream Channel
2 Foot Contours	NRCS Soils	
Vernal Pool Buffer	Municipal Boundary	

* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind

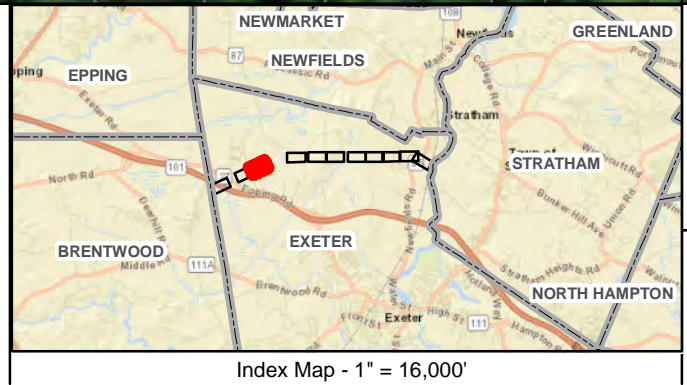
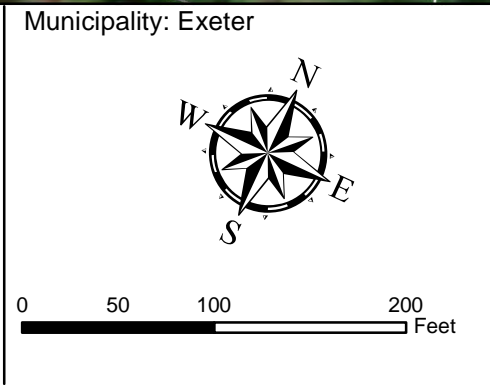


Eversource - RASH
 Exeter Plan Set
 Page 2 of 11
 Date: 5/25/2023



● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
◆ Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
● Existing Structure *	Right of Way	Conservation Land
--- Proposed Access Road	Delineated Wetland	Exeter Wetland Buffer
--- Existing Access Road	Delineated Prime Wetland	Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer
--- Delineated Stream	Existing Access	Upland Matting in Exeter Wetland Buffer
--- Erosion Control	Proposed Gravel Access	Stream Channel Buffer Impact
--- Transmission Lines	Upland Matting	Stream Channel 25' Buffer
--- NHD Streams	Wetland Matting	Stream Channel
--- 2 Foot Contours	NRCS Soils	
--- Vernal Pool Buffer	Municipal Boundary	

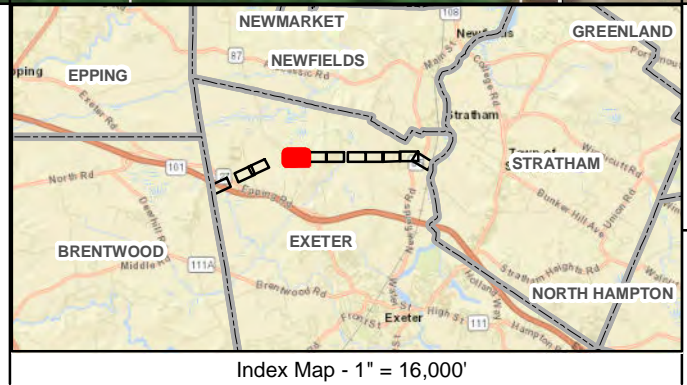
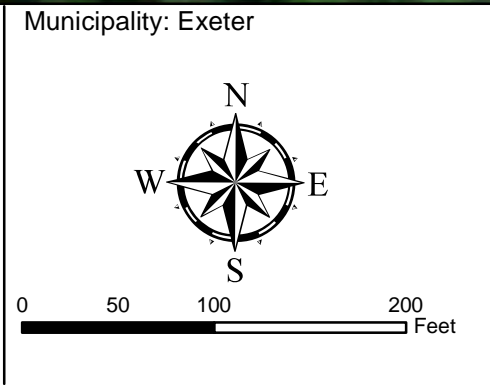
* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind





● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
◆ Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
● Existing Structure *	Right of Way	Conservation Land
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— Existing Access Road	Delineated Prime Wetland	Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer
— Delineated Stream	Existing Access	Upland Matting in Exeter Wetland Buffer
— Erosion Control	Proposed Gravel Access	Stream Channel Buffer Impact
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— 2 Foot Contours	NRCS Soils	
— Vernal Pool Buffer	Municipal Boundary	

* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind

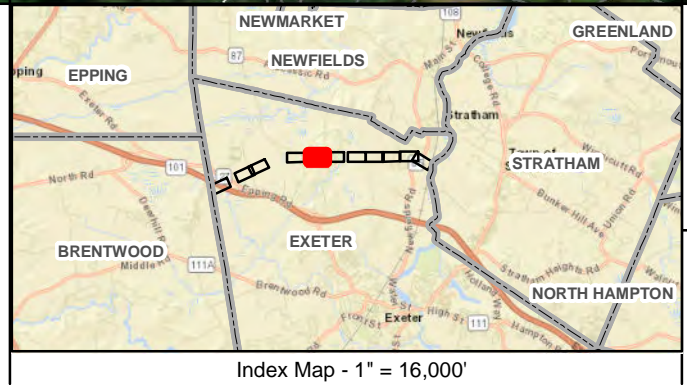
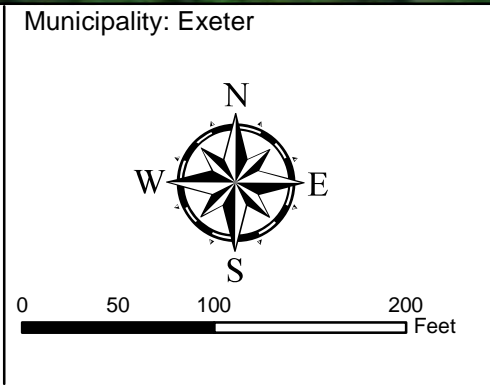


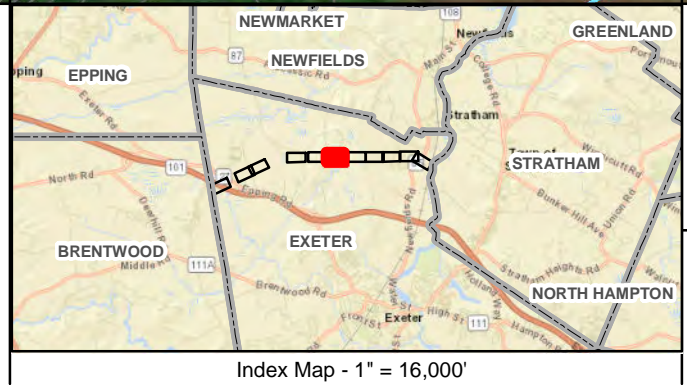
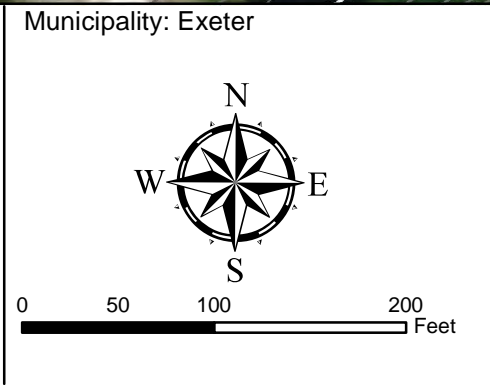
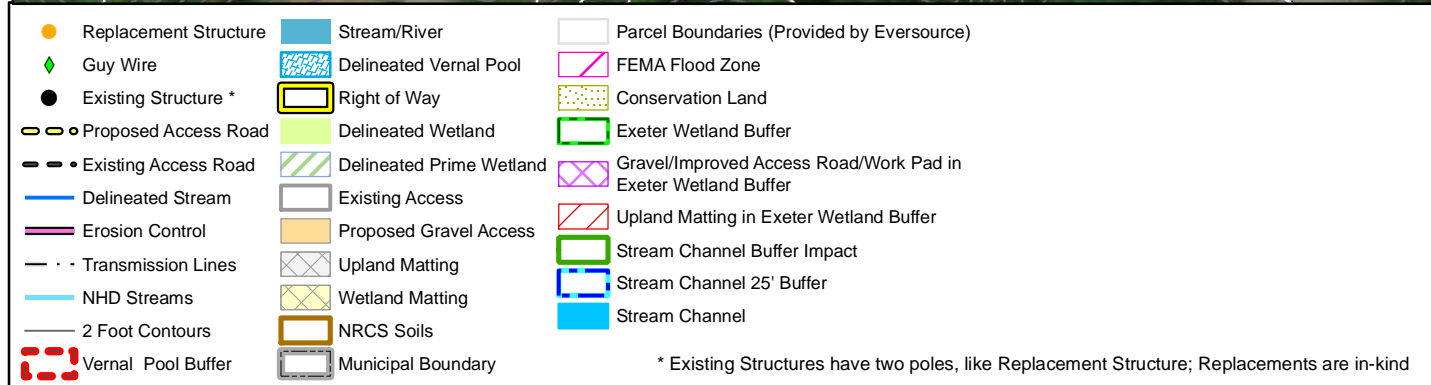
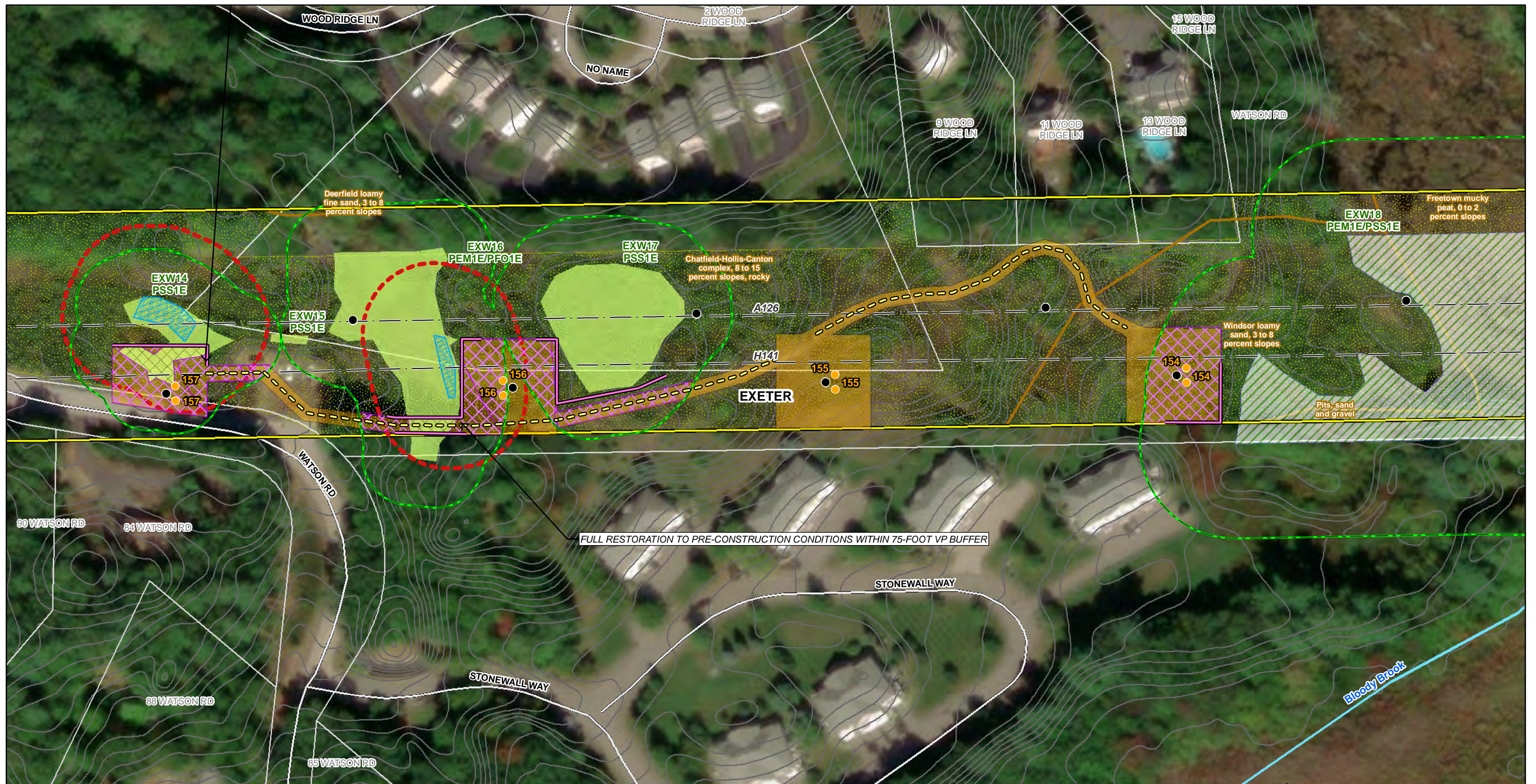
Eversource - RASH
 Exeter Plan Set
 Page 4 of 11
 Date: 5/25/2023



● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
◆ Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
● Existing Structure *	Right of Way	Conservation Land
--- Proposed Access Road	Delineated Wetland	Exeter Wetland Buffer
--- Existing Access Road	Delineated Prime Wetland	Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer
--- Delineated Stream	Existing Access	Upland Matting in Exeter Wetland Buffer
--- Erosion Control	Proposed Gravel Access	Stream Channel Buffer Impact
--- Transmission Lines	Upland Matting	Stream Channel 25' Buffer
--- NHD Streams	Wetland Matting	Stream Channel
--- 2 Foot Contours	NRCS Soils	
--- Vernal Pool Buffer	Municipal Boundary	

* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind

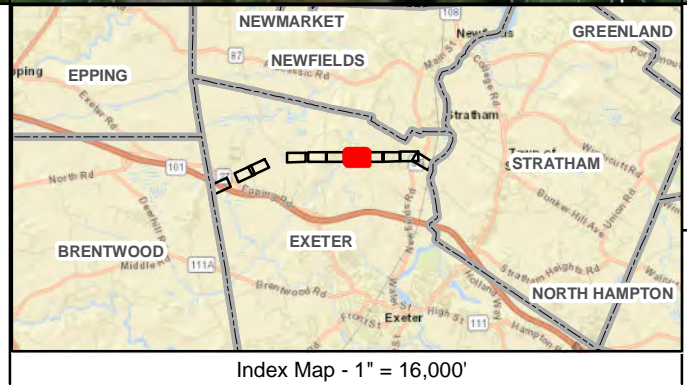
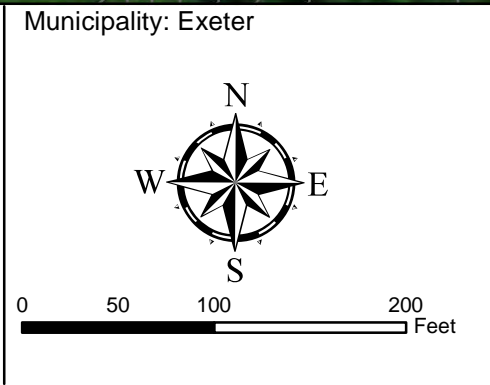






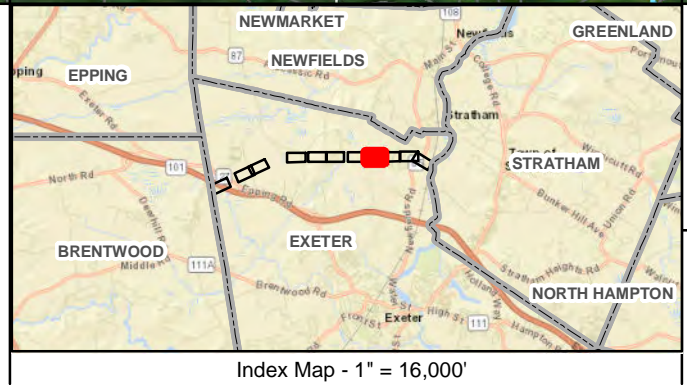
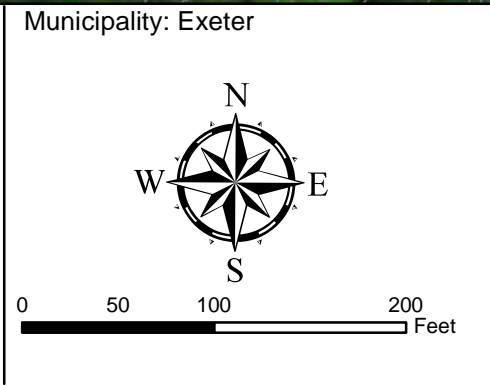
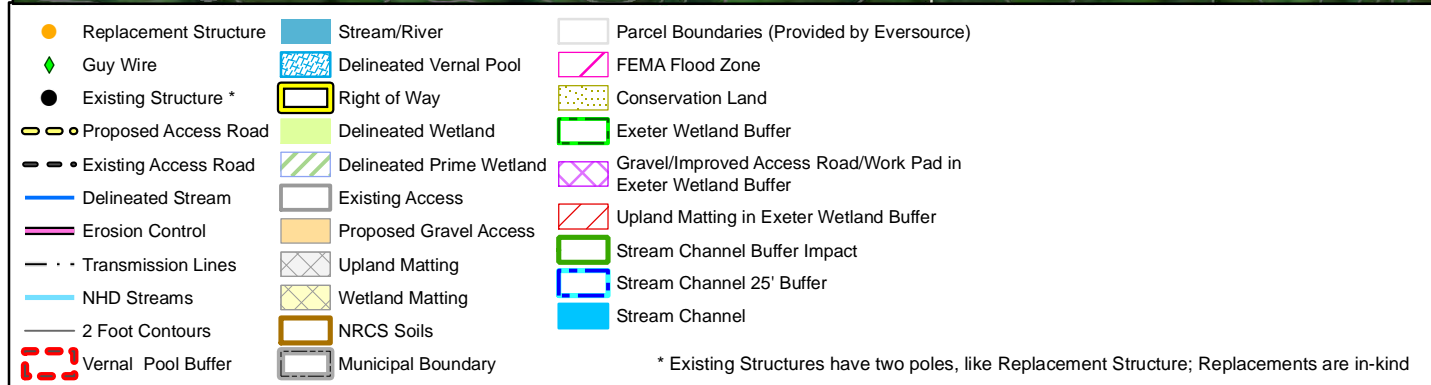
● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
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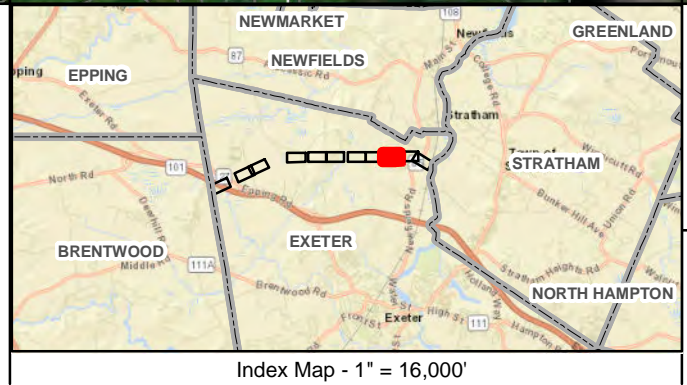
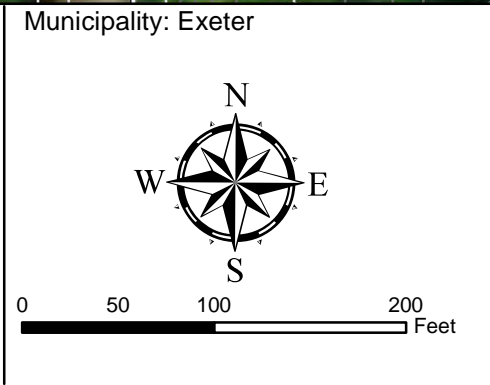
NORMANDEAU ASSOCIATES
 Environmental Consultants

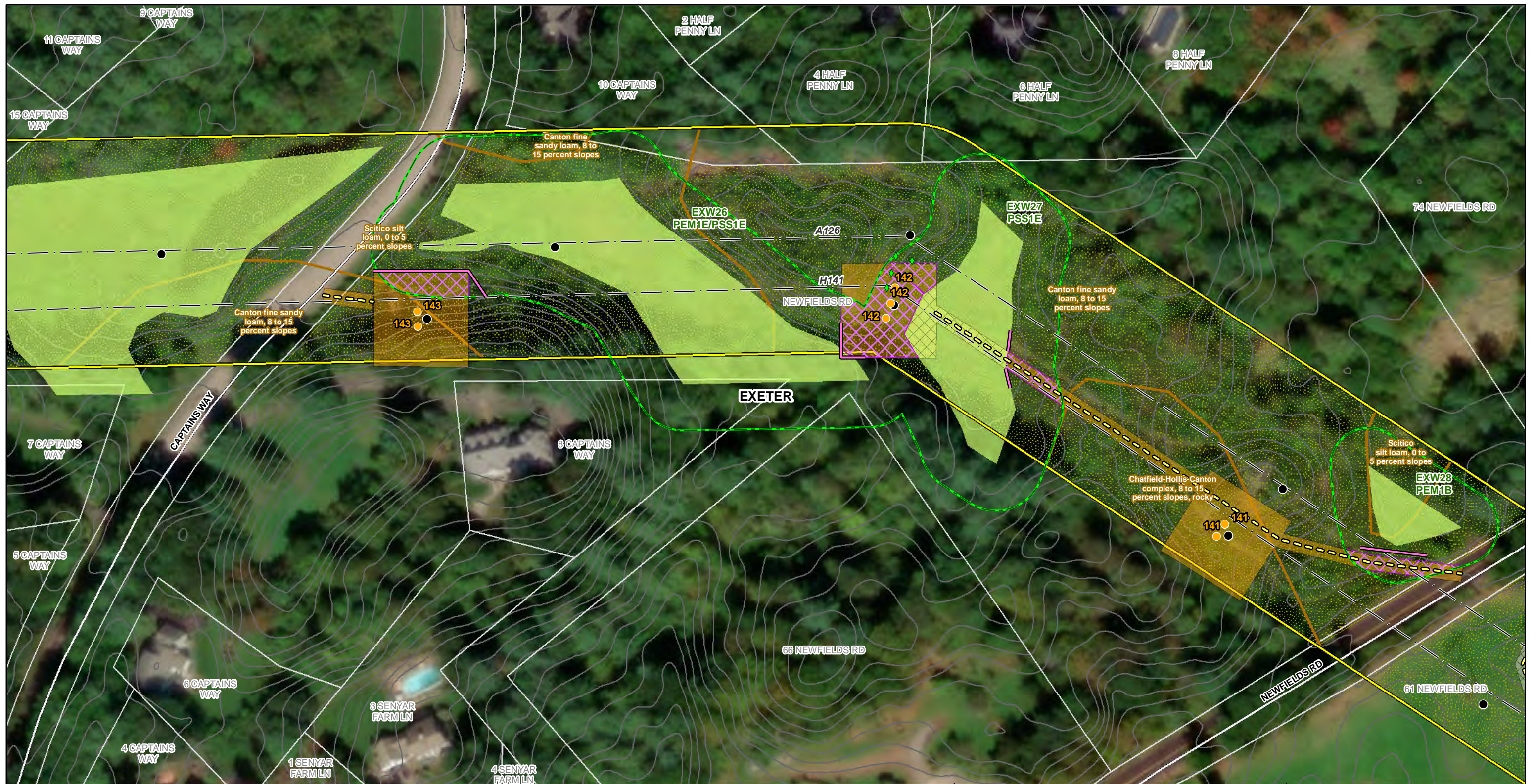




● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
◆ Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
● Existing Structure *	Right of Way	Conservation Land
--- Proposed Access Road	Delineated Wetland	Exeter Wetland Buffer
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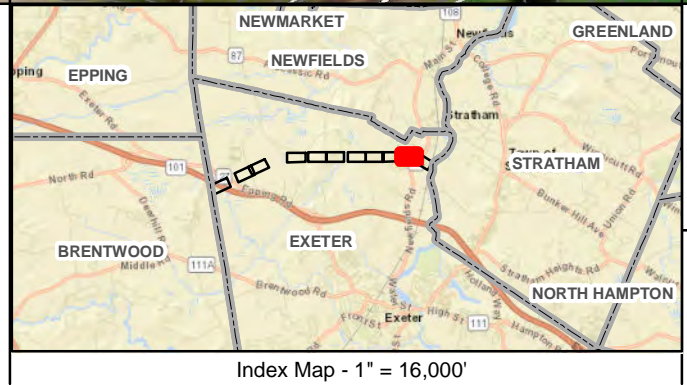




<ul style="list-style-type: none"> ● Replacement Structure ◆ Guy Wire ● Existing Structure * — Proposed Access Road - - - Existing Access Road — Delineated Stream — Erosion Control - · - · Transmission Lines — NHD Streams — 2 Foot Contours - - - Vernal Pool Buffer 	<ul style="list-style-type: none"> — Stream/River ▨ Delineated Vernal Pool ▭ Right of Way ▨ Delineated Wetland ▨ Delineated Prime Wetland ▭ Existing Access ▭ Proposed Gravel Access ▨ Upland Matting ▨ Wetland Matting ▭ NRCS Soils ▭ Municipal Boundary 	<ul style="list-style-type: none"> ▭ Parcel Boundaries (Provided by Eversource) ▨ FEMA Flood Zone ▨ Conservation Land ▭ Exeter Wetland Buffer ▨ Gravel/Improved Access Road/Work Pad in Exeter Wetland Buffer ▨ Upland Matting in Exeter Wetland Buffer ▭ Stream Channel Buffer Impact ▭ Stream Channel 25' Buffer ▭ Stream Channel
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Municipality: Exeter

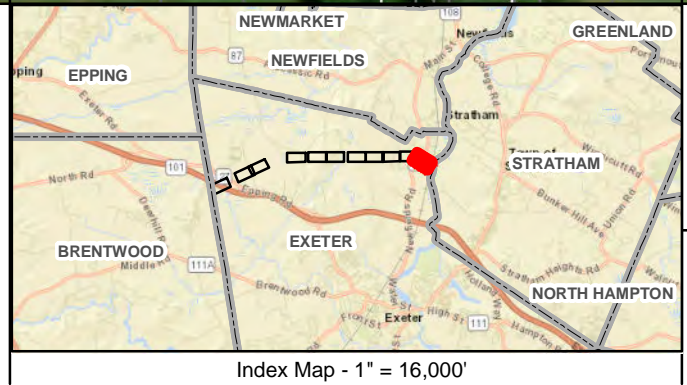
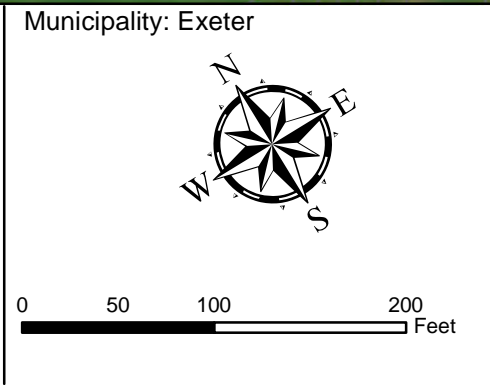


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 Date: 5/25/2023



● Replacement Structure	Stream/River	Parcel Boundaries (Provided by Eversource)
◆ Guy Wire	Delineated Vernal Pool	FEMA Flood Zone
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* Existing Structures have two poles, like Replacement Structure; Replacements are in-kind



Transmission Line RASH Structure Replacement (2023)

Rev. May 4, 2023

Construction Sequence:

1. Wetland boundaries to be clearly marked prior to the start of construction; Wetlands were reviewed/delineated by Normandeau Associates, Inc. April/May 2023. The wetland delineations were completed in accordance with the criteria described in the U.S. Army Corps of Engineers Wetland Delineation Manual Technical Report Y-87-1 (January,1987) and the Regional Supplement for the Northcentral and Northeast Region (January, 2012) and meet the criteria for wetland delineation in accordance with the NH DES administrative rules Env-W t 301.01.
2. MODIFICATIONS IN ACCESS ROUTES, WORK PAD LOCATIONS OR OTHER WETLANDS IMPACT AREAS MUST BE APPROVED BY EVERSOURCE AND IN COMPLIANCE WITH NHDES WETLANDS RULES FOR MINIMUM IMPACT:
ENV-WT 307 - GENERAL REQUIREMENTS
ENV-WT 313.03 - AVOIDANCE AND MINIMIZATION
ENV-WT 521 - UTILITY PROJECT SPECIFIC CONDITIONS
3. Sediment and erosion control measures shall be installed in accordance with the plans and detail provided, as necessary.
4. Wetland impacts associated with wetland crossings are required for access between structures within the right of way. Construction activities shall occur during periods of low flow.
5. Adequate precaution shall be exercised to avoid spillage of fuel oils, chemicals, or similar substances; no fuels, lubricants, chemicals or similar substances shall be stored beneath trees or in the vicinity of any wetlands, river, stream or other body of water; or in the vicinity of natural or man-made channels leading thereto. No power equipment shall be stored, maintained, or fueled in any area adjacent to a wetland, river, stream or other body of water.
6. Remove completely all contamination from any spillage of chemicals or petroleum product with complete rehabilitation of the affected area.
7. Access routes have been selected to prevent degradation of the right-of-way and minimize environmental impact. Operations shall be confined to the specified access routes within the proposed wetland impact area. Access routes shall not exceed a 16 foot-width.
8. Impact to vegetation within wetlands will be limited to the extent necessary to place the timber mats where required.
9. Low growing varieties of vegetation adjacent to wetlands shall be preserved to the extent possible. Stumps and rocks shall not be removed, and there shall be no excavations, fills or grading done adjacent to wetlands, unless minor excavations is needed for access.
10. Timber mats will be used along access routes within and adjacent to wetland areas. These mats are constructed of heavy timbers or composite material, bolted together, and are placed end-to-end in the wetland to support heavy equipment. All timber mats shall be placed and removed so as not to cause any ruts, channels or depressions, or otherwise cause any undue disturbance to wetlands.
11. If timber mat BMP is not sufficient due to high water, additional bmp's may include the placement of geotextile fabric, 3"-4" stone, and gravel to provide a suitable road bed. A temporary culvert may be required in areas of high flow to maintain hydrologic connectivity. All material will be removed from jurisdictional areas after construction completion.
12. No material shall be placed in any location or in any manner so as to impair surface water flow into, through or out of any wetland area. No installation shall create an impoundment that will impede the flow of water or cause flooding.
13. No material shall be taken from the wetlands area except that which must necessarily be removed for the structure or foundation placement or stabilization. All excess material taken from the wetland will be removed from the site.
14. Any proposed support fills shall be clean gravel and stone, free of waste metal products, organic materials and similar debris and shall not exceed the amount permitted. This allowable fill is the only fill that may remain in the wetland after construction. All cut and fills slopes shall be seeded/loamed within 72 hours of achieving finished grade; sooner if heavy rains forecasted.

15. Install new poles in the locations designated on the permitting plans.
16. Cable installation will be performed in a manner so as to avoid, or limit to the maximum extent possible, traversing wetlands with heavy equipment. In some cases, a helicopter may be used during the installation to minimize impacts.
17. Removal of the old pole will occur once the cable has been installed on the new structure. The old structures will be removed from the site. Poles will be cut at the ground surface. Footings will be abandoned in place to minimize impacts.
18. All swamp mats, material, and debris will be removed from the work area upon the completion of construction.
19. Upland disturbed areas shall be restored and stabilized upon completion of construction. Work pad restoration should include reducing the work pad to a 30 by 60 foot area, and reducing slopes to a maximum of 25%. Stockpiled material should be spread to reduce any unnecessary slopes. Gravel work pads and slopes should be scarified to a minimum of 3" before spreading topsoil/loam.
20. All temporary wetland impacts will be re-graded to original contours following construction. New England erosion control/ restoration mix, available through New England wetland plants, Inc., 820 West Street, Amherst, MA 01002, 413-548-8000, or equivalent seed mix shall be applied in wetland areas that are not inundated, as necessary.
21. Sediment and erosion control measures will be evaluated and removed if necessary upon the completion of construction.

Winter Construction Notes:

1. Proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized. Stabilization methods shall include seeding and mulch, and installation of erosion control blankets on slopes greater than 3:1, and seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting, elsewhere. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or frozen ground and shall be completed in advance of thaw or spring melt events.
2. Ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be temporarily stabilized with stone or erosion control blankets appropriate for the design flow conditions.
3. After November 15th, incomplete road or parking surfaces, where work has stopped for the winter season, shall be protected with a minimum of 3 inches of crushed gravel (NH DOT 304.3).

Erosion Control Notes:

1. Installation of erosion control grindings and/or silt fences shall be complete prior to the start of work in any given area. Erosion controls shall be used during construction and removed when all slopes have a healthy stand of vegetation cover.
2. All areas shall be stabilized within 45 days of initial disturbance
3. An area shall be considered stable if one of the following has occurred: 1) Base course gravels have been installed in areas to be paved, 2) A minimum of 85 percent vegetated growth has been established, 3) A minimum of 3 inches of non-erosive material such stone or riprap has been installed, or 4) erosion control blankets have been properly installed
4. Note that all cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade
5. As required, construct temporary berms, siltation fences, sediment traps, etc. to prevent erosion & sedimentation of wetlands.
6. The work area shall be graded and otherwise shaped in such a manner as to minimize soil erosion, siltation of drainage channels, damage to existing vegetation, and damage to property outside limits of the work area. Erosion control grindings will be necessary to accomplish this end.
7. Any stripped topsoil shall be stockpiled, without compaction, and stabilized with BMPs.

Construction Notes

8. Permanent or temporary cover must be in place before the growing season ends. When seeded areas are not mulched, plantings should be made from early spring to May 20 or from August 15 to September 15. No disturbed area shall be left exposed during winter months, plant annual ryegrass prior to October 15th.
9. Erosion controls shall be inspected weekly with the timing of weekly visits adjusted if heavy rains/snow melt are forecasted or have occurred.
10. Timber mats must be removed after one growing season.
11. Any erosion control matting used shall be wildlife friendly. No welded plastic webbing, netting, or other similar form shall be used in erosion/siltation controls to avoid entrapment of snakes and other wildlife within the project area.
12. Unless otherwise authorized by NHDES, the Applicant shall keep a sufficient quantity of erosion control supplies on the site at all times during construction to facilitate an expeditious (i.e., within 24 hour) response to any construction related erosion issues on the site.
13. Discharge from dewatering of work areas shall be to sediment basins that are: a) located in uplands; b) lined with hay bales or other acceptable sediment trapping liners; and c) set back as far as possible from wetlands and surface waters.
14. Mulch used within any wetland/stream bank restoration areas shall be natural straw or equivalent non-toxic, non-seed-bearing organic material.
15. When using an erosion control mix berm, the berm must be a minimum of 12" high, as measured on the uphill side of the barrier, and a minimum of two feet wide at the base.

Plant Protection – General Avoidance and Minimization Measures

1. Limit removal of vegetation to that necessary for construction of the project. Limit tree clearing to the minimum required width to meet safety clearances, leave root systems in place, except over underground installations or where other earthwork must be conducted. Leave herbaceous and shrub vegetation intact wherever practicable.
2. Precautions shall be taken to prevent import or transport of soil or seed stock containing nuisance or invasive species such as Purple Loosestrife, Knotweed, or *Phragmites*. The contractor responsible for work shall appropriately address invasive species in accordance with the NH DOT "Best Management Practices for Roadside Invasive Plants (2008)".
3. To prevent the introduction of invasive plant species to the site, the Applicant's contractor(s) shall clean all soils and vegetation from construction equipment and matting before such equipment is moved to the site.

Wildlife Protection – General Avoidance and Minimization Measures

1. Limit the removal of vegetation to that necessary for construction of the project; this will leave associated wildlife habitat as intact as possible.
2. *All erosion control materials used will be wildlife-friendly.* No welded plastic webbing, netting, or other similar form with openings greater than 1/8-inch shall be used in erosion/siltation controls to avoid entrapment of snakes and other wildlife within the project area.
3. Timber matting will be used in all wetland areas and will remain in place for the shortest duration possible; if possible, passageways will remain open at the wetland crossing to allow for reptiles to cross under the mat-bridge/pathway; matting will remain up to several weeks
4. Timber matting will be used in upland areas at the far eastern portion of the work area near the best habitat for the listed turtles and where NHB22-1136 indicates the most observations of these species; this will limit ground disturbance
5. Daily sweeps by contractors for all turtle and snake species will be performed when work will occur;

6. Any observations of listed species will be reported and no wildlife will be harmed; contact numbers and fliers will be included on the environmental plans
7. Wildlife friendly erosion controls will be used; no welded plastic netting will be used;
8. Erosion controls will be installed, monitored and maintained to protect adjacent upland and wetland areas from sedimentation and degradation; disturbed areas will be temporarily and permanently stabilized and seeded with a native seed mix; the applicable utility maintenance BMPs will be followed

SPECIFIC WILDLIFE BMPS

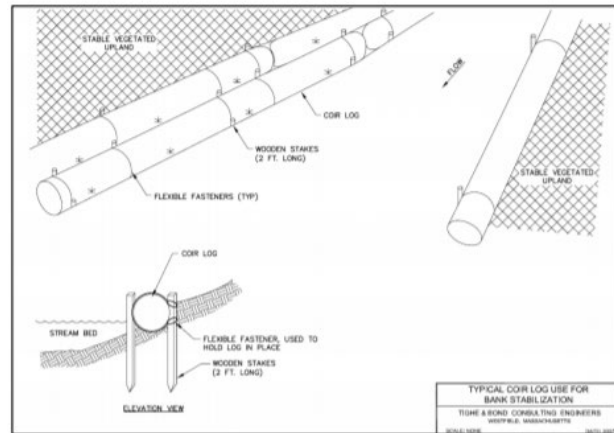
New Hampshire Fish and Game AoT Permit Conditions in Accordance with Env-Wq 1504.18 – Wildlife Protection Notes

NOTE – FINAL RECOMMENDATIONS FROM NHFG WILL BE PROVIDED WHEN CONSULTATION AND COORDINATION ARE COMPLETE – THEY ARE ONGOING AT THIS TIME

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Best Management Practice 4: Coir Logs



Description:

Coir logs, straw wattles, fiber rolls, or SiltSoxx™ consist of compressed weed-free straw fiber or other natural material, placed within a photodegradable mesh cylindrical sock.

Applications:

- Streambank, wetland, and slope protection
 - Check dam applications
 - Perimeter and stockpile containment
 - Slope stabilization by shortening slope length, reducing runoff velocity, and trapping mobile soil particles
 - Provides substrate for plant growth upon decay of fiber roll and protects new vegetation growth

Installation:

- For slope stabilization, it is critical that coir logs are installed perpendicular to soil movement and parallel to the slope contour.
- If additional length is needed for application, ends should be overlapping at least 6 inches.
- If used in slope stabilization, construct trenches half the diameter of the log in which to place the roll. Lay the coir log along the trench, snugly fitting it against the soil. Ensure no gaps exist between the soil and the fiber roll.
- Install stakes at least every three feet apart along the length of the roll. Additional stakes may be driven on the downslope side of the trenches on highly erosive or very steep slopes.

Best Management Practice 5: Silt Fence



Description:

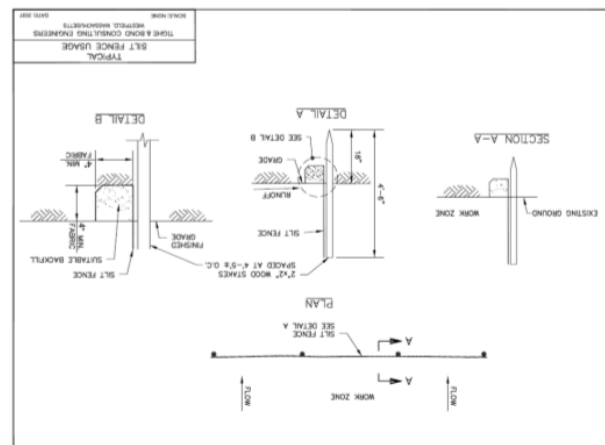
Silt fence is a temporary sediment barrier consisting of filter fabric attached to supporting posts and entrenched into the soil. This barrier is installed across or at the toe of a slope to intercept and retain small amounts of sediment from disturbed or unprotected areas.

Applications:

- Consider using silt fence barriers where:
- Flow to the silt fence from a distributed area occurs as overland sheet flow
 - Sedimentation can pollute or degrade adjacent wetlands or watercourses
 - Sedimentation will reduce the capacity of storm drainage systems or adversely affect adjacent areas.
 - **Silt fence should not be used in areas of concentrated flows or across streams, channels, swales, ditches or other drainage ways.**

Installation:

- Install silt fence following the contour of the land as closely as possible.
- The height of the barrier shall not exceed 36 inches.
- Posts shall be placed at a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
- A trench shall be excavated approximately 6 inches wide and 6 inches deep along the line of posts and upslope of the barrier in accordance with recommendations
- The filter fabric will extend a minimum of 8 inches into the trench which shall be backfilled and the soil compacted over the filter fabric.
- Fabric barriers shall be removed after the upslope area has been permanently stabilized.
- Filter barriers shall be inspected immediately after each rainfall and at least once daily during prolonged rainfall and any required repairs shall be made immediately.
- Sediment deposits should be removed when they reach approximately one-half the height of the barrier.



Best Management Practice 16: Temporary or Permanent Mulch



Description:

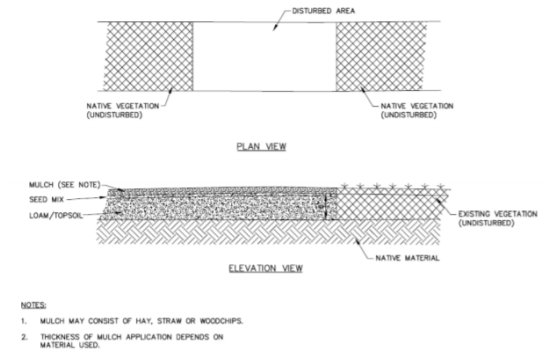
Temporary mulching is the application of plant residues or other suitable materials to the soil surface. Permanent mulching consists of the application of long-term surface cover such as bark, woodchips or erosion control mix. Permanent mulch can be used as a permanent ground cover, an overwinter stabilization mulch or left to naturalize.

Mulching reduces erosion

potential by protecting the exposed soil surface from direct impact by rainfall.

Considerations:

- Apply temporary mulch within 100 feet of streams, wetlands and in lake watersheds within seven days of exposing soil or prior to any storm event.
- Immediately mulch areas that have been temporarily or permanently seeded, following seeding.
- For areas that cannot be seeded within the growing season, mulch for over-winter protection. Seed the area at the beginning of the next growing season.
- Mulch anchoring should be used on slopes with gradients greater than 5% in fall (past September 15), and over-winter (October 15 – May 1).



Installation:

Hay or Straw Mulches:

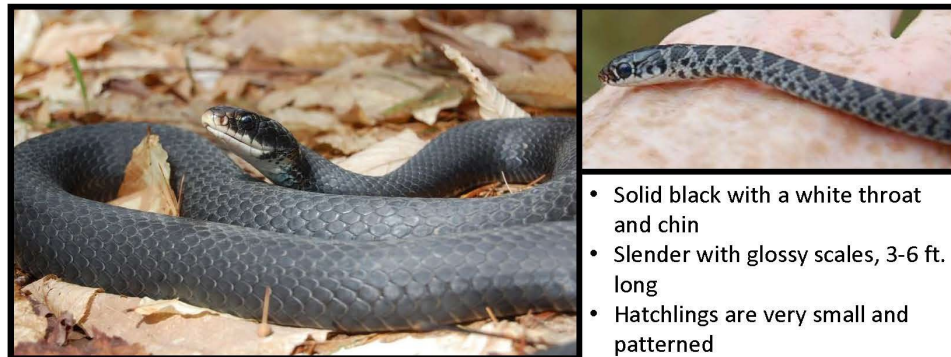
- Use air-dried organic mulches including weed-free hay and straw free of undesirable seeds and coarse materials.
- Application rate should be two bales (70-90 pounds) per 1,000 square feet or 1.5-2 tons (90-100 bales) per acre to cover 75-90% of the ground surface.
- Anchor hay or straw mulch to prevent displacement by wind or flowing water using jute or biodegradable plastic netting or in some cases, organic tackifier.
- When mulch is applied to provide protection over winter (past the growing season), apply it to a depth of four inches (150-200 pounds of hay or straw per 1,000 square feet, or double standard application rate). Seeding cannot generally be expected to grow up through this depth of mulch and will be smothered. If vegetation is desired, remove mulch in the springtime and seed and re-mulch the area.

Northern Black Racer

(New Hampshire state threatened species)

Emerge from hibernacula in April, Basking April - August,

Hatchlings emerge August - September, Return to hibernacula mid-September - mid-October



- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned



Immediately report sightings to NH Fish and Game

Melissa Winters (603-479-1129) or

Brendan Clifford (603-944-0885)

Please report promptly, noting specific location and date

Photographs strongly encouraged



Fis 1401.03 (a) No person shall take or possess a black racer (*Coluber constrictor*)...or any egg or part thereof.

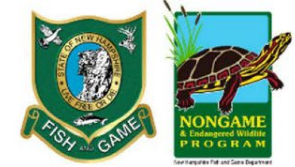


PLEASE REPORT RARE TURTLES

The NH Fish & Game Department is requesting observations of three turtle species that could be encountered onsite.

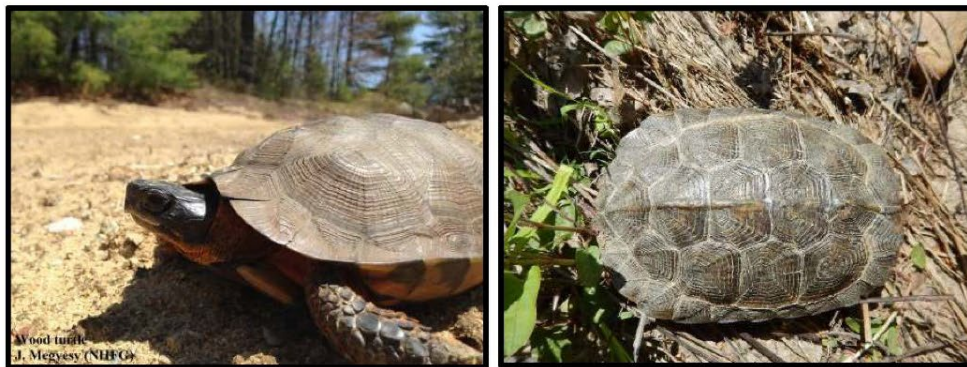
Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.

Please report promptly, noting specific location and date -- Photographs strongly encouraged



Blanding's turtle (state endangered)

- Large, dark/black domed shell with lighter speckles
- Distinct yellow throat/chin
- Aquatic but often moves on land



Wood turtle (special concern)

- Sculpted, pyramidal brownish shell
- Orange around neck and limbs
- River/stream turtle spending many months on land



Spotted turtle (state threatened)

- Small, mostly aquatic with black or dark brown with yellow spots.
- Fairly flat shell compared to Blanding's turtle



REPORT OBSERVATIONS

EASTERN BOX TURTLE (state endangered)

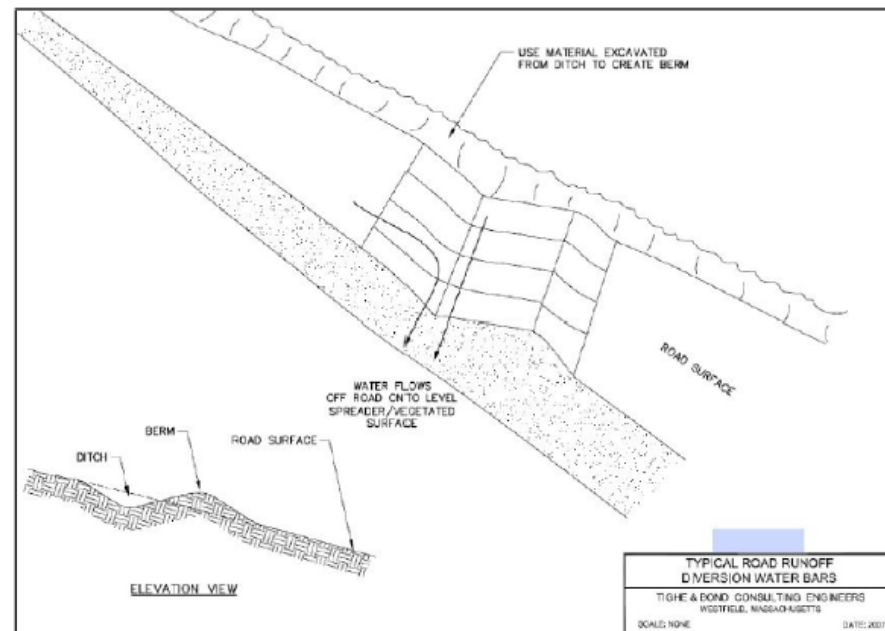
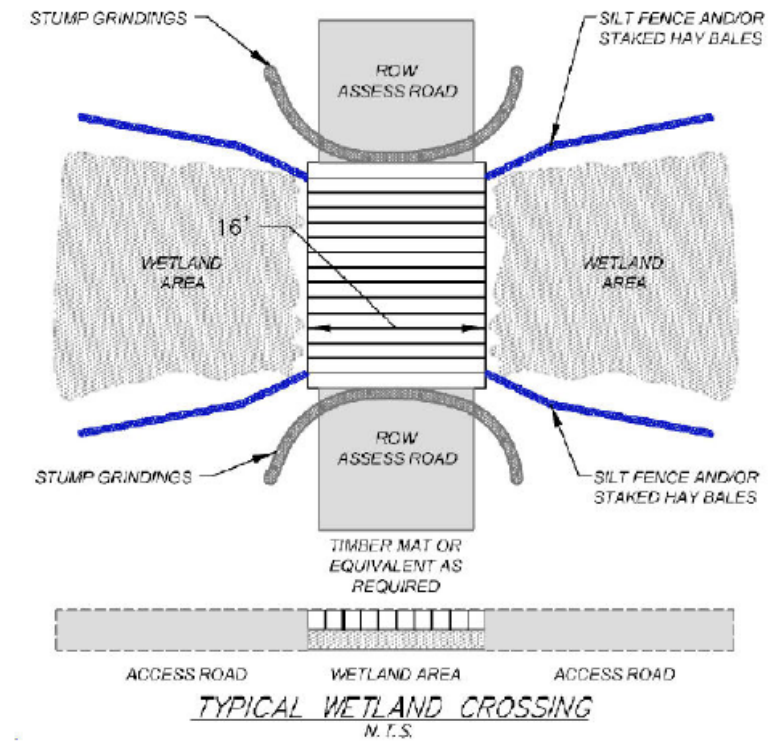
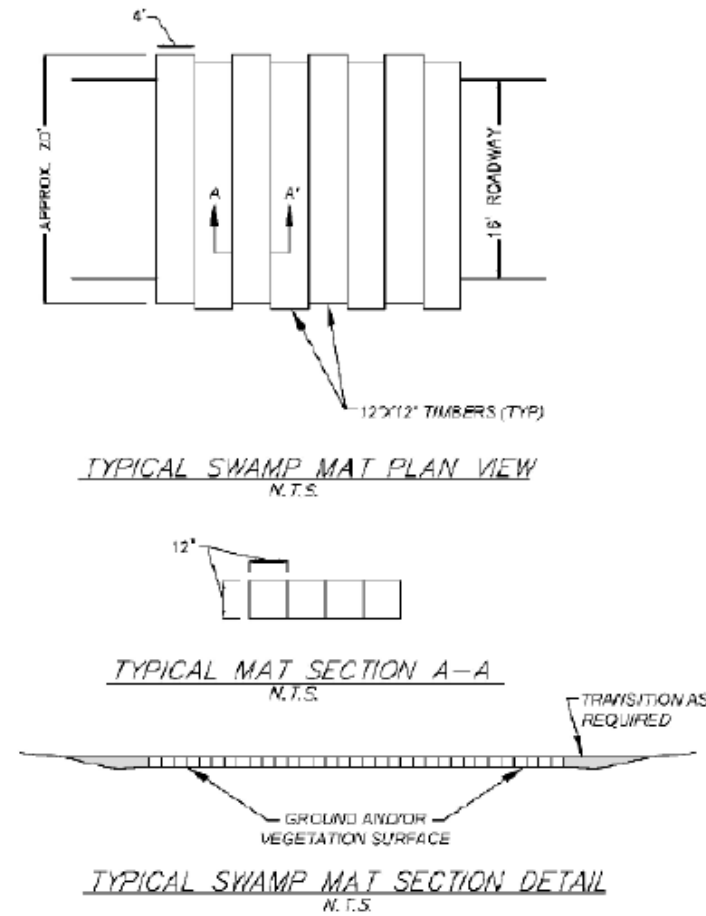
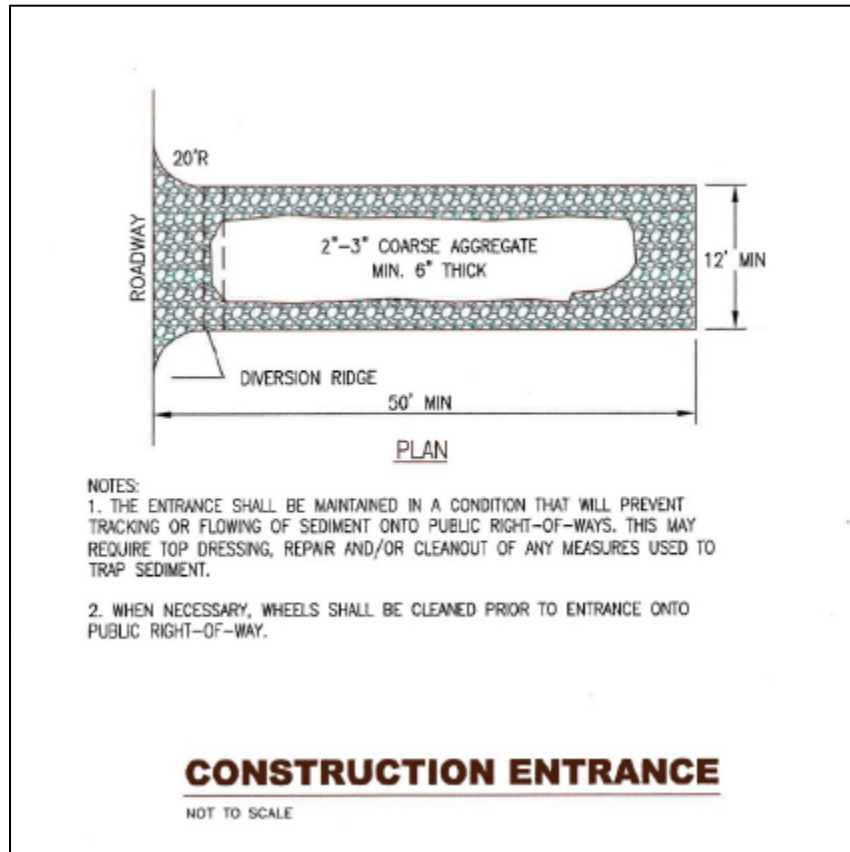
Report sightings immediately to NHFG Wildlife Division to New Hampshire Fish and Game:

Wildlife Biologist Melissa Winters 603-479-1129 (call or text) anytime
Wildlife Biologist Josh Megyesy at 978-578-0802 (call or text), or
If you are unable to reach a biologist you may also contact the Wildlife Administrator at: 603-271-2461 (M-F 8-4)

*Please report promptly, noting specific location and date –
Photographs strongly encouraged*

- Smaller turtle about 4.5-7 inches long (adult ones).
- Highly domed shell with variable patterning.
- Shell color patterns vary greatly from irregular yellow or orange markings with dark brown or black base.
- Skin is uniformly dark with yellow or orange markings.
- During warm months (May – June) nests in loose, sandy or loamy soil
- Eastern box turtles nests are protected under state law.





Best Management Practices (BMP's) for Straw wattles

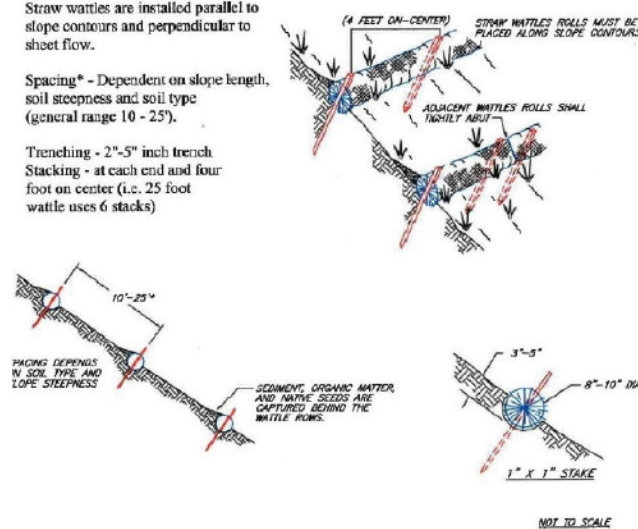
Definition and purpose:
Straw wattles are burlap rolls filled with straw that trap sediment and interrupt water flow by reducing slope lengths.

- Applications:**
- Along erodible or unstabilized slopes
 - Spread overland waterflow
 - Trap sediment
 - Around storm drain inlets to slow water and settle out sediment
 - Overlap ends approximately 6 inches

Installation:
Straw wattles are installed parallel to slope contours and perpendicular to sheet flow.

Spacing* - Dependent on slope length, soil steepness and soil type (general range 10 - 25').

Trenching - 2"-5" inch trench
Stacking - at each end and four foot on center (i.e. 25 foot wattle uses 6 stacks)



ATTACHMENT C – Properties in the Project Impact Footprint, Relevant Easement Numbers, and Notification Letter

Properties in the Project Impact Footprint

Tax map #	Easement #/Deed Book and Page Number
30-8, 30-9, 29-31, 29-32, 28-3, 28-6, 28-13 , 28-18, 18-3, 19-3, 19-2, 19-1, 19-16 , 19-16-1, 24-1, 25-1 , 20-8 , 24-3, 24-30	EAA-1454, EAA-1451, EAA-1446, EAA-1450, EAA-1539, EAA-1444, EAA-1442, EAA-1541, EAA-1440, EAA-1439, EAA-1438, EAA-1540, EAA-1386
Owned by local municipality (Town)	

May 25, 2022

Re: Town of Exeter Conditional Use Permit Application RASH Structure Replacement Project – Exeter, New Hampshire

Dear Sir/Ma'am:

Eversource Energy proposes to replace thirty-six (36) structures, as well as maintain existing access roads and establish new access roads as necessary in upland areas along the A126 and H141 Transmission Lines right-of-way (ROW) in Exeter, New Hampshire. The proposed project involves maintenance work within an existing and maintained utility ROW and does not propose expansion of the ROW. Additionally, no vegetation maintenance is scheduled for inclusion with this project.

The proposed project is scheduled to commence in August 2023 and construction is expected to continue through January 2024. Restoration work may be required in Spring 2024.

A copy of the site plan and permit application was submitted to the Town of Exeter. If you would like to obtain a copy, please contact the Town of Exeter at (603) 778-0591 ext 403. Please contact the Town at the number above for information on how to obtain a copy of the documents.

Sincerely,



William McCloy, NH CWS, PWS
Project Manager

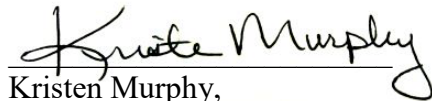
**TOWN OF EXETER
CONSERVATION COMMISSION MEMORANDUM**

Date: June 27, 2023
To: Exeter Planning Board
From: Kristen Murphy, Conservation and Sustainability Planner
Subject: Conditional Use Permit

Project Information:

Project Location: Unitil RASH Project, Exeter, NH
Map/Lot: various
CC Review Date: 6/13/23
PB CASE: #23-09

Following a presentation and review of the conditional use permit criteria, the Exeter Conservation Commission voted with no objection to the proposal as presented. The team from UNITIL has agreed to coordinate with the Conservation and Sustainability Planner and a member off the Conservation Commission on a trail closure schedule, signage and public communication



Kristen Murphy,
on behalf of the Exeter Conservation Commission

1 Exeter Conservation Commission

2 June 13, 2023

3 Nowak Room

4 10 Front Street

5 7:00 PM

6 Draft Minutes

7
8 **Call to Order**

9
10 1. Introduction of Members Present (by Roll Call)

11 Present at tonight's meeting were by roll call, Chair Andrew Koff, Vice-Chair Trevor Mattera, Treasurer
12 Dave Short, , Kyle Welch, Connor Madison, Alternate Bill Campbell (remotely), and Alternate Valorie
13 Fanger
14

15 Staff Present: Kristen Murphy, Conservation and Sustainability Planner

16 Mr. Koff called the meeting to order at 7:00 PM and activated Alternates Campbell and Fanger.
17

18
19
20 2. Public Comment

21 Mr. Koff asked if there was any public comment and there was none.
22
23

24 **Action Items**

25
26 1. Election of Officers

27 Chair Koff asked if anyone was interested in serving as an officer for the next term. Mr. Short
28 recommended the same officers fill the same positions.
29

30 MOTION: Mr. Short motioned that the same people serve as officers in the same positions as last year
31 for the coming year. Mr. Welch seconded the motion. A vote was taken, all were in favor, the motion
32 passed 7-0-0.
33

34
35 2. Wetland Conditional Use Permit Application for proposed utility maintenance work on the existing
36 A126 and H141 115-kV transmission lines for the Eversource RASH project

37
38 William McCloy of Normandeau Associates presented the proposal on behalf of Eversource.

39 Mr. McCloy indicated the project was for maintenance of existing A126 and H141 lines to replace 36
40 structures between the two. There is impact in the wetland overlay, work areas in the crossings and
41 temporary and permanent access areas in the wetland buffer. There will be NHDES and other permits,
42 Army Corp and AoT. There will be state permit by notification.
43

44 Matt Cardin welcomed questions. He indicated the locations from 101 to Town Forest, Raynes Farm,
45 across the river into Stratham. Mr. Koff noted Watson and Raynes were done in the past. Mr. Cardin
46 explained how the inspection process drives the replacement of structures from wood to steel. Last
47 year work was done on Captain's Way for a separate line. Mr. Short asked about filling gaps. Mr. Cardin
48 noted there is a justification process for replacement including cost and value.

49
50 Mr. Koff recommended a better way to communicate where work has already been done on the plan.

51
52 Mr. Campbell asked if it were more efficient to do them all at once. Mr. Cardin discussed timber
53 matting and coordinating with the farmer who was doing the haying.

54
55 Mr. Welch asked about a start date, which will be the middle to end of August, but some work can't
56 start until after October 15th per recommendation from Fish & Game.

57
58 Mr. Short asked about use of the parking lot while the work is done in the ROW. Mr. Cardin indicated
59 there will be no staging or storage of equipment in the parking lot, but it is in the ROW where they will
60 be working.

61
62 Ms. Murphy asked about nesting turtles and Mr. Cardin indicated Fish & Game only recommended time
63 of year restrictions. Ms. Murphy advised that the gravel changes the substrate, and the turtles will
64 need sandy soil or nesting.

65
66 Mr. Madison indicated he would be recusing himself as he works on the project.

67
68 Mr. Koff asked if work at Raynes Farm would be impacted, and Ms. Murphy noted the contractor works
69 up near the barn.

70
71 Mr. Koff reviewed the criteria. He noted the work is permitted in the district, there was no alternate
72 design heard, the functions and values were not discussed but provided, best management practices are
73 in place, safety was addressed with regard to the parking lot and popular areas. Mr. Cardin noted there
74 would be signs redirecting trail users as needed. Mr. Short will notify Fort Rock Riders. Mr. Welch asked
75 if there would be temporary trail closures and Mr. Cardin indicated there would. Mr. Koff
76 recommended notifying the Raynes Stewardship Committee. Ms. Murphy will notify them.

77
78 Mr. Koff noted #6 was not applicable and #7 temporary disturbances will be restored and #8 other
79 permits were discussed.

80
81 **MOTION: Mr. Koff motioned that the Commission has no objection to the CUP as proposed. Mr.**
82 **Mattera seconded the motion. A vote was taken, all were in favor, the motion passed 6-0-1 with Mr.**
83 **Madison recusing and abstaining.**

84
85 **Mr. Koff noted a memo would be drafted to the Planning Board before their July meeting.**
86



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: August 17, 2023
To: Planning Board
From: Dave Sharples, Town Planner
Re: Douglas and Christine Rupp (Richard & Debbi Schaefer)
PB Case #23-11

The Applicant is seeking approval for a minor subdivision of an existing 21+/- acre parcel located at 24 Powder Mill Road into two (2) residential building lots; and a Wetlands Conditional Use Permit for the proposed construction of a driveway for a single-family residence within the wetlands and wetland buffers. The Applicant is proposing to create a 16+/- acre parcel for the existing residence and 5.01+/- acre parcel for a new single-family residence, both with frontage on Powder Mill Road. The subject property is located in the R-1, Low Density Residential zoning district and is identified as Tax Map Parcel #102-4.

The Applicant had previously received a conditional approval for a minor subdivision of the property at the May 25th, 2023 Planning Board meeting, however, the location of the driveway for the newly created lot has been revised and is now located entirely on the proposed new lot. Subsequently, the wetlands were re-delineated and a Wetlands Conditional Use Permit is necessary for the proposed impacts to the wetland and wetland buffers. I have enclosed a copy of the conditional approval letter, the previously approved plan and meeting minutes for reference.

The Applicant appeared before the Conservation Commission at their August 8th, 2023 meeting to present their proposal. The Commission voted no objection to the CUP application as presented.

There are no waivers being requested in conjunction with this application.

Planning Board Motion:

Minor Subdivision Motion: I move that the request of Douglas and Christine Rupp (Richard & Debbi Schaefer), PB Case #23-11, for Minor Subdivision approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Conditional Use Permit (Wetlands) Motion: After reviewing the criteria for a Wetlands Conditional Use permit, I move that the request of Douglas and Christine Rupp (Richard & Debbi Schaefer), PB Case #23-11, for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

May 31, 2023

Henry H. Boyd, Jr., LLS
Millennium Engineering, Inc.
13 Hampton Road
P.O. Box 745
Exeter, New Hampshire 03833

Re: PB Case #23-3 Richard & Debbi Schaefer
Minor Subdivision
24 Powder Mill Road, Exeter, N.H.
Tax Map Parcel #102-4

Dear Mr. Boyd:

Please be advised that at the meeting of May 25th, 2023, the Exeter Planning Board voted to **APPROVE** the above-captioned application for a minor subdivision of the existing 21-acre parcel located at 24 Powder Mill Road into two residential building lots, as presented. This approval was granted subject to the following conditions:

1. A dwg file of the plan shall be provided to the Town Planner showing all property lines and monumentation prior to signing the final plans. This plan must be in NAD 1983 State Plane New Hampshire FIPS 2800 Feet coordinates;
2. All monumentation shall be set in accordance with Section 9.25 of the Site Plan Review and Subdivision Regulations prior to signing the final plans; and
3. As proposed by the Applicant, the bottom of the effluent disposal area on Lot A shall be a minimum of 2.8' above the base flood elevation.

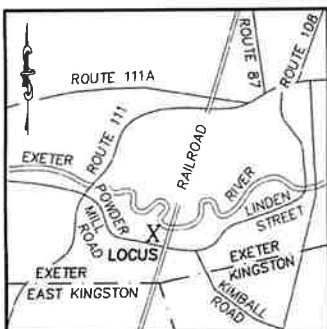
Please feel free to contact the Planning Department at 773-6114 with any questions.

Sincerely,

Dave Sharples
Town Planner
(on behalf of the Planning Board Chairman)

cc: Richard and Debbi Schaefer, property owners
Doug & Christine Rupp
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Whitten, Town Assessor

DS:bsm



REMAINING AREA
16 ± ACRES

SEE LOMR 18-01-0144P
EFFECTIVE: 11-05-2018.

NOTES:

- 1) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 2) THIS PARCEL LIES PARTIALLY WITHIN AE FLOOD ZONE, 0.2% ANNUAL FLOOD CHANCE ZONE AND THE REGULATORY FLOOD WAY. SEE F.I.R.M. COMMUNITY PANEL 33013SC 0403 E EFFECTIVE DATE MAY 17, 2005.
SEE LOMR 18-01-0144P EFFECTIVE: 11-05-2018.
- 3) "THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIRED UNDER THESE REGULATIONS."
- 4) ELEVATIONS ARE BASED ON NAVD29.
- 5) PROPOSED HOME MUST BE BUILT TO PLAIN DEVELOPMENT ORDINANCE 9.4 WITHIN THE TOWN ZONING REGULATIONS.

TOWN OF EXETER PLANNING BOARD
CHAIRMAN _____ DATE _____

RECORD OWNERS
SCHAEFER FAMILY REV. TRUST
RICHARD C. & DEBBI L. SCHAEFER
TRUSTEES
24 POWDER MILL ROAD
EXETER, NH 03833
BK. 4329 PG. 1795
21± ACRES
PER DEED

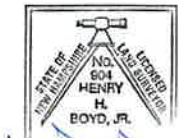
PLAN NOTE
THE PURPOSE OF THIS PLAN IS TO SHOW THE DIVISION OF THIS PARCEL INTO 2 LOTS FOR SINGLE FAMILY RESIDENTIAL PURPOSES.
VARIANCE NOTE
SEE VARIANCE CASE #22-18 NOVEMBER 15, 2022 TO PERMIT THE USE OF TEST PITS FOR INDIVIDUAL SEPTIC DISPOSAL SYSTEM WITH LESS THAN 24" TO SEASONAL HIGH WATER TABLE. SUBJECT TO ENVIRO-SEPTIC OR SIMILAR SYSTEM TO BE INSTALLED.

PLAN REFERENCES
D-32415 C-11567 D-10095
SEE RAILROAD VAL. PLAN V2NH/47

N/F
BOSTON & MAINE RAILROAD
1700 IRON HORSE PARK
NORTH BILLERICA, MA 01862

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN JANUARY 2023.
THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF REGISTER OF DEEDS.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.



LICENSED LAND SURVEYOR
DATE: 03-09-2023

LOCUS MAP
NOT TO SCALE

N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
BK. 2400 PG. 0092

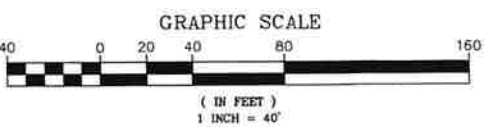
ZONING DISTRICT
R-1 LOW DENSITY

AREA	2 ACRES
WIDTH	150'
DEPTH	150'
FRONTAGE	150'
MAXIMUM BUILDING HEIGHT	35'
FRONT BUILDING SETBACKS	25'
SIDE REAR	15'
REAR	25'
MAXIMUM BUILDING COVERAGE	15%
MINIMUM OPEN SPACE	80%

N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833

LEGEND

- I.P. IRON PIPE FOUND
- I ROD IRON ROD FOUND
- 00 ASSESSORS MAP AND PARCEL
- OHW OVER HEAD WIRE
- UTILITY POLE
- WETFLAG WETFLAG
- WETLAND WETLAND



WETLANDS DELINEATION BY
GOVE ENVIRONMENTAL, INC.
8 CONTINENTAL DRIVE UNIT H
EXETER, NH 03833

IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987); REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION (OCTOBER 2012); NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE'S "FIELD INDICATORS OF IDENTIFYING HYDRIC SOILS IN NEW ENGLAND," VERSION 4, 2017; CODE OF ADMINISTRATIVE RULES. NHDES WETLANDS BUREAU (CURRENT).

1	03-09-23	REVISE 4K AREA	H.H.B.	SCALE: 1"=40'	CALC. BY: R.S.G.	PROJECT: E222977
	NO. DATE	DESCRIPTION	BY	DATE: FEB. 23, 2023	CHKD. BY: H.H.B.	

PB# 23-11 Schaefer/Rupp PB 8/24/23 Meeting Packet - attachment

* FOR REFERENCE PURPOSES ONLY *

1 **TOWN OF EXETER**
2 **PLANNING BOARD**
3 **NOWAK ROOM – TOWN OFFICE BUILDING**
4 **10 FRONT STREET**
5 **MAY 25, 2023**
6 **APPROVED MINUTES**
7 **7:00 PM**

8 **I. PRELIMINARIES:**

9
10 **BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, Vice-Chair Aaron Brown,
11 Gwen English, John Grueter, and Nancy Belanger Select Board Representative

12
13 **STAFF PRESENT:** Town Planner Dave Sharples

14
15 **II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7:00 PM and introduced the
16 members.

17
18 **III. OLD BUSINESS**

19
20 **APPROVAL OF MINUTES**

21
22 April 13, 2023

23
24 Ms. English recommended edits.

25
26 ***Ms. Belanger motioned to approve the April 13, 2023 meeting minutes, as amended. Ms. English***
27 ***seconded the motion. A vote was taken, all were in favor, the motion passed 5-0-0.***

28
29 May 11, 2023

30
31 Mr. Grueter recommended edits.

32
33 ***Ms. Belanger motioned to approve the May 11, 2023 meeting minutes, as amended. Mr. Grueter***
34 ***seconded the motion. A vote was taken, all were in favor, the motion passed 5-0-0.***

35
36 **IV. NEW BUSINESS:**

37 The application of Richard Schaefer and Debbi Schaefer for a minor subdivision of the existing
38 21 +/- acre parcel located at 24 Power Mill Road. The Applicant is proposing to subdivide off a
39 5.01 +/- acre parcel with frontage on Powder Mill Road for a new residence.

40 R-1, Low Density Residential zoning district

41 Tax Map Parcel #102-4

42 Planning Board Case #23-3

43

44 Chair Plumer read out loud the Pubic Hearing Notice.

45

46 Mr. Sharples indicated the Applicants went before the Zoning Board of Adjustment at their May
47 16, 2023 meeting and the ZBA determined the common law standard applied and a variance
48 was not necessary. The applicant is not requesting any waivers.

49

50 Ms. English asked Mr. Sharples if he could explain how the common law doctrine applies in this
51 case and Mr. Sharples indicated the ZBA determined a variance was not needed and the zoning
52 is fine.

53

54 Henry Boyd of Millennium Engineering reviewed the septic design which he noted is an
55 Enviroseptic design 2.8' above the base flood elevation.

56

57 Mr. Grueter asked about the sand below where the effluent goes and Mr. Sharples indicated
58 there was 4' from the bottom to the seasonal high water table.

59

60 Chair Plumer opened the hearing to the public for comments and questions at 7:27 PM and
61 being none closed the hearing to public comment.

62

63 Mr. Sharples read out loud the proposed conditions of approval:

64

- 65 1. A dwg file of the plan shall be provided to the Town Planner showing all property lines and
66 monumentation prior to signing the final plans. This plan must be in NAD 1983 State Plane New
67 Hampshire FIPS 2800 Feet coordinates;
- 68 2. All monumentation shall be set in accordance with Section 9.25 of the Site Plan Review and
69 Subdivision Regulations prior to signing the final plan; and
- 70 3. As proposed by the applicant the bottom of the effluent disposal area on Lot A shall be a
71 minimum of 2.8' above base flood elevation.

72

73 ***Ms. Belanger motioned that the request of Richard Schaefer and Debbi Schaefer, Planning***
74 ***Board Case #23-3 for a minor subdivision approval, be approved with the three conditions***
75 ***stated by the Town Planner. Ms. English seconded the motion. A vote was taken, all were in***
76 ***favor, the motion passed 5-0-0.***

77

78 VI. OTHER BUSINESS

- 79 • Master Plan Discussion
- 80 • Field Modifications

Millennium Engineering, Inc.

P.O. Box 745
(603) 778-0528

Exeter, NH 03833
FAX (603) 772-0689

February 23, 2023

JULY 31, 2023


Town of Exeter
Planning Board
10 Front Street
Exeter, NH 03833

Re: Application for Minor Map 102 Lot 4, 24 Powder Mill Road Exeter, NH.

Dear Chairman:

The request is made to divide a 5-acre lot off from this 21-acre parcel so that the applicant's daughter can build a new home. The proposed dwelling will have its own well and individual septic disposal system.

Respectfully,



Henry H. Boyd, Jr., LLS
Millennium Engineering Inc.



TOWN OF EXETER
MINOR SUBDIVISION, MINOR
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION

RECEIVED

JUL 31 2023

EXETER PLANNING OFFICE

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- MINOR SITE PLAN
- MINOR (3lots or less) SUBDIVISION () LOTS
- LOT LINE ADJUSTMENT

- _____ APPLICATION
- _____ DATE RECEIVED
- _____ APPLICATION FEE
- _____ PLAN REVIEW FEE
- _____ ABUTTER FEE
- _____ LEGAL NOTICE FEE
- _____ INSPECTION FEE
- _____ TOTAL FEES
- _____ AMOUNT REFUNDED

1. NAME OF LEGAL OWNER OF RECORD: RICHARD AND DEBBI SCHAEFER

ADDRESS: 24 POWDER MILL RD.

TELEPHONE: (603) 772-8637

2. NAME OF APPLICANT: SAME

ADDRESS: _____

TELEPHONE: () _____

3. RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER: _____

(Written permission from Owner is required, please attach.)

4. DESCRIPTION OF PROPERTY:

ADDRESS: 24 POWDER MILL RD.

TAX MAP: 102 PARCEL #: 4 ZONING DISTRICT: R-1

AREA OF ENTIRE TRACT: 2.1 ACRES PORTION BEING DEVELOPED: SEEK TO SUBDIVIDE OFF 5 ACRE LOT FOR DAUGHTER



5. EXPLANATION OF PROPOSAL: SEEK TO DIVIDE A 15 ACRE LOT OFF THIS 21 ACRE LOT FOR DAUGHTER TO BUILD A HOME

6. ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO) NO
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:

ITEM:	NUMBER OF COPIES
A. <u>(7) 22x34 PLAN COPIES</u>	
B. <u>(15) 11x17 PLAN COPIES</u>	
C.	
D.	
E.	
F.	

8. ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO) NO IF YES, ATTACH COPY.

9. NAME AND PROFESSION OF PERSON DESIGNING PLAN:

NAME: HENRY H BOYD, JR, U.S. MILLENNIUM ENGINEERING, INC
ADDRESS: P.O. BOX 745 EXETER, NH 03833
PROFESSION: LAND SURVEYOR TELEPHONE: 603-778-0528

10. LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:

PROPOSED HOUSE, DRIVEWAY, WELL & SEPTIC



11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) NO IF YES, LIST BELOW AND NOTE ON PLAN.

NOTICE:

I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 07-31-2023 APPLICANT'S SIGNATURE Delti Schaefer

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



CHECK LIST FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION AND LOT LINE ADJUSTMENT

APPLICANT	TRC	REQUIRED EXHIBITS, SEE REGULATION 6.6.2.4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a) The name and address of the property owner, authorized agent, the person or firm preparing the plan, and the person or firm preparing any other data to be included in the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Title of the site plan, subdivision or lot line adjustment, including Planning Board Case Number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) Scale, north arrow, and date prepared.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Location of the land/site under consideration together with the names and address of all owners of record of abutting properties and their existing use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) Tax map reference for the land/site under consideration, together with those of abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f) Zoning (including overlay) district references.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g) A vicinity sketch showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 1,000-feet.
<input type="checkbox"/>	<input type="checkbox"/>	h) For minor site plan review only, a description of the existing site and proposed changes thereto, including, but not limited to, buildings and accessory structures, parking and loading areas, signage, lighting, landscaping, and the amount of land to be disturbed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i) If deemed necessary by the Town Planner, natural features including watercourses and water bodies, tree lines, and other significant vegetative cover, topographic features and any other environmental features which are significant to the site plan review or subdivision design process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	j) If deemed necessary by the Town Planner, existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/>	<input type="checkbox"/>	k) If deemed necessary by the Town Planner for proposed lots not served by municipal water and sewer utilities, a High Intensity Soil Survey (HISS) of the entire site, or portion thereof. Such soil surveys shall be prepared and stamped by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	l) State and federal jurisdictional wetlands, including delineation of required setbacks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m) A note as follows: "The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	n) Surveyed exterior property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.

NA



TOWN OF EXETER, NEW HAMPSHIRE
10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

November 16, 2022

Henry H. Boyd, Jr., LLS
Millennium Engineering, Inc.
13 Hampton Road
POB 745
Exeter, New Hampshire 03833

Re: Zoning Board of Adjustment Case #22-18 - Variance Request
Richard & Debbi Schaefer, 24 Powder Mill Road, Exeter, N. H.
Tax Map Parcel #102-4

Dear Mr. Boyd:

This letter will serve as official confirmation that the Zoning Board of Adjustment, at its November 15th, 2022, voted to grant the above-captioned application for a variance from Article 5, Section 5.3.3. to permit the use of test pits for an individual sewage disposal system with less than the required 24 inches to seasonal high-water table, as presented, subject to an Enviro-Septic pipe or similar system be installed.

Please be advised that in accordance with Article 12, Section 12.4 of the Town of Exeter Zoning Ordinance entitled "Limits of Approval" that all approvals granted by the Board of Adjustment shall only be valid for a period of three (3) years from the date such approval was granted; therefore, should substantial completion of the improvements, modifications, alterations or changes in the property not occur in this period of time, this approval will expire.

If you should have any questions, please do not hesitate to contact the Building Department office at (603) 773-6112.

Sincerely,

Kevin M. Baum
Chairman
Exeter Zoning Board of Adjustment

cc: ✓ Richard and Debbi Schaefer, property owners
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Whitten, Town Assessor

KMB: bsm



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 102-4
NAME RICHARD AND DEBBI SCHAEFER
ADDRESS 24 POWDER MILL RD.
EXETER, NH 03833

TAX MAP 73-47
NAME BOSTON AND MAINE RAILROAD
ADDRESS 1700 IRON HORSE PARK
NORTH BILLERICA, MA 01862

TAX MAP 102-5
NAME TOWN OF EXETER
ADDRESS 10 FRONT ST
EXETER, NH 03833

TAX MAP _____
NAME Millennium Engineering
ADDRESS 13 Hampton Rd.
POB 745 Exeter, NH 03833

TAX MAP 102-6
NAME TOWN OF EXETER
ADDRESS 10 FRONT ST.
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 102-7
NAME THOMAS AND RENEE CREGAN
ADDRESS 19 POWDER HILL RD
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 102-3
NAME TOWN OF EXETER
ADDRESS 10 FRONT ST.
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 113-1
NAME TOWN OF EXETER
ADDRESS 10 FRONT ST.
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 113-4
NAME SRULE AND TIMOTHY WHITE
ADDRESS 126 LINDEN ST.
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP 97-23
NAME RIVERWOODS CO AT EXETER
ADDRESS 7 RIVERWOODS DR.
EXETER, NH 03833

TAX MAP _____
NAME _____
ADDRESS _____

Please attach additional sheets if needed

**Town of Exeter
 Planning Board Application
 Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

The proposed project is the construction of a driveway to access a building and septic envelope found in an upland area. As wetlands span the entire frontage of the parcel, a dredge and fill application has been submitted to NHDES. No other alternative exists which would allow driveway access without wetland impacts. The proposed location is the location on the parcel which provides the most minimal impacts to both the wetland and the wetland buffer.

Wetland Conservation Overlay District Impact (in square footage):

Temporary Impact	Wetland: (SQ FT.)	Buffer: (SQ FT.)
	<input type="checkbox"/> Prime Wetlands _____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands _____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF) _____	<input type="checkbox"/> Vernal Pools (>200SF) _____
	<input type="checkbox"/> VPD _____	<input type="checkbox"/> VPD _____
	<input checked="" type="checkbox"/> PD <u>40 sf</u>	<input checked="" type="checkbox"/> PD <u>80 sf</u>
	<input type="checkbox"/> Inland Stream _____	<input type="checkbox"/> Inland Stream _____
Permanent Impact	Wetland:	Buffer:
	<input type="checkbox"/> Prime Wetlands _____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands _____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF) _____	<input type="checkbox"/> Vernal Pools (>200SF) _____
	<input type="checkbox"/> VPD _____	<input type="checkbox"/> VPD _____
	<input checked="" type="checkbox"/> PD <u>631 sf</u>	<input checked="" type="checkbox"/> PD <u>560 sf</u>
	<input type="checkbox"/> Inland Stream _____	<input type="checkbox"/> Inland Stream _____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

No variance for the construction or the driveway have been requested of the ZBA

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):

Residential construction is allowed in this zone. NHDES allows for driveways to cross a wetland for construction of a building within the upland. This lot has no frontage which allows for the driveway to avoid wetlands. The location chosen for the driveway minimizes as much as possible wetland and buffer impacts. Any loss of wetland function or value has been minimized as much as possible. The design will minimize any detrimental wetland or buffer impacts from the driveway construction. No temporary impacts are anticipated except for the toeing in of the silt fence. The area will be restored following construction. We anticipate no hazard or impact to the public health or safety from the approval of this project. Permit application has been submitted to NHDES, and notification provided to the Army Corps of Engineers.



Ilex Wetlands Consultants
PO Box 2185
Wolfeboro, New Hampshire 03894
Phone: (603) 520-8533
email: ilexwetlands@gmail.com

July 12, 2023

Doug & Chrissy Rupp
69 Newburyport Turnpike
Newbury, MA 01951

Re: Wetlands Assessment/Delineation
Location: 24 Powder Mill Rd, Exeter
Tax map/Lot: 102 - 004
Our File #: 2023 - 1509

This report is being submitted to you to detail the field assessment performed July 11, 2023. At the request of the Conservation Commission on July 10th, we returned to the site to evaluate the delineation done by Gove Environmental Services (GES). In specific, they requested that we review the frontage along Powder Mill Road. We also evaluated the parcel side property line along the Boston and Maine Railway property. As we noted at the Conservation Commission meeting on July 10th, our prior evaluations were more limited to the rear of the subdivided parcel as well as the area of your parents property between the proposed house site, and your parents house.

As a result of our further investigation, we found one small approximately 100-150 sf wetland pocket, and also made adjustments to the wetlands boundary along Powder Mill Road, and also along the Boston and Maine side the property.

The small wetland pocket has been flagged with pink pin flags and the location has been added to the most recent plans developed by Millenium Engineering as flag numbers 101 thru 105.

We have added additional pin flags along Powder Mill Road, used new arctic pink surveyors flagging labelled "Wetland Boundary" to redefine our opinion of the wetland boundary as it does differ somewhat from the boundary noted by GES.

By the means of this letter, and the plans with our own lines sketched upon it, we are providing a copy of this information to Millenium Engineering, so that they can redo the wetlands boundary on the plans, and direct wetland impacts and buffer impacts can be used to calculate the least impactful place to locate the proposed driveway. Once this has been established, we will send a letter to NHDES to advise of the revisions, and to get their approval on such. In any event, the amount of wetland impact will not significantly change the nature of or amount of wetland impacts being requested of NHDES.

Ilex Wetlands Consultants

PO Box 2185

Wolfeboro, New Hampshire 03894

Phone: (603) 520-8533 Fax (615) 676-3495

email: ilexwetlands@gmail.com

Once we have the revised plans, we will then submit these to the Town of Exeter Conservation Commission, and Planning Board for a revised Conditional Use Permit.

This on-site analysis was performed using the three factor approach of soils, vegetation and hydrology in accordance with the "Army Corps of Engineers Wetland Delineation Manual, Technical Report Y-87-1" January 1987, as well as other protocols accepted by the Army Corps of Engineers, and the New Hampshire Department of Environmental Services.

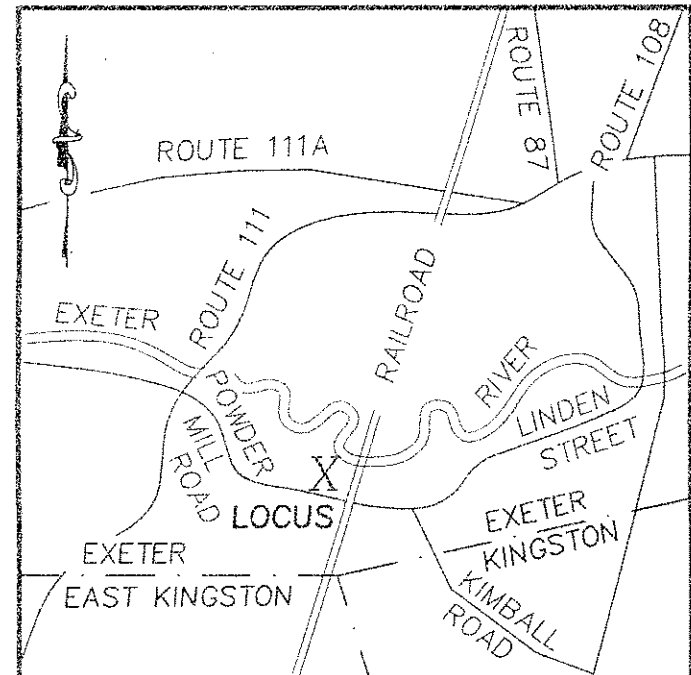
No trees or shrubs were found in the wet meadow where the additional wetland pocket was noted. I think that we are in agreement that when we inspected this location a month ago, not only was this area not saturated to the surface, but sedges had not started to fill in for the growing season. Herbs present include: Canada rush (*Juncus canadensis*), spike rush (*Eleocharis acicularis*), timothy (*Phleum pratense*), sweet vernal grass (*Anthoxanthum odoratum*), red top (*Agrostis alba*), rye (*Lolium perenne*). The dominance of some of these species, such as the rushes and red top will indicate a wetlands, while the dominance of others such as timothy and sweet vernal grass will indicate the area is an upland. Soils present within the wetland were a clayey soil, with a color of 2.5y 5/2 at the soil surface. The soil colors were uniformly mixed here, indicating that the field was, at one point, routinely plowed. The wetland indicator for this soils is F3 Depleted matrix.

A sketch is attached to this letter, and we will continue to communicate as the process continues

Regards,



Daniel Coons, NH Certified Wetland Scientist #264
Ilex Wetlands Consultants



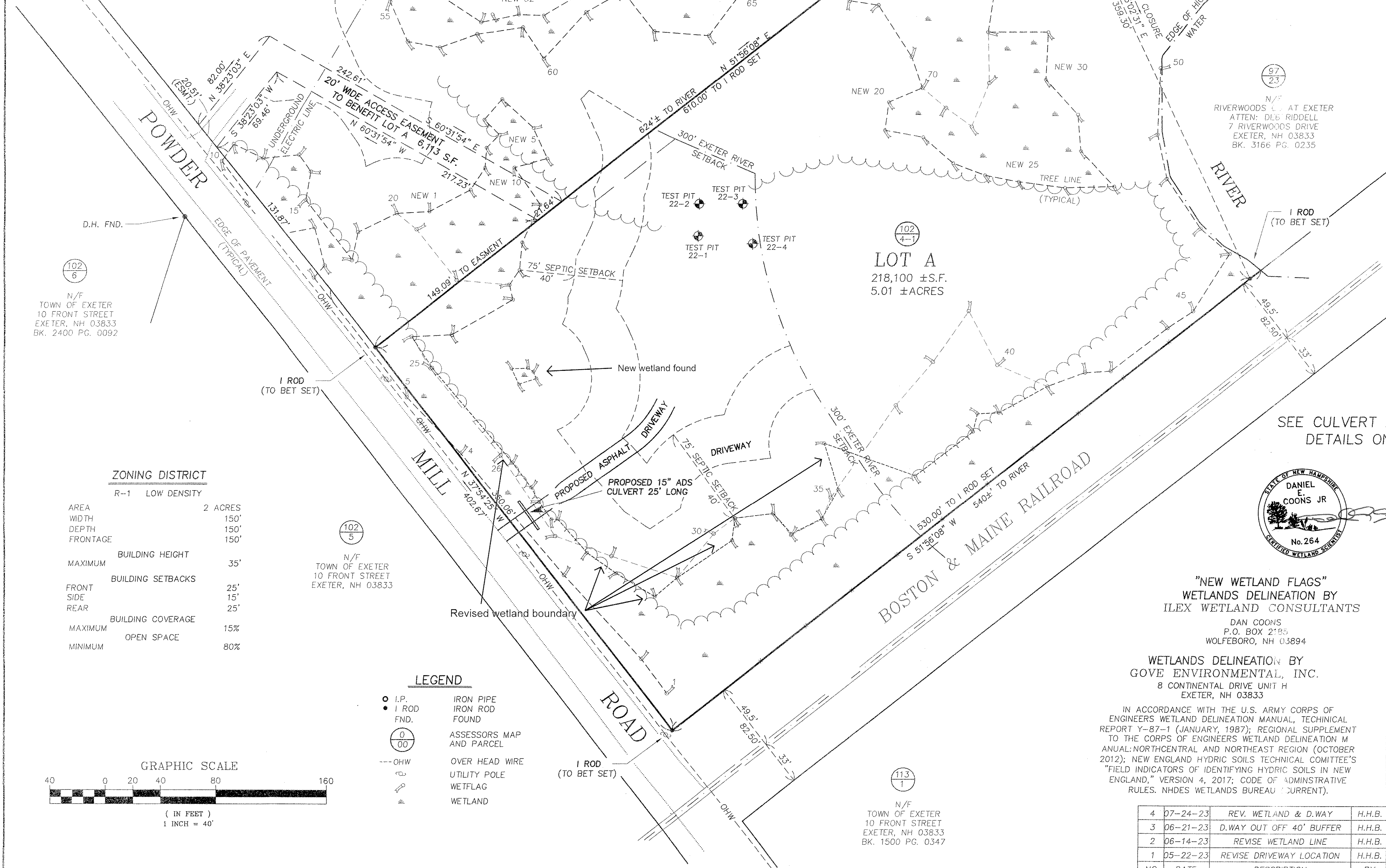
- NOTES:**
- 1) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - 2) THIS PARCEL LIES PARTIALLY WITHIN A FLOOD ZONE, 0.2% ANNUAL FLOOD CHANCE ZONE AND THE REGULATORY FLOOD WAY. SEE F.I.R.M. COMMUNITY PANEL 330135C 0403 E EFFECTIVE DATE MAY 17, 2005. SEE LOMR 18-01-0144P EFFECTIVE: 11-05-2018.
 - 3) ELEVATIONS ARE BASED ON NAVD29.
 - 4) PROPOSED HOME MUST BE BUILT TO PLAIN DEVELOPMENT ORDINANCE 9.4 WITHIN THE TOWN ZONING REGULATIONS.

102
4-1
SCHAEFER FAMILY REV. TRUST
RICHARD C. & DEBBI L. SCHAEFER
TRUSTEES
24 POWDER MILL ROAD
EXETER, NH 03833
BK. 4329 PG. 1795

102
4-1
RECORD OWNERS
SCHAEFER FAMILY REV. TRUST
RICHARD C. & DEBBI L. SCHAEFER
TRUSTEES
24 POWDER MILL ROAD
EXETER, NH 03833
BK. 4329 PG. 1795
LOT A
218,100 ±S.F.
5.01 ±ACRES

PLAN REFERENCES
MEI PLAN
D-32415 C-11567 D-10095
SEE RAILROAD VAL. PLAN V2NH/47

LOCUS MAP
NOT TO SCALE



102
6
N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
BK. 2400 PG. 0092

97
2-3
N/F
RIVERWOODS CO. AT EXETER
ATTN: DLB RIDDELL
7 RIVERWOODS DRIVE
EXETER, NH 03833
BK. 3166 PG. 0235

73
4-7
N/F
BOSTON & MAINE RAILROAD
1700 IRON HORSE PARK
NORTH BILLERICA, MA 01862

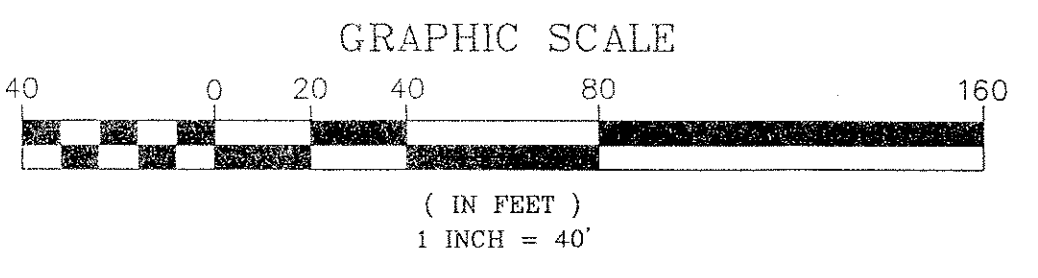
102
4-1
LOT A
218,100 ±S.F.
5.01 ±ACRES

ZONING DISTRICT
R-1 LOW DENSITY

AREA	2 ACRES
WIDTH	150'
DEPTH	150'
FRONTAGE	150'
MAXIMUM BUILDING HEIGHT	35'
FRONT BUILDING SETBACKS	25'
SIDE REAR	15'
REAR BUILDING SETBACKS	25'
MAXIMUM BUILDING COVERAGE	15%
MINIMUM OPEN SPACE	80%

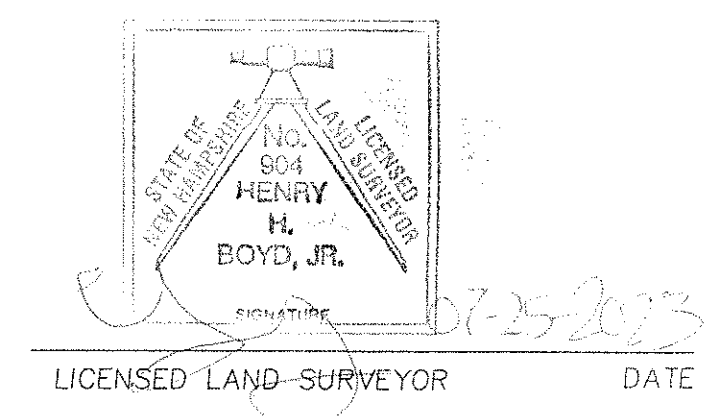
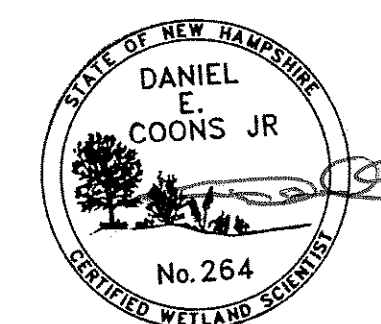
102
5
N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833

- LEGEND**
- I.P. IRON PIPE
 - I ROD IRON ROD
 - FND. FOUND
 - ○ ASSESSORS MAP AND PARCEL
 - OHW OVER HEAD WIRE
 - ○ UTILITY POLE
 - ○ WETFLAG
 - ▲ WETLAND



I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JANUARY AND JULY 2023.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.

SEE CULVERT AND CROSSING DETAILS ON SHEET 2



"NEW WETLAND FLAGS"
WETLANDS DELINEATION BY
ILEX WETLAND CONSULTANTS
DAN COONS
P.O. BOX 2185
WOLFEBORO, NH 03894

WETLANDS DELINEATION BY
GOVE ENVIRONMENTAL, INC.
8 CONTINENTAL DRIVE UNIT H
EXETER, NH 03833
IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987); REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION (OCTOBER 2012); NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE'S "FIELD INDICATORS OF IDENTIFYING HYDRIC SOILS IN NEW ENGLAND," VERSION 4, 2017; CODE OF ADMINISTRATIVE RULES, NHDES WETLANDS BUREAU (CURRENT).

**Existing Conditions
NHDES WETLAND PLAN**

IN
EXETER, NH

SHOWING
A DRIVEWAY CROSSING
AT 24 POWDER MILL ROAD
(ASSESSORS MAP 102 LOT 4)

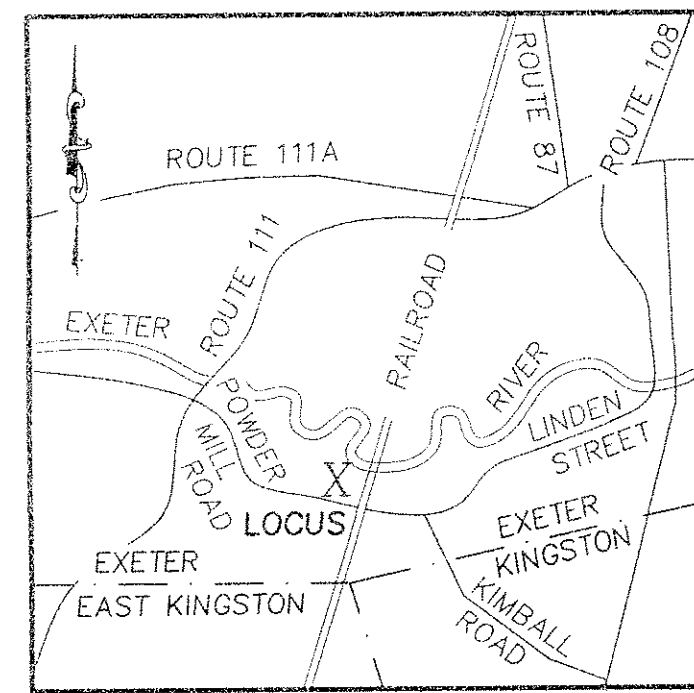
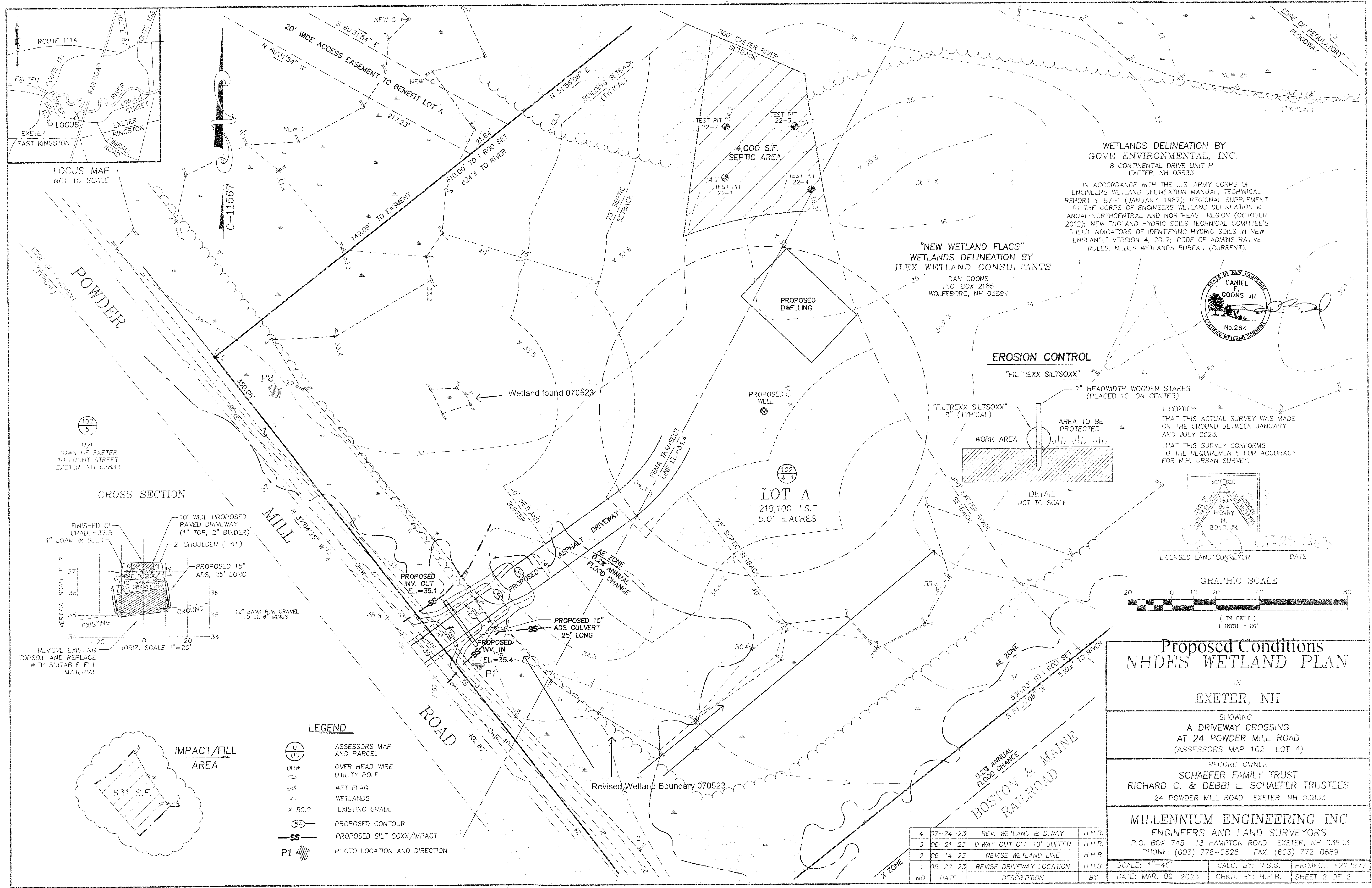
RECORD OWNER
SCHAEFER FAMILY TRUST
RICHARD C. & DEBBI L. SCHAEFER TRUSTEES
24 POWDER MILL ROAD EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
ENGINEERS AND LAND SURVEYORS
P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
PHONE: (603) 778-0528 FAX: (603) 772-0689

NO.	DATE	DESCRIPTION	BY
4	07-24-23	REV. WETLAND & D.WAY	H.H.B.
3	06-21-23	D.WAY OUT OFF 40' BUFFER	H.H.B.
2	06-14-23	REVISE WETLAND LINE	H.H.B.
1	05-22-23	REVISE DRIVEWAY LOCATION	H.H.B.

SCALE: 1"=40'
DATE: MAR. 09, 2023
CALC. BY: R.S.G.
CHKD. BY: H.H.B.
PROJECT: E222977
SHEET 1 OF 2

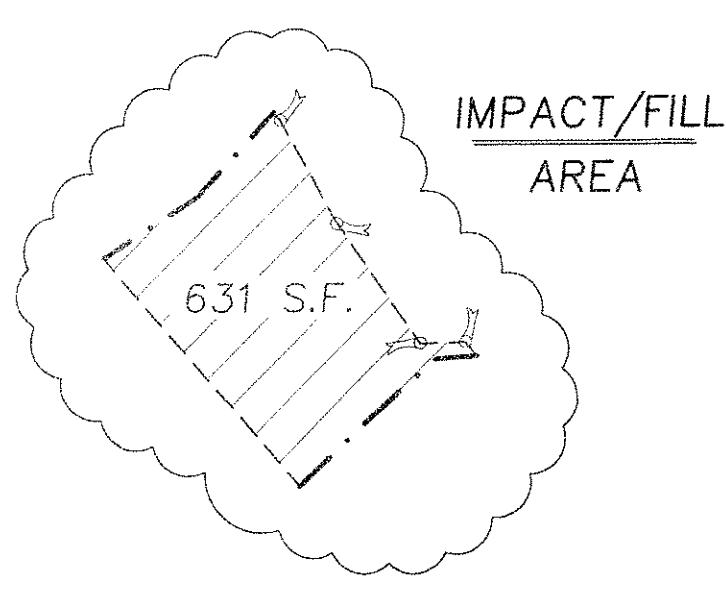
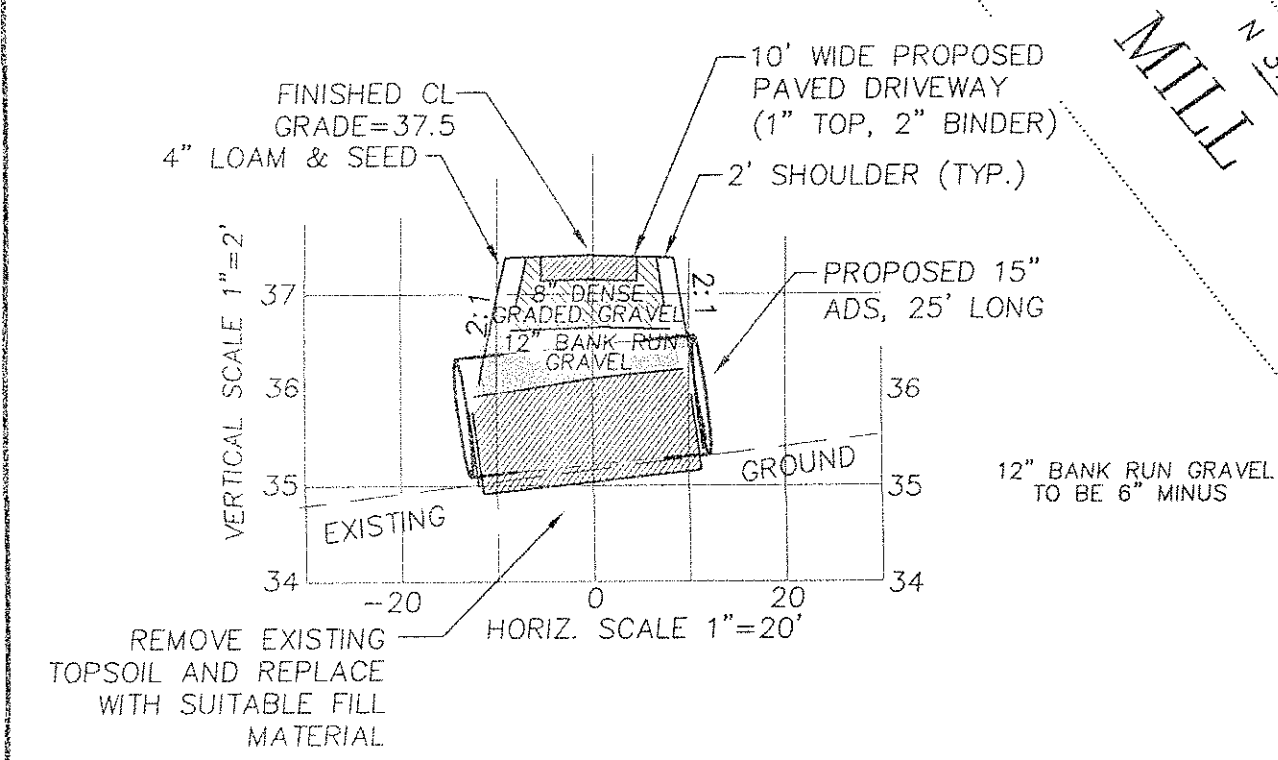
113
1
N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
BK. 1500 PG. 0347



LOCUS MAP NOT TO SCALE

102
5
N/F
TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833

CROSS SECTION

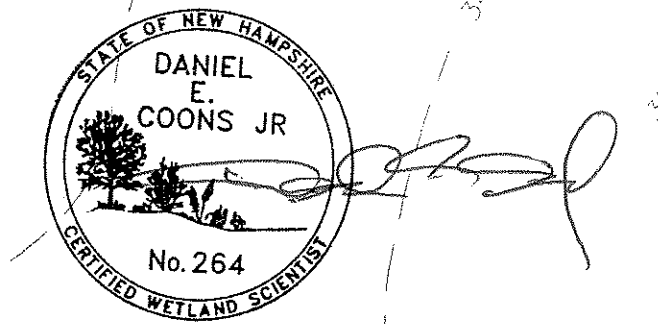


- LEGEND**
- ASSESSORS MAP AND PARCEL
 - OVER HEAD WIRE UTILITY POLE
 - WET FLAG
 - WETLANDS
 - X 50.2 EXISTING GRADE
 - PROPOSED CONTOUR
 - PROPOSED SILT SOXX/IMPACT
 - P1 PHOTO LOCATION AND DIRECTION

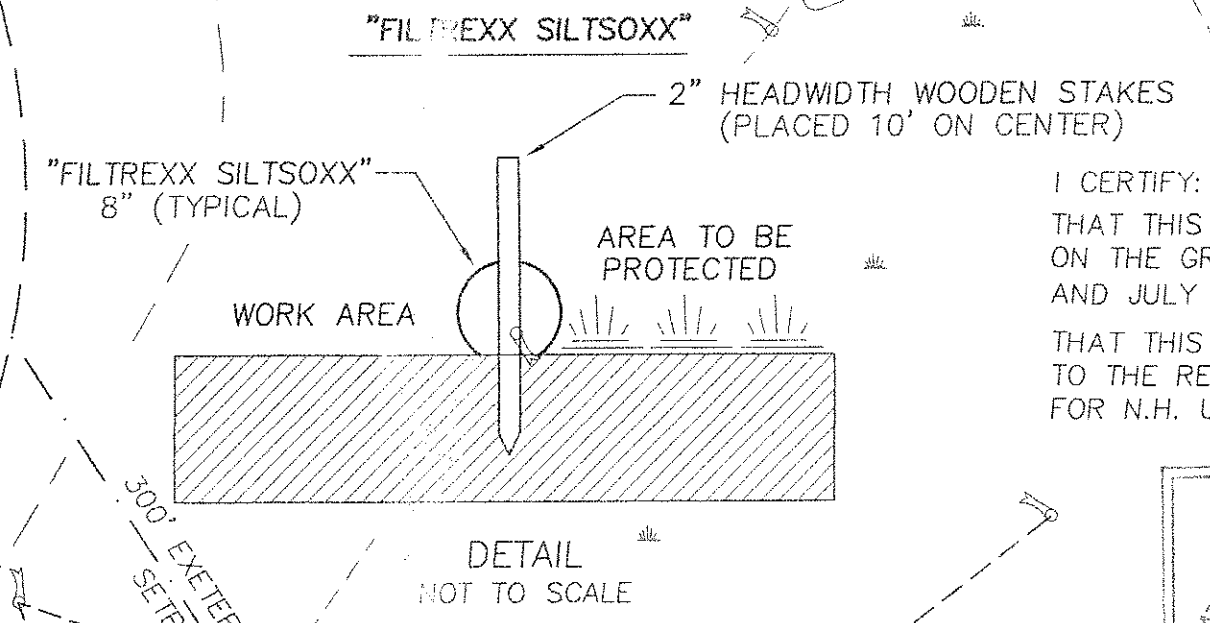
WETLANDS DELINEATION BY
GOVE ENVIRONMENTAL, INC.
8 CONTINENTAL DRIVE UNIT H
EXETER, NH 03833

IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987); REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION (OCTOBER 2012); NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE'S "FIELD INDICATORS OF IDENTIFYING HYDRIC SOILS IN NEW ENGLAND," VERSION 4, 2017; CODE OF ADMINISTRATIVE RULES, NHDES WETLANDS BUREAU (CURRENT).

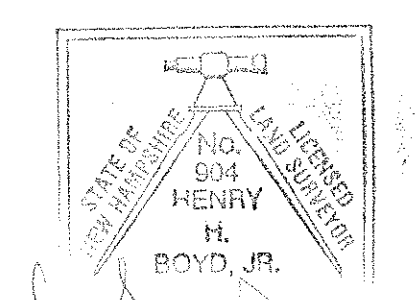
"NEW WETLAND FLAGS"
WETLANDS DELINEATION BY
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WOLFEBORO, NH 03894



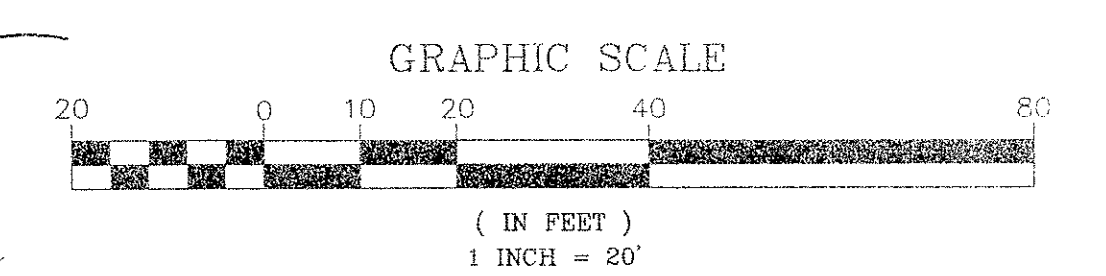
EROSION CONTROL



I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JANUARY AND JULY 2023.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.



LICENSED LAND SURVEYOR DATE 07-25-2023



**Proposed Conditions
NHDES WETLAND PLAN**

IN
EXETER, NH

SHOWING
A DRIVEWAY CROSSING
AT 24 POWDER MILL ROAD
(ASSESSORS MAP 102 LOT 4)

RECORD OWNER
SCHAEFER FAMILY TRUST
RICHARD C. & DEBBI L. SCHAEFER TRUSTEES
24 POWDER MILL ROAD EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
ENGINEERS AND LAND SURVEYORS
P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
PHONE: (603) 778-0528 FAX: (603) 772-0689

NO.	DATE	DESCRIPTION	BY
4	07-24-23	REV. WETLAND & D.WAY	H.H.B.
3	06-21-23	D.WAY OUT OFF 40' BUFFER	H.H.B.
2	06-14-23	REVISE WETLAND LINE	H.H.B.
1	05-22-23	REVISE DRIVEWAY LOCATION	H.H.B.

SCALE: 1"=40' CALC. BY: R.S.G. PROJECT: E222977
DATE: MAR. 09, 2023 CHKD. BY: H.H.B. SHEET 2 OF 2



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: August 17, 2023
To: Planning Board
From: Dave Sharples, Town Planner
Re: Franklin Associates, LLC (Maloney Family Rev. Trust)
PB Case #23-10

The Applicant is seeking a minor subdivision of an existing 8.74-acre parcel located at 18 Beech Hill Road into two (2) residential lots. The Applicant is proposing to create a 5.79-acre parcel for the existing residence, and a 2.94-acre parcel for a new single-family residence and associated site improvements, both with frontage on Beech Hill Road. The subject property is located in the R-1, Low Density Residential zoning district and is identified as Tax Map Parcel #32-11.

The Applicant has submitted a minor subdivision application, a Wetlands Conditional Use Permit (CUP) application, plans and supporting documents, dated June 8th, 2023, which are enclosed for your review.

There was no Technical Review Committee meeting, however, the plans were reviewed by staff for compliance with zoning and subdivision regulations. Code Enforcement Officer Doug Eastman has determined that the proposal meets the minimum dimensional requirements.

The Applicant is scheduled to appear before the Conservation Commission at their August 8th, 2023 meeting to present their Wetland CUP application. The applicant clarified different buffer sizes on existing/proposed conditions because the existing conditions show a poorly drained 40' buffer, whereas the proposed conditions showed NHDES required 50' septic setback. I recommended adding lot calcs to show compliance with 9.1.8 onto plans (applicant verbally provided) and wetland scientist stamp. Commission voted no objection to the CUP.

The Applicant is requesting two waivers, which are outlined in the waiver request letter, dated April 4, 2023, enclosed for your review. However, the buffer waiver is unnecessary and is part of the CUP.

One item worth noting is the location of the well radius. The well radius extends out into the public roadway. It has been the practice of the Board to not allow well radiuses within the public right-of-way. Moreover, the well radius appears to extend onto Map 32 Lot 12 and may even extend onto the property across the street as it goes up to 12' past the edge of pavement on the southerly side of Beech Hill Rd. I will notify the applicant about this and update the Board at the meeting.

I will be prepared with suggested conditions of approval at the meeting in the event the board decides to act on the request.

Waiver Motions:

Parking & Structure Buffer – Section 9.1.3 Boundaries & Setbacks of the Wetlands Conservation District (of the Zoning Ordinance) waiver motion: Addressed under criteria of Wetland CUP.

Test Pits Waiver Motion: After reviewing the criteria for granting waivers, I move that the request of Franklin Associates, LLC (PB Case #23-10) for a waiver from Section 9.21.3.4 requiring two test pits for each proposed individual lot be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED

Planning Board Motion:

Minor Subdivision Motion: I move that the request of Franklin Associates, LLC (PB Case #23-10) for Minor Subdivision approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Conditional Use Permit (Wetland) Motion: After reviewing the criteria for a Wetland Conditional Use permit, I move that the request of Franklin Associates, LLC (PB Case #23-10) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures

TOWN OF EXETER
MINOR SUBDIVISION, MINOR
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- MINOR SITE PLAN
 MINOR (3lots or less)
SUBDIVISION (1) LOTS
 LOT LINE ADJUSTMENT

____ APPLICATION
____ DATE RECEIVED
____ APPLICATION FEE
____ PLAN REVIEW FEE
____ ABUTTER FEE
____ LEGAL NOTICE FEE
____ INSPECTION FEE
____ TOTAL FEES
____ AMOUNT REFUNDED

1. **NAME OF LEGAL OWNER OF RECORD:** S & T MALONEY FAMILY REVOCABLE TRUST

ADDRESS: 18 BEECH HILL RD, EXETER, NH03833

TELEPHONE: (603) 770-1391

2. **NAME OF APPLICANT:** FRANKLIN ASSOCIATES, LLC

ADDRESS: 143 RAYMOND RD, UNIT 4, CANDIA, NH 03034

TELEPHONE: (603) 483-3096

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:** _____

LAND SURVEYOR

(Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:**

ADDRESS: 18 BEECH HILL RD

TAX MAP: 32 **PARCEL #:** 11 **ZONING DISTRICT:** R-1

AREA OF ENTIRE TRACT: 8.74 acres **PORION BEING DEVELOPED:** 2.94 acres

5. **EXPLANATION OF PROPOSAL:** To subdivide a 2.94 acre residential lot off of existing lot 11

6. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** NO
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. PRELIMINARY SEPTIC DESIGN	_____
B. ABUTTER NOTIFICATION	_____
C. FEMA FIRMETTE	_____
D. TEST PIT LOG	_____
E. _____	_____
F. _____	_____

8. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** NO _____ **IF YES, ATTACH COPY.**

9. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**
NAME: FRANKLIN ASSOCIATES, LLC
ADDRESS: 143 RAYMOND RD, UNIT 4, CANDIA NH 03034
PROFESSION: LAND SURVEYORS **TELEPHONE:** (603) 483-3096

10. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:** THE PROPOSED
DEVELOPMENT IS FOR A SINGLE RESIDENTIAL HOME, DRIVEWAY, SEPTIC SYSTEM AND WELL

11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) _____ IF YES, LIST BELOW AND NOTE ON PLAN.

NOTICE: I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 13.2 OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 6/5/2023 APPLICANT'S SIGNATURE 

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.

**CHECK LIST FOR MINOR SITE PLAN REVIEW,
MINOR SUBDIVISION AND LOT LINE ADJUSTMENT**

APPLICANT	TRC	REQUIRED EXHIBITS, SEE REGULATION 6.10.1.4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a) The name and address of the property owner, authorized agent, the person or firm preparing the plan, and the person or firm preparing any other data to be included in the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Title of the site plan, subdivision or lot line adjustment, including Planning Board Case Number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) Scale, north arrow, and date prepared.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Location of the land/site under consideration together with the names and address of all owners of record of abutting properties and their existing use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) Tax map reference for the land/site under consideration, together with those of abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f) Zoning (including overlay) district references.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g) A vicinity sketch showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 1,000-feet.
<input type="checkbox"/> N/A	<input type="checkbox"/>	h) For minor site plan review only, a description of the existing site and proposed changes thereto, including, but not limited to, buildings and accessory structures, parking and loading areas, signage, lighting, landscaping, and the amount of land to be disturbed.
<input type="checkbox"/> N/A	<input type="checkbox"/>	i) If deemed necessary by the Town Planner, natural features including watercourses and water bodies, tree lines, and other significant vegetative cover, topographic features and any other environmental features which are significant to the site plan review or subdivision design process.
<input type="checkbox"/> N/A	<input type="checkbox"/>	j) If deemed necessary by the Town Planner, existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/> N/A	<input type="checkbox"/>	k) If deemed necessary by the Town Planner for proposed lots not served by municipal water and sewer utilities, a High Intensity Soil Survey (HISS) of the entire site, or portion thereof. Such soil surveys shall be prepared and stamped by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	l) State and federal jurisdictional wetlands, including delineation of required setbacks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m) A note as follows: "The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations."



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

LETTER OF INTENT

June 2, 2023

Town of Exeter Planning Board
10 Front St
Exeter, NH 03833

RE: Subdivision:
S&T Maloney Rev. Trust
18 Beech Hill Rd
Exeter, NH 03833
Tax Map 32 Lot 11

Dear Planning Board,

This letter serves as an explanation that the Maloney's wish to create a residential lot for their son, Brice, from Map 32 Lot 11. Lot 11 currently has 8.74 acres.

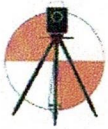
The proposed acreages after subdividing are:

Lot 11: 5.79
Lot 11-1: 2.94

Proposed lot 11-1 will require State subdivision approval due it being less than the required 5 acres. Lot 11 will not require State subdivision approval.

Sincerely,

Jason Franklin



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

June 2, 2023

Franklin Associates
143 Raymond Rd, Unit 4
Candia, NH 03034

RE: 18 Beech Hill Rd
Map 32 Lot 11
Exeter, NH

To Whom It May Concern:

Please accept this letter that Franklin Associates, LLC has our permission to be the applicant for our proposed subdivision.

Brian Maloy

Date: 06/04/2023

Owner: 18 Beech Hill Rd, Exeter, NH



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

April 4, 2023

Town of Exeter Planning Board
10 Front St
Exeter, NH 03833

RE: Subdivision:
S&T Maloney Rev. Trust
18 Beech Hill Rd
Exeter, NH 03833
Tax Map 32 Lot 11

WAIVER REQUESTS

Dear Planning Board,

As part of the subdivision application, we are requesting to reduce the Town of Exeter's "Parking and Structure Buffer" as found in the Exeter Zoning Ordinance 2023, Wetlands Conservation District Article 9.1.3 "Boundaries and Setbacks" from 75' to 50'. Granting this waiver would allow construction of a residential home, driveway, septic system and well in the location as shown on the Subdivision plan and the attached septic system design. The septic system design plan meets all current State requirements without waivers.

We are also requesting to waive the requirement for two test pits due to the limited area in which the leachfield could be placed and maintain the Wastewater System Setback as found in Article 9.1.3.

Sincerely,

Jason Franklin



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

ABUTTER LIST

Subject Lot: Map 32 Lot 11
 18 Beech Hill Rd
 Exeter, NH 03833

Map 32 Lot 11

S&T Maloney Revocable Trust
18 Beech Hill Rd
Exeter, NH 03833

Map 32 Lot 6

Paul Slemp
5 Stella Way
Exeter, NH 03833

Map 32 Lot 10

Jacob Freedman
16 Beech Hill Rd
Exeter, NH 03833

Map 32 Lot 12

Beech Tree Cooperative, Inc
C/O Cardinal Point Property Mgmt
520B Portsmouth Ave
Greenland, NH 03840

Map 32 Lot 14

Stephen & Mary ODonnell
19 Beech Hill Rd
Exeter, NH 03833

Map 32 Lot 15

Cragmere Heights Homeowners Assoc, Inc
C/O Matthew Bezreh
14 Cragmere Heights
Exeter, NH 03833

Map 32 Lot 26

Eric & Maria Sherer
3 Cragmere Heights
Exeter, NH 03833



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

PROFESSIONALS

Subject Lot: Map 32 Lot 11
 18 Beech Hill Rd
 Exeter, NH 03833

Wetland Scientist:

John P. Hayes, III, CWS, CSS
7 Limestone Way
North Hampton, NH 03820

Surveyor:

James E. Franklin, LLS
143 Raymond Rd, Unit 4
Candia, NH 03034

TEST PIT LOG

Inspected by: Mike Cuomo, CWS, CSS
Jason Franklin

Lot Owner: S&T Maloney Family Revocable Trust
Location: Map 32 Lot 11
18 Beech Hill Rd
Exeter, NH 03833

Test pits inspected on October 5, 2022
Soil Type: 313A Deerfield Loamy Fine Sand
Source: www.websoilsurvey.com

Test Pit 1-

0-7"	10YR 2/2	Loamy Sand	Granular	Friable
7-24"	10YR 6/6	Loamy Sand	Granular	Friable
24-76"	2.5Y 6/3	Fine Sand	Massive	Loose

Notes:

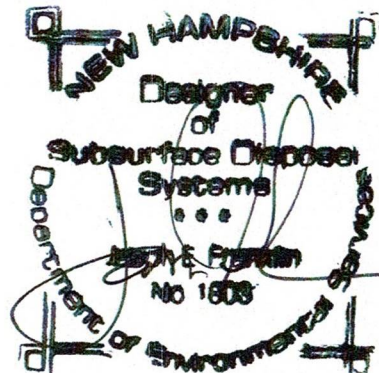
ESHWT = 24"

Obs. Water @ 66"; No Refusal

Estimated Perc Rate: 8min/1"

LOT LOADING

Total area lot 11-1: 2.94 Acres
Soil Type:
313A Deerfield Fine Sandy Loam 0.44 Acres (550 GPD)
140C Chatfield Hollis Canton 0.45 Acres (562 GPD)
Total Loading: 1,112 GPD
(Lot loading totals do not include area within proposed well radii or any wetland areas)



National Flood Hazard Layer FIRMMette



70°59'14"W 43°0'46"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard Zone |
| | | Channel, Culvert, or Storm Sewer |
| OTHER FEATURES | | Levee, Dike, or Floodwall |
| | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| MAP PANELS | | 17.5 Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

70°58'37"W 43°0'20"N

Basemap: USGS National Map Orthoimagery. Data refreshed October 2020

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/23/2023 at 1:49 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Town of Exeter



Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

March 2020

Town of Exeter
Planning Board Application
Conditional Use Permit: Wetland Conservation Overlay District

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

THE INTENT IS TO SUBDIVIDE A 2.94 ACRE LOT FROM MAP 32 LOT 11, WHICH CURRENTLY HAS 8.74 ACRES.

THE DEVELOPMENT OF THE LOT IS TO INCLUDE A 3 BEDROOM RESIDENTIAL HOME, WELL, SEPTIC SYSTEM, DRIVEWAY AND THE ASSOCIATED SITE WORK WITH SUCH A PROJECT. PORTIONS OF THE HOME AND DRIVEWAY WILL BE WITHIN THE 75' PARKING AND STRUCTURAL BUFFER. THE SEPTIC SYSTEM WILL MEET TOWN AND STATE SETBACKS.

THE USE WILL BE RESIDENTIAL AND IS INTENDED FOR THE MALONEYS SON, BRICE, AND HIS WIFE.

Wetland Conservation Overlay District Impact (in square footage):

Temporary Impact	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input type="checkbox"/> VPD	_____
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD	<u>4,000</u>
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream	_____
Permanent Impact	Wetland:		Buffer:	
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input type="checkbox"/> VPD	_____
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD	<u>1,350</u>
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream	_____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):

SEE ATTACHED

9.1.6. B: Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

CONDITIONAL USE PERMIT
ARTICLE 9.1.6.B CONDITIONS

June 9, 2023

Town of Exeter Planning Board
10 Front St
Exeter, NH 03833

RE: Subdivision:
S&T Maloney Rev. Trust
18 Beech Hill Rd
Exeter, NH 03833
Tax Map 32 Lot 11

CONDITIONS:

1. The underlying zone is residential, R-1 and lies within the Wetland Conservation Overlay District due to the wetlands on the property. The proposed use will be for residential purposes and is allowed in this District.
2. We chose the area of development, for which this Conditional Use Permit is being submitted, because we believe that it is the least impactful to the wetlands. While an alternative area does exist on the lot where we can meet all the buffer distances, access to this area would require two wetland crossing permits and would be more detrimental to the wetlands than what we are proposing.
3. See "Functions and Values" report by John P. Hayes.
4. The proposed development of the lot includes a modestly sized 3 bedroom home with an attached garage, an Advanced Enviro-Septic system, well and driveway. The Advanced Enviro-Septic leachfield has a reduced bacterial output in comparison to other types of leachfields, a smaller footprint and is allowed to be constructed closer to the water table than any other system due to its reduced bacterial output. Appropriate sediment and erosion control methods will be used to reduce the impact to the wetlands during construction.
5. The proposed use will not create any hazards to "individuals, public health, safety and welfare due to the loss of wetlands or contamination of ground water, or other reasons" as we are proposing to meet all current State of NH DES subsurface regulations and are not proposing any loss of wetlands or wetland crossings. Under NH Wetlands Law RSA 482-A, there are no wetland setbacks.
6. At this time we are not proposing increasing any wetland buffers elsewhere on the site.



Franklin Associates, LLC
143 Raymond Rd, Unit 4
Candia, NH 03034

CONDITIONAL USE PERMIT
ARTICLE 9.1.6.B CONDITIONS

June 9, 2023

Town of Exeter Planning Board
10 Front St
Exeter, NH 03833

RE: Subdivision:
S&T Maloney Rev. Trust
18 Beech Hill Rd
Exeter, NH 03833
Tax Map 32 Lot 11

7. The proposed use within the buffer is permanent. Areas adjacent to the house, driveway and leachfield, which are disturbed during construction will be loamed and seeded for future lawn areas.

8. The proposed subdivision will require two State permits; a subdivision approval for the creation of a lot with less than 5 acres and a construction approval for septic system design. These State applications have not yet been submitted pending the outcome of the Conditional Use Permit and Subdivision application.

Sincerely,

Jason Franklin



WETLANDS FUNCTIONAL ASSESSMENT WORKSHEET

Water Division/Land Resource Management
Wetlands Bureau



[Check the Status of your Application](#)

RSA/Rule: RSA 482-A / Env-Wt 311.03(b)(10); Env-Wt 311.10

APPLICANT LAST NAME, FIRST NAME, M.I.: **Maloney, Brice**

As required by Env-Wt 311.03(b)(10), an application for a standard permit for minor and major projects must include a functional assessment of all wetlands on the project site as specified in Env-Wt 311.10. This worksheet will help you compile data for the functional assessment needed to meet federal (US Army Corps of Engineers (USACE); if applicable) and NHDES requirements. Additional requirements are needed for projects in tidal area; please refer to the [Coastal Area Worksheet \(NHDES-W-06-079\)](#) for more information.

Both a desktop review and a field examination are needed to accurately determine surrounding land use, hydrology, hydroperiod, hydric soils, vegetation, structural complexity of wetland classes, hydrologic connections between wetlands or stream systems or wetland complex, position in the landscape, and physical characteristics of wetlands and associated surface waters. The results of the evaluation are to be used to select the location of the proposed project having the least impact to wetland functions and values (Env-Wt 311.10). This worksheet can be used in conjunction with the [Avoidance and Minimization Written Narrative \(NHDES-W-06-089\)](#) and the [Avoidance and Minimization Checklist \(NHDES-W-06-050\)](#) to address Env-Wt 313.03 (Avoidance and Minimization). If more than one wetland/ stream resource is identified, multiple worksheets can be attached to the application. All wetland, vernal pools, and stream identification (ID) numbers are to be displayed and located on the wetlands delineation of the subject property.

SECTION 1 - LOCATION (USACE HIGHWAY METHODOLOGY)	
ADJACENT LAND USE: FORESTED, RESIDENTIAL	
CONTIGUOUS UNDEVELOPED BUFFER ZONE PRESENT? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
DISTANCE TO NEAREST ROADWAY OR OTHER DEVELOPMENT (in feet): +/- 100'	
SECTION 2 - DELINEATION (USACE HIGHWAY METHODOLOGY; Env-Wt 311.10)	
CERTIFIED WETLAND SCIENTIST (if in a non-tidal area) or QUALIFIED COASTAL PROFESSIONAL (if in a tidal area) who prepared this assessment: JOHN P. HAYES, CWS 018	
DATE(S) OF SITE VISIT(S): 6/12/23	DELINEATION PER ENV-WT 406 COMPLETED? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CONFIRM THAT THE EVALUATION IS BASED ON: <input checked="" type="checkbox"/> Office and <input checked="" type="checkbox"/> Field examination.	
METHOD USED FOR FUNCTIONAL ASSESSMENT (check one and fill in blank if "other"): <input checked="" type="checkbox"/> USACE Highway Methodology. <input type="checkbox"/> Other scientifically supported method (enter name/ title): 	

irm@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

SECTION 3 - WETLAND RESOURCE SUMMARY (USACE HIGHWAY METHODOLOGY; Env-Wt 311.10)	
WETLAND ID: 1	LOCATION: (LAT/ LONG) 43.008767/-70.981492
WETLAND AREA: UNKNOWN. WETLAND GOES OUTSIDE OF SUBJECT AREA	DOMINANT WETLAND SYSTEMS PRESENT: FORESTED
HOW MANY TRIBUTARIES CONTRIBUTE TO THE WETLAND? 2	COWARDIN CLASS: PFO 1/4E
IS THE WETLAND A SEPARATE HYDRAULIC SYSTEM? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No if not, where does the wetland lie in the drainage basin? THE END	IS THE WETLAND PART OF: <input type="checkbox"/> A wildlife corridor or <input type="checkbox"/> A habitat island? IS THE WETLAND HUMAN-MADE? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
IS THE WETLAND IN A 100-YEAR FLOODPLAIN? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	ARE VERNAL POOLS PRESENT? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If yes, complete the Vernal Pool Table)
ARE ANY WETLANDS PART OF A STREAM OR OPEN-WATER SYSTEM? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	ARE ANY PUBLIC OR PRIVATE WELLS DOWNSTREAM/DOWNGRADIENT? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
PROPOSED WETLAND IMPACT TYPE: REQUEST FOR WETLAND BUFFER REDUCTION	PROPOSED WETLAND IMPACT AREA: [REDACTED]

SECTION 4 - WETLANDS FUNCTIONS AND VALUES (USACE HIGHWAY METHODOLOGY; Env-Wt 311.10)

The following table can be used to compile data on wetlands functions and values. The reference numbers indicated in the "Functions/ Values" column refer to the following functions and values:

1. Ecological Integrity (from RSA 482-A:2, XI)
2. Educational Potential (from USACE Highway Methodology: Educational/Scientific Value)
3. Fish & Aquatic Life Habitat (from USACE Highway Methodology: Fish & Shellfish Habitat)
4. Flood Storage (from USACE Highway Methodology: Floodflow Alteration)
5. Groundwater Recharge (from USACE Highway Methodology: Groundwater Recharge/Discharge)
6. Noteworthiness (from USACE Highway Methodology: Threatened or Endangered Species Habitat)
7. Nutrient Trapping/Retention & Transformation (from USACE Highway Methodology: Nutrient Removal)
8. Production Export (Nutrient) (from USACE Highway Methodology)
9. Scenic Quality (from USACE Highway Methodology: Visual Quality/Aesthetics)
10. Sediment Trapping (from USACE Highway Methodology: Sediment /Toxicant Retention)
11. Shoreline Anchoring (from USACE Highway Methodology: Sediment/Shoreline Stabilization)
12. Uniqueness/Heritage (from USACE Highway Methodology)
13. Wetland-based Recreation (from USACE Highway Methodology: Recreation)
14. Wetland-dependent Wildlife Habitat (from USACE Highway Methodology: Wildlife Habitat)

First, determine if a wetland is suitable for a particular function and value ("Suitability" column) and indicate the rationale behind your determination ("Rationale" column). Please use the rationale reference numbers listed in Appendix A of USACE *The Highway Methodology Workbook Supplement*. Second, indicate which functions and values are principal ("Principal Function/value?" column). As described in *The Highway Methodology Workbook Supplement*, "functions and values can be principal if they are an important physical component of a wetland ecosystem (function only) and/or are considered of special value to society, from a local, regional, and/or national perspective".

"Important Notes" are to include characteristics the evaluator used to determine the principal function and value of

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NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

FUNCTION S/VALUES	SUITABILITY (Y/N)	RATIONALE (Reference #)	PRINCIPAL FUNCTION/VALUE?	IMPORTANT NOTES
1	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECOLOGICAL INTEGRITY FROM NH METHOD	<input type="checkbox"/> Yes <input type="checkbox"/> No	PERFORMED ON 6/12/23
2	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	13	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	AREA IS RESIDENTIAL ONLY ONE WETLAND TYPE
3	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	1, 15	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	AREA NOT ASSOCIATED WITH ANY WATER COURSE
4	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	5, 6, 7, 8, 9, 11	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	THE SUBJECT AREA OF THE WETLAND IS FLAT SOIL TEXTURES ARE SANDY
5	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	12, 4, 5, 15, 16	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SUBJECT WETLAND AREA ABUTS A RESIDENTIAL AREA SOIL TEXTURES ARE SANDY
6	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	—	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT WETLAND AREA IS NOT A GOOD WILDLIFE HABITAT
7	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3, 4, 9	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT AREA IS NOT ASSOCIATED WITH ANY WATER COURSE SANDY SOIL VEGETATION CONSISTS OF PINE, HEMLOCK AND FERNS FEW NOTED RESOURCES
8	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	NO ACCESSIBLE VIEWING LOCATIONS NO UNIQUE ASTHETIC QUALITY
9	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT AREA HAS NO ASSOCIATED WATER COURSES SANDY SOIL TEXTURES
10	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	6, 8, 9, 13	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT AREA IS FLAT AND LOW FLOW VOLUME SANDY SOIL TEXTURES
11	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3, 8	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT WETLAND AREA IS NOT UNIQUE
12	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	10	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	NO ACCESSIBILITY NO RECREATIONAL VALUE
13	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	—	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SUBJECT AREA IS RESIDENTIAL WITH FEW FOOD SOURCES
14	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	1, 3, 7, 8	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

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www.des.nh.gov

NH METHOD FOR THE EVALUATION OF FRESHWATER WETLANDS *(revised December, 2015)*

Wetland Name/Code: # 1 Evaluation Date: 6/12/23 Evaluator: JOHN HAYES
CWS # 018

1 – ECOLOGICAL INTEGRITY

Evaluation Questions	Observations & Notes	Answers	Score
1. Are there land uses in the wetland's watershed that could degrade water quality in the wetland?	ABUTTING MOBILE HOME PARK	a. Less than 5% of the watershed has land uses that could degrade water quality. b. 5-10% of the watershed has land uses that could degrade water quality. c. > 10% of the watershed has land uses that could degrade water quality.	10 5 1
2. Is there evidence of fill in the wetland?	NONE	a. Less than 1 % b. From 1-3 % c. More than 3 %	10 5 1
3. What percentage of the wetland has been altered by agricultural activities?	NONE	a. Less than 5 % b. From 5 to 25 % c. More than 25 %	10 5 1
4. What percentage of the wetland has been adversely impacted by logging activity within the last 10 years?	NONE	a. Less than 1% b. From 1 to 10 % c. More than 10 %	10 5 1
5. How much human activity is taking place in the wetland (e.g. ATV use, trails, cars, dumping of brush and garbage, etc.)?	2 WOODROADS IN THE SUBJECT WETLAND AREA	a. Low: Few trails in use, little or no traffic, and little or no litter. b. Moderate: Some used trails, roads, litter c. High: Many trails, roads, and/or litter	10 5 1
6. What percentage of the wetland is occupied by invasive plant species?	NONE	a. None b. 1-5% of the wetland has invasive species c. > 5% of the wetland has invasive species	10 5 1
7. Are there roads, driveways and/or railroads crossing or adjacent to the wetland or come within 500 ft. of the wetland?	MOBILE HOME PARK ABUTS THE PROPERTY BEECH HILL ROAD IS WITHIN 500'	a. No roads, driveways or railroads. within 500 ft. of, or in the wetland b. Roads, driveways, railroads are within 500 ft of the wetland c. Roads, driveways, railroads cross, or are adjacent to, the wetland	10 5 1
8. How much human activity is taking place in the upland within 500 feet of the wetland edge?	SEVERAL HOUSE LOTS AND MOBILE HOME PARK WITHIN 500'	a. Less than 5% or no activity b. Human activity evident in up to 25% of the 500 ft zone c. Human activity evident in more than 25% of the 500 ft zone	10 5 1
9. What is the percent of impervious surface within 500 feet of the wetland edge?	BEECH HILL RD AND ROAD IN MOBILE HOME PARK	a. Less than 3% impervious area within 500 ft of the wetland edge b. 3-10% impervious area within 500 ft of the wetland edge c. Greater than 10% impervious area within 500 ft of the wetland edge	10 5 1
10. Is there a human-made structure that regulates the flow of water through the wetland?	2 INLET CULVERTS FROM ABUTTING LOT AND BEECH HILL RD	a. No human made structures present upstream of, or in the wetland. b. One or more human made structures present upstream of, or in the wetland but hydrologic modification is slight c. One or more human made structures present upstream of, or in the wetland that severely block or alter surface water hydrology	10 5 1

AVERAGE SCORE FOR ECOLOGICAL INTEGRITY
 (Add scores for each question and divide by 10)

7.2

- PLAN REFERENCES:
 1. SEE LOT LINE ADJUSTMENT PLAN D-30550 BY TOM BROUILLETTE, DATED 9/26/02 ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS
 2. SEE SUBDIVISION PLAN D-12478 BY RSL LAYOUT AND DESIGN, DATED 9/23/81 ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS

THE BOUNDARY INFORMATION WAS COPIED FROM PLAN REF. 1
 AREA OF LOT 11 PRIOR TO SUBDIVISION: 8.73± ACRES

THE INTENT OF THIS PLAN IS TO SUBDIVIDE A SINGLE RESIDENTIAL LOT FROM THE PARENT TRACT 11

THIS LAND IS ZONED R-1, LOW DENSITY, RESIDENTIAL
 MINIMUM REQUIREMENTS: LOT SIZE ~ 2 ACRES; FRONTAGE ~ 150';
 FRONT & REAR YARD SETBACK ~ 25'; SIDE SETBACK ~ 15'
 WETLAND SETBACKS ~ 75'; LIMITED USE WETLAND BUFFER ~ 40'
 FOR ADDITIONAL RESTRICTIONS, REQUIREMENTS AND PERMITS, REFER TO THE EXETER ZONING ORDINANCE AND SUBDIVISION REGULATIONS.

STATE SUBDIVISION APPROVAL NUMBER:

THE WETLANDS WERE DELINEATED BY JOHN P. HAYES, III, CWS#18 IN OCTOBER 2021 & OCTOBER 2022.

THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.

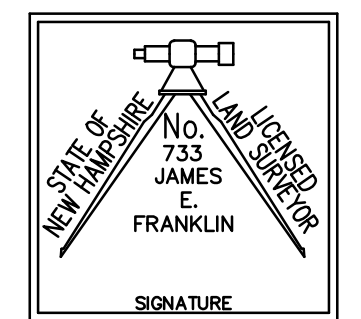
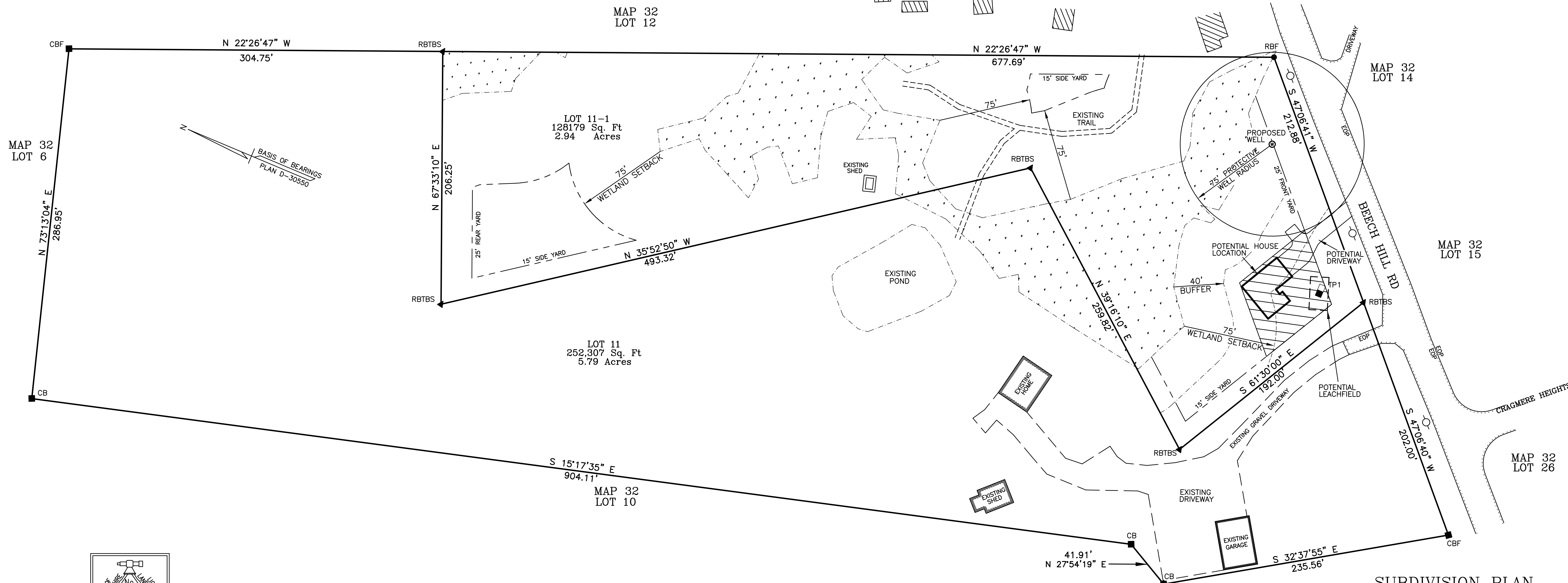
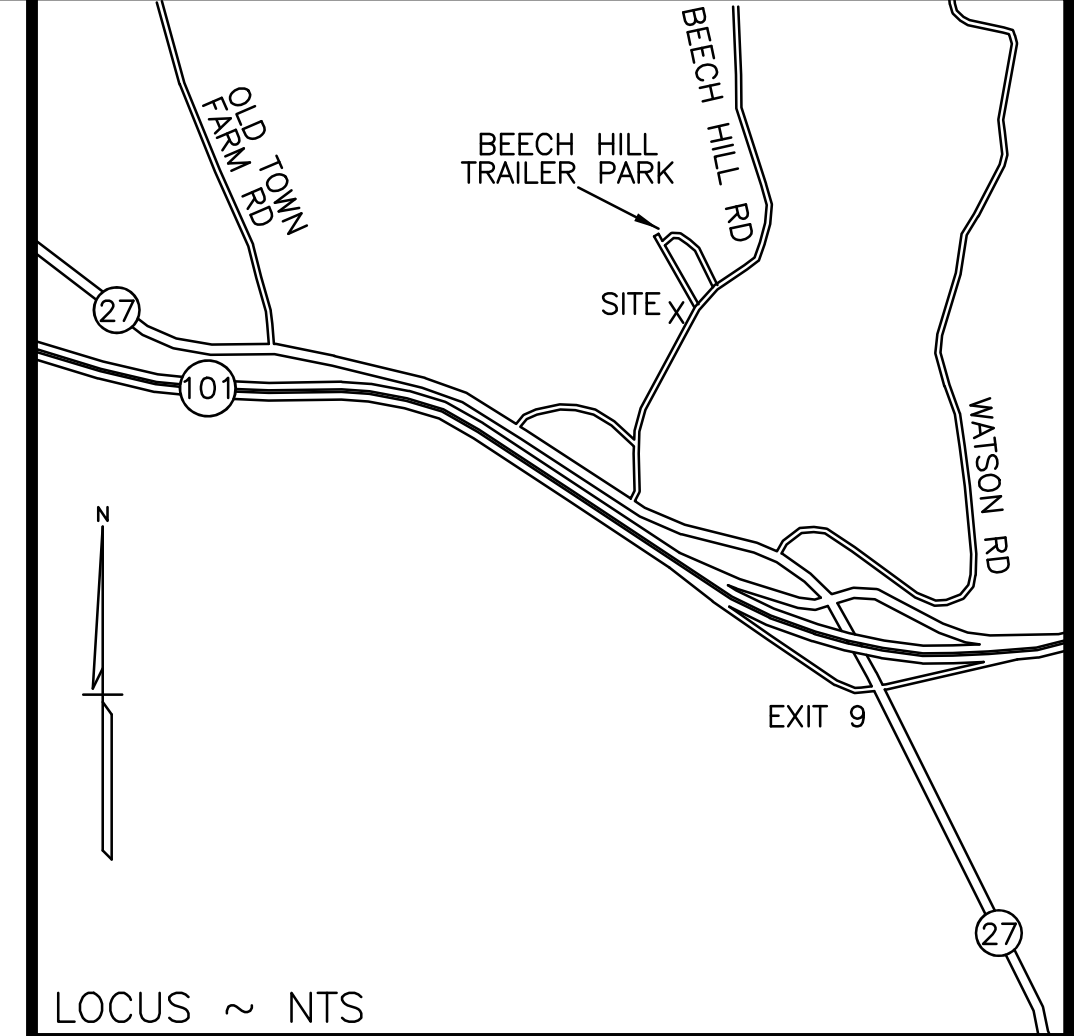
- ▲ EOP DENOTES EDGE OF PAVEMENT
- RBTBS DENOTES LOCATION OF REBAR TO BE SET
- RBF DENOTES LOCATION OF REBAR FOUND
- CBF DENOTES LOCATION OF CONCRETE BOUND FOUND
- GBS DENOTES LOCATION OF GRANITE BOUND SET
- CB DENOTES LOCATION OF CONCRETE BOUND PER PLAN REFERENCE 1.
- UTILITY POLE
- PROPOSED WELL
- - - - - EDGE OF WETLANDS
- ▨ BUILDING SETBACKS
- ▨ STATE OF NH DES 4K AREA

PER FEMA FIRM PANEL 33015C0238F WITH AN EFFECTIVE DATE OF 1/29/21, LOT 11 IS LOCATED IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.

ABUTTERS

- MAP 32 LOT 6
PAUL SLEMP
5 STELLA WAY
EXETER, NH 03833
- MAP 32 LOT 10
JACOB FREEDMAN
16 BEECH HILL RD
EXETER, NH 03833
- MAP 32 LOT 14
STEPHEN & MARY O'DONNELL
19 BEECH HILL RD
EXETER, NH 03833
- MAP 32 LOT 26
ERIC & MARIA SHERER
3 CRAGMERE HEIGHTS
EXETER, NH 03833
- MAP 32 LOT 12
BEECH TREE COOP, INC
C/O CARDINAL POINT
PROPERTY MGMT
520B PORTSMOUTH AVE
GREENLAND, NH 03840
- MAP 32 LOT 15
CRAGMERE HEIGHTS
HOMEOWNERS ASSOC., INC
C/O MATTHEW BEZREH
14 CRAGMERE HEIGHTS
EXETER, NH 03833

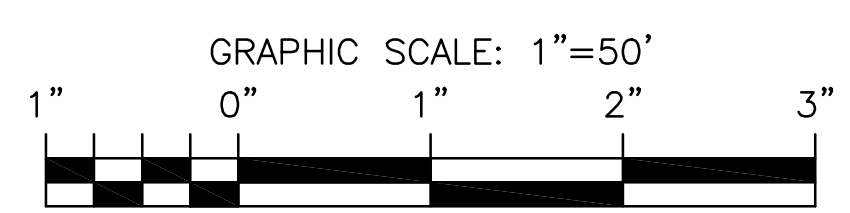
OWNER OF RECORD:
 MAP 32 LOT 11
 S&T MALONEY FAMILY REVOC. TRUST
 STEVEN & TERRY MALONEY, TRUSTEES
 18 BEECH HILL RD
 EXETER, NH 03833
 RCRD BK. 5603 PG. 558



FRANKLIN ASSOCIATES, LLC
 New Hampshire ~ Massachusetts ~ Connecticut
 Land Surveyors & Septic System Designers
 143 RAYMOND ROAD, CANDIA, NH 03034
 Tel. (603) 483-3096
 www.JEFLS.com

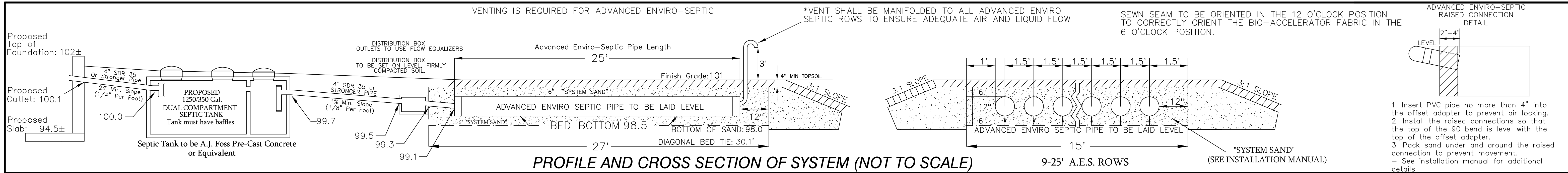
TOWN OF EXETER, PLANNING BOARD

CHAIRPERSON _____ DATE: _____



TO CONVERT DISTANCES SHOWN TO METERS, MULTIPLY BY 0.3048006

SUBDIVISION PLAN
 LAND OF
 S&T MALONEY FAMILY
 REVOCABLE TRUST
 Tax Map 32 Lot 11
 18 BEECH HILL RD
 EXETER, NH
 SCALE: 1"=40' JUNE 2, 2023



TEST PIT 1

0-7"	10YR 2/2 Loamy Sand Granular Friable
7-24"	10YR 6/6 Loamy Sand Granular Friable
24-76"	2.5Y 6/3 Fine Sand Massive Loose

ESHWT @ 24"
Obs. Water @ 66"
No Refusal
Redox @ 24"

SITE DATA:
SOIL TYPE: 313A DEERFIELD, LOAMY FINE SAND
SOURCE: <http://websoilsurvey.sc.egov.usda.gov>

TEST PIT DATA:
Date of test pits: October 5, 2022
Inspected by: Michael Cuomo, CSS, CWS
Jason Franklin

BENCHMARKS:
1. NAIL SET IN ROOT 12" HEMLOCK
ELEV: 100.2
2. NAIL SET IN ROOT 24" WH.PINE
ELEV: 98.7

LEACH BED REQUIREMENTS
Estimated Perc Rate: 8min/1"
PROPOSED 3 BEDROOM HOME
TOTAL LOADING: 450 GPD

ADVANCED ENVIRO-SEPTIC SIZING:
LINEAR FEET REQUIRED: 210 LF
LINEAR FEET PROVIDED: 225 LF
Install 9-25' Lines, Spaced 1.5' On Center
Bed Size: 15' x 27'

DESIGN INTENT:
HIGH CONTOUR: 98.5
THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM
SHALL BE CONSTRUCTED AT 98.5
ELEVATION AND IS APPROXIMATELY AT ORIGINAL
GROUND ON THE HIGH CONTOUR OF THE
DESIGNED EFFLUENT DISPOSAL SYSTEM.

GENERAL NOTES:

- Franklin Associates/ Jason Franklin assumes no liability in the preparation of this plan with respect to the installation and operation of the system unless contracted to inspect and approve the materials and procedures used to install this system.
- The contractor is responsible for verifying and observing all State and Local regulations, restrictions and setbacks prior to and during construction.
- No vehicle traffic shall pass over this system or any of its components unless otherwise noted.
- No VPD soils within 75' feet of the proposed system.
- No permanent structures shall be built upon the leachfield area.
- In the case of leachfield failure, the replacement system is to be constructed in the same place, after proper removal and disposal of any sludge or solids from beneath the failed system.
- There was no observed burial site or cemetery within 100 ft. of any component of the ISDS.
- Subdivision Approval # - Pending
- See subdivision plan by this office.
- The wetlands were identified and delineated in accordance with Env-Wq 1014.06 by John P. Hayes, CWS, CSS in October 2020 & October 2021

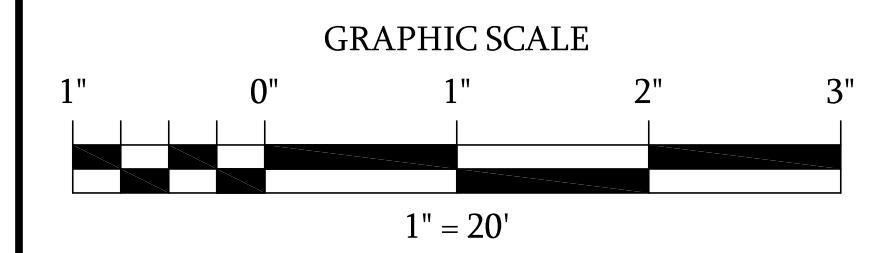
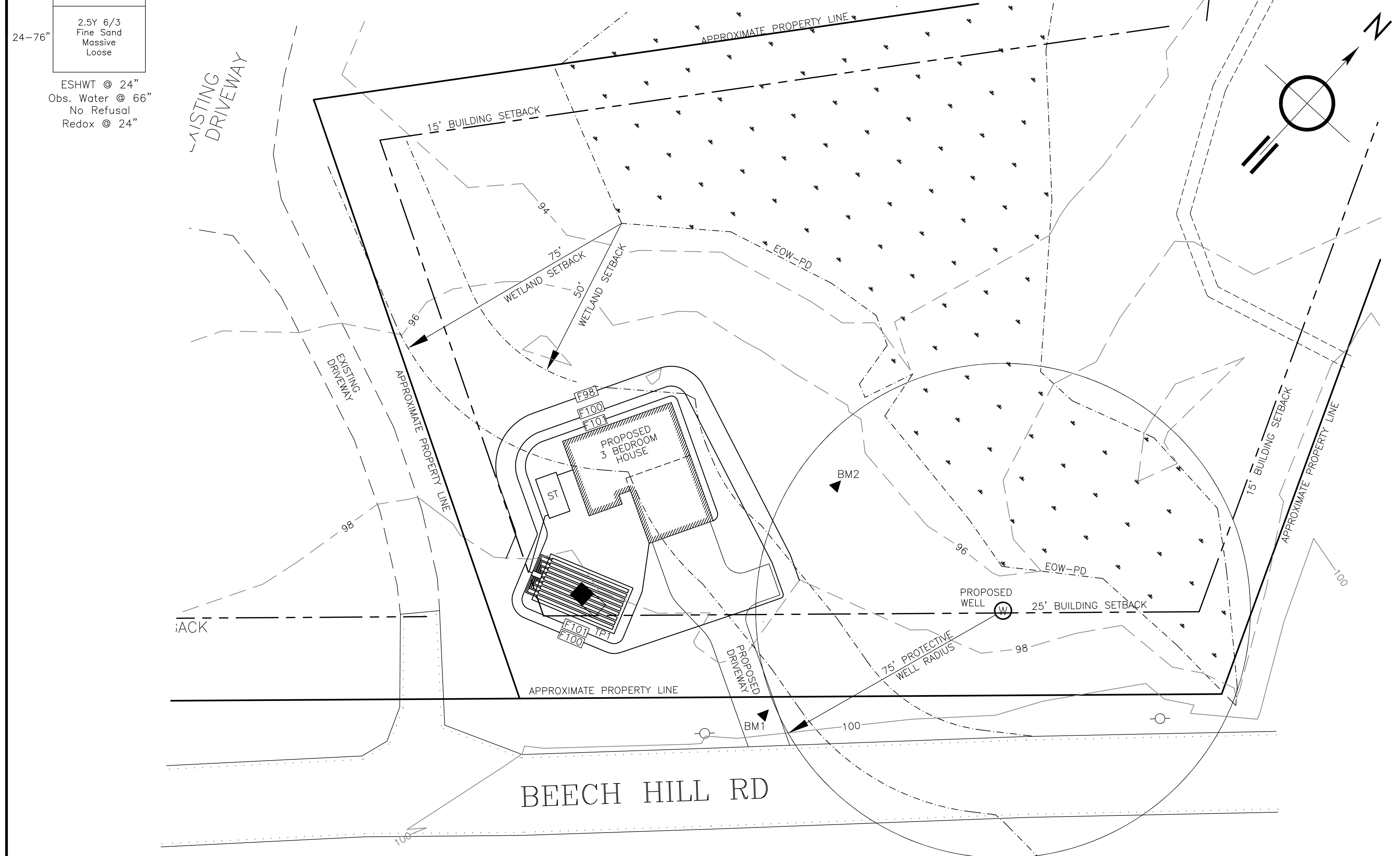
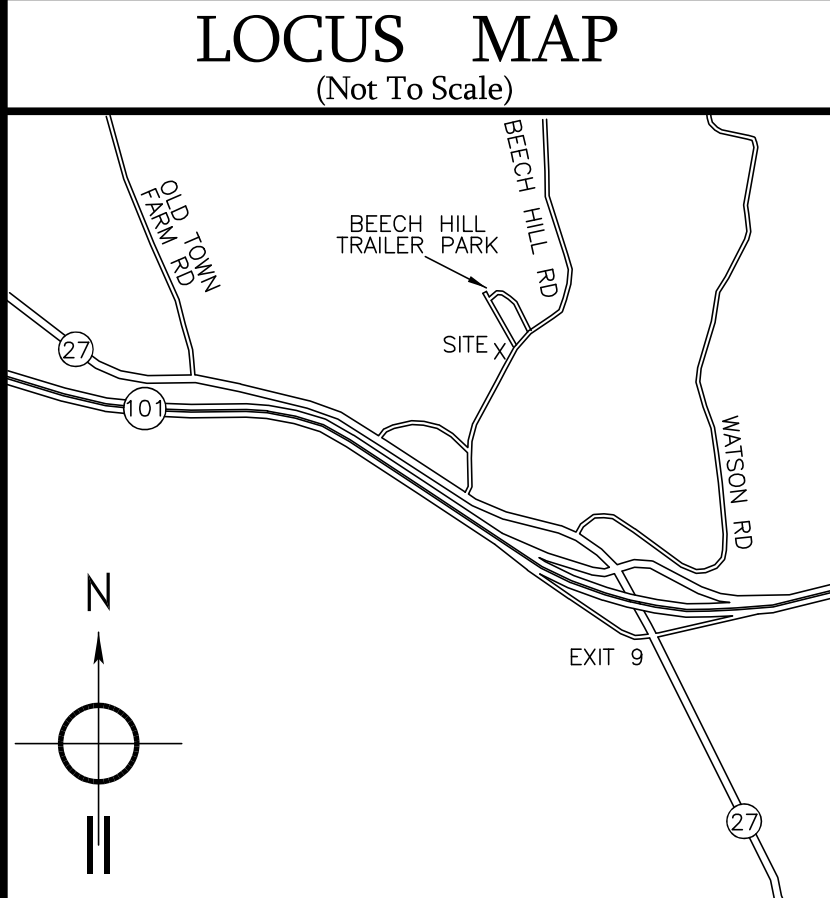
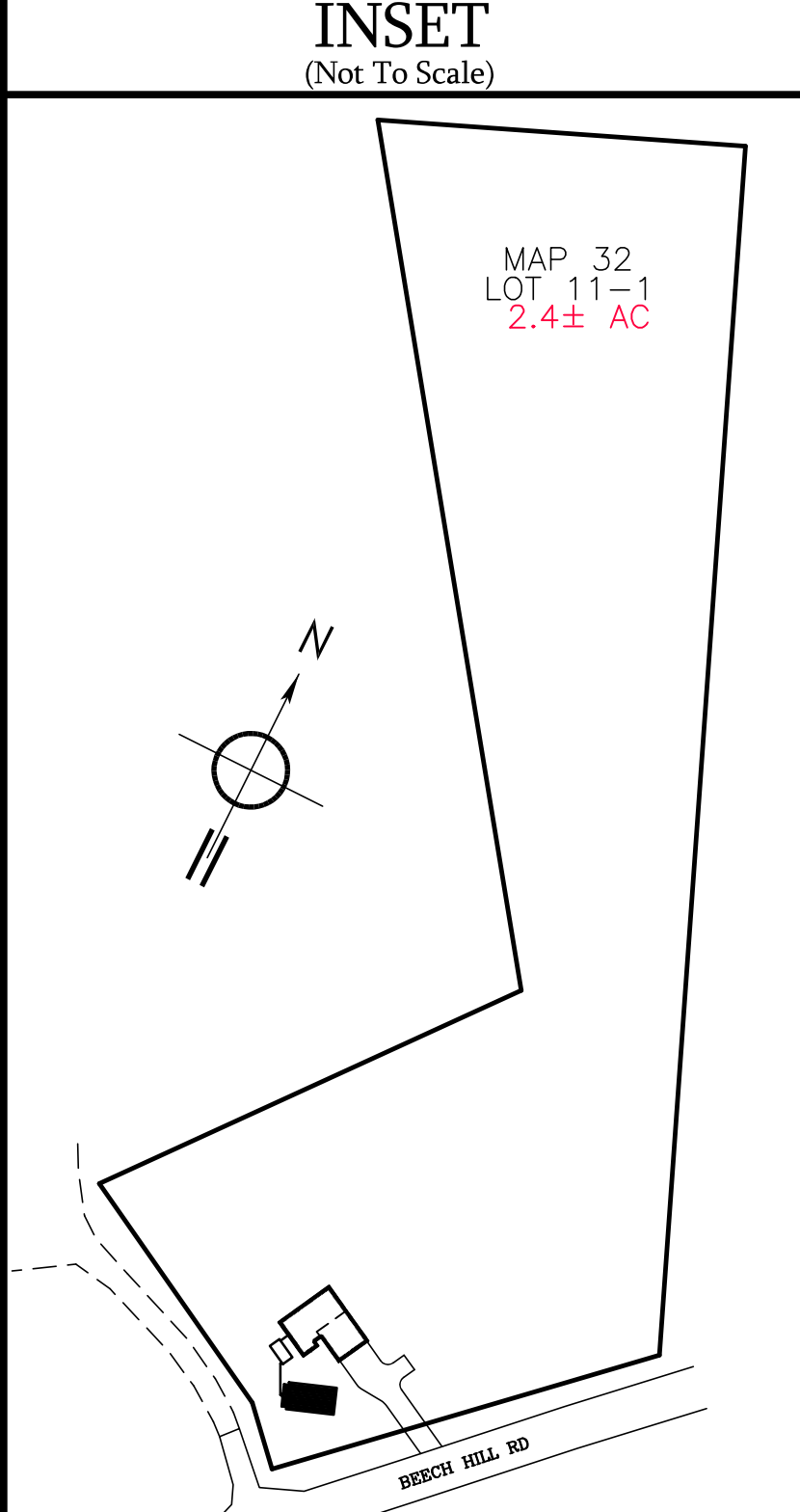
LOT LOADING:

313A-DEERFIELD- .44ac	550 GPD
140C-CHATFIELD-HOLLIS-CANTON- 0.45ac	562GPD
TOTAL LOADING:	1,112 GPD

(LOT LOADING TOTALS DO NOT INCLUDE AREA WITHIN WELL RADIi OR ANY WETLAND AREAS.)

SYSTEM NOTES:

- This system MUST be installed in strict accordance with the approved plan. ANY change MUST be approved by the designer and may require additional State and local approvals prior to construction.
- The 2019 Advanced Enviro-Septic System Design and Installation manual is part of this design. The Manual can be downloaded at <http://presbyeco.com/> or contact designer.
- Advanced Enviro-Septic System shall be installed and maintained per published Advanced Enviro-Septic System guidelines. (See manual)
- ANY discrepancies between the approved plans and/or site conditions SHALL be reported by the installer to the designer prior to construction.
- This septic system has not been designed for the use of garbage disposals or water treatment systems. The discharge of any or all into the system may result in premature failure.
- All trees, bushes, boulders, topsoil and debris must removed prior to the installation of the system
- Soil surfaces to be raked prior to placing fill throughout the leachfield area.
- 2019 Advanced Enviro-Septic "system sand" must meet specific requirements. ASTM C-33, or "concrete sand", MAY be acceptable provided that no more than 3% can pass a #200 sieve. For further specifications, please see the 2019 Advanced Enviro Septic Installation and Design Manual.
- Sand used to raise the elevation of the system, as well as the surrounding back fill material, shall meet Env-Wq 1021.03 requirements.
- The "bed bottom" for Enviro-Septic Systems is the bottom of the Enviro-Septic Pipe.
- Sewn seam must be oriented in the 12 O'Clock position. This correctly orients the Bio-Accelerator fabric in the 6 O'Clock position.
- All setback distances are measured from the outside perimeter of the Advanced Enviro-System Pipe.
- Venting is required for the Advanced Enviro System
- All connections in and out of septic tank shall be sealed with a watertight, flexible joint connector in accordance with Env-Wq 1010.08(A)
- The septic tank should be tested for water tightness and resealed if necessary prior to inspection and back filling.
- Access to the interior of the septic tank shall conform to Env-Wq 1010.05
- The septic tank should be pumped out regularly for proper operation.
- D-Box to have a minimum of 9 outlets.



This plan is NOT a boundary survey and should not be considered as such. The property lines shown are approximate only and are shown only for the purposes of this septic system design. A licensed land surveyor should be contacted if verification of the boundary lines is needed.

PRELIMINARY

DESIGNER:
Jason E. Franklin
No. 1803
Department of Environmental Services

LEGEND

ST Septic Tank	Test Pit
Tree (typ.)	Benchmark
Pine Tree	Well
90 Existing Elev.	Utility Pole
F90 Finished Elev.	

ADVANCED ENVIRO-SEPTIC SEPTIC SYSTEM PLAN
Tax Map 32 Lot 11-1
18 Beech Hill Rd
Exeter, NH,
Prepared For
Brice Maloney
18 Beech Hill Rd
Exeter, NH

APPLICANT: Franklin Associates, LLC
143 Raymond Rd, Unit 4, Candia, NH 03034
jefranklin@atlanticb.net 603-860-0016

DATE: 3-13-22



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: August 17, 2023
To: Planning Board
From: Dave Sharples, Town Planner
Re: Elizabeth A. Hewson Revocable Trust PB Case #23-12

The Applicant is seeking a minor subdivision of an existing 2.30-acre parcel located at 45 Pine Street into three (3) residential lots. The Applicant is proposing to create a 1.30-acre parcel for the existing residence with frontage on Pine Street; and two (2) new residential lots, measuring .52-acre (22,701 SF) and .48-acre (20,700 SF) in area, each with frontage on Nelson Drive. The subject property is located in the R-2, Single Family Residential zoning district and is identified as Tax Map Parcel #83-59.

The Applicant had previously received a conditional approval for a minor subdivision of this property at the June 8th, PB meeting (PB Case #23-5). A copy of the approval letter, previously approved plan and minutes from that meeting are enclosed for reference. It was determined that a CUP was needed.

The Applicant has submitted a revised minor subdivision application, a Shoreland Conditional Use Permit (CUP) application, plans and supporting documents, dated June 28th, 2023, which are enclosed for your review.

There was no Technical Review Committee meeting, however, the plans were reviewed by staff for compliance with zoning and subdivision regulations. Code Enforcement Officer Doug Eastman has determined that the proposal meets the minimum dimensional requirements. I did receive some comments from Paul Vlasich via email that are enclosed. I will work with the applicant and Paul on how these comments will be addressed and update the Board at the meeting.

The Applicant appeared before the Conservation Commission at their August 8th, 2023 meeting to present their Shoreland CUP application. The Commission voted in support with the condition that the fertilizer limits defined by 9.3.4.F.12 be added as a note on the recorded plans.

There are no waivers being requested in conjunction with this application.

I will be prepared with suggested conditions of approval at the meeting in the event the board decides to act on the request.

Planning Board Motion:

Minor Subdivision Motion: I move that the request of Elizabeth A, Hewson Revocable Trust (PB Case #23-12) for Minor Subdivision approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Conditional Use Permit (Shoreland) Motion: After reviewing the criteria for a Shoreland Conditional Use permit, I move that the request of Elizabeth A. Hewson Revocable Trust (PB Case #23-12) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures

Millennium Engineering, Inc.

P.O. Box 745
(603) 778-0528

Exeter, NH 03833
FAX (603) 772-0689

June 27, 2023

Town of Exeter
Planning Board
10 Front Street
Exeter, NH 03833


Re: Application for Minor Subdivision Map 83 Lot 59, 45 Pine Street Exeter, NH.

Dear Chairman:

The request is made to divide this 3.2-acre parcel into 3 lots. The existing dwelling will reside on Lot 1 which will be 56,758 s.f. in size. Lot 2 shall contain 20,700 s.f. and Lot 3 shall contain 22,701 s.f.

This proposal also has a Conditional Use Permit application as the parcel falls within the 300' setback form wetlands contiguous to the Little River.

Respectfully,


Henry H. Boyd, Jr., LLS
Millennium Engineering Inc.



RECEIVED

JUN 28 2023

EXETER PLANNING OFFICE

TOWN OF EXETER
MINOR SUBDIVISION, MINOR
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

MINOR SITE PLAN

MINOR (3lots or less) SUBDIVISION LOTS

LOT LINE ADJUSTMENT

PB# 23-12	APPLICATION
6/28/23	DATE RECEIVED
125.00	APPLICATION FEE (+ 50.00 CWP app)
100.00	PLAN REVIEW FEE
100.00	ABUTTER FEE
50.00	LEGAL NOTICE FEE
	INSPECTION FEE
\$425.00	TOTAL FEES
	AMOUNT REFUNDED

pc.v# 8229 6/28/23
lsm

1. NAME OF LEGAL OWNER OF RECORD: ELIZABETH A. HEWSON REV, TRUST

ADDRESS: 45 PINE STREET EXETER, NH 03833

TELEPHONE: 603 285-5220

2. NAME OF APPLICANT: SAME

ADDRESS: _____

TELEPHONE: () _____

3. RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER: _____

(Written permission from Owner is required, please attach.)

4. DESCRIPTION OF PROPERTY:

ADDRESS: 45 PINE STREET

TAX MAP: 83 PARCEL #: 59 ZONING DISTRICT: R-2

AREA OF ENTIRE TRACT: 2.30 ACRES PORTION BEING DEVELOPED: DIVISION

100,159 S.F. INTO 3 LOTS



5. EXPLANATION OF PROPOSAL: PROPOSAL IS TO DIVIDE LOT INTO 3 PARCELS. LOT 1 WILL BE 56,758 S.F. (1.30 ACRES) AND CONTAIN EXISTING DWELLING. LOT 2 WILL BE 20,700 S.F. (0.48 ACRES) AND LOT 3 WILL BE 22,701 S.F. (0.52 ACRES)

6. ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO) _____
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. <u>22 X 34 PLAN</u>	<u>7</u>
B. <u>11 X 17 PLAN</u>	<u>15</u>
C. _____	_____
D. _____	_____
E. _____	_____
F. _____	_____

8. ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO) NO IF YES, ATTACH COPY.

9. NAME AND PROFESSION OF PERSON DESIGNING PLAN:

NAME: HENRY H BOYD JR, LLS
 ADDRESS: P.O. BOX 745 EXETER, NH
 PROFESSION: LAND SURVEYOR TELEPHONE: (603) 778-0528

10. LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED: NONE AT THIS TIME



11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) NO IF YES, LIST BELOW AND NOTE ON PLAN.

NOTICE:

I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 6/28/23 APPLICANT'S SIGNATURE [Signature]

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.

CHRIST CHURCH OF EXETER
43 PINE ST
EXETER, NH 03833

LISA PARMELEE
KEVIN PARMELEE
83 COURT ST
EXETER, NH 03833

JENDISS FRIZZELL
84 COURT ST
EXETER, NH 03833

CHRISTOPHER DION & SHERYL DION
86 COURT ST
EXETER, NH 03833

PHILLIPS EXETER ACADEMY
20 MAIN ST
EXETER, NH 03833

92 COURT STREET REALTY TRUST
MAGGIE & KYLE MCGRADY
92 COURT ST
EXETER, NH 03833

MARK J DIFABIO
KATHY BUSCHER DIFABIO
94 COURT ST
EXETER, NH 03833

THOMAS SCANLON
KAREN SCANLON
87 SOUTH RD
NORTH HAMPTON, NH 03862

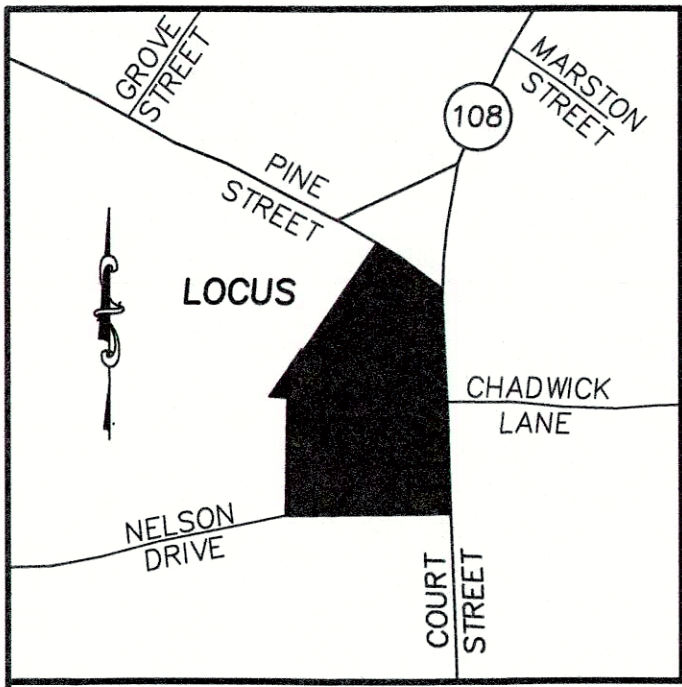
NORTH COURT STREET
95 COURT STREET
EXETER, NH 03833

Applicant: Elizabeth A. Hewson
Rev. Trust
45 Pine Street
Exeter, NH. 03833



CHECK LIST FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION AND LOT LINE ADJUSTMENT

APPLICANT	TRC	REQUIRED EXHIBITS, SEE REGULATION 6.6.2.4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a) The name and address of the property owner, authorized agent, the person or firm preparing the plan, and the person or firm preparing any other data to be included in the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Title of the site plan, subdivision or lot line adjustment, including Planning Board Case Number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) Scale, north arrow, and date prepared.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Location of the land/site under consideration together with the names and address of all owners of record of abutting properties and their existing use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) Tax map reference for the land/site under consideration, together with those of abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f) Zoning (including overlay) district references.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g) A vicinity sketch showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 1,000-feet.
<input type="checkbox"/>	<input type="checkbox"/>	h) For minor site plan review only, a description of the existing site and proposed changes thereto, including, but not limited to, buildings and accessory structures, parking and loading areas, signage, lighting, landscaping, and the amount of land to be disturbed.
N/A <input type="checkbox"/>	<input type="checkbox"/>	i) If deemed necessary by the Town Planner, natural features including watercourses and water bodies, tree lines, and other significant vegetative cover, topographic features and any other environmental features which are significant to the site plan review or subdivision design process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	j) If deemed necessary by the Town Planner, existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
J/A <input type="checkbox"/>	<input type="checkbox"/>	k) If deemed necessary by the Town Planner for proposed lots not served by municipal water and sewer utilities, a High Intensity Soil Survey (HISS) of the entire site, or portion thereof. Such soil surveys shall be prepared and stamped by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.
J/A <input type="checkbox"/>	<input type="checkbox"/>	l) State and federal jurisdictional wetlands, including delineation of required setbacks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m) A note as follows: "The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	n) Surveyed exterior property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.



PLAN REFERENCES

"BOUNDARY SURVEY - MACDONALD PROPERTY
PINE STREET & COURT STREET EXETER, NH"
SCALE: 1"=40' DATE: FEB. 29, 2001
BY: GERRIT CONSULTING
NOT RECORDED

"PLAN OF LAND FOR CHRIST EPISCOPAL CHURCH
EXETER, NH"
SCALE: 1"=40' DATE: DEC. 1963
BY: JOHN W. DURGIN CIVIL ENGINEERS
#953

PLAN NOTE

THE PURPOSE OF THIS PLAN IS TO SHOW THE DIVISION OF THIS PARCEL INTO 3 LOTS FOR RESIDENTIAL PURPOSES.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

ZONING DISTRICT

R-2 RESIDENTIAL

MINIMUM REQUIREMENTS

AREA	15,000 S.F.
AREA (TWO FAMILY)	24,000 S.F.
LOT WIDTH	100'
LOT DEPTH	100'
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	25'
BUILDING COVERAGE	
MAXIMUM	25%
OPEN SPACE	
MINIMUM	40%

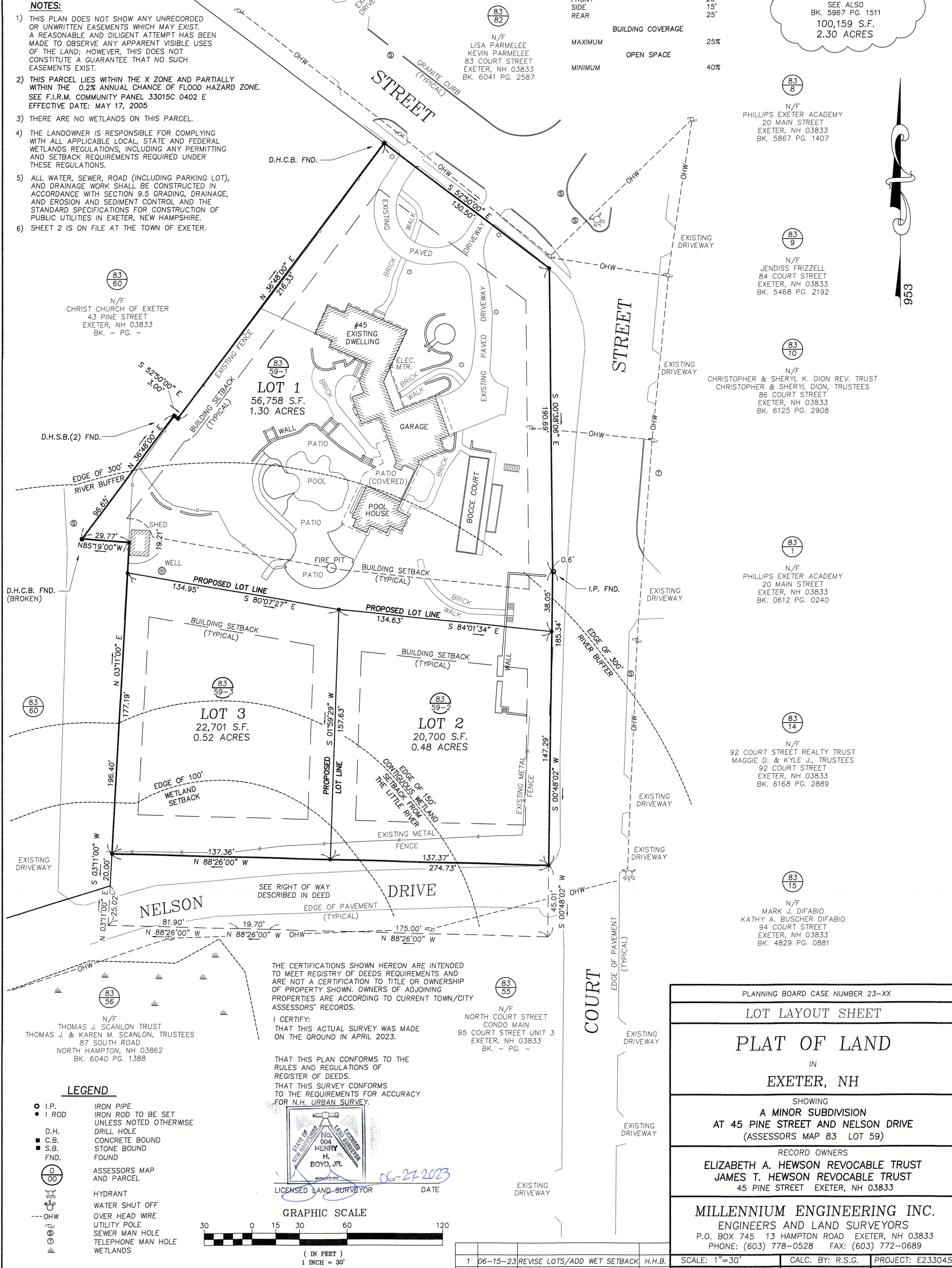
RECORD OWNERS

ELIZABETH A. HEWSON REV. TRUST OF 2002
ELIZABETH A. HEWSON, TRUSTEE
45 PINE STREET
EXETER, NH 03833
BK. 6248 PG. 0565
SEE ALSO
BK. 5967 PG. 1511
100,159 S.F.
2.30 ACRES

NOTES:

- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THIS PARCEL LIES WITHIN THE X ZONE AND PARTIALLY WITHIN THE 0.2% ANNUAL CHANCE OF FLOOD HAZARD ZONE. SEE F.I.R.M. COMMUNITY PANEL 33015C 0402 E EFFECTIVE DATE: MAY 17, 2005
- THERE ARE NO WETLANDS ON THIS PARCEL.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION AND SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- SHEET 2 IS ON FILE AT THE TOWN OF EXETER.

LOCUS MAP NOT TO SCALE



N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 5867 PG. 1407

N/F
JENISS FRIZZELL
84 COURT STREET
EXETER, NH 03833
BK. 5468 PG. 2192

N/F
CHRISTOPHER & SHERYL K. DION REV. TRUST
CHRISTOPHER & SHERYL DION, TRUSTEES
86 COURT STREET
EXETER, NH 03833
BK. 6125 PG. 2908

N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 0612 PG. 0240

N/F
92 COURT STREET REALTY TRUST
MAGGIE D. & KYLE J., TRUSTEES
92 COURT STREET
EXETER, NH 03833
BK. 6168 PG. 2889

N/F
MARK J. DIFABIO
KATHY A. BUSCHER DIFABIO
94 COURT STREET
EXETER, NH 03833
BK. 4829 PG. 0881

N/F
CHRIST CHURCH OF EXETER
43 PINE STREET
EXETER, NH 03833
BK. - PG. -

N/F
THOMAS J. SCANLON TRUST
THOMAS J. & KAREN M. SCANLON, TRUSTEES
87 SOUTH ROAD
NORTH HAMPTON, NH 03862
BK. 6040 PG. 1388

N/F
NORTH COURT STREET CONDO MAIN
95 COURT STREET UNIT 3
EXETER, NH 03833
BK. - PG. -

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.

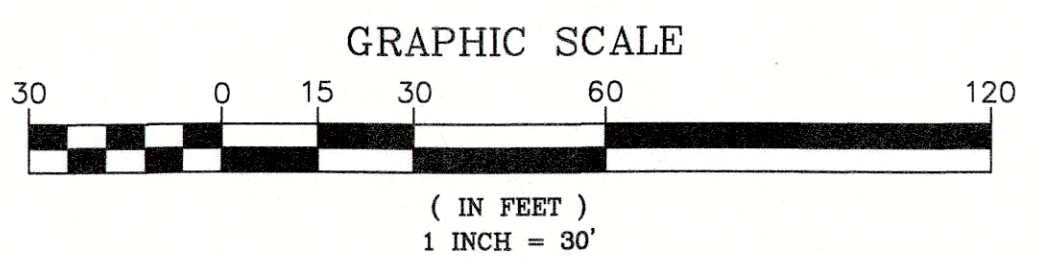
I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN APRIL 2023.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF REGISTER OF DEEDS.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.

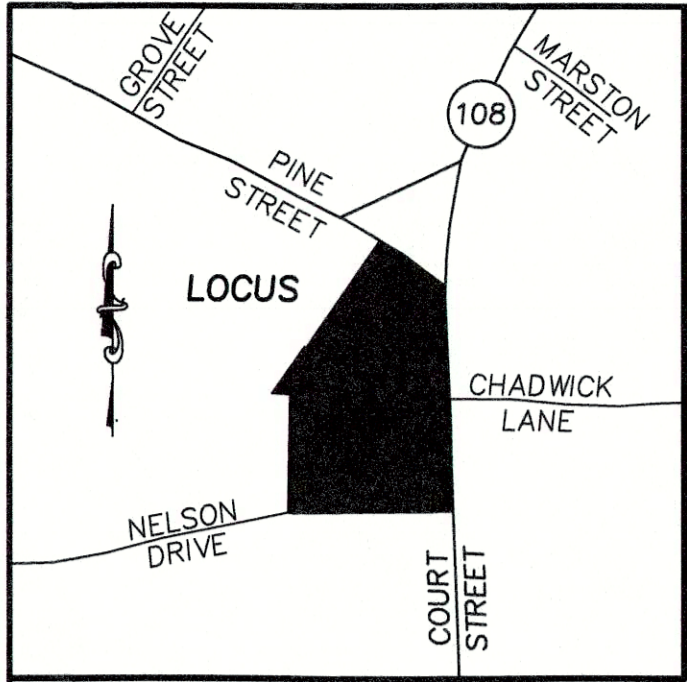
(Signature)
HENRY H. BOYD, JR.
LICENSED LAND SURVEYOR
DATE: 06-27-2023

LEGEND

- I.P. IRON PIPE
- I ROD IRON ROD TO BE SET UNLESS NOTED OTHERWISE
- D.H. DRILL HOLE
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- FND. FOUND
- ASSESSORS MAP AND PARCEL
- HYDRANT
- WATER SHUT OFF
- OHW OVER HEAD WIRE
- UTILITY POLE
- SEWER MAN HOLE
- TELEPHONE MAN HOLE
- WETLANDS



PLANNING BOARD CASE NUMBER 23-XX			
LOT LAYOUT SHEET			
PLAT OF LAND			
IN EXETER, NH			
SHOWING A MINOR SUBDIVISION AT 45 PINE STREET AND NELSON DRIVE (ASSESSORS MAP 83 LOT 59)			
RECORD OWNERS ELIZABETH A. HEWSON REVOCABLE TRUST JAMES T. HEWSON REVOCABLE TRUST 45 PINE STREET EXETER, NH 03833			
MILLENNIUM ENGINEERING INC. ENGINEERS AND LAND SURVEYORS P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833 PHONE: (603) 778-0528 FAX: (603) 772-0689			
1	06-15-23	REVISE LOTS/ADD WET SETBACK	H.H.B.
NO.	DATE	DESCRIPTION	BY
SCALE: 1"=30'		CALC. BY: R.S.G.	PROJECT: E233045
DATE: MAY 02, 2023		CHKD. BY: H.H.B.	SHEET 1 OF 2



PLAN NOTE
 THE PURPOSE OF THIS PLAN IS TO SHOW THE DIVISION OF THIS PARCEL INTO 3 LOTS FOR RESIDENTIAL PURPOSES.

LOT 1
 52,151 S.F.

EXISTING DWELLING
 3,214 S.F. = 6.2% OF LOT AREA
 EXISTING LOT COVERAGE
 16,320 S.F. = 31.3% OF LOT AREA
 OPEN SPACE = 68.7% OF LOT AREA

ZONING DISTRICT
R-2 RESIDENTIAL

MINIMUM REQUIREMENTS

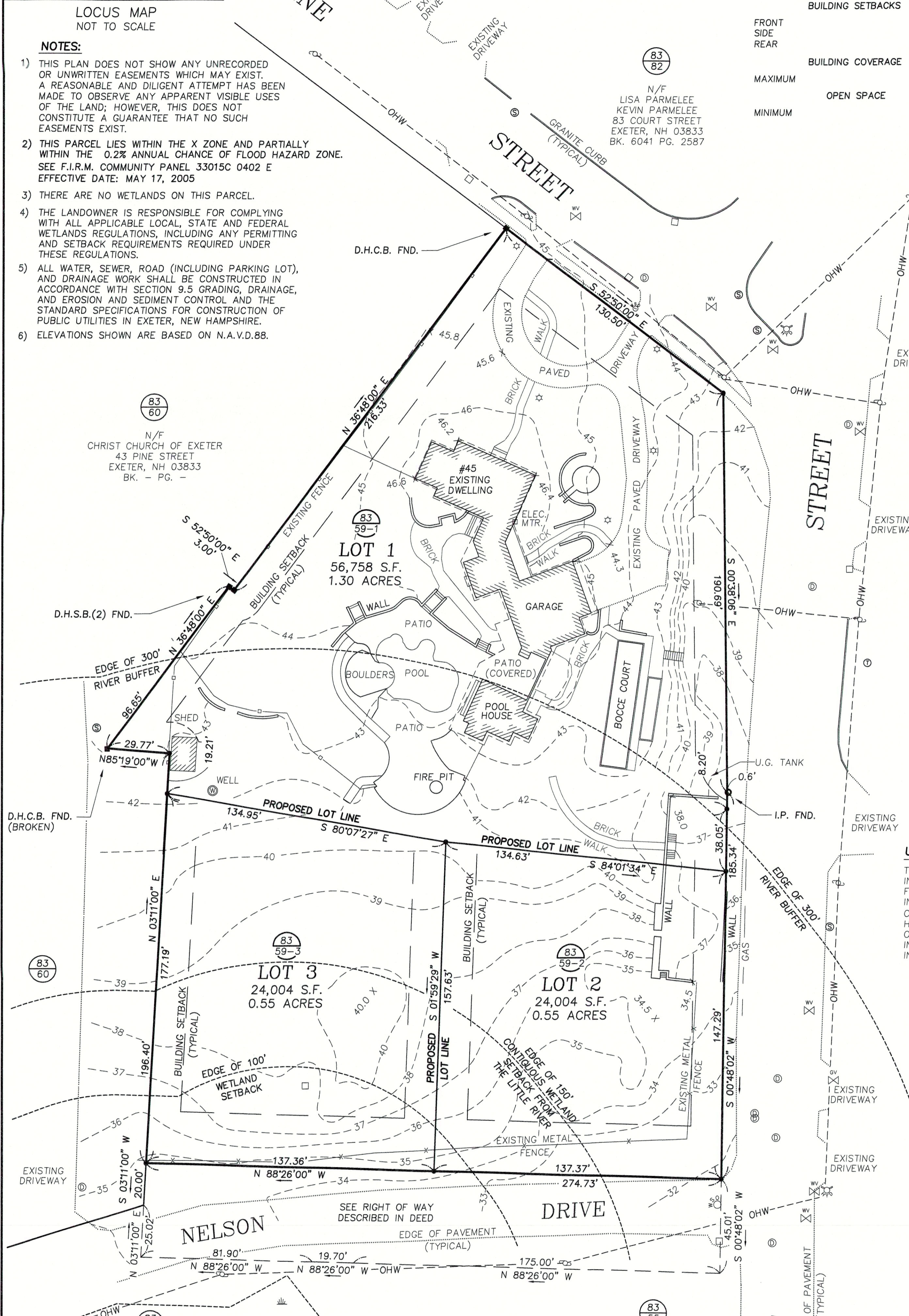
AREA (TWO FAMILY)	15,000 S.F.
LOT WIDTH	24,000 S.F.
LOT DEPTH	100'
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	25'
BUILDING COVERAGE	
MAXIMUM	25%
OPEN SPACE	
MINIMUM	40%

RECORD OWNERS

ELIZABETH A. HEWSON REV. TRUST OF 2002
 ELIZABETH A. HEWSON, TRUSTEE
 45 PINE STREET
 EXETER, NH 03833
 BK. 6248 PG. 0565
 SEE ALSO
 BK. 5967 PG. 1511
 100,159 S.F.
 2.30 ACRES

NOTES:

- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THIS PARCEL LIES WITHIN THE X ZONE AND PARTIALLY WITHIN THE 0.2% ANNUAL CHANGE OF FLOOD HAZARD ZONE. SEE F.I.R.M. COMMUNITY PANEL 33015C 0402 E EFFECTIVE DATE: MAY 17, 2005
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- ELEVATIONS SHOWN ARE BASED ON N.A.V.D.88.



N/F
 PHILLIPS EXETER ACADEMY
 20 MAIN STREET
 EXETER, NH 03833
 BK. 5867 PG. 1407

N/F
 JENISS FRIZZELL
 84 COURT STREET
 EXETER, NH 03833
 BK. 5468 PG. 2192

N/F
 CHRISTOPHER & SHERYL K. DION REV. TRUST
 CHRISTOPHER & SHERYL DION, TRUSTEES
 86 COURT STREET
 EXETER, NH 03833
 BK. 6125 PG. 2908

N/F
 PHILLIPS EXETER ACADEMY
 20 MAIN STREET
 EXETER, NH 03833
 BK. 0612 PG. 0240

N/F
 92 COURT STREET REALTY TRUST
 MAGGIE D. & KYLE J., TRUSTEES
 92 COURT STREET
 EXETER, NH 03833
 BK. 6168 PG. 2889

N/F
 MARK J. DIFABIO
 KATHY A. BUSCHER DIFABIO
 94 COURT STREET
 EXETER, NH 03833
 BK. 4829 PG. 0881

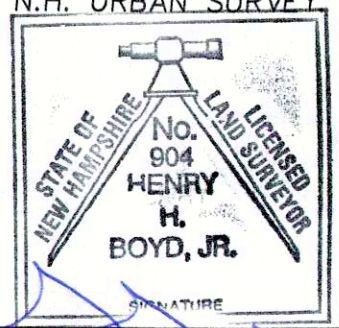
UTILITIES NOTE

THE LOCATION OF UTILITIES SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY OTHERS, AND WHERE POSSIBLE FROM MEASUREMENTS TAKEN IN THE FIELD, AND ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST MARKING OF UNDERGROUND UTILITIES. MILLENNIUM ENGINEERING, INC., ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED DIRECTLY OR INDIRECTLY RESULTING THEREFROM.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.

I CERTIFY:
 THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN APRIL 2023.

THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.

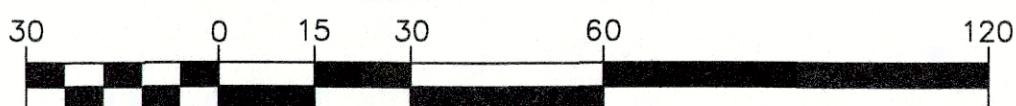


LICENSED LAND SURVEYOR DATE 06-27-2023

LEGEND

- I.P. IRON PIPE
- I ROD IRON ROD TO BE SET UNLESS NOTED OTHERWISE
- D.H. DRILL HOLE
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- FND. FOUND
- ASSESSORS MAP AND PARCEL
- HYDRANT
- WATER SHUT OFF
- OHW OVER HEAD WIRE
- UTILITY POLE
- SEWER MAN HOLE
- TELEPHONE MAN HOLE

GRAPHIC SCALE



(IN FEET)
 1 INCH = 30'

1	06-15-23	REVISE LOTS/ADD WET SETBACK	H.H.B.	SCALE: 1"=30'	CALC. BY: R.S.G.	PROJECT: E233045
NO.	DATE	DESCRIPTION	BY	DATE: MAY 02, 2023	CHKD. BY: H.H.B.	SHEET 2 OF 2

PLANNING BOARD CASE NUMBER 23-XX

LOT LAYOUT SHEET

PLAT OF LAND

IN
 EXETER, NH

SHOWING
 A MINOR SUBDIVISION
 AT 45 PINE STREET AND NELSON DRIVE
 (ASSESSORS MAP 83 LOT 59)

RECORD OWNERS
 ELIZABETH A. HEWSON REVOCABLE TRUST
 JAMES T. HEWSON REVOCABLE TRUST
 45 PINE STREET EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
 ENGINEERS AND LAND SURVEYORS
 P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
 PHONE: (603) 778-0528 FAX: (603) 772-0689



Town of Exeter Planning Board Application

RECEIVED

Conditional Use Permit: Shoreland Protection District
In accordance with Zoning Ordinance Article: 9.3

JUN 28 2023

P/H date 8/24/23

EXETER PLANNING OFFICE

SUBMITTAL REQUIREMENTS:

(see Conservation Commission and Planning Board meeting dates and submission deadlines)

- One (1) electronic copy of full application, including plans (color copy if available)
- Fifteen (15) copies of the Application
- Fifteen (15) 11"x17" and three (3) full sized copies of the plan which must include:

Existing Conditions

- Property Boundaries
- Edge of Shoreland and associated Buffer (Shoreland Protection District - SPD)
- Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements

Proposed Conditions

- Edge of Shoreland and Shoreland Buffers and distances to the following:
 - Edge of Disturbance
 - Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
 - Name and phone number of all individuals whose professional seal appears on the plan
- If applicant and/or agent is not the owner, a letter of authorization must accompany this application
 - Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
 - A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:
Planning Board Fee: \$50.00 Abutter Fee: \$10.00 Recording Fee (if applicable): \$25.00

(included w/ subdivision application)

pt. 6/28/23 ✓ # 8229 \$50.00

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: ELIZABETH A. HEWSON REV. TRUST
	Address: 45 PINE STREET EXETER, NH 03833
	Email Address:
	Phone:
PROPOSAL PROPOSED →	Address: NELSON DRIVE
	Tax Map # 83 Lot# Zoning District: R-2
	Owner of Record: SAME 59-2 & 59-3
Person/Business performing work outlined in proposal N/A	Name:
	Address:
	Phone:
Professional that delineated wetlands ★	Name:
	Address:
	Phone:

NO WETLANDS ON SITE. RESOURCE LINE USED WAS TAKEN FROM PLAN FOR THOMAS SCANLON FOR WORK AT MAP 83 LOT 56.

**Town of Exeter
Planning Board Application
Conditional Use Permit: Shoreland Protection District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

THERE IS NO INTENT AT THIS TIME TO BUILD THE WORK PROPOSED ON THE PLANSET (PROPOSED DWELLING, DRIVEWAY & GRADING FOR LOTS 2 & 3), THIS C. U. P. IS TO DEMONSTRATE COMPLIANCE WITH THE REGULATIONS WITHIN THE SHORELAND PROTECTION DISTRICT.

Shoreland Protection District Impact (in square footage):

Water Body		LOT 2	LOT 3
Temporary Impact	<input checked="" type="checkbox"/> 300 Foot SPD	3,237	5,390
	<input checked="" type="checkbox"/> 150 foot SPD	837	3,145
	<input checked="" type="checkbox"/> SPD Building Setback	N/A	1,136
	<input checked="" type="checkbox"/> 75 Vegetative Buffer	N/A	406
Permanent Impact	<input checked="" type="checkbox"/> 300 Foot SPD	3,596	4,275
	<input checked="" type="checkbox"/> 150 foot SPD	818	2,100
	<input type="checkbox"/> SPD Building Setback	N/A	789
	<input type="checkbox"/> 75 Vegetative Buffer	N/A	349
Impervious Lot Coverage	SF of Lot within District	22,701	20,700
	SF of Impervious within District	3,596	4,275
	% of Impervious within District	15.8	20.7

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

Describe how your proposal meets the conditions of Article 9.3.4.G.2 of the Zoning Ordinance (attached for reference): a. THE ROOFTOP AREAS AND DRIVEWAY RUNOFF WILL BE DIRECTED TO INFILTRATION TRENCHES. b. PROPOSAL WILL NOT DISCHARGE WASTEWATER OR TOXIC WASTE. c. PROPOSAL IS SEPARATED FROM RIVER BY A ROADWAY AND IS CURRENTLY LAWN AREA. d. COMPLIES. e. SEE a. ABOVE,



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 83-8 & 83-1
 NAME PHILLIPS EXETER ACADEMY
 ADDRESS 20 MAIN STREET
EXETER, NH 03833

TAX MAP 83-82
 NAME LISA & KEVIN PARMALEE
 ADDRESS 83 COURT STREET
EXETER, NH 03833

TAX MAP 83-9
 NAME JENNIS FRIZZELL
 ADDRESS 84 COURT STREET
EXETER, NH 03833

TAX MAP _____
 NAME Millennium Engineering
 ADDRESS 13 Hampton Road POB 745
Exeter NH. 03833

TAX MAP 83-10
 NAME CHRISTOPHER & HERYL DION TRUST
 ADDRESS 86 COURT STREET
EXETER, NH 03833

TAX MAP _____
 NAME _____
 ADDRESS _____

TAX MAP 83-14
 NAME 92 COURT STREET REALTY TRUST
 ADDRESS 92 COURT STREET
EXETER, NH 03833

TAX MAP _____
 NAME _____
 ADDRESS _____

TAX MAP 83-15
 NAME MARK DIFABIO
 ADDRESS 94 COURT STREET
EXETER, NH 03833

TAX MAP _____
 NAME _____
 ADDRESS _____

TAX MAP 83-55
 NAME NORTH COURT STREET COND
 ADDRESS 95 COURT STREET
EXETER, NH 03833

TAX MAP _____
 NAME _____
 ADDRESS _____

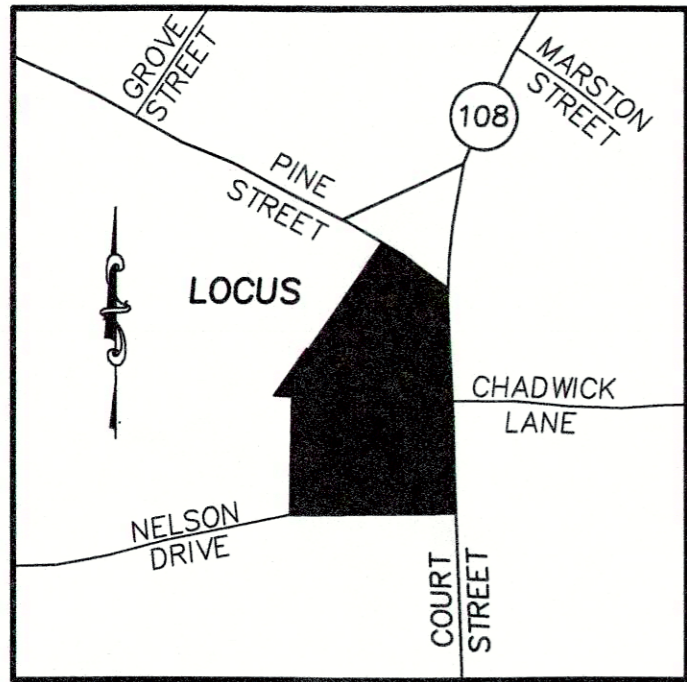
TAX MAP 83-56
 NAME THOMAS SCANLON TRUST
 ADDRESS 87 SOUTH ROAD
NORTH HAMPTON, NH 03862

TAX MAP _____
 NAME _____
 ADDRESS _____

TAX MAP 83-60
 NAME CHRIST CHURCH OF EXETER
 ADDRESS 43 PINE STREET
EXETER, NH 03833

TAX MAP _____
 NAME _____
 ADDRESS _____

Please attach additional sheets if needed



PLAN REFERENCES

"BOUNDARY SURVEY - MACDONALD PROPERTY
PINE STREET & COURT STREET EXETER, NH"
SCALE: 1"=40' DATE: FEB. 29, 2001
BY: GERRIT CONSULTING
NOT RECORDED

"PLAN OF LAND FOR CHRIST EPISCOPAL CHURCH
EXETER, NH"
SCALE: 1"=40' DATE: DEC. 1963
BY: JOHN W. DURGIN CIVIL ENGINEERS
#953

PLAN NOTE

THE PURPOSE OF THIS PLAN IS TO SHOW
THE DIVISION OF THIS PARCEL INTO 3 LOTS
FOR RESIDENTIAL PURPOSES.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

ZONING DISTRICT

R-2 RESIDENTIAL

MINIMUM REQUIREMENTS

AREA (TWO FAMILY)	15,000 S.F.
LOT WIDTH	24,000 S.F.
LOT DEPTH	100'
	100'
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	25'
BUILDING COVERAGE	
MAXIMUM	25%
OPEN SPACE	
MINIMUM	40%

83 59-2 83 59-3
LOT 2 LOT 3
20,700 S.F. 22,701 S.F.
0.48 ACRES 0.52 ACRES

RECORD OWNERS

ELIZABETH A. HEWSON REV.
TRUST OF 2002
ELIZABETH A. HEWSON,
TRUSTEE
45 PINE STREET
EXETER, NH 03833
BK. 6248 PG. 0565
SEE ALSO
BK. 5967 PG. 1511

83 8
N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 5867 PG. 1407

83 9
N/F
JENISS FRIZZELL
84 COURT STREET
EXETER, NH 03833
BK. 5468 PG. 2192

83 10
N/F
CHRISTOPHER & SHERYL K. DION REV. TRUST
CHRISTOPHER & SHERYL DION, TRUSTEES
86 COURT STREET
EXETER, NH 03833
BK. 6125 PG. 2908

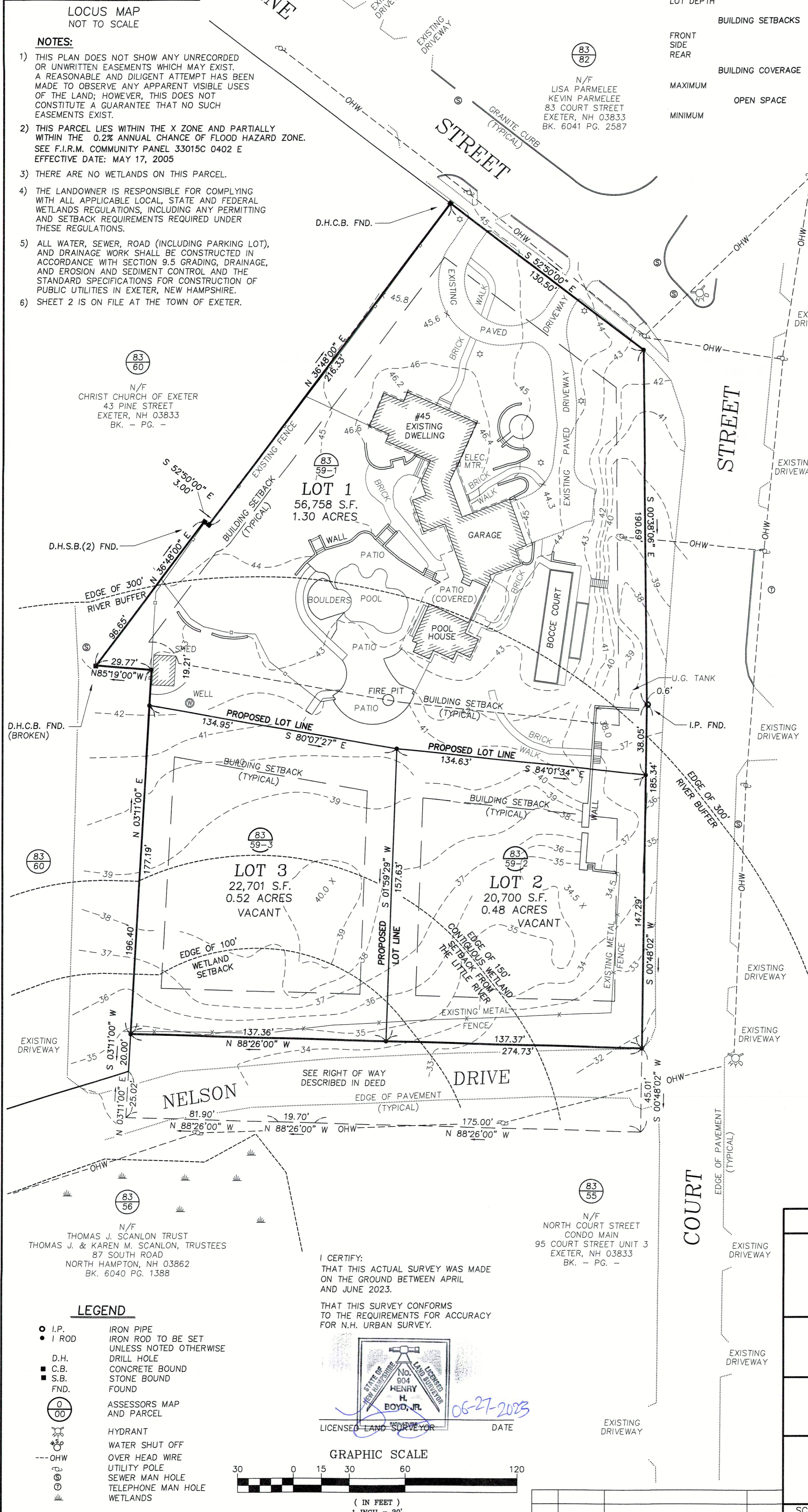
83 1
N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 0612 PG. 0240

83 14
N/F
92 COURT STREET REALTY TRUST
MAGGIE D. & KYLE J., TRUSTEES
92 COURT STREET
EXETER, NH 03833
BK. 6168 PG. 2889

83 15
N/F
MARK J. DIFABIO
KATHY A. BUSCHER DIFABIO
94 COURT STREET
EXETER, NH 03833
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83 60
N/F
CHRIST CHURCH OF EXETER
43 PINE STREET
EXETER, NH 03833
BK. - PG. -

83 60
D.H.S.B.(2) FND.

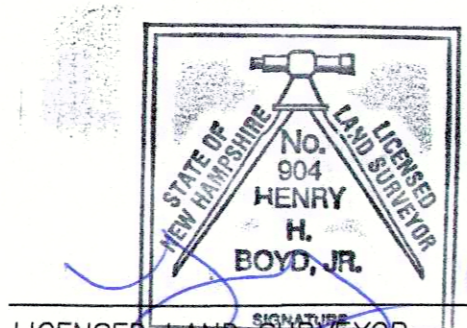
83 60
D.H.C.B. FND. (BROKEN)

83 60
EXISTING DRIVEWAY

83 56
N/F
THOMAS J. SCANLON TRUST
THOMAS J. & KAREN M. SCANLON, TRUSTEES
87 SOUTH ROAD
NORTH HAMPTON, NH 03862
BK. 6040 PG. 1388

83 55
N/F
NORTH COURT STREET
CONDO MAIN
95 COURT STREET UNIT 3
EXETER, NH 03833
BK. - PG. -

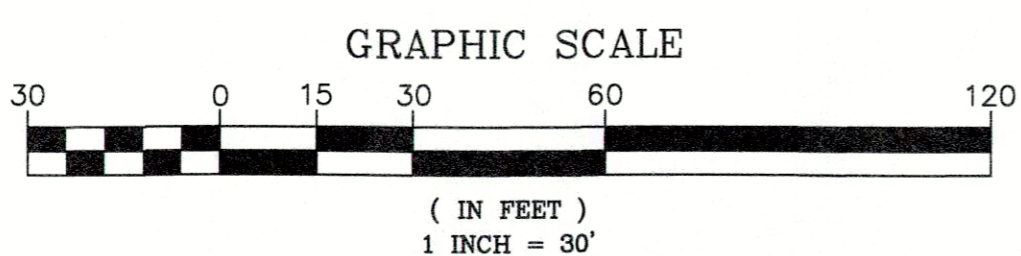
I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE
ON THE GROUND BETWEEN APRIL
AND JUNE 2023.
THAT THIS SURVEY CONFORMS
TO THE REQUIREMENTS FOR ACCURACY
FOR N.H. URBAN SURVEY.



LICENSED LAND SURVEYOR DATE

LEGEND

- I.P. IRON PIPE
- I ROD IRON ROD TO BE SET UNLESS NOTED OTHERWISE
- D.H. DRILL HOLE
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- FND. FOUND
- ASSESSORS MAP AND PARCEL
- HYDRANT
- WATER SHUT OFF
- OHW OVER HEAD WIRE
- UTILITY POLE
- SEWER MAN HOLE
- TELEPHONE MAN HOLE
- WETLANDS



NO.	DATE	DESCRIPTION	BY

EXISTING CONDITIONS SHEET

PLAT OF LAND
IN
EXETER, NH

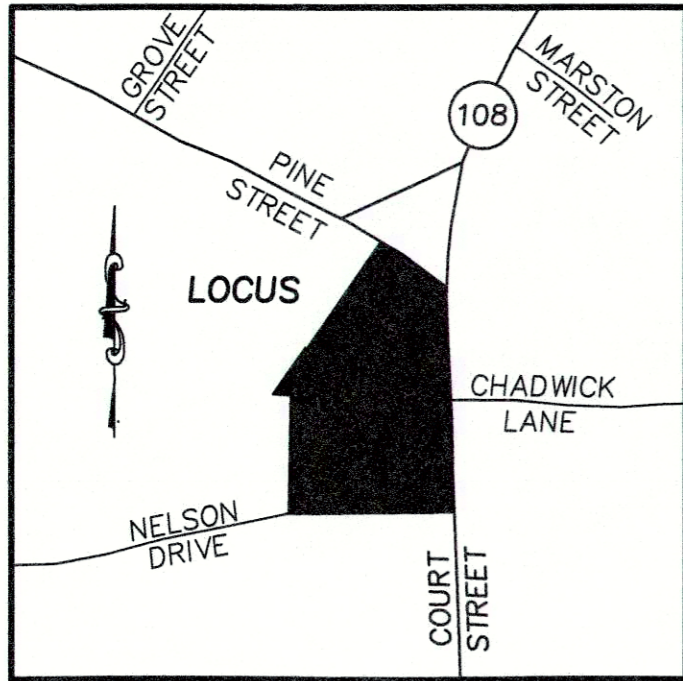
SHOWING
PROPOSED LOT DEVELOPMENT
AT LOTS 2 & 3 NELSON DRIVE
(ASSESSORS MAP 83 LOTS 59-2 & 59-3)

RECORD OWNERS
ELIZABETH A. HEWSON REVOCABLE TRUST
JAMES T. HEWSON REVOCABLE TRUST
45 PINE STREET EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
ENGINEERS AND LAND SURVEYORS
P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
PHONE: (603) 778-0528 FAX: (603) 772-0689

SCALE: 1"=30'	CALC. BY: R.S.G.	PROJECT: E233045
DATE: JUNE 21, 2023	CHKD. BY: H.H.B.	SHEET 1 OF 2





NOTES:

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- THERE ARE NO WETLANDS ON THIS PARCEL.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION AND SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- ELEVATIONS SHOWN ARE BASED ON N.A.V.D.88.

TOWN OF EXETER PLANNING BOARD

CHAIRMAN _____ DATE _____

83 59-2 83 59-3
LOT 2 LOT 3
 20,700 S.F. 22,701 S.F.
 0.48 ACRES 0.52 ACRES

RECORD OWNERS

ELIZABETH A. HEWSON REV. TRUST OF 2002
 ELIZABETH A. HEWSON, TRUSTEE
 45 PINE STREET
 EXETER, NH 03833
 BK. 6248 PG. 0565
 SEE ALSO
 BK. 5967 PG. 1511

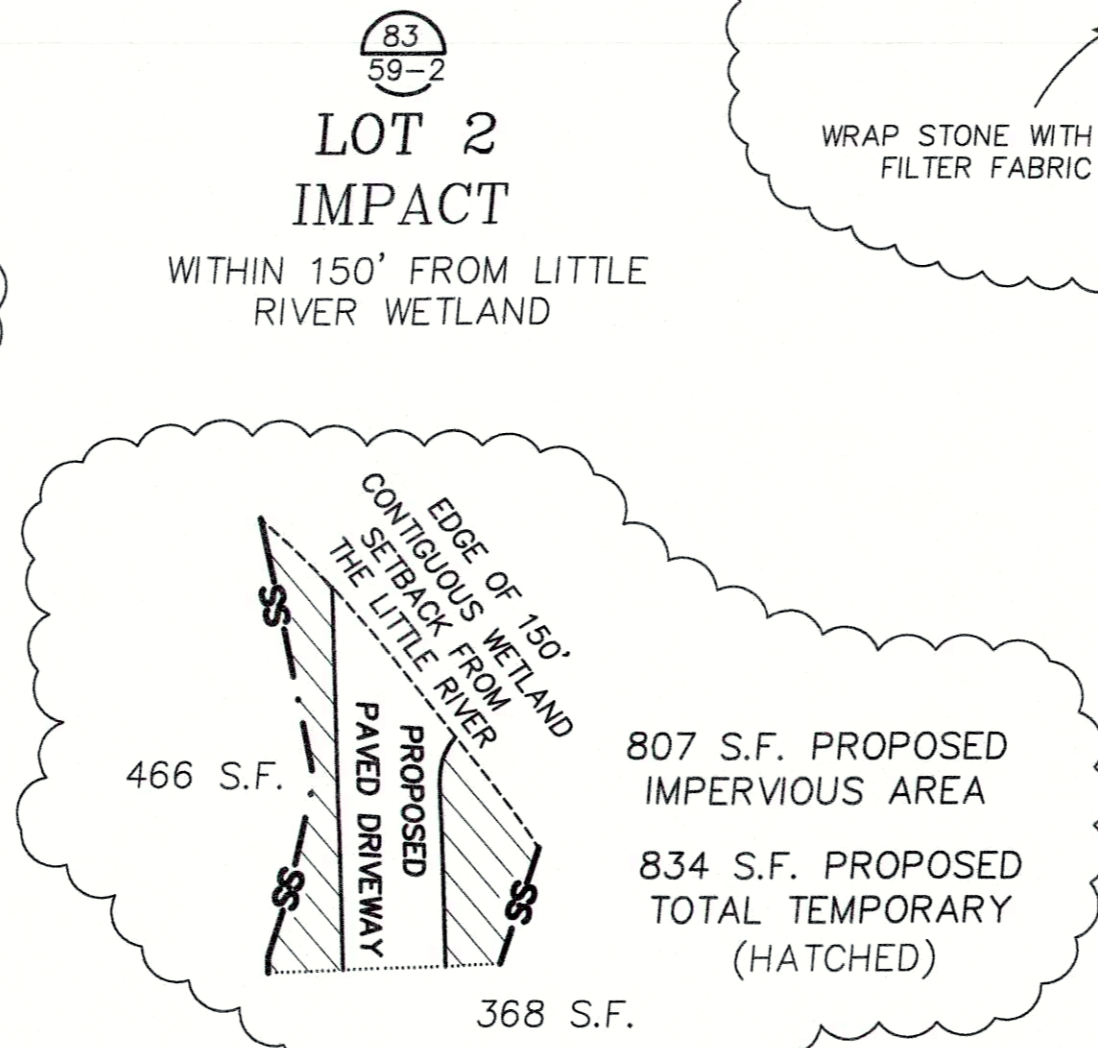
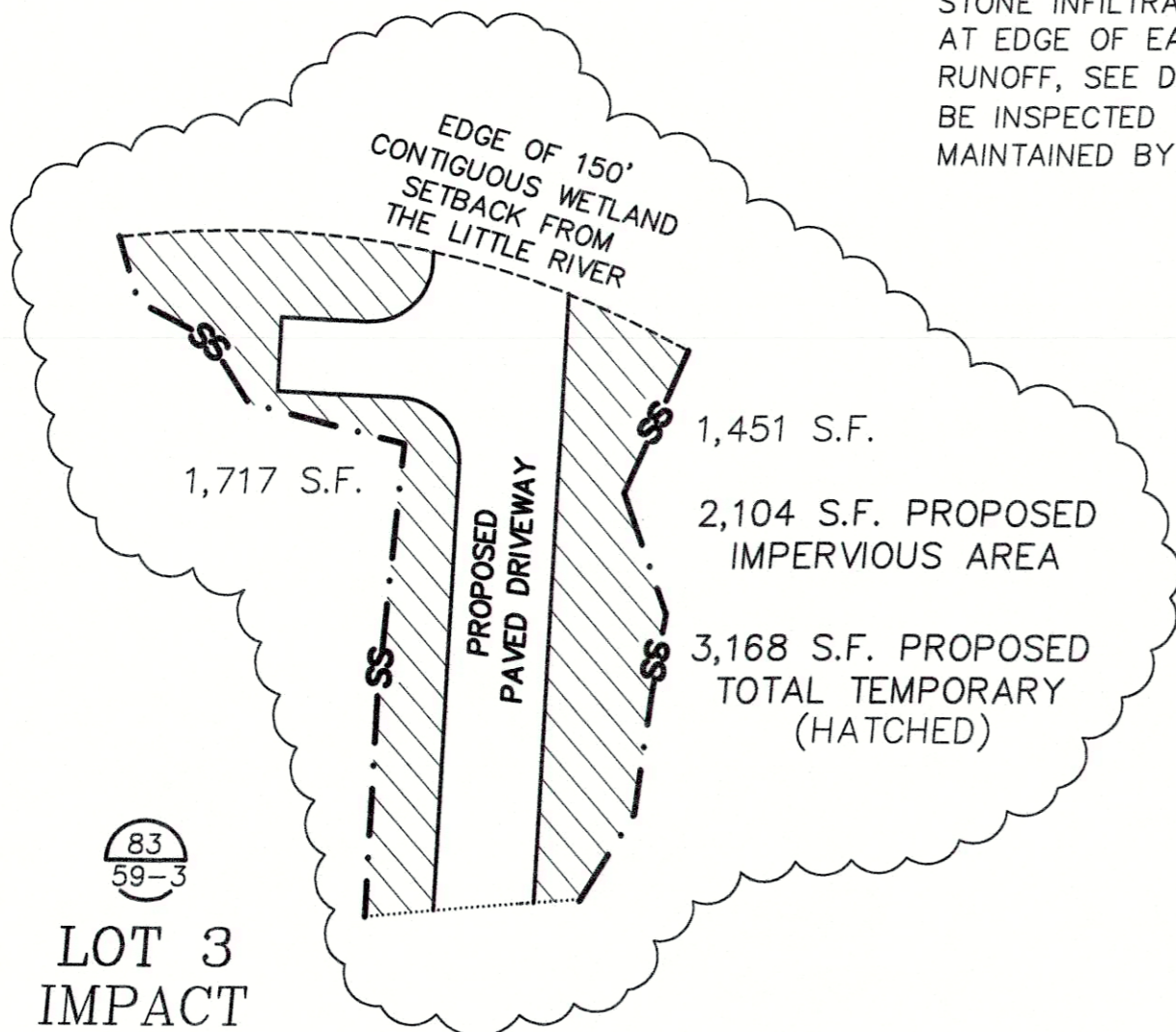
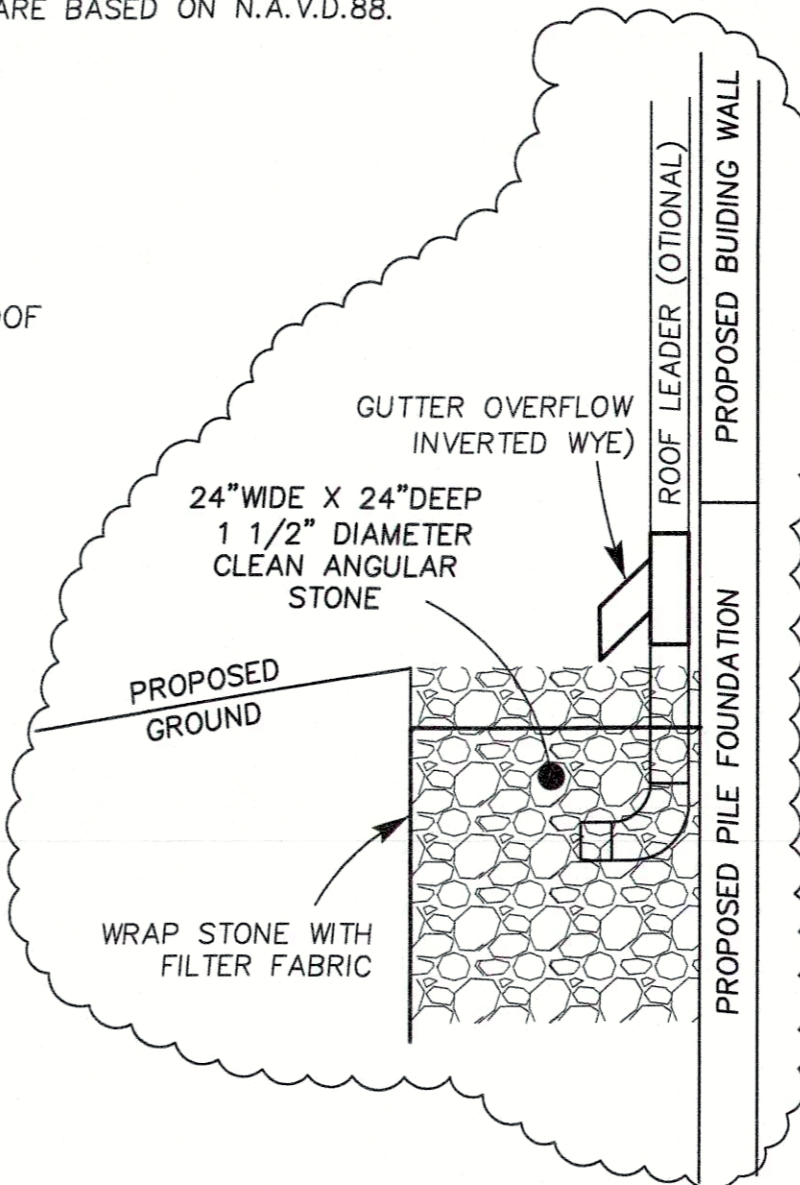
LOT 2
 20,700 S.F.
 PROPOSED LOT COVERAGE
 3,516 S.F. = 17.0% OF LOT AREA
 OPEN SPACE = 83.0% OF LOT AREA

LOT 3
 22,701 S.F.
 PROPOSED LOT COVERAGE
 4,109 S.F. = 18.1% OF LOT AREA
 OPEN SPACE = 89.1% OF LOT AREA

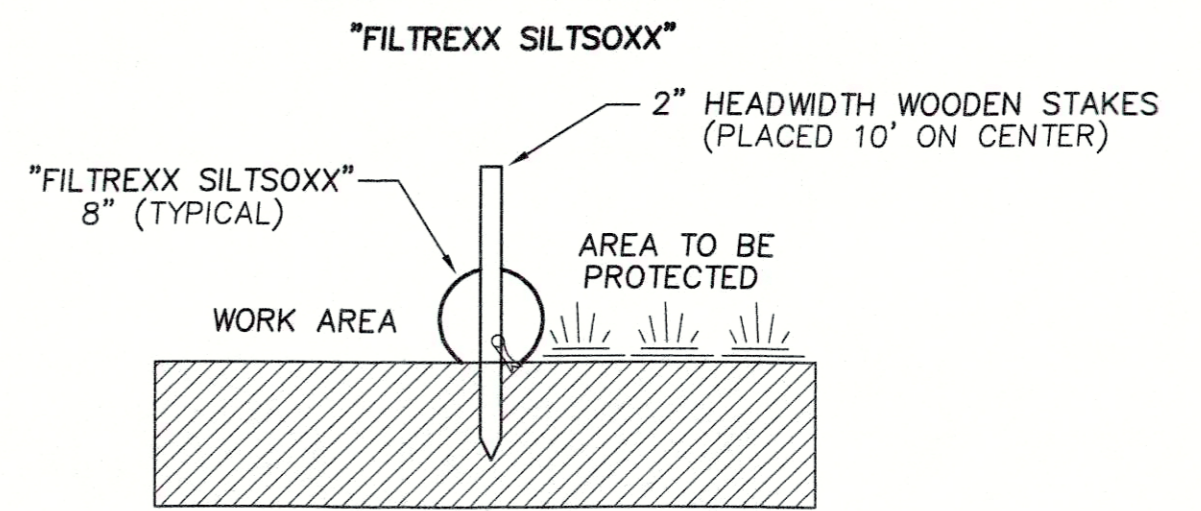
**PROPOSED DWELLING/
 PROPOSED DRIVEWAY
 INFILTRATION NOTE**

STONE INFILTRATION TRENCHES ARE TO BE PLACED AS APPROPRIATE AT EDGE OF FOUNDATION TO RECEIVE ROOF RUNOFF, SEE DETAIL AT RIGHT. THESE TRENCHES ARE TO BE INSPECTED TWICE PER YEAR (SPRING & FALL) AND MAINTAINED BY REMOVING ANY DEBRIS AND VACUUMING.

STONE INFILTRATION TRENCHES ARE ALSO TO BE PLACED AT EDGE OF EACH DRIVEWAY (BOTH SIDES) TO RECEIVE RUNOFF, SEE DETAIL AT RIGHT. THESE TRENCHES ARE TO BE INSPECTED TWICE PER YEAR (SPRING & FALL) AND MAINTAINED BY REMOVING ANY DEBRIS AND VACUUMING.



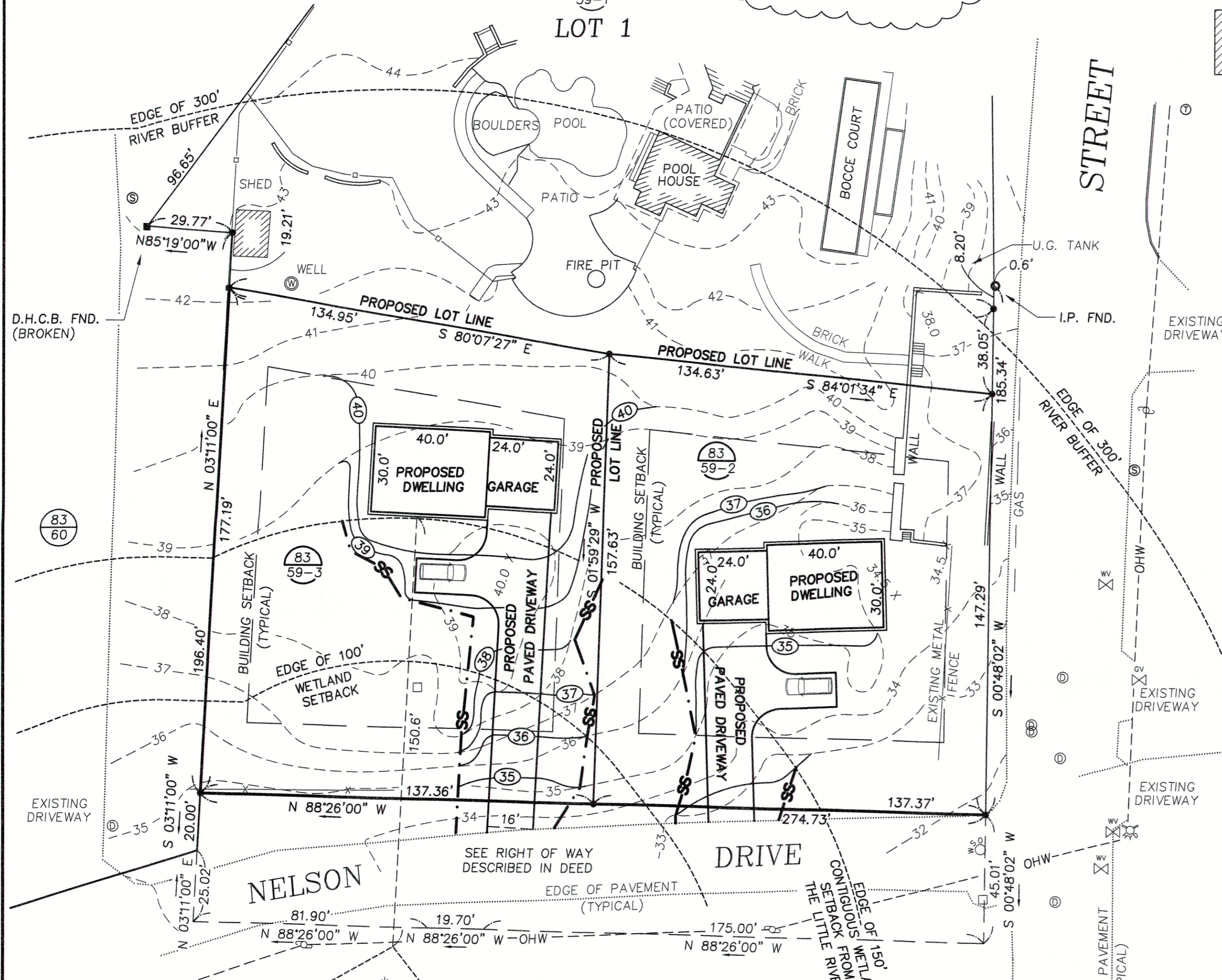
EROSION CONTROL



ZONING DISTRICT

R-2 RESIDENTIAL

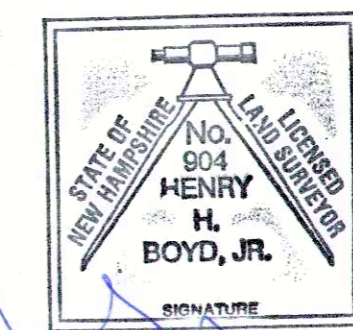
MINIMUM REQUIREMENTS	
AREA	15,000 S.F.
AREA (TWO FAMILY)	24,000 S.F.
LOT WIDTH	100'
LOT DEPTH	100'
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	25'
BUILDING COVERAGE	
MAXIMUM	25%
OPEN SPACE	
MINIMUM	40%



WETLANDS DELINEATION BY
 GOVE ENVIRONMENTAL, INC.
 8 CONTINENTAL DRIVE UNIT H
 EXETER, NH 03833

AS SHOWN ON PLAN FOR THOMAS SCANLON

I CERTIFY:
 THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN APRIL AND JUNE 2023.
 THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.



6-27-2023
 LICENSED LAND SURVEYOR DATE

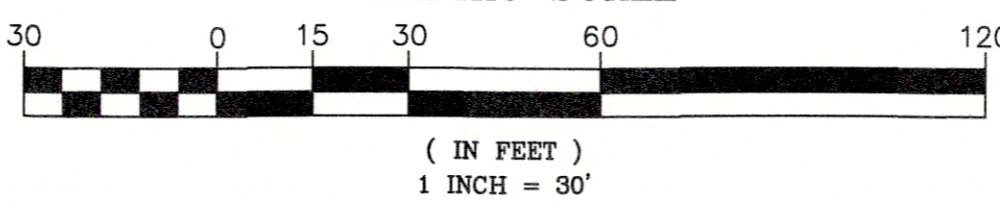
UTILITIES NOTE

THE LOCATION OF UTILITIES SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY OTHERS, AND WHERE POSSIBLE FROM MEASUREMENTS TAKEN IN THE FIELD, AND ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST MARKING OF UNDERGROUND UTILITIES. MILLENNIUM ENGINEERING, INC., ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED DIRECTLY OR INDIRECTLY RESULTING THEREFROM.

LEGEND

- I.P. IRON PIPE
- I ROD IRON ROD TO BE SET UNLESS NOTED OTHERWISE
- D.H. DRILL HOLE
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- FND. FOUND
- ⊕ HYDRANT
- ⊕ WATER SHUT OFF
- OHW OVER HEAD WIRE
- UTILITY POLE
- SEWER MAN HOLE
- TELEPHONE MAN HOLE
- SS PROPOSED SILT SOXX/IMPACT

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

PROPOSED CONDITIONS SHEET

PLAT OF LAND

IN
EXETER, NH

SHOWING
**PROPOSED LOT DEVELOPMENT
 AT LOTS 2 & 3 NELSON DRIVE
 (ASSESSORS MAP 83 LOTS 59-2 & 59-3)**

RECORD OWNERS
**ELIZABETH A. HEWSON REVOCABLE TRUST
 JAMES T. HEWSON REVOCABLE TRUST
 45 PINE STREET EXETER, NH 03833**

MILLENNIUM ENGINEERING INC.
 ENGINEERS AND LAND SURVEYORS
 P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833
 PHONE: (603) 778-0528 FAX: (603) 772-0689

SCALE: 1"=30'	CALC. BY: R.S.G.	PROJECT: E233045
DATE: JUNE 21, 2023	CHKD. BY: H.H.B.	SHEET 2 OF 2



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

June 9, 2023

Henry H. Boyd, Jr., LLS
Millennium Engineering, Inc.
13 Hampton Road
P.O. Box 745
Exeter, New Hampshire 03833

Re: PB Case #23-5 Elizabeth A. Hewson Revocable Trust
Minor Subdivision
45 Pine Street, Exeter, N.H.
Tax Map Parcel #83-59

Dear Mr. Boyd:

Please be advised that at the meeting of June 8th, 2023, the Exeter Planning Board voted to **APPROVE** the above-captioned application for a minor subdivision of the existing 2.30-acre parcel located at 45 Pine Street into three (3) residential lots, as presented. This approval was granted subject to the following conditions:

1. A dwg file of the plan shall be provided to the Town Planner showing all property lines and monumentation prior to signing the final plans. This plan must be in NAD 1983 State Plane New Hampshire FIPS 2800 Feet coordinates;
2. All monumentation shall be set in accordance with Section 9.25 of the Site Plan Review and Subdivision Regulations prior to signing the final plans; and,
3. The lots on the plan shall be deemed unbuildable until either a Conditional Use Permit is secured or it is determined by the Town that one is unnecessary.

Please feel free to contact the Planning Department at 773-6114 with any questions.

Sincerely,

Dave Sharples
Town Planner
(on behalf of the Planning Board Chairman)

cc: Elizabeth A. Hewson Revocable Trust, property owner
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Whitten, Town Assessor

DS:bsm

1 **TOWN OF EXETER**
2 **PLANNING BOARD**
3 **NOWAK ROOM – TOWN OFFICE BUILDING**
4 **10 FRONT STREET**
5 **JUNE 8, 2023**
6 **DRAFT MINUTES**
7 **7:00 PM**

8 **I. PRELIMINARIES:**

9
10 **BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, Pete Cameron, Clerk, Gwen
11 English, John Grueter, Jen Martel and Nancy Belanger Select Board Representative
12

13 **STAFF PRESENT:** Town Planner Dave Sharples
14

15 **II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7:00 PM and introduced the
16 members.
17

18 **III. OLD BUSINESS**

19
20 **APPROVAL OF MINUTES**

21
22 May 11, 2023
23

24 Mr. Grueter recommended an edit, that the meeting was adjourned by a 7-0-0 vote.
25

26 ***Mr. Grueter motioned to approve the May 11, 2023 minutes, as amended. Ms. Belanger seconded the***
27 ***motion. A vote was taken, all were in favor, the motion passed 5-0-0.***
28

29 May 25, 2023
30

31 The April 13, 2023 minutes and May 11, 2023 minutes had been approved at this meeting and those
32 edits were made. The motion that the minutes were tabled was corrected to read approved as
33 amended.
34

35 ***Ms. Belanger motioned to approve the May 25, 2023 meeting minutes, as amended. Mr. Grueter***
36 ***seconded the motion. A vote was taken, all were in favor, the motion passed 6-0-0.***
37

38 **IV. NEW BUSINESS:**

- 39 1. The application of Elizabeth A. Hewson Revocable Trust for a minor subdivision of an existing
40 2.30-acre parcel into three (3) residential lots.
41 45 Pine Street, R-2 Single Family Residential zoning district

42 Tax Map Parcel #83-59
43 Planning Board Case #23-5

44

45 Chair Plumer read out loud the Public Hearing Notice.

46

47 Mr. Sharples indicated the applicant is seeking a minor subdivision of an existing 2.30-acre
48 parcel located at 45 Pine Street into three (3) residential lots, one with a 1.2-acre parcel with
49 the existing residence with frontage on Pine Street and two (2) new residential lots, each
50 24,004 square feet in area with frontage on Nelson Drive. The applicant submitted a minor
51 subdivision application, plan and supporting documents dated May 8, 2023. There was no
52 Technical Review Committee meeting, however the plans were reviewed by staff or compliance
53 with zoning and subdivision regulations and Doug Eastman the Code Enforcement Officer
54 determined the proposal meets minimum dimensional requirements. There are no waivers
55 being requested.

56

57 Mr. Sharples noted that there could be Conditional Use Permit required for one or both of the
58 lots for the project and rather than have the applicants come back at the end of August he
59 recommended the following condition be proposed in addition to the two standard conditions:
60 that the lot shall be deemed unbuildable until either a CUP is secured, or it is determined by the
61 town that one is not necessary.

62

63 ***Ms. English motioned to open Planning Board Case #23-5. Mr. Grueter seconded the motion.***
64 ***A vote was taken, all were in favor, the motion passed 6-0-0.***

65

66 Henry Boyd of Millenium Engineering presented the plans on behalf of the applicant. He noted
67 the existing dwelling will reside on Lot 1, which will be 52,151 s.f. in size. Lots 2 & 3 shall
68 contain 24,004 s.f. each. He showed the location of the proposed parcels on the plan and
69 noted that at one time they were three parcels voluntarily merged by the prior owner and a
70 building was removed. He noted that two different existing wetland flags were found. He
71 indicated the 100' setback area and the 150' CUP area. He noted the parcels will be on town
72 water/sewer.

73

74 Ms. English asked about driveways off Nelson Drive and Mr. Boyd indicated yes.

75

76 Chair Plumer opened the hearing for public comment at 7:21 PM.

77

78 Mr. Sharples provided the Board with letters dated June 1, 2023 and June 2, 2023 from the
79 owners of 96 Court Street. She expressed concerns with decreased property values and
80 preservation of the trees along the property line on the Court Street side especially the
81 deciduous tree on the corner of Nelson Drive and Court Street to mitigate the aesthetics of

82 Court Street being preserved. She expressed concerns with drainage since the bridge work was
83 done on the Little River which they addressed with the town engineer and manager to no avail.
84 Two photos of the street view were provided.

85
86 Mr. Grueter noted that neither of the two owners were direct abutters, across the street but
87 not directly across.

88
89 Chair Plumer closed public comments on the hearing at 7:22 PM.

90
91 Ms. Martel questioned the drip lines from the roof and pitch of the driveway on either side.

92
93 Mr. Sharples indicated he was not involved with the conversations with the town engineer.

94
95 Mr. Grueter questioned the catch basins and their function.

96
97 Mr. Sharples read out loud the proposed conditions of approval.

- 98
99 1. A dwg file of the plan shall be provided to the Town Planner showing all property lines and
100 monumentation prior to the signing of the final plans. This plan shall be in NAD 1983 State
101 Plane New Hampshire FIPS 2800 feet coordinates;
102 2. All monumentation shall be set in accordance with Section 9.25 of the Site Plan Review and
103 Subdivision Regulations prior to the signing of the final plan; and
104 3. that the lots of the plan shall be deemed unbuildable until either a CUP is secured, or it is
105 determined by the town that one is not necessary.

106
107 ***Ms. Belanger moved that the request of Elizabeth A. Hewson Revocable Trust (Planning Board***
108 ***Case #23-5) for minor subdivision approval be approved with the conditions read by the Town***
109 ***Planner. Mr. Grueter seconded the motion. A vote was taken, all were in favor, the motion***
110 ***passed 6-0-0.***

- 111
112 2. The application of Blind Tiger, LLC for a site plan review for the proposed reconstruction of
113 the club house and additional parking at the Exeter Country Club
114 58 Jady Hill Avenue, R-2, Single-Family Residential zoning district
115 Tax Map Parcel #52-1
116 Planning Board Case #23-2

117
118 Chair Plumer read out loud the Public Hearing Notice.

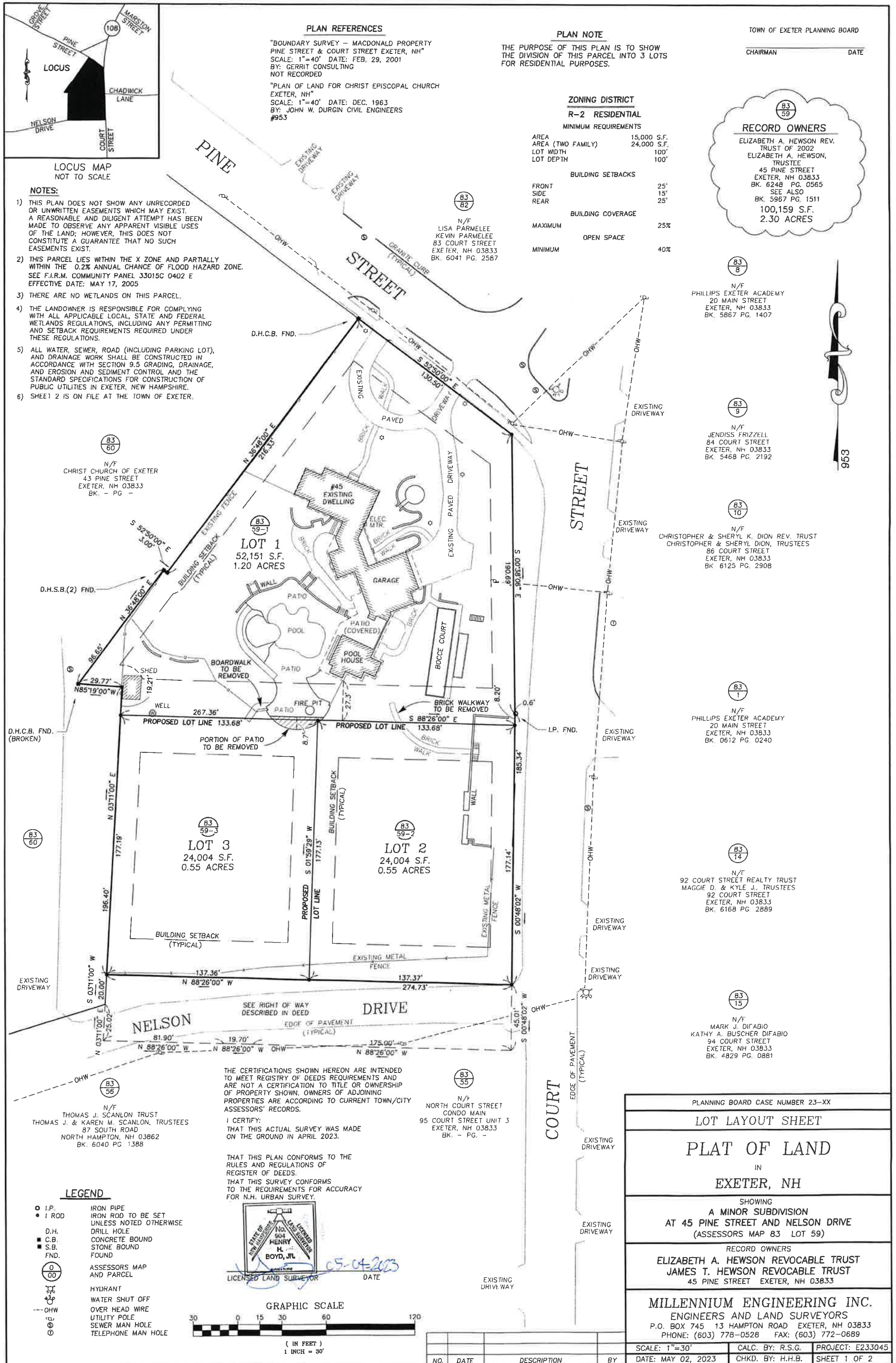
119
120 Mr. Sharples indicated the case was ready for review purposes

121

PB # 23-12

PB 8/24/23 Meeting packet attachment

FOR REFERENCE PURPOSES ONLY



PLAN NOTE
THE PURPOSE OF THIS PLAN IS TO SHOW THE DIVISION OF THIS PARCEL INTO 3 LOTS FOR RESIDENTIAL PURPOSES.

LOT 1
52,151 S.F.
EXISTING DWELLING
3,214 S.F. = 6.2% OF LOT AREA
EXISTING LOT COVERAGE
16,320 S.F. = 31.3% OF LOT AREA
OPEN SPACE = 68.7% OF LOT AREA

ZONING DISTRICT
R-2 RESIDENTIAL
MINIMUM REQUIREMENTS

AREA (TWO FAMILY)	15,000 S.F.
LOT WIDTH	24,000 S.F.
LOT DEPTH	100'
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	25'
BUILDING COVERAGE	
MAXIMUM	25%
OPEN SPACE	
MINIMUM	40%

RECORD OWNERS
ELIZABETH A. HEWSON REV. TRUST OF 2002
ELIZABETH A. HEWSON, TRUSTEE
45 PINE STREET
EXETER, NH 03833
BK. 6248 PG. 0565
SEE ALSO
BK. 5967 PG. 1511
100,159 S.F.
2.30 ACRES

N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 5867 PG. 1407

N/F
JENISS FRITZELL
84 COURT STREET
EXETER, NH 03833
BK. 5468 PG. 2192

N/F
CHRISTOPHER & SHERYL K. DION REV TRUST
CHRISTOPHER & SHERYL DION, TRUSTEES
86 COURT STREET
EXETER, NH 03833
BK. 6125 PG. 2908

N/F
PHILLIPS EXETER ACADEMY
20 MAIN STREET
EXETER, NH 03833
BK. 0612 PG. 0240

N/F
92 COURT STREET REALTY TRUST
MAGGIE D. & KYLE J., TRUSTEES
92 COURT STREET
EXETER, NH 03833
BK. 6168 PG. 2889

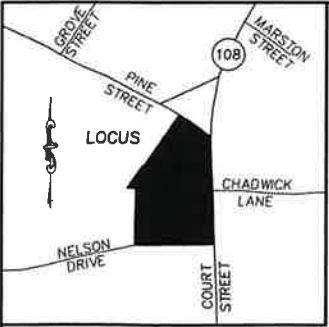
N/F
MARK J. DIFABIO
KATHY A. BUSCHER DIFABIO
94 COURT STREET
EXETER, NH 03833
BK. 4829 PG. 0881

NOTES:

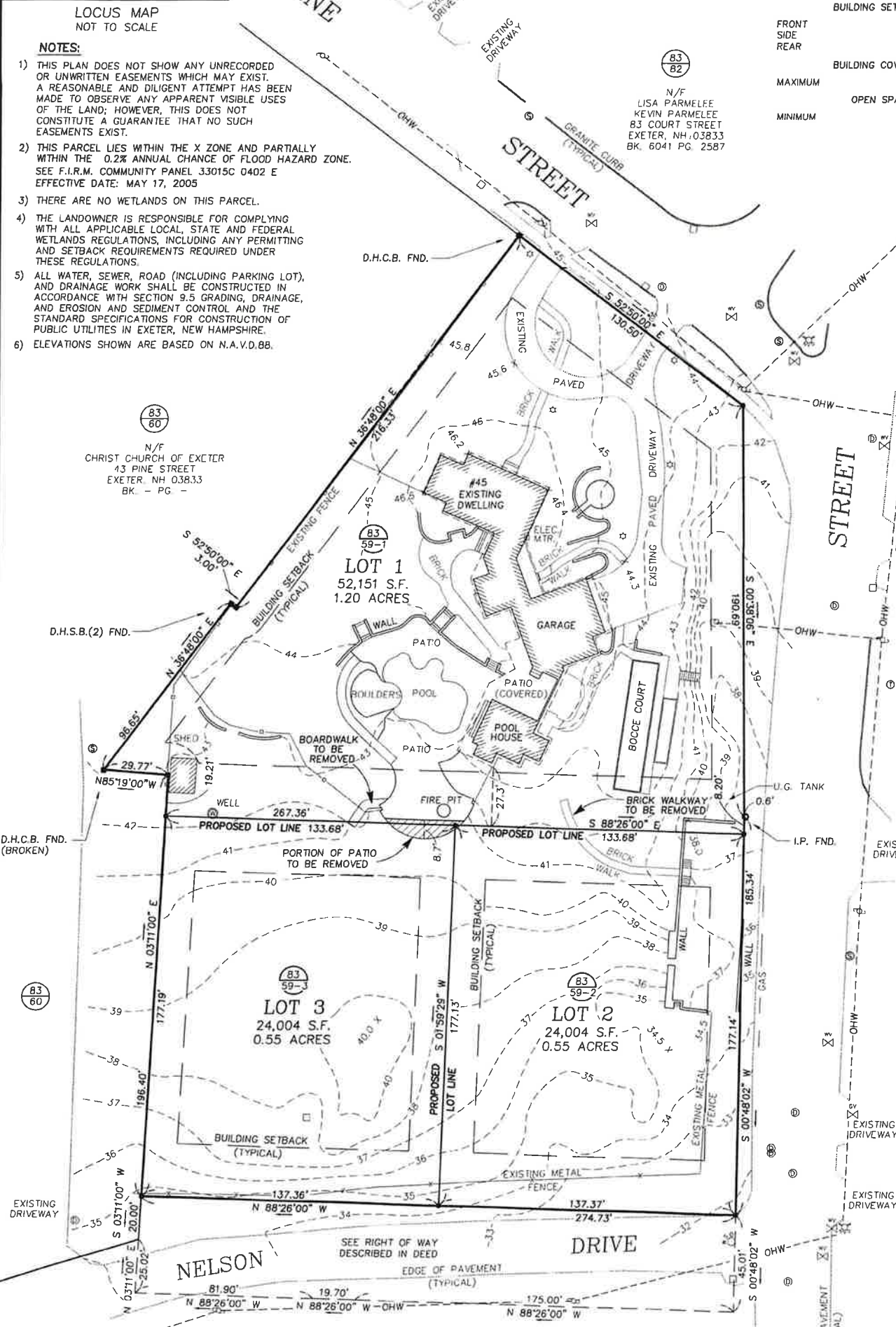
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THIS PARCEL LIES WITHIN THE X ZONE AND PARTIALLY WITHIN THE 0.2% ANNUAL CHANCE OF FLOOD HAZARD ZONE. SEE F.I.R.M. COMMUNITY PANEL 33015C 0402 E EFFECTIVE DATE: MAY 17, 2005
- THERE ARE NO WETLANDS ON THIS PARCEL.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION AND SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- ELEVATIONS SHOWN ARE BASED ON N.A.V.D.88.

UTILITIES NOTE

THE LOCATION OF UTILITIES SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY OTHERS, AND WHERE POSSIBLE FROM MEASUREMENTS TAKEN IN THE FIELD, AND ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST MARKING OF UNDERGROUND UTILITIES. MILLENNIUM ENGINEERING, INC., ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED DIRECTLY OR INDIRECTLY RESULTING THEREFROM.



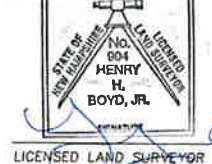
LOCUS MAP
NOT TO SCALE



THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.

I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN APRIL 2023.

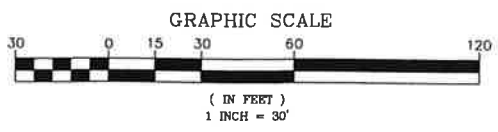
THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF REGISTER OF DEEDS.
THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR U.N. URBAN SURVEY.



DATE: 05-04-2023

LEGEND

- I.P. IRON PIPE
- I ROD IRON ROD TO BE SET UNLESS NOTED OTHERWISE
- D.H. DRILL HOLE
- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- FND. FOUND
- ASSASSORS MAP AND PARCEL
- HYDRANT
- WATER SHUT OFF
- OHW OVER HEAD WIRE
- UTILITY POLE
- SEWER MAN HOLE
- TELEPHONE MAN HOLE



PLANNING BOARD CASE NUMBER 23-XX		
LOT LAYOUT SHEET		
PLAT OF LAND		
IN EXETER, NH		
SHOWING A MINOR SUBDIVISION AT 45 PINE STREET AND NELSON DRIVE (ASSESSORS MAP 83 LOT 59)		
RECORD OWNERS ELIZABETH A. HEWSON REVOCABLE TRUST JAMES T. HEWSON REVOCABLE TRUST 45 PINE STREET EXETER, NH 03833		
MILLENNIUM ENGINEERING INC. ENGINEERS AND LAND SURVEYORS P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833 PHONE: (603) 778-0528 FAX: (603) 772-0689		
SCALE: 1"=30'	CALC. BY: R.S.G.	PROJECT: E233045
DATE: MAY 02, 2023	CHKD. BY: H.H.B.	SHEET 2 OF 2

NO.	DATE	DESCRIPTION	BY

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: June 1, 2023
To: Dave Sharples and Exeter Planning Board Members
From: Kristen Murphy, Conservation & Sustainability Planner
Subject: Proposed Site Plan Review and Subdivision Regulation Amendment

I. Proposed Amendment:

Strike in its entirety and replace with:

9.9. Wetland and Shoreland Buffers:

Wetland and shoreland setbacks are established to protect a naturally vegetated upland area, or 'buffer' around surface water resources. The vegetation in this buffer area naturally reduces the amount of nutrients and sediment that flows into wetlands thereby affording them greater protection. Applicants shall follow Zoning Ordinance 9.1 and 9.3 for evaluation of impact to wetland and shoreland buffers and setbacks.

II. Purpose and Justification:

On January 9, 2020, the Planning Board discussed a proposed amendment to Article 9 of the Zoning Ordinance for the Wetland Conservation Overlay District (ZO) and an amendment to Section 9.9 of the Site Plan Review and Subdivision Regulations for Wetlands (SS). The purpose was to address a duplicative process existing in both regulations. The zoning ordinance provided for a Wetland Conditional Use Permit process, while the Site Plan Review and Subdivision Regulations provided a Wetland Waiver process. We discussed amending the zoning ordinance, and referring to that amended ordinance within in the Site Plan Regulations, eliminating the wetland waiver process and therefore eliminating the duplicity in regulations.

In March 2020, the amendment to the Zoning Ordinance Article 9 was approved by the voters. It had been our intent to return to the Planning Board amend the Site Plan Review and Subdivision Regulations but with the onset of the pandemic, it was never brought forward. I am requesting the Planning Board reconsider this amendment, as the duplicative process still exists in the regulations.

Thank you.

129 Ms. Tyner recommended changing 35' to 50' and deal with amendment after. Ms. Bergeron indicated
130 she was not comfortable with this.

131
132 **Mr. Grueter motioned to place the proposed amendment on the 2020 Town Warrant. Mr. Cameron**
133 **seconded the motion.**

134
135 Mr. Papakonstantis indicated he thinks it is reasonable and would like to continue discussions later on.
136 Mr. Sharples noted if there is no other option will be in the same boat and can't change next week.
137 Could have both hearings. Could continue (close this hearing to 1/23) then vote to hold new one on
138 revised (35' to 50'). Mr. Cameron noted they should be doing that.

139
140 **Mr. Grueter amended the motion to hold a new public hearing with the discussed and agreed upon**
141 **amendment of height from 35' to 50' for Article 6.19.3 which will begin 50' from the property line and**
142 **abutting residential districts. Mr. Papakonstantis seconded the motion. A vote was taken, Ms.**
143 **Bergeron was opposed, motion carried 7-1-0.**

144
145 Mr. Sharples indicated this gives a better option between the current amendment and proposed
146 change. Mr. Grueter noted to notify people of discussed proposed change ahead of time. Mr. Steckler
147 added and circle back with Nate. Mr. Sharples will talk to Nate tomorrow. Mr. Steckler asked if all
148 participants would be emailed and Mr. Sharples responded yes.

149
150 **Mr. Papakonstantis motioned to continue the public hearing until January 23, 2020. Ms. Martel**
151 **seconded the motion. A vote was taken, Ms. Bergeron was opposed, motion carried 7-1-0.**

152
153 Amend Article 9, Section 9.1 – Wetlands Conservation District by modifying the language within this
154 section to consolidate the wetland waiver and conditional use permit process, clarify the application
155 process and the criteria by which the applications are measured against.

156
157 Mr. Sharples indicated the issue is the CUP process and waiver process are duplicative with different
158 criteria currently. Makes clearer. Applied feedback to changes.

159
160 **Mr. Grueter motioned to place the proposed amendment as presented, in the memo from Kristen**
161 **Murphy, to Town Warrant. Ms. Bergeron seconded the motion, with all in favor, the motion passed**
162 **unanimously.**

163
164 **V. OTHER BUSINESS**

165
166 **IS Realty, PB Case #19-13**

167
168 **Mr. Cameron motioned to continue Planning Board Case #19-13 to January 23, 2020 at 7:00 PM. Mr.**
169 **Papakonstantis seconded the motion, with all in favor, the motion passed unanimously.**

170



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, January 9, 2020 at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

APPROVAL OF MINUTES: December 19, 2019

NEW BUSINESS: PUBLIC HEARINGS

Continued public hearing on the application of Harbor Street Limited Partnership for two (2) lot line adjustments and subdivision of a 4.96-acre parcel into five (5) single-family residential lots. The subject property is located off of Brentwood Road and Spruce Street, in the R-2, Single Family Residential zoning district. Tax Map Parcel #63-93. Case #19-18.

Public hearing on the proposed zoning amendments for 2020 Town Meeting warrant. *Copies of the full text of the proposed amendments are available in the Planning Office.*

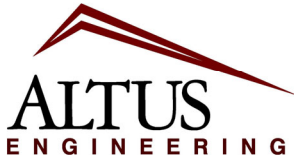
Amend Article 2, Section 2.2, Definitions by adding a new definition for “Mixed Use Neighborhood Development”. Amend Article 4, Section 4.2 Schedule I: Permitted Uses by adding “Mixed Use Neighborhood Development” as a permitted principal use in the C-1, Central Area Commercial and WC-Waterfront Commercial zoning districts; and by deleting “Residential conversions” as a use permitted by special exception in the C-1, Central Area Commercial zoning district and add as a permitted principal use in said district. Amend Article 6, Supplementary Use Regulations by adding a new section entitled “6.19 Mixed Use Neighborhood Development”.

Amend Article 9, Section 9.1 Wetlands Conservation District by modifying the language within this section to consolidate the wetland waiver and conditional use permit process, clarify the application process and the criteria by which the applications are measured against.

OTHER BUSINESS

- Gardner House Condominiums (former Bushnell property) – PB Case#18-12 Modifications to previously approved architectural plans for 12 Front Street
- Appointment of Historic District Commission (HDC) representative
- Master Plan discussion

EXETER PLANNING BOARD
Langdon J. Plumer, Chairman



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

July 17, 2023

Dave Sharples, Town Planner
Town of Exeter
10 Front Street
Exeter, NH 03833

**Re: Extension of Approval
Exeter PB Case #22-9
“Glerups”
19 Continental Drive
Exeter, NH
Altus Project No. 4839**

Transmitted via email to: dsharples@exeternh.gov

Dear Mr. Sharples,

At the direction of the Applicant, we respectfully request an extension of the Site Plan approval granted on September 8, 2022 and ask to be placed on the next available Planning Board agenda.

Please call me if you have any questions or need any additional information. Thank you for your time and consideration.

Sincerely,

ALTUS ENGINEERING

A handwritten signature in red ink, appearing to read "Erik Saari", is written over the printed name.

Erik Saari
Vice President

ebs/4839-LTR-Town-071723



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

September 9, 2022

Erik B. Saari, Vice President
Altus Engineering Inc.
133 Court Street
Portsmouth, New Hampshire 03801

Re: PB Case #22-9 - Glerups, Inc.
Site Plan Review & Wetlands Conditional Use Permit – 95,000+/- S.F. Warehouse building
19 Continental Drive, Exeter, N.H.
Tax Map Parcel #47-7-2

Dear Mr. Saari:

Please be advised that at the meeting of September 8th, 2022, the Exeter Planning Board voted to **APPROVE** the above-captioned application for a site plan review and Wetlands Conditional Use Permit for the proposed construction of a 95,000 +/- square foot industrial warehouse building and associated site improvements on the property located at 19 Continental Drive, as presented. This approval was granted subject to the following conditions:

1. An electronic As-Built Plan with details acceptable to the Town shall be provided prior to the issuance of a Certificate of Occupancy (C/O). This plan must be in a dwg or dxf file format and in NAD 1983 State Plane New Hampshire FIPS 2800 Feet coordinates;
2. A preconstruction meeting shall be arranged by the applicant and his contractor with the Town engineer prior to any site work commencing. The following must be submitted for review and approval prior to the preconstruction meeting:
 - i. The SWPPP (storm water pollution prevention plan), if applicable, be submitted to and reviewed for approval by DPW; and
 - ii. A project schedule and construction cost estimate.
3. Third party construction inspections fees shall be paid prior to scheduling the preconstruction meeting;
4. All comments in the Underwood Engineer Inc. review letter dated August 17, 2022 and the TRC comment letter dated June 29, 2022 and any subsequent comments as the result of further review shall be addressed to the satisfaction of the Town Planner prior to signing the final plans;
5. The Stormwater Operations and Maintenance Manual shall be revised to the satisfaction of the Town Planner by adding language regarding the annual reporting requirements set forth in Section 9.5.2.6 in the Exeter Site Plan Review and Subdivision Regulations dated February 2022 and as further amended;

6. The Storm Water System Operation & Maintenance Report in the Stormwater Operations and Maintenance Manual shall be completed and submitted to the Town Engineer annually on or before January 31st. This requirement shall be an ongoing condition of approval;
7. All applicable State permit approval numbers shall be noted on the final plans;
8. All landscaping shown on plans shall be maintained and any dead or dying vegetation shall be replaced, no later than the following growing season, as long as the site plan remains valid. This condition is not intended to circumvent the revocation procedures set forth in State statutes;
9. The applicant shall submit the land use and stormwater management information about the project using the PTAPP Online Municipal Tracking Tool (<https://ptapp.unh.edu/>). The PTAPP submittal must be accepted by DPW prior to the pre-construction meeting;
10. A restoration and erosion control surety, in an amount and form reviewed and approved by the Town Planner in accordance with Section 12 of the Site Plan Review and Subdivision Regulations, shall be provided prior to any site work; and,
11. The tree planting schedule will be diversified so the proposed trees will more closely match the existing trees onsite.

Please feel free to contact the Planning Department at 773-6114 with any questions.

Sincerely,



Dave Sharples
Town Planner
(on behalf of the Planning Board Chairman)

cc: Kiera Manahan and Barry T. Ryan, Glerups, Inc., property owner
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Whitten, Town Assessor

DS:bsm

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