



# **TOWN OF EXETER, NEW HAMPSHIRE**

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10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709  
[www.exeternh.gov](http://www.exeternh.gov)

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## **LEGAL NOTICE EXETER PLANNING BOARD AGENDA**

The Exeter Planning Board will meet on Thursday, July 10, 2025 at 7:00 P.M. in the Nowak Room of the Town Office building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

### **APPROVAL OF MINUTES:** June 26, 2025

### **NEW BUSINESS: PUBLIC HEARINGS**

The application of J. Caley Associates for site plan review and a Shoreland Conditional Use Permit for the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct a multi-use building to include commercial space, amenities, and 14 residential units with parking and associated site improvements. The property is located in the C-2, Highway Commercial zoning district and is identified as Tax Map Parcel #65-125. PB Case #25-3.

### **OTHER BUSINESS**

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

### **EXETER PLANNING BOARD**

*Langdon J. Plumer, Chairman*

*Posted 06/27/25: Exeter Town Office and Town of Exeter website*

**TOWN OF EXETER  
PLANNING BOARD  
NOWAK ROOM  
10 FRONT STREET  
JUNE 26, 2025  
DRAFT MINUTES  
7:00 PM**

**I. PRELIMINARIES:**

**BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, John Grueter, Gwen English, Jen Martel, Nancy Belanger, Select Board Representative, Alternate Marty Kennedy, Alternate Dean Hubbard and Alternate Sam MacLeod.

**STAFF PRESENT:**

**II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7:00 PM, introduced the members, and activated Alternates Marty Kennedy and Dean Hubbard.

**III. NEW BUSINESS:**

1. The application of Foss Motors for design review of a proposal to demolish the existing building located at 133 Portsmouth Avenue and construct a new 36,500 square foot car dealership with expanded parking, vehicle display area and associated site improvements.  
C-2, Highway Commercial zoning district  
Tax Map Parcels #52-110, #52-111 and #52-112-2  
PB Case #25-4.

Chair Plumer read the public hearing notice out loud. He noted the application was for an informal design review pursuant to NH RSA 676:4. He read out loud the notes from the Town Planner dated June 20<sup>th</sup> which detailed that abutters were notified, and plans and supporting documents dated May 21, 2025 were in the meeting packet of June 12<sup>th</sup> and the application had been continued until this evening. Mr. Sharples recommended the Board vote at the end of the design review or table for more information.

Bruce Scammon of Emmanuel Engineering indicated he was present with Tim Foss, Attorney Tim Phoenix and Doug Remore of Jewett Construction. He showed the location of the existing dealership next to Hannaford. He noted that last spring they proposed a new building and parking in the wooded area. He showed the existing building and noted there are 12 service bays and due to growth would like to expand and build the new dealership next to the building. It would be three stories with entrance off Sylvania Road, with a full basement and service bays in the back, increasing from 12 bays to 30. He noted that they started at the Conservation Commission first. Mr. Scammon described how they would need to fill the rear area and described the wetlands, manmade wetlands and swale. He described the three lots, 110, 111 and 112-2 and culvert that runs across the property to the dam at the water works

43 which goes to the Squamscott River. He described the proposed large sand filter to treat the water and  
44 described the flow of water. He noted the existing pipe would be extended a couple hundred feet. He  
45 described the easement for the abutter's detention pond. He noted that Alteration of Terrain permit  
46 will be needed and described the million-dollar sand filter as 21' deep with large stones, sand layer and  
47 more large stones with pipe that is perforated in the rock areas. He explained the manhole covers, catch  
48 basins and pipes and the location under the parking area which would be traditional asphalt. He noted  
49 NH DES may require an underground denitrification chamber. He pointed out the retaining wall close to  
50 the property line and proposed driveway out back, storage and service parking. He noted there would  
51 be a lot line adjustment or elimination because the building would be on both lots.

52  
53 Mr. Grueter asked about maintenance of the sand filter and Mr. Scammon indicated it would not need  
54 any, only the pretreatment area.

55  
56 Mr. Grueter asked who was supposed to maintain the area out back where the drainage easement is  
57 and Mr. Scammon indicated there is probably an agreement and he will find it for him.

58  
59 Ms. Belanger asked about nitrogen removal with the sand filter alone and if there is a denitrification  
60 chamber. Mr. Scammon noted both would improve levels of nitrogen, but the added chamber would  
61 help more.

62  
63 Ms. Martel asked if other locations had been explored that wouldn't require the wetland to be filled in.  
64 Mr. Scammon noted Lot 110 doesn't have the space. Ms. Martel recommended asking for variances for  
65 setbacks. Ms. Martel asked about landscaping and recommended the plan be robust because of all the  
66 vegetation proposed to be removed. Ms. Martel noted it would be helpful to see the proposed parking  
67 plan. Mr. Hubbard agreed and questioned how much parking was across the street. Mr. McLeod asked  
68 the number of cars for sale on the site, the amount of inventory. Mr. Scammon noted the lower lot  
69 approved was for 145 parking spots. They are looking at 400 in the upper lot, so 545 between the two.  
70 There would be 60 bays, 45-50 employees and 40 parking spaces for customers. Ms. Martel asked for  
71 drawings of what the building would look like.

72  
73 Ms. Belanger asked about added traffic to GTE Road and where employees are parking now. She noted  
74 the driveway is still two-way traffic and there would be concerns about backing out. Mr. Scammon  
75 noted a traffic study may be needed.

76  
77 Mr. Kennedy asked about the amount of parking and whether it was required or for their needs. Mr.  
78 Scammon noted the service bays, clients and employees. Mr. Kennedy asked if it was more than  
79 required and he indicated he did not have that answer yet.

80  
81 Mr. Grueter asked about snow storage and Mr. Scammon pointed out existing storage and noted there  
82 could be some out back or it could be removed from the site.

83  
84 Ms. English noted she agreed with Ms. Martel and questioned if the building couldn't be closer to the  
85 road. She agreed with Ms. Martel about landscaping and noted a lot of features troubled her. She asked  
86 if they considered solar panels.

Mr. Grueter noted when he lived in Florida dealerships would have parking garages in the building, which is a plus in New England.

Ms. Kennedy also questioned whether the building could be slid closer to Portsmouth Avenue and Mr. Scammon indicated they would not have enough display space in front.

Mr. Hubbard asked about customer parking. Mr. Scammon noted 15 spaces may be moved.

Mr. Hubbard asked if the top of the proposed building would be one story above existing and Mr. Scammon noted the existing building already has two stories and it would probably be a little taller.

***Mr. Grueter motioned that the design review process for Foss Motors, Planning Board Case #24-4 was concluded and to instruct the Town Planner to notify the applicant in writing according to NH RSA 676:4. Ms. Belanger seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.***

#### **IV. OLD BUSINESS**

##### **APPROVAL OF MINUTES**

April 24, 2025

Mr. Kennedy and Mr. Hubbard recommended edits.

***Ms. English motioned to approve the April 24, 2025 minutes , as noted. Mr. Grueter seconded the motion. Ms. Belanger and Mr. Kennedy abstained. The motion passed 5-0-1.***

June 12, 2025 - ***Tabled***

#### **V. OTHER BUSINESS**

- Election of Officers

***Ms. Martel motioned to re-elect John Grueter as Clerk of the Planning Board. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.***

Chair Plumer noted that he talked to Pete Cameron and he indicated he will be stepping down. He noted the Town Planner will be on leave for several weeks.

- Master Plan Discussion
- Field Modifications



130

131           •       Bond and/or Letter of Credit Reductions and Release

132

133   **VI. TOWN PLANNER’S ITEMS**

134   **VII. CHAIRPERSON’S ITEMS**

135   **VIII. PB REPRESENTATIVE’S REPORT ON “OTHER COMMITTEE ACTIVITY”**

136   **IX. ADJOURN**

137   *Ms. Belanger motioned to adjourn the meeting at 8:40 PM. Mr. Hubbard seconded the*  
138   *motion. A vote was taken, all were in favor, the motion passed unanimously.*

139

140   Respectfully submitted.

141   Daniel Hoijer,

142   Recording Secretary (Via Exeter TV)



# TOWN OF EXETER

## *Planning and Building Department*

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**Date:** July 1, 2025

**To:** Planning Board

**From:** Dave Sharples, Town Planner

**Re:** J. Caley Associates    97 Portsmouth Avenue    PB Case #25-3

The Applicant has submitted site plan review and Shoreland Conditional Use Permit (CUP) applications for the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct a multi-use building to include commercial space, amenities, and 14 residential units with parking and associated site improvements. The property is located in the C-2, Highway Commercial zoning district and is identified as Tax Map Parcel #65-125.

The Applicant submitted applications, plans and supporting documents, dated 04/29/25 for review. A Technical Review Committee (TRC) meeting was conducted on May 22<sup>nd</sup>, 2025 and it was determined that zoning relief, a second TRC meeting, and more details on required components of the plans would be required for the application to be considered complete. Given changes likely, a detailed review was not conducted. TRC comments from Town departments were to be provided upon resubmittal and a second TRC meeting.

The Applicant submitted revised plans and supporting documents, dated 06/09/25 and a second TRC meeting was held on 06/18/25. A copy of the UEI comment letter, dated 06/23/25 is enclosed for your review. Written town department comments were not provided.

Subsequently, the Applicant has provided revised plans and supporting documents, dated 06/24/25, addressing those comments discussed at the TRC meeting, and the most recent comments provided by UEI. These materials are enclosed for your review.

Please note that the abutter list for this project was revised by the Town to include adjacent property owners, REL Commons and McLane Manor Condo Association (see abutter list with handwritten additions). These properties are not considered direct abutters for the purpose of notification, but the property owners have expressed concerns regarding their property being directly affected by the proposed development under consideration and have asked to be notified of upcoming meetings.

The Applicant is requesting two waivers from the Board's Site Plan Review and Subdivision Regulations as outlined in the waiver letters from Beals Associates, PLLC dated June 24, 2025.

The Applicant is scheduled to present their Shoreland Conditional Use Permit application to the Conservation Commission at their July 8<sup>th</sup>, 2025 meeting. The Board will be updated with their recommendations at the meeting.

At a minimum, I would suggest that the Planning Board consider a vote on accepting the plans as complete for review purposes, and, if deemed complete, hold the public hearing to get input from the public and consider scheduling a site walk. Conditions of approval will be provided at the meeting should the Board decide to forego a site walk.

**Waiver Motions:**

**Grading within 5 feet of exterior property line waiver motion:** After reviewing the criteria for granting waivers, I move that the request of J. Caley Associates (PB #25-3) for a waiver from Section 9.3.6.4. of the Site Plan Review and Subdivision Regulations regarding grading within 5 feet of an exterior property line be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

**Sidewalk waiver motion:** After reviewing the criteria for granting waivers, I move that the request of J. Caley Associates (PB Case #25-3) for a waiver from Section 6.19.5.E.3. of the Zoning Ordinance (MUND Design Standards – Property Frontage) to permit the proposed sidewalk to be less than eight-feet (8') in width be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

**Planning Board Motions:**

**Table /Continuance Motion:** I move that the application of J. Caley Associates (PB Case #25-3) be CONTINUED to the (date/time/place) Planning Board meeting and revised plans/documents shall be submitted to the Planning Office at least eight (8) days prior to the meeting or the application may remain on the table to a future meeting. **PLEASE NOTE: The first available meeting date will be August 28<sup>th</sup>, following the wrap-up of the CIP public hearing.**

**Conditional Use Permit (Shoreland) Motion:** After reviewing the criteria for a Shoreland Conditional Use permit, I move that the request of J. Caley Associates (PB Case #25-3) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

**Mixed Use Neighborhood Development (MUND) Site Plan Motion:** I move that the request of J. Caley Associates (PB Case #25-3) for Site Plan approval of the proposed MUND project be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures

**70 Portsmouth Avenue  
3<sup>rd</sup> Floor, Suite 2  
Stratham, N.H. 03885  
603 – 583 - 4860  
Fax: 583 - 4863**

June 6, 2025

Chairman  
Town of Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

RE: Letter of Explanation  
97 Portsmouth Avenue  
Proposed Mixed-Use Development  
Tax Map 65 Lot # 125

Dear Members of the Board:

The applicant is proposing to demolish the existing dry-cleaning building and remove the foundation/slab. The proposed redevelopment consists of a mixed-use building consisting of commercial space, amenities, and 14 residential units utilizing the existing shared driveway, proposed parking, and shared parking and access within the plaza. In addition, a covered espresso bar is proposed at the front of the site. Proposed drainage includes two pervious patios and an area of porous pavement behind the building. The new building will be serviced with underground water, sewer, gas, and electric/communication services.

As a portion of the site is within the Town of Exeter's Shoreland Protection District, disturbance within that district requires a Conditional Use Permit.

Thank you for your consideration.

Very truly yours,  
BEALS ASSOCIATES, PLLC

*Christian O. Smith*

Christian O. Smith P.E.  
Principal



## TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

### OFFICE USE ONLY

#### THIS IS AN APPLICATION FOR:

- ☒ **COMMERCIAL SITE PLAN REVIEW**  
☐ **INDUSTRIAL SITE PLAN REVIEW**  
☐ **MULTI-FAMILY SITE PLAN REVIEW**  
☐ **MINOR SITE PLAN REVIEW**  
☐ **INSTITUTIONAL/NON-PROFIT SPR**

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**APPLICATION #**  
**DATE RECEIVED**  
**APPLICATION FEE**  
**PLAN REVIEW FEE**  
**ABUTTERS FEE**  
**LEGAL NOTICE FEE**  
**TOTAL FEES**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
**INSPECTION FEE**  
**INSPECTION COST**  
**REFUND (IF ANY)**

1. **NAME OF LEGAL OWNER OF RECORD:** Blue Fields Property

**TELEPHONE:** ( 978 375-3153

**ADDRESS:** 97 Portsmouth Ave., Exeter, NH

2. **NAME OF APPLICANT:** Jeff Caley Associates

**ADDRESS:** 11 Taylor court, Stratham, NH

j.caley@comcast.net **TELEPHONE:** ( ) 603-231-4512

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:** \_\_\_\_\_

N/A

(Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:** Existing dry cleaner business.

**ADDRESS:** 97 Portsmouth Ave

**TAX MAP:** 65 **PARCEL #:** 125 **ZONING DISTRICT:** C2

**AREA OF ENTIRE TRACT:** .4 ac **PORTION BEING DEVELOPED:** .4 ac



5. **ESTIMATED TOTAL SITE DEVELOPMENT COST \$** \_\_\_\_\_

6. **EXPLANATION OF PROPOSAL:** Raze existing buildings & develop parcel with 1 4 story building  
w/14 residential units and commercial space with an exterior cafe bar under MUND zoning.

7. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** Yes

If yes, Water and Sewer Superintendent must grant written approval for connection.

If no, septic system must comply with W.S.P.C.C. requirements.

8. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

	<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A.	_____	_____
B.	_____	_____
C.	_____	_____
D.	_____	_____
E.	_____	_____
F.	_____	_____

9. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** No IF YES, ATTACH COPY.

10. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**

**NAME:** Beals Associates, PLLC - Christian O Smith, P.E.

**ADDRESS:** 70 Portsmouth Avenue, Stratham, NH 03885

**PROFESSION:** Civil Engineer **TELEPHONE:** ( 603 ) 583-4860

11. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:**

Residential and mixed use units within 1 building with proposed parking in the rear. Pervious pavers are proposed for the patio area and porous pavement behind the rear building to mitigate stormwater, under ground electric, cable, gas & water services are proposed along with a sewer connection to the main in Portsmouth ave.



**12. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?**

IF YES, DESCRIBE BELOW. (Please check with the Planning Department Office to verify)

No

**13. WILL THE PROPOSED PROJECT INVOLVE DEMOLITION OF ANY EXISTING BUILDINGS OR APPURTENANCES? IF YES, DESCRIBE BELOW.**

(Please note that any proposed demolition may require review by the Exeter Heritage Commission in accordance with Article 5, Section 5.3.5 of the Exeter Zoning Ordinance).

Yes, demolition of the existing business is proposed.

**14. WILL THE PROPOSED PROJECT REQUIRE A "NOTICE OF INTENT TO EXCAVATE" (State of NH Form PA-38)? IF YES, DESCRIBE BELOW.**

No

**NOTICE:** I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE REGULATIONS; INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 15.2 OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 4/29/25 OWNER'S SIGNATURE \_\_\_\_\_

ACCORDING TO RSA 676.4.I ( c ), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



## SITE PLAN REQUIREMENTS

### 7.4 Existing Site Conditions Plan

Submission of this plan will not be applicable in all cases. The applicability of such a plan will be considered by the TRC during its review process as outlined in Section 6.5 Technical Review Committee (TRC) of these regulations. The purpose of this plan is to provide general information on the site, its existing conditions, and to provide the base data from which the site plan or subdivision will be designed. The plan shall show the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.1 Names, addresses, and telephone numbers of the owner, applicant, and person(s) or firm(s) preparing the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.2 Location of the site under consideration, together with the current names and addresses of owners of record, of abutting properties and their existing land use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.3 Title, date, north arrow, scale, and Planning Board Case Number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.4 Tax map reference for the site under consideration, together with those of abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.5 Zoning (including overlay) district references.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.6 A vicinity sketch or aerial photo showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 2,000-feet, or larger area if deemed necessary by the Town Planner.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.7 Natural features including watercourses and water bodies, tree lines, significant trees (20-inches or greater in diameter at breast height) and other significant vegetative cover, topographic features, and any other environmental features that are important to the site design process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.8 Man-made features such as, but not limited to, existing roads, structures, and stonewalls. The plan shall also indicate which features are to be retained and which are to be removed or altered.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.9 Existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input type="checkbox"/> n/a	<input type="checkbox"/>	7.4.10 A High Intensity Soil Survey (HISS) of the entire site, or appropriate portion thereof. Such soil surveys shall be prepared by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.





<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.11 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.12 Surveyed property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.13 The lines of existing abutting streets and driveway locations within 200-feet of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.14 The location, elevation, and layout of existing catch basins and other surface drainage features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.15 The shape, size, height, location, and use of all existing structures on the site and approximate location of structures within 200-feet of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.16 The size and location of all existing public and private utilities, including off-site utilities to which connection is planned.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.17 The location of all existing easements, rights-of-way, and other encumbrances.
<input type="checkbox"/> n/a	<input type="checkbox"/>	7.4.18 All floodplain information, including the contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated May 17, 1982.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.19 All other features which would fully explain the existing conditions of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.20 Name of the site plan or subdivision.



## 7.5 Proposed Site Conditions Plan (Pertains to Site Plans Only)

The purpose of this plan is to illustrate and fully explain the proposed changes taking place within the site. The proposed site conditions plan shall depict the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.1 Proposed grades and topographic contours at intervals not to exceed 2-feet with spot elevations where grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.2 The location and layout of proposed drainage systems and structures including elevations for catch basins.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.3 The shape, size, height, and location of all proposed structures, including expansion of existing structures on the site and first floor elevation(s). Building elevation(s) and a rendering of the proposed structure(s).
<input type="checkbox"/> n/a	<input type="checkbox"/>	7.5.4 High Intensity Soil Survey (HISS) information for the site, including the total area of wetlands proposed to be filled.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.5 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input type="checkbox"/> n/a	<input type="checkbox"/>	7.5.6 Location and timing patterns of proposed traffic control devices.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.7 The location, width, curbing and paving of all existing and proposed streets, street rights-of-way, easements, alleys, driveways, sidewalks and other public ways. The plan shall indicate the direction of travel for one-way streets. See Section 9.14 – Roadways, Access Points, and Fire Lanes for further guidance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.8 The location, size and layout of off-street parking, including loading zones. The plan shall indicate the calculations used to determine the number of parking spaces required and provided. See Section 9.13 – Parking Areas for further guidance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.9 The size and location of all proposed public and private utilities, including but not limited to: water lines, sewage disposal facilities, gas lines, power lines, telephone lines, cable lines, fire alarm connection, and other utilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.10 The location, type, and size of all proposed landscaping, screening, green space, and open space areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.11 The location and type of all site lighting, including the cone(s) of illumination to a measurement of 0.5-foot-candle.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.12 The location, size, and exterior design of all proposed signs to be located on the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.13 The type and location of all solid waste disposal facilities and accompanying screening.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.14 Location of proposed on-site snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.15 Location and description of all existing and proposed easement(s) and/or right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.16 A note indicating that: "All water, sewer, road (including parking lot), and drainage work shall be constructed in accordance with Section 9.5 Grading, Drainage, and Erosion & Sediment Control and the Standard Specifications for Construction of Public Utilities in Exeter, New Hampshire". See Section 9.14 Roadways, Access Points, and Fire Lanes and Section 9.13 Parking Areas for exceptions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.17 Signature block for Board approval

#### OTHER PLAN REQUIREMENTS (See Section indicated)

- ☒ 7.7 Construction plan
- ☒ 7.8 Utilities plan
- ☒ 7.9 Grading, drainage and erosion & sediment control plan
- ☒ 7.10 Landscape plan
- ☒ 7.11 Drainage Improvements and Storm Water Management Plan
- ☐ 7.12 Natural Resources Plan
- ☐ 7.13 Yield Plan



## SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing (✓)
2. Abutter's List Keyed to Tax Map (✓)  
(including the name and business address of every engineer, architect, land surveyor, or soils scientist whose professional seal appears on any plan submitted to the Board)
3. Completed- " Checklist for Site Plan Review" (✓)
4. Letter of Explanation (✓)
5. Written Request for Waiver (s) from " Site Plan Review and Subdivision Regulations" (if applicable) (N/A)
6. Completed "Preliminary Application to Connect and /or Discharge to Town of Exeter- Sewer, Water or Storm Water Drainage System(s)"( if applicable) (✓)
7. Planning Board Fees (✓)
8. Seven (7) full-sized copies of Site Plan (✓)
9. Fifteen (15) 11"x17" copies of the final plan to be submitted **TEN DAYS PRIOR** to the public hearing date. (✓)
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. (✓)

**NOTES:** All required submittals must be presented to the Planning Department office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.

# **Town of Exeter**



## **Planning Board Application for Conditional Use Permit: Shoreland Protection District**

*July 2023*

**Town of Exeter**  
**Planning Board Application**  
**Conditional Use Permit: Shoreland Protection District**

**SUBMITTAL REQUIREMENTS:**

1. Refer to the Land Use Board Meeting Schedule and Deadlines for Submission Requirements.
2. Plans Must Include:

Existing Conditions

- a. Property Boundaries
- b. Exeter Shoreland Protection District (ESPD): Edge of seasonal high-water mark (HWM) including contiguous wetlands and associated buffer as described in 9.3.3 A-C.
 

--Exeter, Fresh, Squamscott River and Major Tributaries: <b>300'</b>	--Upland Extent of Tidal Marsh adj. to Squamscott River: <b>150'</b>
--Mean High Water Level of Perennial Brooks and Streams in the Exeter, Fresh and Squamscott River Watersheds: <b>150'</b>	-- Building Setbacks as defined in 9.3.4.C: <b>300', 150', or 100'</b>
	--Vegetative Buffer: <b>75'</b>
- c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements

Proposed Conditions

- a. Edge of Shoreland and Shoreland Buffers and distances to the following:
  - i. Edge of Disturbance
  - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
- b. Percent of impervious surface in ESPD
- c. Name and phone number of all individuals whose professional seal appears on the plan
3. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
4. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
5. A Town of Exeter Assessors list of names and mailing addresses of all abutters

**Required Fees:**

Planning Board Fee: **\$50.00**      Abutter Fee: **\$10.00**      Recording Fee (if applicable): **\$25.00**

The Planning Office must receive the completed application, plans and fees NO LATER THAN 4:00 PM on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

<b>APPLICANT</b>	Name:	J Caley Associates	
	Address:	11 Taylor Court, Stratham, NH 03885	
	Email Address:	j.caley@comcast.net	
	Phone:	603.231.4512	
<b>PROPOSAL</b>	Address:	97 Portsmouth Avenue	
	Tax Map #	65	Lot# 125      Zoning District: C2
	Owner of Record:	Blue Fields Property	
<b>Person/Business performing work outlined in proposal</b>	Name:	Same as Applicant	
	Address:		
	Phone:		
<b>Professional that delineated wetlands</b>	Name:	John P Hayes, III, CWS, CSS	
	Address:	36 Cable Road, Rye, NH 03870	
	Phone:	603.205.4396	

**Town of Exeter  
Planning Board Application**

**Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

Current site is a dry cleaner with associated parking. The proposal is to raze the existing building and develop the property with two 4-story mixed-use buildings with associated parking and utilities.

Shoreland Protection District Impact (in square footage):

Waterworks Pond

District Impacted: Exeter River ☐

Fresh River ☐

Squamscott River ☐

Buffer Impact	Temporary:		Permanent:	
		(SQ FT.)		(SQ FT.)
	<input checked="" type="checkbox"/> 300' Buffer	189	<input checked="" type="checkbox"/> 300' Buffer	10,195
	<input checked="" type="checkbox"/> 150 Buffer	121	<input checked="" type="checkbox"/> 150 Buffer	3,106
	<input type="checkbox"/> Building Setback		<input type="checkbox"/> Building Setback	
	<input type="checkbox"/> Veg Buffer		<input type="checkbox"/> Veg Buffer	
	<input checked="" type="checkbox"/> % Impervious Cover PRE 79.5% POST 45.2%			

Project Proposal Does Not Include Any Prohibited Uses as Defined By 9.3.4.F.

☒ No Prohibited Uses Proposed

Is a State Shoreland Permit Required? ☒ Yes ☐ No

If YES, include filing date or expected filing date:

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

N/A

Indicate whether your proposal meets the conditions of Article 9.3.4.G.2 of the Town of Exeter Zoning Ordinance.

**Note: Written justification for each criterion must be provided to be deemed administratively complete.**

- |   |                             |   |
|---|-----------------------------|---|
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> No | a. The proposed use will not detrimentally affect the surface water quality of the adjacent river or tributary, or otherwise result in unhealthful conditions.  |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> No | b. The proposed use will discharge no waste water on site other than that normally discharged by domestic waste water disposal systems and will not involve on-site storage or disposal of hazardous or toxic wastes as herein defined. |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> No | c. The proposed use will not result in undue damage to spawning grounds and other wildlife habitat.   |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> No | d. The proposed use complies with the use regulations identified in Article 9.3.4 Exeter Shoreland Protection District Ordinance – Use Regulations and all other applicable sections of this article.                                   |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> No | e. The design and construction of the proposed use will be consistent with the intent of the purposes set forth in Article 9.3.1 Exeter Shoreland Protection District Ordinance – Authority and Purpose.                                |

**70 Portsmouth Avenue  
3<sup>rd</sup> Floor, Suite 2  
Stratham, N.H. 03885  
603 – 583 - 4860  
Fax: 583 - 4863**

April 29, 2025

Chairman  
Town of Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

RE: Shoreland Protection District Conditional Use Section 9.3.4.G.2  
97 Portsmouth Avenue - Proposed Mixed-Use Development  
Tax Map 65 Lot # 125

Members of the Board:

As part of the Application for Conditional Use Permit for disturbances within the Shoreland Protection District, the following addresses the conditions of Article 9.3.4.G.2 of the Exeter Zoning Ordinance:

**9.3.4.G.2. Conditional Uses:**

- a. The proposed development will not detrimentally affect surface water quality to Waterworks Pond, or result in unhealthful conditions due to the proposed stormwater management system that meets the Town of Exeter's requirements. In addition, no snow will be stored within the Shoreland Protection District (SPD).
- b. The project will solely discharge domestic wastewater through the municipal sewer system. There will be no on-site storage or disposal of hazardous or toxic wastes at the project site.
- c. The proposed development will not result in any damage to spawning grounds or other habitat. All stormwater from the developed area that directs towards Waterworks Pond will be infiltrated into the ground.
- d. The layout has been designed to minimize disturbance within the SPD and complies with use regulations identified in Article 9.3.4 with the exception of the following which is part of this Conditional Use Permit request:
  - a. Maximum Lot Coverage: The maximum impervious lot coverage is limited to 10% where we are requesting an impervious lot coverage of 45.2%. This is a reduction from the existing site which is 79.5% impervious within the SPD.
- e. Article 9.3.1 of the Exeter Shoreland Protection District Ordinance – Authority and Purpose. The protection, maintenance, and enhancement of the water



quality of Waterworks Pond is achieved through the drainage design. The existing site directs stormwater to Waterworks Pond without any treatment. The proposal provides porous pavement with a sand filter treatment and infiltrates all stormwater up to the 50-year storm event.

Thank you for your consideration.

Very truly yours,  
BEALS ASSOCIATES, PLLC

*Christian O Smith*

Christian O. Smith P.E.  
Principal

Blue Fields Property Management LLC  
97 Portsmouth Avenue, Exeter, NH 03833  
fieldsendb@aol.com  
603-777-2619

January 7, 2025


Town of Exeter, New Hampshire  
10 Front Street  
Exeter, NH 03833

**Re: Letter of Authorization**

To Whom it May Concern:

The undersigned, as owner of premises located at 97 Portsmouth Avenue in Exeter, New Hampshire (the "Property"), hereby authorizes Josh Lanzetta, *Esq.*, and Bruton & Berube, PLLC, its employees, agents, and consultants, to seek any and **all approvals** required from the Town of Exeter (including, but not limited to special permits, building permits, zoning relief, and site plan review) related to development of the Property.

Sincerely,

DocuSigned by:  
  
By: 4AFD6C6EF4BD496...  
Brian Fieldsend, President

1/8/2025

**ABUTTERS LIST  
FOR  
NH- 1547 JEFF CALEY- EXETER, NH  
DATE April 23, 2025**

**SUBJECT PARCEL**

**TAX MAP/LOT**

65/125

**OWNER OF RECORD**

BLUE FIELDS PROPERTY  
MANAGEMENT LLC.  
97 PORTSMOUTH AVE.  
EXETER, NH 03833

**ABUTTERS**

**TAX MAP/LOT**

65/126

**OWNER OF RECORD**

THE PROVIDENT BANK  
PO BOX 37  
AMESBURY, MA 01913

65/122

EXETER REALTY TRUST  
7 HERITAGE WAY  
EXETER, NH 03833

65/123

TOWN OF EXETER  
10 FRONT ST.  
EXETER, NH 03833

65/123/1

EXETER SPORTSMANS CLUB INC.  
PO BOX 1936  
EXETER, NH 03833

52/49

94 PORTSMOUTH AVE. LLC  
720 LAFAYETTE RD  
SEABROOK, NH 03874

**PROFESSIONALS**

ENGINEERING FIRM

BEALS ASSOCIATES, PLLC.  
70 PORTSMOUTH AVE. 3<sup>RD</sup> FLOOR  
STRATHAM, NH 03885

WETLAND SCIENTIST

JACK HAYES  
7 LIMESTONE WAY  
NORTH HAMPTON, NH 03862

SURVEYOR

BERRY SURVEY  
335 SECOND CROWN PT RD.  
BARRINGTON, NH 03825

APPLICANT

JEFF CALEY ASSOCIATES  
PO BOX 1054  
EXETER, NH 03833

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FOR  
NH- 1547 JEFF CALEY- EXETER, NH  
DATE April 23, 2025**

**SUBJECT PARCEL**

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\*  
\*  
65-124 Melane Manor  
65-127 REL Commons  
**PROFESSIONALS**

ENGINEERING FIRM

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BERRY SURVEY  
335 SECOND CROWN PT RD.  
BARRINGTON, NH 03825

APPLICANT

JEFF CALEY ASSOCIATES  
PO BOX 1054  
EXETER, NH 03833

\*  
ADD: Melane Manor Condo Assn.  
Attn: Janet Spinale, Treasurer  
35 Crawford Ave.  
Exeter, NH. 03833

and their  
attorney

Gary M. Daddario, Esq.  
Marcus, Errico, Emmer & Brooks, P.C.  
32 Daniel Webster Highway, Suite 12  
Merrimack, NH. 03054

\* At the request of REL Commons (75 Portsmouth Ave.) - WJP Development LLC  
8 Greenleaf Woods Drive, Suite 200  
Portsmouth NH 03801  
TM # 65-127

BLUE FIELDS PROPERTY  
MANAGEMENT LLC.  
97 PORTSMOUTH AVE.  
EXETER, NH 03833

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PO BOX 1054  
EXETER, NH 03833

REL Commons LLC  
c/o WJP Development, LLC  
8 Greenleaf Drive, Suite 200  
Portsmouth, New Hampshire 03801

McLane Manor Condominium Assoc.  
c/o Janet Spinale, Treasurer  
35 Crawford Avenue  
Exeter, New Hampshire 03833

Gary M. Daddario, Esquire  
Marcus, Errico, Emmer & Brooks, P.C.  
32 Daniel Webster Highway, Suite 12  
Merrimack, New Hampshire 03054

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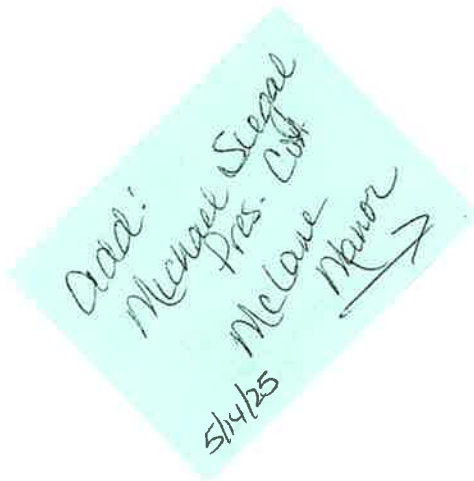
McLane Manor Condominium Assoc.  
c/o Janet Spinale, Treasurer  
35 Crawford Avenue  
Exeter, New Hampshire 03833

Gary M. Daddario, Esquire  
Marcus, Errico, Emmer & Brooks, P.C.  
32 Daniel Webster Highway, Suite 12  
Merrimack, New Hampshire 03054

Michael Siegal  
 POB 1454  
 Hampton, New Hampshire 03843

Michael Siegal  
 POB 1454  
 Hampton, New Hampshire 03843

Michael Siegal  
 POB 1454  
 Hampton, New Hampshire 03843



KNOW ALL MEN BY THESE PRESENTS,

1361 467

THAT, EXETER REALTY CORPORATION, a corporation duly established under the laws of the State of New Hampshire, and having its principal place of business at Exeter, County of Rockingham, State of New Hampshire, for and in consideration of the sum of one dollar and other valuable consideration to it in hand before the delivery hereof well and truly paid by The State of New Hampshire, the receipt whereof it does hereby acknowledge, has remised, released and forever QUITCLAIMED, and by these presents does remise, release and forever quitclaim unto The State of New Hampshire it and its successors and assigns forever:

A small parcel of land situated Southerly of Portsmouth Avenue in the Town of Exeter, County of Rockingham, State of New Hampshire, described as follows:

All the land belonging to the Grantor that comes within a distance of thirty-three (33') feet measured Southerly from the center line as shown on a plan of Exeter-Stratham E-018-2(1) E-2428 Project on file in the records of the New Hampshire Department of Public Works and Highways, and to be recorded in the Rockingham County Registry of Deeds; between land now or formerly of Victoria E. Linscott on the West near Station 40 + 75, and land now or formerly of the Town of Exeter on the East near Station 49 + 00.

Containing five thousand (5,000) square feet more or less.

Conveying hereby the Right to construct and maintain slopes beyond the limits of the above described parcel, as indicated on said plan, and the right to construct and maintain drainage also as indicated on said plan.

The undersigned, Exeter Banking Company, hereby releases and discharges a certain mortgage of Exeter Realty Corporation to Exeter Banking Company recorded in the Rockingham County Registry of Deeds, Vol. 1303, Page 409, so far as said mortgage pertains to the above-described premises, and no further.

The undersigned, Merchants Savings Bank, hereby releases and discharges a certain mortgage of Exeter Realty Corporation to Merchants Savings Bank recorded in the Rockingham County Registry of Deeds, Vol. 1303, Page 409, so far as said mortgage pertains to the above-described premises, and no further.

EXETER BANKING COMPANY,

By: Dorothy S. BairdTitle: Asst. Treas.

June 23, 1955

(Date/)

MERCHANTS SAVINGS BANK,

By: R. H. G. G. G.Title: Assistant Treasurer

June 22, 1955

(Date/)

TO HAVE AND TO HOLD the granted premises with all the privileges thereunto belonging to The State of New Hampshire it and its successors and assigns forever. And the Grantor does hereby covenant with The State of New Hampshire that it will warrant and defend the said premises to The State of New Hampshire it and its successors and assigns forever against the lawful claims and demands of any person or persons claiming by, from or under it.

IN WITNESS WHEREOF, Exeter Realty Corporation, has caused these presents to be executed in its behalf, and its corporate seal affixed thereto, by Dorothy O. Martin its Pres. and Treasurer, thereto duly authorized this 9th day of June in the Year of our Lord One Thousand Nine Hundred and Fifty-Five.

Signed, sealed and delivered in the presence of:

STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM

Everett P. Holland

On this the 9th day of June, 1955, before me, the undersigned officer, personally appeared Dorothy O. Martin herself, who acknowledged herself to be the Pres. and Treas. of Exeter Realty Corporation, a corporation, and that she as such Pres. and Treas. being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Pres. and Treas.

In witness whereof I hereunto set my hand and official seal.

Everett P. Holland  
Notary Public.

Received and recorded July 20, 9:50 A.M., 1955

*Del.  
Trante*



1953  
H. H. Hute

1523 152

KNOW ALL MEN BY THESE PRESENTS

That EXETER REALTY CORPORATION, a corporation duly established by law, and having a place of business in Exeter, County of Rockingham, and State of New Hampshire, in consideration of One Dollar and other considerations paid by the EXETER & HAMPTON ELECTRIC COMPANY, a New Hampshire corporation, hereinafter called the grantee, do hereby sell and convey unto said EXETER & HAMPTON ELECTRIC COMPANY and its successors and assigns, the perpetual and exclusive right and easement to enter upon and to construct, reconstruct, repair, replace, maintain, operate, inspect, and patrol, and at its pleasure remove a line for the transmission and/or distribution of electric energy, power and current, consisting of suitable and sufficient poles with wires, supported by the same, and necessary guys, cross arms, braces, insulators, and other usual fixtures, equipment and appurtenances, including wires for the private telephone line of the grantee, over and across a parcel of land situate in Exeter, County of Rockingham, and State of New Hampshire, and being a portion of the premises acquired by the grantor in said Exeter by two deeds from Wayne M. Colby dated April 20, 1953, and July 22, 1953, and recorded in Rockingham County Registry of Deeds, Book 1279, Page 160 and Book 1299, Page 44, respectively, which said land is generally bounded and described as follows:

Northwesterly by Portsmouth Avenue, so-called; Northerly by land of the Town of Exeter; Southeasterly by land of the town of Exeter and by land of one Linscott; Southwesterly by said Linscott land.

Upon said tract of land are located buildings comprising the Exeter Shopping Center, and for the sake of convenience reference will often be made hereafter to the "Shopping Center buildings".

Also the perpetual right and easement, at any time and from time to time, and without further payment therefor, to clear and keep cleared, by cutting or use of chemicals, a strip of said land ten (10) feet on either side of the center line of the line of poles, of trees, underbrush, buildings and other structures, to pass along said strip to and from the adjoining lands for all of the above purposes, including the removal of said line or lines, and to pass over the grantor's premises to and from said strip as reasonably required,

together with the right to cut large trees adjacent to but not within said strip which may endanger the line or lines or its operation.

The center line of the line of poles herein contemplated shall commence at a point in the Southeasterly sideline of said Portsmouth Avenue 40 feet, more or less, Southwesterly, measured along said Portsmouth Avenue, from a stone bound at the Southwesterly corner of land of the Town of Exeter and thence shall run Easterly 110 feet, more or less, to Pole Location "A", as shown on the plan hereinafter referred to, being 20 feet Southerly of land of the Town of Exeter; thence turning slightly to the right and continuing Easterly parallel to and 20 feet Southerly of said land of the Town of Exeter 218 feet, more or less, to Pole Location "B", as shown on said plan; thence turning and running Southwesterly parallel to and 20 feet Northwesterly of said land of the Town of Exeter 194 feet, more or less, to Pole Location "C", as shown on plan; thence turning slightly to the right and continuing Southwesterly parallel to and 20 feet Northwesterly of said land of the Town of Exeter 228 feet, more or less, to Pole Location "D", as shown on said plan, said Pole Location "D" being further described as being 20 feet Northwesterly of an angle in the fence marking the mutual boundary between land of Exeter Realty Corporation and said land of the Town of Exeter; thence continuing Southwesterly 230 feet, more or less, to Pole Location "E", as shown on said plan; thence turning at an acute angle to the right and running Northwesterly 84 feet, more or less, to Pole Location "F", as shown on said plan, said Pole Location "F" being 7 feet, more or less, South-easterly from the Southeasterly wall of the Shopping Center building located upon said premises at or near a utility room.

For further description of said pole line see plan entitled "Exeter & Hampton Elect. Co. Exeter, N. H., Pole Line Over Land Of Exeter Realty Corporation, October 24, 1961, Rev. March 28, 1962", to be recorded herewith, and to be considered an integral part of this instrument.

Further conveying the right to construct, install, service, maintain, replace, and otherwise to deal in and with in the usual course of business six poles, all located as shown upon the plan hereinabove referred to.

1623 154

Further granting the right to extend necessary guy wires for the support of the poles herein contemplated to points outside the 10 foot strip of land herein conveyed, with the understanding, however, that all anchors necessary therefor will be located towards the exterior boundary of the grantor's land, as indicated upon the plan hereinabove referred to.

The grantor and the grantee further mutually and severally agree as follows:

1. That the perpetual nature of the easement herein granted is subject, however, to termination in the event that at a future date, the character of the business operations presently carried on upon the above-described premises change to such an extent that electrical service be no longer required. In such case the easement and other rights herein conveyed shall revert to the grantor, or its successors or assigns. It is agreed, however, that said poles, lines, transformers, and all appurtenances thereto, whether fixed to the realty or not, shall be and remain the property of the grantee, its successors and assigns and that the grantee shall have the right to remove the same within a reasonable time following such reversion. The grantee further agrees that should such reversion occur, it will, upon due request from the grantor execute and deliver a deed of said easement and related rights to the then record owner of the premises first above described.

2. The grantee agrees that it will maintain the wires located upon the poles as shown on said plan at a sufficient height to permit normal traffic in and about the Shopping Center buildings.

3. The grantee agrees that such electrical service as may be required by the tenants, occupants, or owners of the Shopping Center buildings will be furnished over the line of poles herein contemplated, and that the present underground service of the grantor will be disconnected by the grantee at its present entrance upon said Portsmouth Avenue.

~~4. The grantee agrees to assume the responsibility for providing electrical service to the Shopping Center buildings.~~

5. The grantee agrees to remove from their present locations upon the poles on the Easterly side of Portsmouth Avenue the three transformers presently

1623 155

serving the Shopping Center buildings and to relocate said transformers, or adequate substitutes therefor, upon pads or foundations to be furnished by others at the rear of the Shopping Center buildings at or near Pole Location F as shown on the plan above referred to; provided however that the grantee reserves the right to pass upon the adequacy of said pads or foundations for the required purposes, and to require that adequate fencing or other protective measures be provided.

TO HAVE AND TO HOLD the same to the said Exeter & Hampton Electric Company, and its successors and assigns, forever, except as hereinabove provided; and the grantor covenants and agrees that it has full right, title and authority to convey the foregoing rights and privileges and will defend the same against the claims or demands of all persons whomsoever.

IN WITNESS WHEREOF Exeter Realty Corporation has set its hand and caused its corporate seal to be affixed, by its President and Treasurer, duly authorized, this 20th day of April, 1962.

In presence of:

EXETER REALTY CORPORATION

T. William Boyshon

By

Dorothy O. Douglas  
President

Dorothy O. Douglas  
Treasurer

THE STATE OF NEW HAMPSHIRE

Rockingham, ss.

April 20, 1962

Then personally appeared Dorothy O. Douglas, President and Treasurer of Exeter Realty Corporation, and acknowledged the foregoing instrument to be its voluntary act and deed.

Before me:

T. William Boyshon  
Justice of the Peace

Rec'd & recorded April 27, 3:45 P.M., 1962.



Agreement

1860 029

Exeter, N.H. April 15, 1967

Exeter Realty Corporation hereby agrees to sell to Benjamin J. Dagostino, Exeter, N.H., a field adjoining the Shopping Center on the East side of Portsmouth Avenue, for the sum of \$25,000.00. The land being sold runs 342 1/2 feet Easterly along the Exeter Water Works land, then runs generally South-  
only 198.7 feet and 251.5 feet to a point at the corner of the boundaries of the Shopping Center land, then runs generally Easterly a distance of 370 feet to Portsmouth Avenue, the point at Portsmouth Avenue is identified by a sewer or drain, then it runs along Portsmouth Avenue 278 feet to land of the Exeter Water Works.

The Seller agrees that included in this deed will be a right of way over the parking area in the Shopping Center itself to this field so that there will be access to this field from the entrances of the Shopping Center and if there are any accesses on this parcel of land being sold that the Seller will have the right to use the access from Portsmouth Avenue to reach the Shopping Center as they may be constructed if and when the land is developed.

It is understood that reciprocal rights to either parking area has been agreed upon by both parties.

The Seller is to give the buyer a warranty deed free of any encumbrances on or before May 1, 1967. In the event the title is not clear, the Buyer shall have an extension of time in which to secure a clear title. The Buyer and Seller agree that neither will permit any business whose major purpose will conflict with that of the other party or of each other on their premises or on adjoining premises..

Exeter Realty Corporation

Seller W. Curtis D. Douglas, Pres. & Treas.

Buyer Benjamin J. Dagostino

Witness to both:  
Joan E. Dagostino

May 10 1 57 PM '67  
May 10 1:57 PM 1967

See  
Assign  
V 1880  
P 139

Assign  
2222-  
1789

Assign  
2228-1975

See  
Assign  
V-1880  
P-139

Assign  
2222-  
1789

Assign  
2228-  
1975

See  
2303-  
1576

See  
Assign  
2303-1571

Assign  
2543-1387

Assign  
2543-1389

SEP 27 10 03 AM '67

BEC  
2222-  
1789

2222-  
1789

1879 110

LEASE

Agreement made this 30 day of June 1967 between  
BENJAMIN and JOAN DAGOSTINO, Exeter, New Hampshire, hereinafter called  
the LESSOR, and BLUE RIBBON CLEANERS, INC., a corporation duly organized  
by law and having a principal place of business in said Exeter, hereinafter  
called the LESSEE.

The LESSOR leases to the LESSEE and the LESSEE leases from the LESSOR,  
a certain parcel of land situate on the Easterly side of Portsmouth Avenue in  
said Exeter, bounded and described as follows:

Beginning at a point on the Easterly side of said Portsmouth Avenue at the  
Northerly corner of land standing in the name of Joan E. Dagostino and presently  
leased to John and Brenda Manix;

thence running Southeasterly along land of said LESSORS a distance of  
355 feet, more or less, to an iron pipe at land of Town of Exeter, said point  
being  $3\frac{1}{2}$  feet Northeasterly of the Northeasterly corner of land leased to said  
Manix;

thence running Northeasterly along land of said Town of Exeter a distance  
of 50 feet to an iron pipe at other land of the Lessors;

thence turning and running along land of Joan and Benjamin Dagostino a  
distance of 340 feet, more or less, to an iron pipe at the sideline of said  
Portsmouth Avenue;

thence turning and running Southwesterly a distance of 50 feet along said  
Portsmouth Avenue to point begun at.

The above described premises are subject to easements and servitudes  
as described in deed of Exeter Realty Corporation to Dagostino dated April 22,  
1964 and recorded Rockingham Records Book 1712 Page 201, but not including  
first refusal to purchase adjoining premises.

1879 111

The LESSEE intends to erect a building on the leased premises and operate a laundry and/or cleaning establishment therein, but in the event of a change in the purpose or use of the premises, the LESSEE covenants that such use will not be in direct competition with any commercial enterprise then in operation on the adjoining premises of the Exeter Realty Corporation or of the LESSOR.

The LESSEE agrees that any building erected on said premises shall set back a distance of 140 feet, more or less, from the present line of Portsmouth Avenue, but in no event closer to said Portsmouth Avenue than the building presently occupied by said Manix, and the LESSOR agrees that a sign advertising the business conducted on the leased premises may be erected and maintained by the LESSEE at or near the sideline of said Portsmouth Avenue.

918  
The LESSOR agrees that no other building or structure shall be erected any closer to said Portsmouth Avenue on adjoining premises of the LESSOR than the LESSEE'S building, nor shall any obstruction be permitted at eye level to stand on the adjoining premises any closer to said Portsmouth Avenue, except <sup>AND A SIGN TO ADVERTISE BUSINESS CONDUCTED ON PREMISES</sup> the temporary parking of automobiles, and the LESSEE, his invitees and licensees shall have the right to cross and recross in back of any building which may be constructed on adjoining premises of the LESSOR so as to retain access to the rear of the proposed building to be constructed by the LESSEE, and that reasonable effort shall be made to grade, keep clear, clean, accessible and passable the side, front and rear lot areas. (K.F.P.)

To have and to hold the leased premises for a term of 22 years and 7 months beginning October 1, 1967.

The LESSEE shall pay as rent for the leased premises the sum of \$1,200 per year for the first five years of said lease at the rate of \$100 per month on the first of each month commencing October 1, 1967; the sum of \$2,400 per year for the second five years of said lease at the rate of \$200 per month commencing October 1, 1972; the sum of \$3,600 per year for the next ten years of said lease at the rate of \$300 per month on the first of each month commencing October 1, 1977, and the sum of \$400 per month for the next twenty months.

At the close of the 22 years and 7 months, the LESSOR hereby covenants to deliver to the LESSEE or his nominee a quitclaim deed or its equivalent to the above described leased premises, free and clear of all encumbrances.

The LESSEE shall pay all taxes, charges, or assessments, charged, levied or assessed against said premises during the term of said lease.

The LESSEE shall have the right to assign, sublet or encumber the leased premises, however in the event of assignment, subletting or encumbrance, the LESSEE and the guarantor shall remain responsible for the payment of rent and for the performance of the LESSEE'S other obligations hereunder.

The LESSOR will pay 1967 real estate taxes on said premises.

This lease is made on the condition that if the LESSEE fails or defaults in the observance, keeping or performance of any of the terms, covenants or conditions of this Lease to be kept or performed by the LESSEE, then the LESSOR, at his option, may terminate and end this Lease, however, it is agreed by the parties hereto that before the LESSOR shall exercise any rights under the terms of this provision, he shall first address notices in writing by certified mail to the LESSEE, guarantor, and assignee of said LESSEE, which notice shall give the LESSEE, guarantor and/or assignee, 15 days in which to remedy any such



1879 113

- 4 -

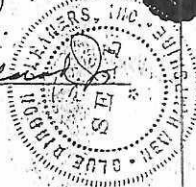
1879 113

breach or default, PROVIDED, HOWEVER, that in the event the LESSOR shall terminate the Lease as provided in this clause, then, any guarantor or mortgagee having an existing mortgage of the leasehold interest of the LESSEE, shall have the right and privilege of taking possession of the premises for the remaining balance of the term of the Lease, subject to and with the benefit of its terms and provisions.

In Witness Whereof, the parties have hereunto set their hands and seals.

Robert Pham  
To All Three

Benjamin J. Dagostino  
Joan Dagostino  
Blue Ribbon Cleaners, Inc.  
By: Russell J. Fieldsend, Jr.  
TREASURER



State of New Hampshire

Rockingham, ss.

June 30 1967

Personally appeared Joan E. Dagostino and Benjamin J. Dagostino and Blue Ribbon Cleaners, Inc., by its treasurer, Russell Fieldsend, Jr., and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Robert Pham  
Justice of the Peace

GUARANTEE

I, Russell Fieldsend, Jr., hereby guarantee the payment of rent under this lease.

Russell Fieldsend, Jr.

Know all Men by these Presents: 1976 045

30522  
JUL 17 11 19 AM '69

THAT we, John D. Manix and Brenda E. Manix, of Exeter, Rockingham County, State of New Hampshire, for consideration paid, grant to Russell Fieldsend, Jr., of said Exeter, his heirs and assigns, quitclaim with ~~RESTRICTED~~ covenants ~~as follows~~

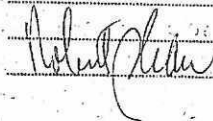
EASEMENT

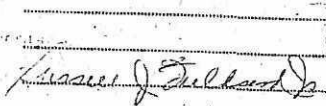

The right to use in common with the grantor, their heirs and assigns, a right of way by foot or vehicle across land of the grantor over the area lying Southeasterly of the grantors building on Portsmouth Avenue and being part of the premises leased from Joan Dagostino, said lease being recorded Rockingham Records Book 1743 Page 167; and the grantee by acceptance of this deed hereby grants to the grantor, their heirs and assigns, the right to use in common with the grantee a right of way by foot or vehicle across land of the grantee over the area lying Southeasterly of a proposed building to be erected by the grantee on Portsmouth Avenue on land adjacent to land of the grantor and leased from Benjamin Dagostino, said lease to be recorded herewith.

(dower (curtesy) and homestead and other interests therein, (wife (husband) of said grantor, release to said grantee all rights of

Witness our hands and seals this 31 day of April 19 67

WITNESS: Accepted:



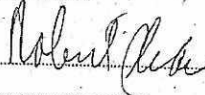
 

STATE OF NEW HAMPSHIRE.

COUNTY OF Rockingham

On this the 31 day of April, 1967, before me, Robert Shaw, the undersigned officer, personally appeared Russell Fieldsend, Jr., known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that ~~X~~ he ~~X~~ executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal.



Justice of the Peace.

1976 046

WITNESS

*Robert Shaw*  
for all three

Accepted:

*John D. Manix*  
*Brenda E. Manix*  
*Russell Fieldsend*

STATE OF NEW HAMPSHIRE

COUNTY OF Rockingham

On this the *21st* day of April, 1967, before me, Robert Shaw  
the undersigned officer, personally appeared Russell Fieldsend, Jr., John D. Manix & Brenda E. Manix  
known to me (or satisfactorily proven) to be the person *S* whose name *are* subscribed to the within instru-  
ment and acknowledged that they executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal.

*Robert Shaw*

Justice of the Peace.

No Monetary Consideration

**Know All Men By These Presents**

15241  
 THAT Exeter Realty Corporation, a New Hampshire corporation having a principal place of business in Salem, County of Rockingham, The State of New Hampshire, for consideration paid, grants to Benjamin J. Dagostino and Joan E. Dagostino, husband and wife, of Exeter, County of Rockingham, State of New Hampshire, as joint tenants with rights of survivorship, with quitclaim covenants,

All the right, title and interest which the corporation has in and to a certain parcel of land situate on the Easterly sideline of Portsmouth Avenue in said Exeter, bounded and described as follows:

15241  
 AUG 27 8 03 AM '71  
 Beginning at a point on the Easterly sideline of said Portsmouth Avenue at the Northeastly corner of land of the grantees heretofore leased by said grantees to Blue Ribbon Cleaners, Inc., said lease being recorded in Rockingham Registry of Deeds, Book 1879, Page 110, and said point being the Northwestly corner of the described premises; thence running North fourteen degrees fifty-two minutes East (N. 14° 52' E.) by said Portsmouth Avenue one hundred seventeen and sixty-seven hundredths (117.67) feet to a point; thence running and running South seventy-seven degrees fifty-four minutes East (S. 77° 54' E.) through a New Hampshire Highway Department bound and by land of said State of New Hampshire and land of the Town of Exeter three hundred thirty and thirty-nine hundredths (330.39) feet to a stone bound; thence turning and running South twenty-seven degrees six minutes West (S. 27° 06' W.) by land of said Town of Exeter one hundred ninety-eight and fifty-seven hundredths (198.57) feet to a stone bound; thence turning and running South thirty-five degrees seventeen minutes West (S. 35° 17' W.) by land of said Town of Exeter one hundred and eighty-one hundredths (100.81) feet to a point at other land of the grantees heretofore leased to Blue Ribbon Cleaners, Inc. as aforesaid; thence turning and running North forty-six degrees twenty-five minutes West (N. 46° 25' W.) by said other land of the grantees three hundred forty-nine and twelve hundredths (349.12) feet to the point of beginning.

The described premises are a portion of the premises conveyed to the grantees by deed of Exeter Realty Corporation dated April 22, 1964 recorded in Rockingham Registry of Deeds, Book 1712, Page 201.

This deed is given for the purpose of releasing to the grantees any and all rights to use in common with the grantees any access to Portsmouth Avenue across the described premises by any means and also any right to park vehicles on the described premises, all as more fully reserved by Exeter Realty Corporation in said deed to Benjamin J. and Joan E. Dagostino, to which the grantor may be entitled by virtue of the provisions of a certain mortgage to said Exeter Realty Corporation by First Development Corporation dated May 1st, 1968 recorded in Rockingham Registry of Deeds, Book 1907, Page 155.

Witness hand and seal ~~XXXXXXXXXX~~ of Exeter Realty Corporation by its officer duly authorized this 25th day of August 1971.

WITNESS:

*Dorothy B. Milbury*

Exeter Realty Corporation

By: *James H. B. [Signature]*

STATE OF NEW HAMPSHIRE

COUNTY OF ROCKINGHAM

On this the 25th day of August, 1971, before me, the undersigned officer, personally appeared Dorothy Douglas known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained, in her capacity aforesaid.

In witness whereof I hereunto set my hand and official seal.

*Dorothy B. Milbury*  
 DOROTHY B. MILBURY, Notary Public  
 My commission expires November 13, 1973



# 2091 042 **Know All Men By These Presents**

No Monetary Consideration

15242

AUG 27 8 03 AM '71

THAT First Development Corporation, a New Hampshire corporation having a principal place of business in Gorham, County of Coos, The State of New Hampshire, for consideration paid, grants to Benjamin J. Dagostino and Joan E. Dagostino, husband and wife, of Exeter, County of Rockingham, State of New Hampshire, as joint tenants with rights of survivorship, with quitclaim covenants,

All the right, title and interest which the corporation has in and to a certain parcel of land situate on the Easterly sideline of Portsmouth Avenue in said Exeter, bounded and described as follows:

Beginning at a point on the Easterly sideline of said Portsmouth Avenue the Northeasterly corner of land of the grantees heretofore leased by said grantees to Blue Ribbon Cleaners, Inc., said lease being recorded in Rockingham Registry of Deeds, Book 1879, Page 110, and said point being the Northwesterly corner of the described premises; thence running North fourteen degrees fifty-two minutes East (N. 14° 52' E.) by said Portsmouth Avenue one hundred seventeen and sixty-seven hundredths (117.67) feet to a point; thence turning and running South seventy-seven degrees fifty-four minutes East (S. 77° 54' E.) through a New Hampshire Highway Department bound and by land of said State of New Hampshire and land of the Town of Exeter three hundred thirty and thirty-nine hundredths (330.39) feet to a stone bound; thence turning and running South twenty-seven degrees six minutes West (S. 27° 06' W.) by land of said Town of Exeter one hundred ninety-eight and fifty-seven hundredths (198.57) feet to a stone bound; thence turning and running South thirty-five degrees seventeen minutes West (S. 35° 17' W.) by land of said Town of Exeter one hundred and eighty-one hundredths (100.81) feet to a point at other land of the grantees heretofore leased to Blue Ribbon Cleaners, Inc. as aforesaid; thence turning and running North forty-six degrees twenty-five minutes West (N. 46° 25' W.) by said other land of the grantees three hundred forty-nine and twelve hundredths (349.12) feet to the point of beginning.

The described premises are a portion of the premises conveyed to the grantees by deed of Exeter Realty Corporation dated April 22, 1964 recorded in Rockingham Registry of Deeds, Book 1712, Page 201.

This deed is given for the purpose of releasing to the grantees any and all rights to use in common with the grantees any access to Portsmouth Avenue across the described premises by any means and also any right to park vehicles on the described premises, all as more fully reserved by Exeter Realty Corporation in said deed to Benjamin J. and Joan E. Dagostino, to which the grantor may be entitled by virtue of the provisions of the deed of said Exeter Realty Corporation to the grantor dated May 1st, 1968 recorded in Rockingham Registry of Deeds, Book 1907, Page 146.

Witness hand and seal of First Development Corporation by its officer duly authorized this 25th day of August 1971.

WITNESS:

*James J. McInnis*

First Development Corporation

By: *[Signature]*

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF ESSEX

On this the 25th day of Aug, 1971, before me, the undersigned officer, personally appeared

known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained, in his capacity aforesaid.

In witness whereof I hereunto set my hand and official seal.

*James J. McInnis*  
Notary Public  
True & Correct

MEMORANDUM OF LEASE

On the 12<sup>th</sup> day of April, 1985, Benjamin J. Dagostino and Joan E. Dagostino of Exeter, County of Rockingham, State of New Hampshire, executed a lease with Blue Ribbon Cleaners, Inc. of Exeter, County of Rockingham, State of New Hampshire, a New Hampshire corporation.

The devised premises are described as follows:

A certain parcel of land situate on the easterly side of Portsmouth Avenue in said Exeter, bounded and described as follows: Beginning at a point on the easterly side of said Portsmouth Avenue at the northerly corner of other land of the grantors now or formerly subject to lease in favor of John and Brenda Manix; thence running southeasterly along said land of the grantors leased to said Manix a distance of 355 feet, more or less, to an iron pipe at land now or formerly of Town of Exeter, said point being 3 1/2 feet northeasterly of the northeasterly corner of land leased to said Manix; thence turning northeasterly along land of said Town of Exeter a distance of 50 feet to an iron pipe at land now or formerly of McLane; thence turning and running along land of said McLane a distance of 340 feet, more or less, to an iron pipe at the sideline of said Portsmouth Avenue; thence turning and running southwesterly a distance of 50 feet along said Portsmouth Avenue to point begun at.

The above-described premises are subject to easements and servitudes as described in deed of Exter Realty Corporation to Dagostino dated April 22, 1964 and recorded Rockingham Records Book 1712, Page 201.

Being a portion of the premises conveyed to these grantors by deed of Exter Realty Corporation dated April 22, 1964 and recorded in Rockingham County Registry of Deeds, Book 1712, Page 201.

The term of this Lease is ninety-nine (99) years beginning April 12<sup>th</sup>, 1985, and constitutes a mutual extension of the lease between the parties dated October, 1967 and recorded Rockingham County Registry of Deeds.

In witness whereof, this instrument has been executed by the parties hereto this 12<sup>th</sup> day of April, 1985.

Witness

Witness

Witness

State of New Hampshire  
Rockingham, ss.

Personally appeared Benjamin J. Dagostino and Joan E. Dagostino, and Brian J. Fieldsend, Treasurer of Blue Ribbon Cleaners, Inc., and acknowledged the foregoing to be their free act and deed, before me

Justice of the Peace

Benjamin J. Dagostino  
Benjamin J. Dagostino

Joan E. Dagostino  
Joan E. Dagostino  
Blue Ribbon Cleaners, Inc.

By: Brian J. Fieldsend  
Brian J. Fieldsend, Treasurer

April 12<sup>th</sup>, 1985

Robert J. Fieldsend

APR 15 1 52 PM '85

Rockingham County  
Registry of Deeds

14272

AMENDMENT TO  
LEASE AGREEMENT

BK2543 P1387

Lease made this 13<sup>th</sup> day of April, 1985 by and between Benjamin J. and Joan E. Dagostino of Exeter, County of Rockingham and State of New Hampshire, hereinafter referred to as lessor, and Blue Ribbon Cleaners, Inc., a New Hampshire corporation with a principal place of business in Exeter, County of Rockingham and State of New Hampshire, hereinafter referred to as lessee.

Whereas, the lessor and lessee are currently parties to a Lease dated October 1, 1967, recorded Rockingham County Registry of Deeds, Book 1879, Page 110, concerning a certain parcel of land with improvements thereon situate on the easterly side of Portsmouth Avenue in said Exeter, New Hampshire, more particularly described therein.

Whereas, said lease agreement expires in four years, and the parties are in agreement as to the renewal of said lease for an extended period of time.

Now, therefore, the parties agree as follows:

1. The lessee shall pay to the lessor the sum of seventeen thousand dollars (\$17,000.00) representing sums that are due or that shall come due under the original lease, at time of closing, and thereby obtain a full release from all rents due thereunder for the remaining period of its tenancy under said lease.

2. For consideration paid the lessor and lessee mutually agree that the lessor hereby grants to the lessee, its heirs and assigns, an extension of said lease for a term of ninety-nine (99) years from the date hereof.

3. The lessee agrees to pay rent to the lessor in the sum of one hundred dollars (\$100.00) per year with the first payment to be made one year from date hereof.

May 2 4 06 PM '85  
Rockingham County  
Registry of Deeds.

17483

BK2543 P1388

4. The terms and conditions of the original lease between the parties, and the respective obligations and rights of the parties thereunder, shall continue in full force during the term of this agreement, except as modified herein.

5. The rights of the parties under this agreement shall be freely assignable.

6. This agreement constitutes the complete agreement of the parties, who make no other warranty, representation or covenant other than is contained herein, and this agreement may not be modified except in writing.

Wherefore, the parties have caused this Lease Agreement to be executed and recorded this 12<sup>th</sup> day of April, 1985.

Witness Seal  
Witness

Three  
Witness Robert Plon

Witness

Benjamin J. Dagostino  
Benjamin J. Dagostino, lessor

Joan E. Dagostino  
Joan E. Dagostino, lessor

Blue Ribbon Cleaners, Inc., lessee

Brian J. Fieldsend  
Brian J. Fieldsend, Treasurer

State of New Hampshire  
Rockingham, ss.

April 22, 1985

Personally appeared the above-named Benjamin J. Dagostino, Joan E. Dagostino and Brian J. Fieldsend and acknowledged the foregoing to be their free act and deed, before me

Robert Plon  
Justice of the Peace



PK2970 P1211

Easement Deed

Benjamin J. Dagostino and Joan E. Dagostino, of Exeter, Rockingham County, State of New Hampshire, for consideration paid, grant to First Development Corporation, a New Hampshire corporation with a principal place of business in Gorham, Coos County, New Hampshire,

with quitclaim covenants

the right to park vehicles in any parking area on the premises of the grantors situated on Portsmouth Avenue, Exeter, New Hampshire, which premises are more fully described in a deed of Exeter Realty Corporation to the grantors dated April 22, 1964, and recorded at Rockingham Registry of Deeds in Book 1712, Page 201.

This deed is given to restore to First Development Corporation parking rights reserved in said deed which First Development Corporation relinquished by deed dated August 25, 1971, recorded in said Registry in Book 2091, Page 42.

This is not homestead property.

*Benjamin J. Dagostino*  
Benjamin J. Dagostino

*Joan E. Dagostino*  
Joan E. Dagostino

STATE OF NEW HAMPSHIRE

Rockingham, ss.

*February 8*  
February 8, 1993

Then personally appeared the above-named Benjamin J. Dagostino and Joan E. Dagostino and acknowledge the foregoing instrument signed by them to be their free act and deed, before me

*[Signature]*  
Notary Public  
*[Signature]*  
TESTING OF THE (P) (P) (P)

My Commission Expires:

STATE OF NEW HAMPSHIRE

DEPARTMENT OF REVENUE ADMINISTRATION

REAL ESTATE TRANSFER TAX

XX THOUSAND XX HUNDRED AND 42 DOLLARS

NO. DAY YR 88019 \$ 42.00

030193

VOID IF ALTERED

ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

MAR 1 2 53 PM '93

0003430

MAIL TO

~~Alexander S. Buchanan, PLLC~~  
~~30 Temple Street, Suite 201~~  
~~Nashua, NH 03060~~  
~~ASB 17-19589~~

TERMINATION OF LEASE

Notice is hereby given that the parties thereto have terminated the following Lease and amendments thereto:

1. Name and address of Landlord: Benjamin J. Dagostino  
Joan E. Dagostino  
1 Forest Street  
Exeter, NH 03833
2. Name and address of Tenant: Blue Ribbon Cleaners, Inc.  
97 Portsmouth Avenue  
Exeter, NH 03833
3. Date of execution of lease: June 30, 1967
4. Lease recording information: Rockingham County Registry of Deeds:  
Lease recorded at Book 1879, Page 110;  
amended by instrument dated April 12, 1985  
and recorded at Book 2540, Page 2971;  
further amended by instrument dated April 12, 1985  
and recorded at Book 2543, Page 1387.
5. Description of demised premises: 97 Portsmouth Avenue, Exeter, NH 03833

WITNESS our hands this 3 day of <sup>MAY</sup>~~April~~, 2017.

*Barbara J. Stenens*  
*Karen A. Walker*  
 Witness to both

LANDLORD(S):

*Benjamin J. Dagostino*  
 Benjamin J. Dagostino  
*Joan E. Dagostino*  
 Joan E. Dagostino

2017 MAY -8 PM 1:54 018418

ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

STATE OF NEW HAMPSHIRE  
COUNTY OF Rockingham

On this 3 day of <sup>may</sup>~~April~~, 2017 before me, the undersigned notary public, Benjamin J. Dagostino and Joan E. Dagostino personally appeared, proved to me through satisfactory evidence of identification, which were known, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

Before me,

Karen A. Walker

Notary Public / Justice of the Peace

My Commission Expires:

KAREN A. WALKER  
Notary Public - New Hampshire  
My Commission Expires May 18, 2021

WITNESS my hand this 3 day of <sup>may</sup>~~April~~, 2017.

TENANT:

BLUE RIBBON CLEANERS, INC.

Barbara J. Steners  
Witness

Brian J. Fieldsend

By: Brian J. Fieldsend

Its: President, duly authorized

STATE OF NEW HAMPSHIRE  
COUNTY OF Rockingham

On this 3rd day of <sup>may</sup>~~April~~, 2017 before me, the undersigned notary public, Brian J. Fieldsend personally appeared, proved to me through satisfactory evidence of identification, which was known, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated as President of Blue Ribbon Cleaners, Inc. as the voluntary act of the corporation.

Before me,



Karen A. Walker

Notary Public / Justice of the Peace

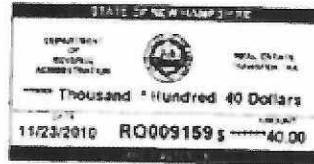
My Commission Expires:

KAREN A. WALKER  
Notary Public - New Hampshire  
My Commission Expires May 18, 2021

After recording, return to:

BK 5167 PG 2857

(2) Bosen & Associates, LLC  
One New Hampshire Avenue  
Suite 215  
Portsmouth, NH 03801



SEWER EASEMENT DEED

Know all men by these presents that THE PROVIDENT BANK, a Massachusetts savings bank, with an address of 5 Market Street, PO Box 37, Amesbury, Massachusetts 01913 ("Grantor") grants to, EXETER HOSPITAL, INC., a New Hampshire non profit corporation, with an address of 5 Alumni Drive, Exeter, New Hampshire 03833 and to EXETER HEALTH RESOURCES, INC., a New Hampshire non profit corporation, with an address of 5 Alumni Drive, Exeter, New Hampshire (collectively, "Grantees"), certain rights and easements on property in the Town of Exeter, County of Rockingham and State of New Hampshire described in the deed from Linron, Inc. to The Provident Bank dated August 31, 2009 and recorded at the Rockingham County Registry of Deeds at Book 5047, Page 0539:

**EASEMENT RIGHTS:** The perpetual right and easement to lay, construct, operate, maintain, repair and replace sewage and/or leachate pump or pumps, pump station housing, pipes, valves, manholes and any and all necessary or desirable appurtenant equipment within the Easement Area (defined below) for the collection and transport of sewage and/or leachate from the property of the Grantees and their affiliates. Any connection of any unaffiliated properties shall require the consent of Grantor.

This conveyance includes the right of access from land of the Grantor, to and across the Easement Areas for all purposes in connection with the exercise of the within granted rights and easements; the right to excavate, trench and backfill, by men or machines, and temporarily to place excavated earth and other material on the Easement Areas provided that the Easement Areas will be restored by the Grantees to the condition in which it was immediately prior to such access, excavation, trenching and backfilling; the right to trim, cut down and remove bushes, trees and other plant growth on the Easement Areas as, and to

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ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

such extent, in the reasonable judgment of the Grantees, as necessary for any of the above purposes; the right to go upon the Easement Areas when working on sidelines and associated equipment.

Grantees shall agree to indemnify, defend and hold harmless the Grantor and its official agents, and employees from any and all claims for personal injury of property damage arising in any way out of existence or use or construction of the sewer easement.

Grantor at its expense shall have the right to relocate the sewer easement at any time as necessary after consultation with the Grantees and with reasonable provision to avoid the interruption of sewer service from the Grantees' property.

EASEMENT AREA: SEE EXHIBIT A

Grantor shall not place any buildings or other structures or obstructions within the area of the easement but may pave over it and install such trees, grasses and ornamental landscaping as shown on any of the site plans approved by the Town of Exeter.

Grantee shall be responsible to carry out and pay for any ongoing maintenance of the sewer line within the Easement. With respect to the portion of the line in the Common Easement Area only, any cost of maintenance of that portion shall be split equally between the Grantor and the Grantee. Grantee shall pay for such Common Area maintenance work and present invoices or other evidence of the cost in reasonable detail to Grantor, who shall reimburse the Grantee within sixty (60) days thereof.

Prior to exercising any right hereunder, Grantees shall give sixty (60) days written notice to Grantor of the intended work in the easement area. Any such work shall be conducted so as to have the minimal effect on the operation of Grantor's business which includes, but is not necessarily limited to the completion of all work in a commercially reasonable time frame that is usual and customary in the industry. Grantee shall take reasonable steps to prevent blocking access to and from the Grantee's property or disrupting its parking. Grantee shall further be responsible for restoring any pavement, brickwork, concrete work and/or plantings that are disrupted during its exercise of rights hereunder. Any and all work performed by the Grantee in the Easement Area shall be at its sole costs and expense. Notwithstanding the foregoing, the Grantees are

required to act immediately to address any need for repair of any installed sewer line to insure that there is no environmental contamination of Grantor's property.

The Easement rights conveyed herein, together with the obligations undertaken by the Grantees, by recording this deed, shall be binding upon the Grantor and the Grantees and their successors and assigns.

Executed this 11 day of August, 2010.

THE PROVIDENT BANK

By: [Signature]  
Its: EVP & CFO

STATE OF New Hampshire  
COUNTY OF Rockingham, ss

The foregoing instrument was acknowledged before me this 11 day of August, 2010, by David Mansfield, duly authorized EVP + CFO of The Provident Bank.

[Signature]  
Notary Public / Justice of the Peace

Printed Name: \_\_\_\_\_

My Commission expires: MY COMMISSION EXPIRES FEB 8, 2011

JOHN K. BOSEN

NEW HAMPSHIRE

EXETER HOSPITAL, INC.

By: [Signature]  
Kevin O'Leary, Treasurer  
Duly Authorized

STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM, ss

The foregoing instrument was acknowledged before me this 11 day of August, 2010, by Kevin O'Leary, duly authorized Treasurer of Exeter Hospital, Inc.

[Signature]  
Notary Public / Justice of the Peace

Printed Name: \_\_\_\_\_

My Commission expires: \_\_\_\_\_



EXETER HEALTH RESOURCES INC.

By: [Signature]  
Kevin O'Leary, Treasurer  
Duly Authorized

STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM, ss

11<sup>th</sup> The foregoing instrument was acknowledged before me this  
day of August, 2010, by Kevin O'Leary, duly authorized  
Treasurer of Exeter Health Resources, Inc.

[Signature]  
Notary Public / ~~Justice of the Peace~~  
Printed Name: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

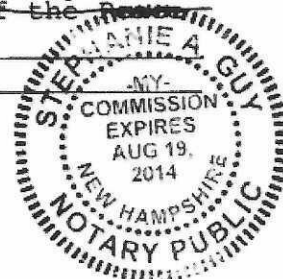




EXHIBIT A

Two (2) easements over a certain tract or parcel of land shown as Map 65, Lot 126 on a plan of land entitled "Sewer Easement Plan, The Provident Bank, 95 Portsmouth Avenue, Exeter, NH 03833" prepared by Jones & Beach Engineers, Inc. dated May 25, 2010 with revision #1 dated July 8, 2010 and recorded at the Rockingham County Registry of Deeds as Plan # D-36632 (hereinafter "Plan"); said easement areas are more particularly bounded and described as follows:

20 FOOT WIDE PERMANENT UTILITY EASEMENT

Beginning at a 6' x 6' stone bound at the southerly corner of Map 65, Lot 126 at the easterly corner of Map 65, Lot 127 being the southerly corner of the within described easement area as shown on said Plan; thence running along said Lot 127 N48°35'37"W a distance of 224.13 feet to a point; thence turning and running N00°12'48"E a distance of 80.00 feet to a point at the "Common Utility Easement" as shown on said Plan; thence turning and running S89°47'12"E a distance of 20.00 feet to a point; thence turning and running S00°12'48"W a distance of 71.35 feet to a point; thence turning and running S46°35'37"E a distance of 212.57 feet to a point at Map 65, Lot 123 as shown on said Plan; thence turning and running along said Lot 123 S35°10'21"W a distance of 20.21 feet to the stone bound at the point of beginning.

Said easement area containing 5,880 sq. ft., more or less, according to said Plan.

20 FOOT WIDE PERMANENT COMMON UTILITY EASEMENT

Beginning at a point in the southeasterly sideline of Portsmouth Avenue being the northeasterly corner of the within described easement area as shown on said Plan (said point being S40°28'56"E a distance of 18.53 feet from an iron pipe at the common boundary line of Map 65, Lot 125 and Lot 126 as shown on said Plan); thence running S47°51'49"E a distance of 93.07 feet to a point; thence turning and running S00°12'48"W a distance of 15.77 feet to a point at the Permanent Utility Easement as shown on said Plan; thence turning and running N89°47'12"W a distance of 20.00 feet to a point; thence turning and running N00°12'48"E a distance of 6.85 feet to a point; thence turning and running N47°51'49"W a distance of 83.57 feet to a point at the sideline of Portsmouth Avenue; thence turning and running along said



Portsmouth Avenue N40°28'56"E a distance of 20.01 feet to the point of beginning.

Said easement area containing 1,993 sq. ft., more or less, according to said Plan.

Meaning and intending to convey two easements containing, in the aggregate, 7,873 sq. ft., more or less, over a portion of the property described in the deed from Linron, Inc. to The Provident Bank dated August 31, 2009 and recorded at the Rockingham County Registry of Deeds at Book 5047, Page 0540.

S:\EM-E2\Exeter Hospital\Sewer Easement Issue - Provident Bank\Redlined Easement Deed dtc 072110.doc

After recording, return to:

Associates,  
Bosen & ~~PLLC~~  
One New Hampshire Avenue  
Suite 215  
Portsmouth, NH 03801

BK 5167 PG 2863

053057

To be indexed as follows:

Grantor:  
The Provident Bank

Grantee:  
Exeter Hospital, Inc., Exeter Health Resources, Inc.  
and Exeter Healthcare, Inc.

ADDENDUM TO SEWER EASEMENT DEED  
TO ADD ADDITIONAL GRANTEE

Now comes **THE PROVIDENT BANK**, a Massachusetts savings bank, with an address of 5 Market Street, PO Box 37, Amesbury, Massachusetts 01913, **EXETER HOSPITAL, INC.**, a New Hampshire non profit corporation, with an address of 5 Alumni Drive, Exeter, New Hampshire 03833 and **EXETER HEALTH RESOURCES, INC.**, a New Hampshire non profit corporation, with an address of 5 Alumni Drive, Exeter, New Hampshire, all parties to a certain Sewer Easement Deed dated August 11, 2010, and recorded immediately prior hereto (the "Sewer Easement Deed"), conveying certain rights and easements over property in the Town of Exeter, County of Rockingham and State of New Hampshire described in the deed from Linron, Inc. to The Provident Bank dated August 31, 2009 and recorded at the Rockingham County Registry of Deeds at Book 5047, Page 0539 and recite as follows:

Whereas, **EXETER HEALTHCARE, INC.**, a New Hampshire non profit corporation, with a mailing address of 4 Alumni Drive, Exeter, New Hampshire, owns property known as 4 Alumni Drive in the Town of Exeter, County of Rockingham and State of New Hampshire shown on the Town of Exeter Tax Maps as Map 65, Lot 130 and described in Deed from Exeter Health Resources, Inc. to Exeter Healthcare, Inc. dated March 26, 1993 and recorded at the Rockingham County Registry of Deeds at Book 2974, Page 1167 (the

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ROCKINGHAM COUNTY  
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"Healthcare Property") which is part of the existing Exeter Hospital Campus.

Whereas, it was the original intent of the parties to include the entire Exeter Hospital Campus including the Healthcare Property as a property with the benefit of the Easement and therefore Exeter Healthcare, Inc. should be added as an additional Grantee in the Sewer Easement Deed.

Now therefore, for good and valuable consideration, the parties agree as follows:

1. Exeter Healthcare, Inc. is added as a Grantee and hereby joins in the Sewer Easement Deed and agrees to be bound by the obligations and rights of the Grantee contained therein.

Executed this 22nd day of September, 2010.

THE PROVIDENT BANK

By: [Signature]

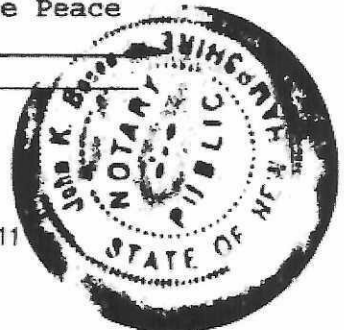
Its: EVP & CFO

STATE OF New Hampshire  
COUNTY OF Rockingham ss

The foregoing instrument was acknowledged before me this 22 day of September, 2010, by David Mansfield, duly authorized EVP/CFO of The Provident Bank.

[Signature]  
Notary Public / Justice of the Peace  
Printed Name: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

JOHN K. BOSEN  
NOTARY PUBLIC  
NEW HAMPSHIRE  
MY COMMISSION EXPIRES FEB. 8, 2011



EXETER HOSPITAL, INC.

By: [Signature]  
Kevin O'Leary, Treasurer  
Duly Authorized



STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM, ss

The foregoing instrument was acknowledged before me this  
21<sup>st</sup> day of September, 2010, by Kevin O'Leary, duly  
authorized Treasurer of Exeter Hospital, Inc.

[Signature]  
Notary Public / Justice of the Peace  
Printed Name: Melissa D. Kubik  
My Commission expires: \_\_\_\_\_

MELISSA D. KUBIK  
Notary Public - New Hampshire  
My Commission Expires September 23, 2014

EXETER HEALTH RESOURCES, INC.

By: [Signature]  
Kevin O'Leary, Treasurer  
Duly Authorized



STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM, ss

The foregoing instrument was acknowledged before me this  
21<sup>st</sup> day of September 2010, by Kevin O'Leary, duly authorized  
Treasurer of Exeter Health Resources, Inc.

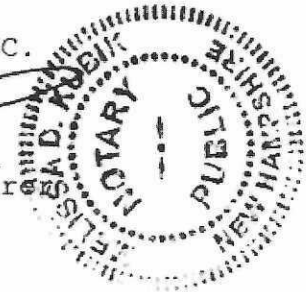
[Signature]  
Notary Public / Justice of the Peace  
Printed Name: Melissa D. Kubik  
My Commission expires: \_\_\_\_\_

MELISSA D. KUBIK  
Notary Public - New Hampshire  
My Commission Expires September 23, 2014

BK 5167 P6 2866

EXETER HEALTHCARE, INC.

By: [Signature]  
Kevin O'Leary, Treasurer  
Duly Authorized



STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM, ss

The foregoing instrument was acknowledged before me this  
21<sup>st</sup> day of September, 2010, by Kevin O'Leary, duly authorized  
Treasurer of Exeter Healthcare, Inc.

[Signature]  
Notary Public / Justice of the Peace

Printed Name: Melissa D. Kubik

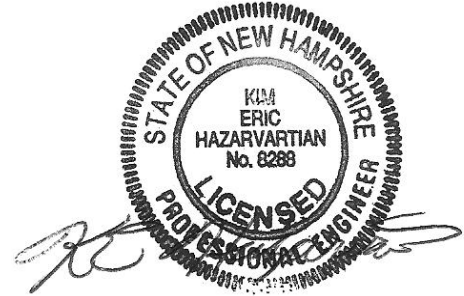
My Commission expires: \_\_\_\_\_

**MELISSA D. KUBIK**  
Notary Public - New Hampshire  
My Commission Expires September 23, 2014

**MEMORANDUM**

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA  
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA  
Phone (603) 212-9133 and Fax (603) 226-4108  
Email [tepp@teppllc.com](mailto:tepp@teppllc.com) and Web [www.teppllc.com](http://www.teppllc.com)

Ref: 1734  
Subject: Traffic Assessment  
97 Portsmouth Avenue  
Exeter, New Hampshire  
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE  
Principal  
[keh@teppllc.com](mailto:keh@teppllc.com)  
Date: June 5, 2025

**INTRODUCTION**

J. Caley Associates has retained TEPP LLC to prepare this traffic-assessment memorandum (TAM) regarding the proposed redevelopment at 97 Portsmouth Avenue in the Town of Exeter, New Hampshire.

The proposed mixed-use redevelopment will:

- remove existing commercial floor area of about 3,200 square feet (sf)
- provide 14 proposed dwelling units
- provide proposed commercial floor area of about 1,500 sf

TEPP LLC anticipates that the proposed mixed-use redevelopment will not have a significant impact on area traffic operations.

**BASIC TRIP GENERATION**

The Institute of Transportation Engineers (ITE) publishes trip-generation information in the authoritative reference *Trip Generation Manual*.<sup>1</sup> This information is based on empirical data for a variety of land uses including:

- land use 222, multi-family housing (low-rise), based on dwelling units<sup>2</sup>
- land use 822, strip-retail plaza, less than 40,000-sf floor area, based on floor area<sup>3</sup>

<sup>1</sup> ITE, *Trip Generation Manual*, 11<sup>th</sup> edition (Washington DC, September 2021).

<sup>2</sup> ITE, *Trip Generation Manual*, Volume 3, pages 252 to 272.

<sup>3</sup> ITE, *Trip Generation Manual*, Volume 5, pages 228 to 241.

## INTERNAL TRIP CAPTURE

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ITE states, in the authoritative, Hooper, *Trip Generation Handbook* that:

[A] mixed-use development is typically a single real-estate development that consists of land uses corresponding to two or more ITE land use types between which trips can be made without using the off-site road system. A mixed-use development may also be referred to as a multi-use development. ...Because of the complementary nature of these land uses, some trips are made among the on-site uses. This capture of trips internal to the site has the net effect of reducing vehicle trip generation between the overall development site and the external street system (compared to the total number of trips generated by comparable land uses developed individually on stand-alone sites).<sup>4</sup>

## EXTERNAL TRIP TYPES

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Total trips appear on site driveways but not all are added to roads near the site. Accordingly, ITE compiles information on three trip types, based on empirical data for many land uses, in the authoritative Hooper. These three trip types are:

- primary trips that are added to the area and are primarily for visiting the site
- diverted trips that are not added to the general area, but are from existing traffic on roads near the site
- pass-by trips that are not added to the general area, but are from existing traffic passing the site<sup>5</sup>

## TRIP-GENERATION RESULTS

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Table 1 shows total vehicle-trips for the proposed land uses compared to the previous land use:

- weekday daily, 2 (total of in and out)
- weekday AM-street-peak hour, 23 (4 in and 19 out)
- weekday PM-street-peak hour, 2 (5 in and -3 out)
- Saturday daily, -28 (total of in and out)
- Saturday midday-peak hour, -5 (13 in and -2 out)

Table 1 also shows corresponding:

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<sup>4</sup> Kevin G. Hooper, P.E., Principal Editor, *Trip Generation Handbook*, 3<sup>rd</sup> edition (Washington DC: ITE, September 2017), pages 42 to 43.

<sup>5</sup> Definitions of primary trips, diverted trips and pass-by trips are in Hooper, page 93. Relevant data on primary trips, diverted trips and pass-by trips are in Hooper, Appendix E.

- primary vehicle-trips, which are added to the general area
- diverted vehicle-trips, which are not added to the general area
- pass-by vehicle-trips, which are not added to roads near the site

Table 1:

- does not consider reductions in external vehicle-trips due to internal trip capture (the site is likely to capture internal trips between its residential and commercial land uses)
- does not consider reductions in vehicle-trips due to non-vehicular mode split, for example, pedestrian or bicycle trips (the site is likely to reflect non-vehicular trips to and from the many complimentary nearby land uses)
- may understate the existing weekday AM-street-peak hour trip generation for the existing dry-cleaning establishment (his establishment includes drop-off bins)

POTENTIAL TRAFFIC IMPACTS

ITE has suggested that land developments generating at least 100 peak-hour vehicle trips, in the busier direction, are candidates for consideration of traffic-impact analysis.<sup>6</sup> Tabulated changes in peak-hour total trip generation due to the proposed redevelopment are below this national ITE level.

ITE has also suggested that land developments generating at least 50 peak-hour vehicle-trips, total of both directions, are candidates for consideration of traffic-impact analysis.<sup>7</sup> Tabulated changes in peak-hour total trip generation due to the proposed redevelopment are less than 50 vehicle-trips, total of both directions.

CONCLUSION

TEPP LLC anticipates that the proposed mixed-use redevelopment will not have a significant impact on area traffic operations.

<sup>6</sup> ITE, *Manual of Transportation Engineering Studies* (Prentice Hall: Englewood Cliffs, New Jersey, 2000), page 144.

<sup>7</sup> ITE, *Multimodal Transportation Impact Analysis for Site Development* (Washington DC, 2023), page 16.



Table 1. Calculated vehicle-trip generation.

		Weekday Vehicle-Trips							Saturday Vehicle-Trips			
		AM-Street-Peak Hour				PM-Street-Peak Hour			Midday-Peak Hour			
		Daily	Total	In	Out	Total	In	Out	Daily	Total	In	Out
Existing by Land Use	Residential	---	---	---	---	---	---	---	---	---	---	---
	Commercial <sup>a,b,c</sup>	174	8	5	3	35	17	18	174	21	11	10
	<u>Internal</u>	---	---	---	---	---	---	---	---	---	---	---
	Total	174	8	5	3	35	17	18	174	21	11	10
Existing by Trip Type	Primary	64	4	3	1	13	6	7	82	11	6	5
	Diverted	40	2	1	1	8	4	4	38	4	2	2
	<u>Pass-By</u>	<u>70</u>	<u>2</u>	<u>1</u>	<u>1</u>	<u>14</u>	<u>7</u>	<u>7</u>	<u>54</u>	<u>6</u>	<u>3</u>	<u>3</u>
	Total	174	8	5	3	35	17	18	174	21	11	10
Proposed by Land Use	Residential <sup>d</sup>	94	27	7	20	27	17	10	64	6	3	3
	Commercial <sup>e</sup>	82	4	2	2	10	5	5	82	10	5	5
	<u>Internal</u>	---	---	---	---	---	---	---	---	---	---	---
	Total	176	31	9	22	37	22	15	146	16	8	8
Proposed by Trip Type	Primary	126	29	8	21	31	19	12	104	12	6	6
	Diverted	18	0	0	0	2	1	1	18	2	1	1
	<u>Pass-By</u>	<u>32</u>	<u>2</u>	<u>1</u>	<u>1</u>	<u>4</u>	<u>2</u>	<u>2</u>	<u>24</u>	<u>2</u>	<u>1</u>	<u>1</u>
	Total	176	31	9	22	37	22	15	146	16	8	8
Redevelopment Changes by Land Use	Residential	94	27	7	20	27	17	10	64	6	3	3
	Commercial	-92	-4	-3	-1	-25	-12	-13	-92	-11	-6	-5
	<u>Internal</u>	---	---	---	---	---	---	---	---	---	---	---
	Total	2	23	4	19	2	5	-3	-28	-5	-3	-2
Redevelopment Changes by Trip Type	Primary	62	25	5	20	18	13	5	22	1	0	1
	Diverted	-22	-2	-1	-1	-6	-3	-3	-20	-2	-1	-1
	<u>Pass-By</u>	-38	0	0	0	-10	-5	-5	-30	-4	-2	-2
	Total	2	23	4	19	2	5	-3	-28	-5	-3	-2

<sup>a</sup> Vehicle-trips based on ITE, *Trip Generation Manual*. Land use 822, strip-retail plaza, less than 40,000-sf floor area, 3,200-sf floor area. Weekday daily used as estimate for Saturday daily.

<sup>b</sup> Diverted percentages based on ITE, *Trip Generation Manual*, appendix pass-by tables. Land use 821, shopping plaza, 40,000 to 150,000-sf floor area. Weekday PM-peak period (23 percent) used for all weekday time periods. Saturday midday peak period (22 percent) used for all Saturday time periods.

<sup>c</sup> Pass-by percentages based on ITE, *Trip Generation Manual*, appendix pass-by tables. Land use 821, shopping plaza, 40,000 to 150,000-sf floor area. Weekday PM-peak period (40 percent) used for all weekday time periods. Saturday midday peak period (31 percent) used for all Saturday time periods.

<sup>d</sup> Vehicle-trips based on ITE, *Trip Generation Manual*. Land use 220, multi-family housing (low-rise), 14 dwelling units. Saturday site-peak hour in versus out is estimated. Zero percent diverted and pass-by used for all time periods.

<sup>e</sup> Vehicle-trips based on ITE, *Trip Generation Manual*. Land use 822, strip-retail plaza, less than 40,000-sf floor area, 1,500-sf floor area. Weekday daily used as estimate for Saturday daily.



# TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

[www.exeternh.gov](http://www.exeternh.gov)

DATE: January 1, 2024  
TO: Applicants  
FROM: Planning & Building Department  
RE: Preliminary Application to Connect and/or Discharge to Town of Exeter Sewer,  
Water and/or Storm Drainage System(s)

Attached is the "Preliminary Application to Connect and/or Discharge to Town of Exeter Sewer, Water or Storm Water Drainage System(s)". This Application form must be completed by the applicant or the applicant's authorized agent for projects that are subject to Planning Board approval or for a change of use. It is a prerequisite for submission of the "Applications for Sewer Service, Water Service and Storm Drainage Work." All of the application forms referenced above must be completed and approved prior to the issuance of a building permit. This application is intended to address a number of different scenarios and therefore, all sections may not be applicable to your particular situation. Please read the application carefully and fill out as completely as possible. If there are any questions, please feel free to contact the Planning and Building Department Offices. All forms must be submitted to the Planning and Building Department Office for review and distribution.

**Please Note: Any approval(s) granted in conjunction with this application will be valid for a period of one (1) year from the date of such approvals(s).**



**TOWN OF EXETER - DEPARTMENT OF PUBLIC WORKS**

**PRELIMINARY APPLICATION TO CONNECT AND/OR DISCHARGE TO TOWN OF EXETER  
SEWER, WATER, AND/OR STORMWATER DRAINAGE SYSTEM(S)**

Project Name \_\_\_\_\_

Project Location \_\_\_\_\_

Applicant/Owner Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone Number \_\_\_\_\_ email \_\_\_\_\_

Project Engineer \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone Number \_\_\_\_\_ email \_\_\_\_\_

Type of Discharge/Connection    ☐ Sewer    ☐ Water    ☐ Stormwater

Application completed by

Name \_\_\_\_\_

Signature John P. Lorden Date \_\_\_\_\_

Reviewed and verified by Planning & Building Department \_\_\_\_\_

**DESIGN FLOWS**

The water and sewer design flow shall be based upon the New Hampshire Code of Administrative Rules, Env-Wq 1000 Subdivisions; Individual Sewage Disposal Systems, Table 1008-1 Unit Design Flow Figures (current version) or other methodology which may be deemed acceptable by the Town of Exeter. The minimum fee for a single-family residential unit is based on the design flow for two (2) bedrooms. Existing water and sewer flows may be based on meter readings for the current use.

If the proposed discharge is non-residential or is residential but exceeds 5,000 gallons per day (gpd), Section C must be completed. Certain water and sewer discharges must be approved by the State of New Hampshire Department of Environmental Services by way of permit and plan submittals. It is the responsibility of the applicant to ensure submittals are made to the state through the town is necessary. Final town approval cannot be made without the state's approval if required.

Stormwater design flows are based on the drainage analysis prepared by the applicant using the most current published precipitation data available.

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

**SECTION A: PROPOSED NEW CONNECTIONS OR MODIFICATION OF EXISTING CONNECTIONS**

**SANITARY SEWER**

---

Description of work . \_\_\_\_\_

Title of plan . \_\_\_\_\_

Total design flow (gpd) . \_\_\_\_\_

*\*For any non-residential discharge or residential discharge exceeding 5,000 GPS, or for a change of use, complete Section C of this form.*

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Water & Sewer Managing Engineer

**WATER**

---

Description of work . \_\_\_\_\_

Title of plan . \_\_\_\_\_

Total design flow (gpd) . \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Water & Sewer Managing Engineer

**STORMWATER**

---

Description of work . \_\_\_\_\_

Title of plan . \_\_\_\_\_

Total design flow  
(10-year storm, CFS) . \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Highway Superintendent

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

## **SECTION B: IMPACT FEES**

Provide the following information to determine if a water and/or sewer impact fee will be required for a new development or a change or increase in use.

### **Current/prior Use(s)**

Describe current use(s) \_\_\_\_\_

<u>Use</u>	<u>Unit Flow (gpd)</u>	<u>Total Existing Flow</u>
Dry Cleaner	.	1,310/day (per water records)
.	.	.
Total existing flow		1,310 gpd

### **Proposed Use(s)**

Describe proposed use(s) \_\_\_\_\_

<u>Use</u>	<u>Unit Design Flow (gpd)</u>	<u>Total Design Flow</u>
14 2-BR units	300	4,200
Food Service	40 gpd/seat x 30 seats 1,200 20 gpd/employee x 4 employees 80	.
Total proposed flow		5,480 GPD

### **Impact Fees** (80% of the design flow)

Change in flow rate (gpd) 4,170 x 0.8 = Impact Fee flow rate (gpd) 3,336

*If there is a decrease in flow rates, no water or sewer impact fee will be charged. If there is an increase in flow rates, a water and/or sewer impact fee will be charged using the following formula:*

Sewer Impact Fee: Flow increase (gpd) 3336 x \$1.81= \_\_\_\_\_

Water Impact Fee: Flow increase (gpd) 3336 X \$3.74 = \_\_\_\_\_

### **Approved by Town of Exeter**

Town Planner \_\_\_\_\_ Date \_\_\_\_\_

Water & Sewer Managing Engineer \_\_\_\_\_ Date \_\_\_\_\_

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

## **SECTION C: SANITARY SEWER CLASSIFICATION AND BASELINE MONITORING**

(NON-RESIDENTIAL DISCHARGES OR RESIDENTIAL DISCHARGE OVER 5,000 GPD)

In accordance with Title 40 of the Code of Federal Regulations, Part 403 Section 403.14, information provided herein shall be available to the public without restriction except as specified in 40 CFR Part 2. A discharge permit will be issued on the basis of the information provided in this section.

In accordance with all terms and conditions of the Town of Exeter, New Hampshire Ordinances Chapter 15, all persons discharging wastewater into the town's facilities shall comply with all applicable federal, state, and local Industrial Pre-treatment rules.

### **PART I - USER INFORMATION**

Property Owner Name \_\_\_\_\_  
Owner's Representative \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ email \_\_\_\_\_  
Tenant Name \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_ email \_\_\_\_\_

### **PART II - PRODUCT OR SERVICE INFORMATION**

Products Manufactured \_\_\_\_\_  
Services Provided \_\_\_\_\_  
SIC Code(s) \_\_\_\_\_ Building Area (SF) \_\_\_\_\_  
Number of Employees \_\_\_\_\_ Days/week of operation \_\_\_\_\_ Shifts per day \_\_\_\_\_

### **PART III - CATEGORY OF SEWER DISCHARGE**

Type of Discharge ☐ Septic ☐ Proposed ☐ Existing ☐ Change of Use  
Water Use (gpd) \_\_\_\_\_ (from Section A)

#### **Check all that apply:**

- ☐ Domestic waste only (toilets & sinks)
- ☐ Domestic waste plus some process wastewater
- ☐ Federal pre-treatment standards (40 CFR) applies

**PART IV - CLASSIFICATION DETERMINATION**

*(to be completed by Town staff)*

CLASS 1 - SIGNIFICANT OR CATEGORICAL INDUSTRIAL USER \_\_\_\_\_

CLASS 2 - MINOR INDUSTRIAL OR COMMERCIAL USER \_\_\_\_\_

CLASS 3 - INSIGNIFICANT INDUSTRIAL OR COMMERCIAL USER \_\_\_\_\_

CLASS 4 - NON-SYSTEM USER, OR DISCONTINUED SERVICE \_\_\_\_\_

*See attached sheet for the basis of the determination.*

Determined by \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Water & Sewer Managing Engineer

**PART V - CERTIFICATION**

I have personally examined and am familiar with the information submitted in this section for the above name use. The information provided is true, accurate and complete. I am aware that there are significant penalties from federal, state and/or town regulatory agencies for submitting false information, including the possibility of fine and/or imprisonment.

I acknowledge and agree to pay all charges incurred for monitoring, testing and subsequent analysis performed on the Town of Exeter sewer, water and/or stormwater drainage system(s), in the course of determining the town's ability to serve the project. Further, I acknowledge and agree that failure to accurately declare said flow requirements shall be sufficient cause to deny access to the Town of Exeter sewer, water and/or stormwater drainage system(s).

Signature of Applicant Jeff Caley Date \_\_\_\_\_

Name of Property Owner \_\_\_\_\_

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

## Draft Minutes

### Exeter Technical Review Committee June 18, 2025

The meeting began at 10:00 a.m. in the Nowak Room of the Exeter Town Office building.

#### **Application**

***The application of J. Caley Associates for site plan review of the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct two (2) four-story, mixed-use buildings to include commercial space, amenities and 24 residential units along with associated site improvements. The property is located in the C-2, Highway Commercial zoning district and is identified as Tax Map Parcel #65-125. PB Case #25-3.***

**Attendees: Town staff:** Building Inspector/Code Enforcement Officer, Douglas Eastman; Conservation and Sustainability Planner, Kristen Murphy, Deputy Fire Chief, Jason Fritz

**Third Party Consultant:** Allison Rees, P. E., Underwood Engineers

**Applicant and Representatives:** Christian Smith, Beals Associates, Jeff Caley, Owner

**Public Representatives:** None.

The committee reviewed plans submitted to the Planning Office. Following a brief overview, items of discussion included, but were not limited to the following: need to show parking calculation and parking on plans, fire truck turning radius, provide documentation on requirements from NHDES for construction in the area of the monitoring wells, provide an update to the existing conditions plan to address prior comments, update wetland notes, and clarify shoreland boundary.

Mr. Smith will submit revisions Monday May 23 and target a 7/8 Conservation Commission site walk and meeting and a July 10<sup>th</sup> Planning Board meeting.

The meeting adjourned at 10:35 a.m.

Respectfully submitted,  
Kristen Murphy





3146.00

June 23, 2025

Mr. David Sharples, Town Planner  
Town Planning Office, Town of Exeter  
10 Front Street  
Exeter, NH 03833

*Re: 97 Portsmouth Avenue Residential Development  
Design Review Engineering Services  
Exeter, New Hampshire*

Site Information:

Tax Map/Lot#:	65 / 125
Address:	97 Portsmouth Avenue
Lot Area:	0.40 ac
Zoning District:	C2 Highway Commercial
Proposed Use:	MUND – commercial and residential
Water:	Municipal
Sewer:	Municipal
Applicant:	J. Caley Associates
Design Engineer:	Beals Associates

Review No. 2
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Documents Reviewed:

- Site plan set entitled "Mixed Use Site Plan 97 Portsmouth Avenue" last revised 6/6/2025, prepared by Beals Associates
- "Drainage Analysis & Sediment and Erosion Control Plan" last revised 6/5/2025, prepared by Beals Associates

Dear Mr. Sharples:

Based on our review of the above information, we offer the following in accordance with the Town of Exeter Regulations and standard engineering practice.

Please note any comments no longer listed have either been adequately addressed or are no longer applicable due to a change in layout. No response letter has been received to address some of the prior comments.

Existing Conditions and Demolition Plan Sheets

1. Are the existing contours derived from field survey or Lidar? Contour labels are required. *Item not addressed from prior comments and is still applicable.*
2. The wetland notes state the delineation was performed in 2010. The notes refer to references that are more recent than 2010. Please clarify. The delineation needs to be reasonably current. *Item not addressed from prior comments and is still applicable.*
3. The site has clearly been part of a monitoring/remediation action. What is the source of the contamination, ie. Onsite drycleaner, nearby gas station, other. *Item not addressed from prior comments and is still applicable.*
  - What site are the existing monitoring wells associated with?
  - The notes indicated the use/status of the monitoring wells is not known. As the project will result in the decommissioning of the well(s); is the well still active as part of a remediation effort?
  - Have soil and groundwater been tested for contamination? Handling procedures for contaminated soil and water should be included on the demolition plan.
5. Will Contractor stockpiles and staging be offsite? If so, the location should be indicated on the plans and a temporary construction easement should be shown, if applicable. *Item not addressed from prior comments and is still applicable. In addition, temporary easement(s) for a number of construction activities appear likely, ie. the removal of the concrete island at the drive entrance, removal of back curb at the existing sidewalk along the front of the site, etc. Limits of the easements should be indicated per comments below.*

Site Plan Sheets

6. Revise the zoning regulations table to list the existing and the proposed applicable setback, building coverage, parking, etc requirements. *Item not addressed from prior comments and is still applicable.*
8. Parking
  - Indicate where the offsite parking will be located and the number of offsite spaces needed. Confirm the existing blanket easements (on other parcels) will allow the increase in parking spaces needed offsite for the proposed use. *It is unclear if this comment is still applicable per comment 6 above.*
  - Indicate compliance with ADA parking requirements. *Item not addressed from prior comments and is still applicable.*
  - Will any of the parking spaces be reserved/posted for employees or patrons of the espresso bar or the commercial space? *Item not addressed from prior comments and*



*is still applicable. We note the sewer connection application indicates 3 employees and 70 seats.*

- *See comment below regarding temporary loss of parking spaces in the winter. Item not addressed from prior comments and is still applicable.*
9. *Will the building tenants share the existing dumpster with the abutting parcel to the east? Item partially addressed. A dumpster has been added to the plans. An enclosure is required. We note it may be difficult for a trash truck to access the dumpster enclosure if the parking spots across the drive aisle from it are occupied.*
  10. *Show a mail kiosk, if applicable. Item not addressed from prior comments and is still applicable. Will mailboxes be located inside the building?*
  11. *Show dumpster, electrical, and/or HVAC pads as applicable. Item partially addressed, dumpster is shown.*
  12. *It is noted all snow will have to be plowed into parking spaces, even if only temporarily until it can be trucked offsite. There is no onsite snow storage. Signs or barriers should be posted on the south side of the parcel to prohibit snow storage on the Town of Exeter Water Department's reservoir parcel. Item not addressed from prior comments and is still applicable. In addition, signs should be posted to prohibit snow storage on the porous pavement area.*
  13. *The new concrete sidewalk along Portsmouth Avenue must be 8-feet width minimum per 6.19.5.E. Provide a tipdown and truncated dome for ADA compliance. In addition, provide a textured or raised pedestrian crossing at the driveway entrance per 6.19.5.D Item not addressed from prior comments and is still applicable.*
  15. *Show the location of the porous pavement sign(s) and stop sign(s). Item partially addressed, a stop sign has been added.*
  16. *Add the following easements to the plans, if necessary/applicable: Item not addressed from prior comments and is still applicable.*
    - *Permanent access easement lines in favor of the bank parcel to the west.*
    - *Temporary construction easement lines for all work on the abutting parcels*
    - *Permanent easement lines for the sewer services on the bank parcel*
    - *In addition, permanent easement lines in favor of the subject parcel for landscaping and access.*
    - *Temporary easement lines may be necessary for construction of the retaining wall along the northeast side.*
  18. *Add top and bottom retaining wall elevations. Item is partially addressed from prior comments and is still applicable.*



21. A waiver may be required for grading within 5' of all property lines. *Item not addressed from prior comments and is still applicable.*
23. Show foundation and roof drain lines. *Item not addressed from prior comments and is still applicable.*
24. Is the existing water service stub and shutoff 6"? *Comment not answered from prior comments and is still applicable.*
25. Label the existing sewer main and sewer service lines. *Item not addressed from prior comments and is still applicable. In addition, Label the existing tie-in SMH and outlet pipe on the adjacent bank lot (size, slope, material, inverts, rim elevation). See also new sewer comments below.*
28. Confirm the existing sewer line has sufficient capacity to handle the proposed flow. *Item not addressed from prior comments and is still applicable. This comment applies to the outlet pipe from the tie-in SMH on the bank parcel. Also confirm the condition of the pipe is satisfactory.*
29. Water is provided to both buildings via a 6" water main, *Item not addressed from prior comments and is still applicable. In addition, see new comment below.*
- Is the single 6" service sufficient for fire and domestic flow for both buildings?
  - Will domestic and fire services split inside or outside of the buildings?
  - *Label the size and material of the water service line(s) to the espresso bar building.*

#### Landscaping Plan

31. Planting locations along Portsmouth Avenue may need to be adjusted per the increased sidewalk width required. *Item not addressed from prior comments and is still applicable.*

#### Details

32. Add details as applicable: *Item not addressed from prior comments but still applicable.*
- Concrete washout pit
  - Sidewalk tipdown with truncated dome
  - HVAC or dumpster pad, if applicable
  - Retaining wall
  - *Dumpster pad*
  - *Dumpster enclosure*



Mr. Sharples  
June 23, 2025

Drainage Analysis

33. Provide test pit information and ksat values. *Item partially addressed, ksat information has been provided.*
34. Confirm there is adequate separation between bottom of porous pavement and pervious pavers and the ESHWT. *Item not addressed from prior comments and is still applicable.*
35. PTAP Database: The Applicant is requested to enter project related stormwater tracking information contained in the site plan application documents using the Great Bay Pollution Tracking and Accounting Program (PTAP) database ([www.unh.edu/unhsc/ptapp](http://www.unh.edu/unhsc/ptapp)).

New Comments

36. New sewer comments:

- No sewer service line is shown from the espresso bar. The line should be added. Will a grease trap be installed inside the building or outside?
- The Exeter sewer connection application should be updated to reflect the revised usage of 14 residential units, unspecified commercial space, and a restaurant.
- The NHDES may require a sewer profile.

37. Drainage analysis: Add a narrative discussing stormwater treatment with regards to Exeter's treatment requirements. A table of pollutant removals is included, but there is no discussion indicating the portion of the site receiving treatment.

38. UE notes the drainage model has a Tc of 210 Minutes for drainage areas being directed/treated via porous pavement. UE understands that extended Tc's can be utilized in modeling the flow through porous pavement, however the drainage area is a mix of conventional and porous pavement sections all modelled as impervious (CN98) and all directed to porous pavement "ponds" resulting in additional attenuation. UE understands that these are relatively small areas on the site, however the designer should confirm with HydroCAD how best to handle this modelling and reduce the potential of double counting the attenuation.

A written response is required to facilitate future reviews. Please contact us if you have any questions.

Very truly yours,  
UNDERWOOD ENGINEERS, INC.

Allison M. Rees, P.E. (NH)  
Project Manager



Robert J. Saunders, P.E. (NH, ME, VT, PA)  
Project Manager





Exeter Planning Board,  
David Sharples, Town Planner  
Town Planning Office, Town of Exeter  
10 Front Street  
Exeter, NH 03833

June 24, 2025

Re: 97 Portsmouth Avenue Residential Development Engineering Review, Exeter, New Hampshire  
Response to UEI Comments – Review #2

Dear Mr. Chairman, Members of the Board, & Mr. Sharples:

We are in receipt of a second review letter from Underwood Engineers, dated June 23, 2025 and we offer the following responses to the noted comments. Each comment is followed by our response in bold.

#### Existing Conditions and Demolition Plan Sheets

1. Are the existing contours derived from field survey or Lidar? Contour labels are required. Item not addressed from prior comments and is still applicable.

**Response: Note #7 has been embellished to clarify the topo is a combination of stick topo on the parcel & Lidar for much of the off-site topo. Contour labels have been added.**

2. The wetland notes state the delineation was performed in 2010. The notes refer to references that are more recent than 2010. Please clarify. The delineation needs to be reasonably current. Item not addressed from prior comments and is still applicable.

**Response: The typo stating '2010 has been corrected. The wetland/soil scientist report is attached for confirmation.**

3. The site has clearly been part of a monitoring/remediation action. What is the source of the contamination, ie. Onsite drycleaner, nearby gas station, other. Item not addressed from prior comments and is still applicable.

- What site are the existing monitoring wells associated with?
- The notes indicated the use/status of the monitoring wells is not known. As the project will result in the decommissioning of the well(s); is the well still active as part of a remediation effort?
- Have soil and groundwater been tested for contamination? Handling procedures for contaminated soil and water should be included on the demolition plan.

**Response: The developer has been in contact with NHDES regarding this and has found that these are the result of a spill in the late 1970's/early 1980's. GW concentrations have been steadily reducing over the monitoring time, but have not yet met the decommission level for the well on the locus parcel. The note on sheet #3 has been edited to reflect the well head to be maintained until authorized by NHDES. No mandate for specialized soils handling has been issued by NHDES (e.g. this is a groundwater issue, not subsurface soils).**

5. Will Contractor stockpiles and staging be offsite? If so, the location should be indicated on the plans and a temporary construction easement should be shown, if applicable. Item not

addressed from prior comments and is still applicable. In addition, temporary easement(s) for a number of construction activities appear likely, ie. the removal of the concrete island at the drive entrance, removal of back curb at the existing sidewalk along the front of the site, etc. Limits of the easements should be indicated per comments below.

**Response: No offsite stockpiling is contemplated for the project. The area of disturbance on the Prov Bank property is within an existing common use easement for access, the developer has been in direct contact with the Prov Bank Management, and they concur with all proposed amendments. Based on this there appears to be no legal reason to have temporary easements.**  
Site Plan Sheets

6. Revise the zoning regulations table to list the existing and the proposed applicable setback, building coverage, parking, etc requirements. Item not addressed from prior comments and is still applicable.

**Response: The Zoning table has been updated as suggested.**

8. Parking

- Indicate where the offsite parking will be located and the number of offsite spaces needed. Confirm the existing blanket easements (on other parcels) will allow the increase in parking spaces needed offsite for the proposed use. It is unclear if this comment is still applicable per comment 6 above.

**Response: There will only be 5-offsite spaces required at peak parking times. It is most likely those vehicles will utilize the stalls at the SW end of the Prov Bank lot. (Easements provided).**

- Indicate compliance with ADA parking requirements. Item not addressed from prior comments and is still applicable.

**Response: 1-van accessible HC stall has been provided in the south parking area of the building.**

- Will any of the parking spaces be reserved/posted for employees or patrons of the espresso bar or the commercial space? Item not addressed from prior comments and is still applicable. We note the sewer connection application indicates 3 employees and 70 seats.

**Response: No reserved or posted parking stalls are proposed.**

- See comment below regarding temporary loss of parking spaces in the winter. Item not addressed from prior comments and is still applicable.

9. Will the building tenants share the existing dumpster with the abutting parcel to the east? Item partially addressed. A dumpster has been added to the plans. An enclosure is required. We note it may be difficult for a trash truck to access the dumpster enclosure if the parking spots across the drive aisle from it are occupied.

**Response: An enclosure detail has been added to sheet 10. Owners will coord. pick-up time with the chosen hauler.**

10. Show a mail kiosk, if applicable. Item not addressed from prior comments and is still applicable. Will mailboxes be located inside the building?

**Response: Mailboxes will be inside the mixed use building.**

11. Show dumpster, electrical, and/or HVAC pads as applicable. Item partially addressed, dumpster is shown.

**Response: All mechanicals will be either within the building (mechanical room) or roof mounted as appropriate.**

12. It is noted all snow will have to be plowed into parking spaces, even if only temporarily until it can be trucked offsite. There is no onsite snow storage. Signs or barriers should be posted on the south side of the parcel to prohibit snow storage on the Town of Exeter Water Department's reservoir parcel. Item not addressed from prior comments and is still applicable. In addition, signs should be posted to prohibit snow storage on the porous pavement area.

**Response: The requested signage has been added to the site plans.**

13. The new concrete sidewalk along Portsmouth Avenue must be 8-feet width minimum per 6.19.5.E. Provide a tipdown and truncated dome for ADA compliance. In addition, provide a textured or raised pedestrian crossing at the driveway entrance per 6.19.5.D Item not



addressed from prior comments and is still applicable.

**Response: The tipdown and raised warning device have been added. The sidewalk width waiver is attached herewith. It would be odd for an 8' sidewalk to lead to the existing 5' sidewalk along Ports. Ave.**

15. Show the location of the porous pavement sign(s) and stop sign(s). Item partially addressed, a stop sign has been added.

**Response: The requested signage has been added to the site plans.**

16. Add the following easements to the plans, if necessary/applicable: Item not addressed from prior comments and is still applicable.

- Permanent access easement lines in favor of the bank parcel to the west.
- Temporary construction easement lines for all work on the abutting parcels
- Permanent easement lines for the sewer services on the bank parcel
- In addition, permanent easement lines in favor of the subject parcel for landscaping and access.
- Temporary easement lines may be necessary for construction of the retaining wall along the northeast side.

**Response: All easements necessary for construction and ongoing pas/repass and cross parking easements are in-force & needn't be added as the line work would render the design plans nearly illegible.**

18. Add top and bottom retaining wall elevations. Item is partially addressed from prior comments and is still applicable.

**Response: Top elevation spot grades have been added, bottom grades will remain as existing.**

21. A waiver may be required for grading within 5' of all property lines. Item not addressed from prior comments and is still applicable.

**Response: The waiver request is enclosed.**

23. Show foundation and roof drain lines. Item not addressed from prior comments and is still applicable.

**Response: The requested information is depicted on the architectural plans.**

24. Is the existing water service stub and shutoff 6"? Comment not answered from prior comments and is still applicable.

**Response: We are actively working with DPW to get the final information on this.**

25. Label the existing sewer main and sewer service lines. Item not addressed from prior comments and is still applicable. In addition, Label the existing tie-in SMH and outlet pipe on the adjacent bank lot (size, slope, material, inverts, rim elevation). See also new sewer comments below.

**Response: We are actively working with DPW to get the final information on this.**

28. Confirm the existing sewer line has sufficient capacity to handle the proposed flow. Item not addressed from prior comments and is still applicable. This comment applies to the outlet pipe from the tie-in SMH on the bank parcel. Also confirm the condition of the pipe is satisfactory.

**Response: We understand the sewer line has the necessary capacity.**

29. Water is provided to both buildings via a 6" water main, Item not addressed from prior comments and is still applicable. In addition, see new comment below.



# BA BEALS

ASSOCIATES, PLLC

Land Planning • Civil Engineering  
Landscape Architecture • Septic Design & Evaluation  
Stratham, NH

- Is the single 6" service sufficient for fire and domestic flow for both buildings?
- Will domestic and fire services split inside or outside of the buildings?
- Label the size and material of the water service line(s) to the espresso bar building.

**Response: The 5" service will be adequate for the EB and the multi-use building. Proposed domestic/fire split to be internal to the building. The service size of the espresso bar is labelled.**

## Landscaping Plan

31. Planting locations along Portsmouth Avenue may need to be adjusted per the increased sidewalk width required. Item not addressed from prior comments and is still applicable.

## Details

**Response: The sidewalk has been relocated & a waiver is requested of 5' width.**

32. Add details as applicable: Item not addressed from prior comments but still applicable.

- Concrete washout pit
- Sidewalk tipdown with truncated dome
- HVAC or dumpster pad, if applicable
- Retaining wall
- Dumpster pad
- Dumpster enclosure

**Response: The required details have been added to the plan as appropriate.**

## Drainage Analysis

33. Provide test pit information and ks values. Item partially addressed, ks information has been provided.

**Response: As the existing parcel has virtually no area for test pitting that would not disturb existing pavement, etc., we will rely on the soil scientist's auger data.**

34. Confirm there is adequate separation between bottom of porous pavement and pervious pavers and the ESHWT. Item not addressed from prior comments and is still applicable.

**Response: As the wetland on the adjacent town parcel occurs at roughly elevation 25.0' (which is 9' below proposed finish grade of the pervious pavement), we are confident there will be more than adequate separation to water table for the pervious pavement.**

35. PTAP Database: The Applicant is requested to enter project related stormwater tracking information contained in the site plan application documents using the Great Bay Pollution Tracking and Accounting Program (PTAP) database [www.unh.edu/unhsc/ptapp](http://www.unh.edu/unhsc/ptapp).

**Response: This is understood.**

## New Comments

36. New sewer comments:

- No sewer service line is shown from the espresso bar. The line should be added. Will a grease trap be installed inside the building or outside?

**Response: Sewer service to the EB has been added, and a grease trap for the coffee shop will be internal and likely integral to the dishwasher.**

- The Exeter sewer connection application should be updated to reflect the revised usage of 14 residential units, unspecified commercial space, and a restaurant.

**Response: the updated connection application is provided herewith.**

- The NHDES may require a sewer profile.

**Response: This is understood.**

# BA BEALS

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Land Planning • Civil Engineering  
Landscape Architecture • Septic Design & Evaluation  
Stratham, NH

37. Drainage analysis: Add a narrative discussing stormwater treatment with regards to Exeter's treatment requirements. A table of pollutant removals is included, but there is no discussion indicating the portion of the site receiving treatment.

**Response: Revised Narrative is provided.**

38. UE notes the drainage model has a Tc of 210 Minutes for drainage areas being directed/treated via porous pavement. UE understands that extended Tc's can be utilized in modeling the flow through porous pavement, however the drainage area is a mix of conventional and porous pavement sections all modelled as impervious (CN98) and all directed to porous pavement "ponds" resulting in additional attenuation. UE understands that these are relatively small areas on the site, however the designer should confirm with HydroCAD how best to handle this modelling and reduce the potential of double counting the attenuation.

**Response: The Tc is identical to a recently approved project, and developed with NHDES AoT specific to pervious pavement modelling. While we understand this project will not require AoT permitting, it seems appropriate to use this method.**

Thank you for your timely and professional review of the submitted plans. We hope the information provided address your concerns. Please feel free to contact our office if you have any additional question and/or comments.

Very Truly Yours,

BEALS ASSOCIATES, PLLC

*Christian O. Smith*

Christian O. Smith, PE

Principal



Land Planning • Civil Engineering  
Landscape Architecture • Septic Design & Evaluation  
Stratham, NH

June 24, 2025  
Chairman  
Town of Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

RE: Proposed Residential Development at 97 Portsmouth Avenue – Waiver Requests  
Tax Map 65 Lot #: 125

Dear Members of the Board:

This is written to formalize a request for a waiver specific to the design for the referenced subdivision application.

Your petitioner seeks the following relief:

3. We respectfully request a waiver to the Town of Exeter's Site Plan Review and Subdivision Regulations which required 8' wide sidewalks for MUND development projects.

We feel the waiver is justified as:

- 13.7.1 The existing sidewalk on Portsmouth Avenue is 5' in width, and we are proposing to connect to that sidewalk. We are proposing 5' sidewalks on the parcel which will match the existing width. Therefore, granting of the waiver will not be detrimental to public safety, health, or welfare, nor could it be deemed injurious to other property.
- 13.7.2 The conditions upon which this request is made is unique to the property as the proposed development will mirror the existing sidewalk width. This will provide the same pedestrian access as is utilized now on Portsmouth Avenue. This is unique to the parcel/proposal and not generally applicable to other properties (e.g. other areas of Town may have wider sidewalks for connection).
- 13.7.3 The proposed walkways will provide safe and accessible pedestrian travel ways to and from Portsmouth Avenue, matches the existing sidewalk & therefore, a denial of the waiver request would result in a hardship requiring the increased impervious area which is not desirable for stormwater mitigation.
- 13.7.4 The waiver would not be contrary to the spirit and intent of the regulations as the proposed development and resulting sidewalks will be identical in width to the existing sidewalk they are proposed to connect to.
- 13.7.5 The proposed waiver does not propose to vary the provisions of the Zoning Ordinance or Master Plan. This is demonstrated by the facts cited above, along with the absence of such language from the Zoning Ordinance or Master Plan.

Thank you for your consideration.  
Very truly yours,  
BEALS ASSOCIATES, PLLC

*Christian O Smith*

Christian O. Smith, PE  
Principal



Land Planning • Civil Engineering  
Landscape Architecture • Septic Design & Evaluation  
Stratham, NH

June 24, 2025  
Chairman  
Town of Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

RE: Proposed Residential Development at 97 Portsmouth Avenue – Waiver Request  
Tax Map 65 Lot #: 125

Dear Members of the Board:

This is written to formalize a request for two waivers specific to the design for the referenced subdivision application.

1. We respectfully request a waiver to the Town of Exeter's Site Plan Review and Subdivision Regulations Section 9.3.6.4 which restricts grading within 5 feet of any exterior property line.

We feel the waiver is justified as:

- 13.7.1 The proposed design provides adequate space to work between the proposed disturbance and the property line, therefore granting of the waiver will not be detrimental to public safety, health, or welfare, nor could it be deemed injurious to other property.
- 13.7.2 The conditions upon which this request is made expressly due to the fact that the proposed building being proposed in the same location as the existing, which is closer to the property line than 5'. The existing building, driveway, etc. are all within 5' of existing parcel boundaries, and this is unique to the parcel/proposal and not generally applicable to other properties.
- 13.7.3 Due to the location of the existing features as referenced above, it would be impossible to improve this site without such encroachment. This would result in a hardship if the strict letter of the regulations is carried out as it would be illogical to implement this rule based on the current layout of the parcel. Care will be taken to ensure no disturbance to the abutting property (unless authorized by the abutting property owner(s)).
- 13.7.4 The waiver would not be contrary to the spirit and intent of the regulations as the proposed development will result in adequate width for construction to take place without causing harm to abutting property.
- 13.7.5 The proposed waiver does not propose to vary the provisions of the Zoning Ordinance or Master Plan. This is demonstrated by the facts cited above, as well as the fact that no structures are to be located within 5-feet of the property line.

Thank you for your consideration.  
Very truly yours,  
BEALS ASSOCIATES, PLLC

*Christian O Smith*

Christian O. Smith, PE  
Principal

MIXED-USE SITE PLAN  
97 PORTSMOUTH AVE.  
(NH ROUTE 108)  
TAX MAP 65, LOT 125  
APRIL 29, 2025

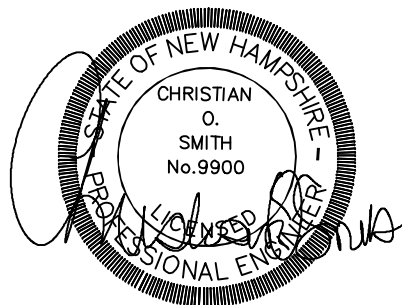
NOT FOR CONSTRUCTION

DRAWING INDEX

CIVIL ENGINEERS:



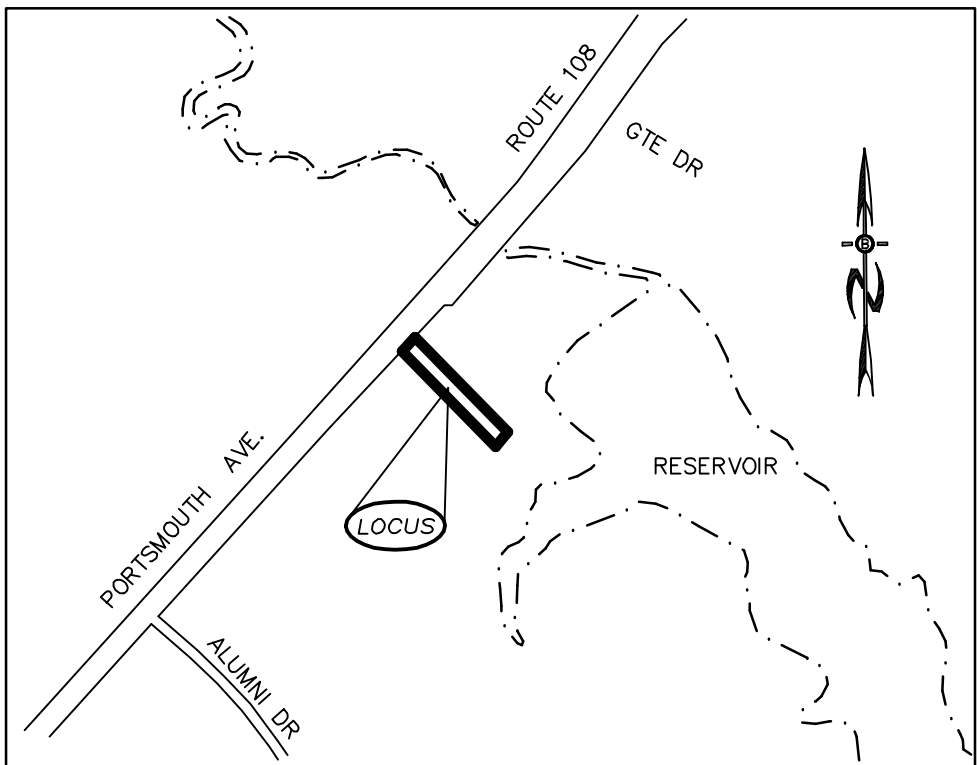
70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863



LAND SURVEYORS:

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825  
603-332-2863

LOCATION MAP



SHEET #	TITLE
	COVER SHEET
1-2	EXISTING CONDITION PLANS (BERRY SURVEY)
3	DEMOLITION PLAN
4	SITE PLAN
5	GRADING, DRAINAGE, & EROSION CONTROL PLAN
6	UTILITY PLAN
7	LIGHTING PLAN
8	PLANTING PLAN
9	EROSION & SEDIMENT CONTROL DETAILS
10-11	CONSTRUCTION DETAILS

PLAN SET LEGEND

5/8" REBAR	●	VGC	VERTICAL GRANITE CURB
DRILL HOLE	○	OVERHEAD ELEC. LINE	—X—
CONC. BOUND	□	FENCING	—X—
UTILITY POLE	⊙	DRAINAGE LINE	—D—
DRAIN MANHOLE	⊗	SEWER LINE	—S—
SEWER MANHOLE	⊕	GAS LINE	—G—
EXISTING LIGHT POLE	☆	WATER LINE	—W—
EXISTING CATCH BASIN	⊞	STONE WALL	—W—
PROPOSED CATCH BASIN	⊞	TREE LINE	—W—
WATER GATE	⊞	ABUT. PROPERTY LINES	—W—
WATER SHUT OFF	⊞	EXIST. PROPERTY LINES	—W—
HYDRANT	⊞	BUILDING SETBACK LINES	—W—
PINES, ETC.	⊞	EXIST. CONTOUR	—W—
MAPLES, ETC.	⊞	PROP. CONTOUR	—W—
EXIST. SPOT GRADE	⊞	SOIL LINES	—W—
PROP. SPOT GRADE	⊞		
DOUBLE POST SIGN	⊞		
SINGLE POST SIGN	⊞		

RECORD OWNER

BLUE FIELDS PROPERTY  
97 PORTSMOUTH AVE.  
EXETER, NEW HAMPSHIRE

RECORD APPLICANT

JEFF CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM, NEW HAMPSHIRE

REQUIRED PERMITS

NHDES SEWER CONNECTION  
NHDES WATER CONNECTION

WETLAND/SOIL CONSULTANT:

JOHN P. HAYES, CSS CWS  
7 LIMESTONE WAY  
N. HAMPTON, NH 03862  
603-205-4396  
JOHNPHAYES@COMCAST.NET

PB CASE # TBD
CHAIRMAN SIGNATURE:

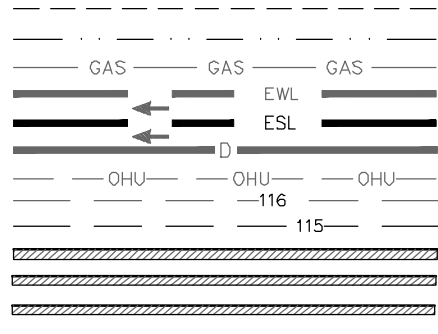
	REVISIONS:	DATE:
1	REVISED OVERALL LAYOUT	06/06/25
2	REVISED PER TRC REVIEW	06/19/25
3		
4		
5		

NH-1547 PROPOSED MIXED-USE SITE PLAN



PLAN REFERENCES:

- "PLAN OF LAND FOR SYLVANIA ELECTRIC PRODUCTS INC. EXETER NEW HAMPSHIRE"  
BY: G.L. DAVIS  
DATED: DECEMBER 1962  
R.C.R.D. FOLDER #1, PLAN #1
- "LAND EXETER, N.H. WAYNE M. COLBY TO EXETER REALTY CORP."  
BY: JOHN W. DURGIN CIVIL ENGINEERS  
DATED: APRIL, 1955  
R.C.R.D. BOOK #1279, PAGE #161
- "POLE LINE OVER LAND OF EXETER REALTY CORPORATION"  
BY: EXETER & HAMPTON ELEC. CO.  
DATED: MARCH 28, 1962  
R.C.R.D. BOOK #1623, PAGE #156
- "SUBDIVISION OF LAND LAND OF BENJAMIN J. & JOAN E. DAGOSTINO OPTIONED BY HARRY F. MCCLAIN EXETER, N.H."  
BY: MCKENNA ASSOCIATES  
DATED: JULY 1, 1971  
R.C.R.D. PLAN #D-2540
- "SUBDIVISION PLAN OF LAND IN EXETER, NEW HAMPSHIRE FOR FIRST DEVELOPMENT CORP. OF GORHAM, N.H."  
BY: SOMERVILLE ENGINEERING INC.  
DATED: NOVEMBER 14, 1972  
R.C.R.D. PLAN #D-3445
- "SUBDIVISION OF LAND OF TOWN OF EXETER FOR JOHN FLYNN IN EXETER, N.H."  
BY: PARKER SURVEY ASSOC., INC.  
DATED: APRIL, 1981  
R.C.R.D. PLAN #D-10196
- "SITE PLAN PROPOSED ADDITIONS GLOBE STORE EXETER N.H. FOR FIRST DEVELOPMENT CORP 451 ANDOVER STREET NO. ANDOVER MA"  
BY: GREAT BAY ENGINEERING  
DATED: AUGUST, 1987  
R.C.R.D. PLAN #D-20867
- "LOT LINE ADJUSTMENT PLAN EXETER HOSPITAL NEW HEALTH CARE CENTER EXETER, NEW HAMPSHIRE"  
BY: KIMBALL CHASE  
DATED: AUGUST 21, 1991  
R.C.R.D. PLAN #D-21261
- "A SURVEY AND PLAT OF A CONDOMINIUM SITE PLAN OF MCCLAIN MANOR SITUATED IN THE TOWN OF EXETER, N.H. PREPARED FOR MCCLAIN MANOR CONDOMINIUM ASSOC."  
BY: R.S.L. LAYOUT & DESIGN, INC.  
DATED: OCTOBER 13, 1997  
R.C.R.D. PLAN #D-25840
- "SEWER EASEMENT PLAN THE PROVIDENT BANK 95 PORTSMOUTH AVENUE, EXETER, NH 03833"  
BY: JONES & BEACH ENGINEERS, INC.  
DATED: MAY 25, 2010  
R.C.R.D. PLAN #D-36632
- "BENJAMIN J. & JOHN E. DAGOSTINO, ALTAT/ACSM LAND TITLE SURVEY FOR EXISTING SITE CONDITIONS PLAN"  
BY: JONES AND BEACH ENGINEERS, INC.  
DATED: APRIL 25, 1997  
NOT RECORDED. ON FILE AT THIS OFFICE



699

- FND FOUND  
TYP TYPICAL  
E.O.P. EDGE OF PAVEMENT  
S.S.W.L. SINGLE SOLID WHITE LINE  
D.S.Y.L. DOUBLE SOLID YELLOW LINE  
D.D.Y.L. DOUBLE DASHED YELLOW LINE  
R.C.R.D. ROCKINGHAM COUNTY REGISTRY OF DEEDS

JURISDICTIONAL WETLANDS WERE DELINEATED BY JOHN P. HAYES III, CWS IN DECEMBER 10 OF 2014 UTILIZING THE FOLLOWING STANDARDS UNDER NO SNOW CONDITIONS:

- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEIWPCC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0. (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST, 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES: DECEMBER 1979. L. COWARDIN, V. C. COLETT, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/47.



JOHN P. HAYES III, CWS #18

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

SOILS:

- 699 - URBAN LAND  
299 - UDOTTHENTS, SMOOTHED  
38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES

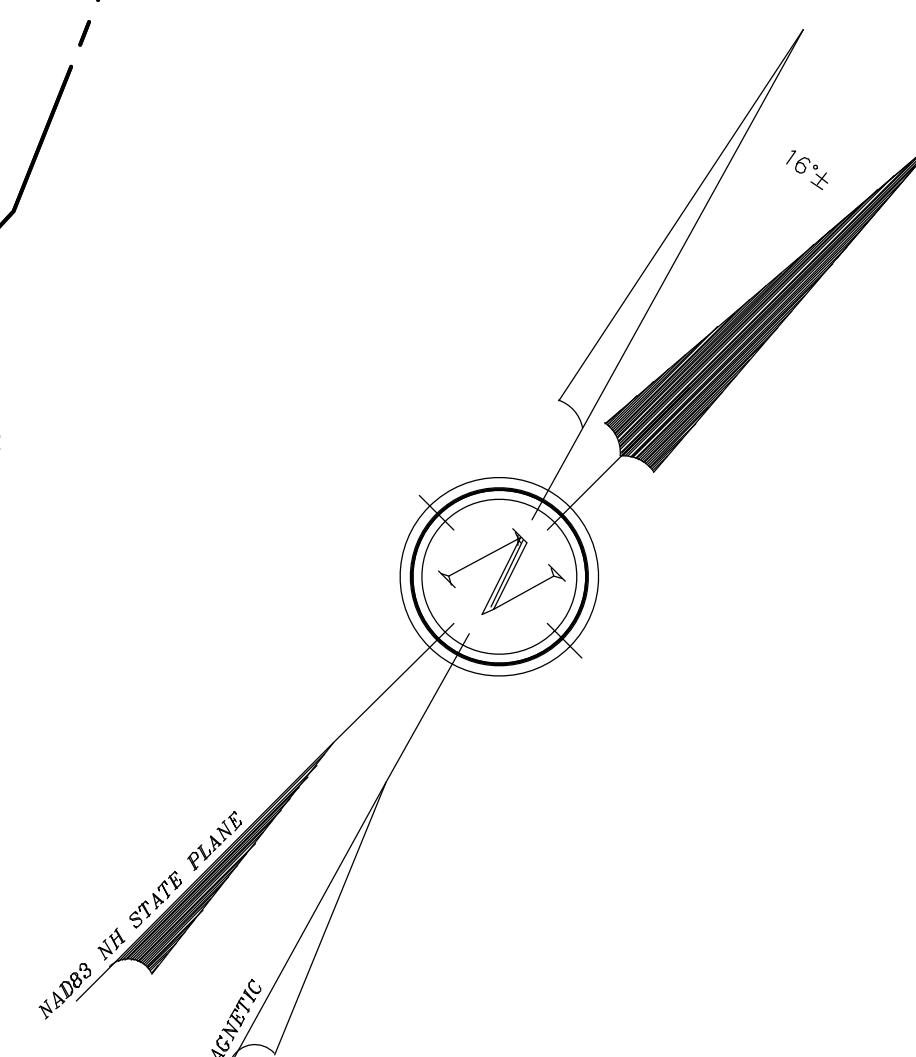
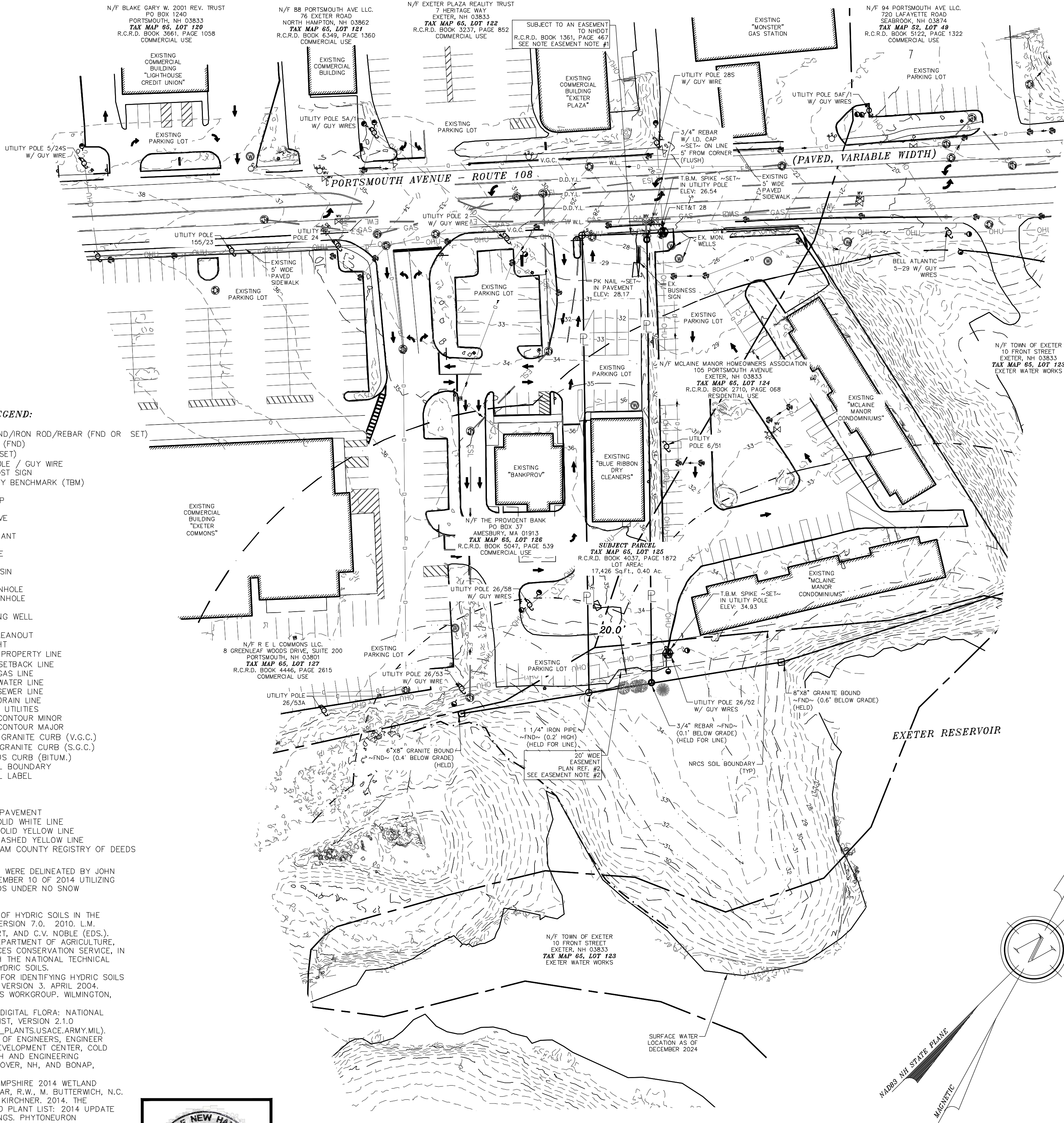
SEE: USDA/NRCS WEBSOL

MONITORING WELLS:

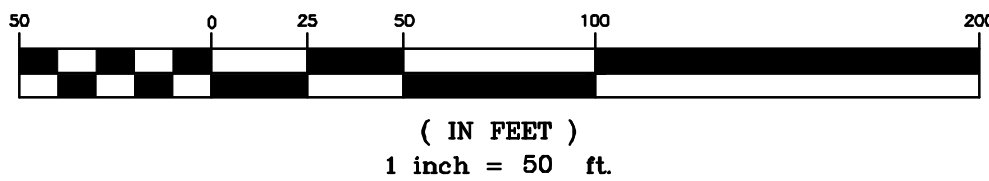
THE PROPERTY CONTAINS MONITORING WELL(S). THE USE OR FUNCTIONS OF THESE WELLS ARE UNKNOWN.

EASEMENT NOTES:

- "CONVEYING HEREBY THE RIGHT TO CONSTRUCT AND MAINTAIN SLOPES BEYOND THE LIMITS OF THE ABOVE DESCRIBED PARCEL, AS INDICATED ON SAID PLAN, THE RIGHT TO CONSTRUCTION AND MAINTAIN DRAINAGE ALSO INDICATED ON SAID PLAN."  
R.C.R.D. BOOK 1361, PAGE 467
- THE PARCEL IS SUBJECT TO AN EASEMENT TO EXETER & HAMPTON ELECTRIC COMPANY, AND ITS SUCCESSORS AND ASSIGNS TO A PERPETUAL AND EXCLUSIVE EASEMENT AS NOTED IN R.C.R.D. BOOK 1623, PAGE 152
- TOGETHER WITH THE BLANKET EASEMENT FOR LOTS 124, 125 & 126 TO ACCESS AND PARK CARS ON ABUTTING LOT 127. R.C.R.D. BOOK 1712, PAGE 201.  
SUBJECT TO THE BLANKET EASEMENT OVER LOTS 124, 125, 126 ALLOWING ACCESS AND THE PARKING OF CARS FOR LOT 127. R.C.R.D. BOOK 1712, PAGE 201
- RELEASE OF ACCESS AND PARKING RIGHTS FOUND IN R.C.R.D. BOOK 2091, PAGE 41 & BOOK 2091, PAGE 42 (AFFECTS LOT 127)
- RESTORATION OF RIGHTS OF EASEMENT TO FIRST DEVELOPMENT CORPORATION. R.C.R.D. BOOK 2970, PAGE 1211
- SEE LEASE AGREEMENT R.C.R.D. BOOK 1879, PAGE 110 (NOT A MATTER OF SURVEY)



GRAPHIC SCALE



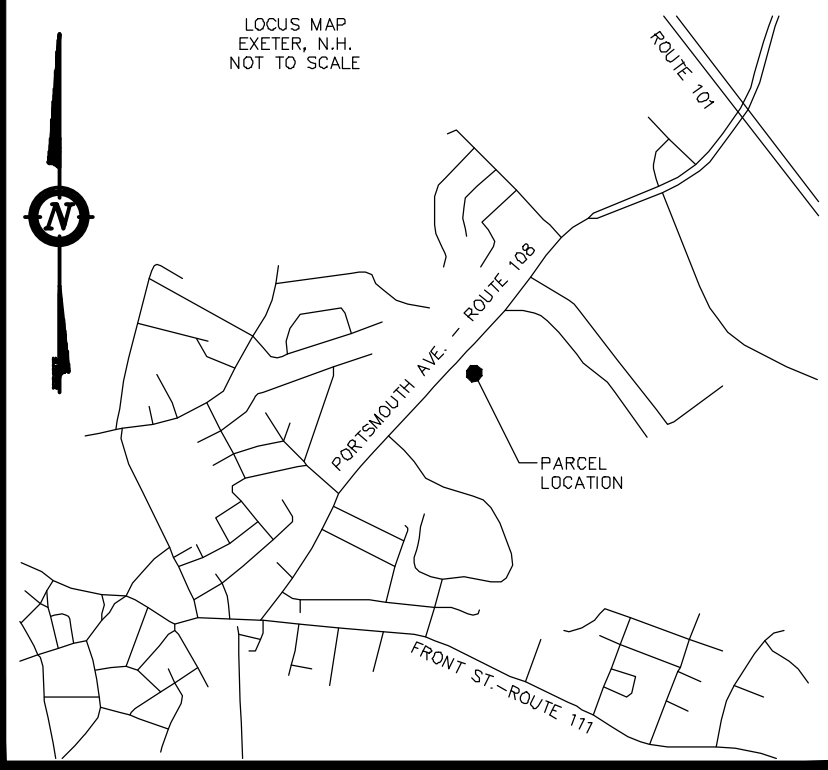
THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

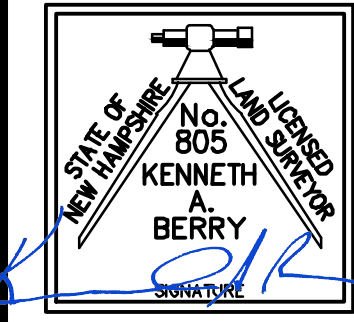
NOTES:

- OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC  
97 PORTSMOUTH AVENUE  
EXETER, NH 03833
- APPLICANT: J. CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM, NH 03885
- TAX MAP 65, LOT 125  
PROJECT ADDRESS: 97 PORTSMOUTH AVENUE
- R.C.R.D. BOOK 4037, PAGE 1872  
SEE R.C.R.D. BOOK 2540, PAGE 2971
- LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- ZONING: C-2, HIGHWAY COMMERCIAL DISTRICT  
MIN. LOT SIZE: 20,000 Sq.Ft.  
MIN. LOT WIDTH: 150'  
MIN. LOT DEPTH: 100'  
MAX. BUILDING HEIGHT: 35'  
50' PERMITTED BY SPECIAL EXCEPTION  
FRONT BUILDING SETBACK: 50'  
SIDE BUILDING SETBACK: 20'  
REAR BUILDING SETBACK: 50'  
20' PERMITTED BY SPECIAL EXCEPTION  
MAX. BUILDING COVERAGE: 30%  
MIN. OPEN SPACE: 15%  
WETLANDS CONSERVATION DISTRICT  
LIMITED USE BUFFER: 40'  
PARKING AND STRUCTURE BUFFER: 75'  
EXETER SHORE LAND PROTECTION OVERLAY  
SHORE LAND PROTECTION ZONE: 300'  
BUILDING SETBACK: 150'  
VEGETATIVE BUFFER: 75'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REFERENCE: FEMA, COMMUNITY # - 330130, MAP # - 33015C0406E, DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRK7 SURVEY GRADE GPS RECEIVERS. TOPOGRAPHY PROVIDED BY BS&E AT A 1' CONTOUR INTERVAL UTILIZING CONVENTIONAL SURVEY METHODS, RTK SURVEY GRADE GPS, AND PENTA-RETURN LIDAR OBTAINED FROM AN RTK ENABLED SURVEY GRADE DRONE, WITH FIELD VERIFICATION.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 65, LOT 125 AS OF THE DATE OF THE SURVEY: DECEMBER 2024.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- A DILIGENT RESEARCH EFFORT FOUND SEVERAL EASEMENTS ENCUMBERING THE PROJECT SITE, AND FOUND THAT THE SITE IS BENEFITED BY EASEMENTS. THERE MAY BE RECORDED AND UNRECORDED RIGHTS THAT WERE NOT FOUND DURING THE RESEARCH EFFORT. SEE EASEMENT NOTES SECTION OF THIS PLAN.
- THERE WERE NO CEMETERIES FOUND ONSITE DURING THE GROUND SURVEY PERFORMED UNDER NO SNOW CONDITIONS IN DECEMBER OF 2024. NO CEMETERIES ARE MENTIONED IN THE SUBJECT PARCELS CHAIN OF TITLE.



OVERVIEW EXISTING CONDITIONS PLAN  
LAND OF  
BLUE FIELDS PROPERTY MANAGEMENT LLC  
97 PORTSMOUTH AVENUE  
EXETER, N.H.  
TAX MAP 65, LOT 125

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 50 FT.  
DATE : DECEMBER 12, 2024  
FILE NO. : DB 2024 - 140



SHEET # OF ##

REVISED PER TRC REQUEST  
#1  
6-20-25  
REVISION DATE

DESCRIPTION





JOHN P. HAYES III, CWS #18

JURISDICTIONAL WETLANDS WERE DELINEATED BY JOHN P. HAYES III, CWS IN DECEMBER 10 OF 2024 UTILIZING THE FOLLOWING STANDARDS UNDER NO SNOW CONDITIONS:

- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPPCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND\_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

#### EXISTING LEGEND:

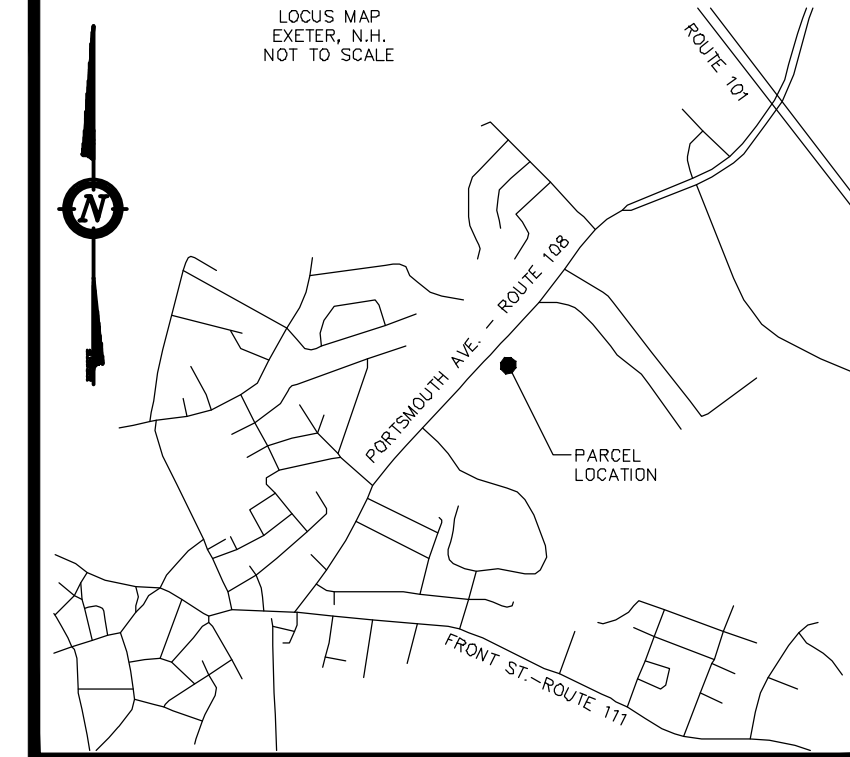
- IRON BOUND/IRON ROD/REBAR (FND OR SET)
- IRON PIPE (FND)
- PK NAIL (SET)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (TBM)
- CURB STOP
- GATE VALVE
- FIRE HYDRANT
- GAS VALVE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- MONITORING WELL
- POLE LIGHT
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING DRAIN LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- VERTICAL GRANITE CURB (V.G.C.)
- SLANTED GRANITE CURB (S.G.C.)
- BITUMINOUS CURB (BITUM.)
- 300' EXETER SHORE LAND PROTECTION LINE
- 150' EXETER SHORE LAND BUILDING SETBACK
- NRCS SOIL BOUNDARY
- NRCS SOIL LABEL
- 699 SPOT ELEVATION
- 34.21
- FND TYP
- E.O.P.
- S.S.W.L.
- D.S.Y.L.
- D.D.Y.L.
- R.C.R.D.
- FOUND TYPICAL
- EDGE OF PAVEMENT
- SINGLE SOLID WHITE LINE
- DOUBLE SOLID YELLOW LINE
- DOUBLE DASHED YELLOW LINE
- ROCKINGHAM COUNTY REGISTRY OF DEEDS

#### EASEMENT NOTES:

- "CONVEYING HEREBY THE RIGHT TO CONSTRUCT AND MAINTAIN SLOPES BEYOND THE LIMITS OF THE ABOVE DESCRIBED PARCEL, AS INDICATED ON SAID PLAN, THE RIGHT TO CONSTRUCTION AND MAINTAIN DRAINAGE ALSO INDICATED ON SAID PLAN." R.C.R.D. BOOK 1361, PAGE 467
- THE PARCEL IS SUBJECT TO AN EASEMENT TO EXETER & HAMPTON ELECTRIC COMPANY, AND ITS SUCCESSORS AND ASSIGNS TO A PERPETUAL AND EXCLUSIVE EASEMENT AS NOTED IN R.C.R.D. BOOK 1623, PAGE 152
- TOGETHER WITH THE BLANKET EASEMENT FOR LOTS 124, 125 & 126 TO ACCESS AND PARK CARS ON ABUTTING LOT 127. R.C.R.D. BOOK 1712, PAGE 201.
- SUBJECT TO THE BLANKET EASEMENT OVER LOTS 124, 125, 126 ALLOWING ACCESS AND THE PARKING OF CARS FOR LOT 127. R.C.R.D. BOOK 1712, PAGE 201
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- RESTORATION OF RIGHTS OF EASEMENT TO FIRST DEVELOPMENT CORPORATION. R.C.R.D. BOOK 2970, PAGE 1211
- SEE LEASE AGREEMENT R.C.R.D. BOOK 1879, PAGE 110 (NOT A MATTER OF SURVEY)

#### NOTES (Cont.):

- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN, FLOOD HAZARD REFERENCE: FEMA, COMMUNITY # - 330130, MAP # - 33015C0406E, DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS. TOPOGRAPHY PROVIDED BY BS&E AT A 1" CONTOUR INTERVAL UTILIZING CONVENTIONAL SURVEY METHODS, RTK SURVEY GRADE GPS, AND PENTA-RETURN LIDAR OBTAINED FROM AN RTK ENABLED SURVEY GRADE DRONE, WITH FIELD VERIFICATION.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 65, LOT 125 AS OF THE DATE OF THE SURVEY: DECEMBER 2024.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- SEE OVERVIEW EXISTING CONDITIONS PAGE FOR COMPLETE NOTES AND ABUTTERS.



#### NOTES:

- OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC 97 PORTSMOUTH AVENUE EXETER, NH 03833
- TAX MAP 65, LOT 125 PROJECT ADDRESS: 97 PORTSMOUTH AVE.
- R.C.R.D. BOOK 4037, PAGE 1872 SEE R.C.R.D. BOOK 2540, PAGE 2971
- LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- ZONING: G-2, HIGHWAY COMMERCIAL DISTRICT

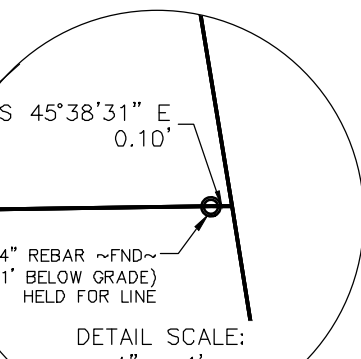
MIN. LOT SIZE: 20,000 Sq.Ft.  
MIN. LOT WIDTH: 150'  
MIN. LOT DEPTH: 100'  
MAX. BUILDING HEIGHT: 35'  
50' PERMITTED BY SPECIAL EXCEPTION  
FRONT BUILDING SETBACK: 50'  
SIDE BUILDING SETBACK: 20'  
REAR BUILDING SETBACK: 50'  
20' PERMITTED BY SPECIAL EXCEPTION  
MAX. BUILDING COVERAGE: 30%  
MIN. OPEN SPACE: 15%

#### WETLANDS CONSERVATION DISTRICT

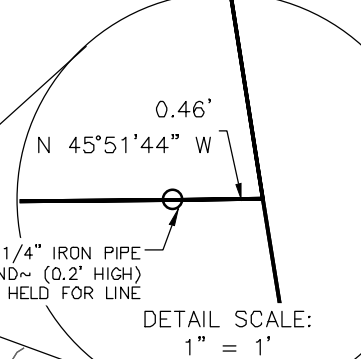
LIMITED USE BUFFER: 40'  
PARKING AND STRUCTURE BUFFER: 75'

#### EXETER SHORE LAND PROTECTION OVERLAY

SHORE LAND PROTECTION ZONE: 300'  
BUILDING SETBACK: 150'  
VEGETATIVE BUFFER: 75'



N 45°38'31" E 0.10'

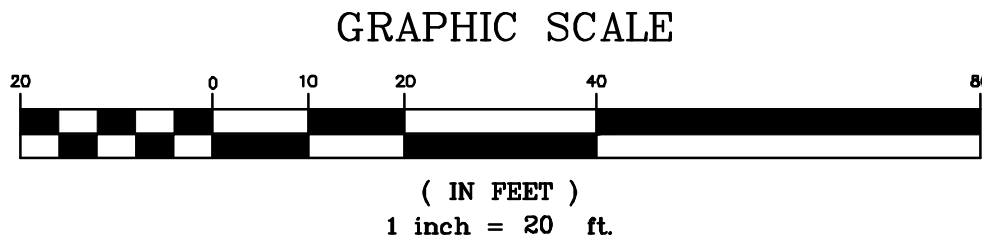


N 45°51'44" W 0.46'

THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

6-20-25 KENNETH A. BERRY L.L.S. 805 DATE



#### UTILITY NOTE:

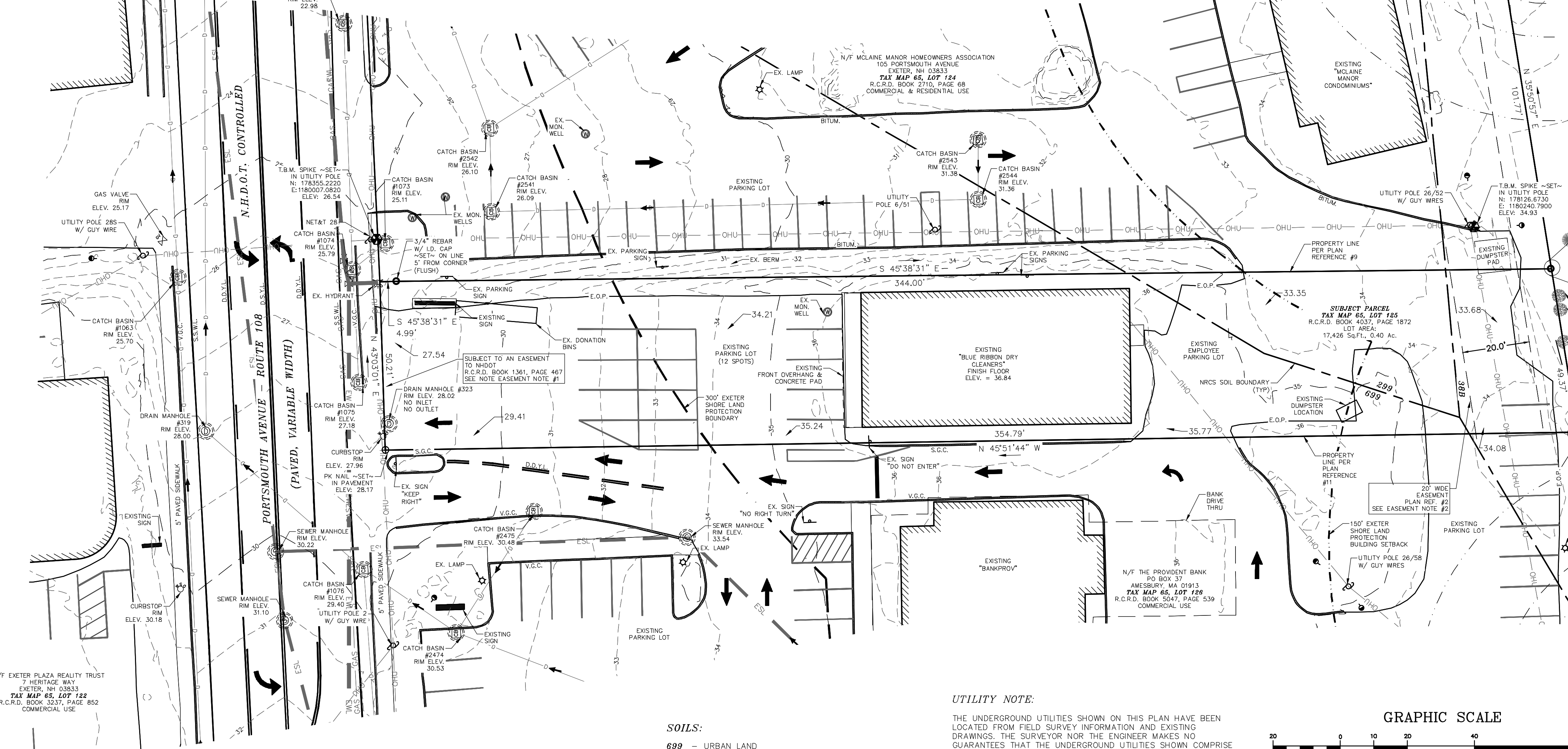
THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

#### SOILS:

699 - URBAN LAND  
299 - UDOTHERENTS, SMOOTHED  
38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOIL

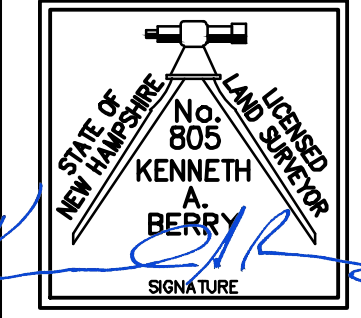
N/F 94 PORTSMOUTH AVE LLC.  
720 LAFALETTE ROAD  
SEABROOK, NH 03874  
TAX MAP 65, LOT 49  
R.C.R.D. BOOK 5122, PAGE 1322  
COMMERCIAL USE



N/F EXETER PLAZA REALTY TRUST  
7 HERITAGE WAY  
EXETER, NH 03833  
TAX MAP 65, LOT 122  
R.C.R.D. BOOK 3237, PAGE 852  
COMMERCIAL USE

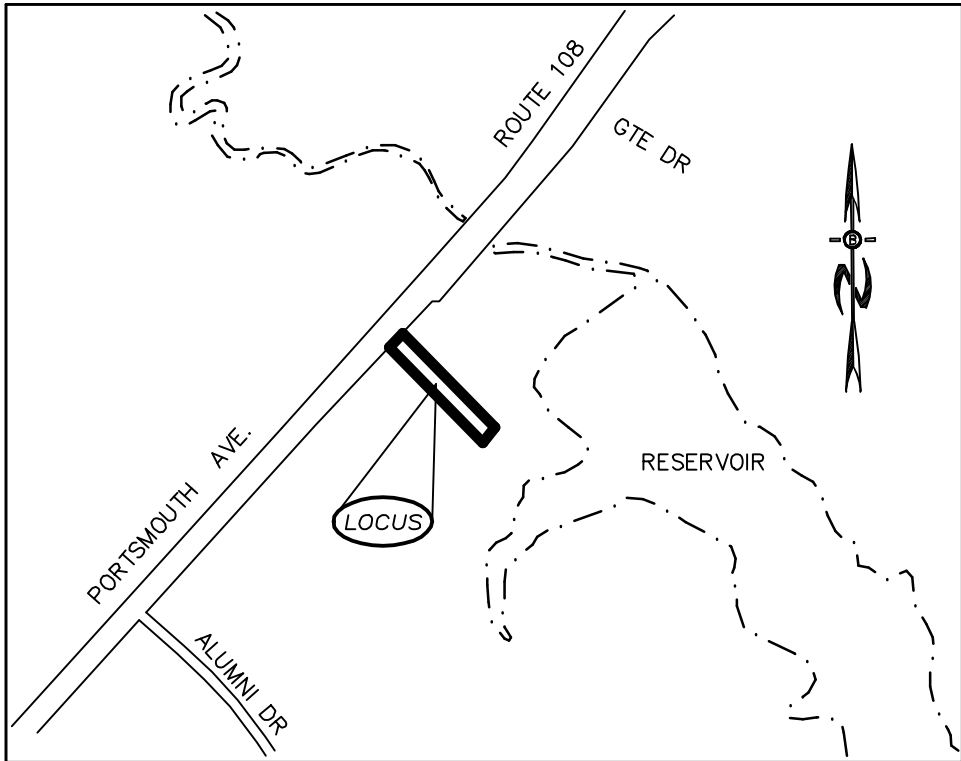
EXISTING CONDITIONS PLAN  
LAND OF  
BLUE FIELDS PROPERTY MANAGEMENT LLC  
97 PORTSMOUTH AVENUE  
EXETER, N.H.  
TAX MAP 65, LOT 125

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: 1 IN. EQUALS 20 FT.  
DATE: DECEMBER 12, 2024  
FILE NO.: DB 2024 - 140

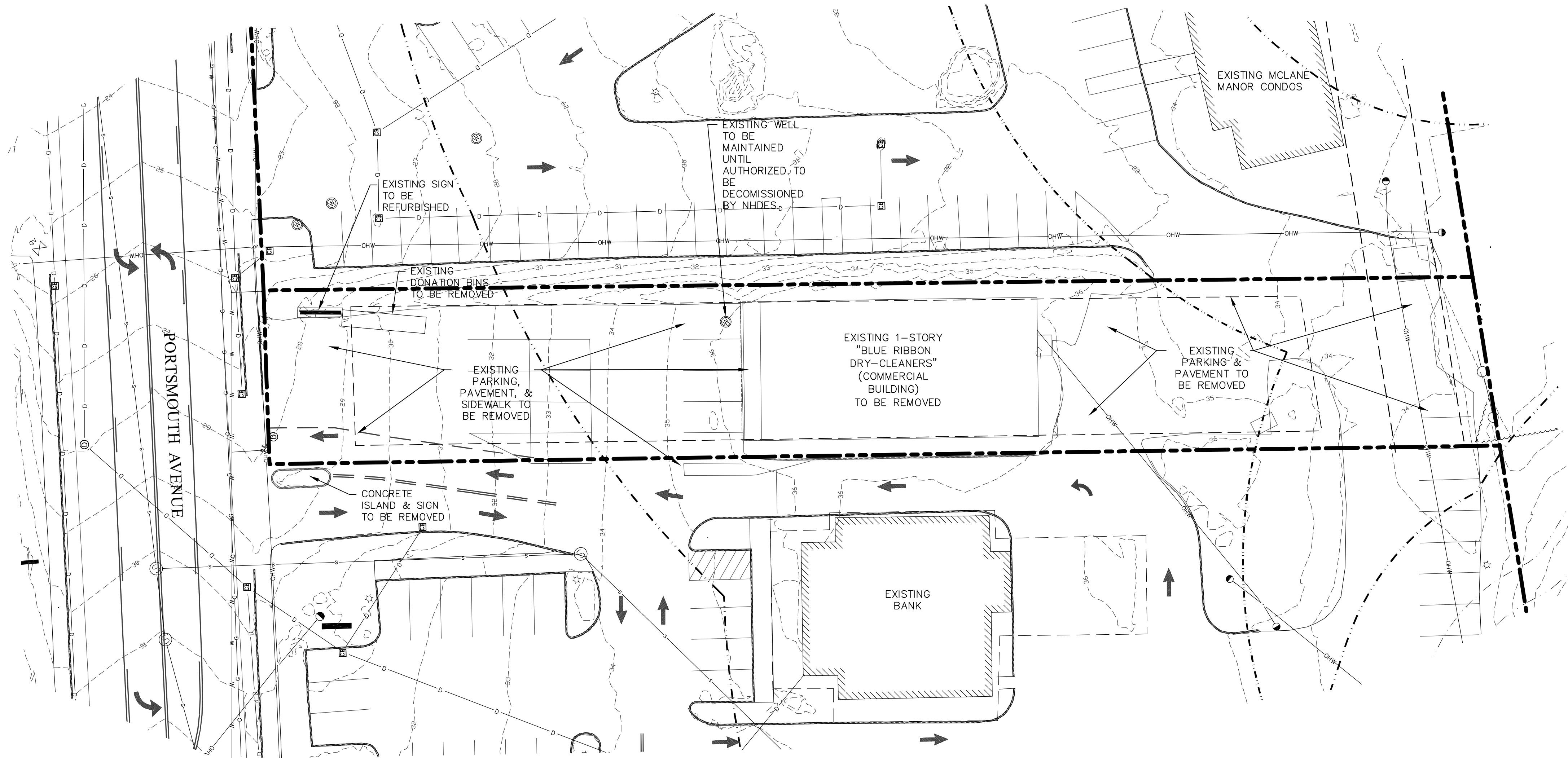


SHEET # OF ##



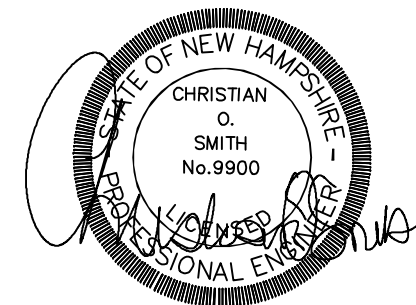


LOCATION MAP  
1"=500'

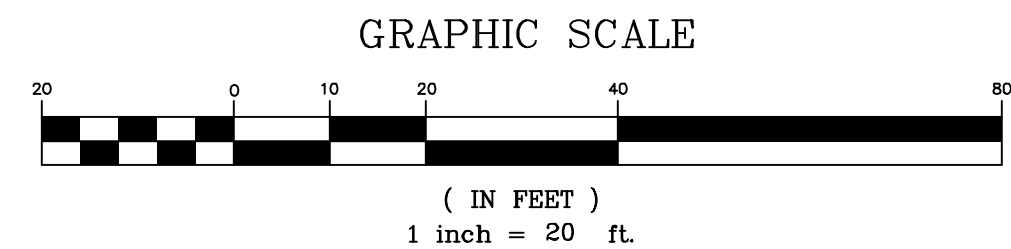


NOTES

- ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE, AND UTILITY COMPANY STANDARDS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES.
- EXISTING SEWER SERVICE AND APPURTENANCES TO BE REMOVED AND DISPOSED OF PER TOWN AND STATE REQUIREMENTS. NEW SERVICES FOR EACH UNIT TO BE INSTALLED & CONNECTED PER TOWN SPECIFICATIONS. SEQUENCING AND SCHEDULING: (SEE DETAIL SHEETS FOR COMPLETE CONSTRUCTION SEQUENCE AND EROSION CONTROL SPECIFICATION.)
- DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH THE GOVERNING LAWS. PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL.
- LEAVE SITE IN CLEAN CONDITION.
- TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING DRIVEWAY), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.



REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:

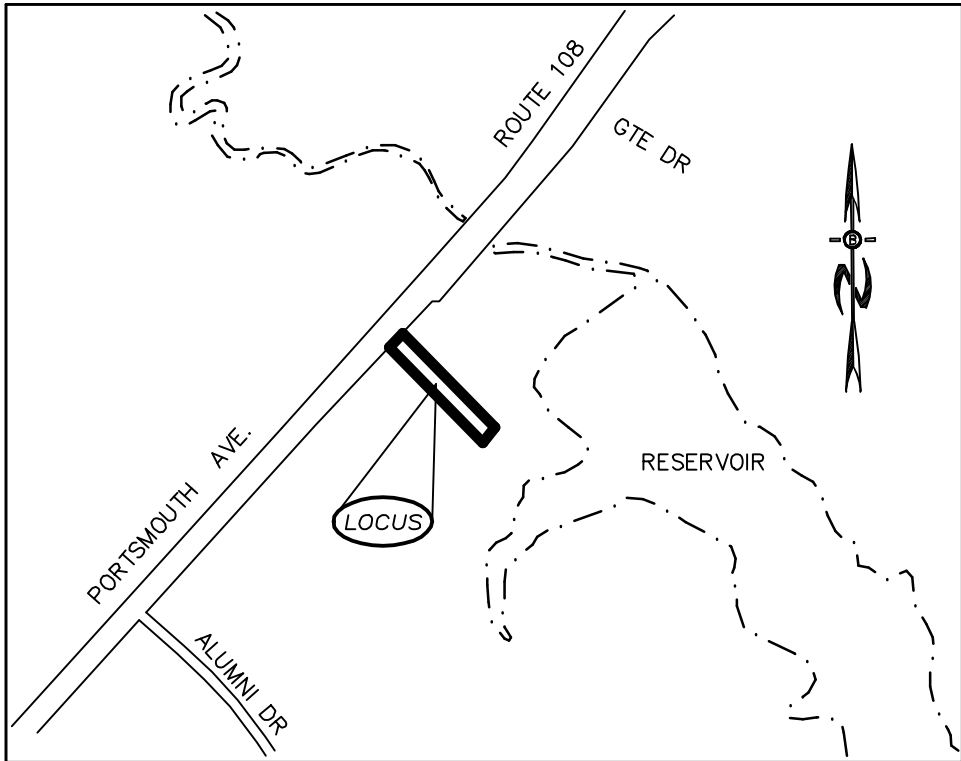


DEMOLITION PLAN

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	3





LOCATION MAP  
1"=500'

TOWN NOTES

1. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
2. THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM SIZE VEHICLES AND TRUCKS; (DESIGN VEHICLE IS THE EXETER LADDER TRUCK OR 35' BOX TRUCK) EITHER DELIVERING TO, OR USING THE PROPERTY.
3. ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.
4. ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.
5. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

ZONING REQUIREMENTS:

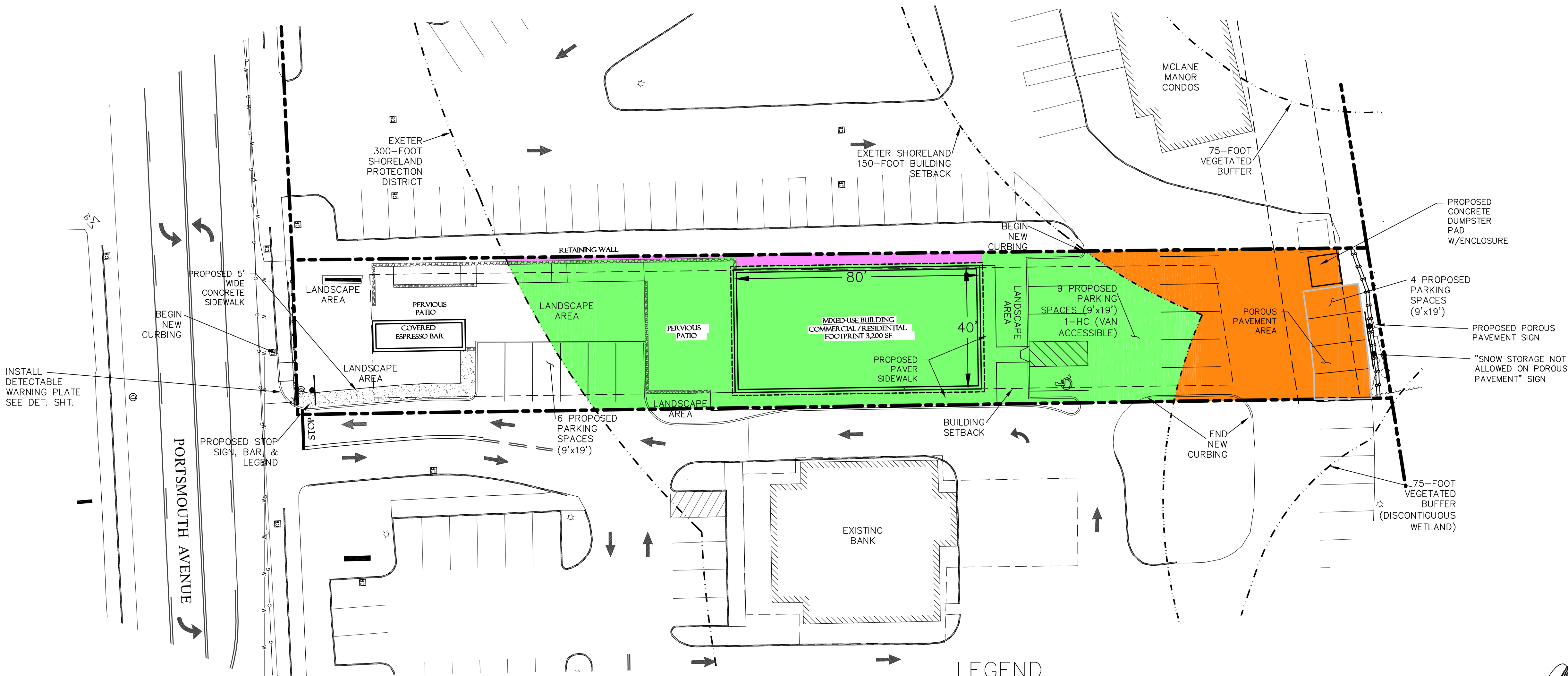
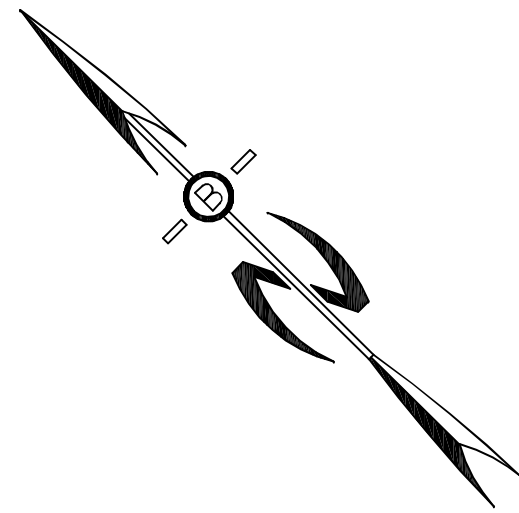
ZONING DISTRICT - HIGHWAY COMMERCIAL (C2)  
MINIMUM LOT SIZE - 20,000 S.F.  
MINIMUM LOT WIDTH - 150 FT.  
MINIMUM LOT DEPTH - 100 FT.

BUILDING SETBACKS

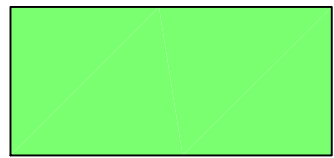
FRONT 50 FT.  
SIDE 20 FT.  
REAR 50 FT.  
BUILDING HEIGHT 35 FT.  
(50' BY SPECIAL EXCEPTION)  
MAXIMUM BUILDING COVERAGE = 30%  
EXISTING-18.4%, PROPOSED-18.4%  
MINIMUM OPEN SPACE = 15%  
EXISTING-12.4%, PROPOSED-21%

PARKING SPACES

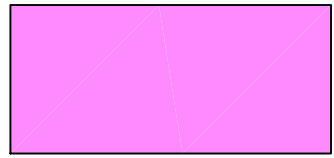
EXISTING-12  
REQUIRED-14  
14 RES UNITS x1/PER (MUND) = 14  
COFFEE SHOP/ESPRESSO BAR 30 SEATS/3/SEAT = 10  
TOTAL REQUIRED = 24  
PROPOSED-19 (5-OFFSITE PER EXISTING EASEMENT)



LEGEND



PERMANENT SHORELAND  
IMPACT (150'-300')



TEMPORARY SHORELAND IMPACT  
(150'-300')



PERMANENT SHORELAND  
IMPACT (0'-150')

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW TWO 4-STORY BUILDINGS (1 MIXED USE AND 1 RESIDENTIAL) WITH ASSOCIATED PARKING SPACES.
2. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
3. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
4. IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 9.3.4 THE APPLICANT SHALL PROVIDE THE TOWN WITH THREE COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALSO ENSURE THAT ONE COPY REMAINS ON SITE.
5. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS UNLESS A VARIANCE IS OTHERWISE REQUESTED.
6. TOTAL PROPOSED DISTURBANCE FOR CONSTRUCTION = 0.4± ACRES.
7. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN, SIGNED AND STAMPED BY THE DESIGN ENGINEER, WHO MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
8. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
9. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
10. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.

SHORELAND IMPACT SUMMARY

	0-150 FOOT	150-300 FOOT
TEMPORARY IMPACTS	121 SF	189 SF
PERMANENT IMPACTS	3,106 SF	10,326 SF

TOTAL PARCEL AREA IN EXETER SHORELAND SETBACK = 13,334 SF

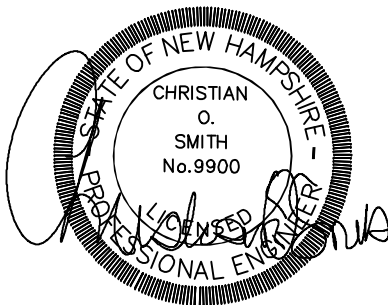
	EXISTING	PROPOSED
SF IMPERVIOUS	10,595 SF	9,400 SF
% IMPERVIOUS	79.5%	70.5%

PREPARED FOR:

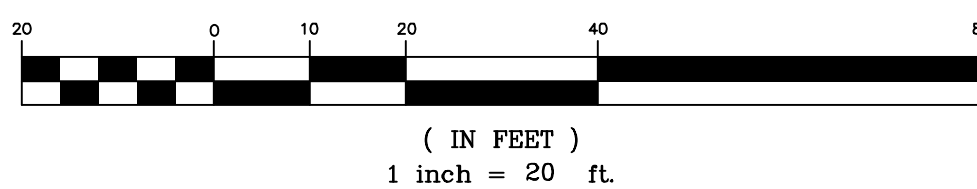
J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863



GRAPHIC SCALE



SITE PLAN

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	4

REVISED PER TRC REVIEW	06/19/25
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REVISIONS:	DATE:



SOIL INFORMATION WAS OBTAINED FROM USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS):

SOIL IDENTIFICATION LEGEND:

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
38B	ELDRIDGE FINE SANDY LOAM	C/D
299	UDORTHENTS, SMOOTHED	
699	URBAN LAND	

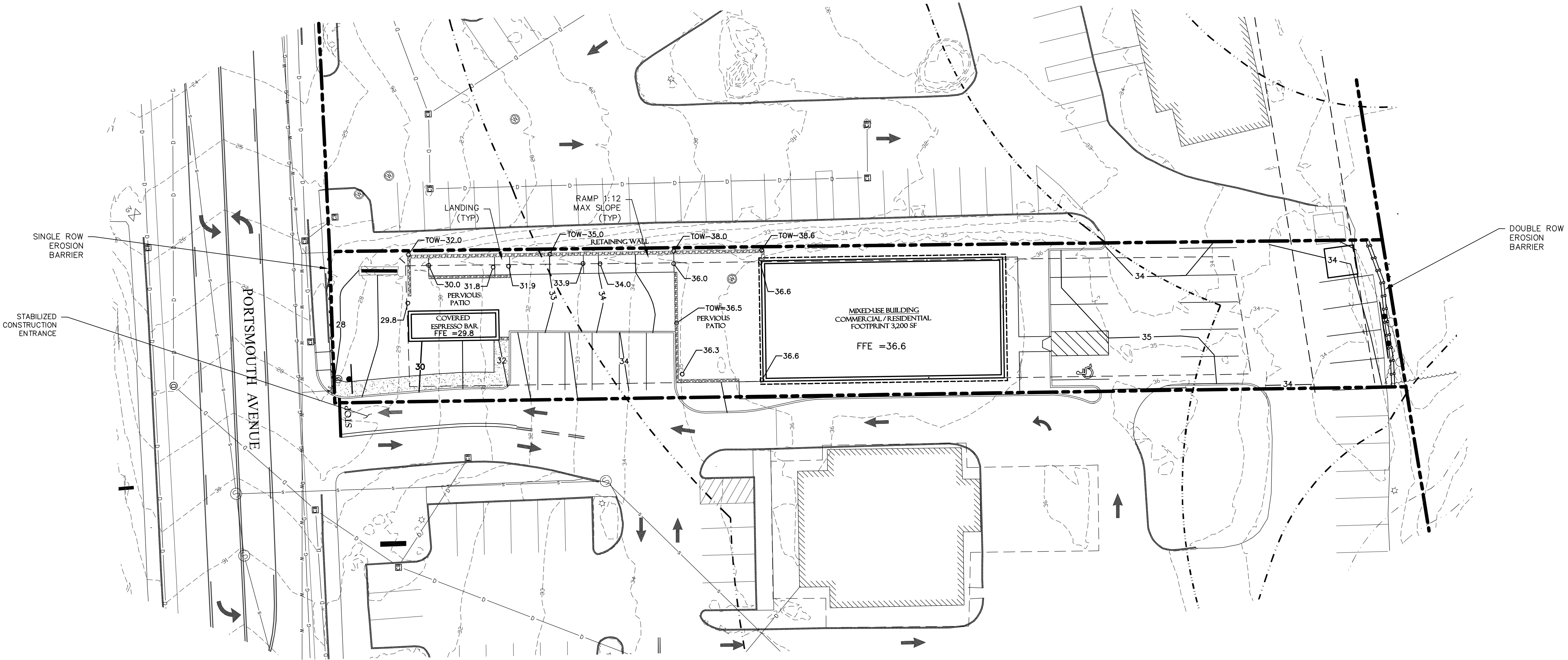
SLOPE PHASES:  
A=0-3%, B=3-8%, C=8-15%, D=15-25%, E=25%+

PREPARED FOR:

J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
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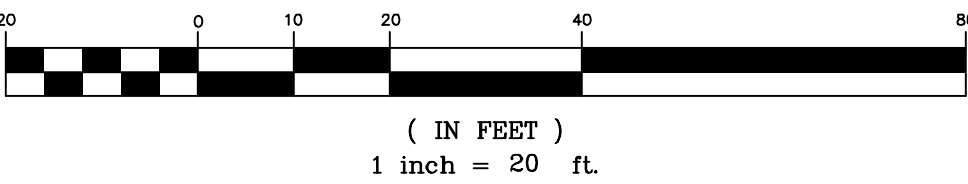
NOTES:

- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

GRAPHIC SCALE



GRADING, DRAINAGE, &  
EROSION CONTROL PLAN

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:

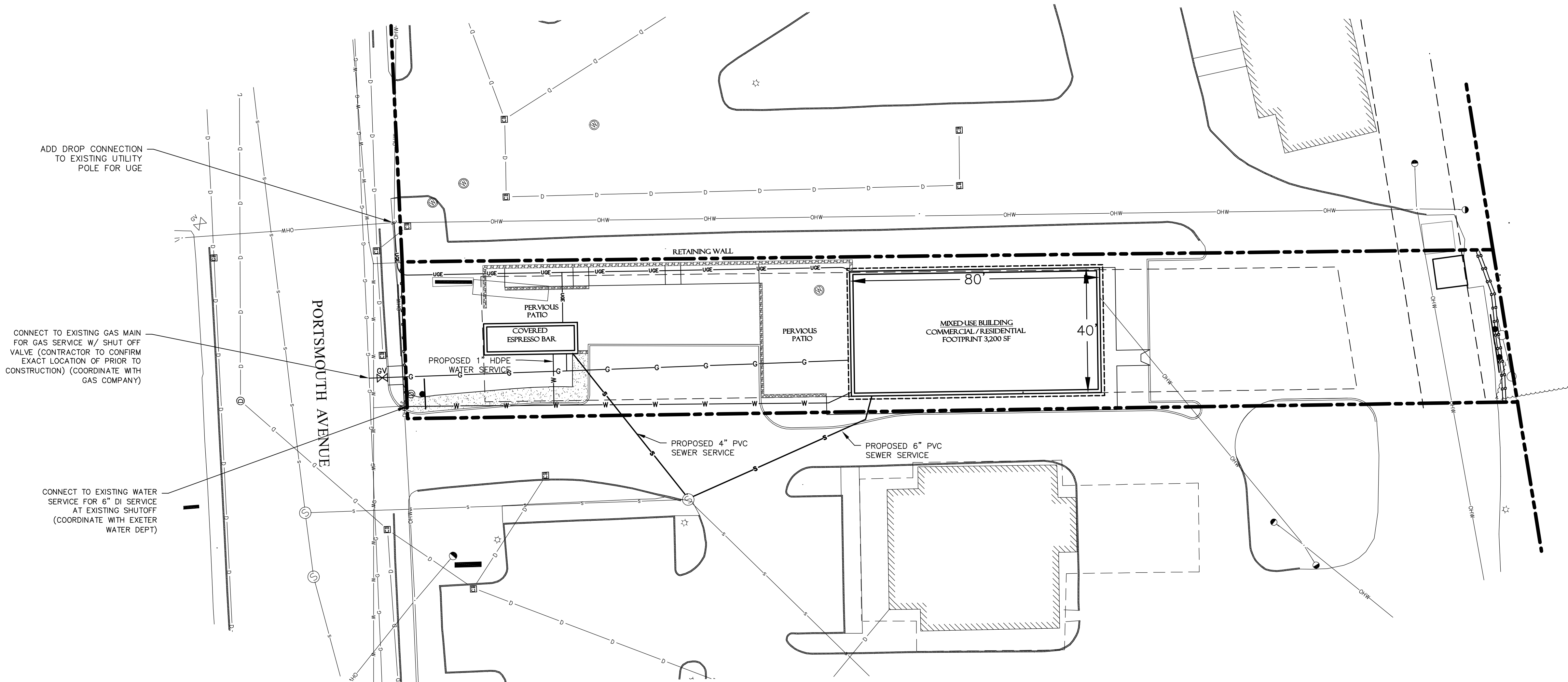
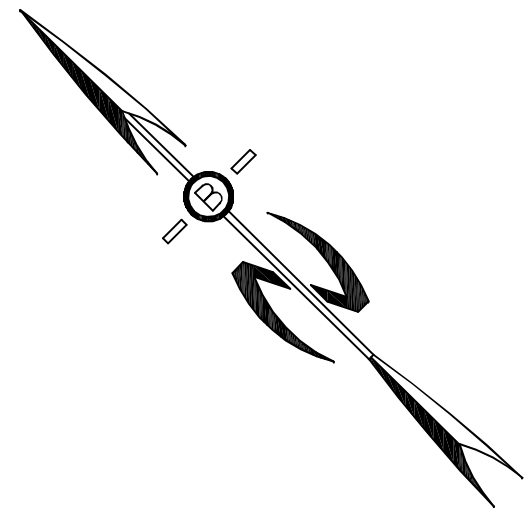
DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	5



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES, AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE NOTICE TO ALL COMPANIES AND LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH, OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE SPECIFICATIONS FOR PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR PROPER UTILITY CROSSING REQUIREMENTS PRIOR TO CONSTRUCTION.
4. PRIOR TO THE PRE-CONSTRUCTION MEETING UGE&T PLANS FROM THE UTILITY COMPANIES NEED TO BE REDRAWN ON THIS SHEET. ADDITIONALLY THE CONTRACTOR NEEDS TO HAVE A COMPLETED SWPPP. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO EXETER STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR (OSHA) RULES AND REGULATIONS. BUILDINGS ARE TO BE SERVICED BY UNDERGROUND UTILITIES.
6. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS (IF REQUIRED) IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
7. WATER LINE SHALL BE INSTALLED UNDER ALL UTILITY LINES WITH A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN UTILITIES AT CROSSINGS.
8. AN AS-BUILT PLAN IS TO BE PREPARED AND SUBMITTED TO DEPARTMENT OF PUBLIC WORKS IN DIGITAL (.DWG AND .PDF) AND MYLAR FORMATS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL CONNECTION FEES.
10. SANITARY SEWER FLOW CALCULATIONS:  
24 UNITS AT 2 BEDROOMS EACH= 48 BEDROOMS  
ESTIMATED FLOW AT 150 GPD/BEDROOM= 7,200 GPD  
FOOD SERVICE WITH 70 SEATS AND 3 EMPLOYEES  
ESTIMATED FLOW AT 40 GPD/SEAT = 2,800 GPD + 20 GPD/EMPLOYEE = 60 GPD = 2,860 GPD  
TOTAL ESTIMATED FLOW = 10,060 GPD

11. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY CAP AND WITNESS AT END.
12. THRUST BLOCKS SHALL BE PROVIDED AT ALL WATER LINE BENDS, TEES, AND MECHANICAL JOINTS.
13. CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO EXISTING WATER SERVICES AND ALL REQUIREMENTS OF EXETER WATER DEPARTMENT SHALL BE FOLLOWED REGARDING NOTIFICATION OF INTERRUPTION OF SERVICE (MIN 48 HOURS). TEE INSTALLATION MAY NEED TO BE CONDUCTED AT NIGHT AS DIRECTED BY EXETER WATER DEPT.
14. WATER VALVES ARE TO BE OPERATED ONLY BY MUNICIPAL STAFF.
15. THE INSTALLATION OF SMOKE, HEAT, FIRE, OR CARBON MONOXIDE ALARMS OR SYSTEMS SHALL COMPLY WITH NFPA 72 REQUIREMENTS.
16. ALL SEWER SERVICE BENDS SHALL HAVE CLEANOUTS INSTALLED.
17. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
18. THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.



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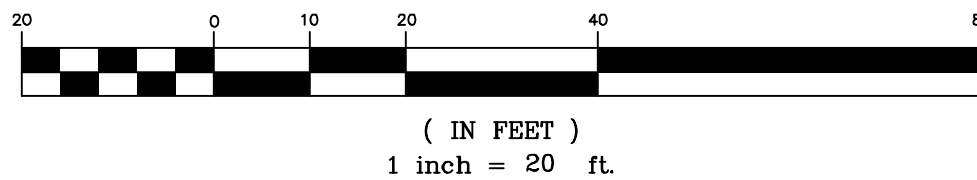
PREPARED FOR:

J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863

GRAPHIC SCALE



UTILITY PLAN

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE: APRIL 29, 2025 SCALE: 1" = 20'  
PROJ. NO: NH-1547 SHEET NO. 6

REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:





POLE MOUNT



WALL MOUNT

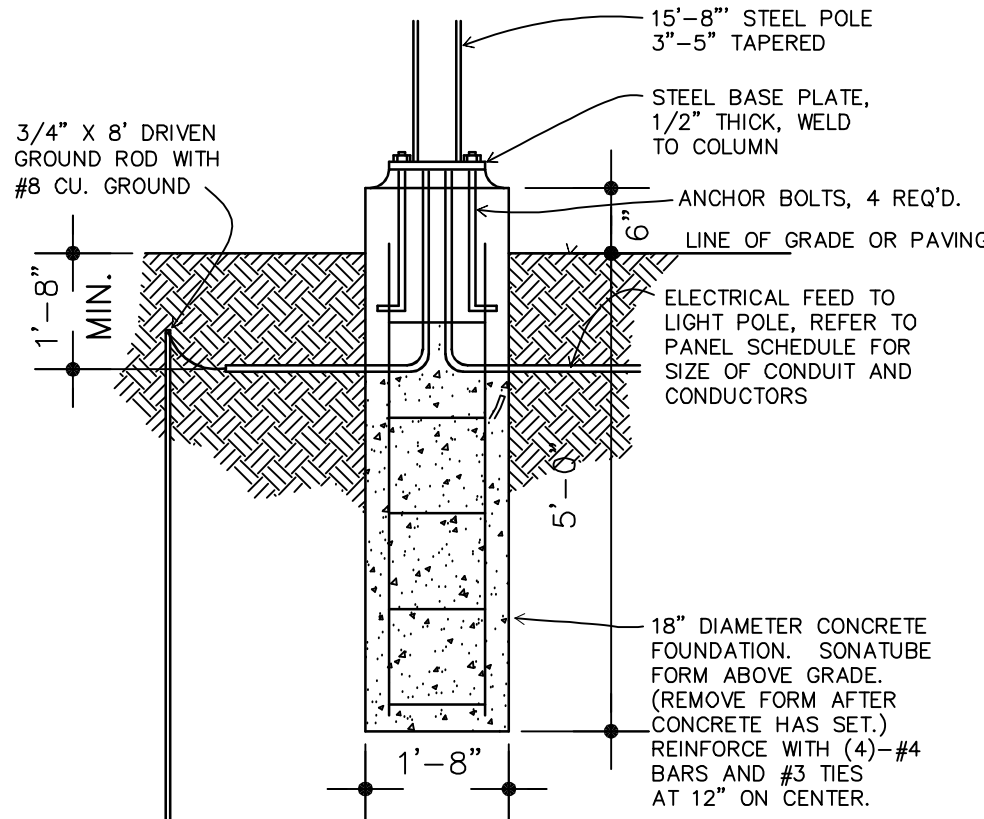
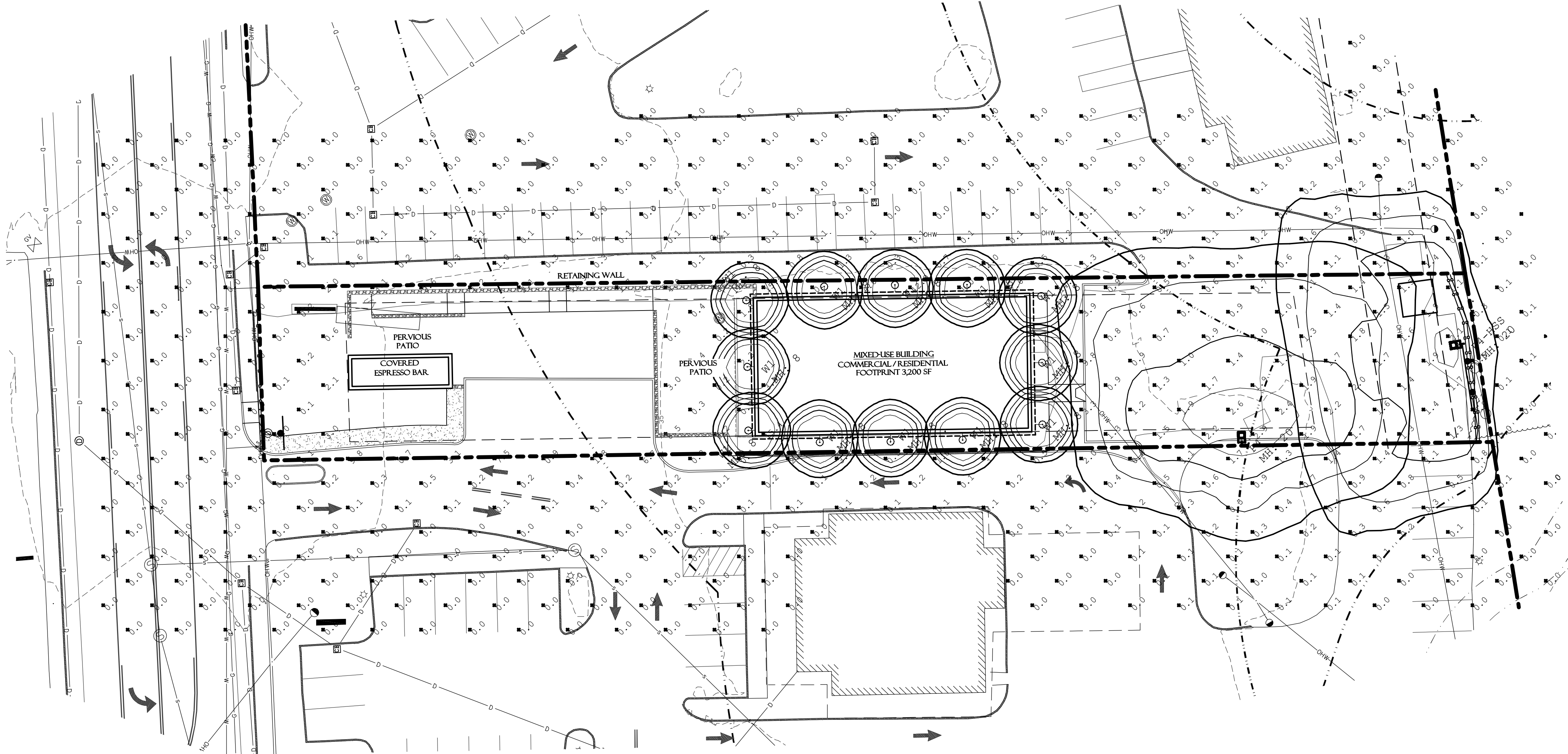
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	
	1	P4	Single	NLS: NV-1-T4-32L-7-30K7-UNV-ASA-CXX	MTD 20' AFG ON 20' NLS POLE: SSSP-20-4S-11G-9BC-SGL-CXX-3430	0.900
	1	P4-HSS	Single	NLS: NV-1-T4-32L-7-30K7-UNV-ASA-CXX-HSS	MTD 20' AFG ON 20' NLS POLE: SSSP-20-4S-11G-9BC-SGL-CXX-3430	0.900
	12	W1	Single	TMS: 10W-O-15LED-30K-VXX-WM-CXX-DIML-W12	WALL MTD 6' AFG	0.900
						7739
						5083
						1090

PREPARED FOR:

J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863



POLE FOUNDATION

LIGHT BASE DETAIL  
SCALE: NONE

LIGHTING NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE SO DIRECTED & SHIELDED THAT NO GLARE WILL SPILL OUT ONTO RESIDENTIALLY ZONED ADJUTTERS
2. AFTER 10:00 PM ONLY THAT AMOUNT OF LIGHT NECESSARY FOR THE SECURITY OF THE PREMISES SHALL BE PERMITTED.

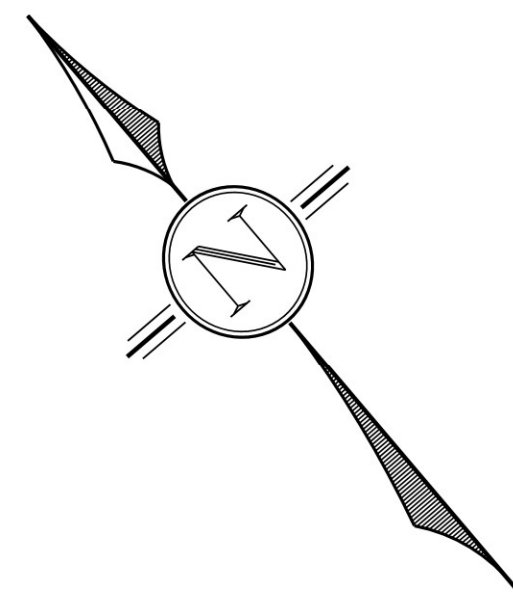
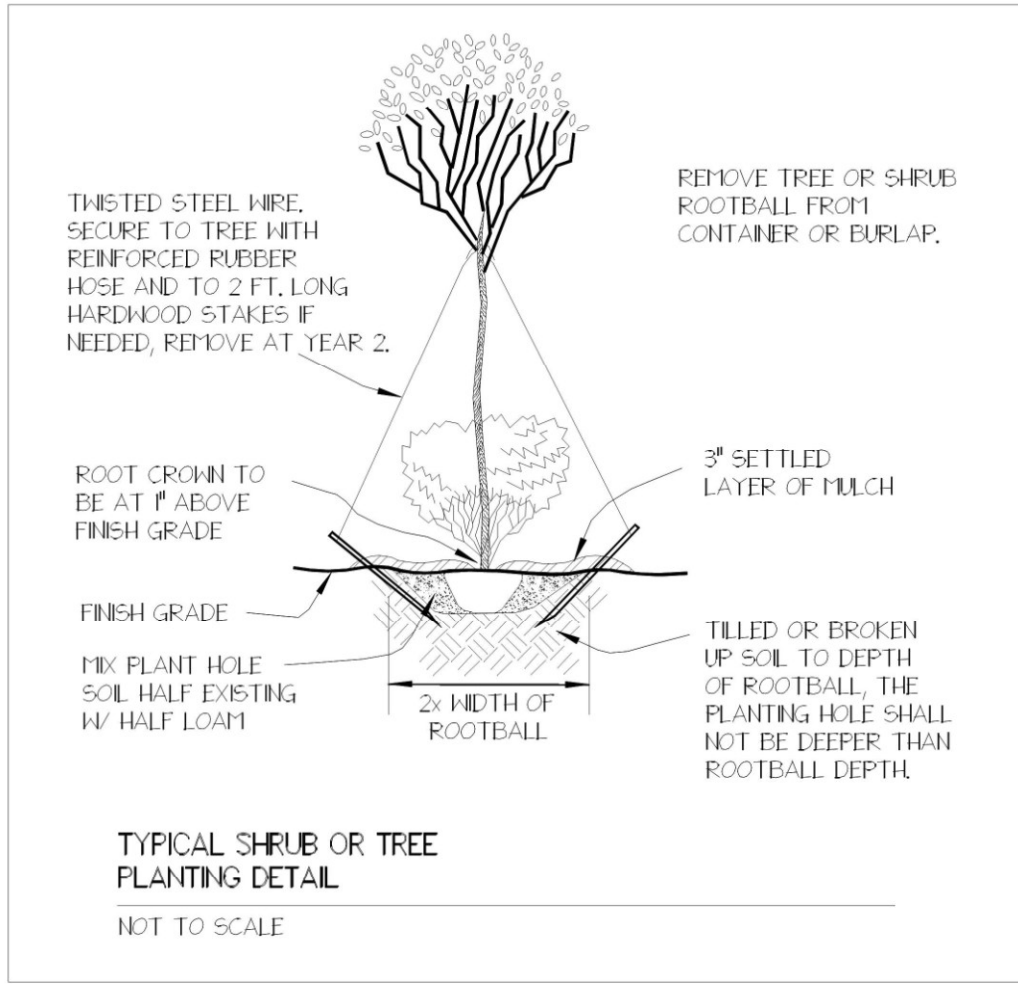
GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:
LIGHTING PLAN	
MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125	
DATE:	APRIL 29, 2025
SCALE:	1" = 20'
PROJ. NO:	NH-1547
SHEET NO.	7





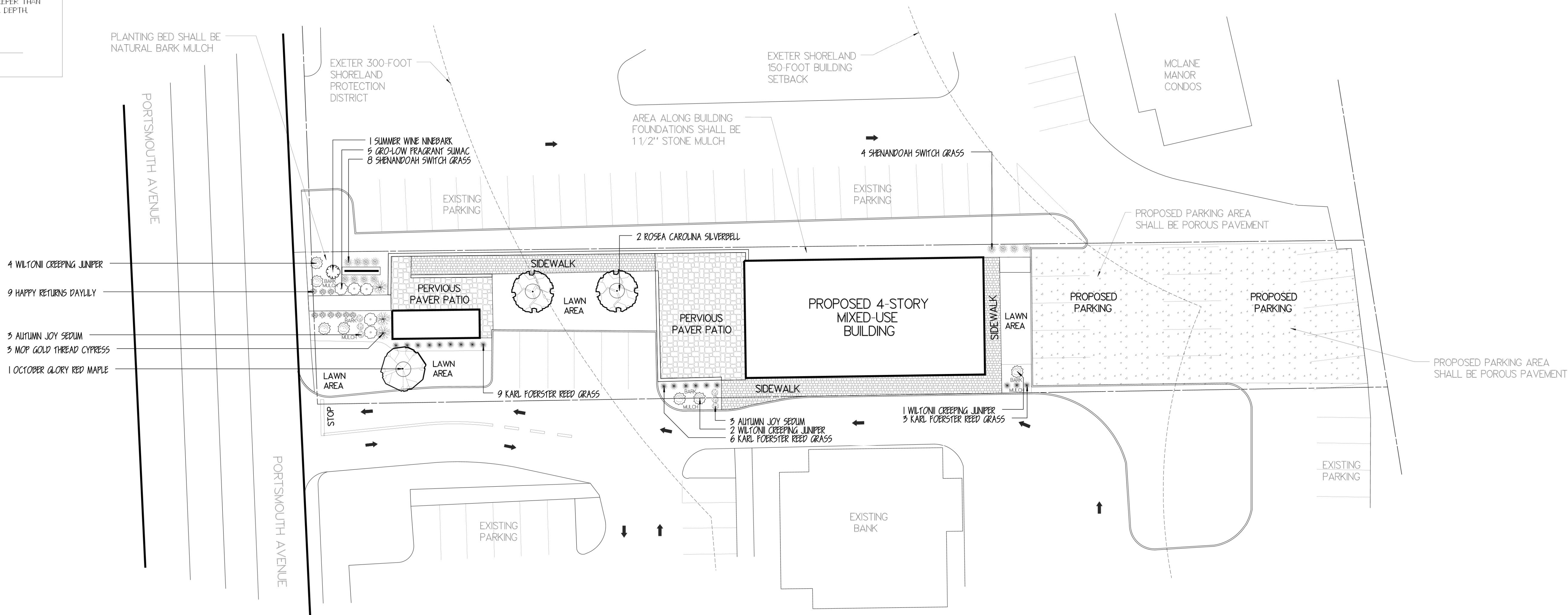
PREPARED FOR:  
J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM, NH 03885



11 South Road  
Brentwood, NH 03833  
LMLandDesign.com



AMERICAN SOCIETY OF  
LANDSCAPE ARCHITECTS



**PLANTING NOTES:**

THE LANDSCAPE INSTALLATION CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO STARTING WORK.

THE CONTRACTOR SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

THE DEVELOPER SHALL PLANT A MINIMUM OF THE AMOUNT OF SHRUBS AND TREES SHOWN ON THE PLANT LIST, BUT EXACT SPECIES MAY VARY BASED ON AVAILABILITY. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE FULL YEAR FROM THE TIME OF OWNER ACCEPTANCE.

ALL PLANT MATERIAL SHALL BE WATERED THOROUGHLY DURING THE FIRST 24 HOUR PERIOD AFTER PLANTED. PLANTS SHALL BE WATERED WEEKLY OR MORE AS NECESSARY DURING THE FIRST GROWING YEAR.

ALL TREES, SHRUBS AND PERENNIALS SHALL BE PLANTED IN MULCH BEDS EXCEPT WHERE SPECIFIED ON THE PLAN. ALL MULCH AREAS SHALL RECEIVE A 3 INCH LAYER OF NATURAL BARK MULCH OVER A CONSTRUCTION GRADE WEED MAT BARRIER.

THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION DEBRIE, ETC. FROM ANY LANDSCAPE AREA UNLESS DESIGNATED TO REMAIN.

ALL DISTURBED AREAS TO BE LANDSCAPED SHALL BE REPLACED WITH SUITABLE TOPSOIL.

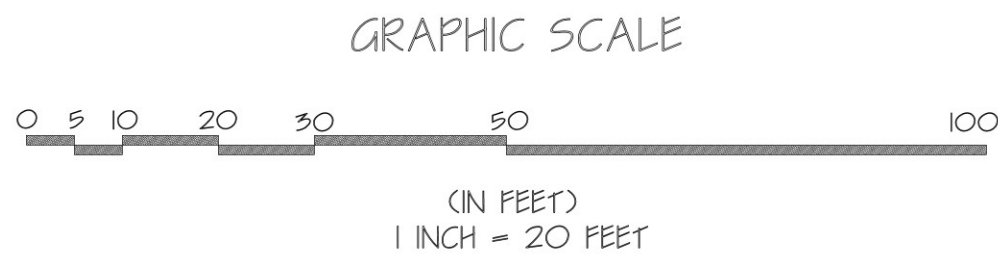
THE BUILDING FOUNDATIONS WILL HAVE STONE MULCH BORDER EXTENDING OUT 18 INCHES FROM FOUNDATION AS DRIP EDGE. THE STONE MULCH SHALL BE 3 INCH DEPTH OVER A CONSTRUCTION GRADE WEED MAT BARRIER.

THIS PLAN SHEET IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL AND SITE SHEETS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

ALL PLANTING SHALL CONFORM TO THE TOWN OF EXETER, NEW HAMPSHIRE'S SITE PLAN REVIEW REGULATIONS PLANTING REQUIREMENTS.

Qty	Botanical Name	Common Name	Size/Condition
Trees			
1	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	3" Caliper B#B
2	Halesia tetraptera 'Rosed'	ROSEA CAROLINA SILVERBELL	2" Caliper B#B
Shrubs			
3	Chamaecyparis pisifera 'Mop'	MOP GOLD THREAD CYPRESS	5 Gallon
7	Juniperus horizontalis 'Wiltonii'	WILTONII CREEPING JUNIPER	3 Gallon
1	Physocarpus opulifolius 'Seward'	SUMMER WINE NINEBARK	5 Gallon
5	Rhus aromatica 'Gro-low'	GRO-LOW FRAGRANT SUMAC	3 Gallon
Ornamental Grasses			
18	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	2 Gallon
12	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCH GRASS	2 Gallon
Perennials			
9	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
6	Sedum 'Autumn Joy'	AUTUMN JOY SEDUM	1 Gallon

NOTE: PLANT CONTAINER SIZES MAY VARY BASED ON AVAILABILITY.



**PLANTING PLAN**

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

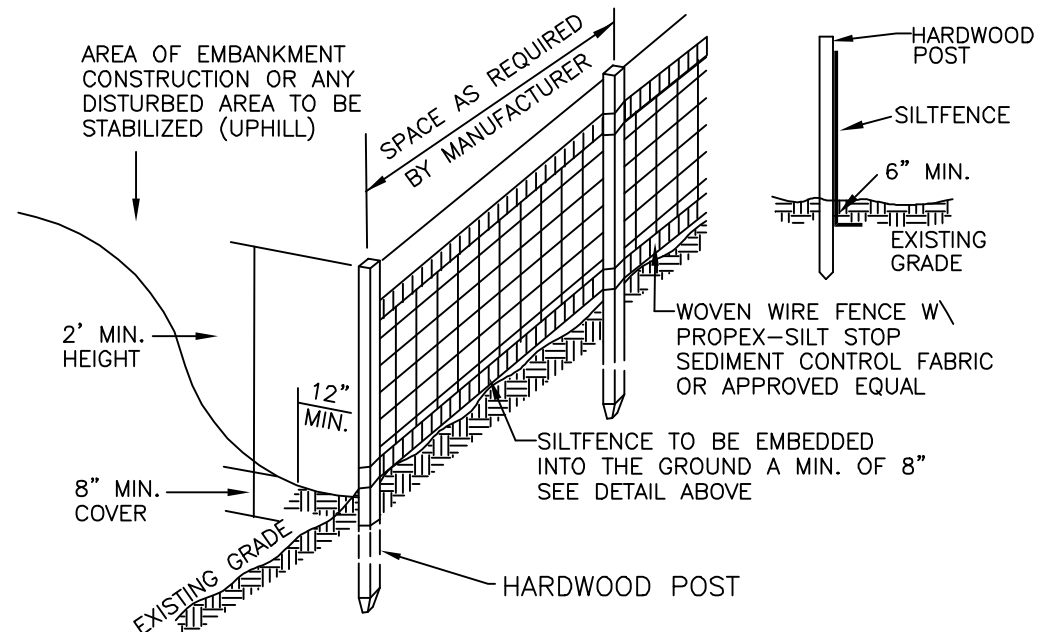
REVISED OVERALL LAYOUT 06/06/2025  
REVISIONS: DATE:

DATE: APRIL 29, 2025 SCALE: 1" = 20'  
PROJ. NO: NH-1547 SHEET NO. 8



CONSTRUCTION SEQUENCE

1. CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
3. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
4. EXCAVATE AND STOCKPILE TOPSOIL /LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
6. CONSTRUCT THE ROADWAY AND ITS ASSOCIATED DRAINAGE STRUCTURES.
7. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
8. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDED OR MULCHED AS REQUIRED, OR DIRECTED.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
13. ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
14. FINISH PAVING ALL DRIVEWAYS



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A
2. MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER.
3. THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BYPASSING MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT
4. REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE
5. FOR SEDIMENT STORAGE SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND
6. THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

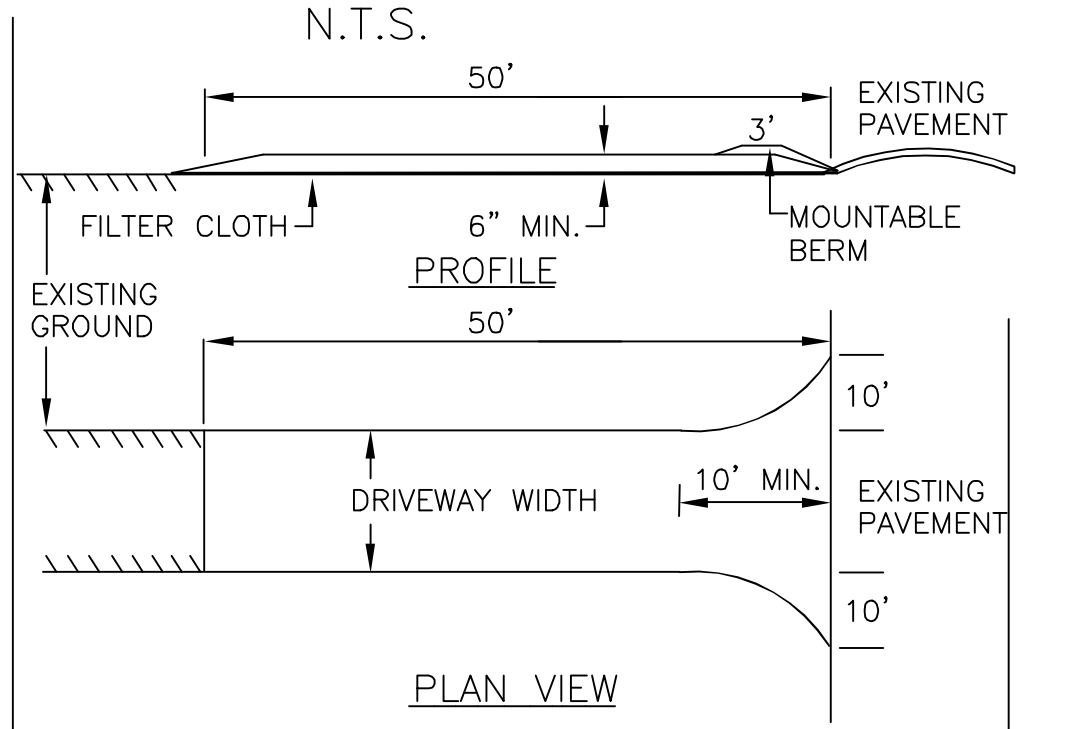
SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME
2. INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT.
3. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE
4. FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

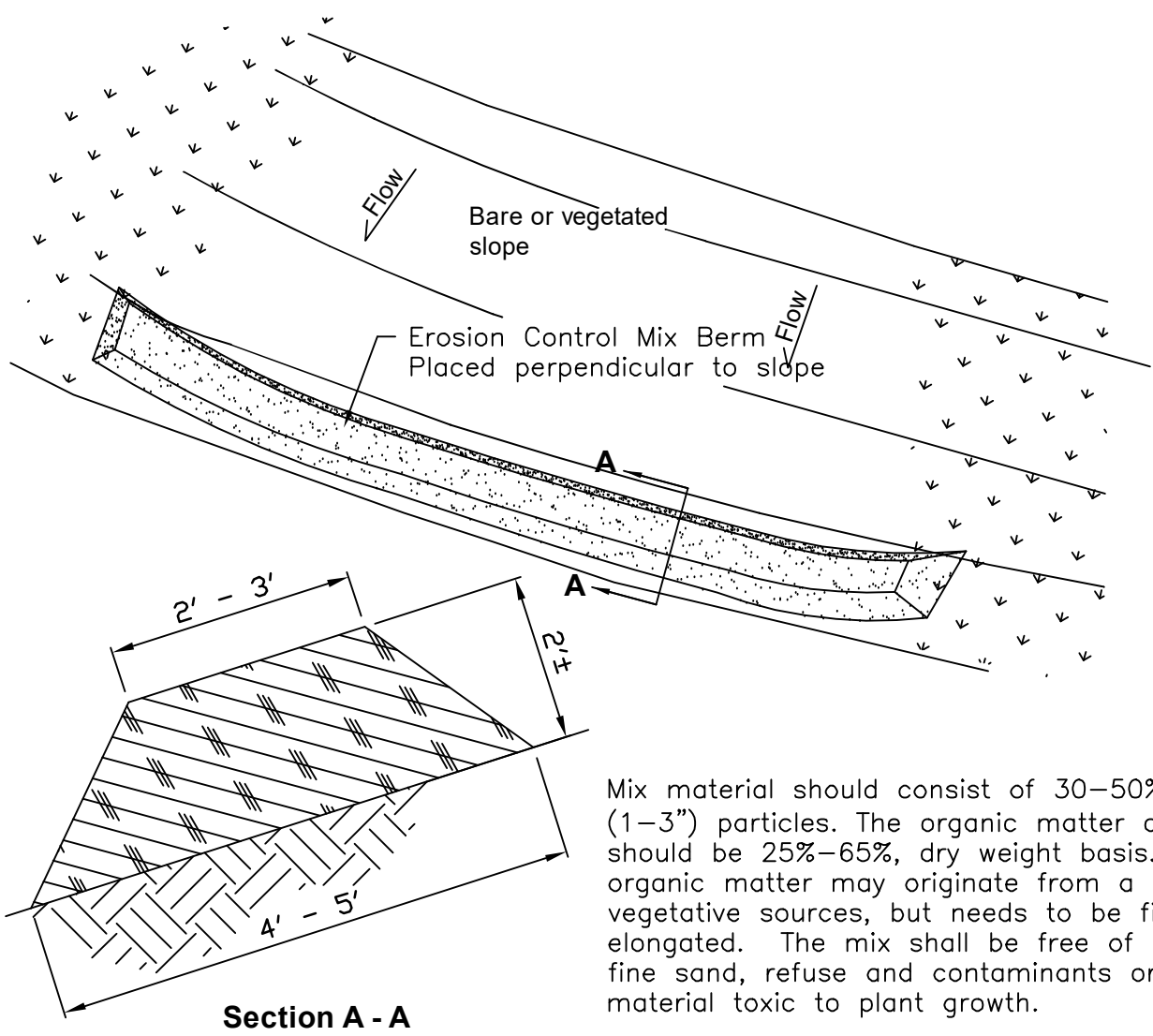
SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
  - A. SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
  - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
  - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:  
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT..  
NITROGEN(N), 50 LBS PER ACRE OR 1. 1 LBS PER 1,000 SQ.FT.  
PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.  
POTASH(K2O), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.  
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)

STABILIZED CONSTRUCTION ENTRANCE



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET,
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



Mix material should consist of 30-50% large (1-3") particles. The organic matter content should be 25%-65%, dry weight basis. The organic matter may originate from a variety of vegetative sources, but needs to be fibrous and elongated. The mix shall be free of silt, clay, fine sand, refuse and contaminants or any material toxic to plant growth.

Erosion Control Mix berms are effective filters for overland flow conditions and should not be used to filter concentrated flow such as that found in drainage ditches, streams, etc.

Erosion Control Mix Berm

- B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- C. REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
- D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
4. MULCH
  - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
5. MAINTENANCE TO ESTABLISH A STAND
  - A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
  - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

TEMPORARY EROSION CONTROL MEASURES

1. NO MORE THAN 1.58 ACRES OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
3. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
4. SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.

WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

SEEDING GUIDE

USE	SEEDING MIXTURE*	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	FAIR	GOOD	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
	F	GOOD	EXCELLENT	EXCELLENT	EXCELLENT
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	F	FAIR	EXCELLENT	EXCELLENT	**
	G	FAIR	EXCELLENT	EXCELLENT	**

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.  
\* REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.  
\*\* POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAY AREAS OR ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

PREPARED FOR:

J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



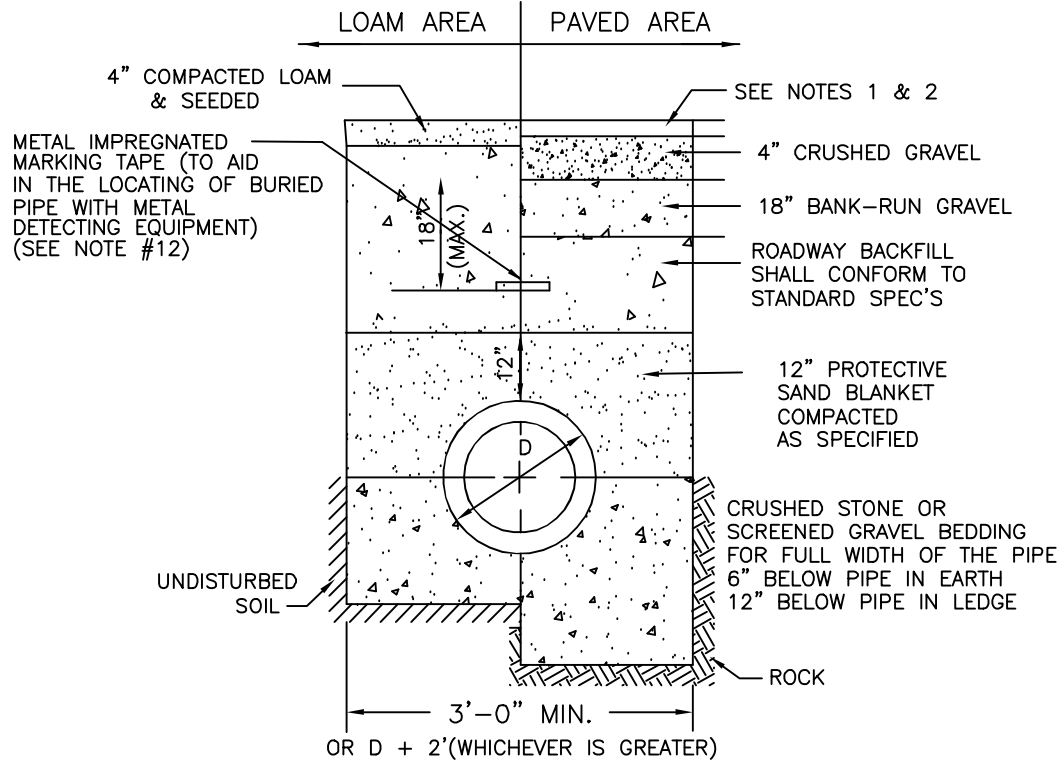
70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863

EROSION & SEDIMENT CONTROL DETAILS

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS'
PROJ. NO:	NH-1547	SHEET NO.	9

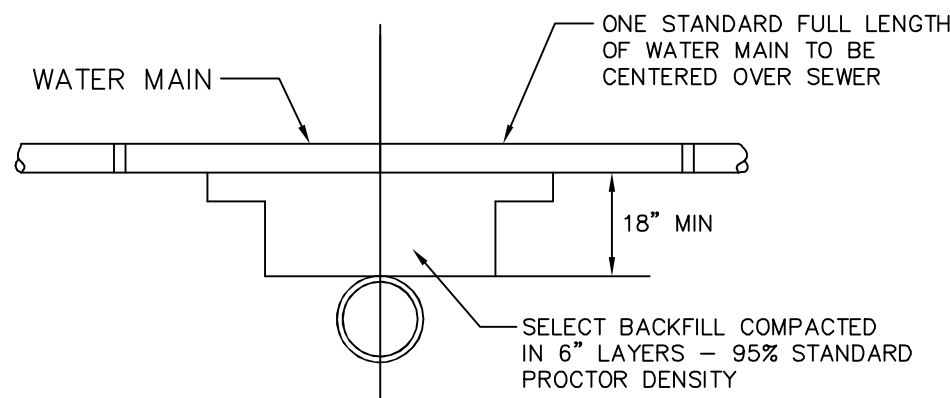




- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

**TYPICAL SEWER TRENCH DETAIL**

NOT TO SCALE

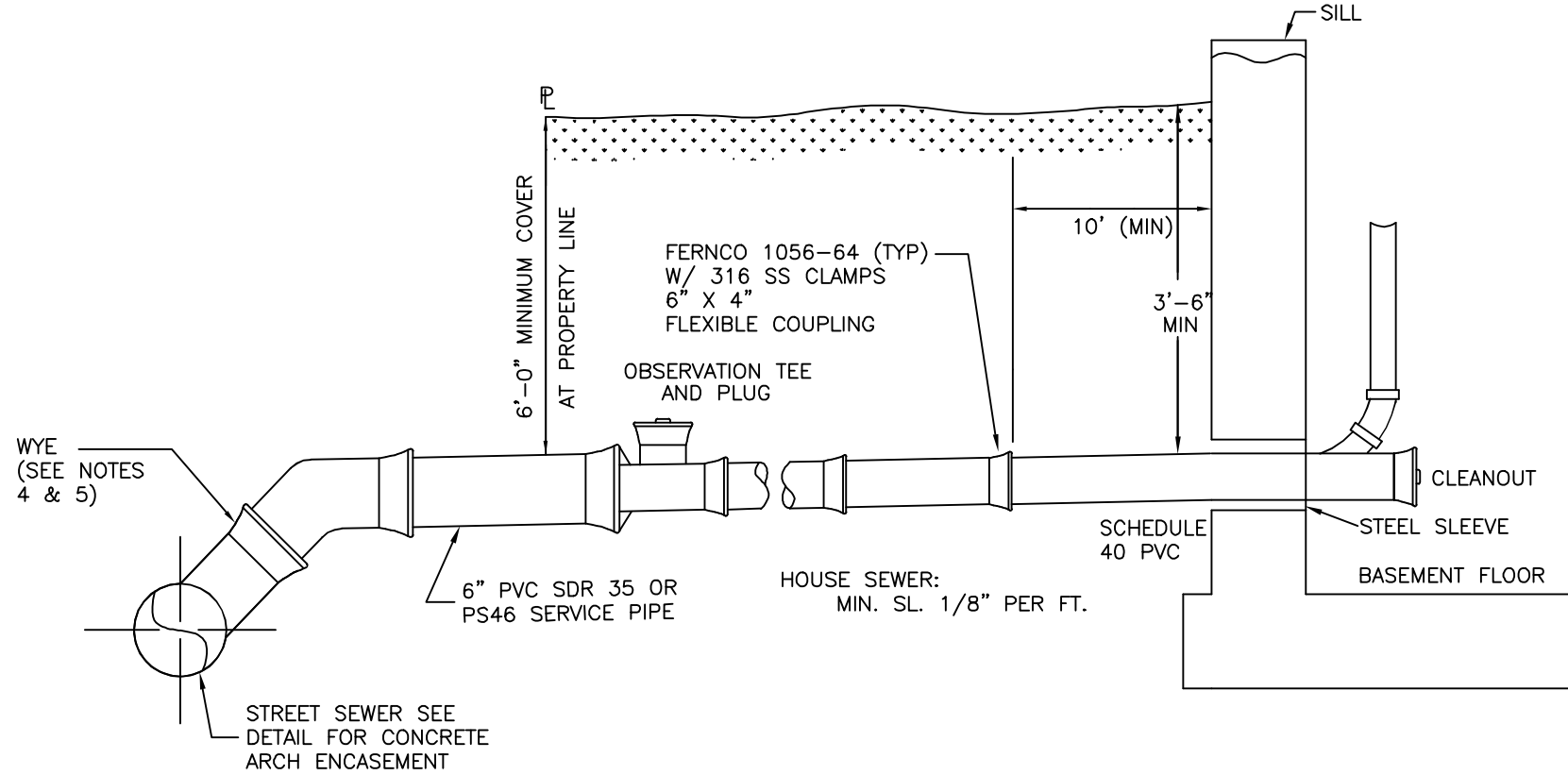


WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES (460 MM) BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER JOINTS.

**SEPARATION NOTES:**

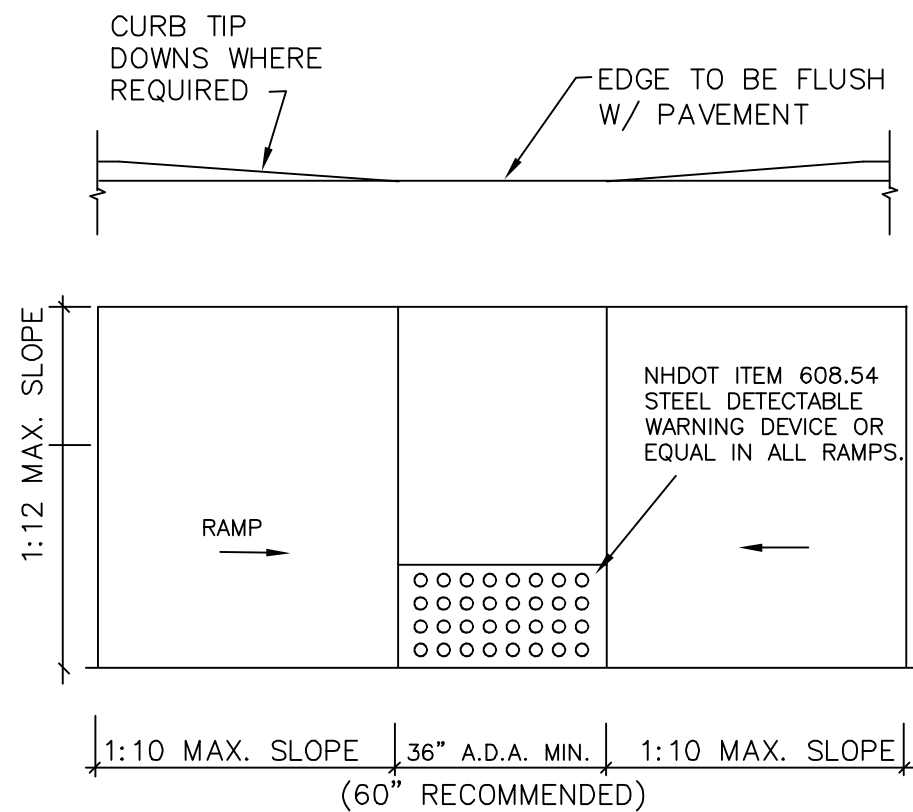
SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES (460 MM) BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.

**WATER/SEWER MAIN CROSSING**



- NOTES:
1. SEWER SERVICE FROM PROPERTY LINE TO 10' OUTSIDE OF BUILDING SHALL BE INSTALLED UNDER THIS CONTRACT ONLY WHEN OUTSIDE THE TRENCH DEWATERING OR LEDGE EXCAVATION IS REQUIRED.
  2. PIPE DEPTH AT HOUSE SHALL BE ABOVE THE SEASONAL GROUND WATER LEVEL.
  3. SEWER SHALL BE BELOW SLAB ONLY WHEN BASEMENT TOILETS EXIST.
  4. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR, AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
  5. WYES: WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY-CEMENTED SADDLE, TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER.

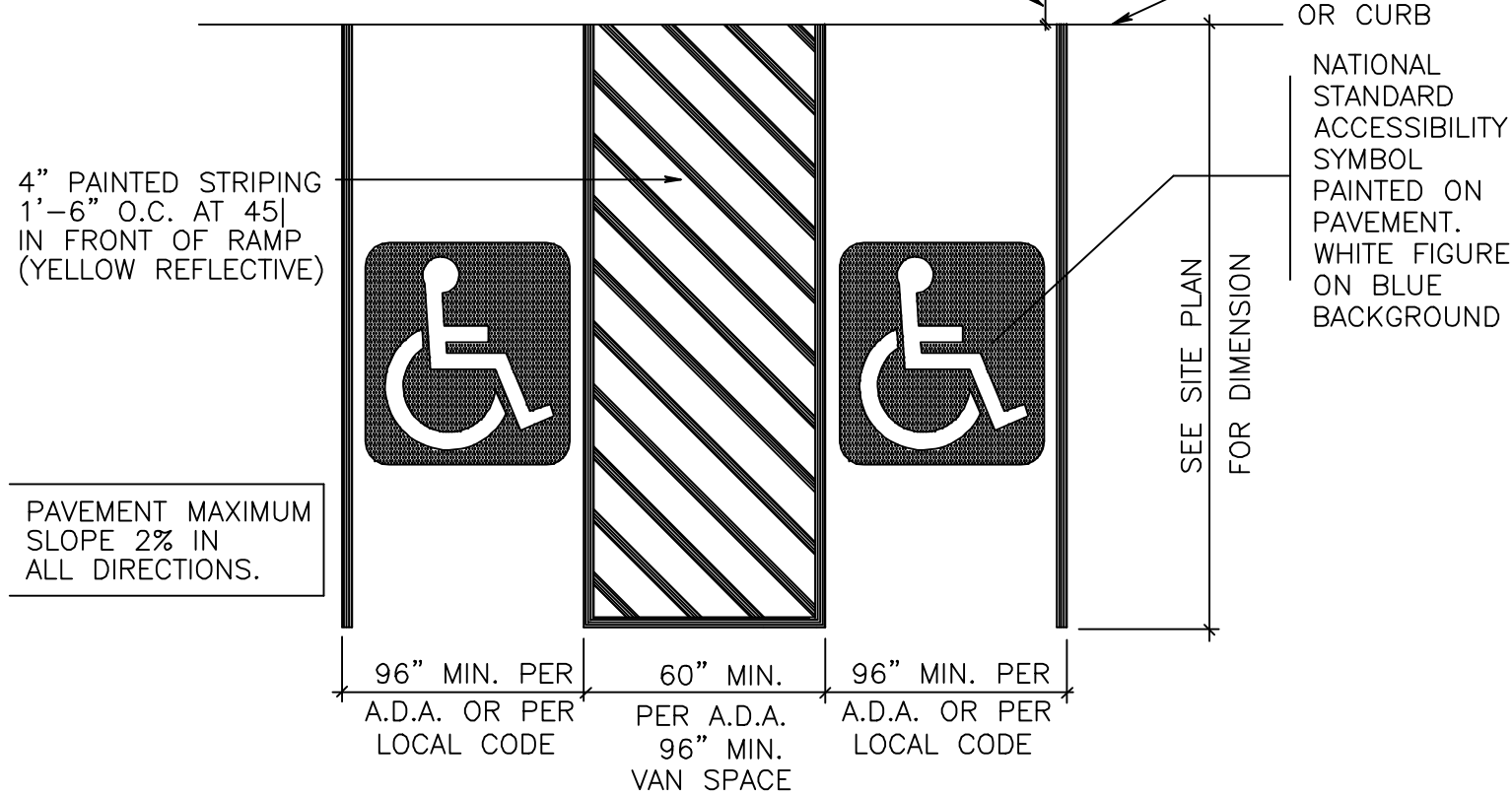
**DETAIL OF HOUSE SEWER SERVICE**



**SIDEWALK RAMP DETAIL**

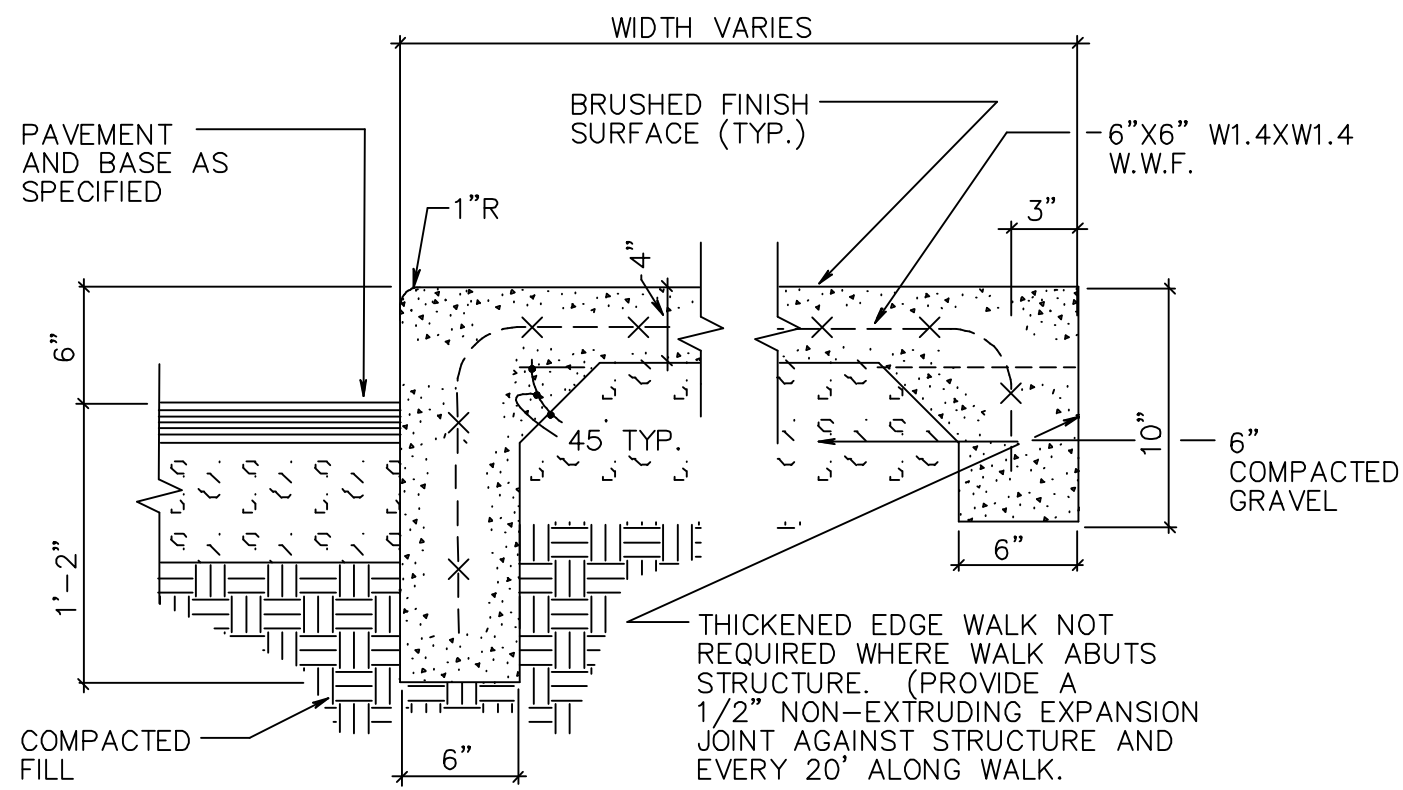
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SIGN POST W ACCESSIBILITY SYMBOL & "VAN ACCESSIBLE" SIGN MOUNTED BELOW.



**PARKING STALL FOR THE PHYSICALLY CHALLENGED**

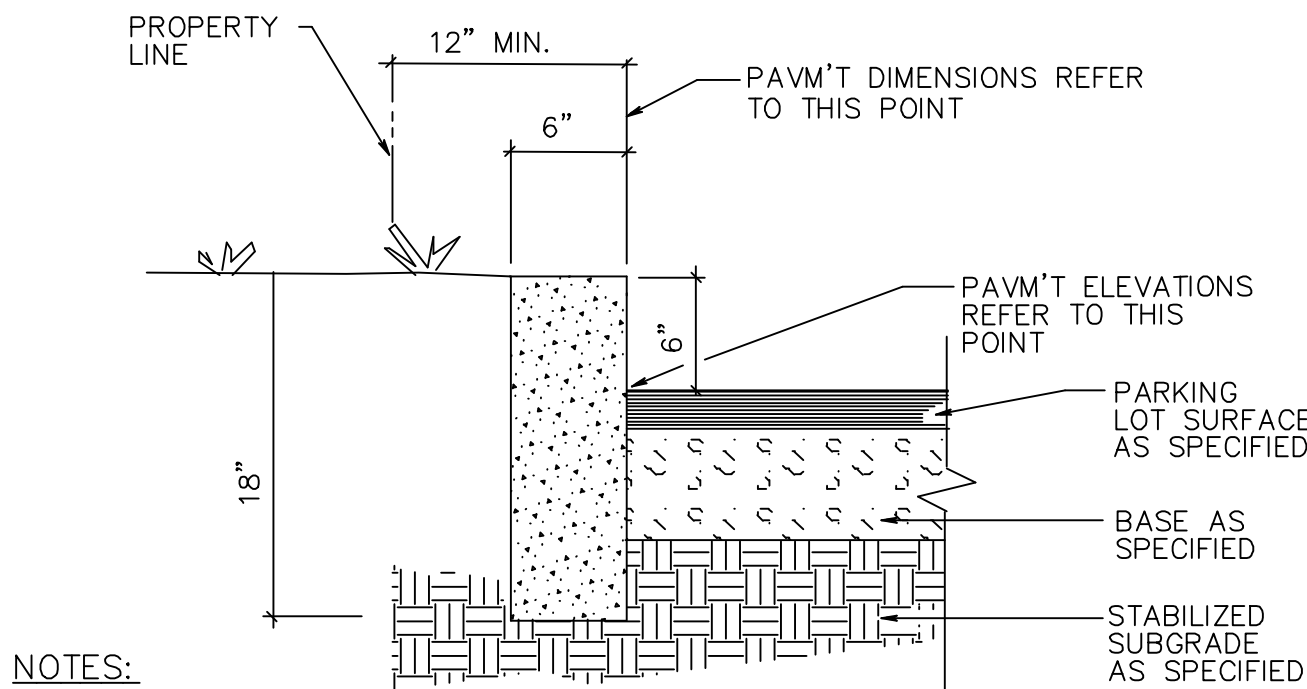
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**BRUSHED CONCRETE WALK**

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JULY 15, 1986

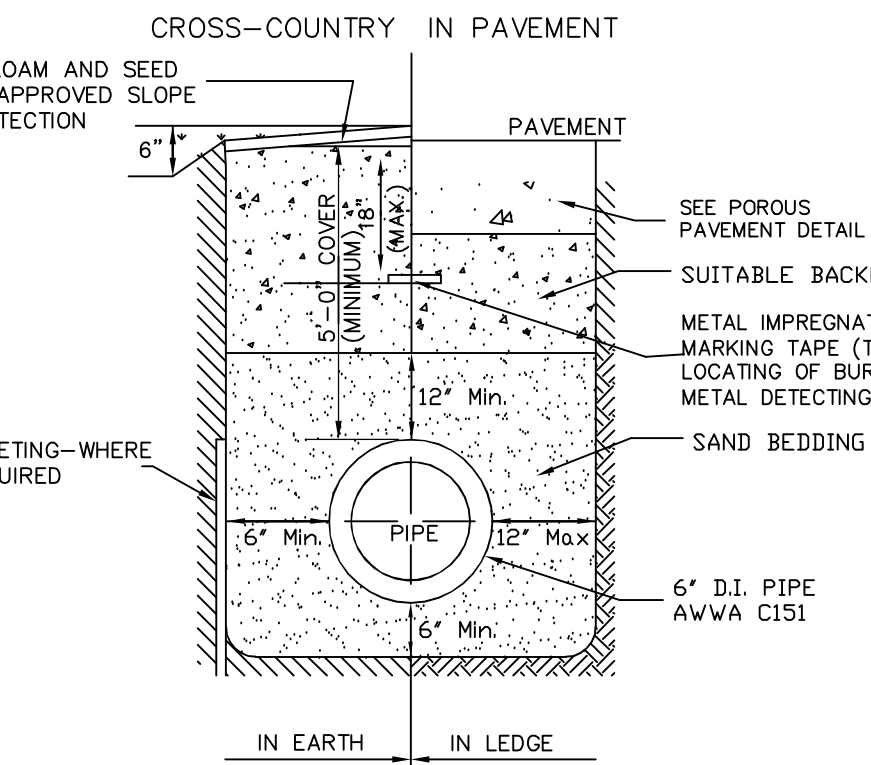


**NOTES:**

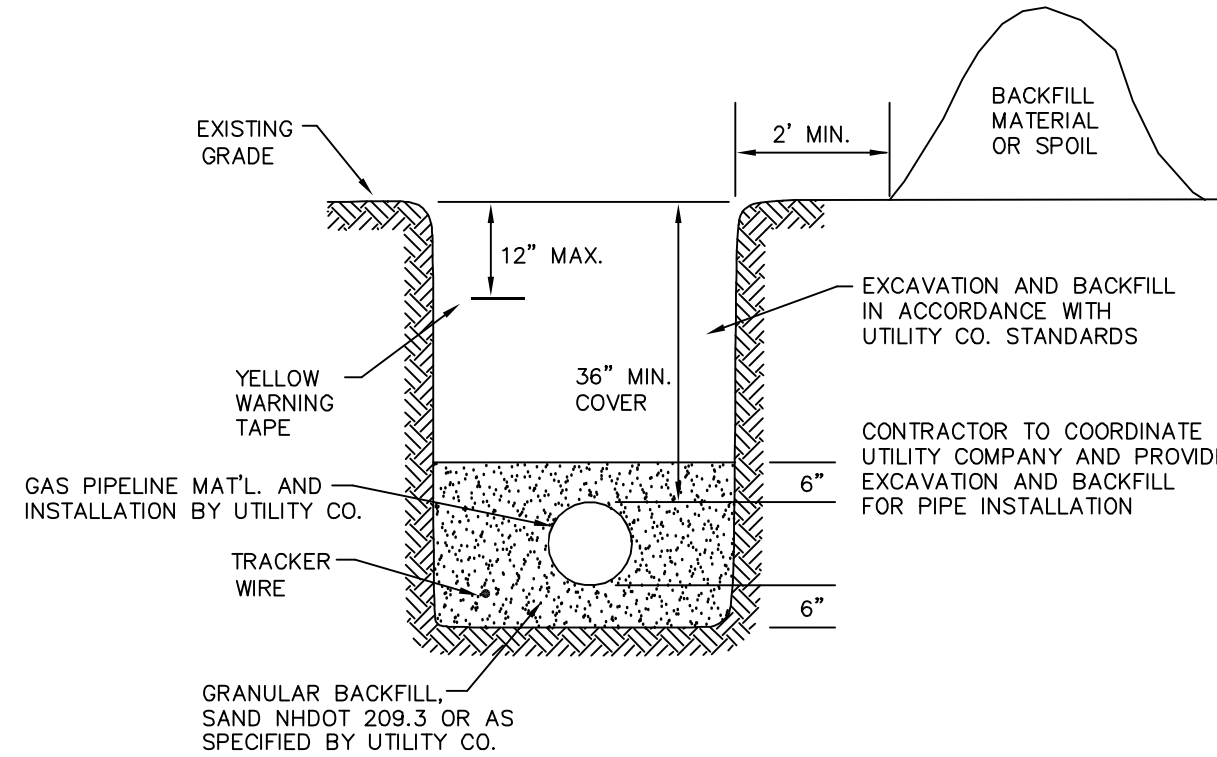
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

**6" VERTICAL GRANITE CURB**

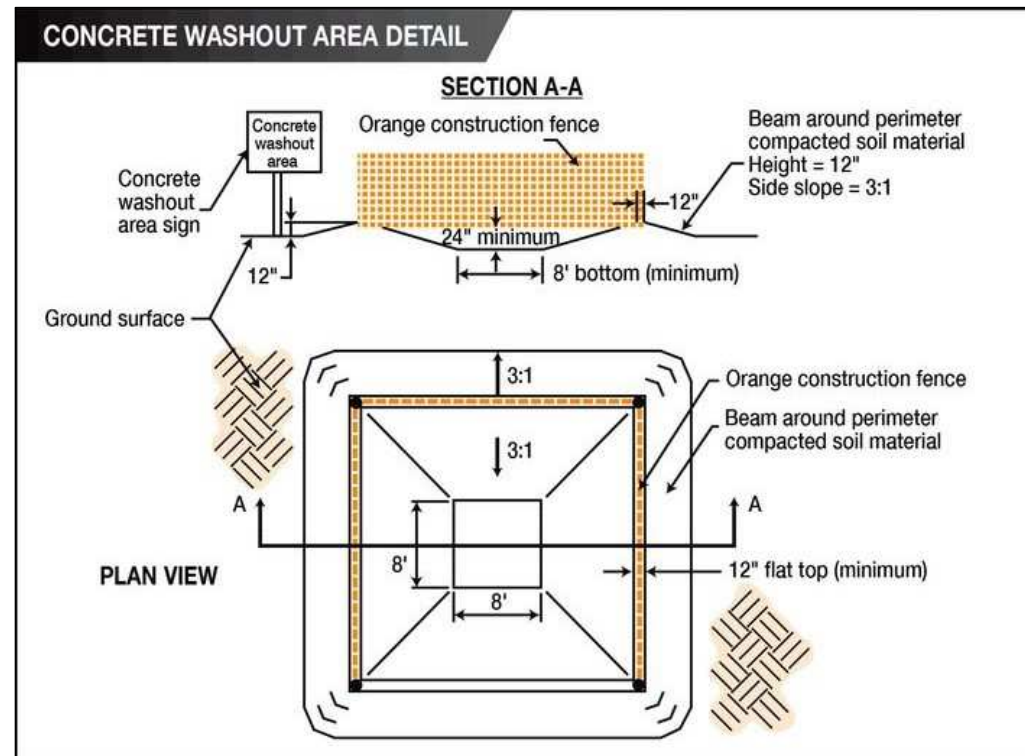
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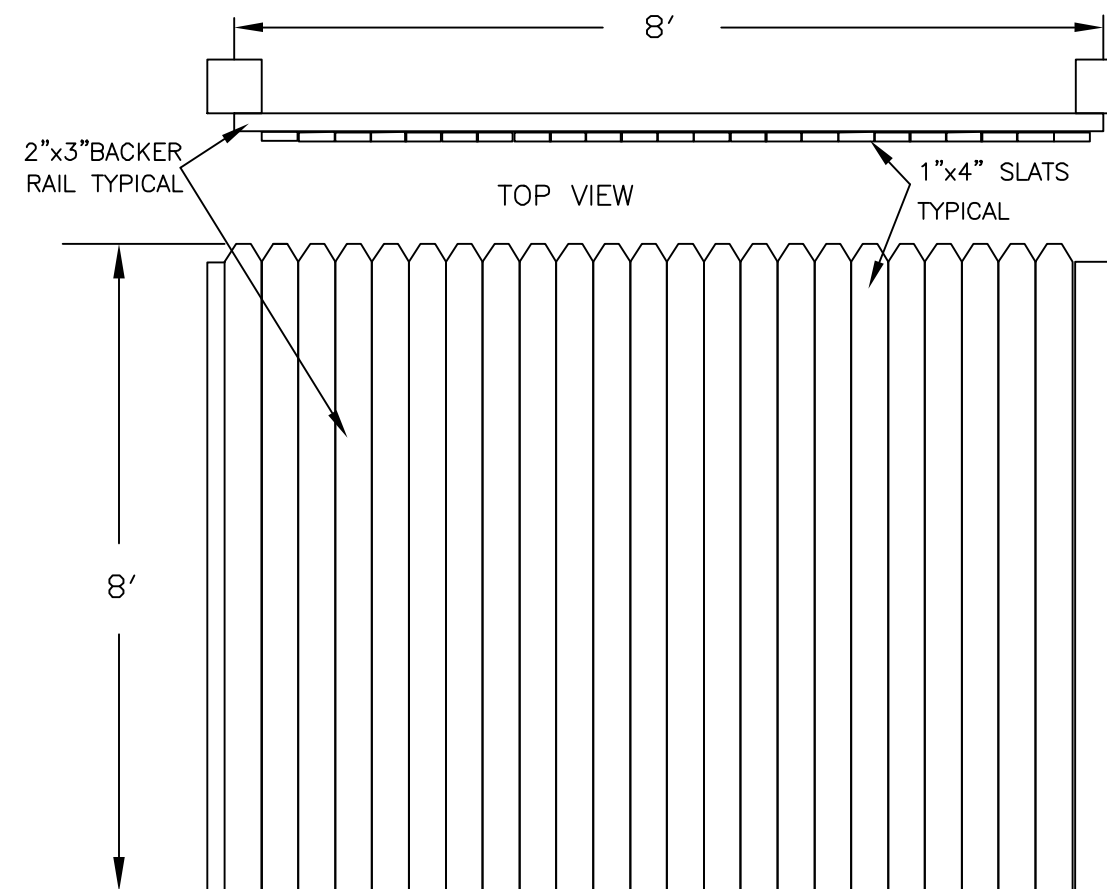
**TYPICAL TRENCH DETAIL FOR WATER SYSTEM**



**GAS TRENCH DETAIL**

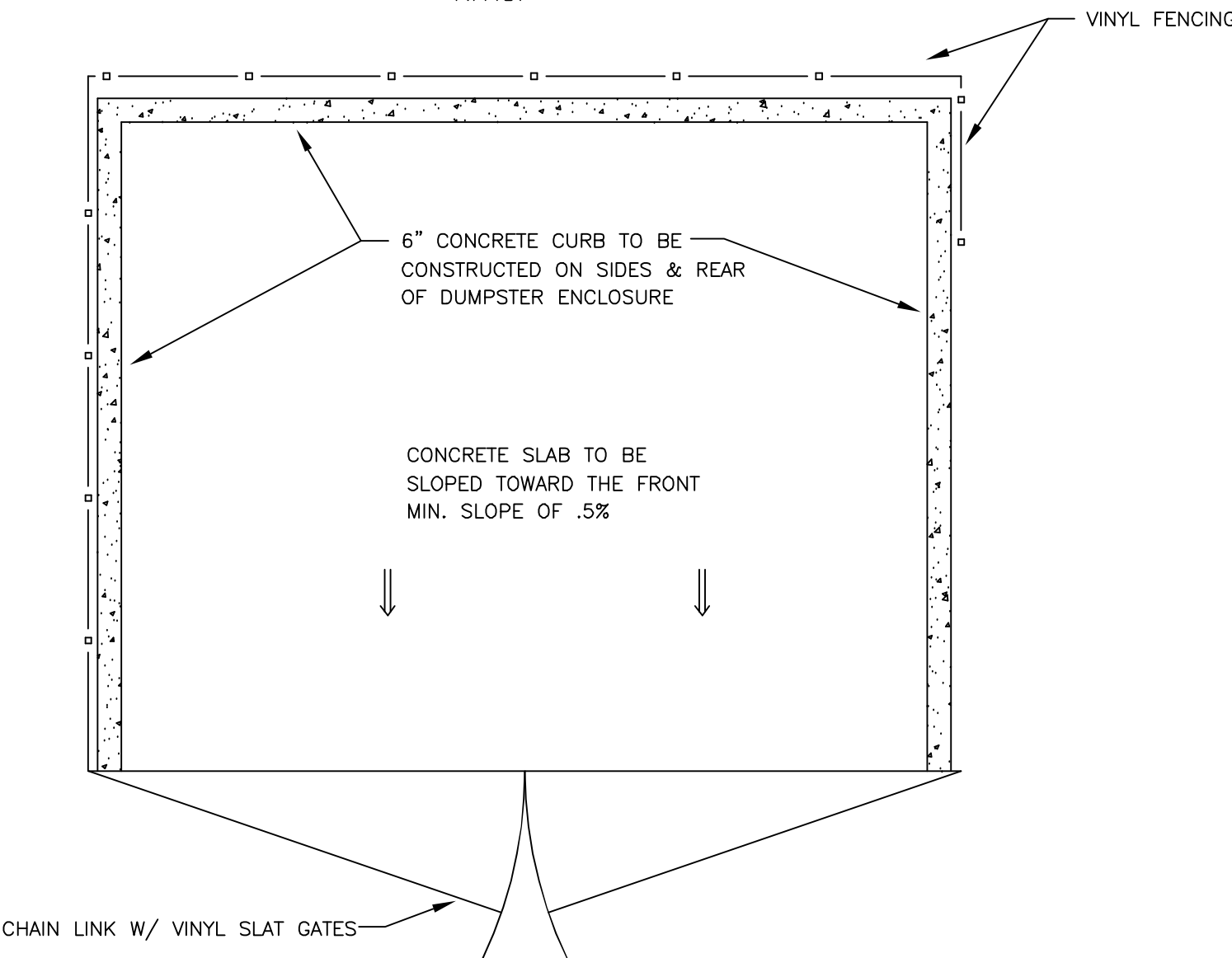


**CONCRETE WASHOUT AREA DETAIL**



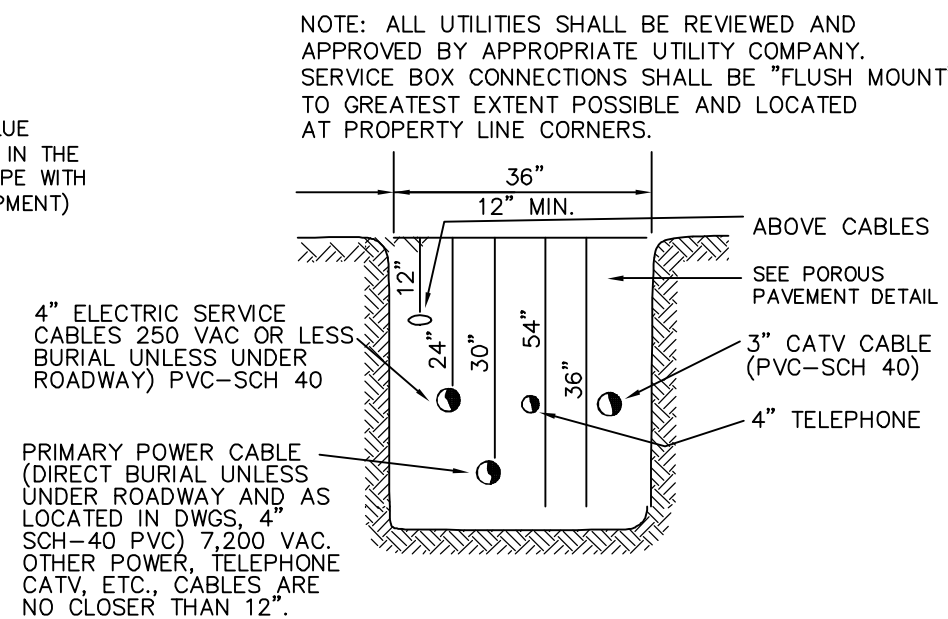
**STOCKADE FENCE DETAIL**

N.T.S.



**DUMPSTER SLAB DETAILS**

N.T.S.



**UTILITY TRENCH DETAIL**

PREPARED FOR:

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REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:

**CONSTRUCTION DETAILS**

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS
PROJ. NO:	NH-1547	SHEET NO.	10



CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT  
THE UNH STORM WATER CENTER  
INSTALLATION RECOMMENDATIONS

- INSTALLATION
- A. PERCOLATION BEDS (REFERS TO NO 57 STONE)
- I. OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
2. SUB GRADE PREPARATION
- A. EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
- B. WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
- C. BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC COMPACTIO BEFORE THE PLAING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
3. RECHARGE BED INSTALLATION (REFERS TO NO 3 STONE)
- A. UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
- B. PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
- C. INSTALL COARSE AGGREGATE NO. 3 (1 1/2" STONE) IN 8-INCH MAXIMUM LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
- D. INSTALL 3" LIFT PEA GRAVEL LAYER TO PREVENT MIGRATION OF FINES FROM THE FILTER COARSE (NHDOT 304.1)
- E. INSTALL FILTER COARSE (NHDOT 304.1 SAND LESS THAN 2% FINES) IN 2, 4" LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
- F. INSTALL CHOKER BASE COURSE (AASHTO # 57 STONE) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO THICKER THAN 4-INCH IN DEPTH.
4. SURROUNDING AREAS
- A. BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ONTO THE PAVEMENT SURFACE.
- B. TO ACCOMPLISH THIS, A SEQUENCE OF SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPWILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PAINTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVEWAYS.
- C. BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.
5. POROUS ASPHALT
1. TRANSPORTING MATERIAL
- A. TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
- B. THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
2. POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
3. ASPHALT PLACEMENT
- A. THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE LIFT DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO A 4-INCH FINISHED THICKNESS. THE SURFACE CAN BE LAID IN TWO LIFTS IF SECOND LIFT IS DONE WITHIN 10 BUSINESS DAYS AND THE INITIAL COURSE IS CLEAN AND FREE OF SEDIMENT.
- B. THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 300 DEGREES FAHRENHEIT AND 350 DEGREES FAHRENHEIT (BASED ON THE RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
- C. INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
- D. THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
- E. THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SPORED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
- F. COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST A 10-TON ROLLER, (140°F, SURFACE TEMPERATURE) ONE OR TWO PASSES IS ALL THAT IS REQUIRED FOR PROPER COMPACTION. MORE ROLLING COULD CAUSE A REDUCTION IN THE SURFACE POROSITY WHICH IS UNACCEPTABLE.
4. IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
5. AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE; REMOVE AT THE DISCRETION OF THE ENGINEER.
6. STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
- A. PAVEMENT-PARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-P-1952.
- B. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
- C. PAINT 4 INCH WIDE TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
6. WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK.
- TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
7. POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
8. REPAIR OF DAMAGED PAVING
- A. ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL HE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
9. FIELD QUALITY CONTROL
- A. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVISE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
- B. TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS. REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
- C. SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MINIMUM COMPACTION REQUIREMENTS

COMPACTION SHALL BE PERFORMED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) MAXIMUM DENSITY AS DETERMINED IN A LABORATORY COMPACTION TEST, PERFORMED UNDER THE SPECIFICATIONS OF ASTM D1557-64T, METHOD "A", (BACK FILL MATERIAL OF A STONY NATURE SHALL BE TESTED UNDER METHOD "C" OR "D" OF THE SAME ASTM DESIGNATION) OR OTHER APPROVED ASTM OR AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) SPECIFICATIONS. SUCH TEXT SHALL ALSO BE USED FOR ESTABLISHING THE OPTIMUM MOISTURE CONTENT OF THE MATERIALS. THE IN-PLACE DRY UNIT WEIGHT OF THE COMPACTED MATERIALS SHALL BE DETERMINED BY METHODS SPECIFIED UNDER ASTM "D" 1556-58T OR OTHER APPROVED ASTM OR AASHTO SPECIFICATIONS. THE IN-PLACE COMPACTION TEST TO BE CONSISTENT WITH THE APPROVED LABORATORY COMPACTION TEST.

TABLE 5. POROUS ASPHALT MIX DESIGN CRITERIA.

SIEVE SIZE (INCH/MM)	PERCENT PASSING (%)
0.75/19	100
0.50/12.5	85-100
0.375/9.5	55-75
NO.4/4.75	10-25
NO.8/2.36	5-10
NO.200/0.075 (#200)	2-4

BINDER CONTENT (AASHTO T164)	6.0-6.5%
AIR VOID CONTENT BY CORELOK (ASTM D6752)*	16.0-20.0%
AIR VOID CONTENT BY PARAFFIN WAX (AASHTO T275 )	*18.0-22.0%
DRAINDOWN (ASTM D6390)**	<= 0.3 %
RETAINED TENSILE STRENGTH (AASHTO 283)***	>= 80 %

\* EITHER METHOD IS ACCEPTABLE

\*\*CELLULOSE OR MINERAL FIBERS MAY BE USED TO REDUCE DRAINDOWN.

\*\*\*IF THE TSR (RETAINED TENSILE STRENGTH) VALUES FALL BELOW 80% WHEN TESTED PER NAPA 15.131

(WITH A SINGLE FREEZE THAW CYCLE RATHER THAN 5). STEP 4, THE CONTRACTOR SHALL EMPLOY AN ANTISTRIIP ADDITIVE, SUCH AS HYDRATED LIME (ASTM C977) OR A FATTY AMINE, TO RAISE THE TSR VALUE ABOVE 80%.

MIX SUMMARY  
POROUS ASPHALT PAVEMENT MIX  
THE UNH STORM WATER CENTER

POROUS ASPHALT SHALL BE FOUR INCHES THICK WITH A BITUMINOUS MIX OF 6% TO 6.5% BY WEIGHT DRY AGGREGATE AND AIR VOIDS OF 18-22%. IN ACCORDANCE WITH ASTM D6390, DRAIN DOWN OF THE BINDER SHALL BE NO GREATER THAN 0.3% IF MORE ABSORPTIVE AGGREGATES, SUCH AS LIMESTONE, ARE USED IN THE MIX, THEN THE AMOUNT OF BITUMEN IS TO BE BASED ON THE TESTING PROCEDURES OUTLINED IN THE NATIONAL ASPHALT PAVEMENT ASSOCIATION'S INFORMATION SERIES 131 - "PERVIOUS ASPHALT PAVEMENTS" (2003) OR NHDOT EQUIVALENT. MIX SUPPLIERS MAY HAVE A SUITABLE IN-HOUSE SPECIFICATION FOR OPEN GRADED FRICTION COURSE (OGFC) THAT CAN BE USED.

USE NEAT ASPHALT BINDER MODIFIED WITH AN ELASTOMERIC POLYMER TO PRODUCE A BINDER MEETING THE REQUIREMENTS OF PG 76-22 AS SPECIFIED IN AASHTO MP-1. THE ELASTOMER POLYMER SHALL BE STYRENE-BUTADIENE-STYRENE (SBS), OR APPROVED EQUAL, APPLIED AT A RATE OF 3% BY WEIGHT OF THE TOTAL BINDER. THE COMPOSITE MATERIALS SHALL BE THOROUGHLY BLENDED AT THE ASPHALT REFINERY OR TERMINAL PRIOR TO BEING LOADED INTO THE TRANSPORT VEHICLE. THE POLYMER MODIFIED ASPHALT BINDER SHALL BE HEAT AND STORAGE STABLE.

AGGREGATE SHALL BE MINIMUM 90% CRUSHED MATERIAL AND HAVE A GRADATION OF:

COMPOSITION OF MIXTURE  
SIEVE SIZE (INCH/MM)PERCENT PASSING0.75/19100.50/12.585-1000.375/9.555-75NO.4/4.7510-25NO.8/2.365-10NO.200/0.0752-4TOTAL AGGREGATES3-5-94% ASPHALT OF TOTAL MIX6-8.5  
ADD HYDRATED LIME AT A DOSAGE RATE OF 1.0% BY WEIGHT OF THE TOTAL DRY AGGREGATE TO MIXES CONTAINING GRANITE. HYDRATED LIME SHALL MEET THE REQUIREMENTS OF ASTM C 977. THE ADDITIVE MUST BE ABLE TO PREVENT THE SEPARATION OF THE ASPHALT BINDER FROM THE AGGREGATE AND ACHIEVE A REQUIRED TENSILE STRENGTH RATIO (TSR) OF AT LEAST 80% ON THE ASPHALT MIX WHEN TESTED IN ACCORDANCE WITH AASHTO T 283. THE ASPHALTIC MIX SHALL BE TESTED FOR ITS RESISTANCE TO STRIPPING BY WATER IN ACCORDANCE WITH ASTM D-1684. IF THE ESTIMATED COATING AREA IS NOT ABOVE 95 PERCENT, ANTI-STRIPPING AGENTS SHALL BE ADDED TO THE ASPHALT.

NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA FROM SUCH A COMBINATION. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA MUST FALL WITH THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.

TRANSPORTING MATERIAL: SEE CONSTRUCTION AND INSTALL SPECIFICATIONS

FOR QUESTIONS ON MIX SPECIFICATIONS CONTACT ROBERT ROSEEN, PHD, AT THE UNH STORM WATER CENTER. 603-862-4024.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT PARKING LOT AREAS AND LOW VOLUME ROADS  
THE UNH STORM WATER CENTER

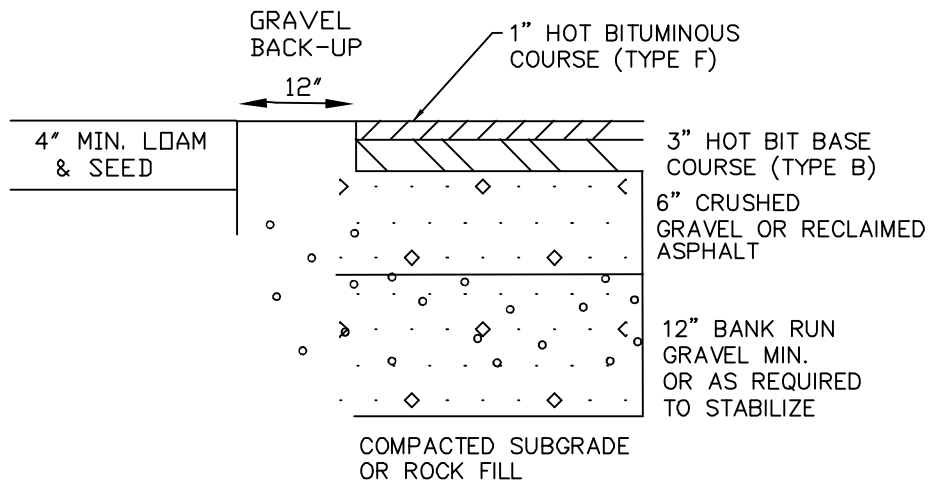
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

1. SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NACL, MGC12, OR EQUIVALENT). REDUCED SALT APPLICATION IS POSSIBLE AND CAN BE A COST SAVINGS FOR WINTER MAINTENANCE. NONTTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
2. PLOWING IS ALLOWED, BLADE SHOULD BE SET APPROXIMATELY 1" ABOVE ROAD SURFACE. ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED.

ROUTINE MAINTENANCE:

1. ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
2. THE PAVEMENT SURFACE SHOULD BE VACUUMED 1 OR 2 TIMES PER YEAR, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
3. PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
4. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
5. DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
6. REPAIRS: POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.
7. WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.
8. A PERMANENT SIGN SHOULD BE ADDED AT THE ENTRANCE AND END OF THE POROUS ASPHALT AREA TO INFORM RESIDENTS AND MAINTENANCE STAFF OF THE SPECIAL NATURE AND PURPOSE OF THE PAVEMENT, AND ITS SPECIAL MAINTENANCE REQUIREMENTS.

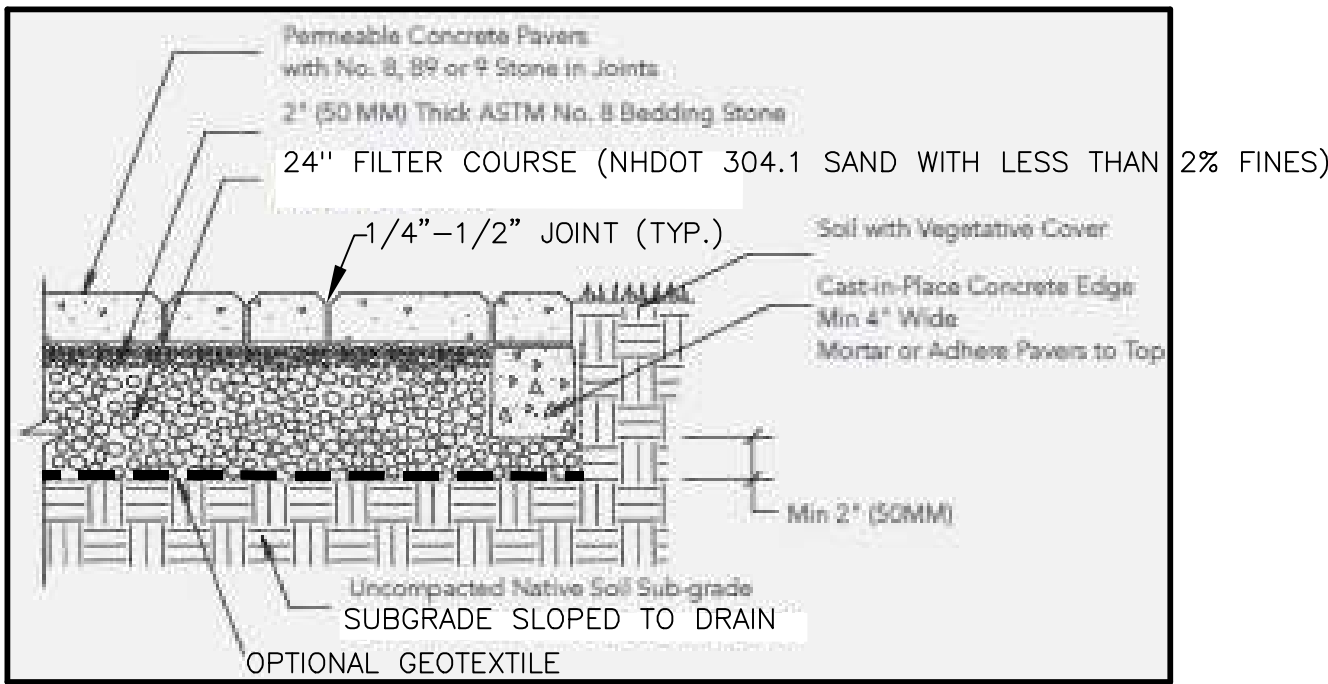


NOTES: \* IN AREAS OF BEDROCK, MINIMUM 24" SEPARATION FROM BANK RUN GRAVEL  
\* PAVEMENT TRENCH PATCH SHALL MATCH EXISTING PAVEMENT DEPTHS.

TYPICAL PAVEMENT SECTION

NEW ASPHALT

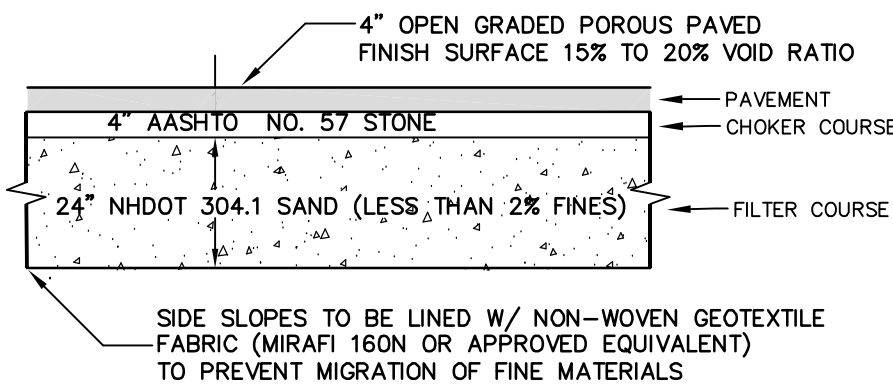
1. THE DEVELOPER SHALL INSPECT THE CROSS-SECTION OF THE CURRENT DRIVEWAY FOR CONFORMANCE TO THE MUNICIPAL REQUIREMENTS. IF ADDITIONAL SELECT GRAVELS, ETC. ARE NEEDED, THE DRIVE SHALL BE BUILT TO TOWN SPECIFICATIONS.
2. IF ADDITIONAL CRUSHED OR BANK RUN GRAVEL IS NEEDED, THE DEVELOPER RESERVES THE RIGHT TO UTILIZED RECLAIMED GRAVEL PROCESSED FROM ON SITE MATERIALS.



ROUTINE MAINTENANCE: VISUAL INSPECTION OF THE PERVIOUS PAVERS TO ENSURE THAT THEY ARE CLEAN OF DEBRIS AND SEDIMENTS. ROUTINE CLEANING PROCEDURES WOULD INCLUDE BLOWING (WITH LEAF BLOWER OR SIMILAR) IN FALL, TRUCK-SWEEPING AND/OR DRY VACUUMING. ADD STONE TO REFILL JOINT SPACE AFTER SWEEPING/VACUUMING IF NEEDED.

PERVIOUS PAVER DETAIL  
TO BE "TREMOR" OR APPROVED EQUAL

NOT TO SCALE

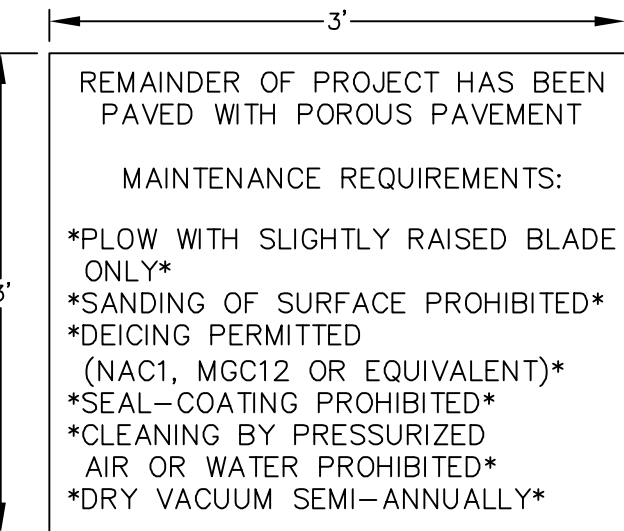


NOTES:

1. 4" FRICTION COARSE CONSISTS OF COARSER AGGREGATE AND STIFFER BINDER. SEE TABLE
2. A WORKING COURSE 4" THICK CONSISTS OF AASHTO NO. 57 STONE.
3. TOP COAT SHOULD BE VACUUMED A MINIMUM OF TWICE A YEAR.
4. ROOF RUNOFF CAN FLOW ONTO PAVEMENT OR INTO SUBBASE MATERIAL.

POROUS PAVEMENT

NOT TO SCALE



POROUS PAVEMENT SIGN DETAIL

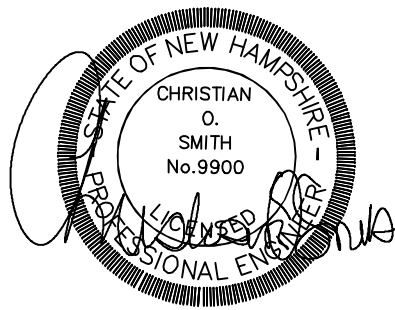
NOT TO SCALE

PREPARED FOR:

J CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM NH 03885



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX. 603-583-4863

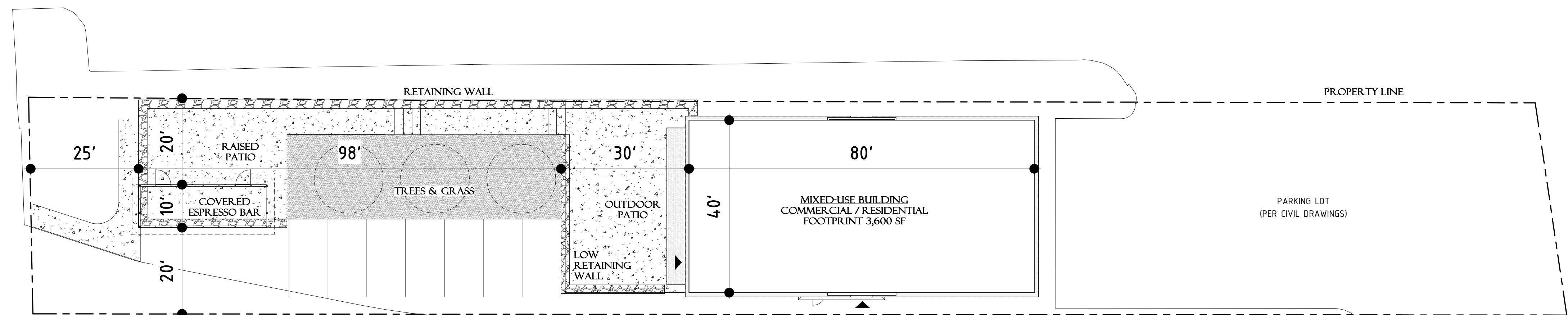
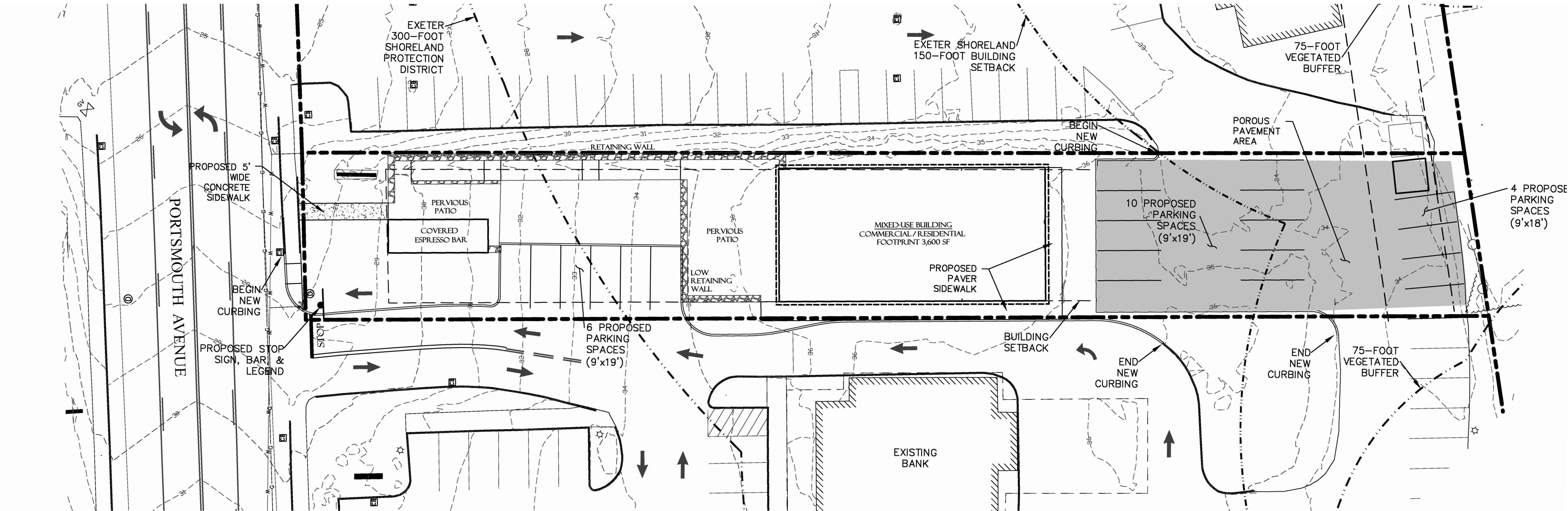


CONSTRUCTION DETAILS

MIXED-USE DEVELOPMENT  
97 PORTSMOUTH AVENUE  
EXETER, NH  
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS
PROJ. NO:	NH-1547	SHEET NO.	11





Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE MULTI-FAM

prepared for:  
location: Approver

SITE PLAN & GROUND FLOOR

REV # REVISION DATE

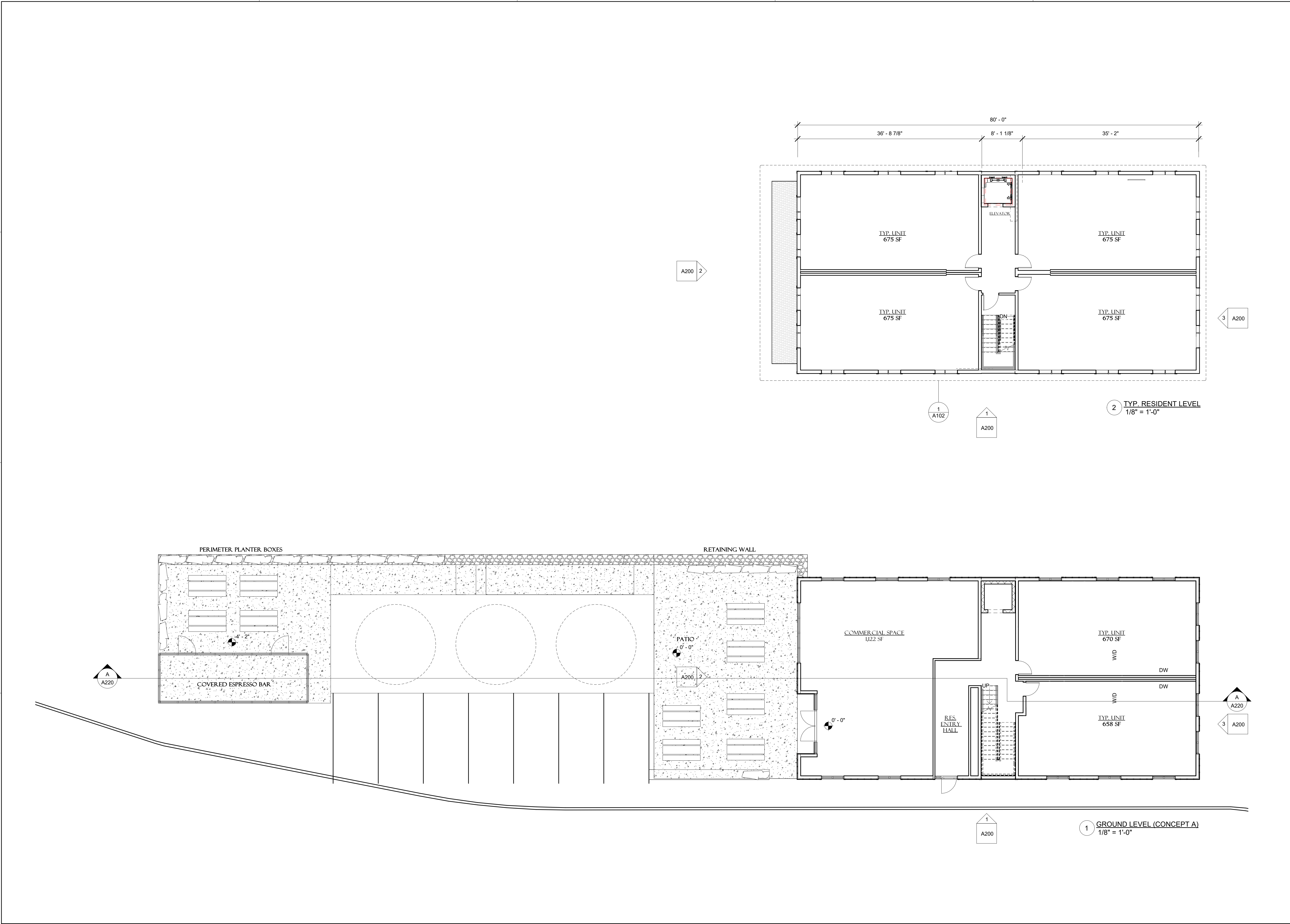
Date: 06-05-2025

Scale: 1/16" = 1'-0"

Job # 2196

Sheet No.

A100



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97 PORTSMOUTH AVE. EXETER, NH

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location: Approver

TYPICAL FLOOR PLAN

REV #	REVISION DATE

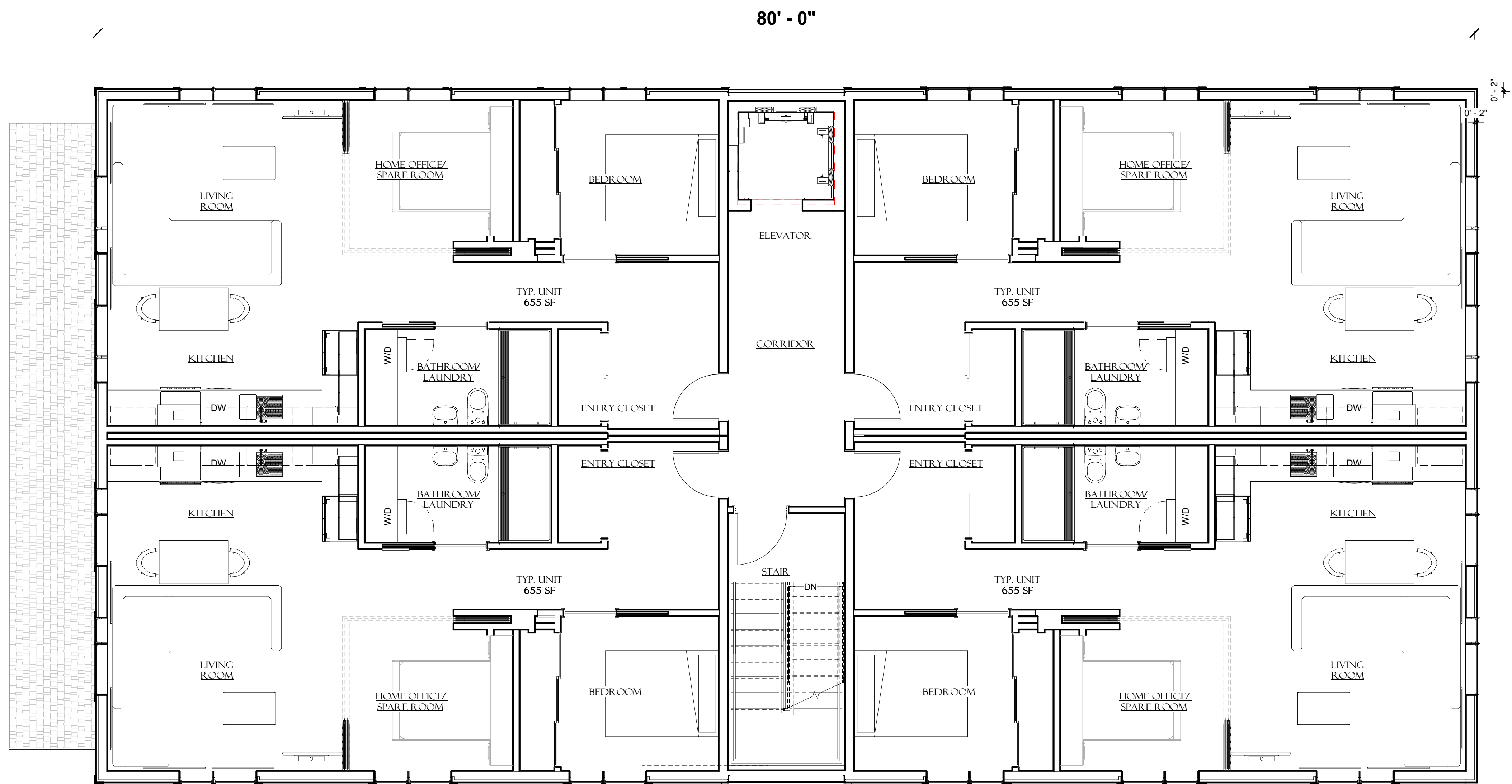
Date: 06-05-2025

Scale: 1/8" = 1'-0"

Job #: 2196

Sheet No.

A101



1 TYPICAL RESIDENTIAL FLOOR PLAN (L2)  
1/4" = 1'-0"

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location: Approver

ENLARGED RESIDENTIAL FLOOR PLAN

REV #	REVISION DATE
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Date: 06-05-2025

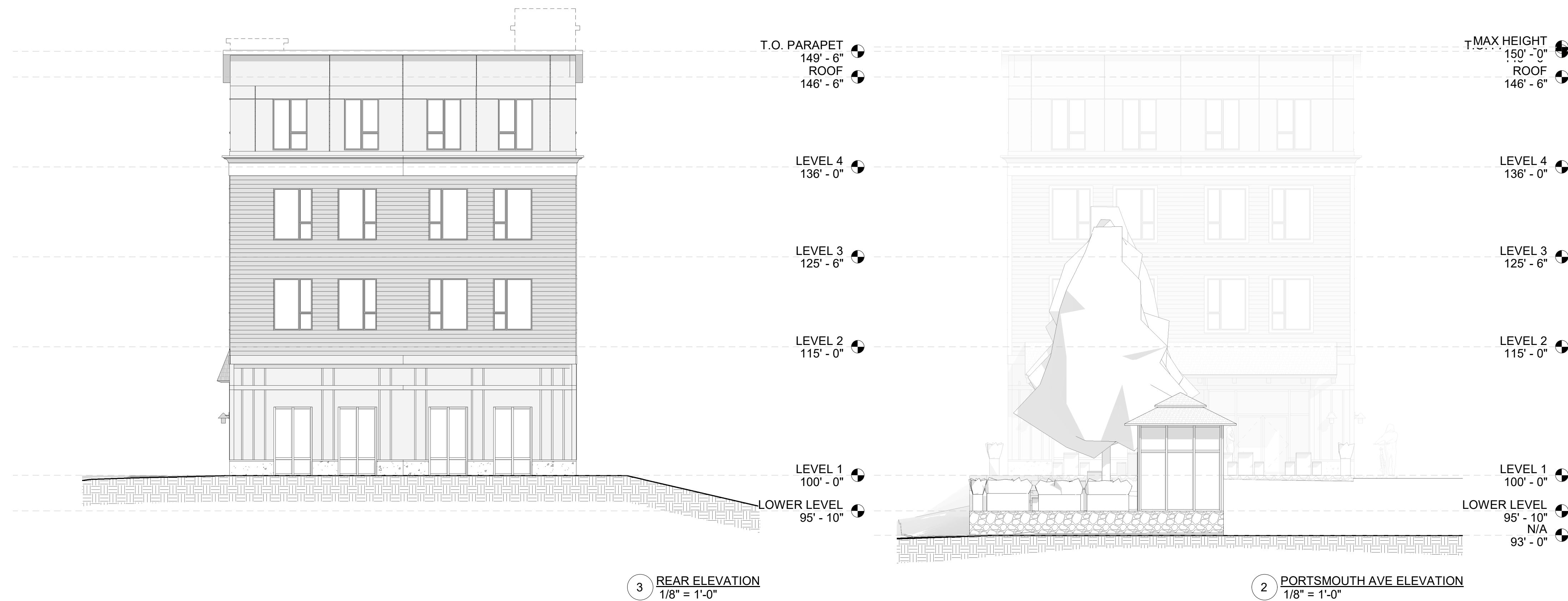
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Job #: 2196

Sheet No.

A102





Stamp:

97 PORTSMOUTH AVE EXETER, NH

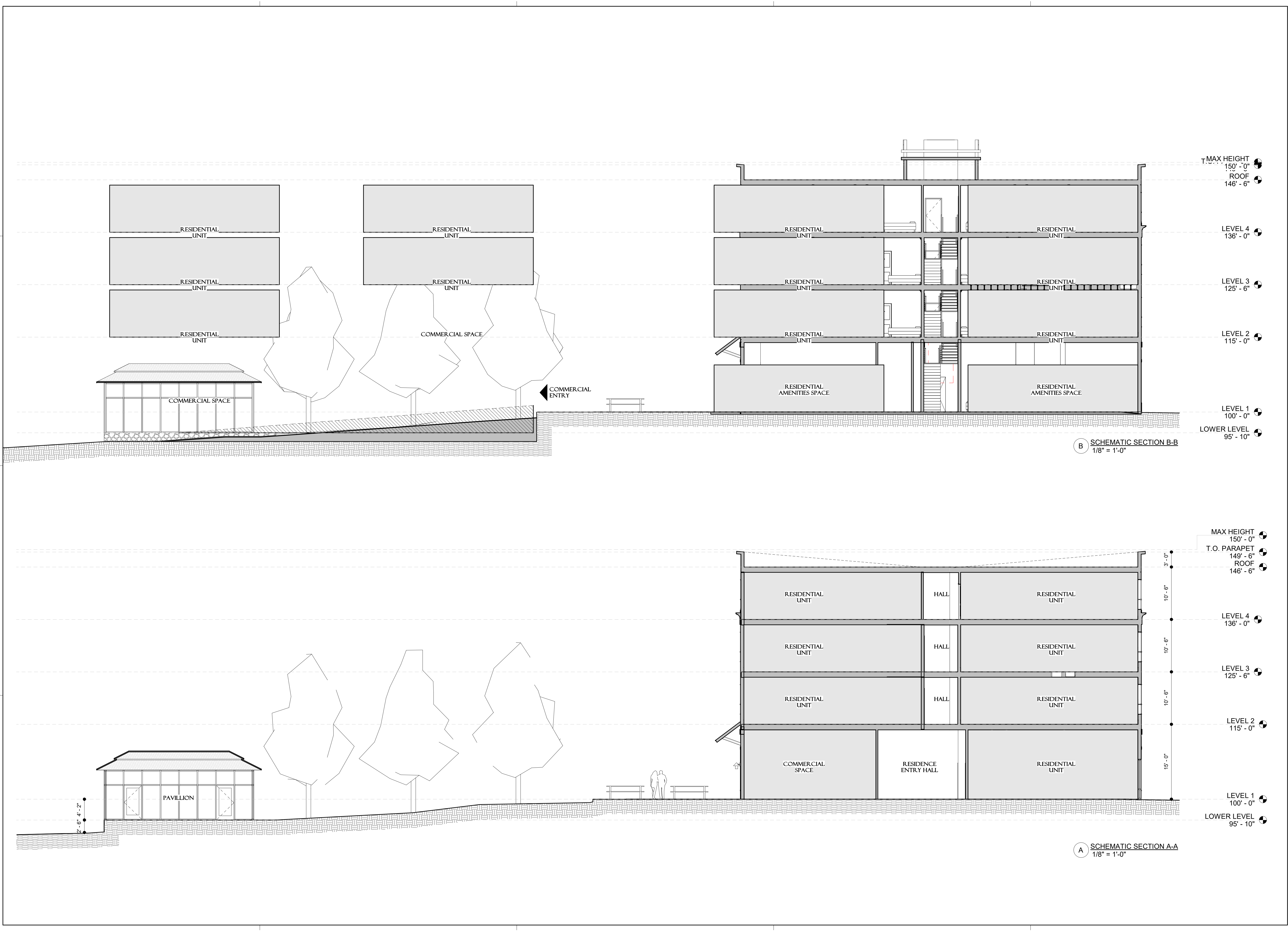
MIXED-USE MULTI-FAM

prepared for:  
location: Approver

EXTERIOR ELEVATIONS

Date: 06-05-2025  
Scale: 1/8" = 1'-0"  
Job #: 2196  
Sheet No.

A200



Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE MULTI-FAM

prepared for:  
location: Approver

SHEMATIC BUILDING SECTIONS

REV #	REVISION DATE

Date: 06-05-2025

Scale: 1/8" = 1'-0"

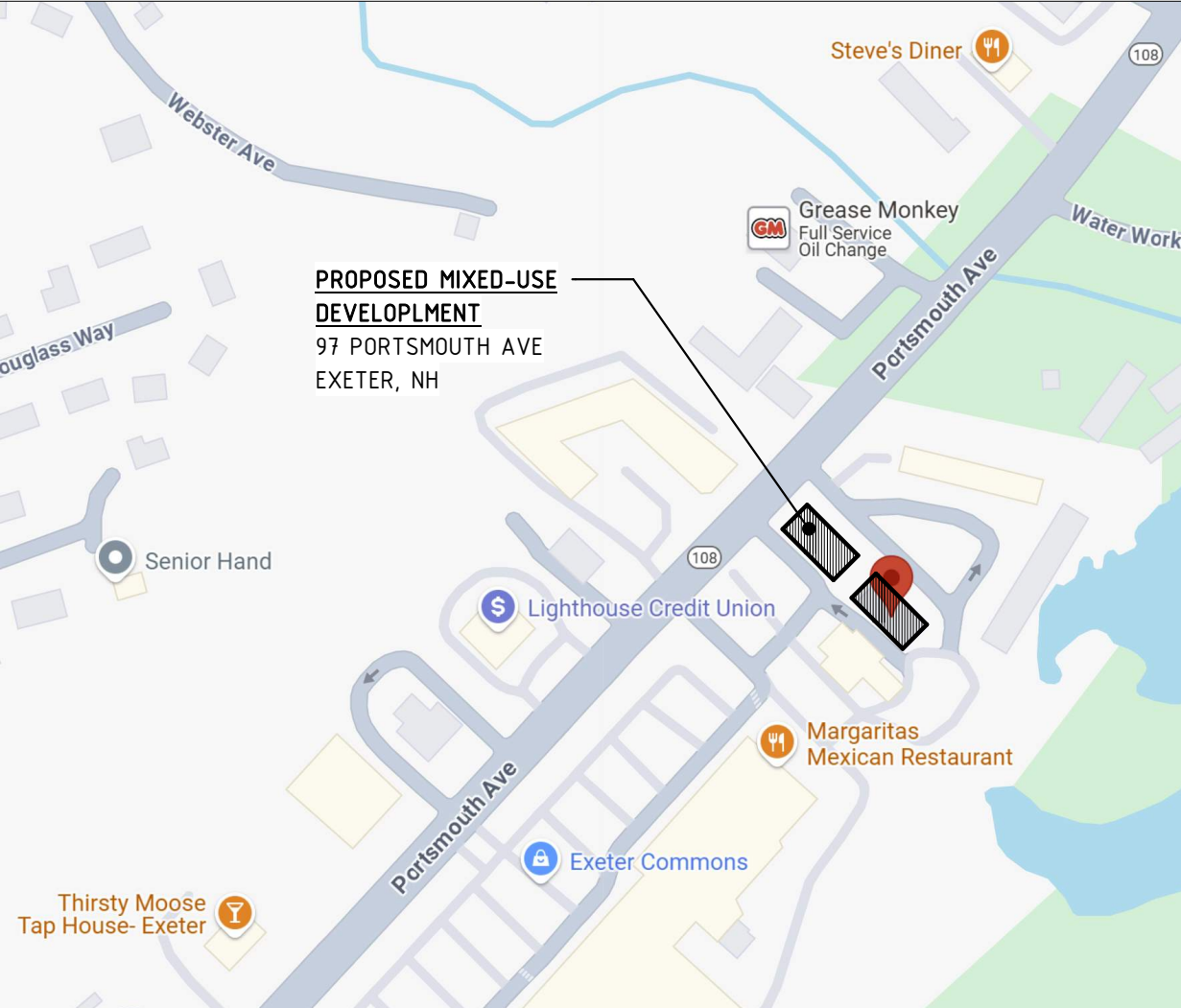
Job #: 2196

Sheet No.

A220



LOCUS PLAN



SHEET LIST

SHEET NUMBER	SHEET NAME	DATE ISSUED	DATE REVISED
01 GENERAL			
G000	COVER SHEET	06-05-2025	
04 ARCHITECTURAL			
A100	SITE PLAN & GROUND FLOOR	06-05-2025	
A101	TYPICAL FLOOR PLAN	06-05-2025	
A102	ENLARGED RESIDENTIAL FLOOR PLAN	06-05-2025	
A200	EXTERIOR ELEVATIONS	06-05-2025	
A220	SCHEMATIC BUILDING SECTIONS	06-05-2025	



Stamp:

DESIGN TEAM

DEVELOPER  
J. CALEY ASSOCIATES  
11 TAYLOR COURT  
STRATHAM, NH 03885

ARCHITECT  
SEAN CAREY  
446 EMERALD DRIVE  
BARRINGTON, NH 03825

CIVIL ENGINEER  
BEALS ASSOCIATES, PLLC  
70 PORTSMOUTH AVE.  
THIRD FLOOR, SUITE 2  
STRATHAM, NH 03885  
603-583-4860

STRUCTURAL ENGINEER  
TBD

MEP ENGINEERS  
TBD

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE MULTI-FAM

COVER SHEET

prepared for:  
location:

Approver

REV # REVISION DATE

Date: 06-05-2025

Scale:

Job # 2196

Sheet No:

G000