



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, November 6, 2025 at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

APPROVAL OF MINUTES: October 23, 2025

NEW BUSINESS: PUBLIC HEARINGS

The application of Hoyle Tanner & Associates (on behalf of Society of the Cincinnati in the State of New Hampshire) for a lot line adjustment of the common boundary line between the properties located at 164 Water Street and 1 Governor's Lane. The subject properties are located in the C-1, Central Area Commercial zoning district. Tax Map Parcels #72-206 and #72-215. PB Case #25-9.

The application of Chinburg Development LLC for a preliminary conceptual review of a redevelopment proposal for the property at 65 – 67 ½ Main Street to include demolition of the existing structures and proposed construction of new single-family detached units. The property is located in the R-2, Single Family Residential zoning district. Tax Map Parcel #63-256. PB Case #25-10.

The continued public hearing on the application of J. Caley Associates for site plan review and a Shoreland Conditional Use Permit for the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct a multi-use building to include commercial space, amenities, and 14 residential units with parking and associated site improvements. The property is located in the C-2, Highway Commercial zoning district and is identified as Tax Map Parcel #65-125. PB Case #25-3.

OTHER BUSINESS

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

EXETER PLANNING BOARD
Langdon J. Plumer, Chairman

Posted 10/24/25: Exeter Town Office and Town of Exeter website

**TOWN OF EXETER
PLANNING BOARD
NOWAK ROOM
10 FRONT STREET
OCTOBER 23, 2025
DRAFT MINUTES
7:00 PM**

I. PRELIMINARIES:

BOARD MEMBERS PRESENT BY ROLL CALL: Chair Langdon Plumer, Vice-Chair Aaron Brown, Gwen English, John Grueter, Jennifer Martel, Marty Kennedy, and Alternate Dean Hubbard and Alternate Sam McLeod

STAFF PRESENT: Interim Town Planner Carol Ogilvie

II. CALL TO ORDER: Chair Plumer called the meeting to order at 7 PM, introduced the members.

III. NEW BUSINESS:

1. The continued public hearing on the application of Caley Associates for site plan review and a Shoreland Conditional Use Permit for the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct a multi-use building to include commercial space, amenities, and 14 residential units with parking and associated site improvements.

C-2, Highway Commercial zoning district

Tax Map Parcel #65-125

Planning Board Case #25-3

Vice-Chair Brown noted that he appreciated everyone's patience while the Board reviewed the easement situation with town counsel. He asked to limit further discussion on the easements as counsel was satisfied with the parking and access proposed by the applicant. Vice-Chair Brown noted that he would welcome feedback from the applicant and some public comment.

Mr. Kennedy noted he still believed that it will result in people parking in adjacent lots and they have a right to do that.

Ms. English agreed with Mr. Kennedy and noted the regulations require one parking space per unit and parking elsewhere is out of the Board's control. She indicated she was concerned with the traffic pattern with the entrance to the bank and having an appealing entrance to the site. She noted she had concerns with drivers and pedestrians.

Chair Plumer noted that parking was shared during different times of the day as happens in any lot in town and this provides more green and less blacktop which is appealing to the environment. Traffic patterns sometimes work themselves out.

Mr. Grueter noted the application met our standards and while they may not like it, they have no jurisdiction over those items (above).

Ms. Martel agreed that the application meets our standards but still has concerns with the Mixed Use Neighborhood Development regulations are not being satisfied, specifically:

- Pedestrian Access
- Circulation
- Bicycle Facilities
- Pages and Pages of design standards are supposed to be met, and the Board has not had the opportunity to discuss that with being focused on access and not reviewing the site plan which she believes is lacking in many ways, four meetings in.

Attorney Josh Lanzetta noted he had prepared a presentation on the easements but is hearing parking and access are not an issue of the Board and will save time but reserves the right to address that if it affects the design standards. He noted he spoke with Laura, Attorney Fahey and Attorney Hilson. He discussed the two waiver requests prior. He described meetings with TRC and town staff and engineers who asked to change the original design.

Ms. Martel reviewed the MUND requirements for pedestrian and bike facilities and circulation and doesn't see those on the site plan. She asked about raised or alternative surfaces and signage or landscape islands and believes striping is not adequate. She expressed concerns with the waiver request because it is explicitly against the intent of the MUND. She expressed concerns with grade, steep slope, pedestrian travel and not understanding the coffee kiosk. She noted the lack of handicapped and otherwise access which required people to cross grass from the parking lot steeper than the 5% allowed. She noted the intent to screen parking and asked why all parking was not out back and felt that backing up toward the bank was unsafe. She noted the architecture didn't meet MUND requirements, nor elevations.

Ms. English agreed.

Mr. Kennedy questioned whether when in the MUND district if the requirement for a CUP (Conditional Use Permit) to determine if approval was required. Attorney Josh Lanzetta noted that the overlay district is applied to the district it sits in, regardless.

Vice-Chair Brown discussed the pedestrian access and walkway in back of the building and 5' wide sidewalk. He discussed the landscaping plans and internal sidewalk to the site.

83 Ms. Grueter questioned if the road width was wide enough at the bank drive-up to accommodate two
84 cars. Vice-Chair Brown referenced the site plan approved for the Nouria gas station and commented
85 that on paper it looked conflicting but in person it is a surprise how well it works.
86

87 Attorney Lanzetta noted the history of the easements, the bank reduction and change in the prior KFC
88 pattern which Blue Ribbon had no choice in and has existed for decades. He noted they are forced into
89 the bounds of the lane way. Vice-Chair Brown agreed. Attorney Lanzetta noted there is no other plan
90 and ingress and egress has been forced on this lot for decades. He discussed the waiver for the 8'
91 sidewalk out front and noted it will look odd to have only one piece of sidewalk that doesn't match the
92 others. He noted the applicant is amenable to signage and use of different materials and handrails for
93 the grade. He noted the Planning staff recommended MUND and the town engineer took the proposed
94 walkway off the plans. He described the feedback and adjustments made during the application process
95 prior to coming before the Board. He noted that there is no way to move the building on the lot.
96

97 Ms. Martel described her concerns with the internal circulation from the espresso bar and with the
98 steep slope of the seven parking spaces and a stone wall that a car would be opening its door into. She
99 noted pedestrians would walk into traffic or grass and there is no thought to how people will walk
100 across the site. She noted that ADA parking should be as close to the commercial site as possible and is
101 far away with no access to the espresso bar. Ms. Martel noted she was curious to see the prior
102 iterations. She recommended parking nose in and recommended taking up the grass area with parking
103 or providing green space elsewhere.
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105 Vice-Chair Brown noted that the town engineer is not on the Planning Board and agreed that it is
106 frustrating. He noted he is in favor of seeing the walkway to the kiosk. Ms. Martel noted it is too steep
107 and not accessible. She noted the walkway could zig zag as well.
108

109 Attorney Lanzetta noted the bike space can be added and the ADA spot moved. He questioned the
110 green space requirement of MUND and screening. Ms. Martel noted lawn is not providing screening.
111

112 Mr. Grueter asked about retail on the first floor and Attorney Lanzetta noted a coffee shop. Ms. Martel
113 noted her concerns with crossing to the espresso bar over grass and recommended a covered espresso
114 bar because of the heat.
115

116 Mr. Caley noted the walkway was planned and taken off but he is not opposed to bike racks and the 8',
117 30' long sidewalk to match Portsmouth Avenue and that handicapped parking can go in front and the
118 wall eliminated. He reviewed the requests of the Board to have a walkway connect the two spaces,
119 confirm grade changes, rails or steps, flexibility on the waiver for the sidewalk width, change surface
120 textures if striping is not enough, ask engineer to address narrow crossing.
121

122 Ms. Martel recommended an ADA space for the commercial business and one for the residences.
123

124 Vice-Chair Brown recommended a robust parking plan in front of the property and described one in
125 Kittery on Route 1 which did an unbelievable job.
126

Mr. Kennedy noted it is a shame it is too late to work with the bank because they could do something wonderful. Ms. Martel agreed the lack of collaboration was disappointing.

Attorney Lanzetta expressed how difficult it is to get a bunch of owners to agree and that it is almost impossible to facilitate and to only be able to control what happens on their own property.

Ms. English asked the future purpose of the kiosk and questioned how welcoming the outdoor seating would be in the blazing sun and agreed something covered might be more suitable. People could sit on a bench under trees. The green space is getting smaller and smaller. She expressed concerns with the seven parking spaces backing into the drive lane.

Vice-Chair Brown expressed that part of the MUND is commercial space. He noted he would like to see the landscaping plan. Mr. Caley asked about having flexibility to change things and Ms. Martel noted if he said there would be five trees they didn't want to see four. Vice-Chair Brown noted the Planner has the ability to do minor changes. Ms. Martel noted that green space is a requirement of MUND and therefore the Board considers it. She noted the wall in front works well but the seven parking spots in an awkward orientation do not.

Attorney Lanzetta agreed to make the proposal more walkable and that the kiosk is an amenity to the residents but there are a lot of people on Portsmouth Avenue, and it would be a cool spot to walk and play into the goal for walkability of Portsmouth Ave.

Brian Friedson, owner of the current property gave a history of the lots from the 22-year Blue Ribbon lease to ownership and McLane Manore being built and accessing the Blue Ribbon property to build and how they put in stairs to access the Blue Ribbon, restaurant and mall. Mr. Segal took out the stairs and installed washers and dryers. McLane Manor put in a concrete pad for their dumpster and accessed by Blue Ribbon property and Blue Ribbon reserved the right to remove it if desired in the future. Vehicles stop at the dumpster. Pedestrians use the lot to access the shopping mall. Blue Ribbon objected to the drive through access across the Blue Ribbon lot. In 2010 BankProv razed KFC and Blue Ribbon allowed the drive through one way and lost 5'. If the bank removed their 5' garden it would be 22' wide. McLane Manor has large mulch beds which if needed could change. BankProv traffic crosses Blue Ribbon. He noted the number of trips per day on the Blue Ribbon lot (75-120) and noted some go in and out of the laundromat and run errands and come back. There are two restaurants serving alcohol and people walk across a dark parking lot to Hampton Inn and some park in the lot across the street of the Thirsty Moose. He noted he believes the number of trips will reduce with the future plan as compared to the existing use.

Ms. Martel noted the crosswalk coming from the bank runs into a planting bed. Attorney Lanzetta noted it was intended to be a cut through not a dead end. She noted the plan needs to be amended.

Vice-Chair Brown discussed the seven parking spots out front and reversing into the lands with vehicles coming at you. Attorney Lanzetta noted the MBT use program was applied and there is a safe distance and turning radius. BankProv's back lot is always empty and there is not a lot of traffic flowing around. Residential parking is less egregious than commercial. He noted it is the standard and the back out

depth and width formula have been applied. Vice-Chair Brown asked about angling parking away from the wall and going nose in toward the building. Attorney Lanzetta will evaluate with Mr. Smith at Beals. Vice-Chair Brown noted there was angled parking downtown with more traffic and less visibility. Ms. Martel did not believe that would be approved today. She questioned the front patio. Attorney Lanzetta noted they are trying to provide multiple pedestrian areas and make a walkway. Ms. Martel asked why not have one large space than two smaller areas. Mr. Grueter agreed.

Mr. Kennedy asked why the parking spaces were needed with the easement. Vice-Chair Brown noted it is less problematic after hearing abutter concerns.

Attorney Lanzetta reviewed the requested changes:

- Walkway connect patio to kiosk
- Analysis of Grade

Ms. Martel noted they did not have crosswalks on their property and that alternative textures were not required to internal walkways.

Attorney Lanzetta continued:

- Bike rack system
- Fix Sidewalk to planting bed detail
- Assess ADA parking and bring spot to front of building
- Grade changes and rails
- Confirm planting plan with staff

Ms. Martel noted she was not supportive of the 5' sidewalk waiver and asked about the required Electric Vehicle Charging conduit for two spaces.

Ms. English asked about the HVAC on the roof, and screening for that. Attorney Lanzetta noted it is usually on the roof and screened. Ms. Martel noted the Board needs to see that on the site plan.

Chair Plumer opened comments to the public at 8:34 PM.

Attorney Hilson discussed the easements, absence of parking and access, traffic patterns and property rights. He stated that he was confident McLane was not part of the agreement.

Attorney Hilson noted a legal right of access doesn't discharge the obligation to determine adequacy of that access and parking. He referenced section 8.7 of the ordinance requiring safe and adequate vehicular and pedestrian traffic, adequacy of parking, which is reiterated in the MUND ordinance and stated they were doing too much on this lot. He recommended minimizing the cross crossing of this lot and BankProv and for McLane Manor. He asked about truck loading and stated the application is inappropriate for this lot.

Attorney Todd Fahey stated he represents BankProv and referenced the easements and regulations being obligatory not aspirational. He stated that they cannot offload the burden of their project onto a neighbor. BankProv will be taken over by Needham Bank and may have three times more staff than BankProv and who knows about the drive-through.

Attorney Josh Lanzetta noted they are not trying to offload the burden of this project onto a neighbor they are complying by putting all parking on their property and using an access they have a right to and are forced to do that and there is no way around it. There is a small portion of the property that can be developed and comply with setbacks, the district and it is impossible to stray from where this building is. The applicant is willing to work with BankProv on signage and textures. He stated the right of success in interest to access Margarita and BankProv is unequivocally present. He noted in the 6/12/97 Planning Board minutes that it was called out the three businesses McLane, Blue Ribbon and KFC. There is no other way to design this. Deed 1712-201 has the meets and bounds and easements referenced in the chain of title and this was intentionally done for cross traffic and intent matters. The 2025 engineering standards were applied. They complied with safety regulations.

Ms. Martel asked about the truck loading and asked where it is shown on the plan. Attorney Lanzetta noted it would be in the back of the property. Mr. Kennedy asked how they would get to the coffee side. Ms. Martel explained that they need to show us its possible. She noted a door on both sides of the building.

Attorney Lanzetta consulted with Mr. Caley and agreed to the continuance to next month. He read the list of requests:

- Loading plan
- Walkway connecting patio and kiosk
- EV charging conduit – 2 cars
- Bike stand
- Planting Bed – cut through
- ADA parking in front and keeping one in back
- Grading and railings
- Planting plan

Vice-Chair Brown discussed the lighting plan.

Mr. Kennedy opined that the square footage should be the demand for parking spaces. Attorney Lanzetta responded that the ordinance needs to state that. Ms. Martel stated the grade, and slope is inappropriate as well as backing into pedestrian traffic. She noted the front setback is listed on the plan as 50' when it is 25.' She asked if the building could be closer to the street. Attorney Lanzetta noted that the egress lane is on that spot, the one the Board forced onto the applicant's property. Test pits are out front, the easement is clear, and you can't get away from that lane. He will update the setback to 25.'

Ms. Ogilvie noted the November meeting schedule is the 2nd and 4th Thursday on 11/6 and 11/20.

Vice-Chair Brown motioned to continue Planning Board Case #25-3 to November 6th, 2025 at 7 PM in the Nowak Room. Mr. Grueter seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

2. Consideration and recommendation by the Planning Board for the Town's acquisition of an easement on property owned by Phillips Exeter Academy (off Drinkwater Road) for the purpose of a new groundwater supply well and associated infrastructure
Tax Map Parcel #71-119.

Chair Plumer read the Public Hearing Notice.

Ms. Ogilvie noted there was no staff review.

Steve Cronin of the DPW reviewed the town's 2020 groundwater supply source study and PEA's easement off Drinkwater Road. He noted there is a preliminary well application and negotiated easement. They did a seven-day pump test and expect 400/gal. per day. DES will issue the groundwater permit and they are here under RSA 41:14-a. They went before the Conservation Commission, who recommended approval with one condition that they call out the right to withdraw water in the easement which town counsel is working to modify. The Heritage Commission asked to protect the pond during construction and access.

Mr. Grueter motioned to send a memorandum to the Select Board in favor with the recommendation to call out the right to withdraw water and protect the pond for the proposed construction of a new groundwater well and associated infrastructure. Mr. Kennedy seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

IV. OLD BUSINESS

APPROVAL OF MINUTES

September 25, 2025

Mr. Grueter motioned to approve the minutes of September 25, 2025. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

V. OTHER BUSINESS

- Master Plan Discussion

Mr. Kennedy noted the meeting on November 6th.

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- Field Modifications

Ms. Ogilvie noted the modification for 46 Main Street to relocate the utility pole.

- Bond and/or Letter of Credit Reductions and Release
- Other

Ms. Martel asked about having a requirement that the plan be stamped by a landscape architect like other municipalities do.

Vice-Chair Brown discussed having grading within 5’ of property line continue although frequently waived and the benefits to the Board and abutters.

VI. TOWN PLANNER’S ITEMS

Ms. Ogilvie reviewed the post office position on delivery of mail to each residence in new subdivisions and desire to have a mail kiosk and the site plan and subdivision regulations should reference this note.

Ms. Ogilvie recommended two changes to the ordinance at town meeting. She noted the ADU law complies but the definition for attached and detached need to match the state. She noted that parking requirements are now one space per residential unit. She noted the Code Enforcement Officer wants to change dog kennels to a special exception use. Ms. Martel asked about having him come in. Ms. Ogilvie asked if it could be done in one public hearing and Vice-Chair Brown explained the Board has two, one to polish the language proposed with feedback and another to move it forward. Ms. Ogilvie noted they have until February 3rd and would recommend the first meeting be December 11, 2025 and the second in Jan. 2026. Vice-Chair Brown expressed concerns with changing what is allowed by right in the ordinance under property rights versus obtaining a Special Exception.

VII. CHAIRPERSON’S ITEMS

VIII. PB REPRESENTATIVE’S REPORT ON “OTHER COMMITTEE ACTIVITY”

Ms. English noted in April the RPC terms expire, and they can have three representatives. Mr. Kennedy offered to be the third. She would like the Board to send a letter to the Select Board asking them to appoint him.

Ms. English motioned to appoint Marty Kennedy as a representative to the Rockingham Planning Commission. Vice-Chair Brown seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

335 **IX. ADJOURN**

336 ***Ms. Grueter motioned to adjourn the meeting at 9:32 PM. Vice-Chair Brown seconded the***
337 ***motion. A vote was taken, all were in favor, the motion passed unanimously.***

338 Respectfully submitted.

339 Daniel Hoijer,

340 Recording Secretary (Via Exeter TV)



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

DATE: October 22, 2025

TO: Planning Board

FROM: Carol Ogilvie, Interim Town Planner

RE: **PB Case #25-9 Hoyle Tanner & Associates, Inc.**
(on behalf of Society of the Cincinnati in the State of New Hampshire)
Lot Line Adjustment
1 Governor's Lane
Tax Map Parcels #72-206 and #72-215

The Applicant is seeking a lot line adjustment of the common boundary line between the properties located at 164 Water Street (Folsom Tavern) and 1 Governor's Lane (American Independence Museum). The subject properties are in the C-1, Central Area Commercial zoning district and are identified as Tax Map Parcel #72-206 and #72-215.

The proposed lot line adjustment will allow for the conveyance of 14,927 square feet of area from Tax Map Parcel #72-215 (1 Governor's Lane) to Tax Map Parcel #72-206 (164 Water Street), resulting in the Folsom Tavern being entirely on its own lot.

The Applicant has submitted a lot line adjustment application, plan and supporting documents, dated September 23, 2025, which are enclosed for your review. There was no TRC review, however, the materials have been reviewed by staff for compliance with the zoning and subdivision regulations and found to be in compliance with both zoning and subdivision requirements. There are no waivers being requested in conjunction with the application.

I will be prepared with suggested conditions of approval at the meeting in the event the board decides to act on the request.

Planning Board Motions

Lot Line Adjustment Motion: I move that the request of Hoyle Tanner & Associates (PB Case #25-9) for a Lot Line Adjustment approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures



BUILDING DEPARTMENT

Douglas Eastman, Building Inspector/Code Enforcement Officer

DATE: October 20, 2025

MEMO TO: Carol Ogilvie, Interim Town Planner

FROM: Doug Eastman, Building Inspector/Code Enforcement Officer

RE: Hoyle Tanner & Associates – PB Case #25-9
Lot Line Adjustment – 1 Governor's Lane
Tax Map Parcels #72-215 and #72-206

Please be advised that I have reviewed the proposed lot line adjustment plan submitted by Hoyle Tanner & Associates, on behalf of the Society of the Cincinnati of the State of New Hampshire, dated September 23, 2025 and have found it to be in compliance with the Town of Exeter zoning regulations.



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September 23, 2025

Langdon Plumer, Chair
Exeter Planning Board
10 Front Street
Exeter, NH 03833

**Re: Lot Line Adjustment Application
Society of the Cincinnati in the State of New Hampshire
Map 72 Lots 215 and 206**

Dear Chair Plumer, and Members of the Planning Board:

Please find enclosed a Lot Line Adjustment Application for Lots 215 and 206 as seen on the Town of Exeter Assessor's Map 72. Both lots are owned by the Society of the Cincinnati in the State of New Hampshire, a New Hampshire nonprofit corporation ("SOCNH"). Currently, the American Independence Museum ("AIM") building is on Lot 215 and the Folsom Tavern ("Tavern") building straddles the lot line between the two lots.

The proposal is to annex 14,927 square feet from Lot 215 to Lot 206. This will transfer 228.85' of frontage on Water Street from Lot 215 to Lot 206. After the adjustment, the Tavern building will be entirely on Lot 206. No new construction is proposed with this application.

Should you require additional information, please contact me at (603) 224-4148 or via email at icrowdes@hoyletanner.com. Additionally, counsel for the SOCNH is Laura B. Chadbourne, McLane Middleton, Professional Association, One New Hampshire Avenue, Suite 200, Portsmouth, NH 03801 and she can be reached at (603) 628-1249 or via email at laura.chadbourne@mcclane.com.

We look forward to meeting with the Planning Board on November 6, 2025 to discuss this application further.

Sincerely,
Hoyle, Tanner & Associates, Inc



Michael Todd, LL.S.
Project Manager

Enclosures
cc: 071-001



Trusted Experts | Innovative Results

September 22, 2025

Society of the Cincinnati in the State of New Hampshire
1 Governor's Lane
Exeter, NH 03833

**Re: Lot Line Adjustment Application
Map 72 Lots 215 and 206**

Dear Chair, Plummer and Members of the Planning Board:

We, the Society of the Cincinnati in the State of New Hampshire, hereby give permission for Hoyle, Tanner and Associates, Inc., 50 Pleasant Street, Concord, New Hampshire, to represent us before the Town of Exeter Planning Board, relative to the application for Lot Line Adjustment and all related matters.

Hugh L. Robinson, II, President
Society of the Cincinnati in the State of
New Hampshire



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Abutters List
Lot Line Adjustment
Society of the Cincinnati in the State of New Hampshire
Tax Map 72 Lots 206 & 215

<u>MAP</u>	<u>LOT</u>	<u>OWNER</u>
72	206 & 215	Society of the Cincinnati in the State of New Hampshire 1 Governor's Lane Exeter, NH 03833
72	207, 204.2 & 208	Phillips Exeter Academy
64	41, 43 & 46	20 Main Street Exeter, NH 03833
72	205 & 216	Chittenden Bank c/o M&T Bank 1 M&T Plaza, 18 th Floor Buffalo, NY 14203
64	50	Jones & Wilson Realty 41 Industrial Drive, Suite 2 Exeter, NH 03833
64	49	Charles C. Traverse, Jr. 316 Water Street Exeter, NH 03833
64	48	McReel Homeowners Association 196 Water Street Exeter, NH 03833
64	36, 45 & 47	Town of Exeter 10 Front Street Exeter, NH 03833

Professional Consultants

Hoyle, Tanner & Associates, Inc.
Timothy F. Bernier, LLS, CWS
50 Pleasant Street
Concord, NH 03301

Mclane Middleton Law Firm
Laura B. Chadbourne
1 New Hampshire Ave., Suite 200
Portsmouth, NH 03801

Town of Exeter



Planning Board Application for

- **Minor Site Plan Review**
 - **Minor Subdivision**
 - **Lot Line Adjustment**

January 2019



TOWN OF EXETER, NH APPLICATION FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION and/or LOT LINE ADJUSTMENT

A completed application shall contain the following items, although please note that some items may not apply such as waivers or conditional use permit:

- | | |
|--|-------|
| 1. Application for Hearing | (X) |
| 2. Abutter's List Keyed to the Tax Map (including name and business address of all professionals responsible for the submission (engineer, landscape architect, wetland scientist, etc.) | (X) |
| 3. Checklist for plan requirements | (X) |
| 4. Letter of Explanation | (X) |
| 5. Written request and justification for waiver(s) from Site Plan/Sub Regulations | N/A |
| 6. Application to Connect and/or Discharge to Town of Exeter Sewer, Water, or Storm Water Drainage System(s) - if applicable | N/A |
| 7. Application Fees | (X) |
| 8. Seven (7) copies of 24'x36' plan set | (X) |
| 9. Fifteen (15) 11"x 17" copies of the plan set | (X) |
| 10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. | (X) |

NOTES: All required submittals must be presented to the Planning Department Office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



**TOWN OF EXETER
MINOR SUBDIVISION, MINOR
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION**

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- ☐ MINOR SITE PLAN
☐ MINOR (3lots or less)
SUBDIVISION ☐ LOTS
☒ LOT LINE ADJUSTMENT

APPLICATION

DATE RECEIVED

APPLICATION FEE

PLAN REVIEW FEE

ABUTTER FEE

LEGAL NOTICE FEE

INSPECTION FEE

TOTAL FEES

AMOUNT REFUNDED

1. **NAME OF LEGAL OWNER OF RECORD:** Society of the Cincinnati in the State of New Hampshire

ADDRESS: 1 Governor's Lane, Exeter, NH 03833

TELEPHONE: ()

2. **NAME OF APPLICANT:** Hoyle, Tanner & Associates, Inc.

ADDRESS: 50 Pleasant Street, Concord, NH 03301

TELEPHONE: (603) 224-4148

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:**

Land Surveyor

(Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:**

ADDRESS: 1 Governor's Lane, Exeter, NH 03833

TAX MAP: 72 **PARCEL #:** 206 & 215 **ZONING DISTRICT:** C-1

AREA OF ENTIRE TRACT: 1.054 acres **PORTION BEING DEVELOPED:** N/A



5. **EXPLANATION OF PROPOSAL:** To annex 14,559 square feet from Lot 215 to Lot 206

6. **ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO)** Yes
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. **LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:**

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>	
A. Cover Letter	1	
B. Lot Line Adjustment Application	1	
C. Owner Authorization	1	
D. Abutter's List	1	
E. Abutter Labels	3	
F. Lot Line Adjustment Plan	11x17 - 15	22x34 - 7

8. **ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO)** None at this time IF YES, ATTACH COPY.

9. **NAME AND PROFESSION OF PERSON DESIGNING PLAN:**

NAME: Hoyle, Tanner & Associates, Inc.

ADDRESS: 50 Pleasant Street, Concord, NH 03301

PROFESSION: Land Surveyor

TELEPHONE: (603) 224-4148

10. **LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:** THERE ARE NO
PROPOSED IMPROVEMENTS OR UTILITIES



11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) NO IF YES, LIST BELOW AND NOTE ON PLAN.

NOTICE:

I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 9/22/2023 APPLICANT'S SIGNATURE Michael Todd

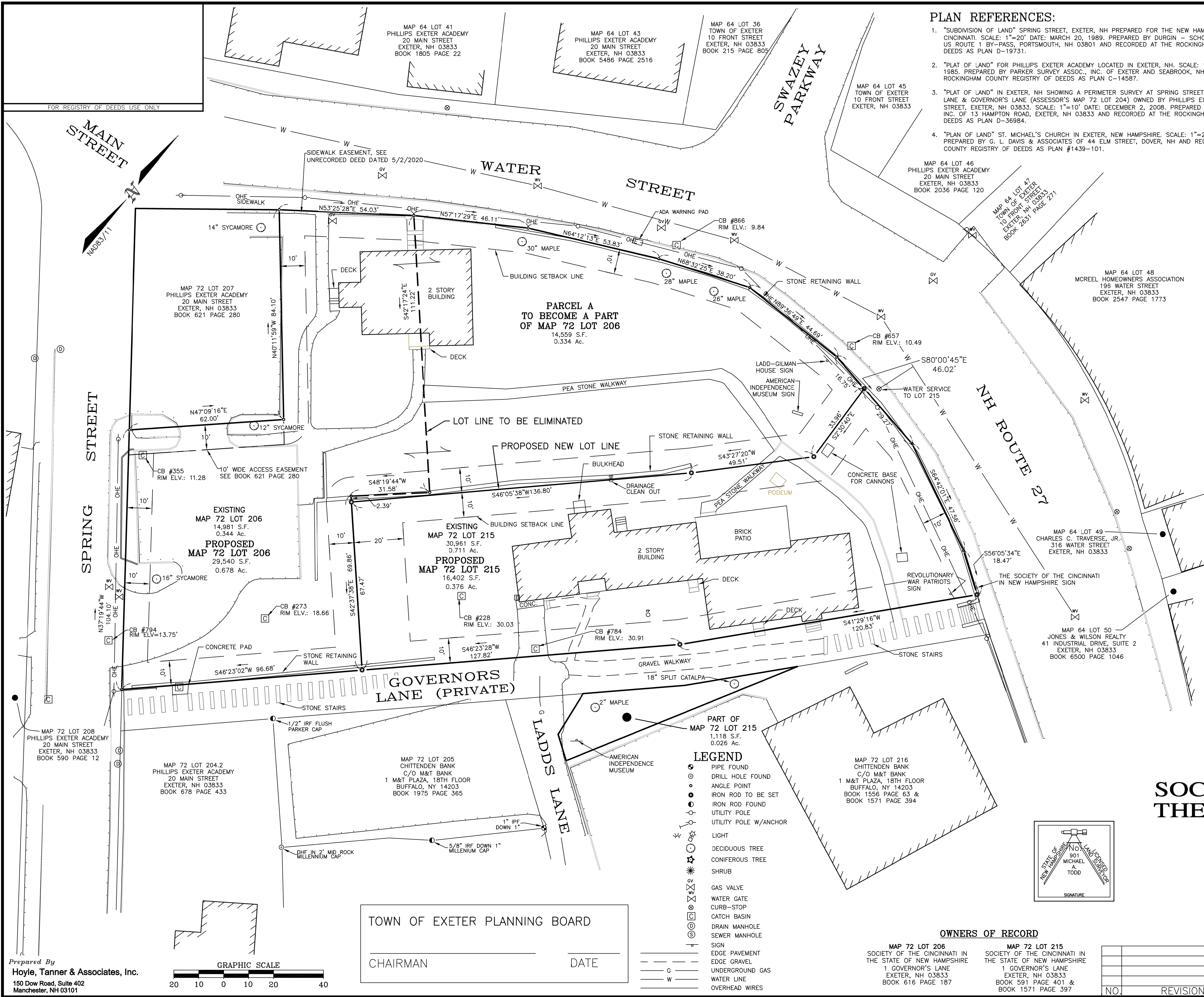
ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



CHECK LIST FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION AND LOT LINE ADJUSTMENT

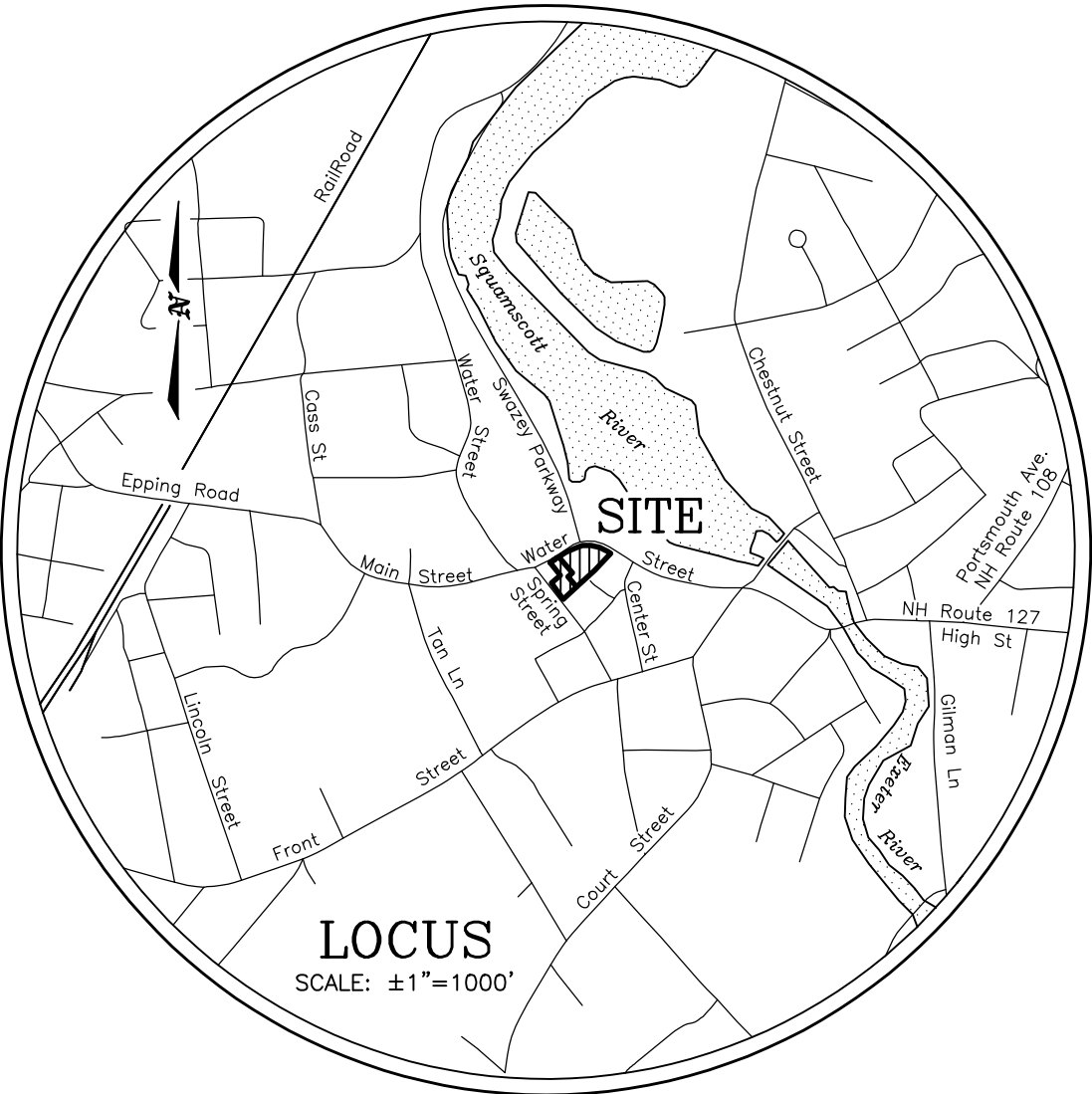
APPLICANT	TRC	REQUIRED EXHIBITS, SEE REGULATION 6.6.2.4
☒	☐	a) The name and address of the property owner, authorized agent, the person or firm preparing the plan, and the person or firm preparing any other data to be included in the plan.
☒	☐	b) Title of the site plan, subdivision or lot line adjustment, including Planning Board Case Number.
☒	☐	c) Scale, north arrow, and date prepared.
☒	☐	d) Location of the land/site under consideration together with the names and address of all owners of record of abutting properties and their existing use.
☒	☐	e) Tax map reference for the land/site under consideration, together with those of abutting properties.
☒	☐	f) Zoning (including overlay) district references.
☒	☐	g) A vicinity sketch showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 1,000-feet.
☐ N/A	☐	h) For minor site plan review only, a description of the existing site and proposed changes thereto, including, but not limited to, buildings and accessory structures, parking and loading areas, signage, lighting, landscaping, and the amount of land to be disturbed.
☐ N/A	☐	i) If deemed necessary by the Town Planner, natural features including watercourses and water bodies, tree lines, and other significant vegetative cover, topographic features and any other environmental features which are significant to the site plan review or subdivision design process.
☐ N/A	☐	j) If deemed necessary by the Town Planner, existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
☐ N/A	☐	k) If deemed necessary by the Town Planner for proposed lots not served by municipal water and sewer utilities, a High Intensity Soil Survey (HISS) of the entire site, or portion thereof. Such soil surveys shall be prepared and stamped by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.
☒	☐	l) State and federal jurisdictional wetlands, including delineation of required setbacks.
☒	☐	m) A note as follows: "The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations."
☒	☐	n) Surveyed exterior property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.

N/A	☐	o) For minor site plans only, plans are not required to be prepared by a professional engineer or licensed surveyor unless deemed essential by the Town Planner or the TRC.
X	☐	p) For minor subdivisions and lot line adjustments only, the locations, dimensions, and areas of all existing and proposed lots.
X	☐	q) The lines of existing abutting streets and driveways locations within 100-feet of the site.
X	☐	r) The location, elevation, and layout of existing catch basins and other surface drainage features.
X	☐	s) The footprint location of all existing structures on the site and approximate location of structures within 100-feet of the site.
X	☐	t) The size and location of all existing public and private utilities.
X	☐	u) The location of all existing and proposed easements and other encumbrances.
X	☐	v) All floodplain information, including contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated May 17, 1982.
N/A	☐	w) The location of all test pits and the 4,000-square-foot septic reserve areas for each newly created lot, if applicable.
N/A	☐	x) The location and dimensions of all property proposed to be set aside for green space, parks, playgrounds, or other public or private reservations. The plan shall describe the purpose of the dedications or reservations, and the accompanying conditions thereof (if any).
X	☐	y) A notation shall be included which explains the intended purpose of the subdivision. Include the identification and location of all parcels of land proposed to be dedicated to public use and the conditions of such dedications, and a copy of such private deed restriction as are intended to cover part of all of the tract.
N/A	☐	z) Newly created lots shall be consecutively numbered or lettered in alphabetical order. Street address numbers shall be assigned in accordance with Section 9.17 Streets of these regulations.
N/A	☐	aa) The following notations shall also be shown: • Explanation of proposed drainage easements, if any • Explanation of proposed utility easement, if any • Explanation of proposed site easement, if any • Explanation of proposed reservations, if any • Signature block for Board approval as follows:
X	☐	Town of Exeter Planning Board Chairman _____ Date _____



PLAN REFERENCES:

- "SUBDIVISION OF LAND" SPRING STREET, EXETER, NH PREPARED FOR THE NEW HAMPSHIRE SOCIETY OF CINCINNATI. SCALE: 1"=20' DATE: MARCH 20, 1989. PREPARED BY DURGIN - SCHOFIELD ASSOCIATES OF 455 US ROUTE 1 BY-PASS, PORTSMOUTH, NH 03801 AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-19731.
- "PLAT OF LAND" FOR PHILLIPS EXETER ACADEMY LOCATED IN EXETER, NH. SCALE: 1"=10' DATE: DECEMBER 1985. PREPARED BY PARKER SURVEY ASSOC., INC. OF EXETER AND SEABROOK, NH AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN C-14587.
- "PLAT OF LAND" IN EXETER, NH SHOWING A PERIMETER SURVEY AT SPRING STREET, WILLIAMS COURT, LADD'S LANE & GOVERNOR'S LANE (ASSESSOR'S MAP 72 LOT 204) OWNED BY PHILLIPS EXETER ACADEMY, 20 MAIN STREET, EXETER, NH 03833. SCALE: 1"=10' DATE: DECEMBER 2, 2008. PREPARED BY MILLENNIUM ENGINEERING INC. OF 13 HAMPTON ROAD, EXETER, NH 03833 AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-36984.
- "PLAN OF LAND" ST. MICHAEL'S CHURCH IN EXETER, NEW HAMPSHIRE. SCALE: 1"=20' DATE: JULY 16, 1957. PREPARED BY G. L. DAVIS & ASSOCIATES OF 44 ELM STREET, DOVER, NH AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #1439-101.



NOTES:

- THE PURPOSE OF THIS PLAN IS TO ANNEX PARCEL 'A' FROM LOT 215 AND TO MAKE IT A PART OF LOT 206 AS SHOWN.
- THE SUBJECT PARCELS LIE IN THE "C-1" CENTRAL AREA COMMERCIAL ZONING DISTRICT, AND THE HISTORIC OVERLAY DISTRICT, AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:

MIN. LOT SIZE:	5,000 S.F.
MIN. WIDTH:	50'
MIN. DEPTH:	100'
MIN. FRONTAGE:	50'
BUILDING SETBACKS:	
FRONT:	10' (OR EQUAL TO ABUTTING LOT)
SIDE:	10' (OR EQUAL TO ABUTTING LOT)
REAR:	20'
MAX. BUILDING HEIGHT:	35'
MAX. BUILDING COVERAGE:	75%
- THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN JULY 2025 USING A TOTAL STATION INSTRUMENT. THE TRAVERSE HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THE SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES LAM 500.
- THE BEARINGS SHOWN HEREON ARE REFERENCED TO NEW HAMPSHIRE STATE PLANE GRID COORDINATES, NAD83/11, BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN JULY 2025.
- THE SUBJECT PARCELS WERE INSPECTED FOR WETLANDS IN JULY 2025 UNDER THE SUPERVISION OF TIMOTHY F. BERNIER, CWS #052, AND NONE WERE FOUND.
- THE SUBJECT PARCELS DO NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD AREA AS DEFINED ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF EXETER, MAP No. 330150C402E, WITH EFFECTIVE DATE MAY 17, 2005.
- ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE, BASED ON SURFACE EVIDENCE FOUND DURING THE SURVEY AND INFORMATION FROM THE TOWN OF EXETER GIS DATABASE. CALL DIGSAFE BEFORE BEGINNING ANY CONSTRUCTION.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- GOVERNORS LANE WAS DISCONTINUED BY VOTE AT THE 1992 TOWN MEETING. SEE BOOK 2942 PAGE 928 FOR QUITCLAIM FROM THE TOWN OF EXETER TO THE SOCIETY OF THE CINCINNATI IN NEW HAMPSHIRE, SUBJECT TO WHATEVER RIGHTS THE PUBLIC MAY HAVE.

LOT LINE ADJUSTMENT PLAN

Land of
**SOCIETY OF THE CINCINNATI IN
THE STATE OF NEW HAMPSHIRE**

ASSESSOR'S MAP 72 LOTS 206 & 215

1 GOVERNOR'S LANE
EXETER, NEW HAMPSHIRE

SCALE: 1"=20' DATE: AUGUST 2025

SHEET 1 OF 1

**HOYLE
TANNER**

50 Pleasant Street, Suite #1
Concord, NH 03301
(603) 224-4148
www.hoyletanner.com

NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	P.G.	JOB #

DRAWING NAME



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: October 27, 2025

To: Planning Board

From: Carol Ogilvie, Interim Town Planner

Re: Chinburg Development LLC PB Case #25-10
Preliminary Conceptual Consultation
65 – 67 ½ Main Street
Tax Map Parcel #63-256

The Applicant is requesting a Preliminary Conceptual Consultation with the Planning Board to discuss the proposed redevelopment of the property located at 65 – 67 ½ Main Street. The parcel is 0.84+/- acres in area and currently contains three buildings with a total of seven (7) residential units. The subject property is in the R-2, Single Family Residential zoning district and is identified as Tax Map Parcel #63-256.

Please note that the R-2 zone does not permit multiple units on a lot, however since the lot previously accommodated multi-family dwellings, this use is grandfathered, which allows the development of up to seven units.

Attached please find a letter of explanation, a preliminary application and a conceptual site plan prepared by Winter Holben architecture & design, dated October 24, 2025, for your review.

Please note that the applicant is requesting a Preliminary Conceptual Consultation and not a formal application. As such, abutters have not been notified and the discussion of the Planning Board and applicant can be “in conception form only and in general terms such as the desirability of types of development and proposals under the Master Plan.” I have enclosed the relevant section of our regulations pertaining to this type of review.

Thank You.

Enclosures - 3

SECTION 6. PROCEDURE

6.1. Pre-Application Review

There are two levels of Pre-Application Review: the Preliminary Conceptual Consultation and the Design Review Stage.

6.1.1. Preliminary Conceptual Consultation

1. In accordance with RSA §676:4, II – (a), an individual who anticipates submitting a formal application for Site Plan/Subdivision approval has the option of informally consulting with the Board prior to formal submission.
2. Purpose: The purpose of a preliminary consultation is to familiarize the Board with the basic concept of the proposed Site Plan/Subdivision. The consultation can also help to acquaint the potential applicant with the formal application process and particular information that the Board may request.
3. Limits of the Review:
 - a) The Board shall conduct the preliminary conceptual consultation at a regularly scheduled meeting of the Board. The applicant will make a presentation defining the general scope and concept of the Site Plan/Subdivision and/or development/redevelopment and how the land will be divided and/or used.
 - b) Such consultation shall not bind either the applicant or the Board, and statements made by the Board members shall not be the basis for disqualifying said members or invalidating any action taken. The Board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the Town's Master Plan. Neither the applicant nor the Board shall be bound by the discussions.
4. Project Description: In order to facilitate discussion, the potential applicant is requested to prepare a base map of the site to be developed or property to be subdivided. The map shall be drawn to scale, and may be drawn in pencil. The proposed site or subdivision development shall be drawn on the base map. Dimensions may be approximate. The data may be tentative, but all information shall be sufficiently clear to illustrate all conditions on the proposed site and/or subdivision development of the property.

5. The following information or data is requested for a preliminary conceptual consultation with the Board:
 - a) General description of existing conditions on the site including characteristics of the land, topography, vegetation, and similar features;
 - b) General description of available public and private facilities and utilities both on-site and in close proximity to the site;
 - c) A general description of the development plan for the site and of the lots to be created, including their size and dimensions, and a general use plan for the site; and
 - d) A topographic map of the site showing in sketch form the proposed layout of streets, lots, and other features in relation to existing conditions and/or the location of other site development features both natural and man-made.

6.1.2. Design Review Phase

In accordance with RSA §676:4, II – (b), the Board and/or the Technical Review Committee may engage in non-binding discussions with the applicant beyond conceptual and general discussions which involve more specific site design and engineering details; provided, however, that the design review phase may proceed only after identification of and notice to abutters and the general public as required by RSA §676:4, I – (d). Statements made by the Board members shall not be the basis for disqualifying said members or invalidating any action taken.

6.2. Formal Application Submission

Applications for Site Plan/Subdivision approval or Lot Line Adjustment shall be filed with the Planning Department and shall fulfill all the requirements of these regulations. An application shall be on forms available from the Planning Department Office. A completed application shall be submitted to, and accepted by, the Board only at a public hearing for which notice has been given to the applicant, abutters, and the general public. Only completed applications will be placed on the Board's agenda in accordance with the "Planning Board's Schedule of Deadlines and Public Hearings".

All application documents, plans, supporting documentation and other materials shall also be provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. Digital files shall be complete



October 24, 2025

Exeter Planning Board

Town of Exeter

10 Front Street

Exeter, NH 03833

Request for Preliminary Conceptual Review – 65-67 ½ Main Street

Dear Members of the Exeter Planning Board,

On behalf of Chinburg Development I am submitting this request for a Preliminary Conceptual Review for the property located at 65-67 ½ Main Street Exeter. The existing 0.84± acre parcel currently contains three buildings with a total of seven multifamily units.

The intent is to redevelop the site into approximately six new single-family detached homes. We wanted to meet with the Planning Board to share the preliminary concept and receive initial feedback and guidance before proceeding with detailed design and engineering.

We appreciate the opportunity to discuss this concept with the Board and look forward to incorporating your input as we refine the plans.

Thank you for your time and consideration.

Sincerely,

Shawna Sammis

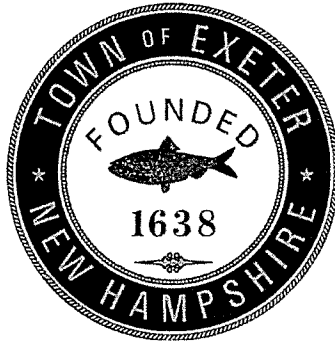
Senior Land Acquisition and Development Manager

Office Phone: (603) 868-5995 x31

Cell: (603) 777-6217

Email: ssammis@chinburg.com

Town of Exeter



Planning Board Application for Site Plan Review

October 2019



SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing ()
2. Abutter's List Keyed to Tax Map ()
(including the name and business address of every engineer, architect,
land surveyor, or soils scientist whose professional seal appears on any
plan submitted to the Board)
3. Completed- "Checklist for Site Plan Review" ()
4. Letter of Explanation ()
5. Written Request for Waiver (s) from "Site Plan Review and Subdivision
Regulations" (if applicable) ()
6. Completed "Preliminary Application to Connect and /or Discharge to Town
of Exeter- Sewer, Water or Storm Water Drainage System(s)" (if applicable) ()
7. Planning Board Fees ()
8. Seven (7) full-sized copies of Site Plan ()
9. Fifteen (15) 11"x17" copies of the final plan to be submitted **TEN DAYS**
PRIOR to the public hearing date. ()
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and
all consultants. ()

NOTES: All required submittals must be presented to the Planning Department office
for distribution to other Town departments. Any material submitted directly
to other departments will not be considered.



TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- () COMMERCIAL SITE PLAN REVIEW
- () INDUSTRIAL SITE PLAN REVIEW
- () MULTI-FAMILY SITE PLAN REVIEW
- () MINOR SITE PLAN REVIEW
- () INSTITUTIONAL/NON-PROFIT SPR

APPLICATION #

DATE RECEIVED

APPLICATION FEE

PLAN REVIEW FEE

ABUTTERS FEE

LEGAL NOTICE FEE

TOTAL FEES

INSPECTION FEE

INSPECTION COST

REFUND (IF ANY)

1. NAME OF LEGAL OWNER OF RECORD: Chinburg Development LLC

TELEPHONE: (603) 777-6217

ADDRESS: 3 Penstock Way Newmarket NH 03857

2. NAME OF APPLICANT: same as owner

ADDRESS: _____

TELEPHONE: () _____

3. RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER: _____

(Written permission from Owner is required, please attach.)

4. DESCRIPTION OF PROPERTY: An existing 0.84 acre lot with 7 multifamily units

ADDRESS: 65-67 1/2 Main Street

TAX MAP: 63 PARCEL #: 256 ZONING DISTRICT: R-2

AREA OF ENTIRE TRACT: 0.84 PORTION BEING DEVELOPED: TBD



5. ESTIMATED TOTAL SITE DEVELOPMENT COST \$ TBD

6. EXPLANATION OF PROPOSAL: preliminary consultation with the planning board to discuss redevelopment of the site for 6⁺ units

7. ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO) (YES)

If yes, Water and Sewer Superintendent must grant written approval for connection.

If no, septic system must comply with W.S.P.C.C. requirements.

8. LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:

ITEM:	NUMBER OF COPIES
A. <u>preliminary layout plans</u>	<u>10</u>
B. <u>cover letter</u>	<u>10</u>
C. _____	_____
D. _____	_____
E. _____	_____
F. _____	_____

9. ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO) (NO) IF YES, ATTACH COPY.

10. NAME AND PROFESSION OF PERSON DESIGNING PLAN:

NAME: Beals Engineering

ADDRESS: 70 Portsmouth Ave Stratham NH

PROFESSION: Civil Engineer TELEPHONE: (603) 583 4860

11. LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:

TBD preliminary layout only at this time but anticipate all new units to be served by Exeter public utilities



12. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

IF YES, DESCRIBE BELOW. (Please check with the Planning Department Office to verify)

N/A

13. WILL THE PROPOSED PROJECT INVOLVE DEMOLITION OF ANY EXISTING BUILDINGS OR APPURTENANCES? IF YES, DESCRIBE BELOW.

(Please note that any proposed demolition may require review by the Exeter Heritage Commission in accordance with Article 5, Section 5.3.5 of the Exeter Zoning Ordinance).

Yes, all existing structures are to be demolished

14. WILL THE PROPOSED PROJECT REQUIRE A "NOTICE OF INTENT TO EXCAVATE" (State of NH Form PA-38)? IF YES, DESCRIBE BELOW.

TBD

NOTICE: I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE REGULATIONS; INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 15.2 OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 10/24/25

OWNER'S SIGNATURE

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP _____
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TAX MAP _____
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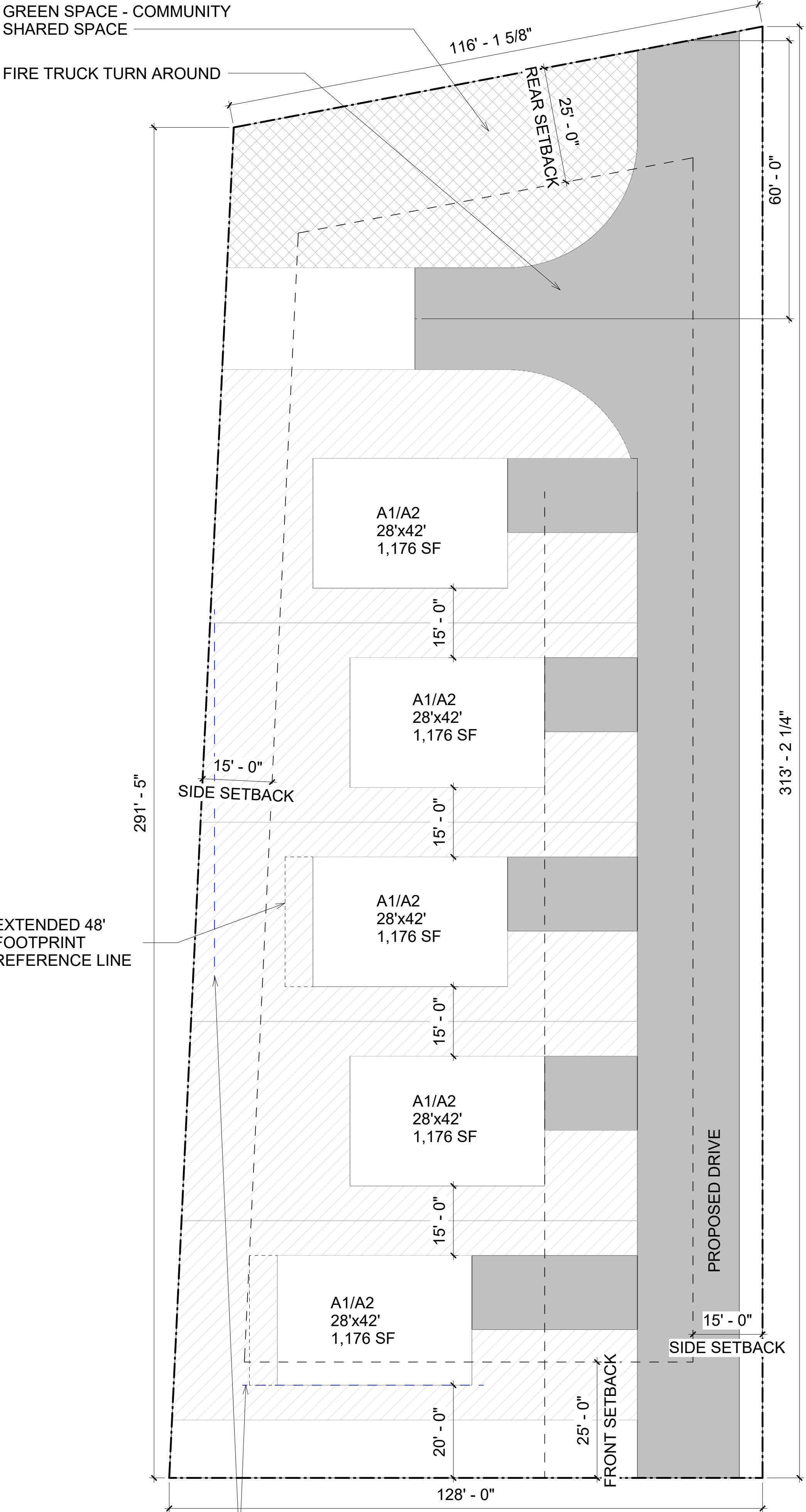
TAX MAP _____
NAME _____
ADDRESS _____

TAX MAP _____
NAME _____
ADDRESS _____

Please attach additional sheets, if needed

GREEN SPACE - COMMUNITY
SHARED SPACE

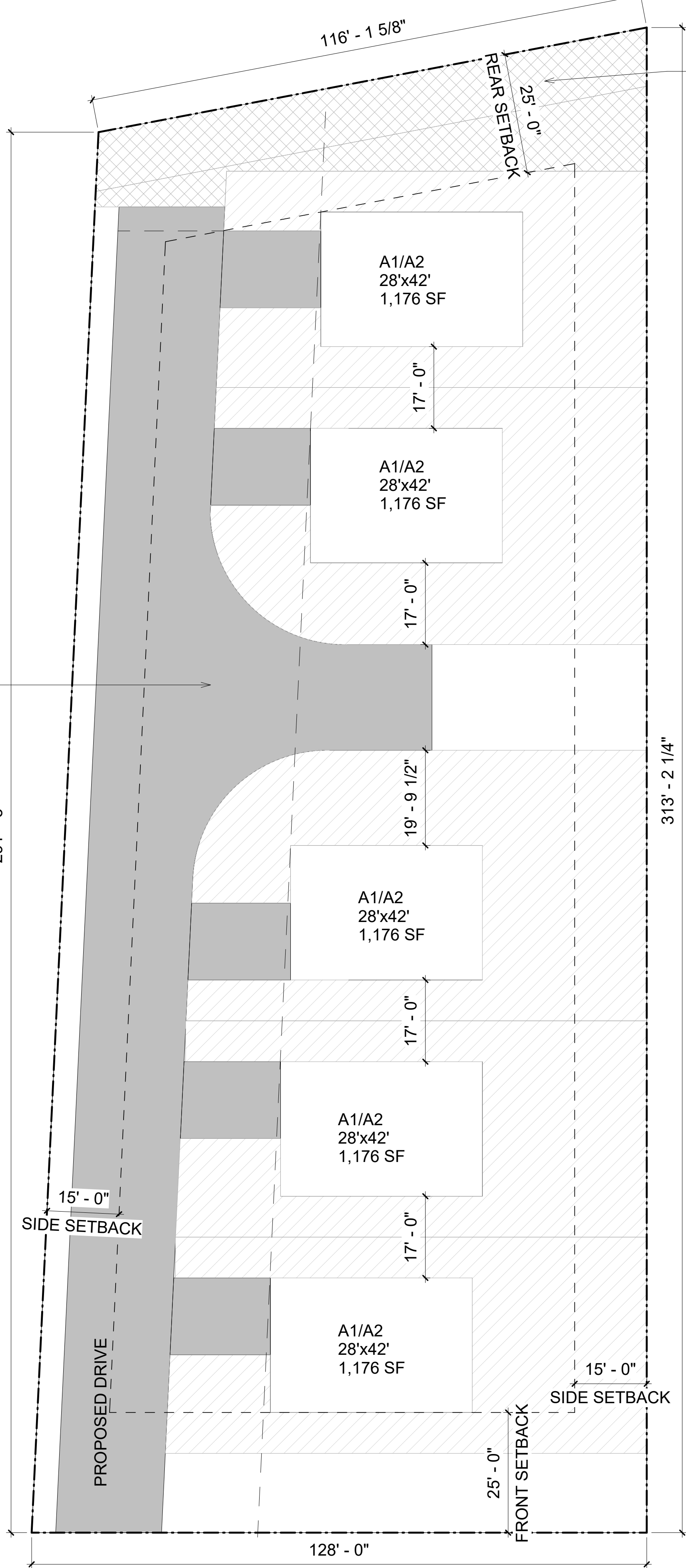
FIRE TRUCK TURN AROUND



ESTIMATED EXISTING
PROPERTY SETBACK

① SITE PLAN - 5 Unit Options
1/16" = 1'-0"

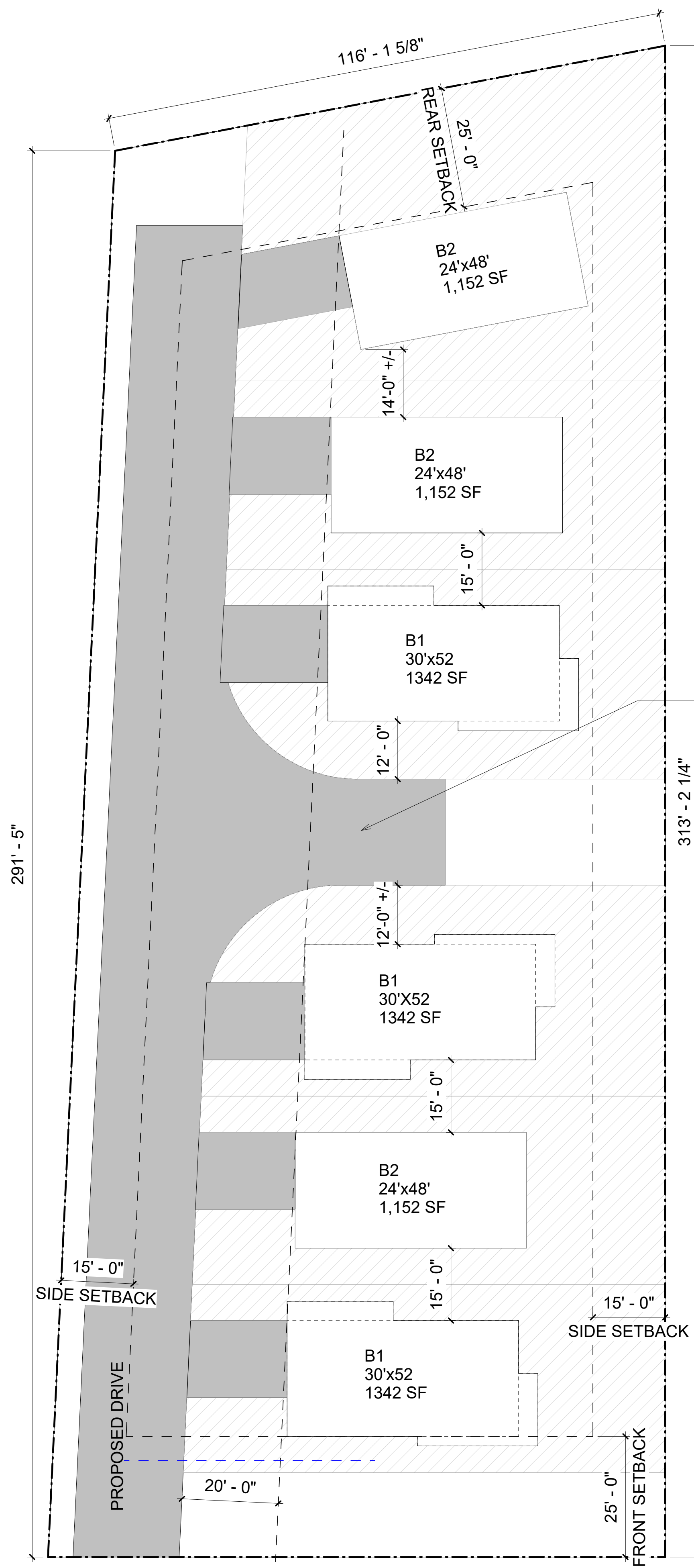
GREEN SPACE -
COMMUNITY SHARED
SPACE - DOG RUN



SITE: 0.84 ACRE (36,590 SF)

ALLOWABLE BUILDING COVERAGE: 25% (9,147 SF)
PROPOSED BUILDING COVERAGE: 16.1% (5,880 SF)

MIN OPEN AREA: 40% (14,636 SF)
PROPOSED OPEN AREA: 55.6% OPEN AREA (20,340 SF
= 36,590 - 16,250)



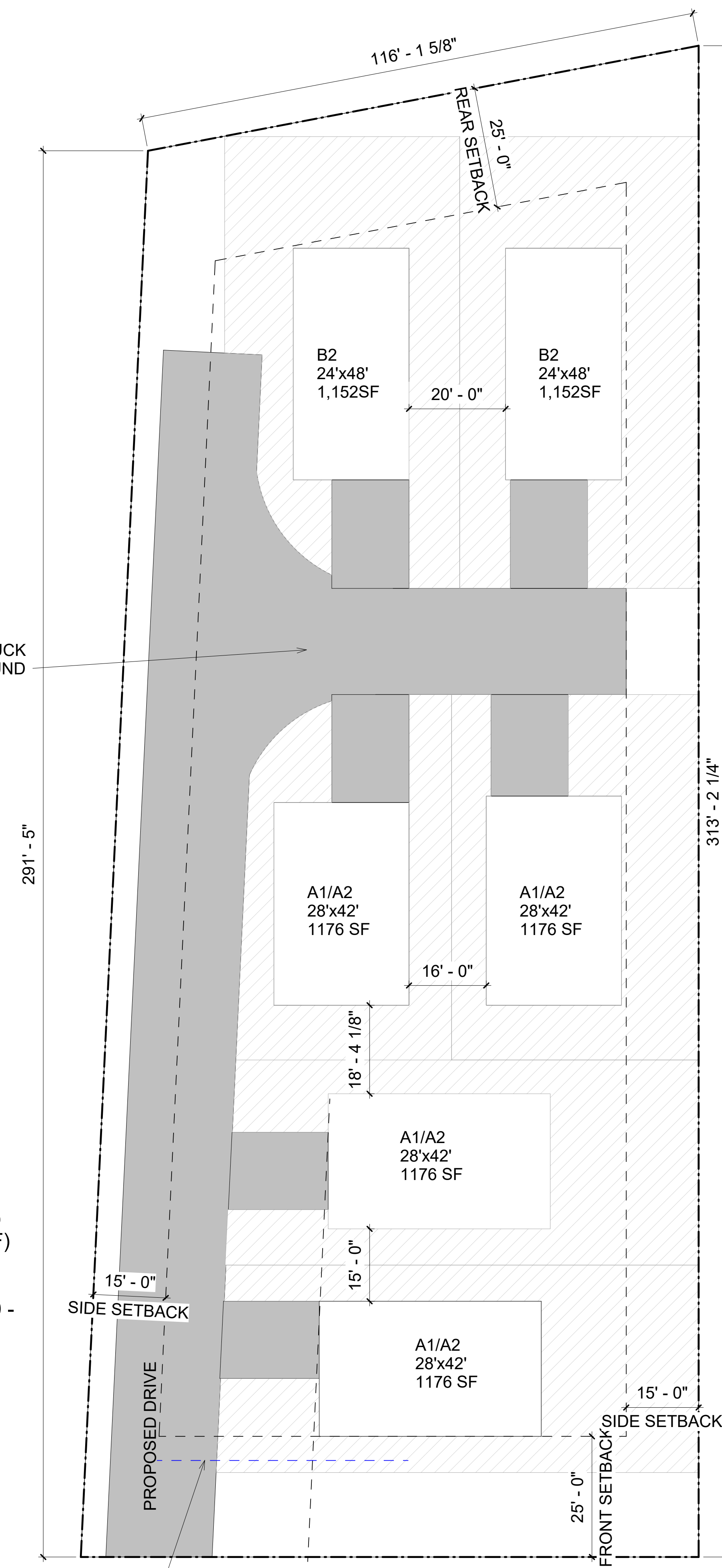
FIRE TRUCK TURN AROUND

SITE: 0.84 ACRE (36,590 SF)

ALLOWABLE BUILDING COVERAGE: 25% (9,147 SF)
PROPOSED BUILDING COVERAGE: 20.5% (7,482 SF)

MIN OPEN AREA: 40% (14,636 SF)
PROPOSED OPEN AREA: 49.7% (18,190 SF = 36,590 - 18,400)

FIRE TRUCK TURN AROUND



SITE: 0.84 ACRE (36,590 SF)

ALLOWABLE BUILDING COVERAGE: 25% (9,147 SF)
PROPOSED BUILDING COVERAGE: 19.2% (7,008 SF)

MIN OPEN AREA: 40% (14,636 SF)
PROPOSED OPEN AREA: 50.7% (18,549 SF = 36,590 - 18,041)

ESTIMATED EXISTING PROPERTY SETBACK



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: October 30, 2025

To: Planning Board

From: Carol Ogilvie, MRI, Interim Town Planner

Re: J. Caley Associates 97 Portsmouth Avenue PB Case #25-3

The Applicant has submitted site plan review and Shoreland Conditional Use Permit (CUP) applications for the proposed redevelopment of the property at 97 Portsmouth Avenue. The developer is proposing to demolish the existing Blue Ribbon Dry Cleaners building on the site and construct a four-story building with commercial on the first floor and 14 residential units in the top three floors, a three-season espresso bar in the front of the lot, and a paved patio between the two structures. The property is located in the C-2, Highway Commercial zoning district and is identified as Tax Map Parcel #65-125.

Following up after the October 23rd, 2025 Planning Board meeting, the Applicant has submitted revised plans and supporting documents, dated 10/30/25 for your review. These materials are included in the meeting packet. Staff are still in the process of reviewing the materials and I will provide an update at the meeting. The revised landscaping plan has not been received by the engineer as of yet but will be provided via email once it has been submitted (and hard copies will be provided for the meeting).

The Applicant is requesting two waivers from the Board's Site Plan Review and Subdivision Regulations as outlined in the waiver letters from Beals Associates, PLLC dated June 24, 2025 previously provided to the Board.

The Applicant presented their Shoreland Conditional Use Permit application to the Conservation Commission at their July 8th, 2025 meeting. The Commission voted unanimously to recommend approval of the Shoreland CUP with conditions. A memo from our Conservation & Sustainability Planner Kristen Murphy, dated 7/10/25, has previously been provided for review.

Following are draft motions for the two waiver requests, for the Shoreland Conditional Use Permit, and for the MUND Site Plan Review. I will have conditions of approval prepared for the meeting, should the Board decide to act on the application.

Waiver Motions:

Grading within 5 feet of exterior property line waiver motion: After reviewing the criteria for granting waivers, I move that the request of J. Caley Associates (PB #25-3) for a waiver from Section 9.3.6.4. of the Site Plan Review and Subdivision Regulations regarding grading within 5 feet of an exterior property line be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Sidewalk waiver motion: After reviewing the criteria for granting waivers, I move that the request of J. Caley Associates (PB Case #25-3) for a waiver from Section 6.19.5.E.3. of the Zoning Ordinance (MUND Design Standards – Property Frontage) to permit the proposed sidewalk to be less than eight-feet (8') in width be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Planning Board Motions:

Table /Continuance Motion: I move that the application of J. Caley Associates (PB Case #25-3) be CONTINUED to the (date/time/place) Planning Board meeting and revised plans/documents shall be submitted to the Planning Office at least eight (8) days prior to the meeting or the application may remain on the table to a future meeting.

Conditional Use Permit (Shoreland) Motion: After reviewing the criteria for a Shoreland Conditional Use permit, I move that the request of J. Caley Associates (PB Case #25-3) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Mixed Use Neighborhood Development (MUND) Site Plan Motion: I move that the request of J. Caley Associates (PB Case #25-3) for Site Plan approval of the proposed MUND project be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enclosures

MIXED-USE SITE PLAN
97 PORTSMOUTH AVE.
(NH ROUTE 108)
TAX MAP 65, LOT 125
APRIL 29, 2025

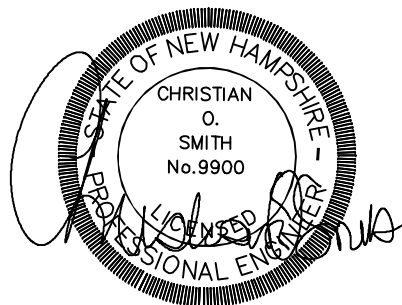
NOT FOR CONSTRUCTION

DRAWING INDEX

CIVIL ENGINEERS:



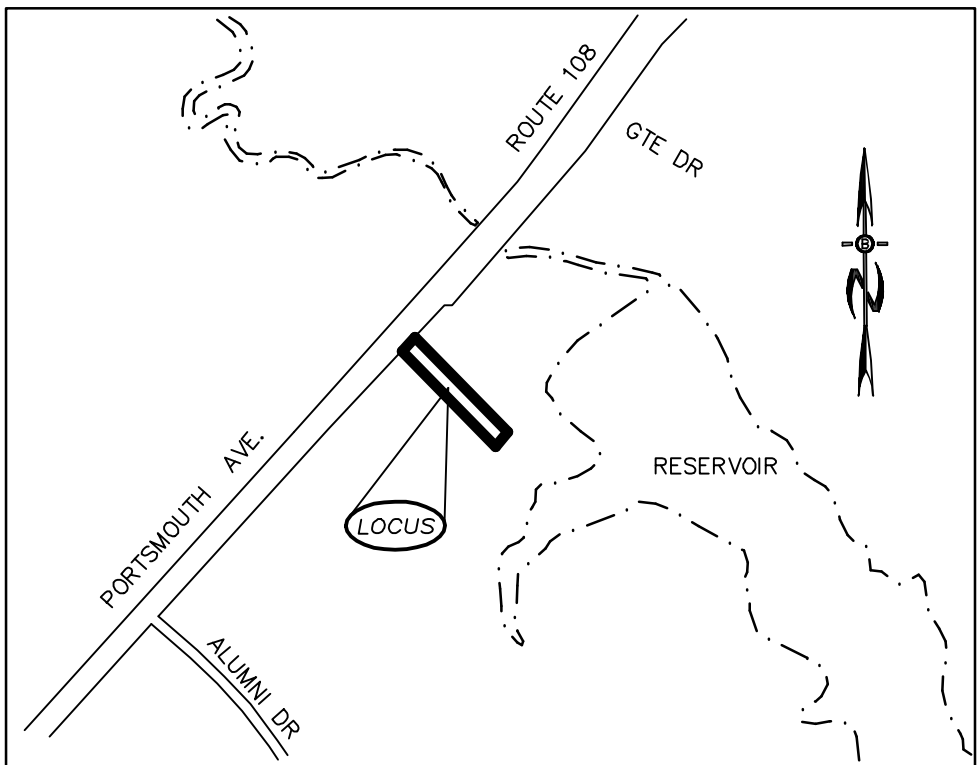
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



LAND SURVEYORS:

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
603-332-2863

LOCATION MAP



SHEET #	TITLE
	COVER SHEET
1-2	EXISTING CONDITION PLANS (BERRY SURVEY)
3	DEMOLITION PLAN
4	SITE PLAN
5	GRADING, DRAINAGE, & EROSION CONTROL PLAN
6	UTILITY PLAN
7	LIGHTING PLAN
8	PLANTING PLAN
9	EROSION & SEDIMENT CONTROL DETAILS
10-11	CONSTRUCTION DETAILS

PLAN SET LEGEND

5/8" REBAR	●	VGC	VERTICAL GRANITE CURB
DRILL HOLE	○	OVERHEAD ELEC. LINE	—X—
CONC. BOUND	□	FENCING	—X—
UTILITY POLE	⊙	DRAINAGE LINE	—D—
DRAIN MANHOLE	⊗	SEWER LINE	—S—
SEWER MANHOLE	⊕	GAS LINE	—G—
EXISTING LIGHT POLE	☆	WATER LINE	—W—
EXISTING CATCH BASIN	⊞	STONE WALL	—W—
PROPOSED CATCH BASIN	⊞	TREE LINE	—W—
WATER GATE	⊞	ABUT. PROPERTY LINES	—W—
WATER SHUT OFF	⊞	EXIST. PROPERTY LINES	—W—
HYDRANT	⊞	BUILDING SETBACK LINES	—W—
PINES, ETC.	⊞	EXIST. CONTOUR	—W—
MAPLES, ETC.	⊞	PROP. CONTOUR	—W—
EXIST. SPOT GRADE	⊞	SOIL LINES	—W—
PROP. SPOT GRADE	⊞		
DOUBLE POST SIGN	⊞		
SINGLE POST SIGN	⊞		

RECORD OWNER

BLUE FIELDS PROPERTY
97 PORTSMOUTH AVE.
EXETER, NEW HAMPSHIRE

RECORD APPLICANT

JEFF CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM, NEW HAMPSHIRE

REQUIRED PERMITS

NHDES SEWER CONNECTION
NHDES WATER CONNECTION

WETLAND/SOIL CONSULTANT:

JOHN P. HAYES, CSS CWS
7 LIMESTONE WAY
N. HAMPTON, NH 03862
603-205-4396
JOHNPHAYES@COMCAST.NET

PB CASE # 25-3

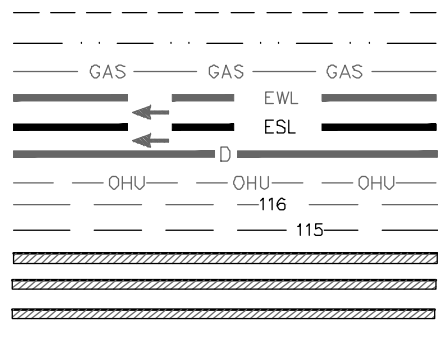
CHAIRMAN SIGNATURE:

	REVISIONS:	DATE:
1	REVISED OVERALL LAYOUT	06/06/25
2	REVISED PER TRC REVIEW	06/19/25
3	REVISED PER PB REVIEW & INPUT	08/18/25
4	REVISED PER ENGINEERING REVIEW	08/27/25
5	REVISED PER PB REVIEW	09/03/25
6	REVISED PER PB REVIEW	10/28/25

NH-1547 PROPOSED MIXED-USE SITE PLAN

PLAN REFERENCES:

- "PLAN OF LAND FOR SYLVANIA ELECTRIC PRODUCTS INC. EXETER NEW HAMPSHIRE"
BY: G.L. DAVIS
DATED: DECEMBER 1962
R.C.R.D. FOLDER #1, PLAN #1
- "LAND EXETER, N.H. WAYNE M. COLBY TO EXETER REALTY CORP."
BY: JOHN W. DURGIN CIVIL ENGINEERS
DATED: APRIL, 1955
R.C.R.D. BOOK #1279, PAGE #161
- "POLE LINE OVER LAND OF EXETER REALTY CORPORATION"
BY: EXETER & HAMPTON ELEC. CO.
DATED: MARCH 28, 1962
R.C.R.D. BOOK #1623, PAGE #156
- "SUBDIVISION OF LAND LAND OF BENJAMIN J. & JOAN E. DAGOSTINO OPTIONED BY HARRY F. MCCLAIN EXETER, N.H."
BY: MCKENNA ASSOCIATES
DATED: JULY 1, 1971
R.C.R.D. PLAN #D-2540
- "SUBDIVISION PLAN OF LAND IN EXETER, NEW HAMPSHIRE FOR FIRST DEVELOPMENT CORP. OF GORHAM, N.H."
BY: SOMERVILLE ENGINEERING INC.
DATED: NOVEMBER 14, 1972
R.C.R.D. PLAN #D-3445
- "SUBDIVISION OF LAND OF TOWN OF EXETER FOR JOHN FLYNN IN EXETER, N.H."
BY: PARKER SURVEY ASSOC., INC.
DATED: APRIL, 1981
R.C.R.D. PLAN #D-10196
- "SITE PLAN PROPOSED ADDITIONS GLOBE STORE EXETER N.H. FOR FIRST DEVELOPMENT CORP 451 ANDOVER STREET NO. ANDOVER MA"
BY: GREAT BAY ENGINEERING
DATED: AUGUST, 1987
R.C.R.D. PLAN #D-20867
- "LOT LINE ADJUSTMENT PLAN EXETER HOSPITAL NEW HEALTH CARE CENTER EXETER, NEW HAMPSHIRE"
BY: KIMBALL CHASE
DATED: AUGUST 21, 1991
R.C.R.D. PLAN #D-21261
- "A SURVEY AND PLAT OF A CONDOMINIUM SITE PLAN OF MCCLAIN MANOR SITUATED IN THE TOWN OF EXETER, N.H. PREPARED FOR MCCLAIN MANOR CONDOMINIUM ASSOC."
BY: R.S.L. LAYOUT & DESIGN, INC.
DATED: OCTOBER 13, 1997
R.C.R.D. PLAN #D-25840
- "SEWER EASEMENT PLAN THE PROVIDENT BANK 95 PORTSMOUTH AVENUE, EXETER, NH 03833"
BY: JONES & BEACH ENGINEERS, INC.
DATED: MAY 25, 2010
R.C.R.D. PLAN #D-36632
- "BENJAMIN J. & JOHN E. DAGOSTINO, ALTAT/ACSM LAND TITLE SURVEY FOR EXISTING SITE CONDITIONS PLAN"
BY: JONES AND BEACH ENGINEERS, INC.
DATED: APRIL 25, 1997
NOT RECORDED. ON FILE AT THIS OFFICE



699

- FND FOUND
TYP TYPICAL
E.O.P. EDGE OF PAVEMENT
S.S.W.L. SINGLE SOLID WHITE LINE
D.S.Y.L. DOUBLE SOLID YELLOW LINE
D.D.Y.L. DOUBLE DASHED YELLOW LINE
R.C.R.D. ROCKINGHAM COUNTY REGISTRY OF DEEDS

JURISDICTIONAL WETLANDS WERE DELINEATED BY JOHN P. HAYES III, CWS IN DECEMBER 10 OF 2024 UTILIZING THE FOLLOWING STANDARDS UNDER NO SNOW CONDITIONS:

- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEIWPCC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0. (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST, 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES: DECEMBER 1979. L. COWARDIN, V. COWARDIN, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/47.



JOHN P. HAYES III, CWS #18

UTILITY NOTE:

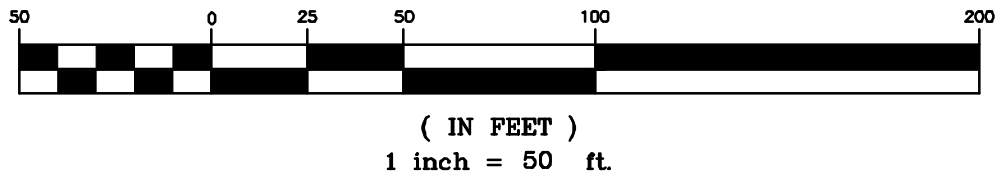
THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

SOILS:

699 - URBAN LAND
299 - UDOTHERENTS, SMOOTHED
38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOL

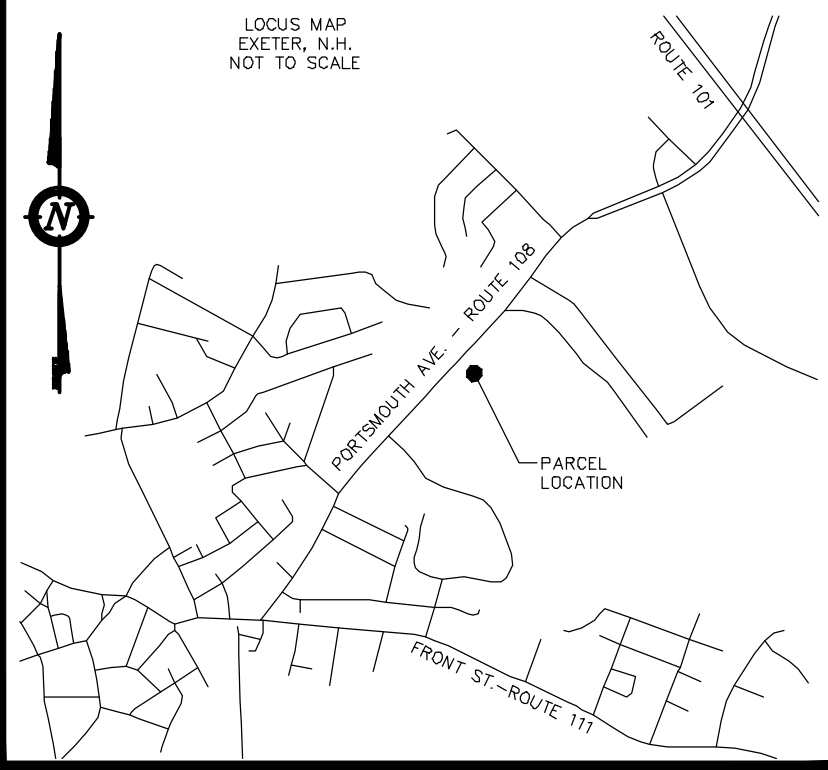
GRAPHIC SCALE



THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE



NOTES:

- OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC
97 PORTSMOUTH AVENUE
EXETER, NH 03833
- APPLICANT: J. CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM, NH 03885
- TAX MAP 65, LOT 125
PROJECT ADDRESS: 97 PORTSMOUTH AVENUE
- R.C.R.D. BOOK 4037, PAGE 1872
SEE R.C.R.D. BOOK 2540, PAGE 2971
- LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- ZONING: C-2, HIGHWAY COMMERCIAL DISTRICT
MIN. LOT SIZE: 20,000 Sq.Ft.
MIN. LOT WIDTH: 150'
MIN. LOT DEPTH: 100'
MAX. BUILDING HEIGHT: 35'
50' PERMITTED BY SPECIAL EXCEPTION
FRONT BUILDING SETBACK: 50'
SIDE BUILDING SETBACK: 20'
REAR BUILDING SETBACK: 50'
20' PERMITTED BY SPECIAL EXCEPTION
MAX. BUILDING COVERAGE: 30%
MIN. OPEN SPACE: 15%
WETLANDS CONSERVATION DISTRICT
LIMITED USE BUFFER: 40'
PARKING AND STRUCTURE BUFFER: 75'
EXETER SHORE LAND PROTECTION OVERLAY
SHORE LAND PROTECTION ZONE: 300'
BUILDING SETBACK: 150'
VEGETATIVE BUFFER: 75'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REFERENCE: FEMA, COMMUNITY # - 330130, MAP # - 33015C0406E, DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRK7 SURVEY GRADE GPS RECEIVERS. TOPOGRAPHY PROVIDED BY BS&E AT A 1' CONTOUR INTERVAL UTILIZING CONVENTIONAL SURVEY METHODS, RTK SURVEY GRADE GPS, AND PENTA-RETURN LIDAR OBTAINED FROM AN RTK ENABLED SURVEY GRADE DRONE, WITH FIELD VERIFICATION.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 65, LOT 125 AS OF THE DATE OF THE SURVEY: DECEMBER 2024.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- A DILIGENT RESEARCH EFFORT FOUND SEVERAL EASEMENTS ENCUMBERING THE PROJECT SITE, AND FOUND THAT THE SITE IS BENEFITED BY EASEMENTS. THERE MAY BE RECORDED AND UNRECORDED RIGHTS THAT WERE NOT FOUND DURING THE RESEARCH EFFORT. SEE EASEMENT NOTES SECTION OF THIS PLAN.
- THERE WERE NO CEMETERIES FOUND ONSITE DURING THE GROUND SURVEY PERFORMED UNDER NO SNOW CONDITIONS IN DECEMBER OF 2024. NO CEMETERIES ARE MENTIONED IN THE SUBJECT PARCELS CHAIN OF TITLE.

REVISED PER TRC REQUEST
REVISED PER TRC REQUEST

REVISION DATE

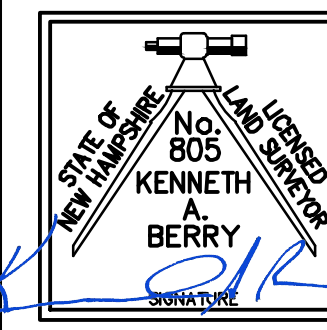
8-27-25
6-20-25

#2
#1

OVERVIEW EXISTING CONDITIONS PLAN
LAND OF
BLUE FIELDS PROPERTY MANAGEMENT LLC
97 PORTSMOUTH AVENUE
EXETER, N.H.
TAX MAP 65, LOT 125

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

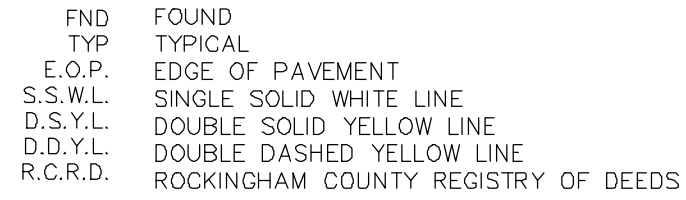
SCALE : 1 IN. EQUALS 50 FT.
DATE : DECEMBER 12, 2024
FILE NO. : DB 2024 - 140





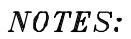
7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

- IRON BOUND/IRON ROD/REBAR (FND OR SET)
- IRON PIPE (FND)
- ⊕ PK NAIL (SET)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- ⬢ TEMPORARY BENCHMARK (TBM)
- ⌘ CURB STOP
- ⌘ GATE VALVE
- ⌘ FIRE HYDRANT
- ⌘ GAS VALVE
- ⌘ CATCH BASIN
- ⌘ DRAIN MANHOLE
- ⌘ SEWER MANHOLE
- ⌘ MONITORING WELL



#6 SEE LEASE AGREEMENT R.C.R.D. BOOK 1879, PAGE 110
(NOT A MATTER OF SURVEY)

10.) SEE OVERVIEW EXISTING CONDITIONS PAGE FOR COMPLETE NOTES AND ABUTTERS.



- 1.) OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC
97 PORTSMOUTH AVENUE
EXETER, NH 03833
- 1A.) APPLICANT: J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM, NH 03885
- 2.) TAX MAP 65, LOT 125
PROJECT ADDRESS: 97 PORTSMOUTH AVE.
- 3.) R.C.R.D. BOOK 4037, PAGE 1872
SEE R.C.R.D. BOOK 2540, PAGE 2971
- 4.) LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- 5.) ZONING: C-2, HIGHWAY COMMERCIAL DISTRICT

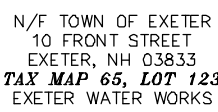
MIN. LOT SIZE: 20,000 Sq.Ft.
MIN. LOT WIDTH: 150'
MIN. LOT DEPTH: 100'
MAX. BUILDING HEIGHT: 35'
50' PERMITTED BY SPECIAL EXCEPTION
FRONT BUILDING SETBACK: 50'
SIDE BUILDING SETBACK: 20'
REAR BUILDING SETBACK: 50'
20' PERMITTED BY SPECIAL EXCEPTION
MAX. BUILDING COVERAGE: 30%
MIN. OPEN SPACE: 15%

WETLANDS CONSERVATION DISTRICT

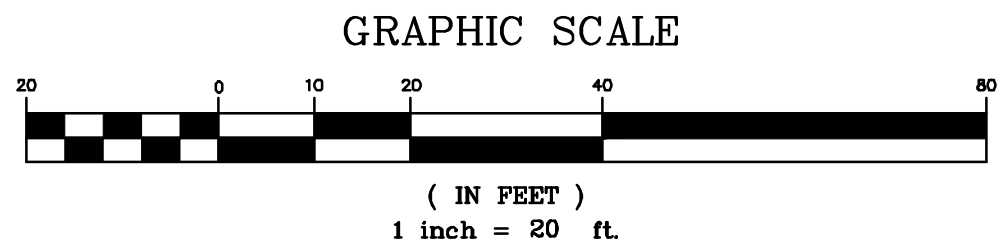
LIMITED USE BUFFER: 40'
PARKING AND STRUCTURE BUFFER: 75'

EXETER SHORE LAND PROTECTION OVERLAY

SHORE LAND PROTECTION ZONE: 300'
BUILDING SETBACK: 150'
VEGETATIVE BUFFER: 75'



EXETER PLAZA REALTY TRUST
7 HERITAGE WAY
EXETER, NH 03833
TAX MAP 65, LOT 122
R.C.R.D. BOOK 3237, PAGE 852
COMMERCIAL USE



THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE
RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A
SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE
LINES OF STREETS AND WAYS SHOWN ARE THOSE OF
PUBLIC OR PRIVATE STREETS OR WAYS ALREADY
ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

699 - URBAN LAND
299 - UDORTHENTS, SMOOTHED
38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES

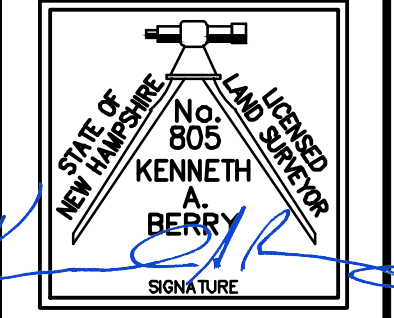
SEE: USDA/NRCS WEBSOIL

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

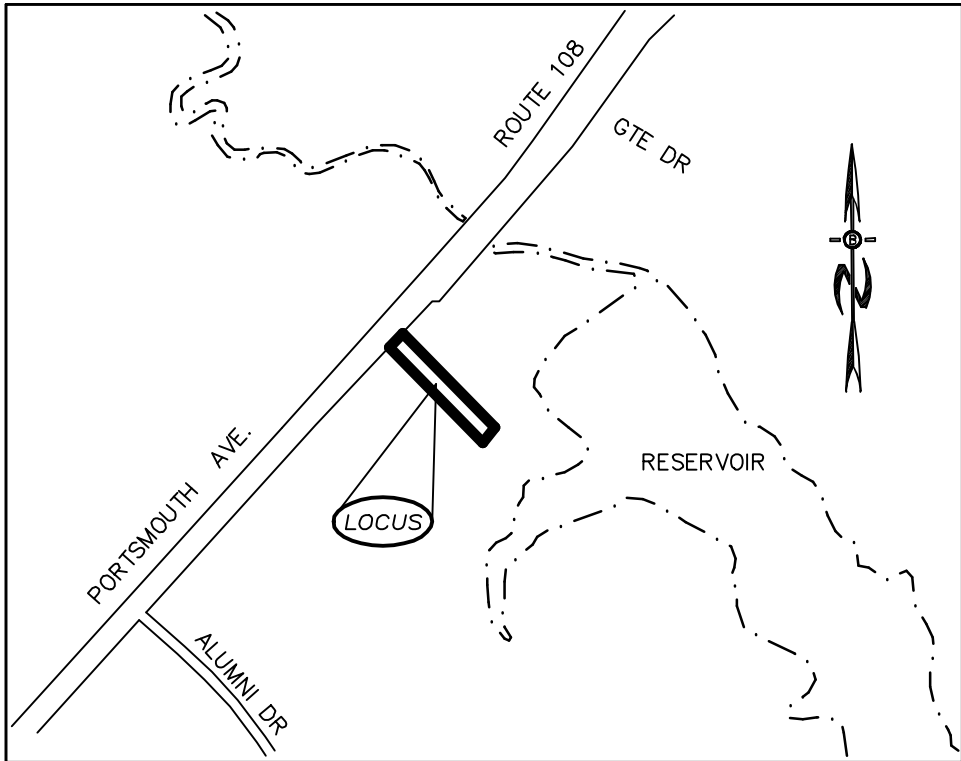
#2	8-27-25	REVISED PER TRC REQUEST
#1	6-20-25	REVISED PER TRC REQUEST
REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS PLAN
LAND OF
BLUE FIELDS PROPERTY MANAGEMENT LLC
97 PORTSMOUTH AVENUE
EXETER, N.H.
TAX MAP 65, LOT 125

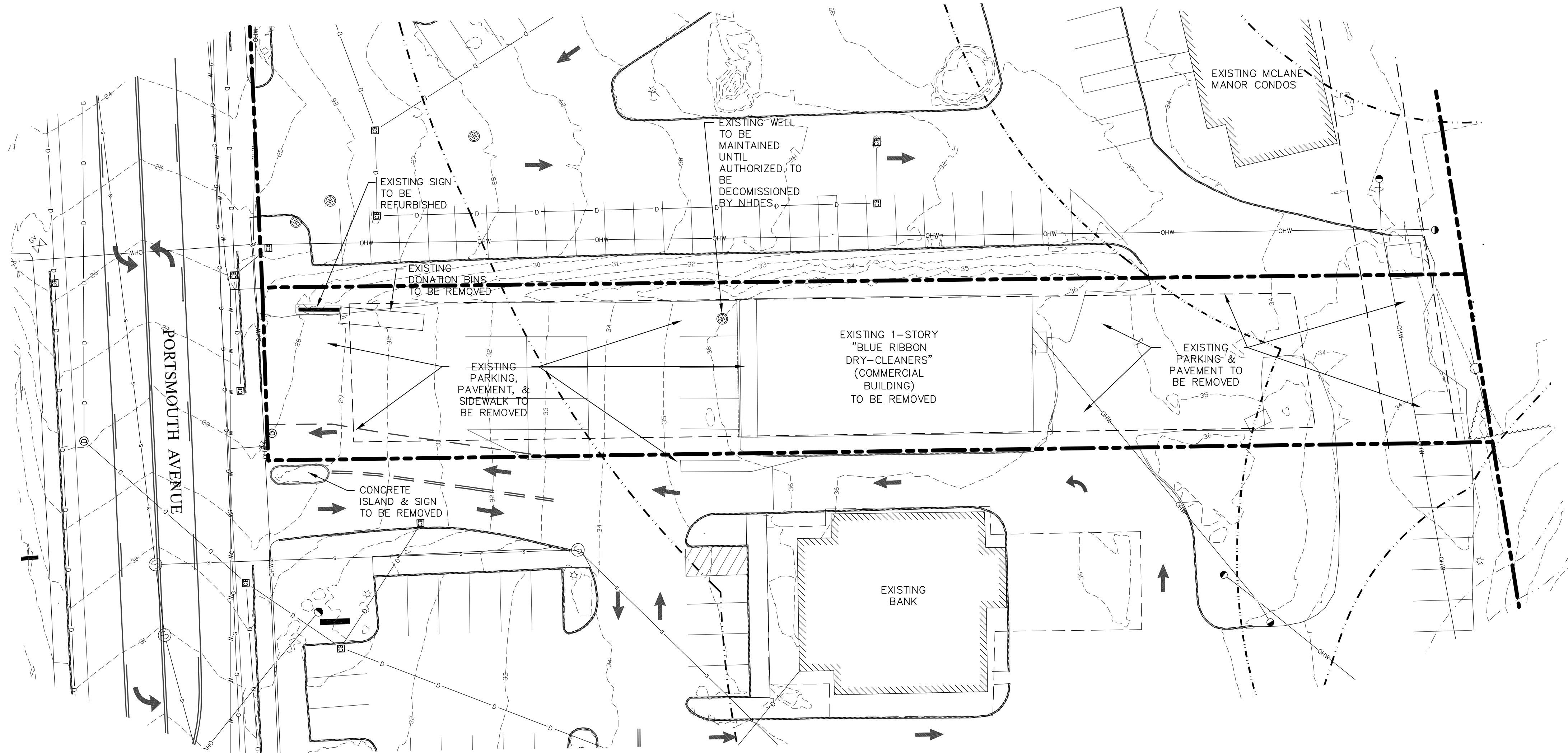
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : DECEMBER 12, 2024
 FILE NO. : DB 2024 - 140



SHEET 2 OF

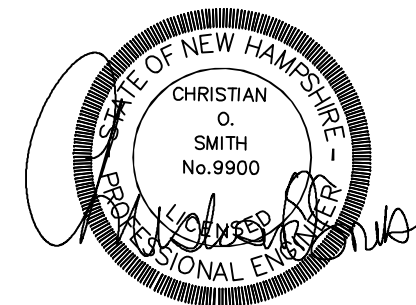


LOCATION MAP
1"=500'

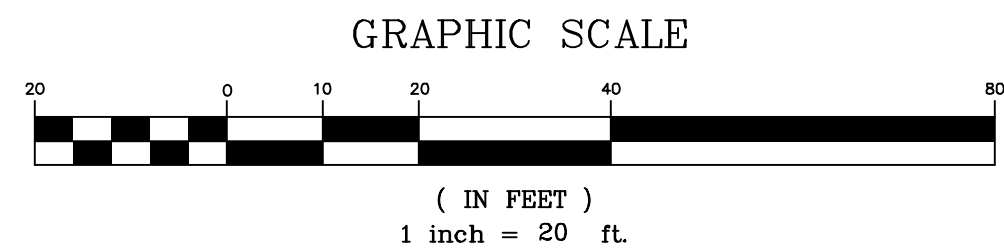


NOTES

- ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE, AND UTILITY COMPANY STANDARDS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES.
- EXISTING SEWER SERVICE AND APPURTENANCES TO BE REMOVED AND DISPOSED OF PER TOWN AND STATE REQUIREMENTS. NEW SERVICES FOR EACH UNIT TO BE INSTALLED & CONNECTED PER TOWN SPECIFICATIONS. SEQUENCING AND SCHEDULING: (SEE DETAIL SHEETS FOR COMPLETE CONSTRUCTION SEQUENCE AND EROSION CONTROL SPECIFICATION.)
- DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH THE GOVERNING LAWS. PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL.
- LEAVE SITE IN CLEAN CONDITION.
- TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING DRIVEWAY), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.



REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:



DEMOLITION PLAN

MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	3

TOWN NOTES

1. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
2. THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM TRUCK TRAFFIC AND TRUCKS AND TRAILERS. THE VEHICLE IS THE EXETER LADDER TRUCK OR "55' BOX TRUCK" EITHER DELIVERING TO OR USING THE PROPERTY.
3. ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.
4. ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.
5. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION CONTROL. THE TOWN ENGINEER SHALL PROVIDE INSTRUCTIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

ZONING DISTRICT - HIGHWAY COMMERCIAL (C2)
MINIMUM LOT SIZE - 20,000 S.F.
MINIMUM LOT WIDTH - 150 FT.
MINIMUM LOT DEPTH - 100 FT.

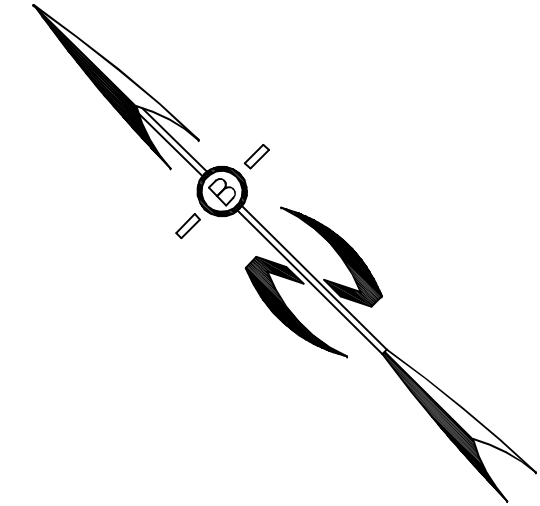
FRONT 50 FT.
SIDE 20 FT.
REAR 50 FT.
BUILDING HEIGHT 35 FT.
(50' BY SPECIAL EXCEPTION)
MAXIMUM BUILDING COVERAGE = 18.4%
EXISTING-18.4%, PROPOSED-18.4%
MINIMUM OPEN SPACE = 15%
EXISTING-12.4%, PROPOSED-21%

EXISTING-12
REQUIRED:
14 RES UNITS x1/PER (MUND) = 14
COFFEE SHOP/ESPRESSO BAR 18 SEATS/1/3-SEATS = 6
TOTAL REQUIRED = 20
PROPOSED-21 (1-HC)

ZONING OVERLAY – MUND
MINIMUM LOT SIZE – 20,000 S.F.
MINIMUM LOT WIDTH – 150 FT.
MINIMUM LOT DEPTH – 100 FT.

FRONT 0, MAX. 25 FT.

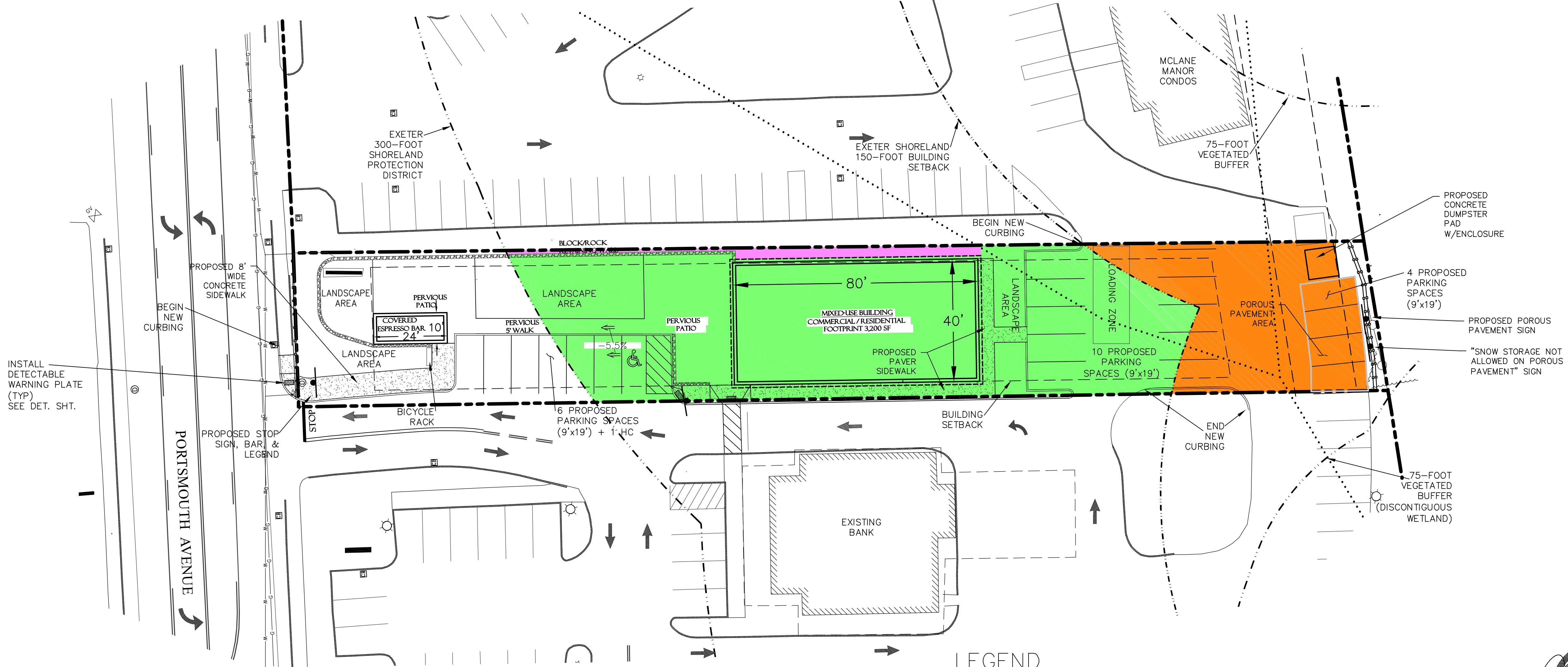
BUILDING HEIGHT 50 FT.



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FAX. 603-583-4863



LEGEND

1. THE PURPOSE OF THIS PLAN IS TO SHOW TWO 4-STORY BUILDINGS (1 MIXED USE AND 1 RESIDENTIAL) WITH ASSOCIATED PARKING SPACES.
2. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
3. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND STORMWATER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
4. IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 9.3.4 THE APPLICANT SHALL SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND SHALL ENSURE THAT ONE COPY REMAINS ON SITE.
5. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS UNLESS A VARIANCE IS OTHERWISE GRANTED.
6. TOTAL PROPOSED DISTURBANCE FOR CONSTRUCTION = 0.4+ ACRES.
7. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN SIGNED AND SEALED BY THE APPLICANT THAT MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
8. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR DEPTHS HAVE BEEN DETERMINED BY THE APPLICANT. THE APPLICANT HAS ASSUMED RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO CONSTRUCTION WORK.
9. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS, ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE TOWN ENGINEER.
10. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.

	<u>0-150 FOOT</u>	<u>150-300 FOOT</u>
TEMPORARY IMPACTS	121 SF	189 SF
PERMANENT IMPACTS	3,106 SF	10,326 SF

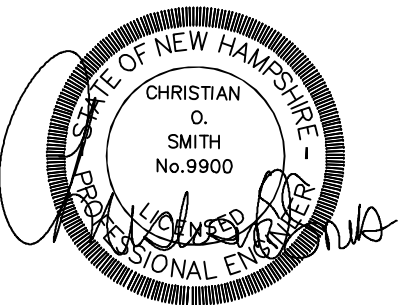
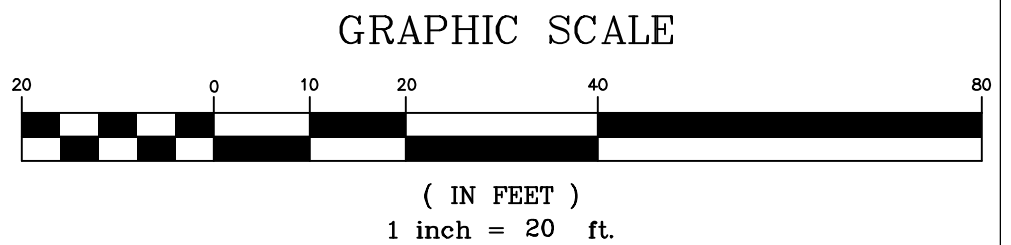
TOTAL PARCEL AREA IN EXETER SHORELAND SETBACK = 13,334 SF

	<u>EXISTING</u>	<u>PROPOSED</u>
SF IMPERVIOUS	10,595 SF	9,400 SF
% IMPERVIOUS	79.5%	70.5%

PERMANENT SHORELAND
IMPACT (150'-300')

PERMANENT SHORELAND
IMPACT (0'-150')

TEMPORARY SHORELAND IMPACT
(150'-300')



SITE PLAN

MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

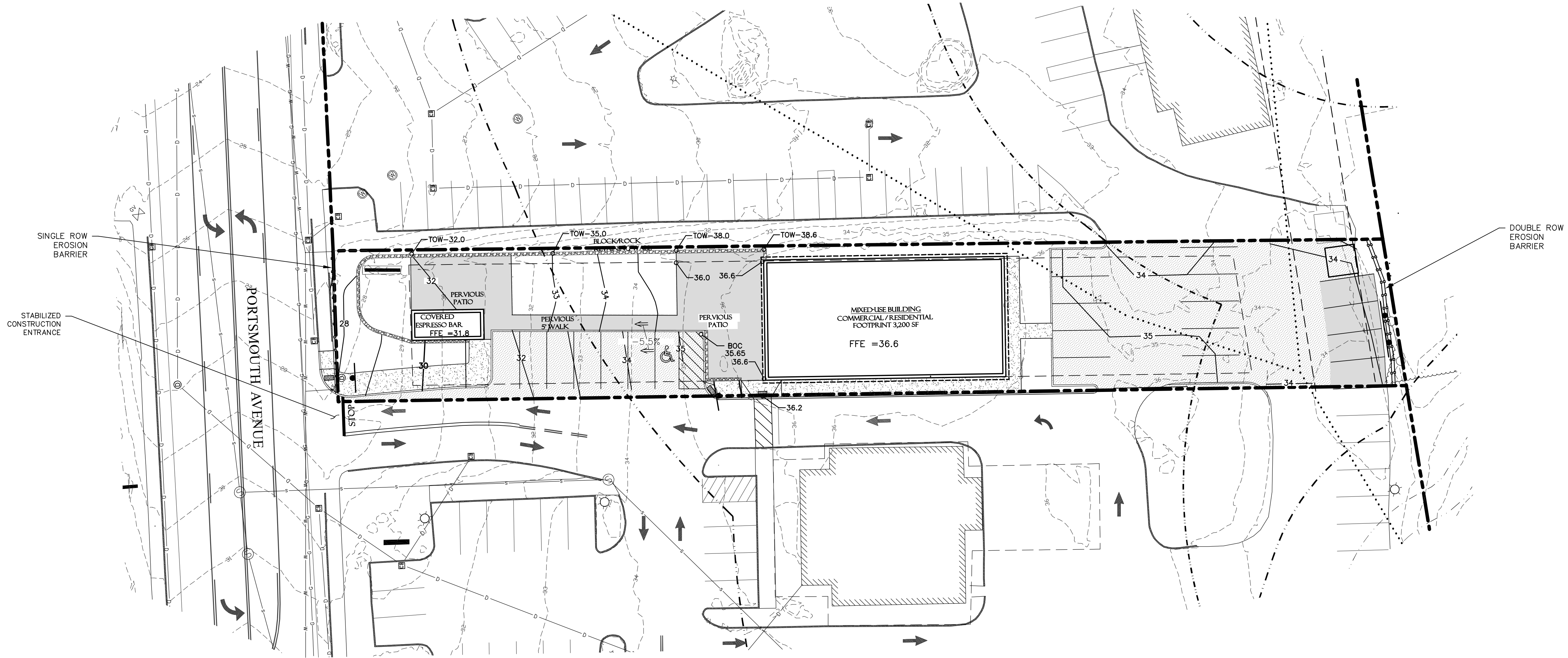
		MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125	
REVISED PER PB REVIEW	10/28/25	DATE:	APRIL 29, 2025
REVISED PER PB REVIEW & INPUT	08/18/25	PROJ. NO:	NH-1547
REVISED PER TRC REVIEW	06/19/25	SCALE:	1" = 20'
REVISED OVERALL LAYOUT	06/06/25	SHEET NO.	4
REVISIONS:	DATE:		

SOIL INFORMATION WAS OBTAINED FROM USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS):

SOIL IDENTIFICATION LEGEND:

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
38B	ELDRIDGE FINE SANDY LOAM	C/D
299	UDORTHENTS, SMOOTHED	
699	URBAN LAND	

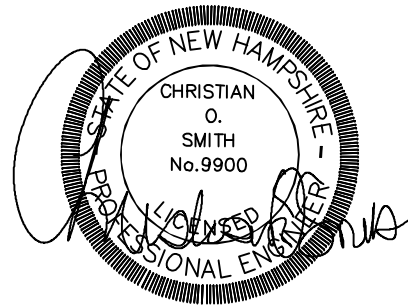
SLOPE PHASES:
A=0-3%, B=3-8%, C=8-15%, D=15-25%, E=25%+



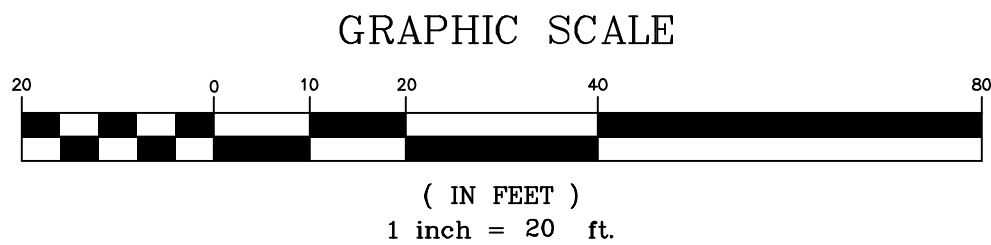
UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

NOTES:

- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



REVISED PER PB REVIEW	10/28/25
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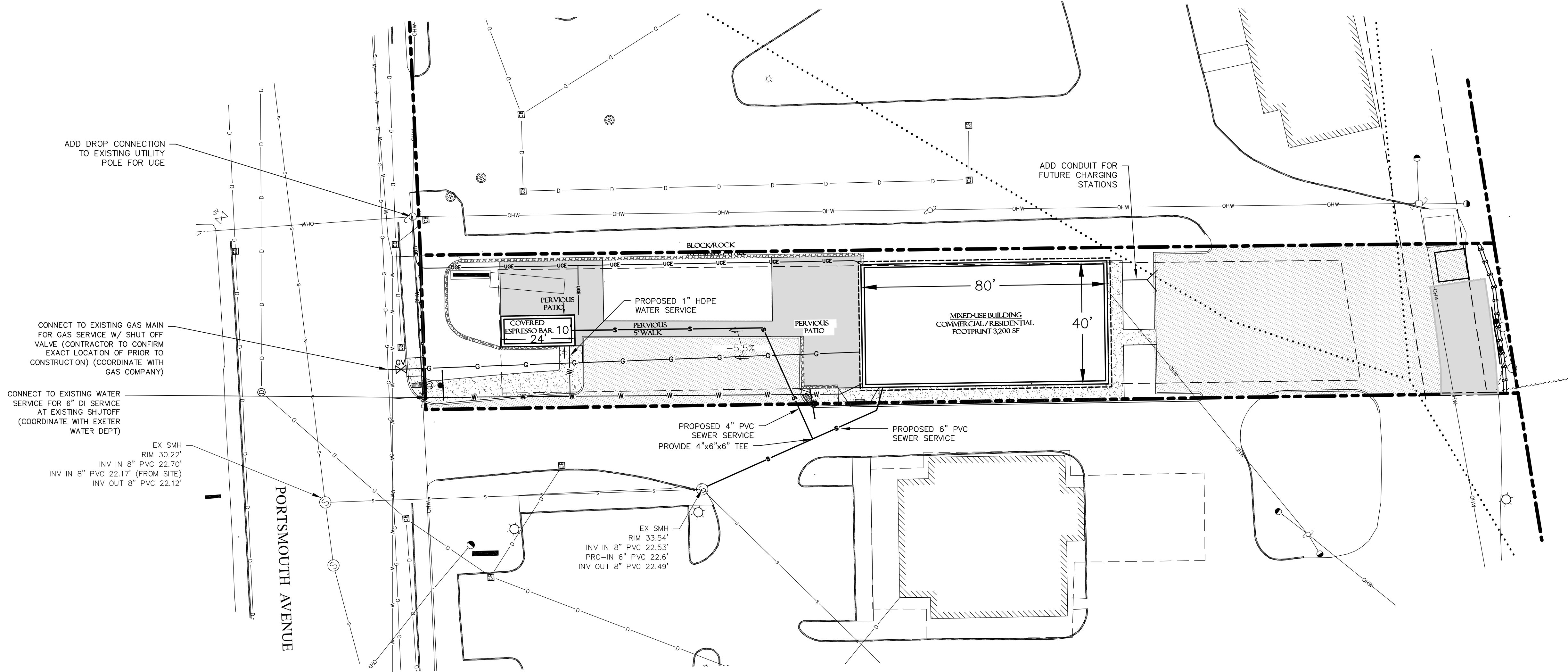
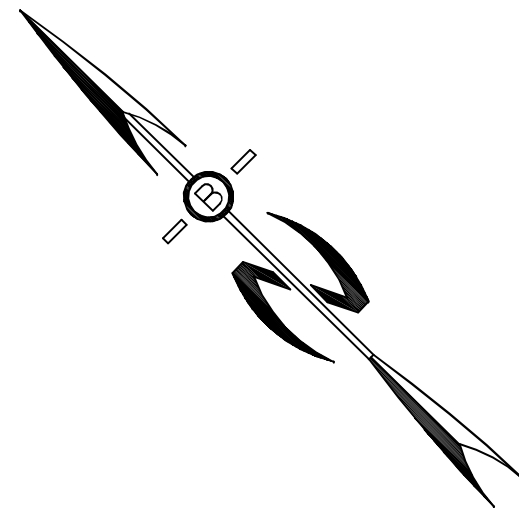


GRADING, DRAINAGE, & EROSION CONTROL PLAN		
MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125		
DATE:	APRIL 29, 2025	SCALE: 1" = 20'
PROJ. NO:	NH-1547	SHEET NO. 5

UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES, AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE NOTICE TO ALL COMPANIES AND LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH, OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE SPECIFICATIONS FOR PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR PROPER UTILITY CROSSING REQUIREMENTS PRIOR TO CONSTRUCTION.
4. PRIOR TO THE PRE-CONSTRUCTION MEETING UGEAT PLANS FROM THE UTILITY COMPANIES NEED TO BE REDRAWN ON THIS SHEET. ADDITIONALLY THE CONTRACTOR NEEDS TO HAVE A COMPLETED SWPPP. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO EXETER STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR (OSHA) RULES AND REGULATIONS. BUILDINGS ARE TO BE SERVED BY UNDERGROUND UTILITIES.
6. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS (IF REQUIRED) IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
7. WATER LINE SHALL BE INSTALLED UNDER ALL UTILITY LINES WITH A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN UTILITIES AT CROSSINGS.
8. AN AS-BUILT PLAN IS TO BE PREPARED AND SUBMITTED TO DEPARTMENT OF PUBLIC WORKS IN DIGITAL (.DWG AND .PDF) AND MYLAR FORMATS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL CONNECTION FEES.
10. SANITARY SEWER FLOW CALCULATIONS:
24 UNITS AT 2 BEDROOMS EACH= 48 BEDROOMS
ESTIMATED FLOW AT 150 GPD/BEDROOM= 7,200 GPD
FOOD SERVICE WITH 70 SEATS AND 3 EMPLOYEES
ESTIMATED FLOW AT 40 GPD/SEAT = 2,800 GPD + 20 GPD/EMPLOYEE = 60 GPD = 2,860 GPD
TOTAL ESTIMATED FLOW = 10,060 GPD

11. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY CAP AND WITNESS AT END.
12. THRUST BLOCKS SHALL BE PROVIDED AT ALL WATER LINE BENDS, TEES, AND MECHANICAL JOINTS.
13. CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO EXISTING WATER SERVICES AND ALL REQUIREMENTS OF EXETER WATER DEPARTMENT SHALL BE FOLLOWED REGARDING NOTIFICATION OF INTERRUPTION OF SERVICE (MIN 48 HOURS). TEE INSTALLATION MAY NEED TO BE CONDUCTED AT NIGHT AS DIRECTED BY EXETER WATER DEPT.
14. WATER VALVES ARE TO BE OPERATED ONLY BY MUNICIPAL STAFF.
15. THE INSTALLATION OF SMOKE, HEAT, FIRE, OR CARBON MONOXIDE ALARMS OR SYSTEMS SHALL COMPLY WITH NFPA 72 REQUIREMENTS.
16. ALL SEWER SERVICE BENDS SHALL HAVE CLEANOUTS INSTALLED.
17. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LINES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
18. THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

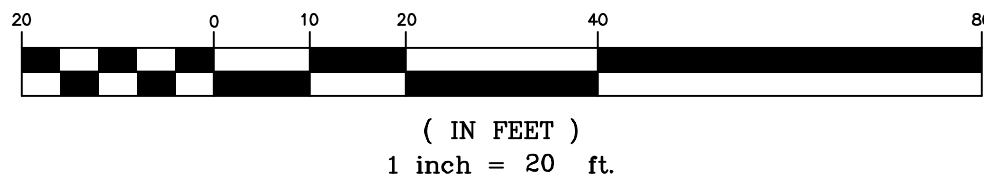
PREPARED FOR:

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GRAPHIC SCALE



UTILITY PLAN

MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	6

REVISED PER PB REVIEW	10/28/25
REVISED PER ENGINEERING REVIEW	08-27-25
REVISED PER PB REVIEW & INPUT	08/18/25
REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:



POLE MOUNT
(P4A, P4B, P2)



WALL MOUNT
(SL1)



WALL MOUNT
(W1)



BOLLARD MOUNT
(B1)

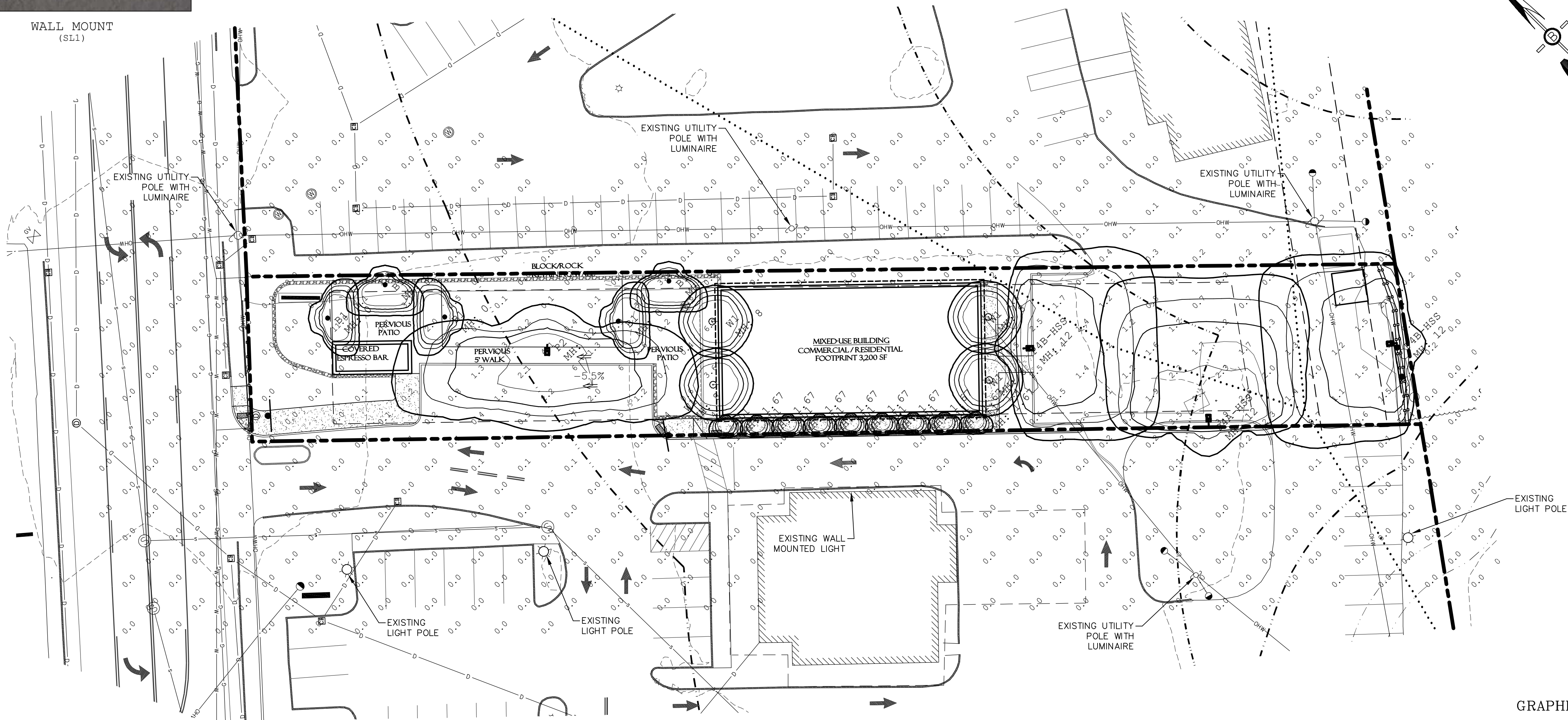
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	LLF Luminaire Lumens
	5	B1	Single	COOPER: BRT6-A2-830-U-T3-36-CXX		0.900 854
	1	P4A-HSS	Single	COOPER: GALN-SALC-830-U-T4FT-CXX-HSS	MTD 12' AFG ON 12' COOPER POLE: SSS-12-4-11-AB-N1-CXX	0.900 4071
	2	P4B-HSS	Single	COOPER: GALN-SALC-830-U-T4FT-CXX-HSS	MTD 12' AFG ON 12' COOPER POLE: SSS-12-4-11-AB-N1-CXX	0.900 2648
	1	P2	Single	COOPER: GALN-SALC-830-U-SL2-CXX	MTD 12' AFG ON 12' COOPER POLE: SSS-12-4-11-AB-N1-CXX	0.900 3670
	9	SL1	Single	BRUCK: EXT-PZ1-30K-80-UNV-CXX	WALL MTD 20 INCHES AFG	0.900 130
	4	W1	Single	TMS: 10W-O-15LED-30K-VXX-WM-CXX-DIML-W12	WALL MTD 8' AFG	0.900 1090

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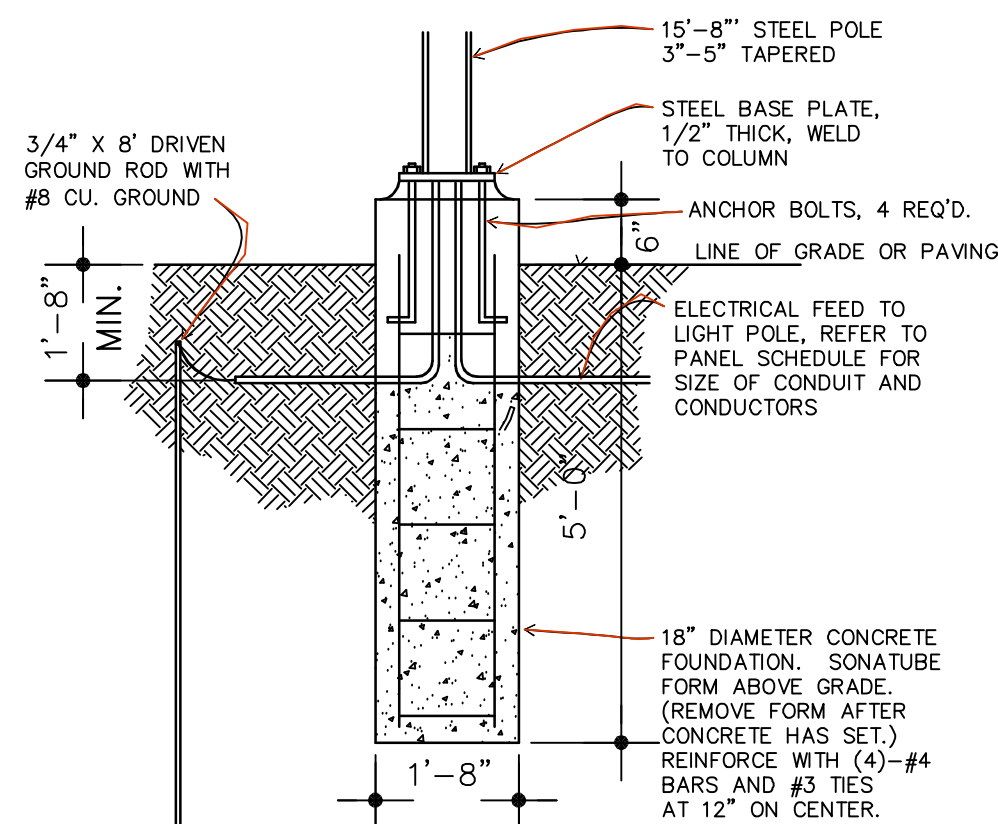
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LIGHTING NOTES:

- ALL OUTDOOR LIGHTING SHALL BE SO DIRECTED & SHIELDED THAT NO GLARE WILL SPILL OUT ONTO RESIDENTIALLY ZONED ABUTTERS
- AFTER 10:00 PM ONLY THAT AMOUNT OF LIGHT NECESSARY FOR THE SECURITY OF THE PREMISES SHALL BE PERMITTED.



POLE FOUNDATION

LIGHT BASE DETAIL
SCALE: NONE

LIGHTING PLAN

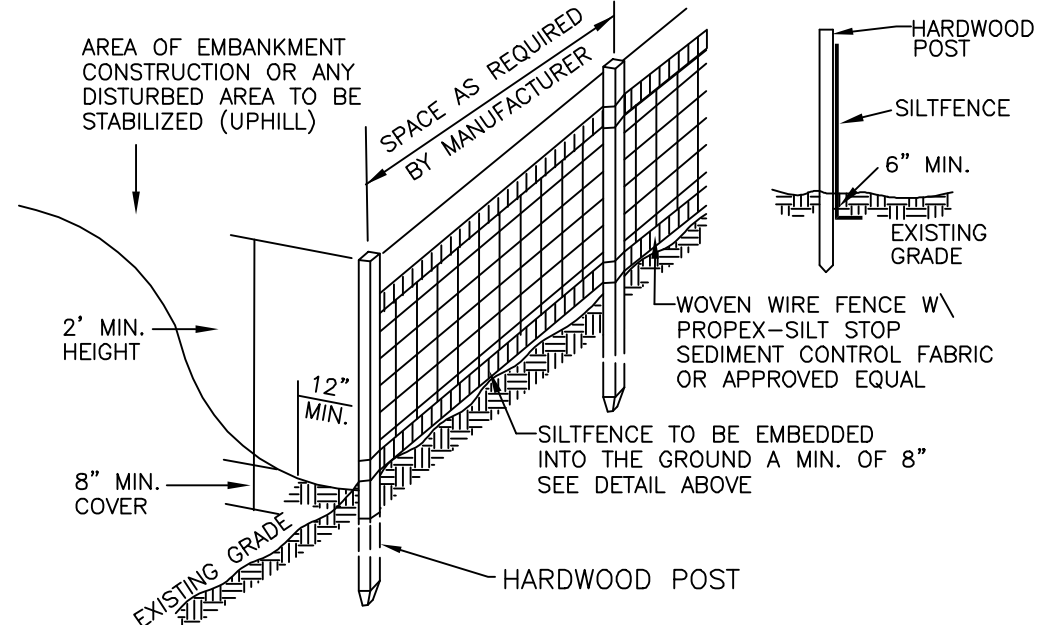
MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	1" = 20'
PROJ. NO:	NH-1547	SHEET NO.	7

REVISED PER PB REVIEW	10/28/25
REVISED PER PB REVIEW	09/03/25
REVISED PER PB REVIEW & INPUT	08/18/25
REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:

CONSTRUCTION SEQUENCE

1. CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
3. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
4. EXCAVATE AND STOCKPILE TOPSOIL /LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
6. CONSTRUCT THE ROADWAY AND ITS ASSOCIATED DRAINAGE STRUCTURES.
7. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
8. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDED OR MULCHED AS REQUIRED, OR DIRECTED.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
13. ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
14. FINISH PAVING ALL DRIVEWAYS.
15. CONTRACTOR TO BE AWARE CLEANING OF EXISTING CATCH BASINS MAY BE REQUIRED PRIOR TO BOND RELEASE AS DETERMINED BY THE EXETER DPW.



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A
2. MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER.
3. THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BYPASSING MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT
4. REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE
5. FOR SEDIMENT STORAGE SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND
6. THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

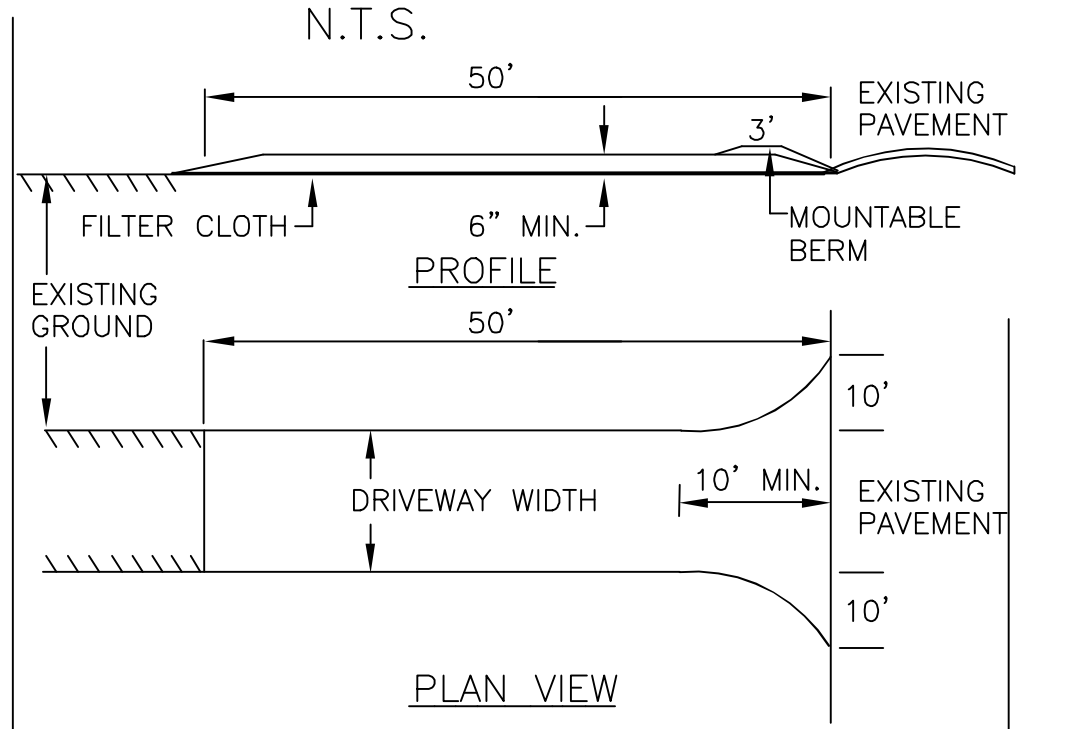
SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME
2. INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT.
3. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE
4. FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

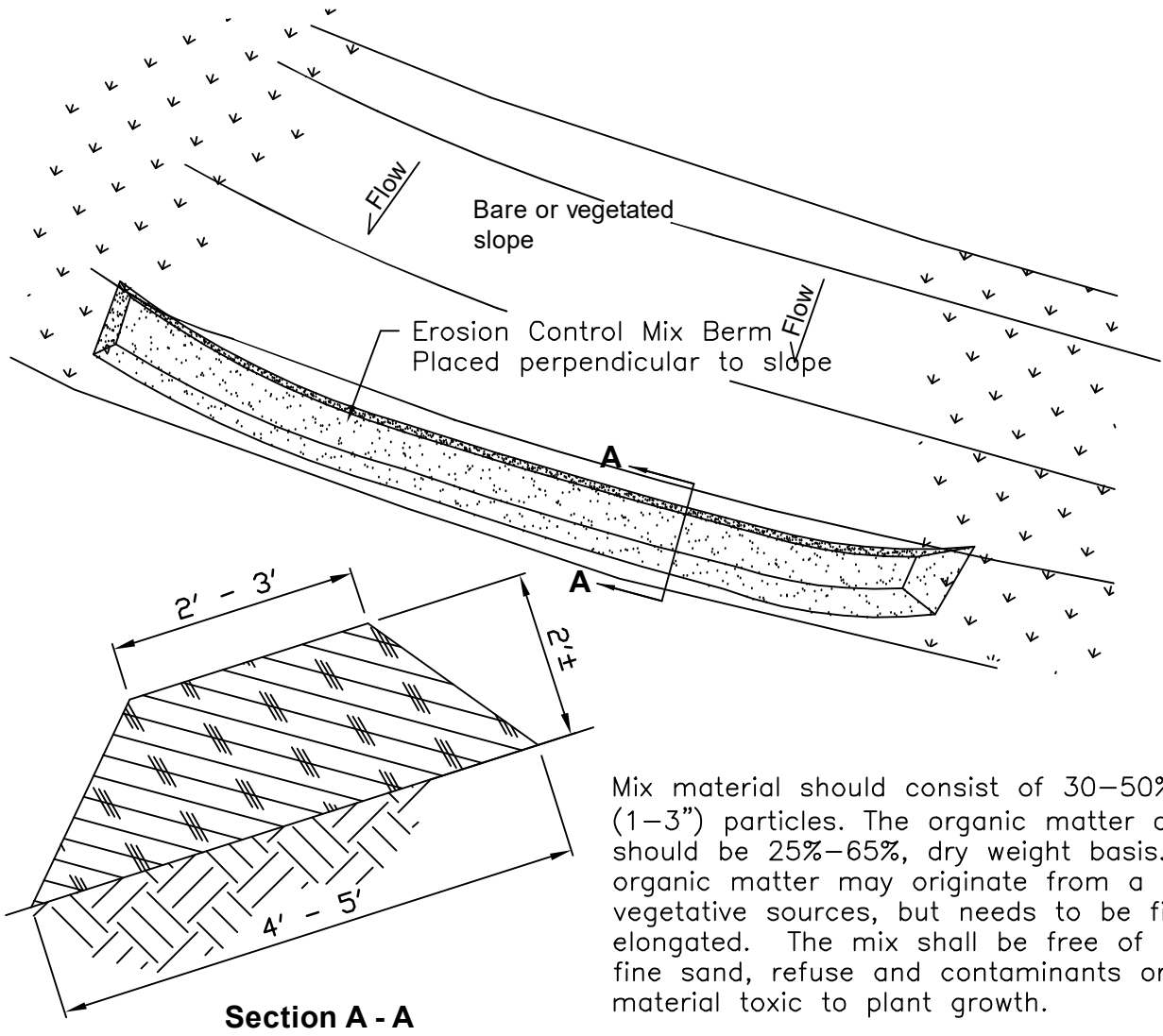
SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT..
NITROGEN(N), 50 LBS PER ACRE OR 1. 1 LBS PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)

STABILIZED CONSTRUCTION ENTRANCE



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET,
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



Mix material should consist of 30-50% large (1-3") particles. The organic matter content should be 25%-65%, dry weight basis. The organic matter may originate from a variety of vegetative sources, but needs to be fibrous and elongated. The mix shall be free of silt, clay, fine sand, refuse and contaminants or any material toxic to plant growth.

Erosion Control Mix berms are effective filters for overland flow conditions and should not be used to filter concentrated flow such as that found in drainage ditches, streams, etc.

Erosion Control Mix Berm

- B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFLOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
4. MULCH
 - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
 5. MAINTENANCE TO ESTABLISH A STAND
 - A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFLOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/2	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

TEMPORARY EROSION CONTROL MEASURES

1. NO MORE THAN 1.58 ACRES OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
3. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
4. SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.

WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

SEEDING GUIDE

USE	SEEDING MIXTURE*	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	FAIR	GOOD	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	EXCELLENT
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	F	FAIR	EXCELLENT	EXCELLENT	**
	G	FAIR	EXCELLENT	EXCELLENT	**
GRAVEL PIT. SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
* REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.					
** POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAY AREAS OR ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

PREPARED FOR:

J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885

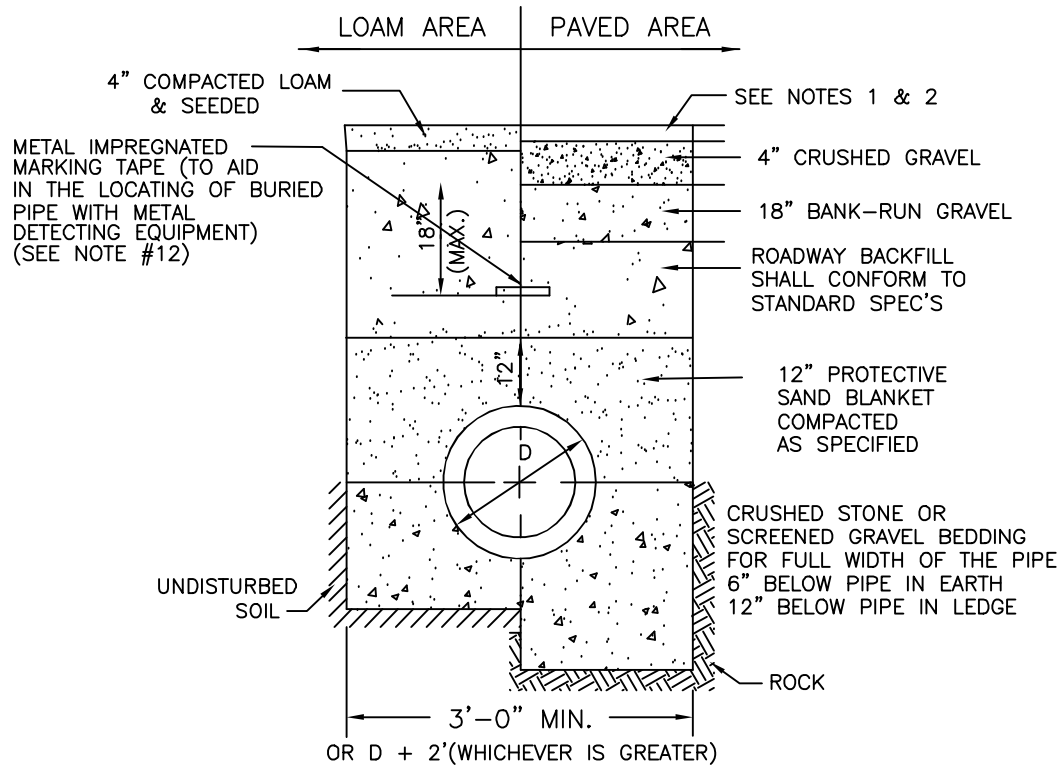


70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX. 603-583-4863

EROSION & SEDIMENT CONTROL DETAILS

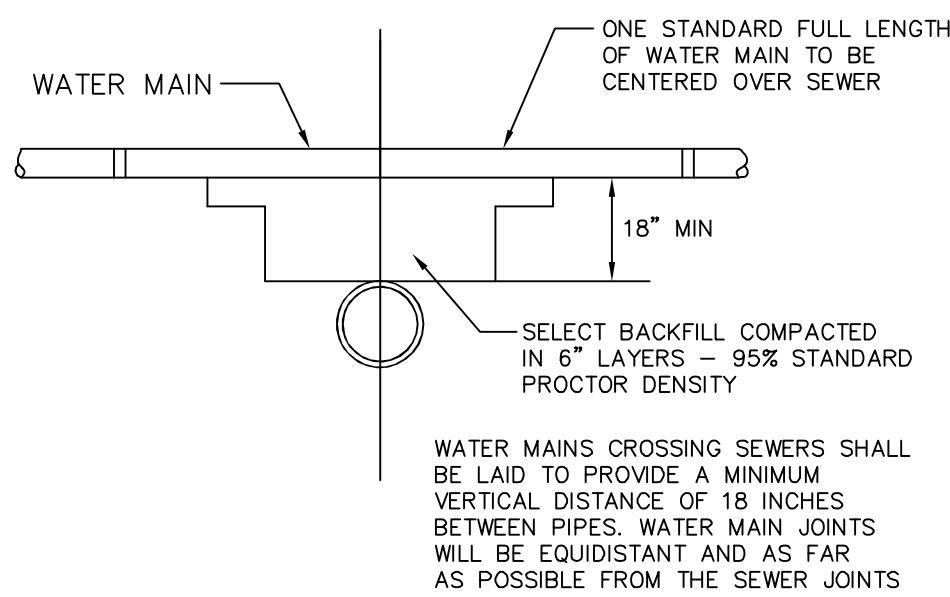
MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS'
PROJ. NO:	NH-1547	SHEET NO.	9



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

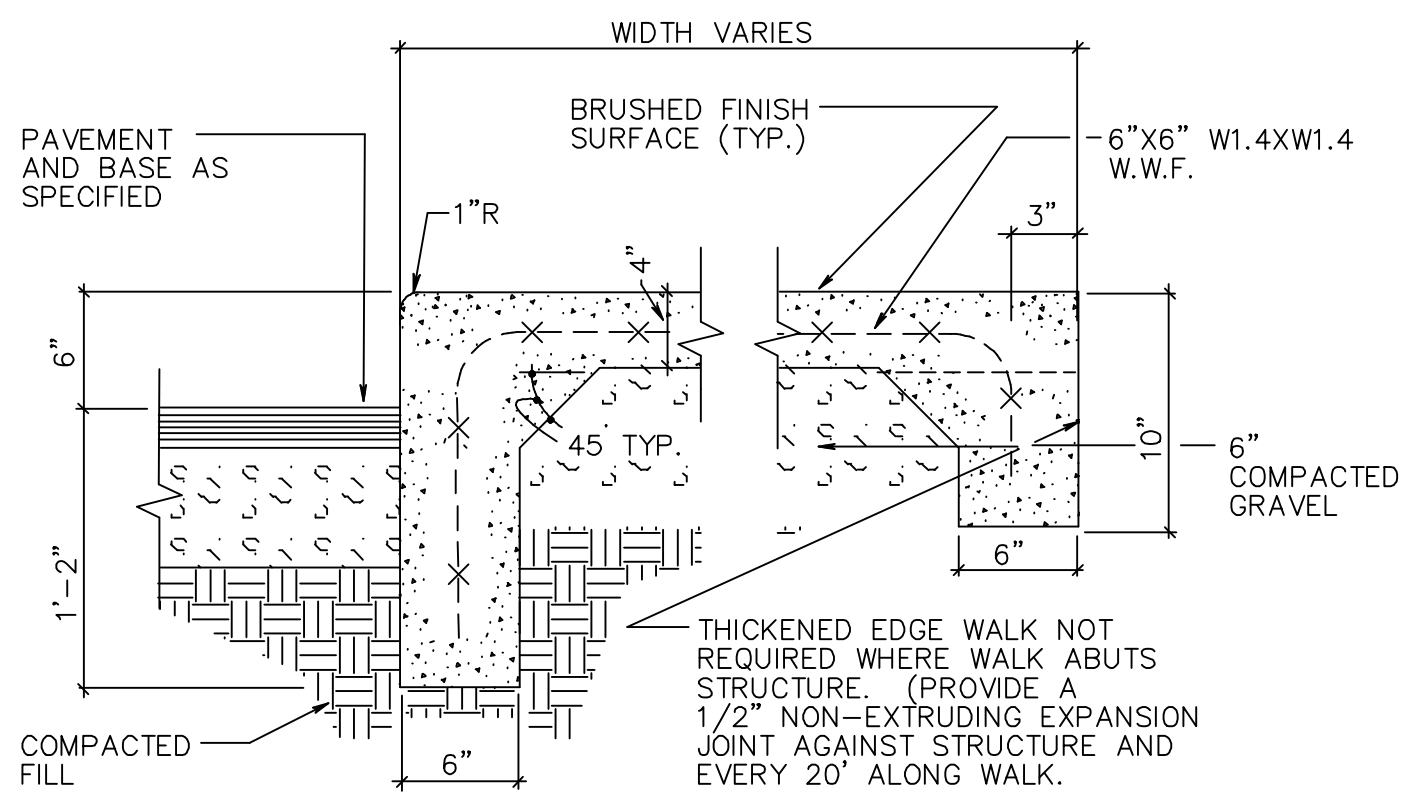
TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE



SEPARATION NOTES:

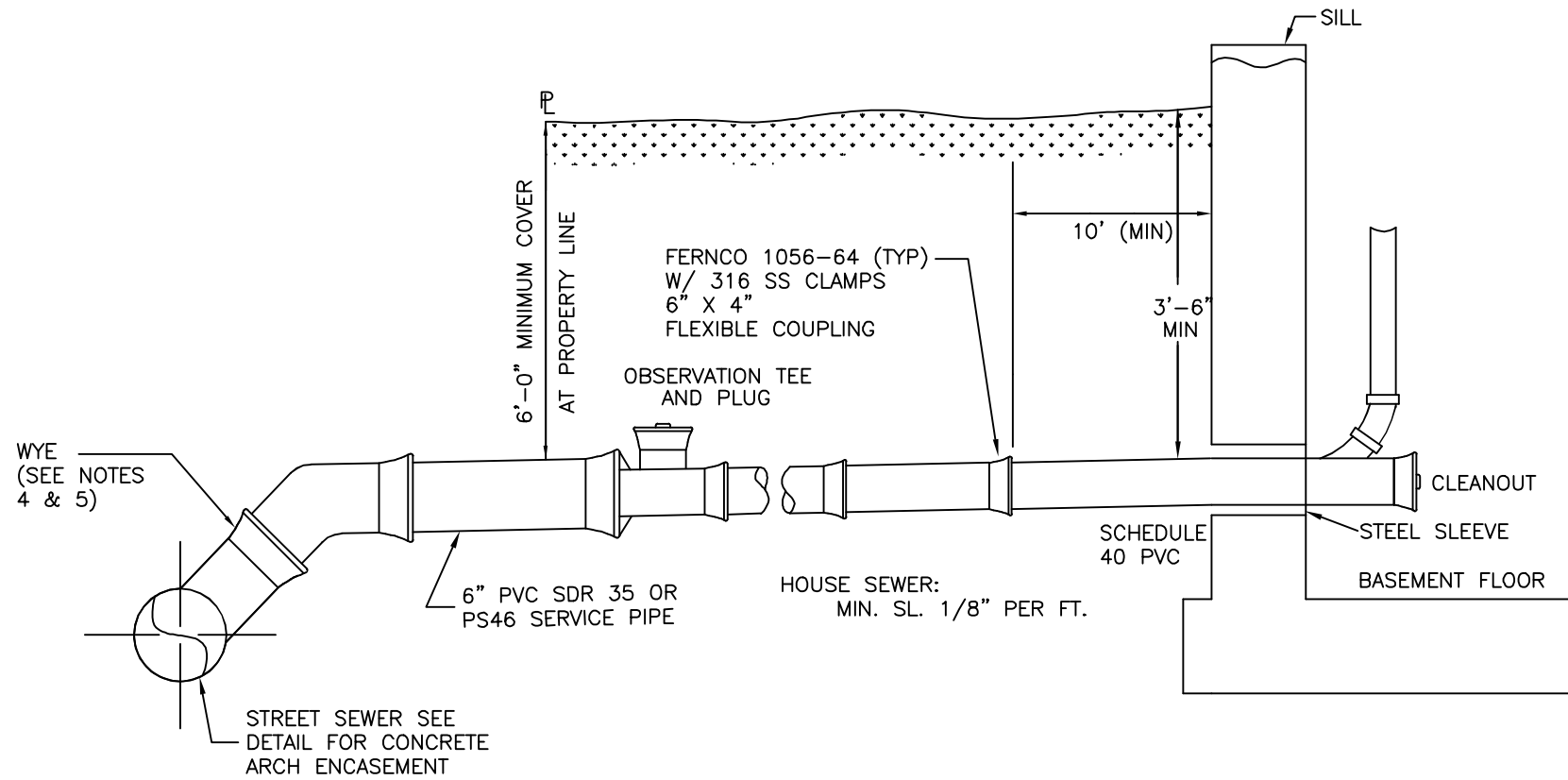
SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES (460 MM) BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.

WATER/SEWER MAIN CROSSING



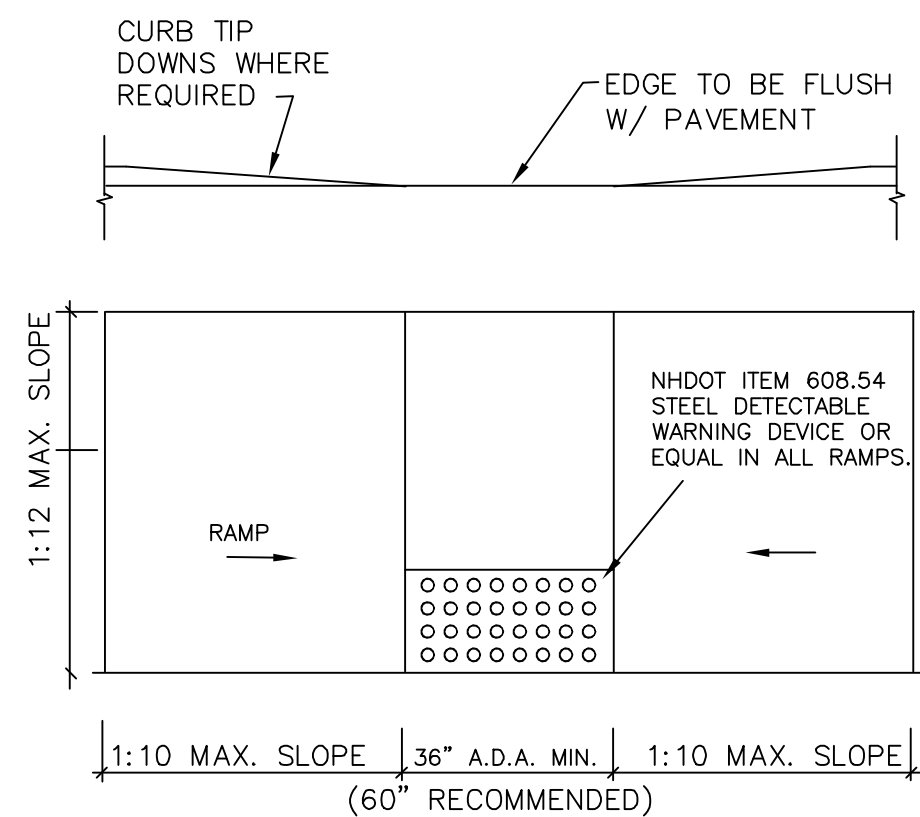
BRUSHED CONCRETE WALK

NOT TO SCALE JULY 15,1986



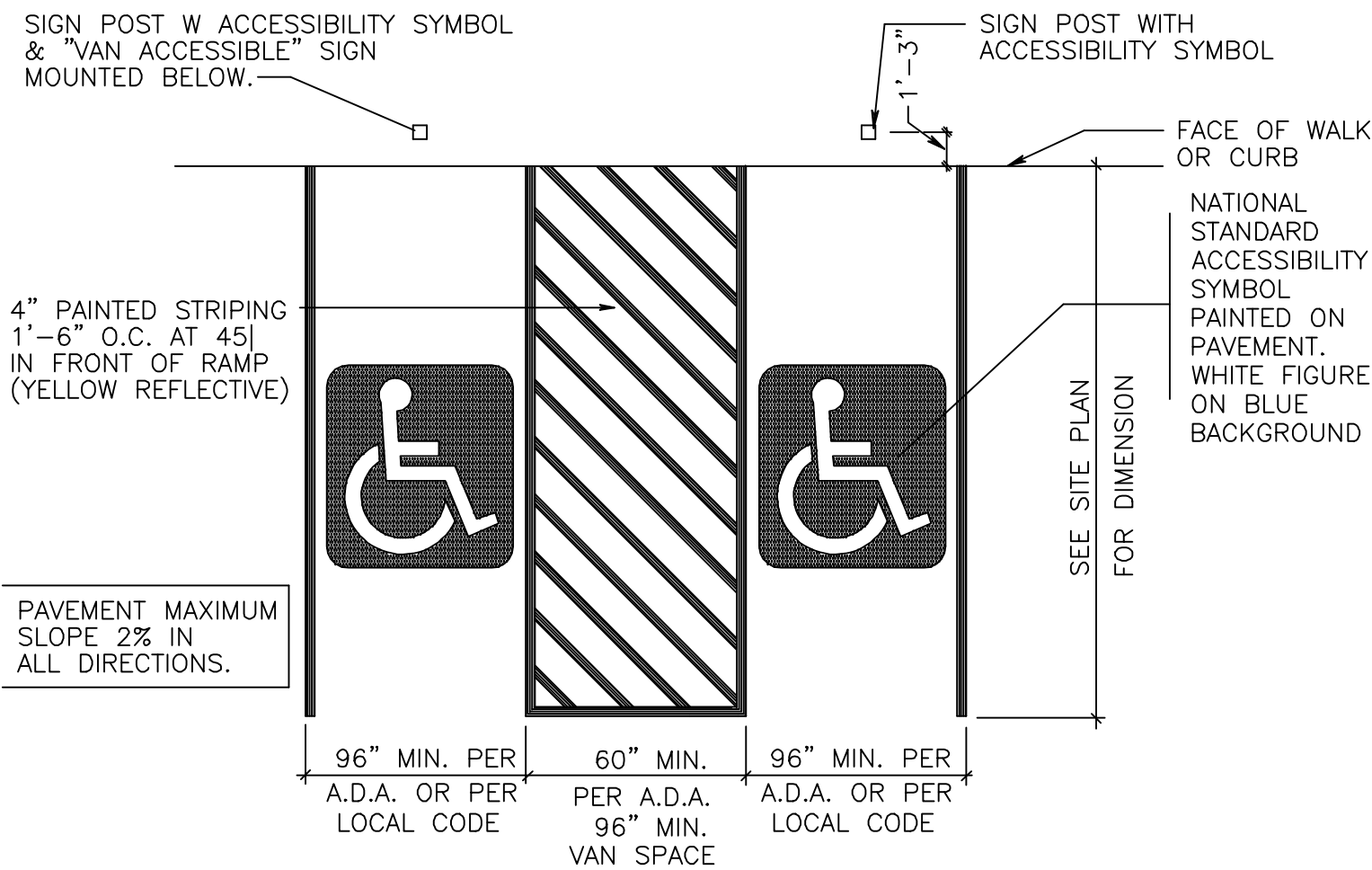
- NOTES:
- 1) SEWER SERVICE FROM PROPERTY LINE TO 10' OUTSIDE OF BUILDING SHALL BE INSTALLED UNDER THIS CONTRACT ONLY WHEN OUTSIDE THE TRENCH DEWATERING OR LEDGE EXCAVATION IS REQUIRED.
 - 2) PIPE DEPTH AT HOUSE SHALL BE ABOVE THE SEASONAL GROUND WATER LEVEL.
 - 3) SEWER SHALL BE BELOW SLAB ONLY WHEN BASEMENT TOILETS EXIST.
 - 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR, AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 - 5) WYES: WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY-CEMENTED SADDLE, TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER.

DETAIL OF HOUSE SEWER SERVICE



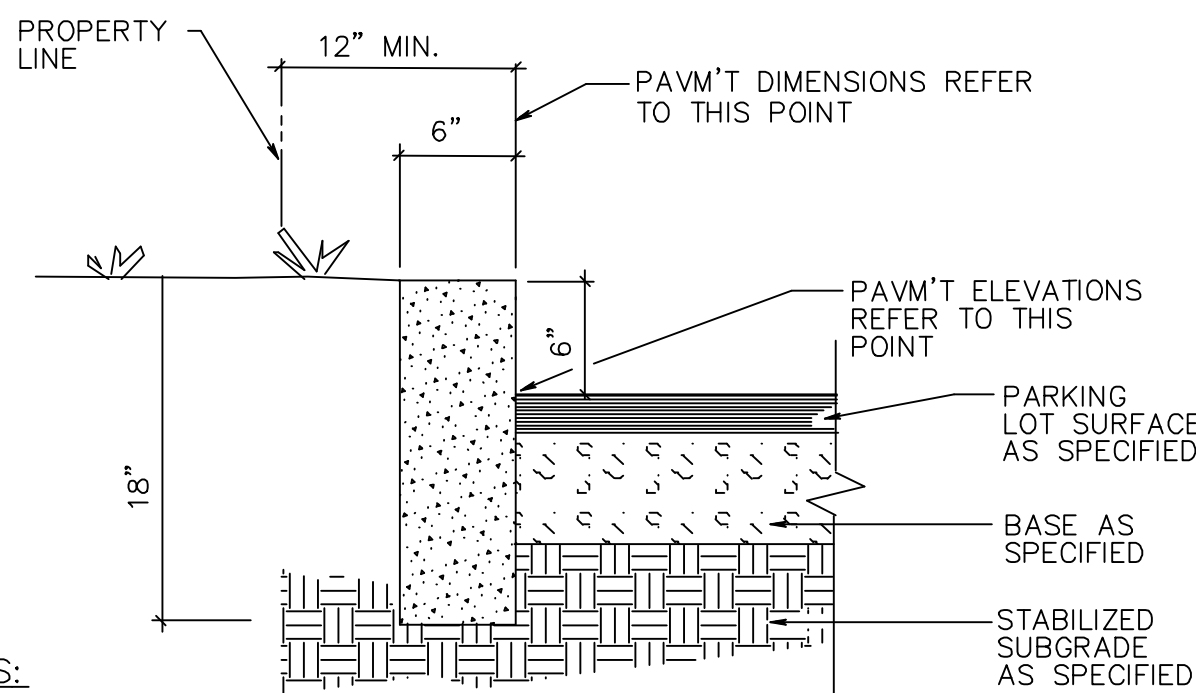
SIDEWALK RAMP DETAIL

NOT TO SCALE



PARKING STALL FOR THE PHYSICALLY CHALLENGED

NOT TO SCALE

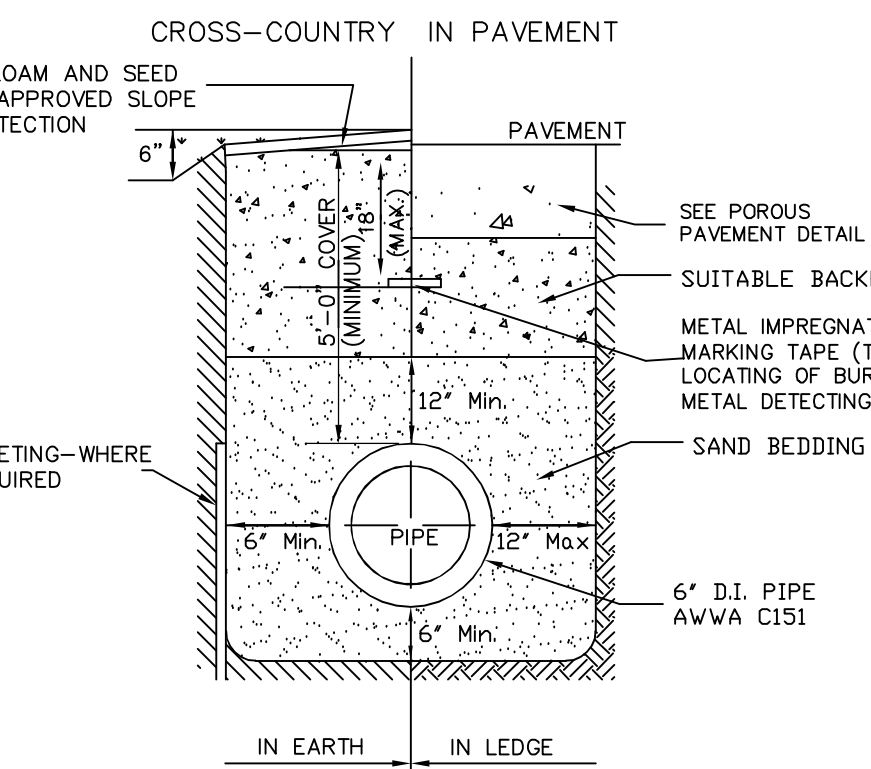


NOTES:

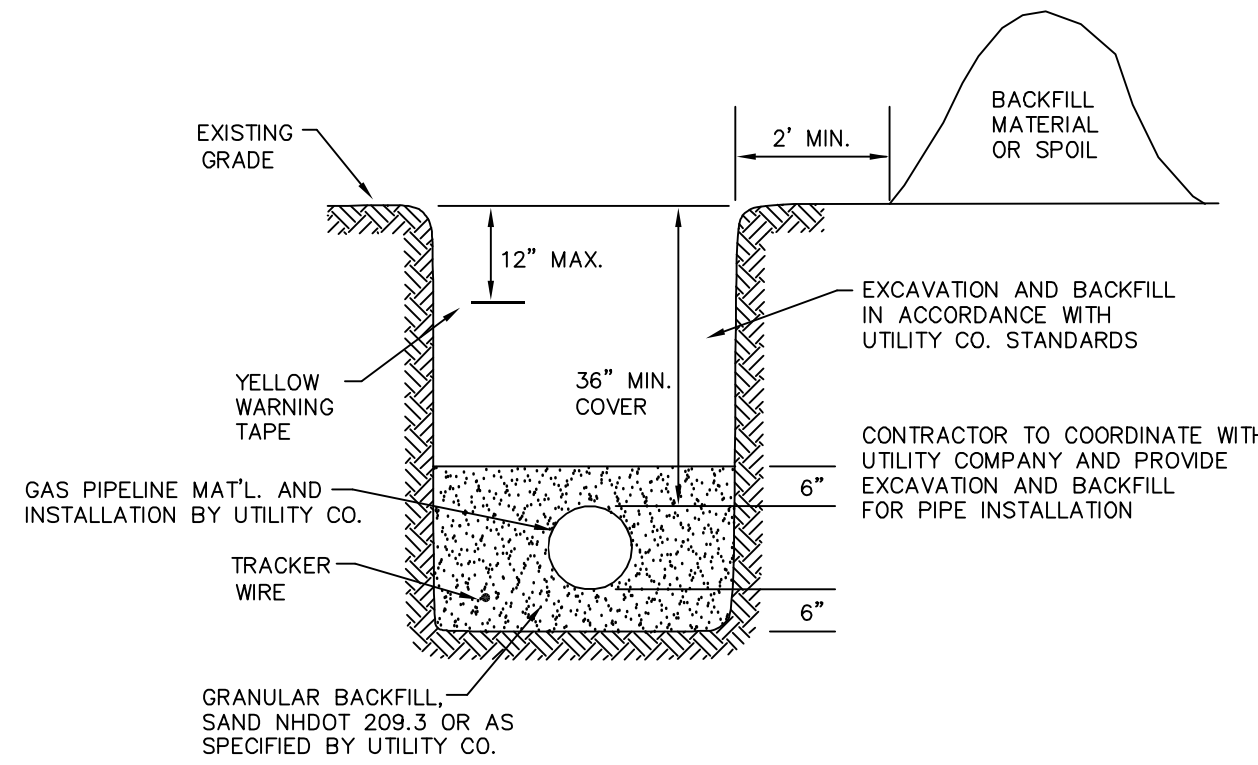
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

6" VERTICAL GRANITE CURB

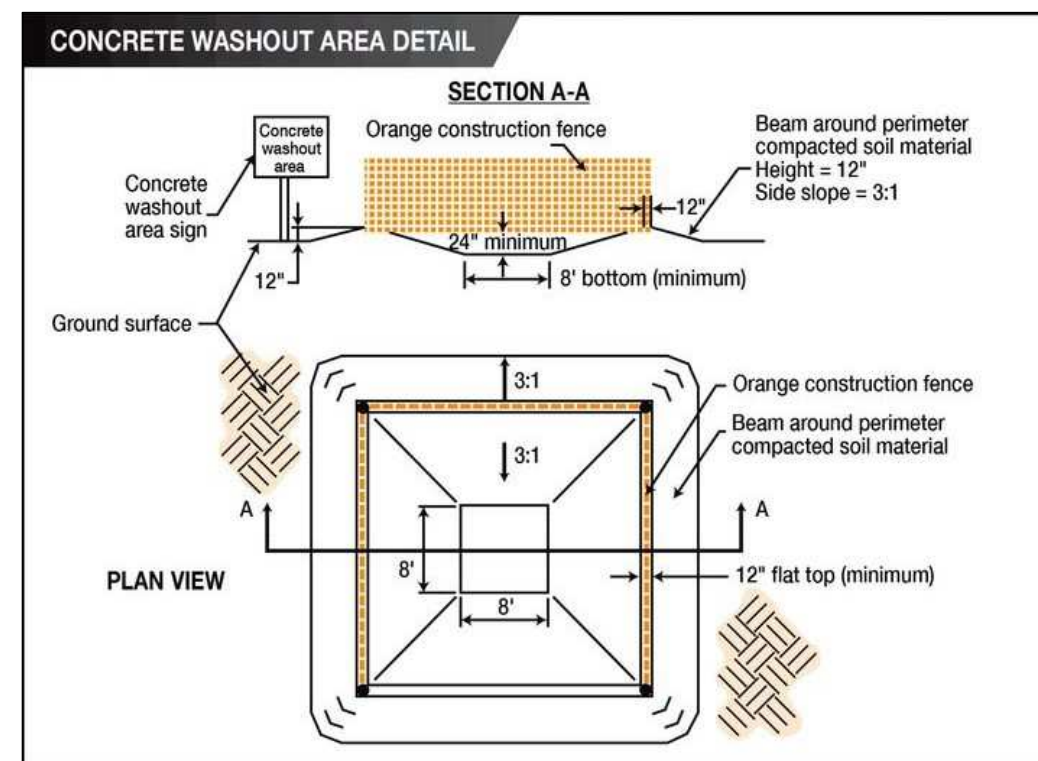
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TYPICAL TRENCH DETAIL
FOR WATER SYSTEM



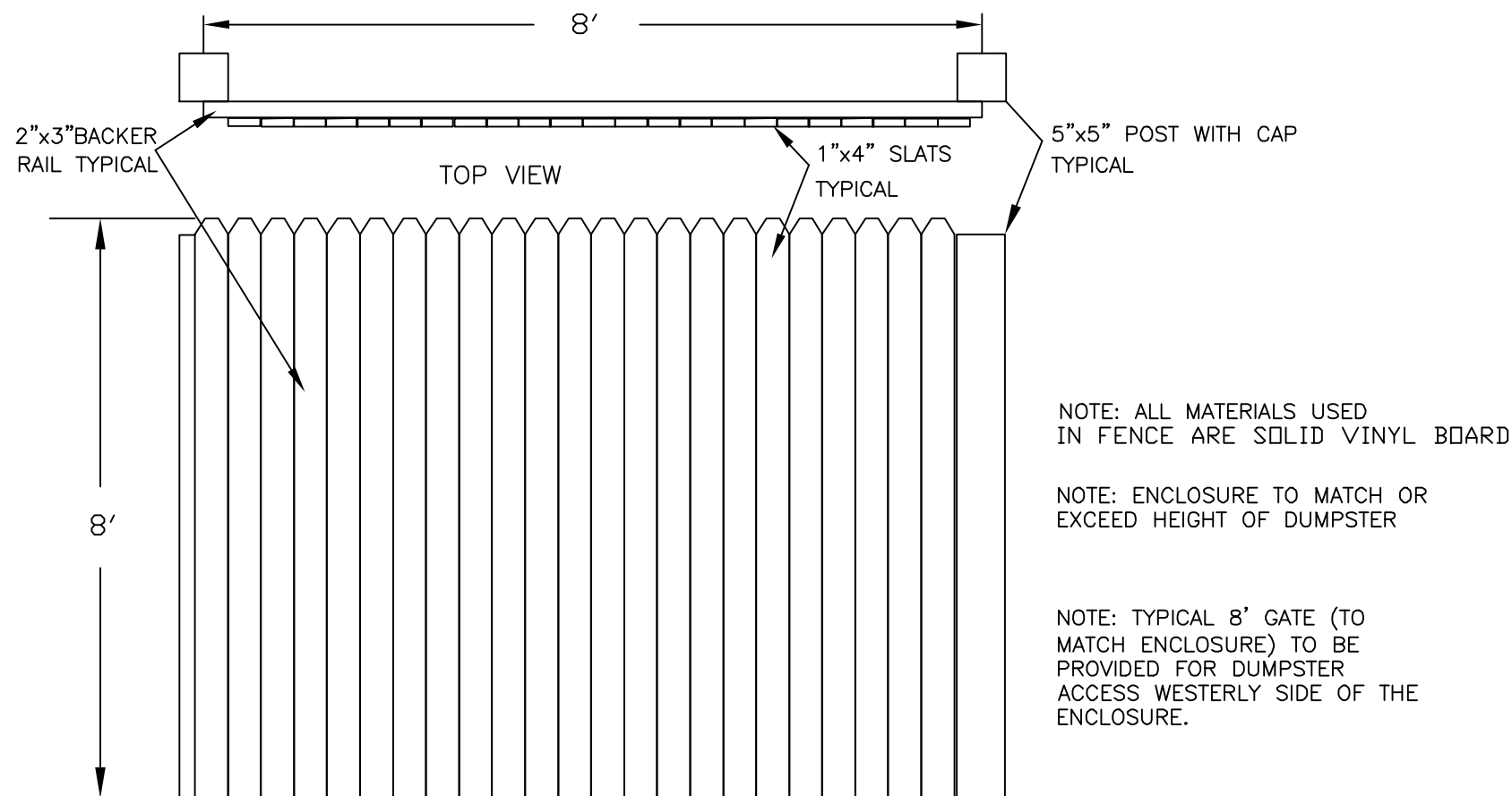
GAS TRENCH DETAIL



CONCRETE WASHOUT AREA DETAIL

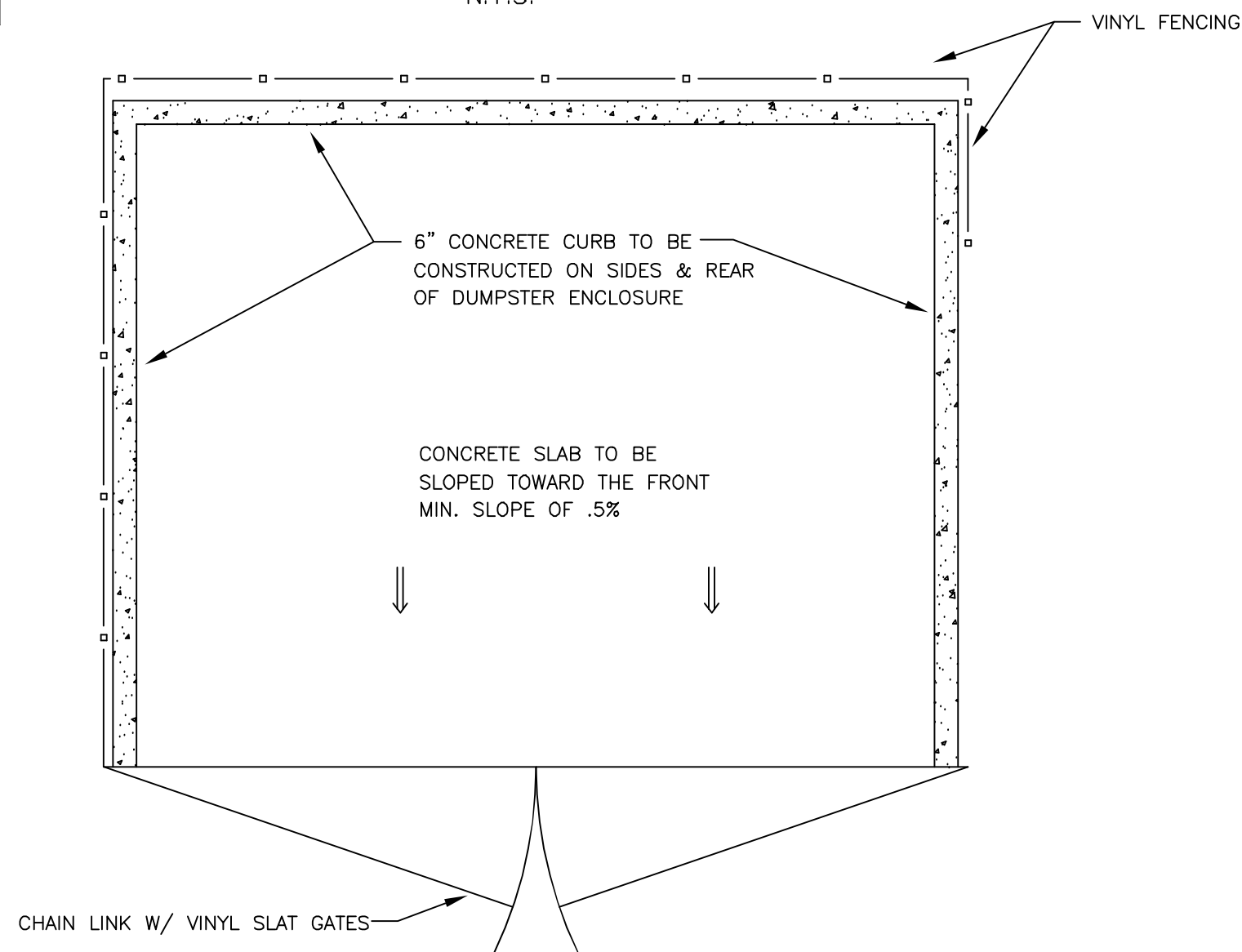
SECTION A-A

PLAN VIEW



STOCKADE FENCE DETAIL

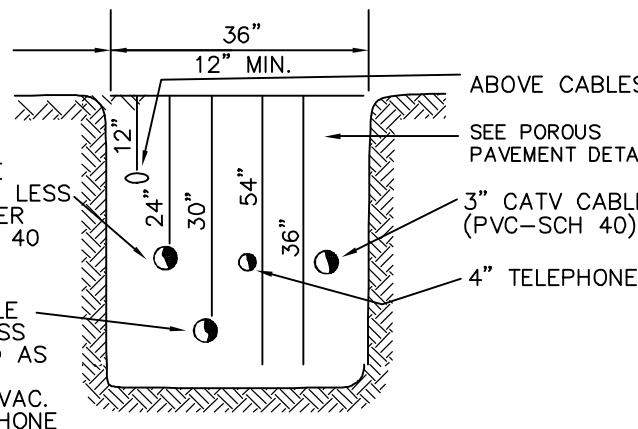
N.T.S.



DUMPSTER SLAB DETAILS

N.T.S.

NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY. SERVICE BOX CONNECTIONS SHALL BE "FLUSH MOUNT" TO GREATEST EXTENT POSSIBLE AND LOCATED AT PROPERTY LINE CORNERS.



4" ELECTRIC SERVICE CABLES 250 VAC OR LESS. BURIAL UNLESS UNDER ROADWAY) PVC-SCH 40

3" CATV CABLE (PVC-SCH 40)

4" TELEPHONE

PRIMARY POWER CABLE (DIRECT BURIAL UNLESS UNDER ROADWAY) AND AS LOCATED IN DWGS. 4" SCH-40 PVC) 7,200 VAC. OTHER POWER, TELEPHONE CATV, ETC., CABLES ARE NO CLOSER THAN 12".

UTILITY TRENCH DETAIL

PREPARED FOR:
J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885

BA
BEALS
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
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PHONE: 603-583-4860,
FAX: 603-583-4863

REVISED PER TRC REVIEW	06/19/25
REVISED OVERALL LAYOUT	06/06/25
REVISIONS:	DATE:

CONSTRUCTION DETAILS

MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS
PROJ. NO:	NH-1547	SHEET NO.	10

CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT
THE UNH STORM WATER CENTER
INSTALLATION RECOMMENDATIONS

- INSTALLATION
- A. PERCOLATION BEDS (REFERS TO NO 57 STONE)
- I. OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
2. SUB GRADE PREPARATION
- A. EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
- B. WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
- C. BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC COMPACTIO BEFORE THE PLAING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
3. RECHARGE BED INSTALLATION (REFERS TO NO 3 STONE)
- A. UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
- B. PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
- C. INSTALL COARSE AGGREGATE NO. 3 (1 1/2" STONE) IN 8-INCH MAXIMUM LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
- D. INSTALL 3" LIFT PEA GRAVEL LAYER TO PREVENT MIGRATION OF FINES FROM THE FILTER COARSE (NHDOT 304.1)
- E. INSTALL FILTER COARSE (NHDOT 304.1 SAND LESS THAN 2% FINES) IN 2, 4" LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
- F. INSTALL CHOKER BASE COURSE (AASHTO # 57 STONE) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO THICKER THAN 4-INCH IN DEPTH.
4. SURROUNDING AREAS
- A. BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ONTO THE PAVEMENT SURFACE.
- B. TO ACCOMPLISH THIS, A SEQUENCE OF SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPWILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PAINTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVEWAYS.
- C. BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.
5. POROUS ASPHALT
1. TRANSPORTING MATERIAL
- A. TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
- B. THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
2. POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
3. ASPHALT PLACEMENT
- A. THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE LIFT DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO A 4-INCH FINISHED THICKNESS. THE SURFACE CAN BE LAID IN TWO LIFTS IF SECOND LIFT IS DONE WITHIN 10 BUSINESS DAYS AND THE INITIAL COURSE IS CLEAN AND FREE OF SEDIMENT.
- B. THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 300 DEGREES FAHRENHEIT AND 350 DEGREES FAHRENHEIT (BASED ON THE RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
- C. INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
- D. THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
- E. THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SPORED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
- F. COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST A 10-TON ROLLER, (140°F, SURFACE TEMPERATURE) ONE OR TWO PASSES IS ALL THAT IS REQUIRED FOR PROPER COMPACTION. MORE ROLLING COULD CAUSE A REDUCTION IN THE SURFACE POROSITY WHICH IS UNACCEPTABLE.
4. IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
5. AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE. REMOVE AT THE DISCRETION OF THE ENGINEER.
6. STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
- A. PAVEMENT-PARKING PAINT-LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-P-1952.
- B. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
- C. PAINT 4 INCH WIDE TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
6. WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK.
- TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
7. POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
8. REPAIR OF DAMAGED PAVING
- A. ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL HE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
9. FIELD QUALITY CONTROL
- A. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVISE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
- B. TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS. REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
- C. SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MINIMUM COMPACTION REQUIREMENTS

COMPACTION SHALL BE PERFORMED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) MAXIMUM DENSITY AS DETERMINED IN A LABORATORY COMPACTION TEST, PERFORMED UNDER THE SPECIFICATIONS OF ASTM D1557-64T, METHOD "A", (BACK FILL MATERIAL OF A STONY NATURE SHALL BE TESTED UNDER METHOD "C" OR "D" OF THE SAME ASTM DESIGNATION) OR OTHER APPROVED ASTM OR AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) SPECIFICATIONS. SUCH TEXT SHALL ALSO BE USED FOR ESTABLISHING THE OPTIMUM MOISTURE CONTENT OF THE MATERIALS. THE IN-PLACE DRY UNIT WEIGHT OF THE COMPACTED MATERIALS SHALL BE DETERMINED BY METHODS SPECIFIED UNDER ASTM "D" 1556-58T OR OTHER APPROVED ASTM OR AASHTO SPECIFICATIONS. THE IN-PLACE COMPACTION TEST TO BE CONSISTENT WITH THE APPROVED LABORATORY COMPACTION TEST.

TABLE 5. POROUS ASPHALT MIX DESIGN CRITERIA.

SIEVE SIZE (INCH/MM)	PERCENT PASSING (%)
0.75/19	100
0.50/12.5	85-100
0.375/9.5	55-75
NO.4/4.75	10-25
NO.8/2.36	5-10
NO.200/0.075 (#200)	2-4

BINDER CONTENT (AASHTO T164)	6.0-6.5%
AIR VOID CONTENT BY CORELOK (ASTM D6752)*	16.0-20.0%
AIR VOID CONTENT BY PARAFFIN WAX (AASHTO T275)	*18.0-22.0%
DRAINDOWN (ASTM D6390)**	<= 0.3 %
RETAINED TENSILE STRENGTH (AASHTO 283)***	>= 80 %

* EITHER METHOD IS ACCEPTABLE

**CELLULOSE OR MINERAL FIBERS MAY BE USED TO REDUCE DRAINDOWN.

***IF THE TSR (RETAINED TENSILE STRENGTH) VALUES FALL BELOW 80% WHEN TESTED PER NAPA 15.31

(WITH A SINGLE FREEZE THAW CYCLE RATHER THAN 5). STEP 4, THE CONTRACTOR SHALL EMPLOY AN ANTISTRIIP ADDITIVE, SUCH AS HYDRATED LIME (ASTM C977) OR A FATTY AMINE, TO RAISE THE TSR VALUE ABOVE 80%.

MIX SUMMARY
POROUS ASPHALT PAVEMENT MIX
THE UNH STORM WATER CENTER

POROUS ASPHALT SHALL BE FOUR INCHES THICK WITH A BITUMINOUS MIX OF 6% TO 6.5% BY WEIGHT DRY AGGREGATE AND AIR VOIDS OF 18-22%. IN ACCORDANCE WITH ASTM D6390, DRAIN DOWN OF THE BINDER SHALL BE NO GREATER THAN 0.3% IF MORE ABSORPTIVE AGGREGATES, SUCH AS LIMESTONE, ARE USED IN THE MIX, THEN THE AMOUNT OF BITUMEN IS TO BE BASED ON THE TESTING PROCEDURES OUTLINED IN THE NATIONAL ASPHALT PAVEMENT ASSOCIATION'S INFORMATION SERIES 131 - "PERVIOUS ASPHALT PAVEMENTS" (2003) OR NHDOT EQUIVALENT. MIX SUPPLIERS MAY HAVE A SUITABLE IN-HOUSE SPECIFICATION FOR OPEN GRADED FRICTION COURSE (OGFC) THAT CAN BE USED.

USE NEAT ASPHALT BINDER MODIFIED WITH AN ELASTOMERIC POLYMER TO PRODUCE A BINDER MEETING THE REQUIREMENTS OF PG 76-22 AS SPECIFIED IN AASHTO MP-1. THE ELASTOMER POLYMER SHALL BE STYRENE-BUTADIENE-STYRENE (SBS), OR APPROVED EQUAL, APPLIED AT A RATE OF 3% BY WEIGHT OF THE TOTAL BINDER. THE COMPOSITE MATERIALS SHALL BE THOROUGHLY BLENDED AT THE ASPHALT REFINERY OR TERMINAL PRIOR TO BEING LOADED INTO THE TRANSPORT VEHICLE. THE POLYMER MODIFIED ASPHALT BINDER SHALL BE HEAT AND STORAGE STABLE.

AGGREGATE SHALL BE MINIMUM 90% CRUSHED MATERIAL AND HAVE A GRADATION OF:

COMPOSITION OF MIXTURE
SIEVE SIZE (INCH/MM)PERCENT PASSING0.75/19100.50/12.585-1000.375/9.555-75NO.4/4.7510-25NO.8/2.365-10NO.200/0.0752-4TOTAL AGGREGATES3-5-94% ASPHALT OF TOTAL MIX6-8.5
ADD HYDRATED LIME AT A DOSAGE RATE OF 1.0% BY WEIGHT OF THE TOTAL DRY AGGREGATE TO MIXES CONTAINING GRANITE. HYDRATED LIME SHALL MEET THE REQUIREMENTS OF ASTM C 977. THE ADDITIVE MUST BE ABLE TO PREVENT THE SEPARATION OF THE ASPHALT BINDER FROM THE AGGREGATE AND ACHIEVE A REQUIRED TENSILE STRENGTH RATIO (TSR) OF AT LEAST 80% ON THE ASPHALT MIX WHEN TESTED IN ACCORDANCE WITH AASHTO T 283. THE ASPHALTIC MIX SHALL BE TESTED FOR ITS RESISTANCE TO STRIPPING BY WATER IN ACCORDANCE WITH ASTM D-1684. IF THE ESTIMATED COATING AREA IS NOT ABOVE 95 PERCENT, ANTI-STRIPPING AGENTS SHALL BE ADDED TO THE ASPHALT.

NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA FROM SUCH A COMBINATION. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA MUST FALL WITH THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.

TRANSPORTING MATERIAL: SEE CONSTRUCTION AND INSTALL SPECIFICATIONS

FOR QUESTIONS ON MIX SPECIFICATIONS CONTACT ROBERT ROSEEN, PHD, AT THE UNH STORM WATER CENTER. 603-862-4024.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT PARKING LOT AREAS AND LOW VOLUME ROADS
THE UNH STORM WATER CENTER

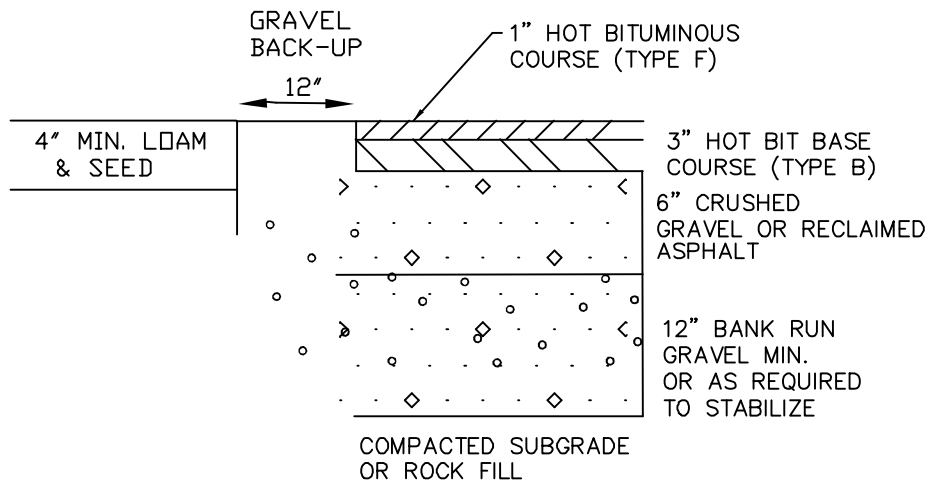
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

1. SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NACL, MGC12, OR EQUIVALENT). REDUCED SALT APPLICATION IS POSSIBLE AND CAN BE A COST SAVINGS FOR WINTER MAINTENANCE. NONTXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
2. PLOWING IS ALLOWED, BLADE SHOULD BE SET APPROXIMATELY 1" ABOVE ROAD SURFACE. ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE FLOWED.

ROUTINE MAINTENANCE:

1. ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
2. THE PAVEMENT SURFACE SHOULD BE VACUUMED 1 OR 2 TIMES PER YEAR, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
3. PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
4. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
5. DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
6. REPAIRS: POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.
7. WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.
8. A PERMANENT SIGN SHOULD BE ADDED AT THE ENTRANCE AND END OF THE POROUS ASPHALT AREA TO INFORM RESIDENTS AND MAINTENANCE STAFF OF THE SPECIAL NATURE AND PURPOSE OF THE PAVEMENT, AND ITS SPECIAL MAINTENANCE REQUIREMENTS.

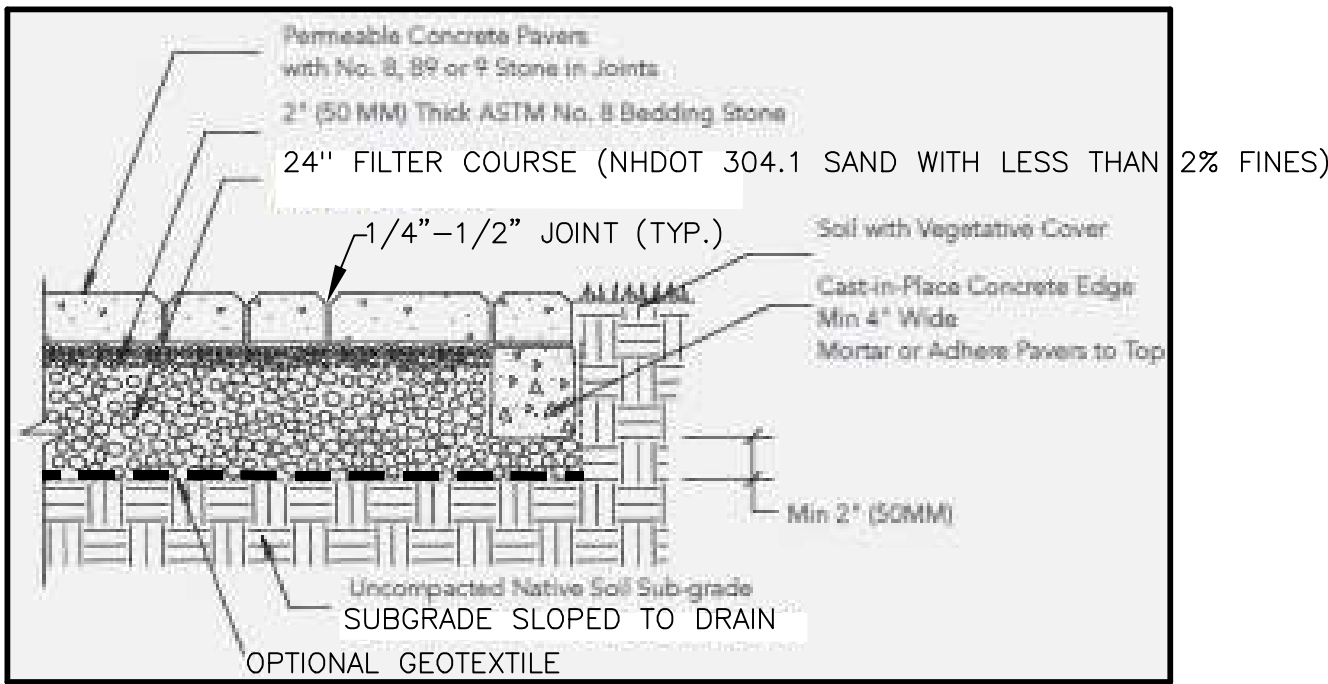


NOTES: * IN AREAS OF BEDROCK, MINIMUM 24" SEPARATION FROM BANK RUN GRAVEL
* PAVEMENT TRENCH PATCH SHALL MATCH EXISTING PAVEMENT DEPTHS.

TYPICAL PAVEMENT SECTION

NEW ASPHALT

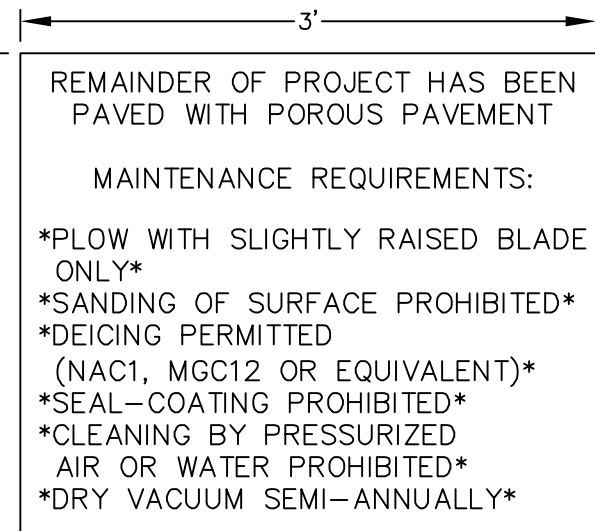
1. THE DEVELOPER SHALL INSPECT THE CROSS-SECTION OF THE CURRENT DRIVEWAY FOR CONFORMANCE TO THE MUNICIPAL REQUIREMENTS. IF ADDITIONAL SELECT GRAVELS, ETC. ARE NEEDED, THE DRIVE SHALL BE BUILT TO TOWN SPECIFICATIONS.
2. IF ADDITIONAL CRUSHED OR BANK RUN GRAVEL IS NEEDED, THE DEVELOPER RESERVES THE RIGHT TO UTILIZED RECLAIMED GRAVEL PROCESSED FROM ON SITE MATERIALS.



ROUTINE MAINTENANCE: VISUAL INSPECTION OF THE PERVIOUS PAVERS TO ENSURE THAT THEY ARE CLEAN OF DEBRIS AND SEDIMENTS. ROUTINE CLEANING PROCEDURES WOULD INCLUDE BLOWING (WITH LEAF BLOWER OR SIMILAR) IN FALL, TRUCK-SWEEPING AND/OR DRY VACUUMING. ADD STONE TO REFILL JOINT SPACE AFTER SWEEPING/VACUUMING IF NEEDED.

PERVIOUS PAVER DETAIL
TO BE "TREMRON" OR APPROVED EQUAL

NOT TO SCALE



POROUS PAVEMENT SIGN DETAIL

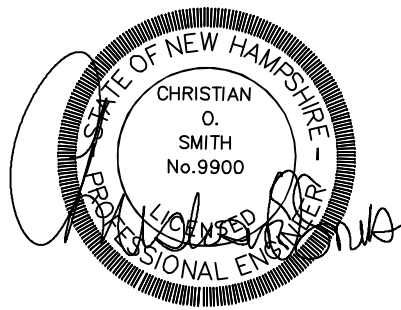
NOT TO SCALE

PREPARED FOR:

J CALEY ASSOCIATES
11 TAYLOR COURT
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CONSTRUCTION DETAILS

MIXED-USE DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

DATE:	APRIL 29, 2025	SCALE:	NTS
PROJ. NO:	NH-1547	SHEET NO.	11

TOWN NOTES

1. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
2. THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM SIZE VEHICLES AND TRUCKS. (DESIGN VEHICLE IS THE EXETER LADDER TRUCK OR 35' BOX TRUCK) EITHER DELIVERING TO, OR USING THE PROPERTY.
3. ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.
4. ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.
5. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

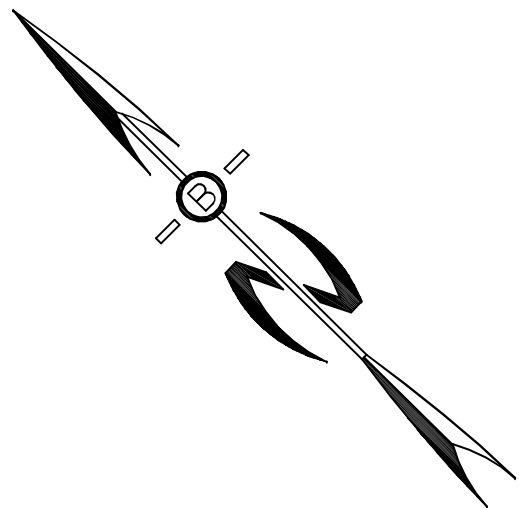
ZONING REQUIREMENTS:
ZONING DISTRICT – HIGHWAY COMMERCIAL (C2)
MINIMUM LOT SIZE – 20,000 S.F.
MINIMUM LOT WIDTH – 150 FT.
MINIMUM LOT DEPTH – 100 FT.

BUILDING SETBACKS
FRONT 50 FT.
SIDE 20 FT.
REAR 50 FT.
BUILDING HEIGHT 35 FT.
(50' BY SPECIAL EXCEPTION)
MAXIMUM BUILDING COVERAGE = 30%
EXISTING-18.4%, PROPOSED-18.4%
MINIMUM OPEN SPACE = 15%
EXISTING-12.4%, PROPOSED-21%

PARKING SPACES
EXISTING-12
REQUIRED:
14 RES UNITS x1/PER (MUND) = 14
COFFEE SHOP/ESPRESSO BAR 18 SEATS/1/3-SEATS = 6
TOTAL REQUIRED = 20
PROPOSED-21 (1-HC)

ZONING REQUIREMENTS:
ZONING OVERLAY – MUND
MINIMUM LOT SIZE – 20,000 S.F.
MINIMUM LOT WIDTH – 150 FT.
MINIMUM LOT DEPTH – 100 FT.

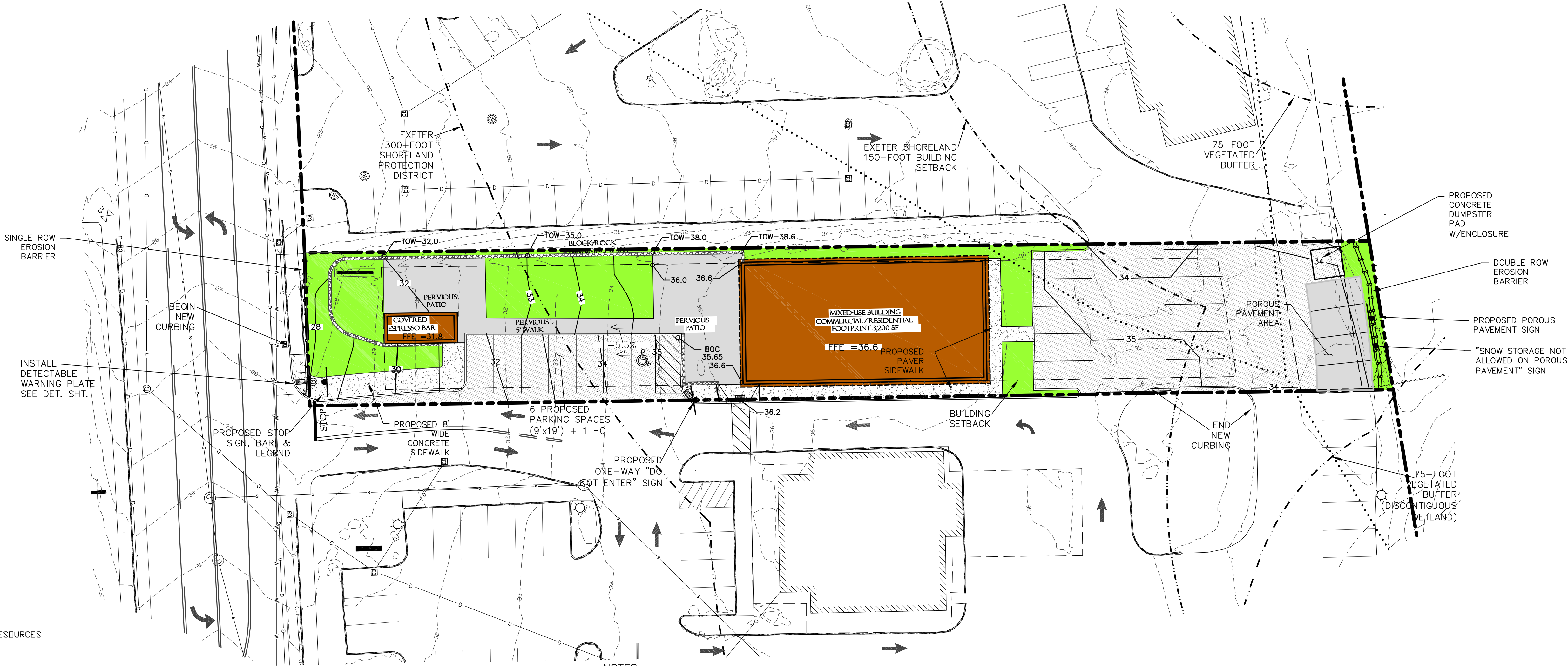
BUILDING SETBACKS
FRONT 0, MAX. 25 FT.
BUILDING HEIGHT 50 FT.



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SOIL INFORMATION WAS OBTAINED FROM USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS):

SOIL IDENTIFICATION LEGEND:

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
3B9	ELDRIDGE FINE SANDY LDM	C/D
299	UDDRTHENTS, SMOOTHED	
699	URBAN LAND	

SLOPE PHASES:
A=0-3%, B=3-8%, C=8-15%, D=15-25%, E=25%+



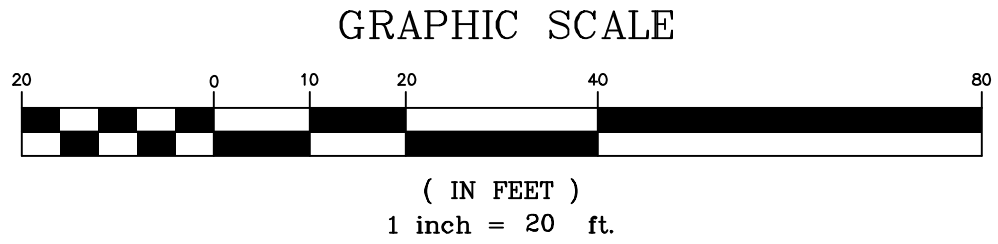
UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

CONSTRUCTION NOTES:

1. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
2. STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
3. SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
4. THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
5. THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

NOTES

1. ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
2. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE, AND UTILITY COMPANY STANDARDS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
3. EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES.
5. EXISTING SEWER SERVICE AND APPURTENANCES TO BE REMOVED AND DISPOSED OF PER TOWN AND STATE REQUIREMENTS. NEW SERVICES FOR EACH UNIT TO BE INSTALLED & CONNECTED PER TOWN SPECIFICATIONS. SEQUENCING AND SCHEDULING: (SEE DETAIL SHEETS FOR COMPLETE CONSTRUCTION SEQUENCE AND EROSION CONTROL SPECIFICATION.)
6. DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH THE GOVERNING LAWS. PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL.
7. LEAVE SITE IN CLEAN CONDITION.
8. TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
9. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
10. ALL WATER, SEWER, ROAD (INCLUDING DRIVEWAY), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE". SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
11. THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.



PRESENTATION PLAN		
MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125		
DATE:	APRIL 29, 2025	SCALE: 1" = 20'
PROJ. NO:	NH-1547	SHEET NO. 1 OF 1