



# **TOWN OF EXETER, NEW HAMPSHIRE**

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10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 •FAX 772-4709  
[www.exeternh.gov](http://www.exeternh.gov)

## **LEGAL NOTICE EXETER PLANNING BOARD AGENDA**

The Exeter Planning Board will meet on Thursday, January 8, 2026, at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

**APPROVAL OF MINUTES:** December 11, 2025

### **NEW BUSINESS: PUBLIC HEARINGS**

In accordance with RSA 674:54, a public hearing will be held to discuss the Town's intent to construct a new Police and Fire Substation at 6 Continental Drive, Tax Map Parcel #47-04-11.

#### **Public hearing on the proposed amendment(s) to the Town's Site Plan Review & Subdivision Regulations:**

Amend the Subdivision and Site Plan Review Regulations by adding a new paragraph to Section 8.7 – Vehicular and Pedestrian Traffic, as follows:

Section 8.7.9 Bicycle Infrastructure. All proposals are encouraged to incorporate bicycle-friendly design elements, such as bike racks, secured short- and long-term bicycle parking facilities including internal bicycle storage, shared-use paths, or connections to existing bicycle paths. The Planning Board may require such infrastructure, based on factors including but not limited to: the scale of development; proximity to existing bicycle paths; developments that generate public traffic (e.g. schools, parks); or where bicycle access is necessary to mitigate traffic impacts or improve safe circulation.

The purpose of this amendment is to respond to a citizen petition requesting that the planning board provide opportunities to expand bicycle infrastructure and thereby better facilitate the use of this mode of transportation.

A request by Willey Creek Company for an amendment to a previously approved site plan for the proposed relocation of Building D of the Ray Farm Condominium development and associated site improvements off of Ray Farmstead Road. The subject properties are in the C-3, Epping Road Highway Commercial zoning district and are identified as Tax Map Parcel #47-8 and #47-8.1. PB Case #22-3.

### **OTHER BUSINESS**

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

### **EXETER PLANNING BOARD**

*Langdon J. Plumer, Chairman*

**TOWN OF EXETER  
PLANNING BOARD  
NOWAK ROOM  
10 FRONT STREET  
DECEMBER 11, 2025  
DRAFT MINUTES  
7:00 PM**

## I. PRELIMINARIES:

10 **BOARD MEMBERS PRESENT BY ROLL CALL:** Chair Langdon Plumer, Vice-Chair Aaron Brown, Clerk,  
11 John Grueter, Jennifer Martel, Alternate Dean Hubbard, Alternate Sam MacLeod and Select Board  
12 Representative Nancy Belanger.

**14 STAFF PRESENT:**

16 **II. CALL TO ORDER:** Chair Plumer called the meeting to order at 7 PM, introduced the members, and  
17 activated Alternates Dean Hubbard and Sam MacLeod.

### 19 III. NEW BUSINESS:

21 1. Public hearing on the proposed zoning amendments for 2026 Town Meeting warrant. Copies of the  
22 full text of the proposed amendments are available in the Planning Office and posted on the Town  
23 website.

25 Chair Plumer read the Public Hearing Notice for each section that was displayed on the screen:

27 Amend Article 2 Definitions by deleting 2.2.3 Accessory Dwelling Unit and replacing it with a new  
28 definition in compliance with recent state legislation.

30 Vice-Chair Brown noted that this was discussed at the last meeting and recommended leaving it as is.  
31 There was no public comment.

33 Mr. Grueter asked if this was adopting the state's language and Ms. Ogilvie indicated yes, owners can  
34 still only have one ADU whether attached or detached but the town cannot prohibit detached.

36 Amend Article 5, General Regulations, Section 5.6.6 Off-Street Parking Schedule (for residential dwelling  
37 units) to be in compliance with recent state legislation by requiring only one parking space for single-  
38 family and multi-family dwelling units.

40 Amend Article 4 – District Regulations, 4.2 Schedule 1: Permitted Uses, by changing animal  
41 boarding/kennels from a permitted use in District C-2, C-3, and CT-1 to a use allowed by Special  
42 Exception.

43 Vice-Chair Brown noted that he followed up with code enforcement and got requirements for a special  
44 exception which he forwarded to the Board and read out loud. He discussed 2.2.7.1 public health,  
45 safety and welfare and being compatible with the zoned district and grandfathering prior to 1972;  
46 adequate landscaping and screening, off street parking, ingress/egress to streets; excluding large scale  
47 developments; need for site plan approval, not affecting property values. He noted a poorly run facility  
48 could have an impact but there is a need for well-run types of facilities in the community.

49  
50 Amend Article 9, Section 9.3 Shoreland Protection Ordinance by adding a new paragraph entitled "F.  
51 Permitted Uses" (and renumbering accordingly) to ensure that the Shoreland Ordinance provides the  
52 same level of clarity regarding what is allowed as the Wetlands Ordinance.

53  
54 Ms. Ogilvie noted a paragraph was added for clarity as to what is allowed. She noted that the Board  
55 should ignore the earlier language they received after talking to Kristen Murphy the wrong language was  
56 provided between posting and this meeting.

57  
58 Chair Plumer read the language out loud concerning projects that revegetate or revitalize an already  
59 disturbed buffer zone; and would be reviewed by the Planning Dept.

60  
61 Mr. Grueter asked who the Planning Dept. would be and Ms. Ogilvie noted Planning and Building.

62  
63 Amend Article 5, General Regulations by adding a new section entitled "5.6.8 Bicycle Parking" which  
64 would require new construction projects to provide a safe, comfortable space for people to store and  
65 park their bicycles.

66  
67 Mr. Grueter noted it was interesting to cut parking for residences and to add or replace those spaces  
68 with bicycles.

69  
70 Ms. Martel noted she was generally in support and noted there were two options provided and the  
71 language needed to be brought to the public through public hearing.

72  
73 Ms. Belanger noted the town had three year-round bike racks at Whirligigs, town common and the  
74 library.

75  
76 Ms. Ogilvie noted she reviewed the materials sent by resident, Benjamin Hodsdon, and proposed adding  
77 the regulation to site plan.

78  
79 Ms. Martel asked Mr. Hodsdon what other towns are doing and he noted that he looked at Portsmouth  
80 NH and Portland Oregon. Portsmouth indicates one space for every four students and Portland indicates  
81 three spaces for every classroom. There were exceptions in Portsmouth like gas and convenience  
82 stores, but he took those out because a lot of PEA kids bike to get energy drinks and snacks.

83  
84 Ms. Belanger discussed the requirements for downtown and restaurants and felt the town could provide  
85 them downtown, but the Board agreed downtown was difficult. Vice-Chair Brown noted downtown  
86 properties have water on one side and the road on the other.

87 Unidentified noted she would like to see substantial remodeling included. Mr. Grueter noted that  
88 remodeling may be only on the interior and unable to make the room. Vice-Chair Brown noted there  
89 could be a waiver, but he was not in favor of passing anything that was going to need waivers. The  
90 Board questioned if more time was needed to determine flexibility in zones. Vice-Chair Brown  
91 recommended something that could come before the Board during site plan review so that the same  
92 conversation could be had as with landscaping. This could be a good start and then be looked at in a  
93 year. He noted Silas' remarks and that the change doesn't address enclosed structures. Ms. Martel  
94 noted a definition of short term and long term would help. Ms. Belanger asked about storage in a  
95 building rather than outside. Ms. Martel noted outside would be less expensive than inside, but you  
96 can't just stack them up in a laundry room. Mr. Grueter noted there was not much use in older resident  
97 homes and complexes. Ms. Martel recommended the wording "secure bike shelter."

98  
99 Ms. Martel noted that a substantial remodel doesn't come to the Planning Board unless it is a change of  
100 use. Ms. Ogilvie noted that site plan regulations are triggered for change or increased intensity, not  
101 remodeling.

102  
103 Mr. Grueter noted that the sidewalks weren't wide enough to accommodate bike racks. Ms. Martel  
104 noted they could not be on the public ROW. Chair Plumer questioned whether winter snow storage  
105 areas could be utilized off season, with portable bike racks that could be put away during winter.

106  
107 Mr. Hodsdon read remarks from Silas Richards who could not be present. He would like to see long-  
108 term sheltered parking/storage and noted bicycles don't contribute to the congestion and parking that  
109 automobiles do.

110  
111 Chair Plumer asked if bicycles are part of complete streets and Mr. Grueter indicated they were a big  
112 part of it. Vice-Chair Brown noted they will see something at RPC.

113  
114 Ms. Ogilvie noted there was time to make changes and post for January 8<sup>th</sup>.

115  
116 Ms. Belanger asked Mr. Hodsdon which versions were being sent to RPC and he indicated the last two  
117 going in the site plan regulations.

118  
119 Public hearing on the proposed amendments to the Town's Site Plan Review & Subdivision Regulations:  
120  
121 Amend the Site Plan Review & Subdivision Regulations by adding to Section 7.5 and 7.6 the requirement  
122 to show the location of a mail kiosk, as follows: 7.5.16 & 7.6.18 Location and description of a mail kiosk  
123 as required by and compliant with USPS regulations.

124  
125 Ms. Ogilvie noted they were informed by the Post Office what they want and will not deliver to new  
126 subdivisions of 7 homes or more. She did not know what the design requirements for the kiosks were. It  
127 includes manufactured housing.

128  
129 Vice-Chair Brown noted this is for compliance.

130

131 Amend the Subdivision and Site Plan Review Regulations by adding a new paragraph to Section 7.2  
132 Professional Standards, as follows: Section 7.2.3 Landscape plans, as required, shall be prepared and  
133 stamped by a registered professional landscape architect licensed in the State of New Hampshire.  
134

135 Ms. Ogilvie noted she added the waiver discussed at the last meeting. Vice-Chair Brown noted this has  
136 been a challenge for the Board; not wanting to design plans, and the same language was used as for  
137 surveys and site plans.

138

139 ***Vice-Chair Brown motioned that the Planning Board has concluded its business with proposed  
140 amendments 1-6 and will forward 1-6 to the town as presented tonight. Mr. Hubbard seconded the  
141 motion. A vote was taken, all were in favor, the motion passed unanimously.***

142

143 ***Vice-Chair Brown monitored to continue to work on proposed amendment #7 specifically 8.7.9  
144 brought by resident Benjamin Hodsdon, into the next meeting on January 8, 2025 to continue  
145 discussions. Ms. Belanger seconded the motion. A vote was taken, all were in favor, the motion  
146 passed unanimously.***

147

#### **IV. OLD BUSINESS**

149

#### **APPROVAL OF MINUTES**

151

152 November 20, 2025

153

154 Ms. Belanger recommended edits.

155

156 ***Mr. Grueter motioned to approve the minutes of November 20, 2025, as amended. Mr. MacLeod  
157 seconded the motion. A vote was taken, the motion passed unanimously.***

158

#### **V. OTHER BUSINESS**

160

- 161 • Master Plan Discussion
- 162 • Field Modifications
- 163 • Bond and/or Letter of Credit Reductions and Release
- 164
- 165 • Other

166

#### **VI. TOWN PLANNER'S ITEMS**

167

168

169

170

171 **VII. CHAIRPERSON'S ITEMS**

172 Chair Plumer thanked the volunteers from the Fire Department and DPW for decorating the town this  
173 month. Vice-Chair Brown noted the Christmas Tree Festival was great and had caroling.

174 **VIII. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

175 **IX. DJOURN**

176 *Ms. Belanger motioned to adjourn the meeting at 8:23 PM. Chair Plumer seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.*

178 Respectfully submitted.

179 Daniel Hoijer,

180 Recording Secretary (Via Exeter TV)



# TOWN OF EXETER

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[www.exeternh.gov](http://www.exeternh.gov)

**Date:** November 6, 2025

**To:** Planning Board

**From:** Melissa Roy, Interim Town Planner

**Re:** Exeter Police and Fire Substation Project

Although the Board is already aware of this project through the Capital Improvement Program (CIP) process and the subsequent successful Town vote in March 2024, the Town of Exeter is formally notifying the Planning Board, in accordance with NH RSA 674:54, of its intent to construct a Police and Fire Substation at 6 Continental Drive, identified as Tax Map Parcel #47-04-11.

The proposed use constitutes a *governmental use on government property*, and as such, it is exempt from local land use regulations.

The project consists of a 19,700-square-foot, two-story, net-zero facility, including secure parking areas for staff and the community. Since March 2024, Town staff have been collaborating closely with the project's architect and construction manager on the design and engineering of the building, and we look forward to commencing site work in the near future.

If possible, we would appreciate a decision this evening regarding whether the Planning Board intends to request a formal public hearing on this matter. Enclosed for your review are copies of the plans and supporting documentation.

Thank you for your attention and consideration.

*Schedule for Jan 8 - 1st on the agenda*

Enclosures



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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December 16<sup>th</sup>, 2025

Mr. Langdon Plumer, Chair  
Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

Re: Waiver Request – Willey Creek Co., LLC - Building D of the Active Adult Community  
off Ray Farmstead Road (Assessors Map 47 Lot 8)

On behalf of the applicant, Willey Creek Co., LLC, we respectfully request a waiver from the Town of Exeter Site Plan Review and Subdivision Regulations, as amended August 2023, specifically Section 9.1.3.5. This request is submitted as part of the Site Plan Application for the proposed construction of Building “D,” located off Ray Farmstead Road in Exeter, NH 03833. It is submitted in addition to the waiver request letter dated November 24, 2025 by Emanuel Engineering Inc.

The applicable regulation is as follows:

**Stormwater Management Standards, Stormwater Management Plan, Stormwater Pollution Plan, and Erosion and Sediment Control Standards**

**9.3.1. Stormwater Management for New Development: All proposed stormwater management practices and treatment systems shall meet the following design standards.**

**5. All stormwater runoff generated from new development shall be treated on the development site, to the maximum extent practicable. Runoff shall not be discharged from the development site to municipal stormwater systems or privately-owned stormwater systems (whether closed conduit or open drainage) or to surface water bodies and wetlands in volumes greater than discharged under existing conditions (developed condition or undeveloped condition). A development plan shall include provisions to retain stormwater on the site by using the natural flow patterns, when feasible.**

In an initial proposal in 2018 a new road was designed and proposed as a part of a TIF expansion. This TIF Road included a stormwater management area that incorporated all run off from the roadway. This included the portions of the road to the north of the wetlands crossing. In the years following the TIF road would be partially constructed, and the stormwater management area would be built.

This stormwater management area is a part of Exeter Tax Map 47 Lot 8-1 and continues to Map 47 Lot 9. This area is subject to a documented easement to allow the Town of Exeter the right to access and maintain the stormwater area.

The new Building D location proposes to extend Ray Farm Road along the existing town right of way into a private access way. This proposal includes collecting and conveying the stormwater runoff from the northern portions of the road back into the stormwater management area mentioned above.



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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Due to the wetland crossing and the historic inclusion of the stormwater run off into the area to the westerly side of Ray Farm Road we request a waiver to allow this practice to continue and be expanded upon. We understand that this is atypical and may require a revision of the easement to allow some of the burden of maintenance to be undertaken by the homeowner's association for the new building.

It is imperative to note that in the submittal provided and reviewed by the board at the June 12<sup>th</sup> meeting this configuration for the runoff was in place. This waiver request has been added to the submittal package to address concerns raised during the after-the-fact TRC meeting held on December 11<sup>th</sup>.

Directing the stormwater run off from the Northerly section into the existing stormwater management area is the least invasive method of mitigating the runoff. The area on the westerly side of the road was initially designed for this run off. Because of the wetland crossing and roadway it is difficult to redirect the stormwater runoff from the Northerly section of the access drive to another location without creating additional impact to the protective wetland buffer or requiring relocation of the existing drainage utilities.

Your favorable consideration of this waiver is appreciated.

Thank you,

*Katharena Morrill*

Katharena Morrill  
Millennium Engineering, Inc.



# TOWN OF EXETER

## *Planning and Building Department*

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

[www.exeternh.gov](http://www.exeternh.gov)

**Date:** December 30, 2025

**To:** Planning Board

**From:** Carol Ogilvie, Interim Town Planner

**Re:** Willey Creek Company      PB Case #22-3 – Amended Site Plan

This proposal is for an amendment to a previously-approved relocation of Building D at the Ray Farm Condominium Development. The building relocation was approved by the Board on June 12, 2025. In the interim, the applicant has made further revisions and submitted an amended site plan application to reflect the proposed change. The June 2025 approval was for a relocation of the original location for Building D; this revised plan leaves Building D in the June approved location. The changes to the site plan have to do primarily with a reconfiguration of the access road, and the removal of a retaining wall, both of which necessitated a revised stormwater management plan.

The previous approval included the granting of Wetland and Shoreland Conditional Use permits. As of this writing, a determination has not yet been made as to whether the changes necessitate reapplication for either of these permits. If so, this would not get before the Conservation Commission until 1-13-26. A decision on this application may therefore need to be made conditional upon input from the Conservation Commission.

Regarding the technical aspects of this plan, it has been reviewed by the Technical Review Committee, and comments provided to the Town's consulting engineer; the response letter from UEI is included in the Board's packet.

The applicant is requesting a waiver from the Site Plan Review Regulations that address the distance between buildings and driveways; the formal written request is included in the Board's packet.

Below, for your convenience, are draft motions for: (1) the waiver request; (2) acceptance of the application as complete; and (3) decision on the application.

### **Planning Board Motions:**

- (1) Waiver Request Motion:** I move that the Board (APPROVE/DENY) the request to waive Section 11.3.1.2.a. of the Site Plan Review Regulations
- (2) Acceptance Motion:** I move that the Board (ACCEPT/NOT ACCEPT) the application as complete for the purpose of moving into public hearing.
- (3) Decision Motion:** I move that the Board (ACCEPT/DENY/TABLE) the application of Willey Creek Co., LLC for an amended site plan for Building D. (\*subject to the following conditions:)

Thank you.

Enclosures



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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November 24, 2025

Landon Plumer, Chair  
Carol Ogilvie, Interim Town Planner  
Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

Re: Final Submission for  
Building D of the Active Adult Community off Ray Farmstead Road  
Assessors Map 47 Lot 8  
Case #22-3

On behalf of Willey Creek Company we submit the final site plan for the relocation of Building D for the active adult community off Ray Farmstead Road. This package has been created to allow final sign off and review for the site plan set that was approved on June 12, 2025 under case #22-3.

As you may recall the initial project submitted by GM2 revised the location for the 32-unit Building D with access to the building originating from Willey Creek Road. The revised site plan produced by Millennium Engineering returned access to Building D from Ray Farm Road. In the months following the conditional approval by the planning board Willey Creek Company selected Emmanuel Engineering Inc to assume technical responsibility for the project. Millennium Engineering remains involved as oversight and peer review for the final design. The plan set that is enclosed has been stamped by Professional Engineers from both Emmanuel Engineering Inc and Millennium Engineering.

Emmanuel Engineering has revised the plan set in several ways which benefit this site. These changes include revised parking lot layout, final landscaping and hardscaping requirements generated by Willey Creek Company, and revised drainage. A full list of changes is provided by attachment.

The site changes include a revision of the parking configuration which adjusts the garage entrance from the left side of the building to the right side of the building. This switch in configuration allows less sealed surface on the site and improves the overall constructability. Additionally, EEI has produced a parking lot which requires a waiver from Exeter Site Plan Review and Subdivision Regulations Section 11.3.1.2. This waiver, which was granted for Buildings A, B, and C, allows for a more accessible walkway from the building to the parking lot and has been considered beneficial to the future occupants of the building.

At the June 12<sup>th</sup> hearing the board voted favorably to approve the Wetland Conditional Use permit and the Shoreland Conditional Use permit. The conditions of the permits have been met in the application package provided. Final impacts of for the permits can be found on sheets 12 and 13 of the final plan set.

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Massachusetts: 62 Elm Street-Salisbury, MA 01952  
New Hampshire: 13 Hampton Road- Exeter, NH 03833

Phone: 978-463-8980  
603-778-0528

Fax: 978-499-0029  
603-772-0689

[www.Mei-MA.com](http://www.Mei-MA.com)

[www.MeI-NH.com](http://www.MeI-NH.com)



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*Land Surveyors and Civil Engineers*

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The complete package for sign off includes the following:

- Cover Letter from MEI
- Revision Letter from EEI
- Waiver Letter from EEI
- Keyed Abutters List
- Abutters Labels in Triplicate
- Fee for Notification and Legal Add - \$270
  
- 7 Full Size Copies of the Site Plan Package
- 15 – Tabloid Size Copies of the Site Plan Package
- 1 Copy Stormwater Report
- Digital Record of the Proposed Condominium Documents
- A complete digital record of all items above.

It is our understanding that the waiver for the parking lot will require additional dialogue at a planning board hearing. As such we have provided abutter notification labels and notification fee. Should other items be required please do not hesitate to contact Millennium Engineering to help address these concerns.

We trust the above information provides the necessary details required for the Board's review and ultimate approval. If you have any questions or comments on the above information, please feel free to contact our office.

Sincerely,

Millennium Engineering, Inc.

*Katharena Morrill*

Katharena Morrill, E.I.T.  
Project Manager

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Massachusetts: 62 Elm Street-Salisbury, MA 01952  
New Hampshire: 13 Hampton Road- Exeter, NH 03833

Phone: 978-463-8980 Fax: 978-499-0029  
603-778-0528 603-772-0689

[www.MeI-MA.com](http://www.MeI-MA.com)

[www.MeI-NH.com](http://www.MeI-NH.com)



November 24, 2025

Exeter Planning Board  
Town of Exeter  
10 Front Street  
Exeter, NH 03833

RE: Waiver Request – Willey Creek Co., LLC Building “D” Site Plan at Ray Farm –  
Off Ray Farmstead Road, Exeter, NH

Members of the Exeter Planning Board,

On behalf of the applicant, Willey Creek Co., LLC, we respectfully request a waiver from the Town of Exeter Site Plan Review and Subdivision Regulations, as amended August 2023, specifically Section 11.3.1.2.a. This request is submitted as part of the Site Plan Application for the proposed construction of Building “D,” located off Ray Farmstead Road in Exeter, NH 03833. The applicable regulation is provided below in bold, followed by our justification for the waiver in italics.

**Distance Between Building and Driveway:**

a) **No parking lot shall be closer than 25 feet to the front of any building, or 10 feet to the side or rear of any building.**

*The proposed layout includes one short portion of the frontage where the parking lot is 15 feet from the building. This reduced distance occurs only at the small vestibule projection and is limited to an 18-foot span along the front wall. Beyond that projection, the building steps back 6 feet, increasing the separation to 21 feet. Although 21 feet does not meet the 25-foot standard, this reduced distance affects only a limited portion of the front of the building. For the remaining approximately 150 feet of the building’s 192-foot length, roughly 78 percent of the frontage, the parking lot exceeds the required setback, with distances ranging from 29 to 35 feet.*

*Although the prescribed dimension is not met at the vestibule, the design continues to meet the intent of Section 11.3.1.2.a. The vestibule is a minor architectural bump-out used solely for weather protection at the entry and does not function as a primary living or circulation area. Between the parking lot and the*

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100 Griffin Road, Unit C, Portsmouth NH 03801 | P:603-772-4400 | [www.emanuelengineering.com](http://www.emanuelengineering.com)



*building there is a 6-foot sidewalk, a 3-foot-wide stair run, and a 6-foot landing, all elevated above the pavement and separated by a vertical granite curb. The building finished-floor elevation is 122, while the parking lot ranges from approximately 115.85 to 120.5. Near the vestibule, the vertical separation is somewhere within this range, providing sufficient buffer to limit potential vehicular encroachment. Bollards are also placed at the highest pavement elevations as an additional safeguard. These combined measures meet or exceed the intent of the regulation even with the reduced horizontal distance.*

*The Fire Chief has reviewed the pavement layout, emergency access, and hydrant locations, including the area of reduced setback, and has verbally confirmed that emergency response capabilities are fully maintained. Landscaping is also proposed between the parking lot and the building to provide screening for residents. Because the building is located within the wooded interior of the site and is not visible from public ways or abutting properties, the reduced setback has no impact on neighborhood character or public view corridors.*

*Maintaining the full 25-foot setback at the vestibule would result in site-grading constraints that would require driveway slopes exceeding 5 percent or would shift the ADA parking spaces away from the accessible entrance. Ensuring compliant grades and direct ADA access is particularly important for a 55+ community and aligns with the broader purpose of the Site Plan Regulations to provide safe, functional, and accessible site design. Allowing the 15-foot setback at this limited location therefore upholds the spirit and intent of Section 11.3.1.2.a.*

Your favorable consideration of this waiver request would be appreciated.

Sincerely,

A handwritten signature in blue ink, appearing to read 'JJ MacBride'.

JJ MacBride, P.E.

**Civil & Structural Consultants | Land Planners**

100 Griffin Road, Unit C, Portsmouth NH 03801 | P:603-772-4400 | [www.emanuelengineering.com](http://www.emanuelengineering.com)



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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November 24, 2025

Landon Plumer, Chair  
Carol Ogilvie, Interim Town Planner  
Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

Re: Final Submission for  
Building D of the Active Adult Community off Ray Farmstead Road  
Assessors Map 47 Lot 8  
Case #22-3  
UEI Comment Response

On behalf of Willey Creek Company, enclosed is the final submission of the site plan for the relocation of Building D for the active adult community off Ray Farmstead Road. This package has been created to allow final sign off and review for the site plan set that was approved on June 12, 2025, under case #22-3.

As you may recall the initial project submitted by GM2 revised the location for the 32-unit Building D with access to the building originating from Willey Creek Road. The revised site plan produced by Millennium Engineering returned access to Building D from Ray Farm Road. In the months following the conditional approval by the planning board Willey Creek Company selected Emmanuel Engineering Inc to assume technical responsibility for the project. Millennium Engineering remains involved as oversight and peer review for the final design. The plan set that is enclosed has been stamped by Professional Engineers from both Emmanuel Engineering Inc and Millennium Engineering.

On June 10, 2025 Underwood Engineers responded to our previous planning board set with a review letter containing many comments about the site plan set and design. The revised plan set provided by EEI addresses many, if not all, of the outstanding comments including providing final design detail of utilities including water and sewer mains, elevations, and locations. The EEI package also transforms the midstep grading into a final product that corresponds with the stormwater requirements and has been submitted to NHDES AOT for their review. A general overview of the revisions has been provided as a separate attachment.

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*Land Surveyors and Civil Engineers*

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As such we have not provided a formal response letter to the June 10<sup>th</sup> comments. We ask that UEI provide any remaining feedback they may have for revision. If you have any questions or comments on the above information, please feel free to contact our office.

Sincerely,

Millennium Engineering, Inc.

*Katharena Morrill*

Katharena Morrill, E.I.T.  
Project Manager

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November 6, 2025

Exeter Planning Board  
10 Front Street  
Exeter, NH 03833

RE: List of Revisions – Ray Farm Building “D”, Off Ray Farmstead Road, Exeter, NH 03833

To the Town of Exeter Planning Board,

As requested, please find below a summary of revisions and updates made to the plans for the Ray Farm Building “D” project. This summary highlights the differences between the original plans, which were approved by the Exeter Planning Board on June 12, 2025, and the most recent plan set, emphasizing improvements in site efficiency, safety, and stormwater management.

- The proposed building footprint and location remain unchanged. The building has been mirrored so that the basement garage entrance is now on the right side rather than the left. This adjustment reduces grading requirements and enhances emergency access.
- The proposed driveway has been shortened, terminating in a stub rather than a loop, and the number of outdoor parking spaces has been reduced to 13. This results in less impervious surface on the site, promoting improved stormwater management. While fire trucks can no longer loop around, Sheets 16 and 17 demonstrate that they can safely enter, navigate, and exit the site. The revised layout has been shared with the Exeter Fire Department, who expressed support for the change.
- Parking is now proposed immediately adjacent to the building, eliminating the driveway between the spaces and the building.
- Retaining walls on the eastern corner of the site are no longer required due to the reduced grading achieved by mirroring the building. Previously, this area required a substantial excavation approximately 24 feet deep, but the revised design reduces this to roughly 15 feet. By minimizing the depth of the cut, we are able to replace the large retaining walls with a 1:1 riprap slope, which provides a stable, low-maintenance solution while reducing the visual severity of the vertical drop. This approach improves site safety and constructability and results in a more natural transition from top to bottom compared with two very tall retaining walls.

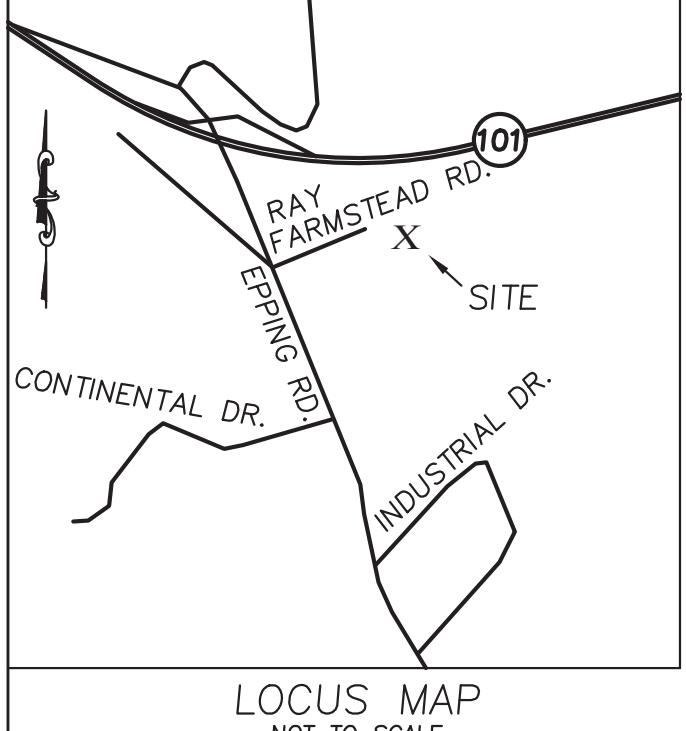
- The previous design also included a low point at the garage entrance on the north side of the building, where stormwater had no safe drainage path. This posed a risk of water accumulation, freezing, and potential flooding at the garage entrance. The revised design relocates the garage entrance and regrades the area, improving drainage, reducing freezing hazards, and enhancing overall site functionality.
- A 20'x20' outdoor grilling area is proposed east of the building, enhancing the usability of the site for building occupants.
- On-site drainage has been revised for greater efficiency and environmental benefit. The previous design relied on a large stormwater management pond with prefabricated subsurface chambers, which could retain standing water for extended periods. The revised design replaces this with a drip edge along the building and two smaller bioretention basins. Each bioretention basin includes a specialized soil filter layer designed to treat stormwater by removing pollutants before infiltration, improving overall water quality. Because the basins do not hold standing water for long periods, concerns such as mosquito breeding are greatly minimized. This approach promotes groundwater recharge, reduces runoff and erosion, and provides a sustainable, low-maintenance solution that meets all NHDES AoT standards for flows and volumes.

These revisions maintain the original project intent while improving site functionality, reducing impervious coverage, and enhancing safety and drainage performance.

Sincerely,



JJ MacBride, PE  
Civil Engineer



LOCUS MAP  
NOT TO SCALE

LOCUS NOTES:

1. PARCEL:  
ASSESSORS MAP 47, LOT 8, 8-1 & 9.  
LOT 8 DEED: RCRD BK: 5912 PG: 0132  
LOT 8 DEED: RCRD BK: 3231 PG: 2722  
LOT 9 DEED: RCRD BK: 3231 PG: 2722  
THIS PLAN SET INCLUDES A MINOR SUBDIVISION. SEE SHEET 4
2. ZONING:  
C-3 DISTRICT  
MINIMUM LOT AREA  
LOT AREA PROVIDED 40,000 SF  
MINIMUM LOT WIDTH  
MINIMUM LOT DEPTH 175 FEET  
225 FEET  
MINIMUM FRONTAGE ALLOWED  
FRONTAGE PROVIDED 175 FEET  
458 FEET  
MINIMUM YARD SETBACKS  
FRONT 50 FEET  
SIDE 30 FEET  
REAR 25 FEET  
MAX. BUILDING COVERAGE ALLOWED  
BUILDING COVERAGE PROVIDED 40 %  
9.42 % ( $\pm 65,320$  SF)  
MINIMUM OPEN SPACE ALLOWED  
OPEN SPACE PROVIDED 20 %  
78.03 % ( $\pm 541,000$  SF)  
MAXIMUM HEIGHT ALLOWED  
MAXIMUM HEIGHT PROVIDED 50 FEET  
49 FEET
3. TOTAL SITE DENSITY  
TOTAL PARCEL AREA  
15.9161 ACRES (693,306 SF)  
TOTAL NUMBER OF UNITS - 128 (32 UNITS EACH BUILDING)  
DENSITY = 5,416.45 SF PER UNIT
4. VERTICAL DATUM IS BASED ON NAVD 88.
5. THIS PARCEL DOES NOT LIE WITHIN A FLOOD ZONE. SEE F.J.R.M. COMMUNITY PANELS 33015C401E AND 33015C402E EFFECTIVE DATE MAY 17, 2005.
6. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
7. THE EXETER ZONING BOARD OF ADJUSTMENTS HAVE GRANTED THE FOLLOWING VARIANCES:  
1. ARTICLE 4.1.1 - LOT AREA PER DWELLING UNIT WHERE 2,500 SF IS REQUIRED AND 1,723.5 SF WAS PROPOSED  
2. ARTICLE 11.7.1 - PAYMENT OF SCHOOL IMPACT FEES  
3. ARTICLE 11.7.1 - PAYMENT OF RECREATION IMPACT FEES

BUILDING D SITE DATA

PROPOSED USE (BLDG 'D') - ACTIVE ADULT COMMUNITY (VARIANCE GRANTED)  
FOUR STORY 32 UNIT BUILDING, WITH INSIDE PARKING AT BASEMENT LEVEL.

PARKING REQUIRED (PER THE TOWN OF EXETER) - 32 UNITS x 2 SPACES PER UNIT + 1 SPACE PER 4 UNITS = 72 SPACES REQUIRED.

PARKING PROVIDED - 49 TOTAL (SEE NOTE). 36 IN PARKING GARAGE BELOW BUILDING, 13 SURFACE PARKING. GARAGE PARKING LAYOUT IS SHOWN ON SHEET A1.0 OF THE ARCHITECTURAL PLANS PREPARED BY CJ ARCHITECTS DATED JUNE 10, 2022. SURFACE PARKING LAYOUT IS SHOWN ON THE SITE PLAN ON SHEET 8 OF THIS PLAN SET, REVISED NOVEMBER 24, 2025.

NOTE - THE PROPOSED PARKING PROVISION OF 49 SPACES FALLS SHORT OF THE TOWN'S REQUIRED 72 SPACES. THIS REDUCTION IS CONSISTENT WITH RSA 674:16, SECTION VII, WHICH LIMITS MUNICIPAL PARKING REQUIREMENTS TO A MAXIMUM OF 1.5 SPACES PER UNIT FOR MULTI-FAMILY DEVELOPMENTS OF 10 OR MORE UNITS. THIS STATUTORY LIMITATION BECAME EFFECTIVE ON JANUARY 1, 2025. 32 UNITS x 1.5 SPACES PER UNIT = 48 SPACES REQUIRED PER RSA 674:16, SECTION VII.

WAIVERS GRANTED

WAIVER FOR RECREATIONAL AREAS - 11.3.4 SITE PLAN REVIEW REGULATIONS

CONDITIONAL USE PERMITS GRANTED

WETLAND & SHORELAND CONDITIONAL USE PERMITS - JUNE 10, 2025

PERMITS REQUIRED

ALTERATION OF TERRAIN - Aot 1335 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")

ALTERATION OF TERRAIN - PENDING (FOR BUILDING D)

DREDGE AND FILL - FILE NO. 2017-01530 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")

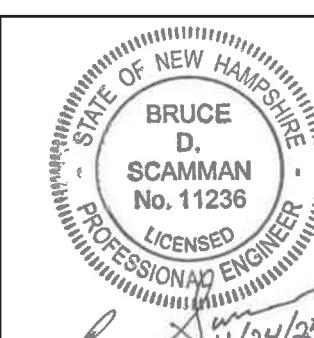
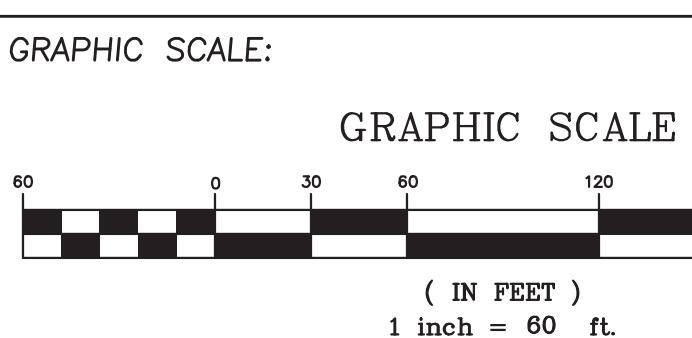
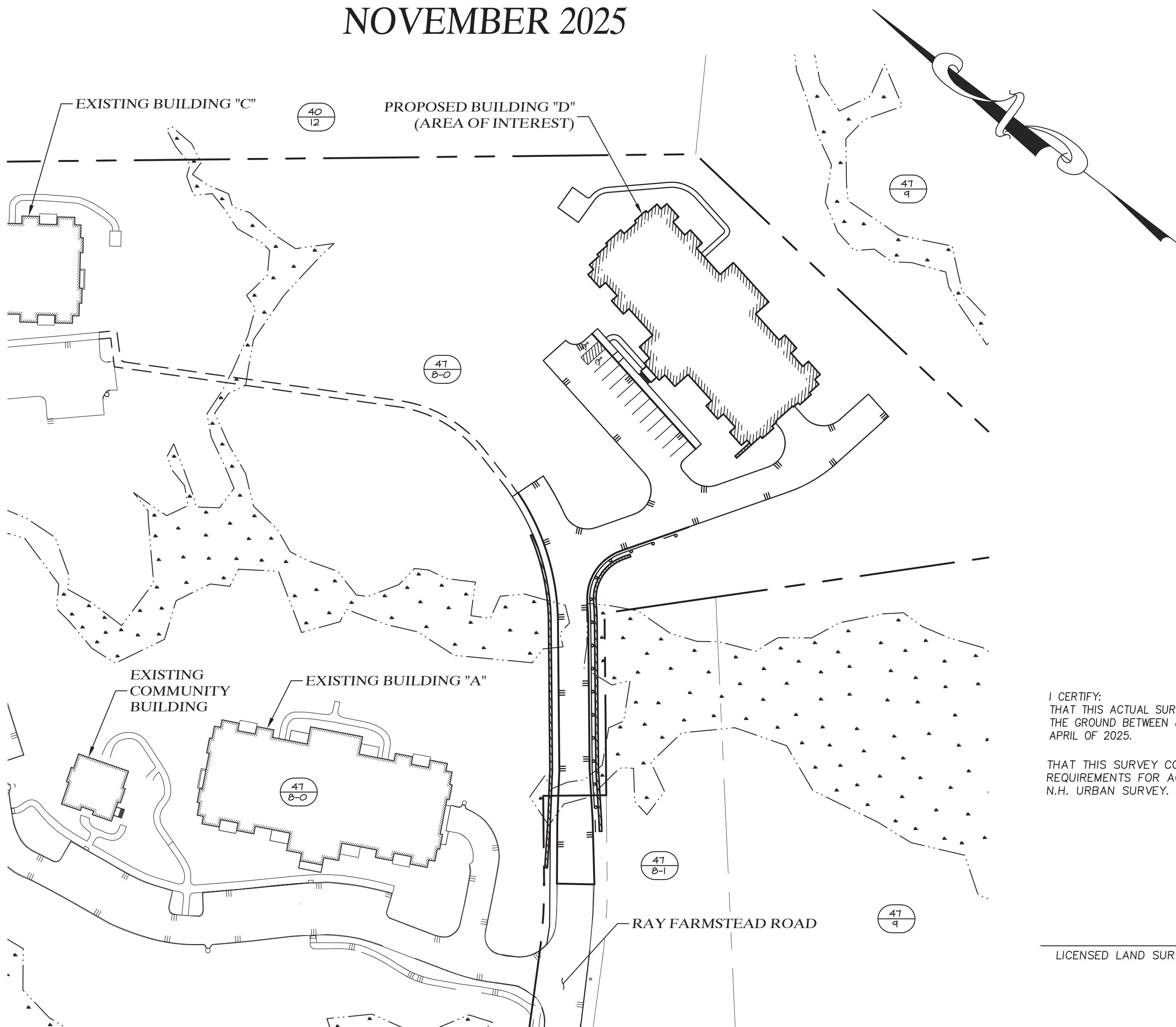
DREDGE AND FILL - TO BE ACQUIRED (ASSOCIATED WITH BUILDING D)

NHDES SEWER CONNECTION PERMIT - TO BE ACQUIRED

EPA CONSTRUCTION GENERAL PERMIT - TO BE ACQUIRED

RAY FARM "BUILDING D"  
SITE DEVELOPMENT PLANS  
FOR AN ACTIVE ADULT COMMUNITY  
OFF RAY FARMSTEAD ROAD  
EXETER, NH

NOVEMBER 2025



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

1	11/24/25	FOR APPROVAL	JJM
NO.	DATE	DESCRIPTION	BY

**CEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
603-772-4400 | EMANUELEENGINEERING.COM ©2025

**MEI**  
MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: 1" = 60' CALC. BY: JJM  
DATE: NOV. 10, 2025 CHKD. BY: BDS PROJECT: 25-1019

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TOWN OF EXETER PLANNING BOARD

LICENSED LAND SURVEYOR DATE CHAIRMAN DATE

IN EXETER, NH

SHOWING

BUILDING "D" AT RAY FARM

OFF RAY FARMSTEAD ROAD

PLAN TITLE  
**COVER SHEET**  
SHEET: 1

## GENERAL NOTES

- ELEVATIONS BASED ON NAVD 1988. PLANS ARE NH STATE PLAIN NAD83 COORDINATE SYSTEM.
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR'S MAPS AND DO NOT CONSTITUTE CERTIFICATION TO TITLE OR OWNERSHIP.
- EXISTING CONDITIONS DATA FROM AN ON THE GROUND SURVEY CONDUCTED BY W.C. CAMMETT ENG., NOVEMBER OF 2016 THROUGH APRIL OF 2017, GM2 ASSOCIATES IN DECEMBER OF 2021 AND MILLENNIUM ENGINEERING, 2023 THROUGH 2025. TOPOGRAPHICAL SURFACES HAVE BEEN GENERATED USING ON THE GROUND SURVEY AND LIDAR COLLECTED BY NOAA.
- ADDITIONAL ON THE GROUND TOPOGRAPHICAL SURVEY IS TO BE COMPLETED IN 2025 TO VERIFY PRIOR TO CONSTRUCTION.
- WETLANDS AND SOILS INFORMATION PROVIDED BY GOVE ENVIRONMENTAL SERVICES.
- THERE IS NO FLOOD PLAIN ON THIS SITE ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3301300401E.
- EXISTING 50' WIDE RIGHT OF WAY IS FOR THE BENEFIT OF N. SCOTT CARLISLE. SEE BOOK 3794 PAGE 1963 FOR NOTICE OF EASEMENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, WATER AND ANY OTHER PRIVATE OR MUNICIPAL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- WHERE EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER OF RECORD FOR RESOLUTION OF THE CONFLICT.
- EXISTING UTILITY POLES, WILL BE RELOCATED BY OTHERS, IF NECESSARY.
- EXCAVATION SHALL ONLY OCCUR WITHIN THE LIMIT OF WORK, AS SHOWN.
- IF AREAS OUTSIDE THE LIMIT OF PROPOSED WORK IS DISTURBED BY THE CONTRACTOR'S OPERATIONS, THE AREAS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAW CUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN, INFRARED SEAL, AND BACK SANDED.
- EXISTING SIGNS AND/OR MAILBOXES WITHIN THE PROJECT LIMITS THAT ARE DISTURBED SHALL BE REMOVED AND RELOCATED AS APPLICABLE.
- ALL DISTURBED AREAS OUTSIDE OF THE NEW PAVEMENT LIMITS SHALL BE LOAMED (4" MINIMUM DEPTH) AND SEDED.
- A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER MAINS AND SEWER LINES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE EXETER WATER AND SEWER DEPARTMENT WHEN MAKING THE CONNECTIONS.
- ALL WORK SHALL COMPLY WITH EXETER'S "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER" NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE"

## MATERIAL NOTES

- CRUSHED GRAVEL - NH DOT 304.3
- GRAVEL - NH DOT 304.2
- SAND - NH DOT 304.1
- BACKFILL MATERIAL - EARTH MATERIAL FREE FROM ROCKS LARGER THAN 3", DEBRIS, STUMPS, CLAY, ORGANIC MATTER, ICE, FROZEN SOIL, AND EXCESSIVE MOISTURE.
- LOAM - NH DOT 641.2.1
- CRUSHED STONE - GRADED CRUSHED ROCK TO THE SIZE SPECIFIED, WITH LESS THAN 2% FINES PASSING THE #200 SIEVE.
- PLACING AND COMPACTION OF FILL MATERIALS SHALL COMPLY WITH NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 304.3.4, 304.3.5, AND 304.3.6.
- PAVEMENTS SHALL COMPLY WITH SECTIONS 401, 403, AND 410 OF NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

## CONSTRUCTION NOTES

- PRIOR TO ANY EXCAVATION, DIG-SAFE (811 OR 1-888-DIG-SAFE) AND EXETER DPW (603-773-6157) SHALL BE NOTIFIED TO LOCATE ALL PERTINENT UTILITIES INCLUDING WATER, SEWER, AND DRAINAGE.
- THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL OF ONE HALF INCH OR MORE.
- DO NOT CLEAR AND STRIP THE ENTIRE SITE AT ONE TIME. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. IN NO CASE SHALL MORE THAN 5 ACRES BE DISTURBED AT ONE TIME. STABILIZE THE AREA BEFORE MOVING ON TO THE NEXT AREA. DISTURBED AREAS REMAINING OPEN FOR MORE THAN 45 DAYS, SHALL BE STABILIZED.
- WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3 INCH OF NON EROSION MATERIAL SUCH AS RIP-RAP HAS BEEN INSTALLED
  - OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. SEEDING SPECIFICATIONS ARE AS FOLLOWS:

TEMPORARY SEEDING FOR EROSION CONTROL DURING CONSTRUCTION:		
SPECIES	POUNDS/1000 SF	REMARKS
WINTER RYE	2.5	BEST FOR FALL SEEDING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 1"
OATS	2.0	BEST FOR SPRING SEEDING. NO LATER THAN MAY 15. SEED TO A DEPTH OF 1"
ANNUAL RYEGRASS	1.0	SEED EARLY SPRING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 0.25"
PERENNIAL RYEGRASS	0.7	SEED BETWEEN APRIL 1 TO AUG. 15. SEED TO A DEPTH OF 0.5"

PERMANENT VEGETATION SEED MIXTURE:		
SPECIES	POUNDS/1000 SF	
TALL FESCUE	0.45	
CREEPING RED FESCUE	0.45	
BIRDSFOOT TREFOIL	0.20	
TOTAL	1.10	

- ALL RE-VEGETATED AREAS THAT DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS (ON 3:1 SLOPES OR GREATER), SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, OR SECURING WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER SNOW OR FROZEN GROUND AND SHALL BE COMPLETED PRIOR TO AN ACCUMULATION OF SNOW AND/OR FROST.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROADS OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NH DOT ITEM 304.3.
- CONCRETE WASH OUT SHALL BE CONDUCTED IN THE AREAS SHOWN ON SHEET C1.51 AND USE THE CONCRETE WASH OUT DETAIL SHOWN ON SHEET C5.11.
- NO STUMPS OR DEBRIS SHALL BE BURIED ONSITE. ALL STUMPS AND CONSTRUCTION DEBRIS SHALL BE STORED ONSITE UNTIL THEY CAN BE DISPOSED OFF ONSITE IN A FACILITY CAPABLE OF HANDLING SUCH MATERIALS.
- TEMPORARY PORTABLE TOILETS SHALL BE PROVIDED AND PROPERLY MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT.
- VEHICLE MAINTENANCE SHALL BE PERFORMED OFF SITE. ANY VEHICLE LEAKING OIL OR GREASE SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. FUEL AND OILS SHALL BE STORED IN AN APPROVED LOCATION AND COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IN NO CASE SHALL THEY BE STORED WITHIN 100' OF WETLAND AREAS.

GRAPHIC SCALE:

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO. DATE DESCRIPTION BY

## LEGEND

EXISTING	PROPOSED	
■	■	CATCH BASIN (OR DRY WELL)
—	—	CURB (OR BERM) - TYPE NOTED
III	III	EDGE OF ROAD
— 100 —	— 100.00 —	CONTOUR
X 100.00	100.00	SPOT GRADE
◎	◎	SEWER MANHOLE
◎	◎	DRAINAGE MANHOLE
◎	◎	GAS VALVE
◎	◎	WATER VALVE
◎	◎	HYDRANT
◎	◎	POST MOUNTED PEDESTRIAN LIGHT
D	D	UTILITY POLE
GAS	GAS	DRAIN PIPE
— ○ —	— ○ —	GAS SERVICE
S	S	GUARDRAIL
UG	UG	SEWER MAIN
W	W	UNDERGROUND ELECTRIC
W	W	WATER MAIN
II	II	FENCE (SIZE AND TYPE NOTED)
— — —	— — —	EASEMENT LINE
— — —	— — —	PROPERTY LINE
TP X	TP X	TEST PIT
— — —	— — —	SILTATION BARRIER/LIMIT OF WORK
— — —	— — —	EDGE OF WETLAND
— ○ —	— ○ —	WETLAND SYMBOL
○ ○ ○	○ ○ ○	RIPRAP OR STONE
○ ○ ○	○ ○ ○	PARKING SPACE COUNT

## ABBREVIATIONS

UTILITIES	
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYLCHLORIDE PIPE
C.I.	CAST IRON PIPE
COND	CONDUIT
D.I.	DUCTILE IRON PIPE
HYD.	HYDRANT
INV.	INVERT ELEVATION
UP	UTILITY POLE
TSV & B	TAPPING SLEEVE, VALVE AND BOX

GENERAL	
PROP.	PROPOSED
MIN.	MINIMUM
MAX.	MAXIMUM
EXIST.	EXISTING
STA.	STATION
GRAN.	GRANITE
DRIVE	DRIVEWAY
ELEV.	ELEVATION
N.T.S.	NOT TO SCALE
TYPI.	TYPICAL
APPROX.	APPROXIMATE
CEM. CONC.	CEMENT CONCRETE
BIT. CONC.	BITUMINOUS CONCRETE
ROW	RIGHT OF WAY
§	CENTERLINE
WALK	SIDEWALK
TBM	TEMPORARY BENCH MARK
SCE	SLOPED GRANITE EDGING

## TREES

CON 12	12" CONIFEROUS TREE
DEC 12	12" DECIDUOUS TREE

## ROADWAY

H.P.	HIGH POINT
L.P.	LOW POINT
A.D.	ALGEBRAIC DIFFERENCE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
CC	CENTER OF CURVE
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
PVRC	POINT OF VERTICAL REVERSE CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
OD	OUTSIDE DIAMETER
ID	INSIDE DIAMETER
DIA. Ø	DIAMETER
R	RADIUS
TYP.	TYPICAL
L	LENGTH
DP.	DEPTH
EQ.	EQUIVALENT

TOLL FREE  
1-888-DIG-SAFE  
(1-888-344-7233)

TOWN OF EXETER PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

GENERAL NOTES AND LEGEND

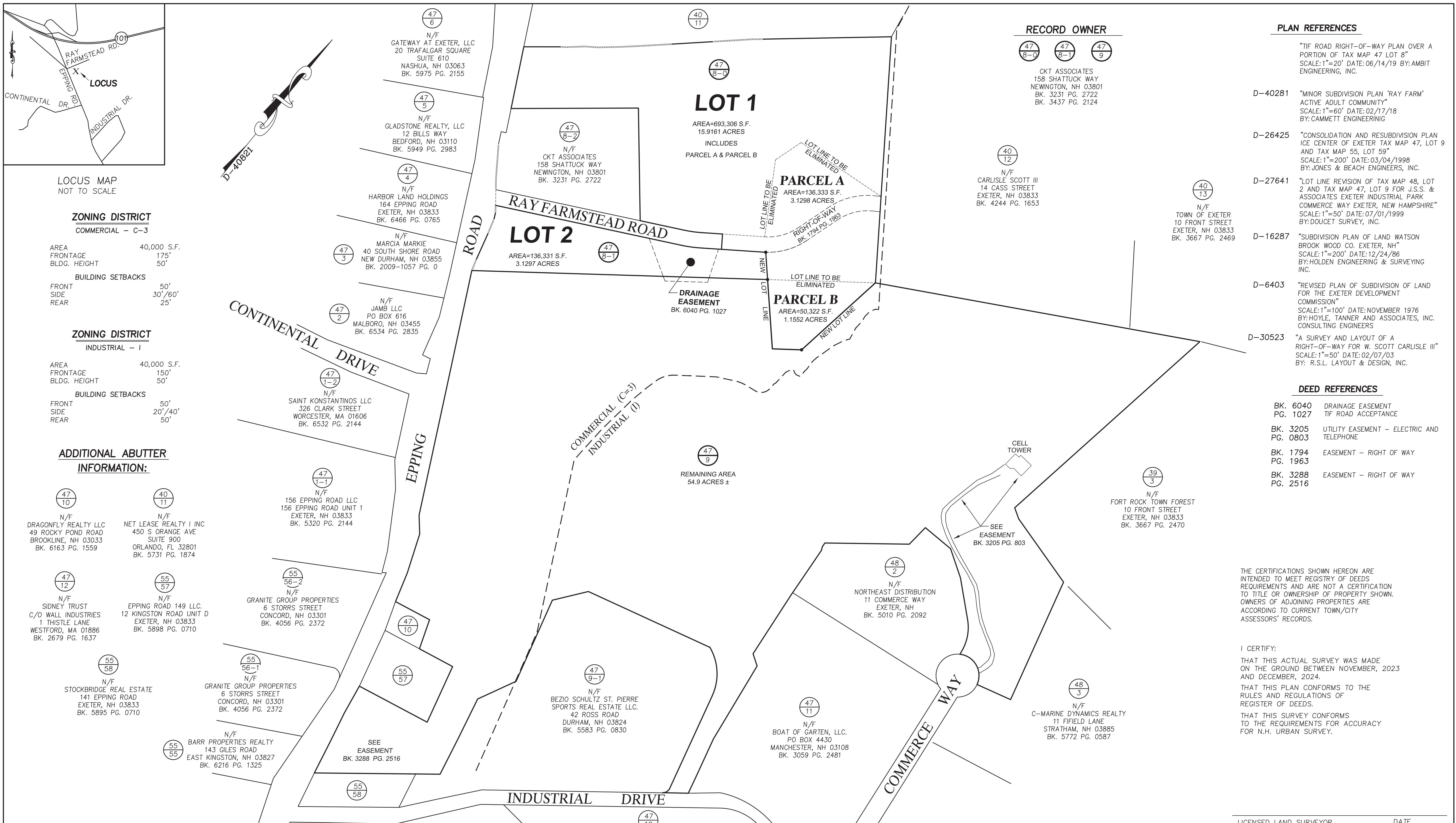
PLAN TITLE

**MEI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

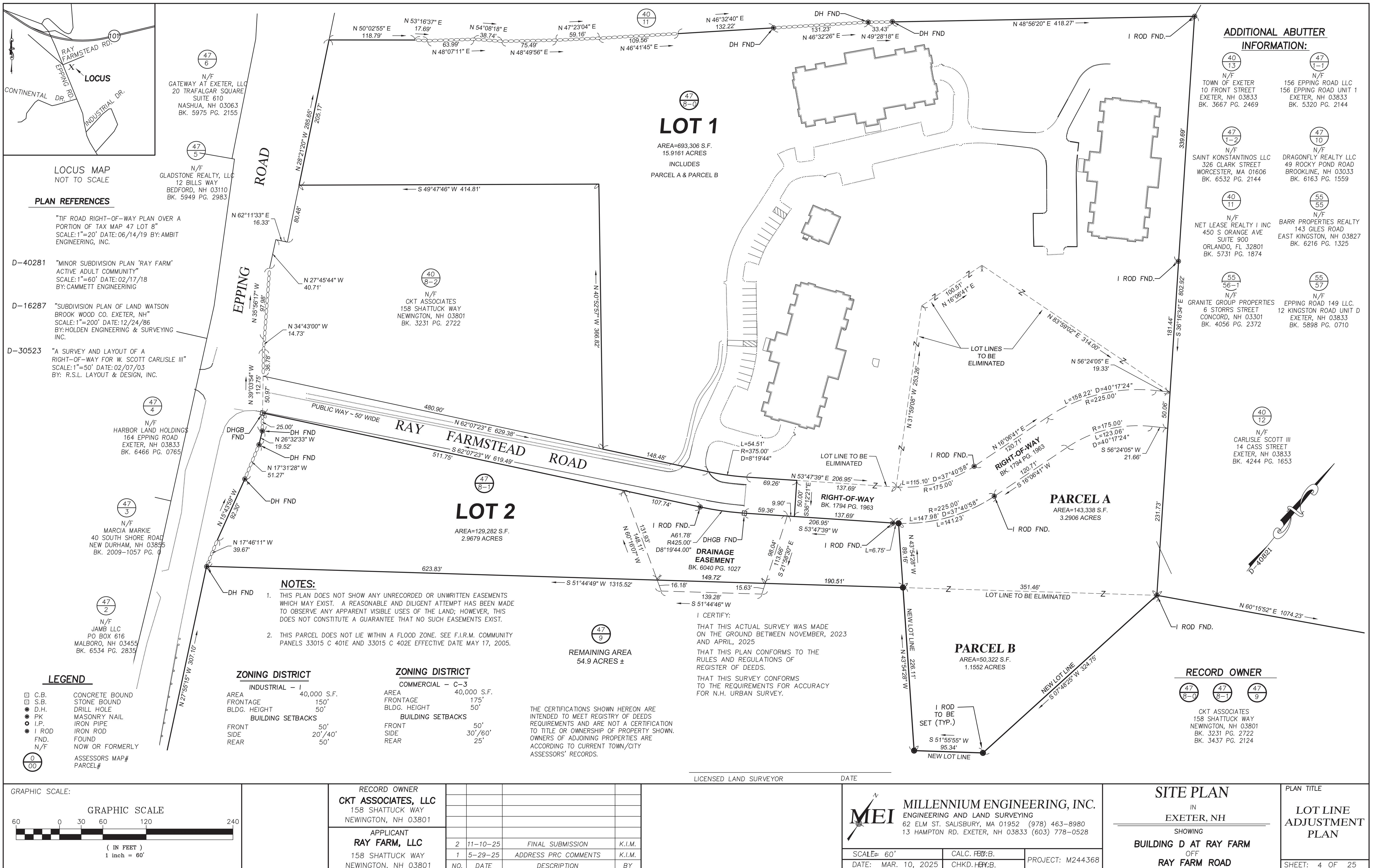
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
603-772-4400 | EMANUELENGINEERING.COM ©2025

SCALE: 1" = 20' CALC. BY: JUM PROJECT: 25-1019  
DATE: NOV. 10, 2025 CHKD. BY: BDS

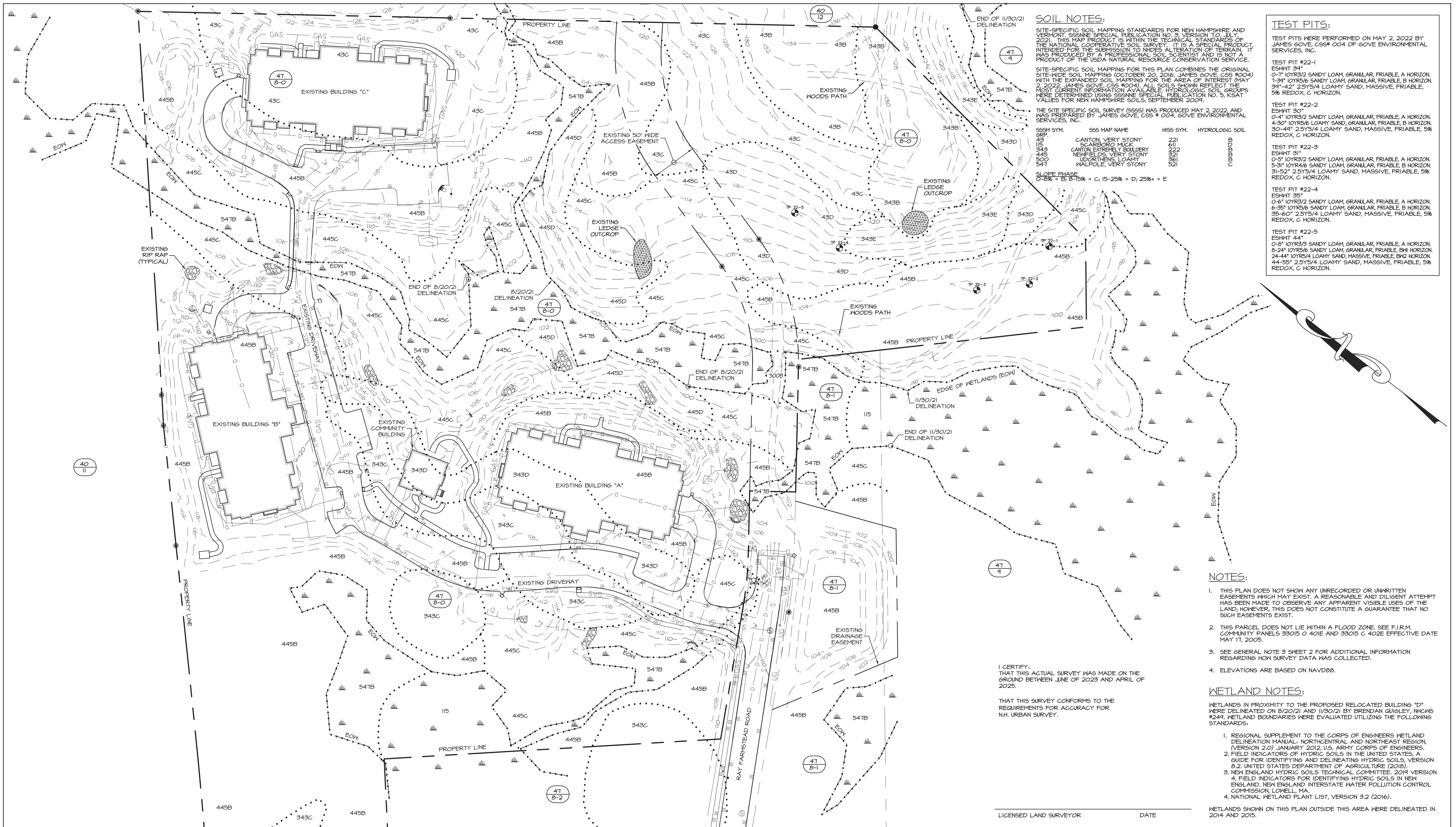




THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



RECORD OWNER  
CKT ASSOCIATES,  
158 SHATTUCK W.  
NEWINGTON, N.H. 03857

NEWINGTON, NH 03801  
APPLICANT  
WILLEY CREEK CO, L  
158 SHATTUCK WAY  
NEWINGTON, NH 03801



**CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS**  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

1" = 50'	CALC. BY: JJM	PROJECT: 25-1019
NOV. 10, 2025	CHKD. BY: BDS	

**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
LDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

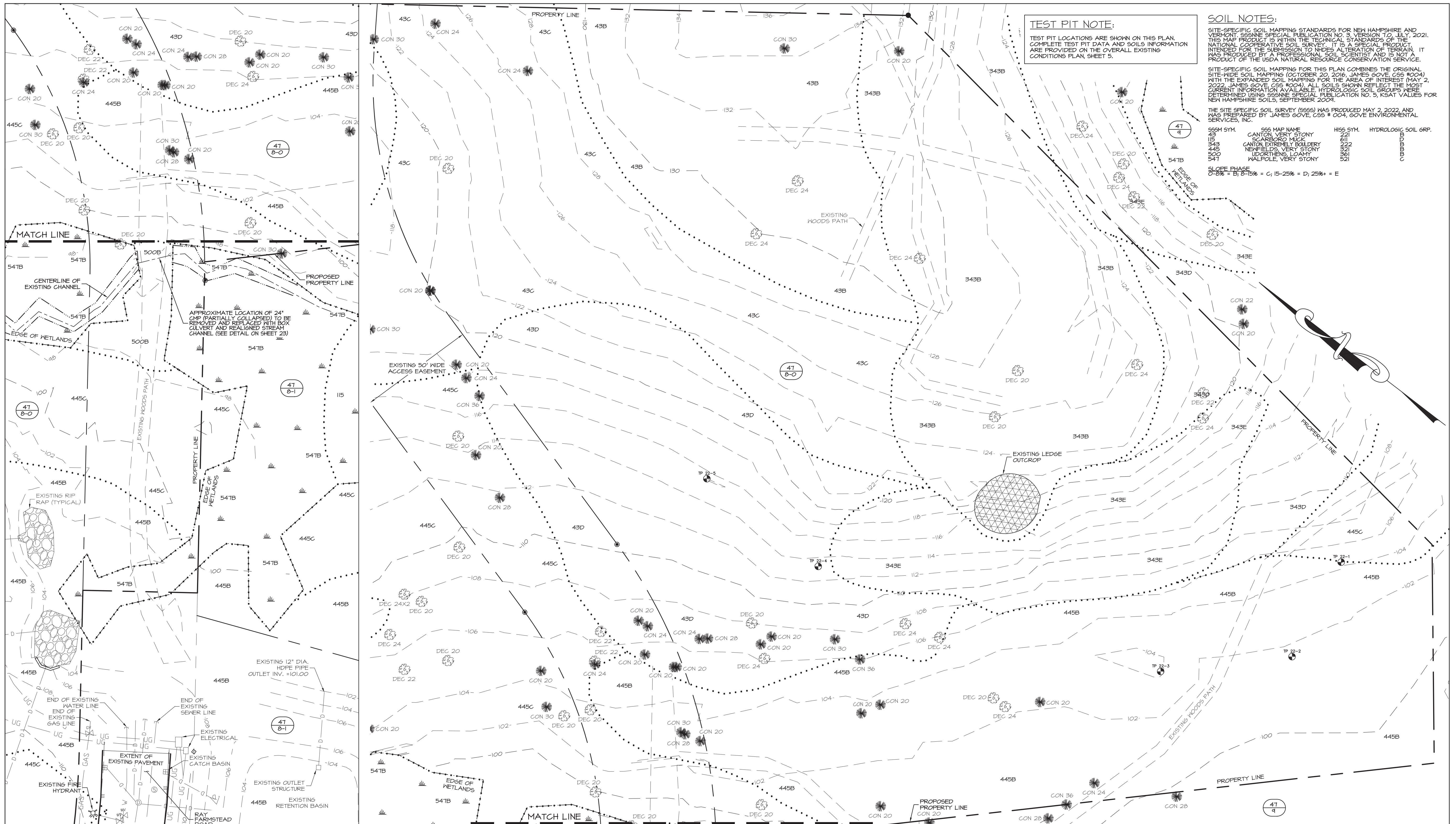
AN TITLE

# OVERALL EXISTING CONDITIONS PLAN

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HEET: 5

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



## GRAPHIC SCALE:

RECOR  
CKT ASSO  
158 SHA  
NEWINGTO

APPLICANT  
WILLEY CREEK CO, L  
158 SHATTUCK WAY  
NEWINGTON, NH 03801



**CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS**  
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**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

# SITE PLAN IN EXETER, NH

EXETER, NH  
SHOWING  
LDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

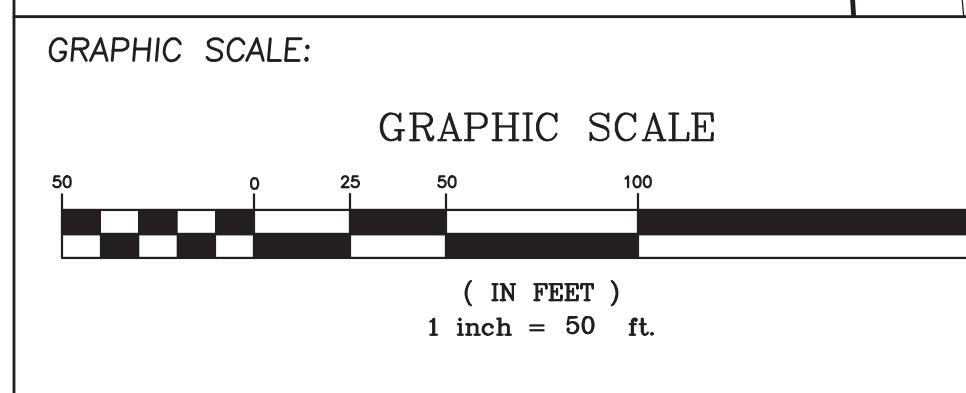
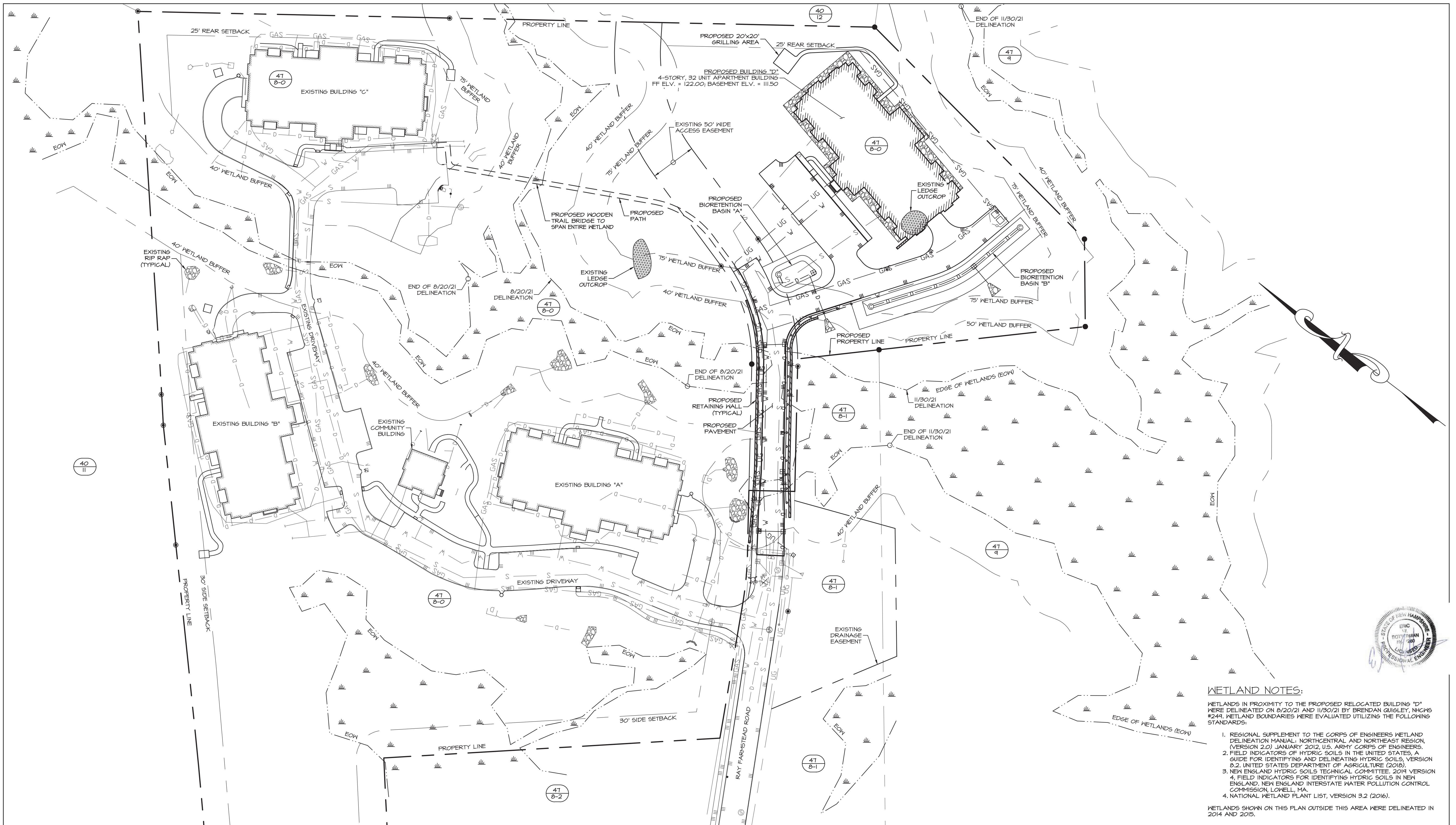
LAN TITLE

**DETAILED  
EXISTING  
CONDITIONS  
PLAN**

---

HEET: 6

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

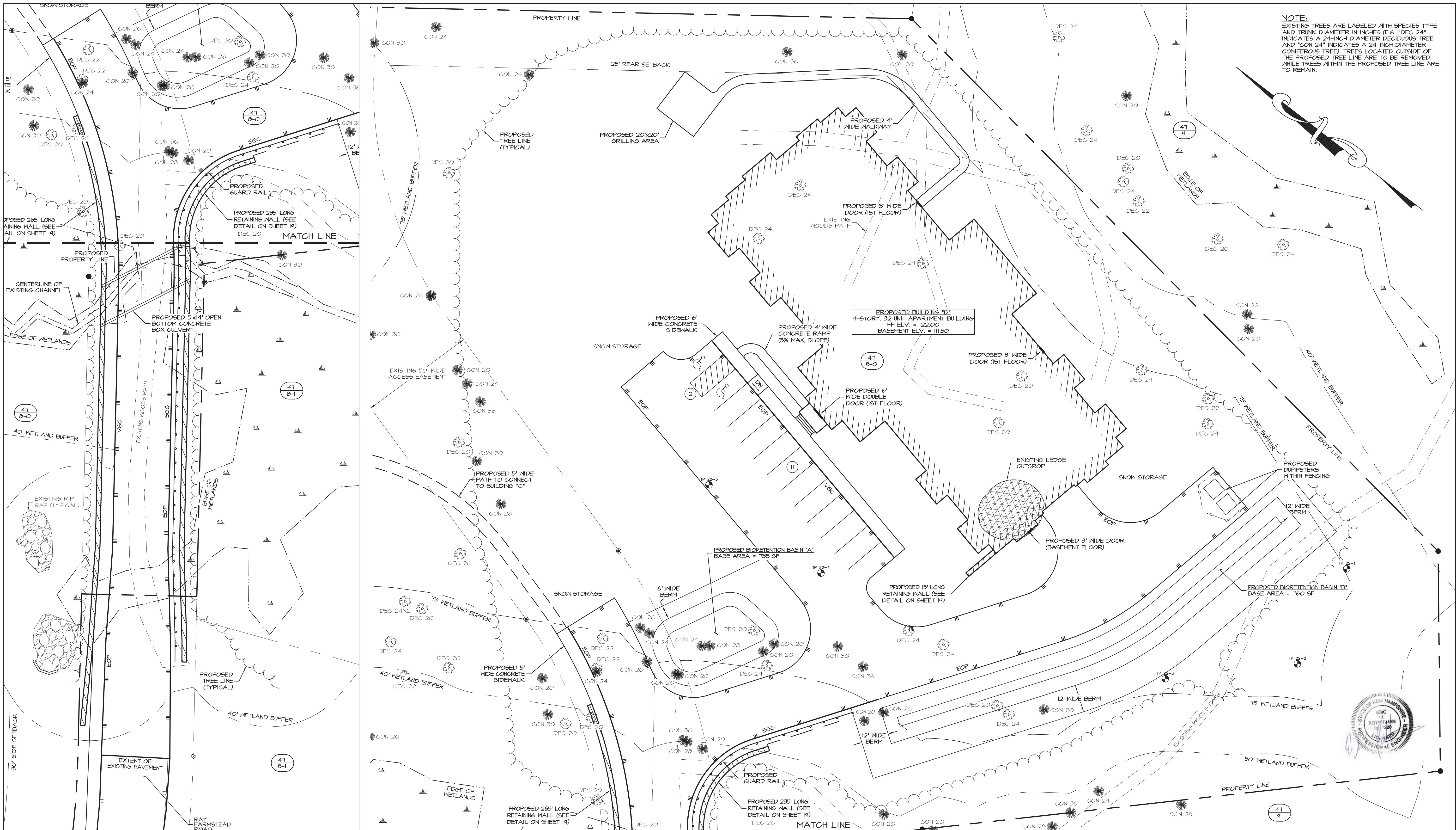
NO.	DATE	DESCRIPTION	BY

**CEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS  
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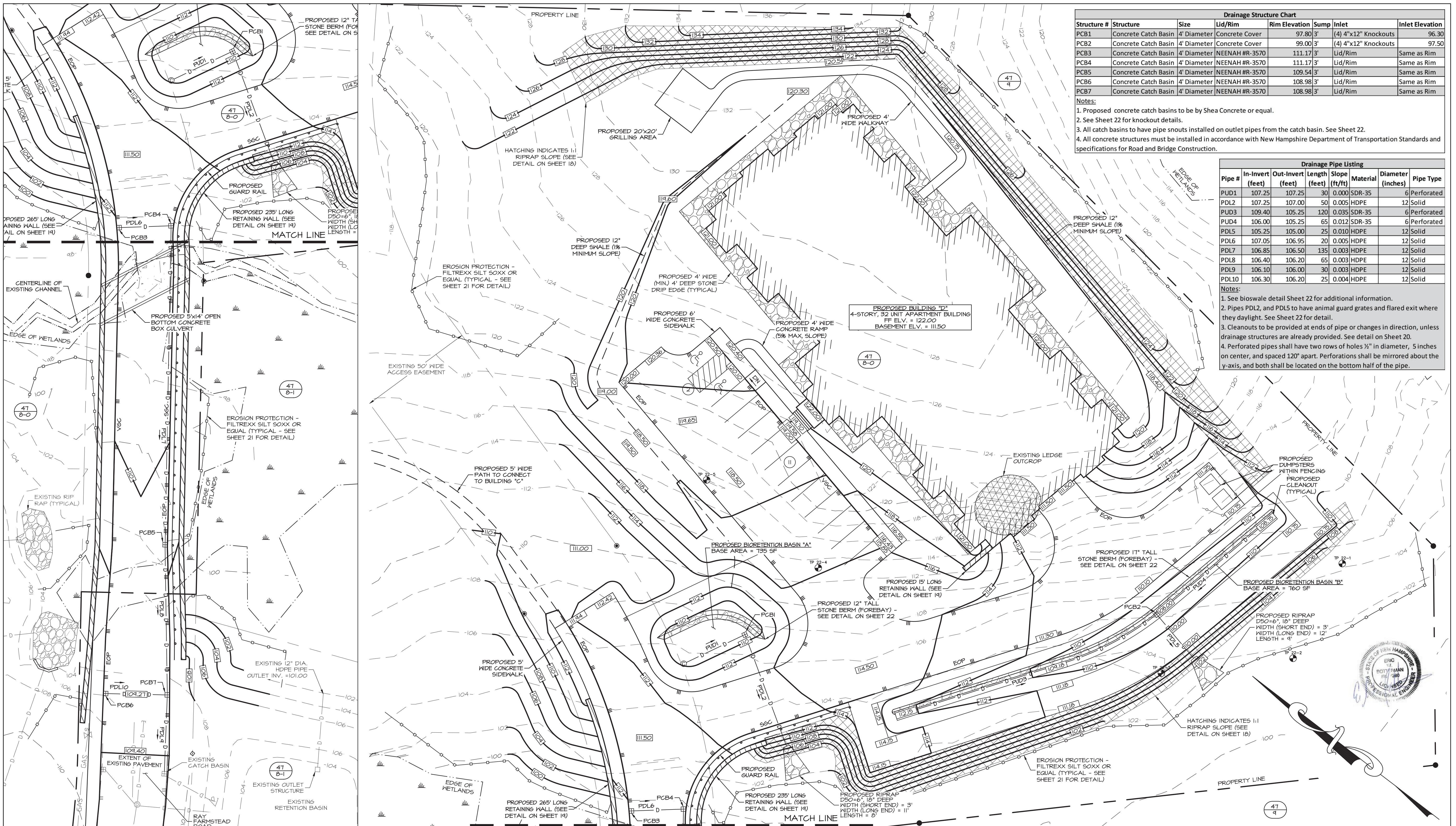
**MEI**  
MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
 SCALE: 1" = 50' CALC. BY: JUM  
 DATE: NOV. 10, 2025 CHKD. BY: BDS PROJECT: 25-1019

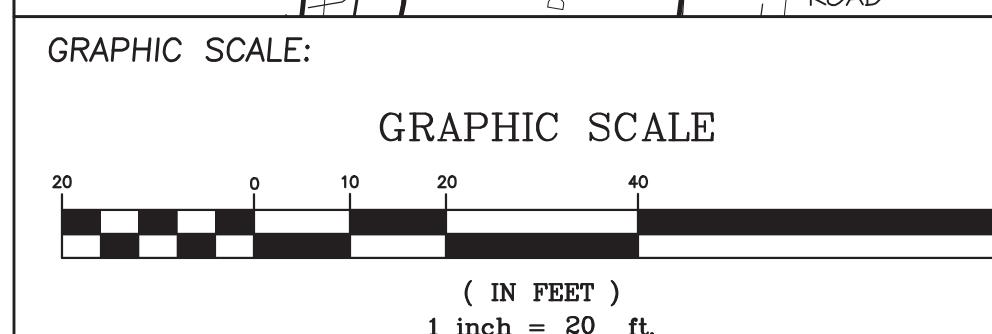
**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

**PLAN TITLE**  
**OVERALL SITE PLAN**  
SHEET: 7



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



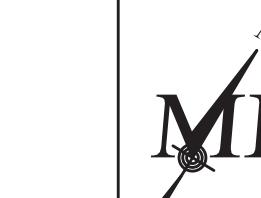
GRAPHIC SCALE:  
  
 GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20 ft.

RECORD OWNER  
 CKT ASSOCIATES, LLC  
 158 SHATTUCK WAY  
 NEWINGTON, NH 03801

APPLICANT  
 WILLEY CREEK CO, LLC  
 158 SHATTUCK WAY  
 NEWINGTON, NH 03801



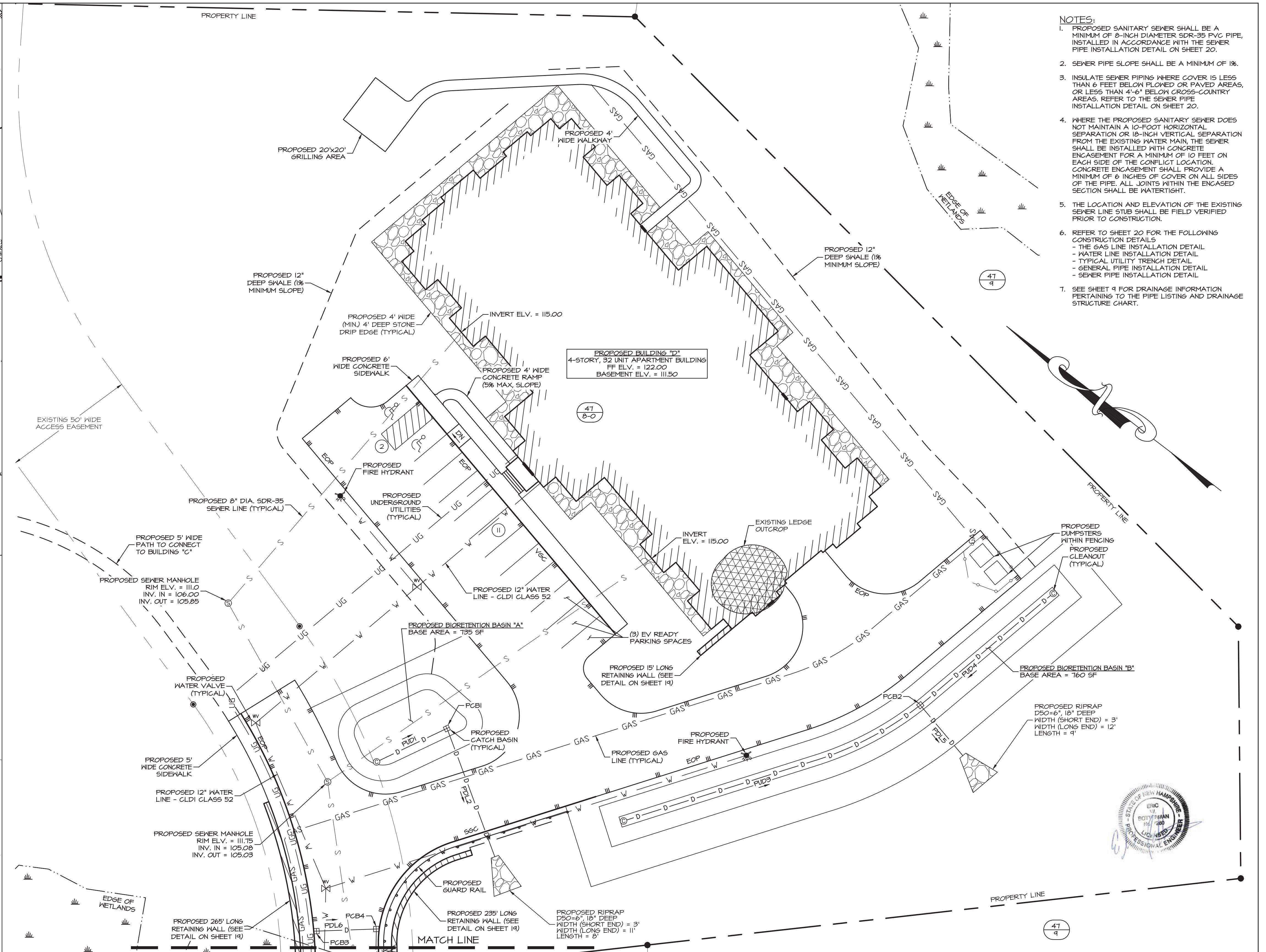
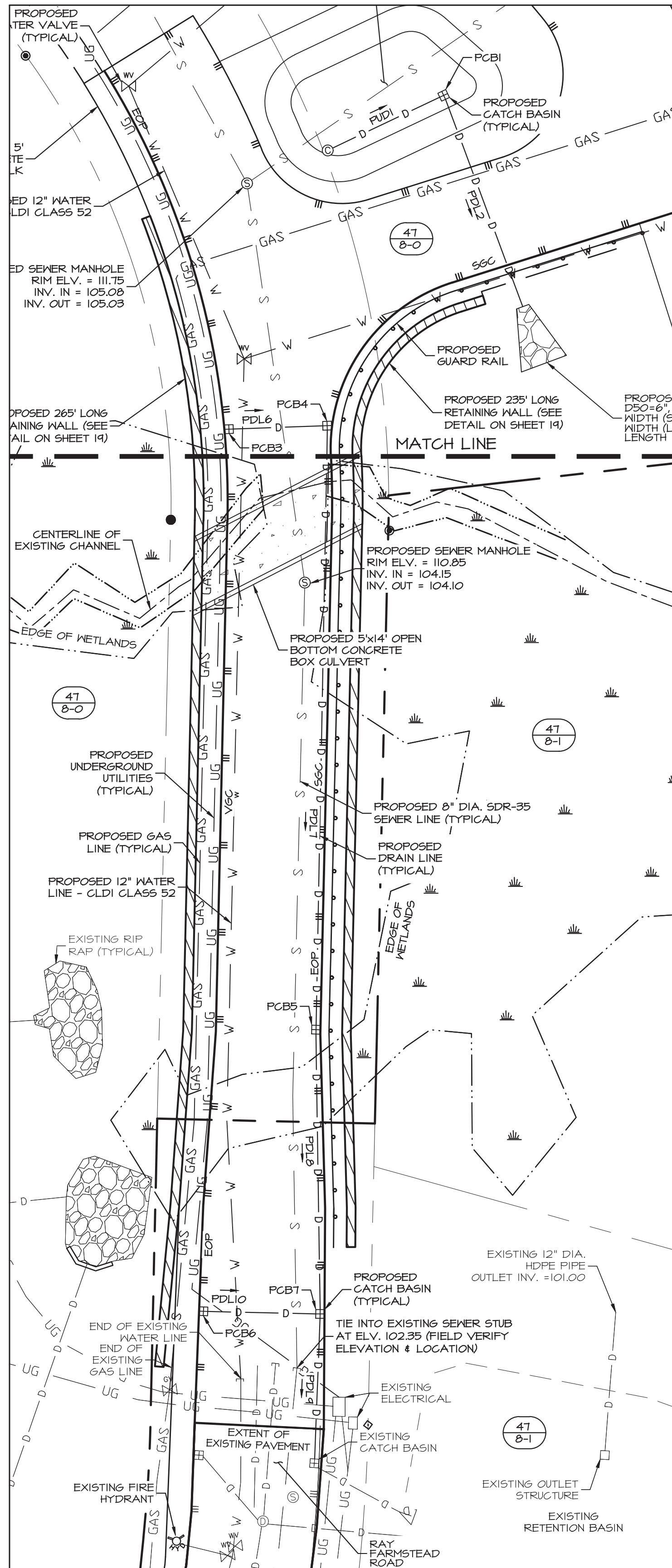
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 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801  
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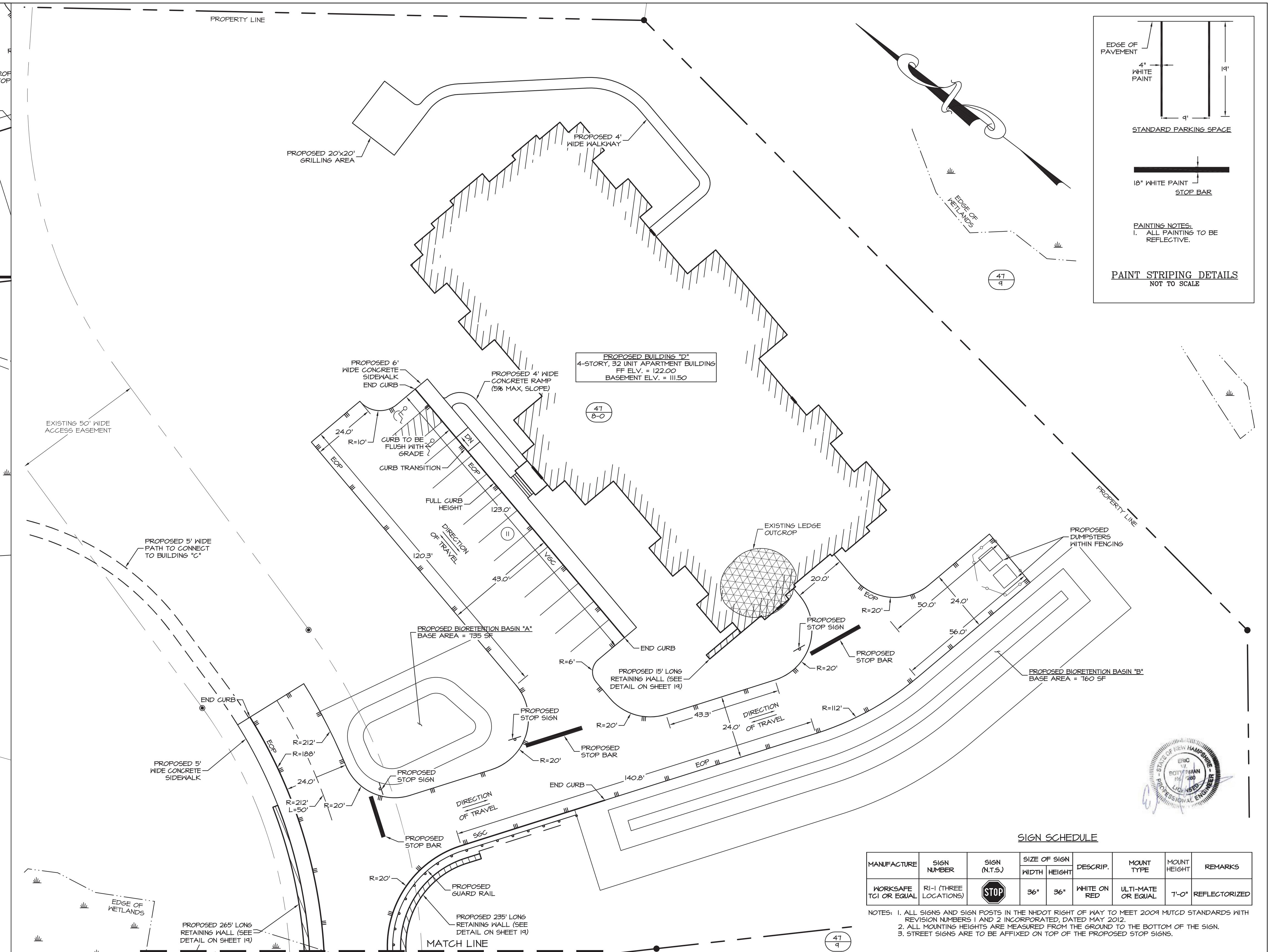
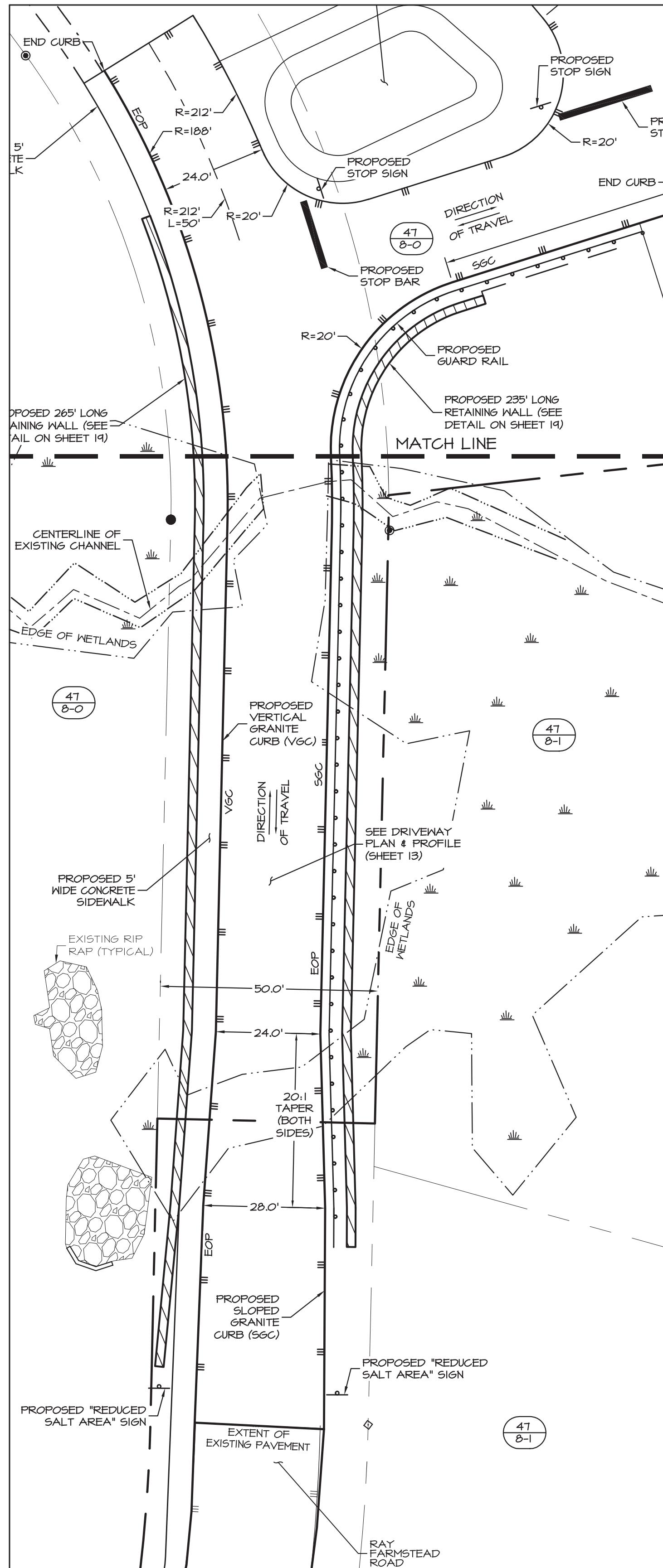
MILLENNIUM ENGINEERING, INC.  
 ENGINEERING AND LAND SURVEYING  
 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'    CALC. BY: JUM  
 DATE: NOV. 10, 2025    CHKD. BY: BDS    PROJECT: 25-1019

**SITE PLAN**  
 IN  
 EXETER, NH  
 SHOWING  
 BUILDING "D" AT RAY FARM  
 OFF  
 RAY FARMSTEAD ROAD  
 SHEET: 9



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION

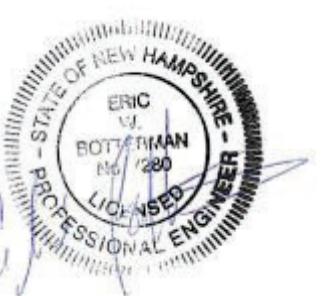
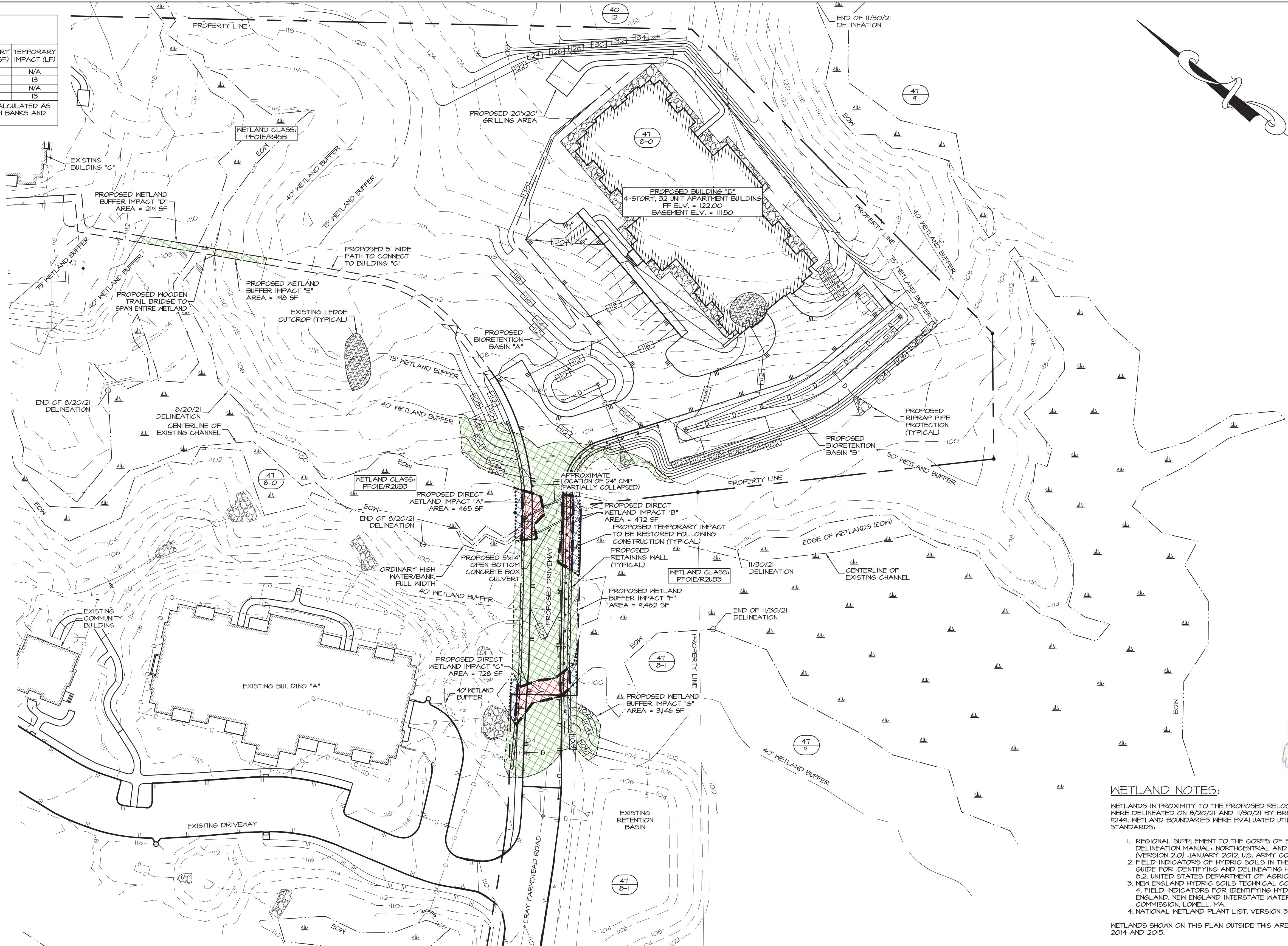
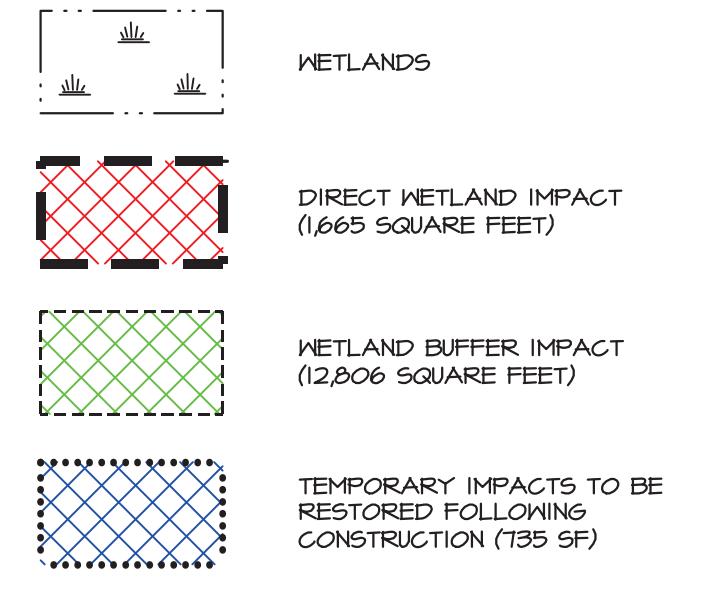
<u>NHDES STANDARD DREDGE AND FILL WETLANDS APPLICATION TABLE</u>					
JURISDICTIONAL AREA	AREA LABEL	PERMANENT IMPACT (SF)	PERMANENT IMPACT (LF)	TEMPORARY IMPACT (SF)	TEMPORARY IMPACT (LF)
FORESTED WETLAND	A & B	735	N/A	408	N/A
PERENNIAL STREAM	A & B	202	132	80	13
FORESTED WETLAND	C	728	N/A	247	N/A
<b>TOTAL</b>	<b>A, B, &amp; C</b>	<b>1,665</b>	<b>132</b>	<b>735</b>	<b>13</b>

NOTE: THE PERMANENT LINEAR IMPACT TO THE PERENNIAL STREAM IS CALCULATED AS THREE TIMES THE PROPOSED BOX CULVERT LENGTH. THIS INCLUDES BOTH BANKS AND THE STREAMBED WITHIN THE IMPACT AREA.

NOTE: THE PERMANENT LINEAR IMPACT TO THE PERENNIAL STREAM IS CALCULATED AS THREE TIMES THE PROPOSED BOX CULVERT LENGTH. THIS INCLUDES BOTH BANKS AND THE STREAMBED WITHIN THE IMPACT AREA.

<u>PROPOSED WETLAND IMPACT AREAS</u>			
AREA LABEL	AREA (SQUARE FEET)	AREA (ACRES)	IMPACT TYPE
A	465	0.011	WETLAND
B	472	0.011	WETLAND
C	728	0.017	WETLAND
D	219	0.009	BUFFER
E	198	0.005	BUFFER
F	9,462	0.217	BUFFER
G	3,146	0.072	BUFFER
WETLAND TOTAL	1,665	0.038	WETLAND
BUFFER TOTAL	12,806	0.294	BUFFER
WETLAND + BUFFER	14,471	0.332	WETLAND + BUFFER

## LEGEND



## WETLAND NOTES:

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHCWS #249. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2. UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
3. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE. 2019 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
4. NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

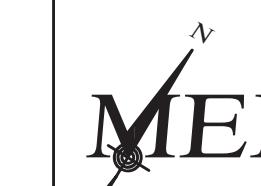
WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.

RECORD OWNER  
CKT ASSOCIATES, LL  
158 SHATTUCK WAY  
NEWINGTON, N.H. 03801

NEWINGTON, NH 03801  
APPLICANT  
WILLEY CREEK CO, L  
158 SHATTUCK WAY  
NEWINGTON, NH 03801



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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

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**SITE PLAN**  
IN  
**EXETER, NH**

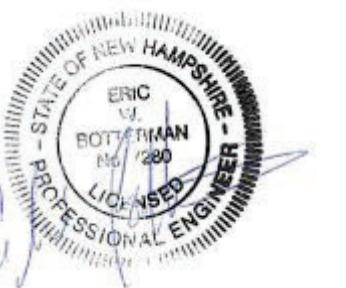
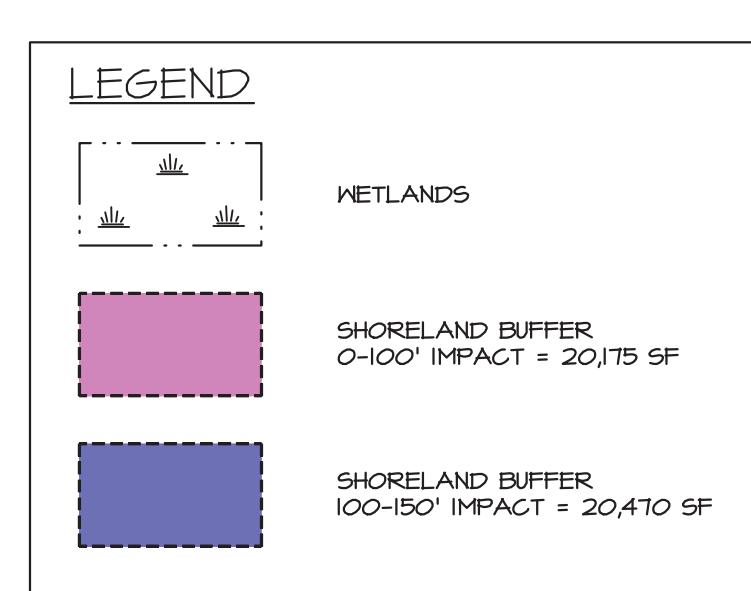
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SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE

**WETLAND  
IMPACT  
PLAN**

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION

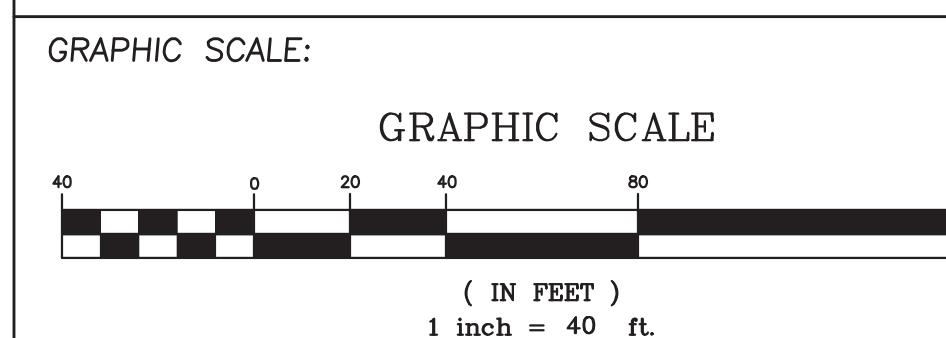


#### WETLAND NOTES:

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHCS #244. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS FOR IDENTIFYING AND DELINEATING HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 2.0, JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
3. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2014 VERSION.
4. FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
4. NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO. DATE DESCRIPTION BY



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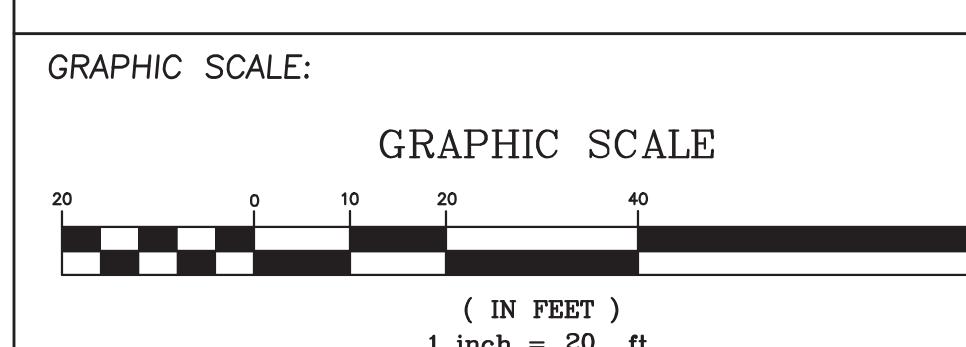
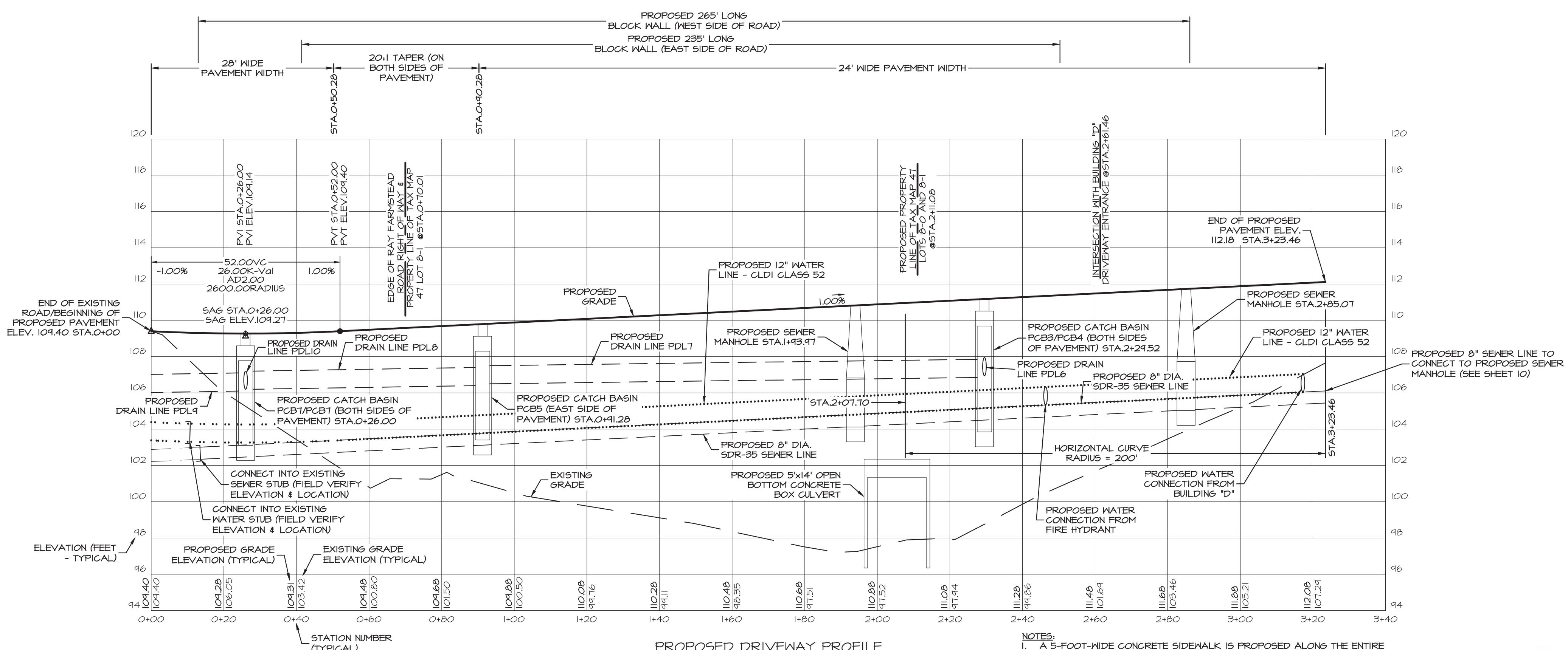
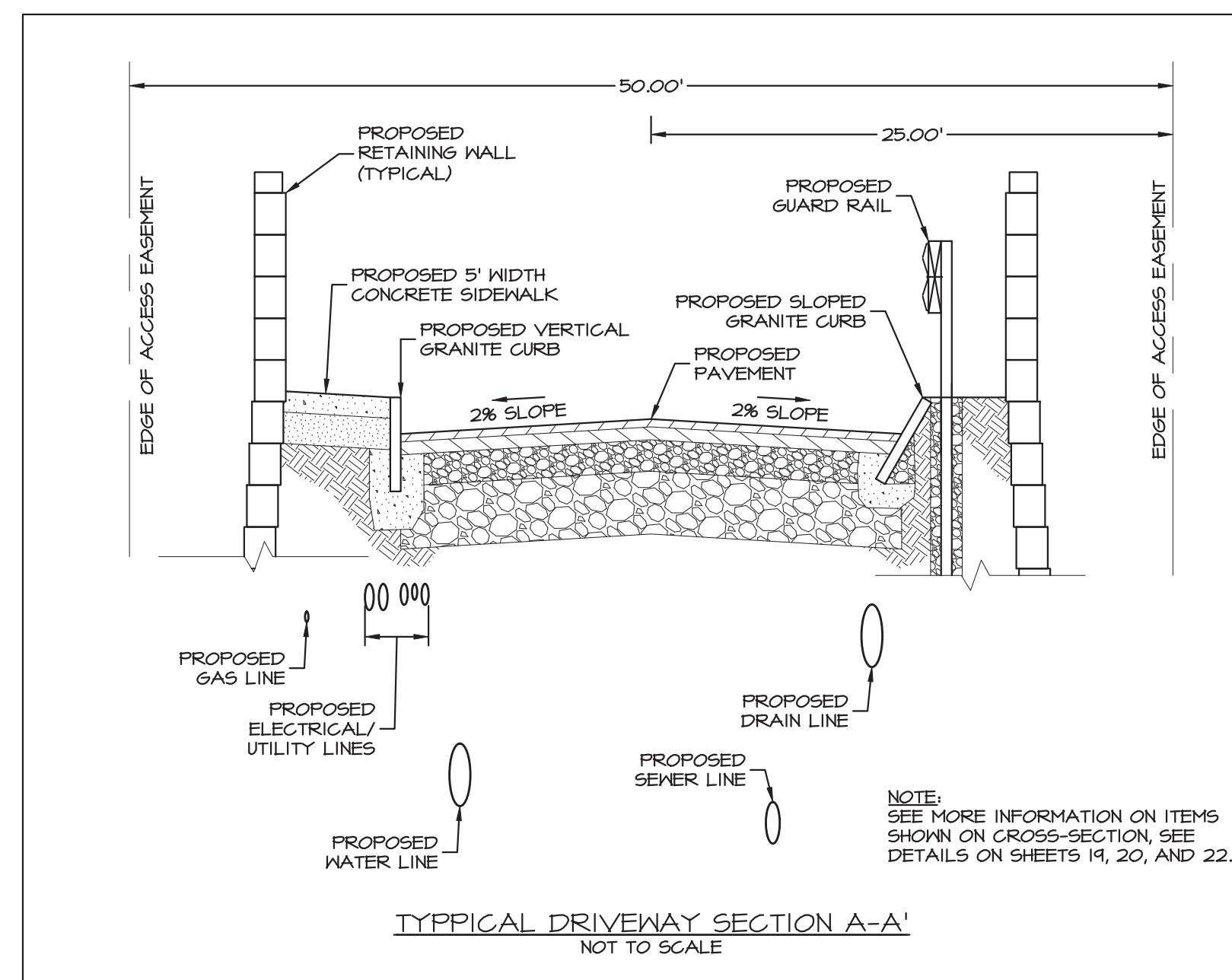
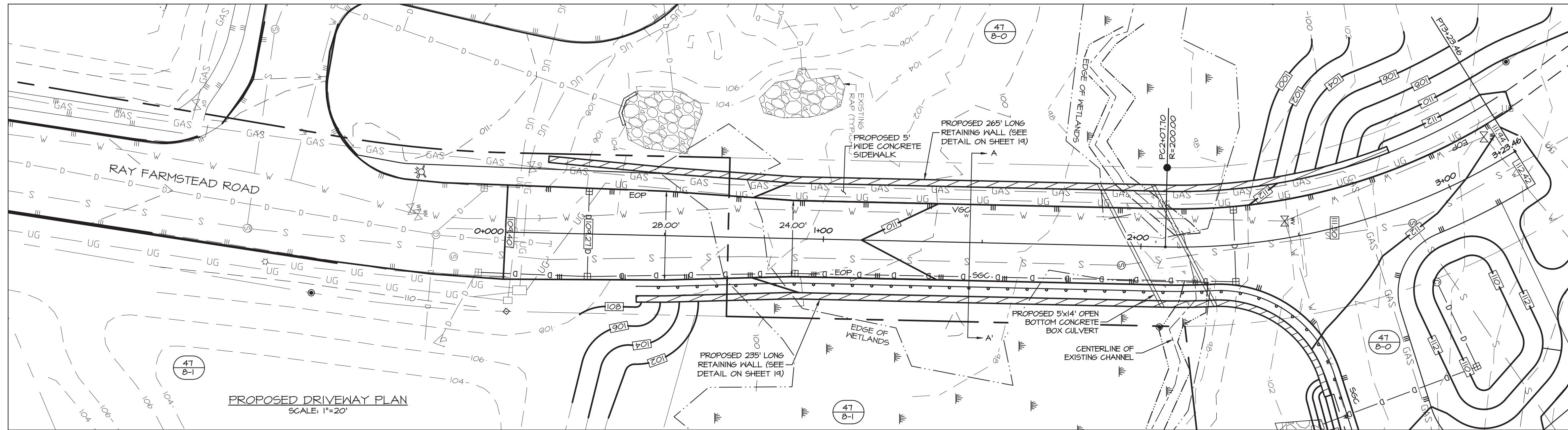


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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 40' CALC. BY: JUM  
DATE: NOV. 10, 2025 CHKD. BY: BDS PROJECT: 25-1019

SITE PLAN  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
SHORELAND  
IMPACT  
PLAN  
SHEET: 12.1



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

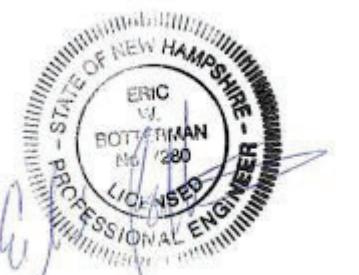
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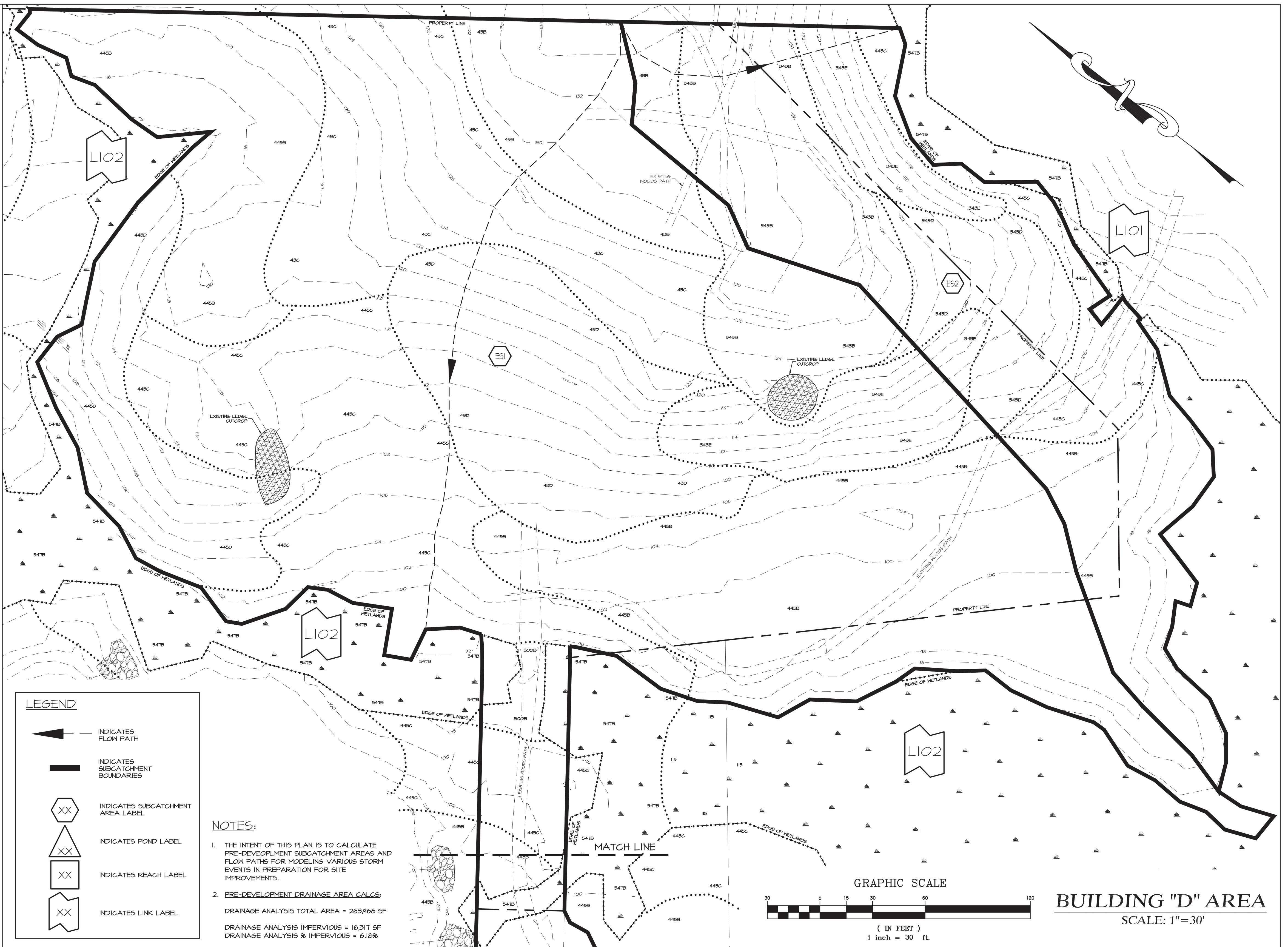
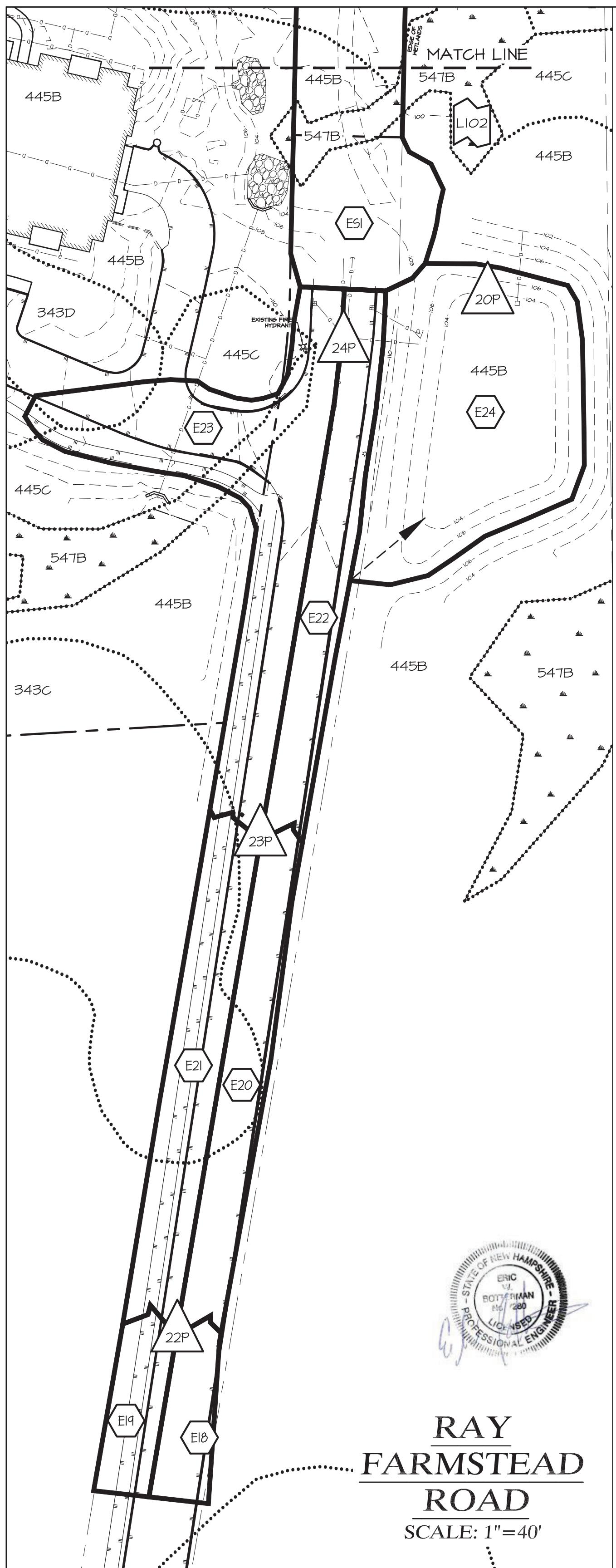
**MEI**  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528  
SCALE: 1" = 20' CALC. BY: JUM  
DATE: NOV. 10, 2025 CHKD. BY: BDS PROJECT: 25-1019

**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD  
SHEET: 13

**PLAN TITLE**  
**DRIVEWAY  
PLAN AND  
PROFILE**





GRAPHIC SCALE:

GRAPHIC SCALE

40      0      20      40      80      160

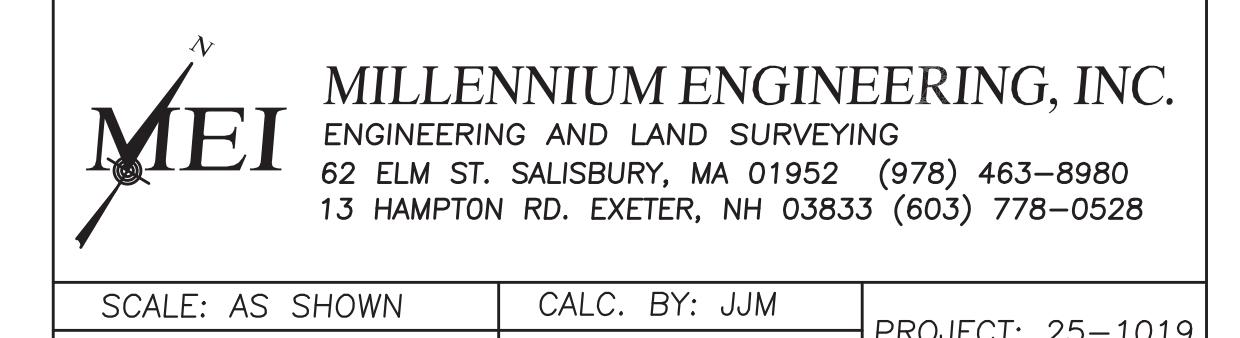
( IN FEET )

1 inch = 40 ft.

RECORD OWNER		
CKT ASSOCIATES, LLC		
158 SHATTUCK WAY		
NEWINGTON, NH 03801		
APPLICANT		
WILLEY CREEK CO, LLC		
158 SHATTUCK WAY		



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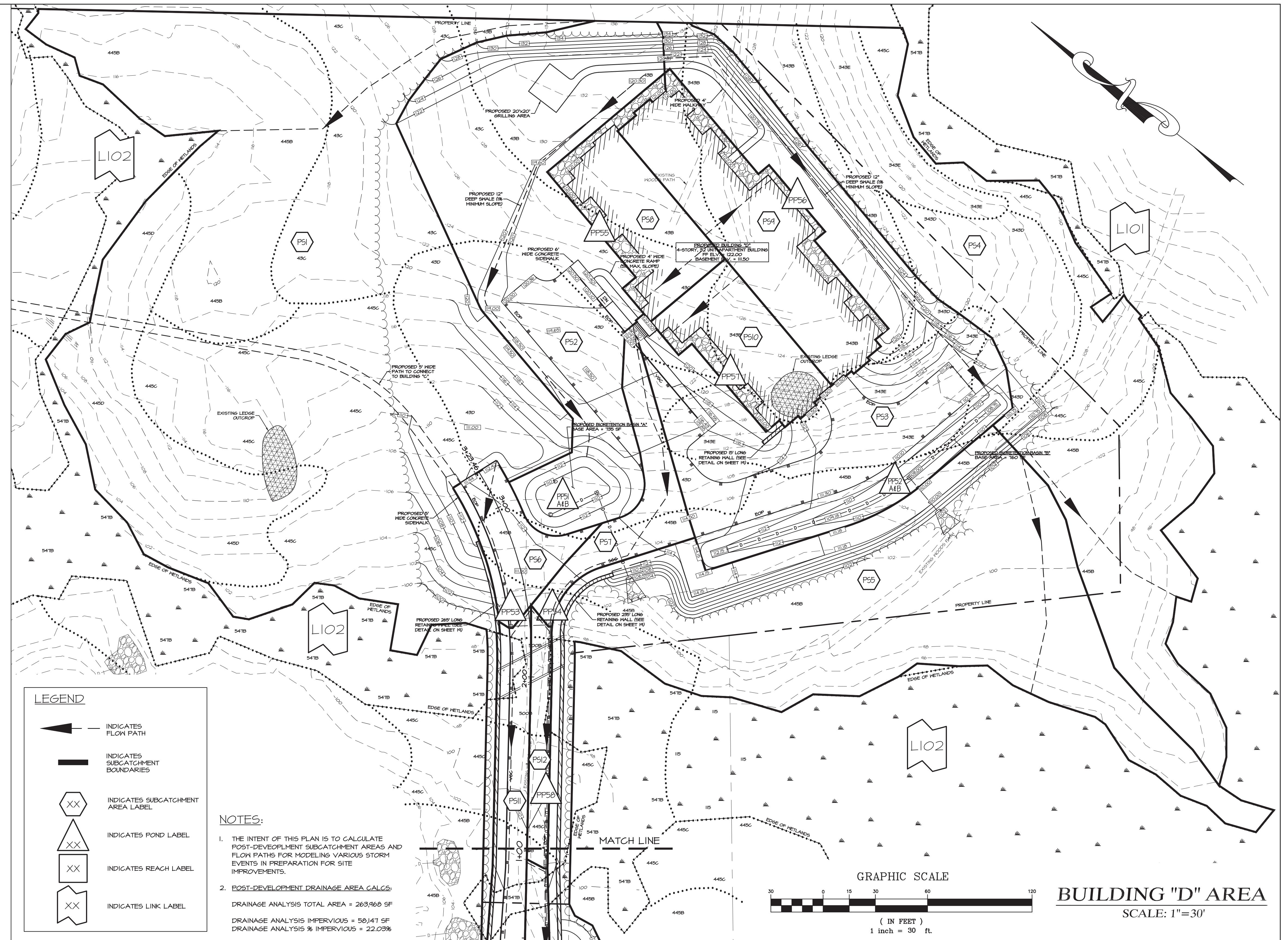
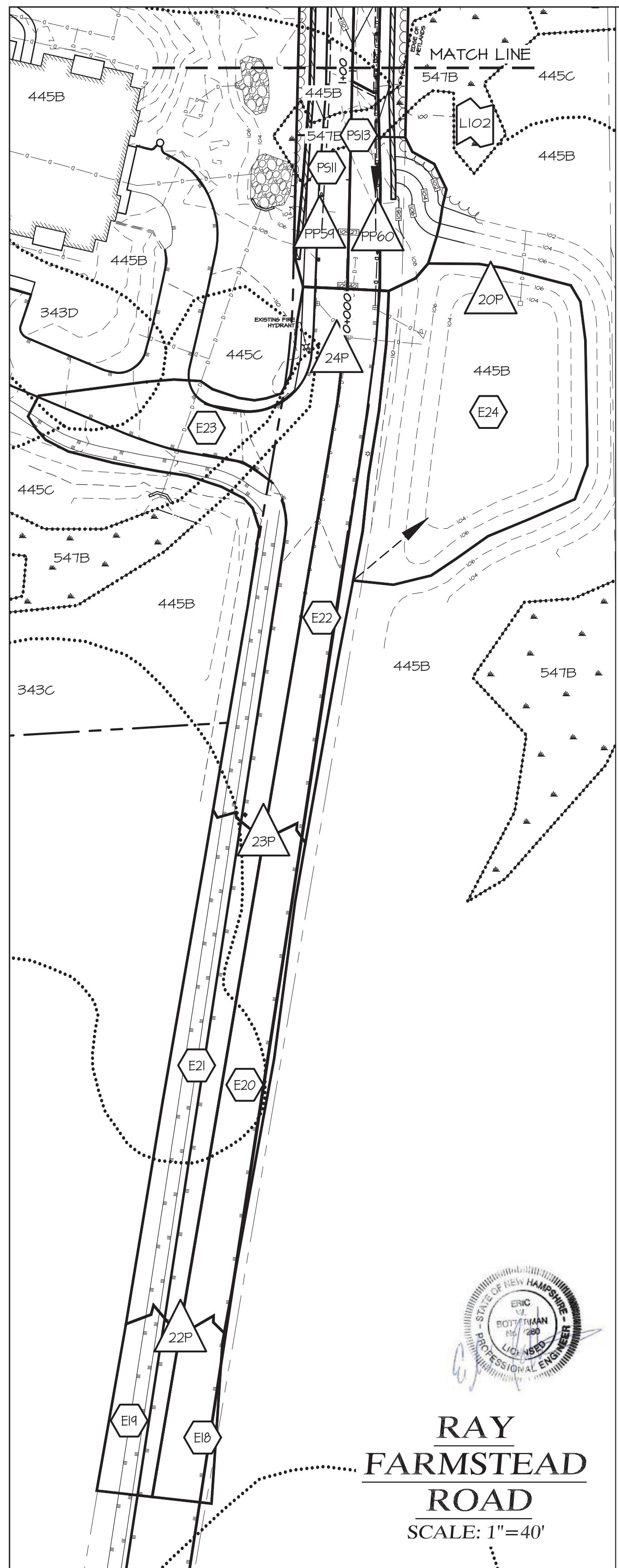
**SITE PLAN**  
IN  
**EXETER, NH**

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SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

**PLAN TITLE**

**PRE-DEV  
DRAINAGE  
PLAN**



GRAPHIC SCALE:  
GRAPHIC SCALE  
40 0 20 40 80 160  
( IN FEET )  
1 inch = 40 ft.

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY
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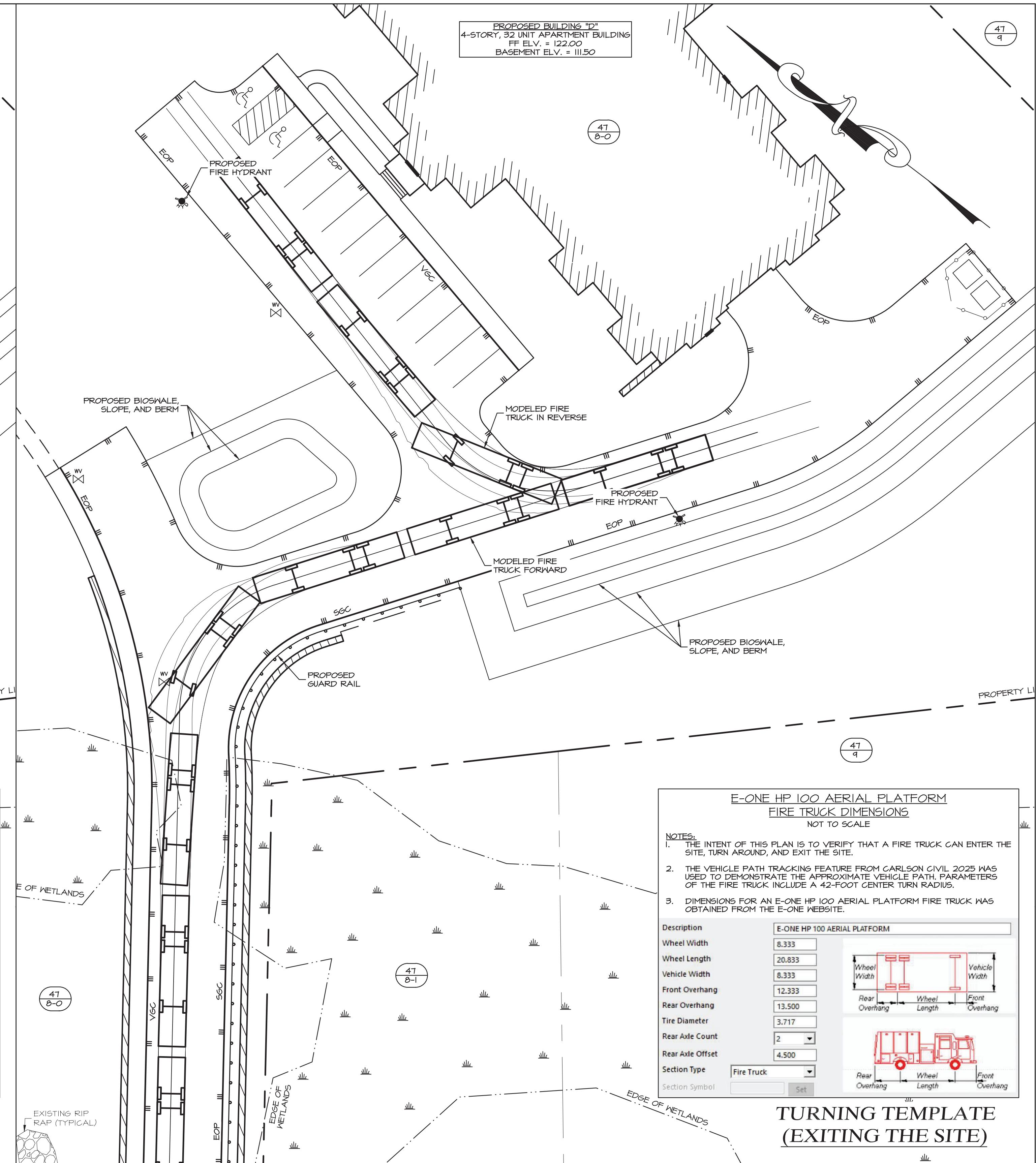
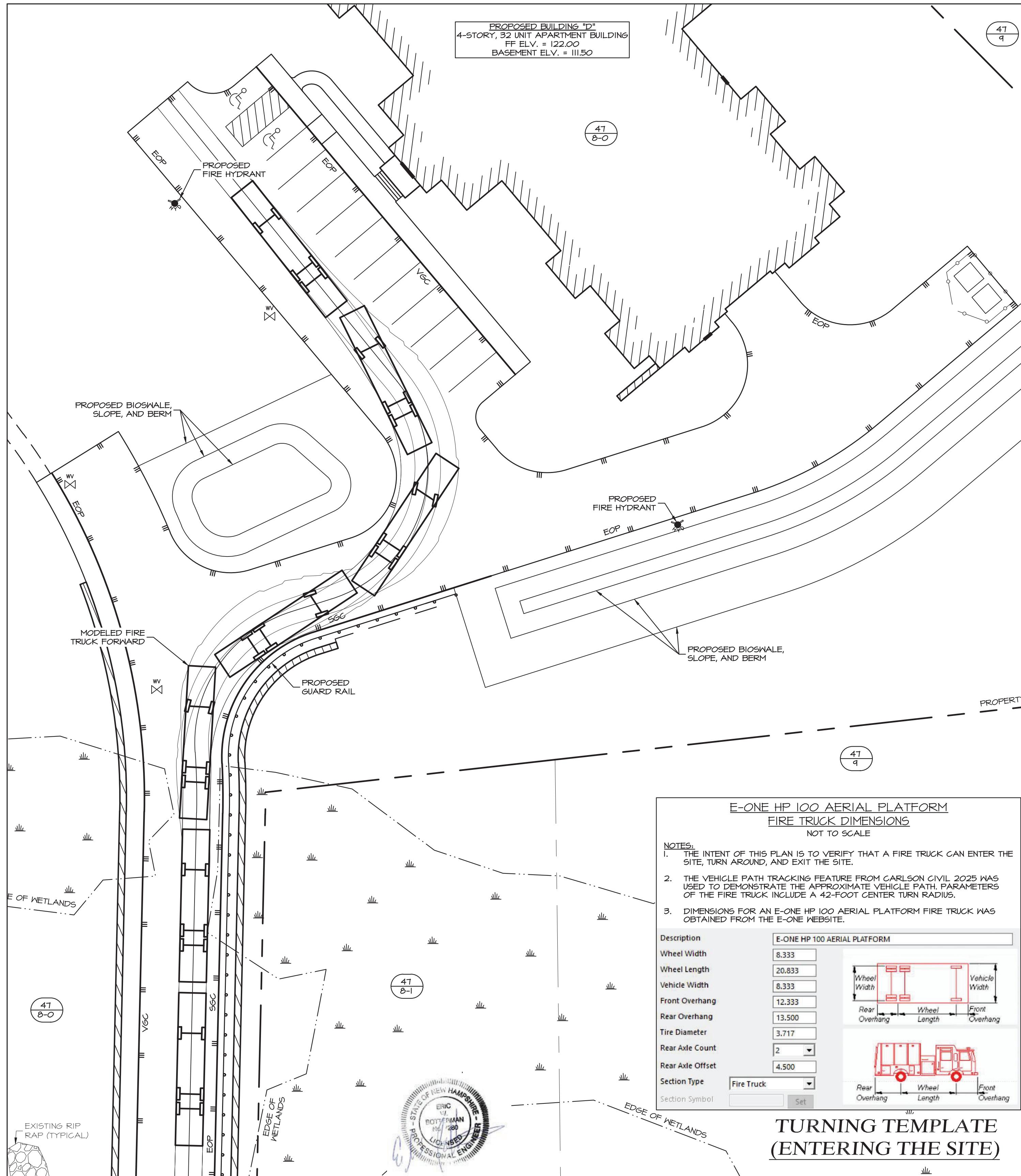
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JUM	PROJECT: 25-1019
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SCALE: AS SHOWN  
DATE: NOV. 10, 2025  
CALC. BY: BDS  
CHKD. BY: BDS

**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD  
PLAN TITLE  
**POST-DEV  
DRAINAGE  
PLAN**  
SHEET: 15



## GRAPHIC SCALE:

GRAPHIC SCALE

20      0      10      20      40

( IN FEET )

1 inch = 20 ft.

RECORD OWNER  
CKT ASSOCIATES,  
158 SHATTUCK W.  
NEWINGTON, N.H. 03856

APPLICANT  
WILLEY CREEK CO, L  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

**EI** MILLENNIUM ENGINEERING, INC.  
ENGINEERING AND LAND SURVEYING  
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

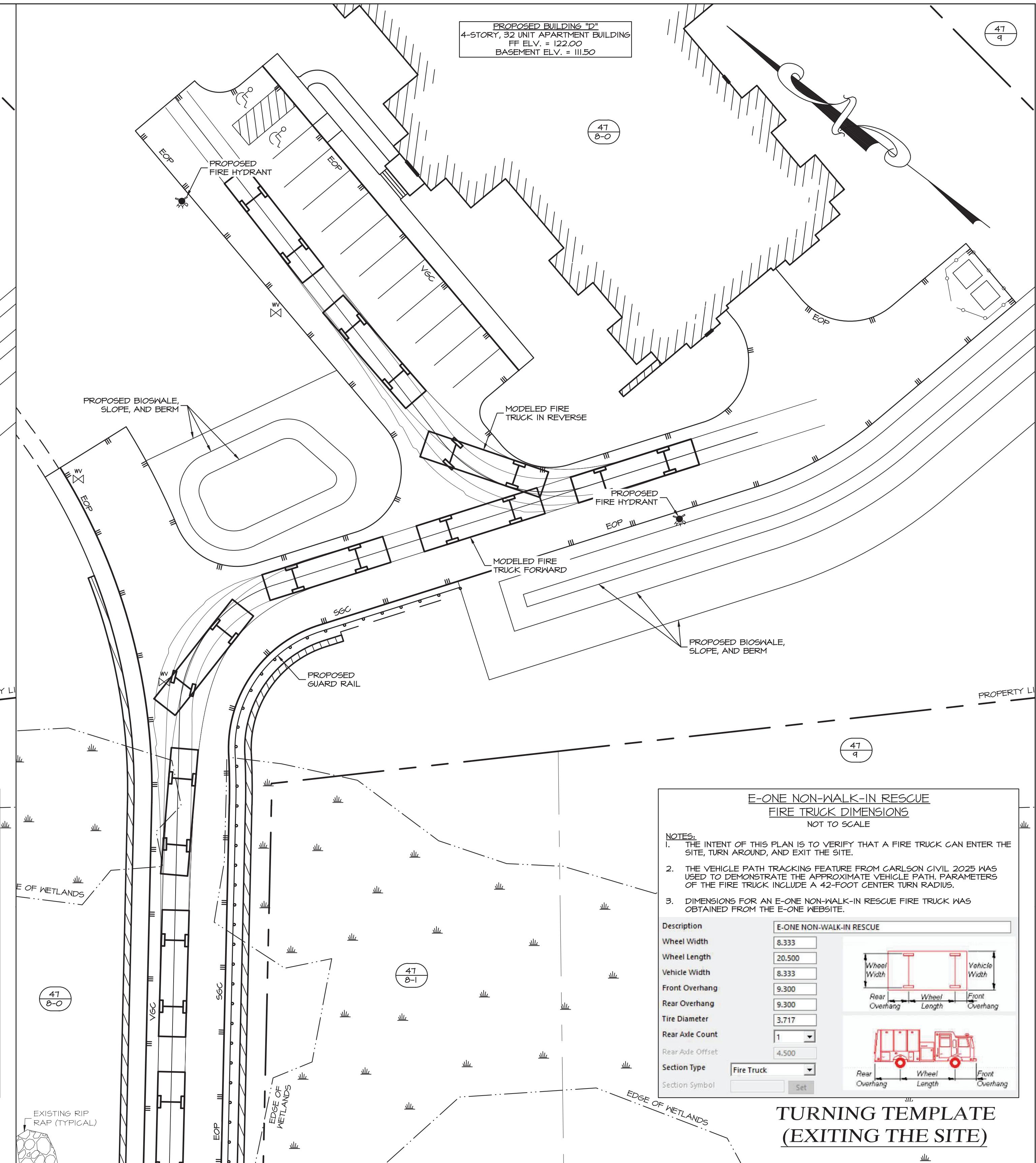
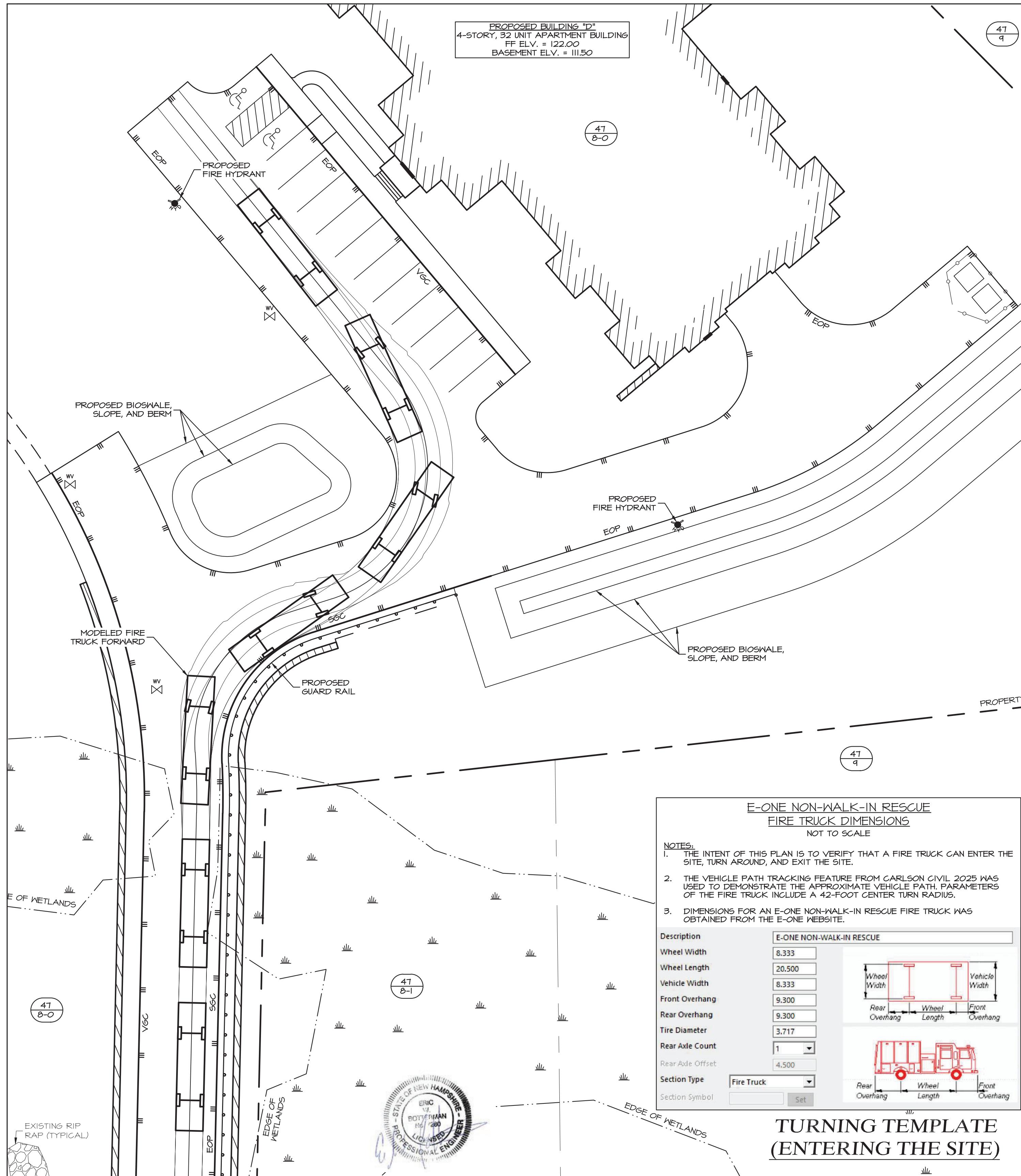
**SITE PLAN**  
IN  
**EXETER, NH**  
SHOWING  
LDING "D" AT RAY FA  
OFF  
RAY FARMSTEAD ROA

LAN TITLE

# **TURNING TEMPLATE (E-ONE AERIAL)**

HEET: 16

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



### GRAPHIC SCALE:

RECORD OWNER  
CKT ASSOCIATES,  
158 SHATTUCK W.  
NEWINGTON, N.H. 03857

APPLICANT  
WILLEY CREEK CO, L  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

**MILLENNIUM ENGINEERING, INC.**  
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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
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## SITE PLAN

IN  
EXETER, NH  
SHOWING  
LDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

AN TITLE  
**TURNING  
TEMPLATE  
(E-ONE  
HEAVY)**

**EROSION AND SEDIMENTATION CONTROL - CONSTRUCTION PHASING AND SEQUENCING:**

- SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
- INSTALL SILT FENCING AND/OR HAY BAILE BARRIERS AS PER DETAILS AND AT SEDIMENT MIGRATION.
- CONSTRUCT TREATMENT SWALES, LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S) AS PER DETAIL AND AT LOCATIONS SHOWN ON THE DRAWINGS. MAINTAIN (TOP DRESS) REGULARLY TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS.
- STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL.
- ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
- FINISH GRADE AND COMPACT SITE.
- RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
- STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
- RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
- SILT FENCING AND HAY BALES TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO INSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT FENCING, HAY BALES AND TRAPPED SILT ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
- PODS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
- ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 12 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 12 HOURS OF ACHIEVING FINISH GRADE.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- BUOYANCY CALCULATIONS HAVE NOT BEEN PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANCHORAGE FOR ALL TANKS WHERE REQUIRED.

**WINTER CONSTRUCTION NOTES (OCTOBER 15 TO MAY 1):**

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAN OR SPRING MELT EVENT.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NH DOT ITEM 304.3.

**ROCK INFILTRATION AREA MAINTENANCE:**

THE ROCK INFILTRATION AREA SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE ROCK HAS BEEN DISPLACED, UNDERRUN, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW ANY OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS, FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAIL WATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APROX.

**EROSION AND SEDIMENTATION CONTROL - GENERAL NOTES:**

- CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. SEE ENV-WQ 105.03.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON NEW HAMPSHIRE STORMWATER MANUAL, VOLUMES 1-3, DATED DECEMBER 2008, PREPARED BY NHDES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- SEE WINTER CONSTRUCTION NOTES IF SCHEDULE AND DATES ARE APPLICABLE.
- ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
- ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED IN THE SHORTEST PRACTICAL TIME. ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE.
- EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED.
- STRAW OR HAY BAILE BARRIERS AND SILTATION FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED, WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT FENCE AND ANY EDGE OF WET AREA.
- SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
- SEDIMENT BASINS, IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
- STRAW BAILE AND/OR SILT FENCE BARRIERS WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERRUNNING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
- TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVADERS SPECIES.
- TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.

**SEEDING AND STABILIZATION FOR LOAMED SITE:**

- FOR TEMPORARY & LONG TERM SEEDINGS (BY SEPTEMBER 15 OF THE SAME YEAR OF DISTURBANCE) USE AGWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL.
- COMPONENTS: ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE.
- FERTILIZER & LIME: NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE.
- MULCH: HAY OR STRAW 1.5-2 TONS/ACRE.
- GRADING AND SHAPING: SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEED BED PREPARATION - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA WHERE FEASIBLE. THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOV 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

**STABILIZATION CONSTRUCTION ENTRANCE SPECIFICATIONS:**

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE (MINIMUM), RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET (OR 50 FEET WITH A 3 TO 6 INCH MOUNTABLE BERM).
- THE THICKNESS OF THE STONE FOR THE STABILIZATION ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- PERMANENT VEGETATED FILTER STRIPS WILL BE LEFT INTACT.

**FILTREXX LAND IMPROVEMENT SYSTEMS INSPECTION & MAINTENANCE:**

- CONSULT FILTREXX SUPP CUT SHEETS FOR ALL FILTREXX PRODUCTS PRIOR TO INSTALLATION AND FOR MAINTENANCE GUIDELINES. [HTTP://WWW.FILTREXX.COM/DESIGN\\_CUT\\_SHEETS.HTM](http://WWW.FILTREXX.COM/DESIGN_CUT_SHEETS.HTM)
- ROUTINE INSPECTION SHOULD BE CONDUCTED WITHIN 24 HRS OF A RUNOFF EVENT OR AS DESIGNATED BY THE REGULATING AUTHORITY. UNITS SHOULD BE REGULARLY INSPECTED TO MAKE SURE THEY MAINTAIN THEIR SHAPE AND ARE PRODUCING ADEQUATE HYDRAULIC FLOW-THROUGH, DITCH/CHANNEL EROSION CONTROL, AND SEDIMENT REMOVAL.

**(BLASTING NOTES CONTINUED)**

- 10.04 EXPLOSIVE SELECTION:**
  - A. APPROPRIATE FOR SITE SITE CONDITIONS AND SAFE BLAST EXECUTION AND
  - B. HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT.
- 10.05 PREVENTION OF MISFIRE:**
  - A. INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRE.

**10.06 MUCK AND ROCK MANAGEMENT:**

A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:

- "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
- "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED;
- "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.

B. MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.

C. ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.

**10.07 SPILL PREVENTION MEASURES & MITIGATION:**

A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY Env-WQ 401.04.

B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.

**10.08 FUELING & MAINTENANCE OF CONSTRUCTION EQUIPMENT:**

A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FUEL PORT SHALL APPROPRIATELY:

1) PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DURATION OF THE TRANSFER, THE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OR PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;

2) THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;

3) THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE DELIVERY TRUCK; AND

4) PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME;

B. IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:

1) ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:

- IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND

- HAS AN IMPERVIOUS FLOOR.

2) SECONDARY CONTAINMENT FOR TANKS MAY

COMPRIZE A METAL, PLASTIC, POLYMER, OR

PRECAST CONCRETE VAULT PROVIDING 110% OF

THE VOLUME OF THE LARGEST FUEL STORAGE

CONTAINER;

3) FOR FUEL CONTAINERS, SECONDARY

CONTAINMENT MAY COMPRIZE CONTAINMENT

PALLETS;

4) THE AREA WHERE FUEL IS TRANSFERRED

SHALL BE A FLAT, IMPERVIOUS AREA THAT:

- IS ADJACENT TO THE FUEL CONTAINER(S);

- EXTENDS BEYOND THE FULL REACH, OR

LENGTH, OF THE FUEL HOSE.

5) SECONDARY CONTAINMENT AREAS MAY

BE IN THE FORM OF A BASIN THAT IS:

- DUG DOWN TO A CENTRAL LOW POINT OR

- BURIED ALONG THE PERIMETER;

- LINED WITH A CONTINUOUS SHEET OF 20 MIL OR

THICKER POLYMER MATERIAL OR APPROPRIATE

GEOMEMBRANE LINER; AND

- BACKFILLED WITH AT LEAST 6" OF SAND.

6) EXPLOSIVES SHALL BE LOADED IN

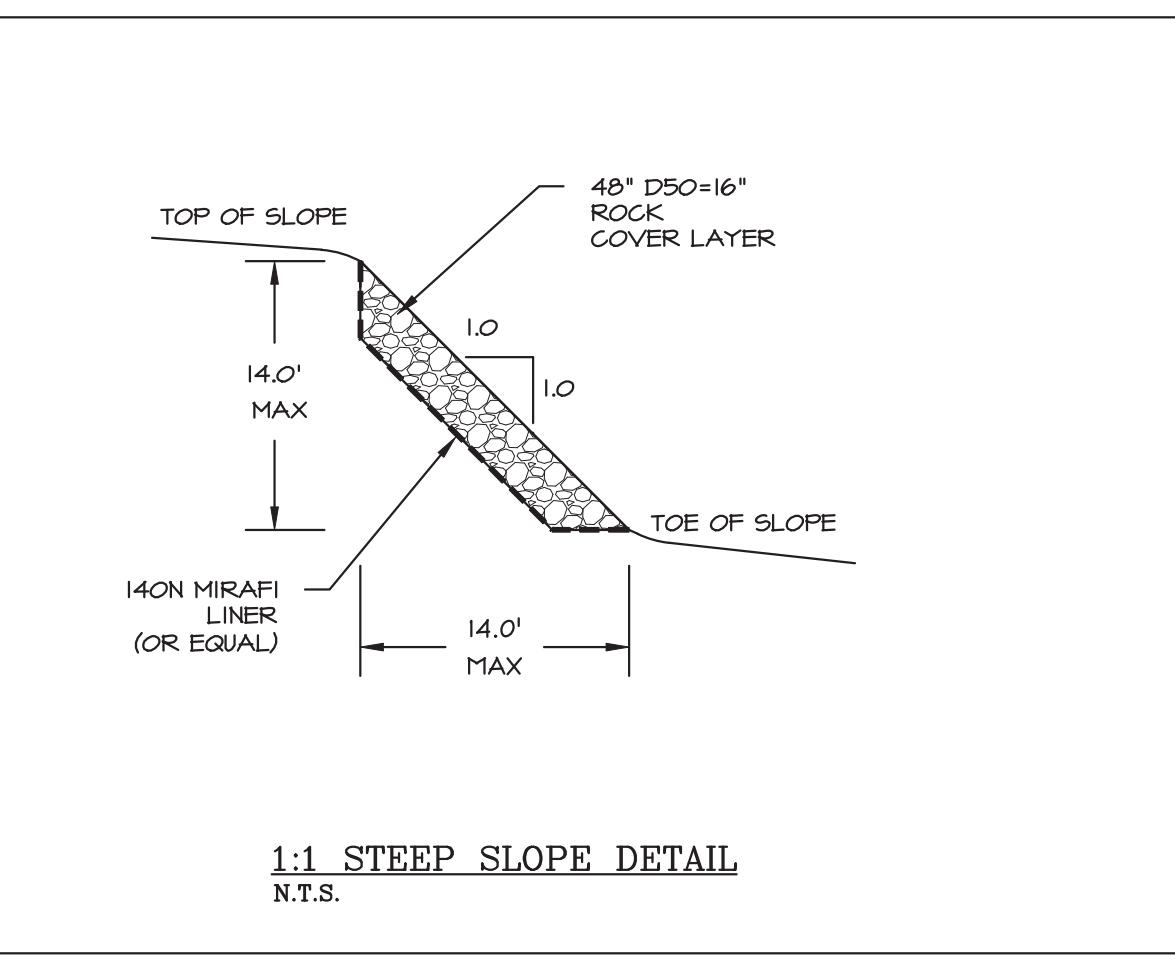
ACCORDANCE WITH INDUSTRY STANDARD

PRACTICES FOR PRIMING, STEMMING, DEDGING

AND COLUMN RISE TO MAINTAIN GOOD

CONTINUITY IN THE COLUMN LOAD TO PROMOTE

COMPLETE DETONATION.



**1:1 STEEP SLOPE DETAIL**  
N.T.S.

GRAPHIC SCALE:



RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO. DATE DESCRIPTION BY

**FEI**  
CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS

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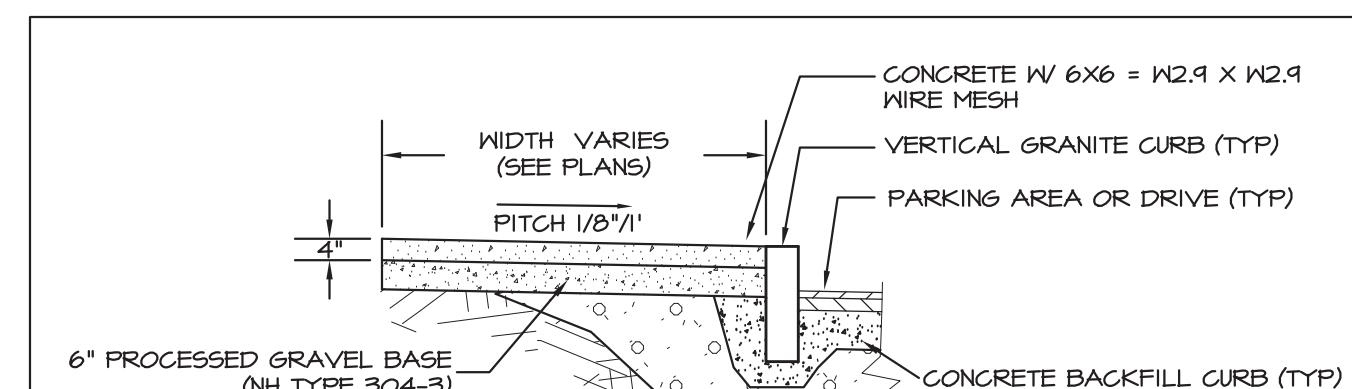
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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN CALC. BY: JUM  
DATE: NOV. 10, 2025 CHKD. BY: BDS PROJECT: 25-1019

**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

**PLAN TITLE**  
CONSTRUCTION  
NOTES  
SHEET: 18

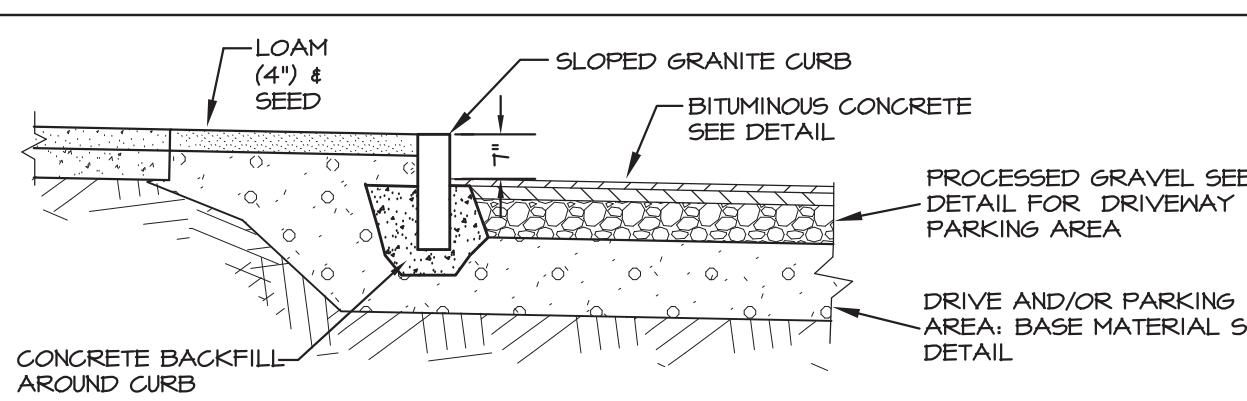
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



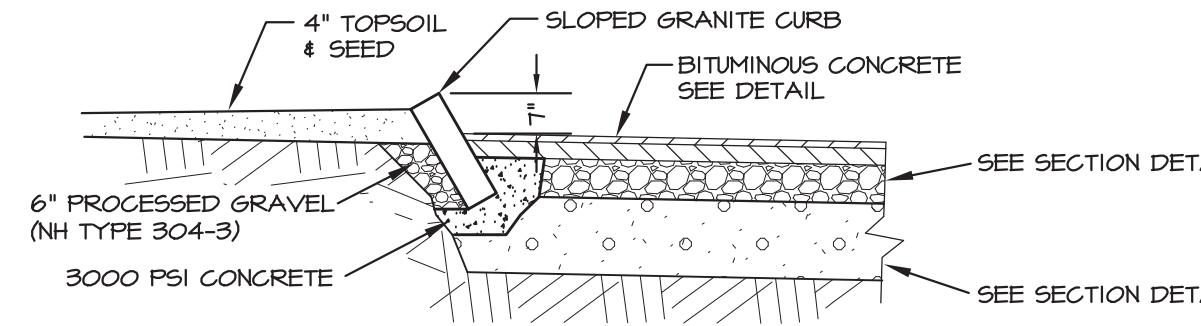
**CONCRETE NOTES:**

1. CONCRETE WORK SHALL CONFORM TO THE FOLLOWING NOTES AND SPECIFICATIONS.
  - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-05.
  - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-08.
2. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000 PSI AFTER 28 DAYS WITH 5 - 7% AIR ENTRAINMENT, MR. GRACE "ECLIPSE PLUS" SHRINKAGE ADMIXTURE, AND MR. GRACE "DCI-5" CORROSION INHIBITOR, AND A MIDRANGE WATER REDUCER.
3. FINISH CONCRETE W BROOM FINISH, TOOLED CONTROL JOINTS @ 5'-0" MAX SPACING, AND TOOLED JOINT ALONG ALL EDGES OF SIDEWALK.
4. SLAB SHALL BE WATER CURED FOR A MINIMUM OF 5 DAYS USING WET BURLAP.
5. ALL SIDEWALKS ARE TO BE CONCRETE AS SHOWN ON THIS DETAIL.

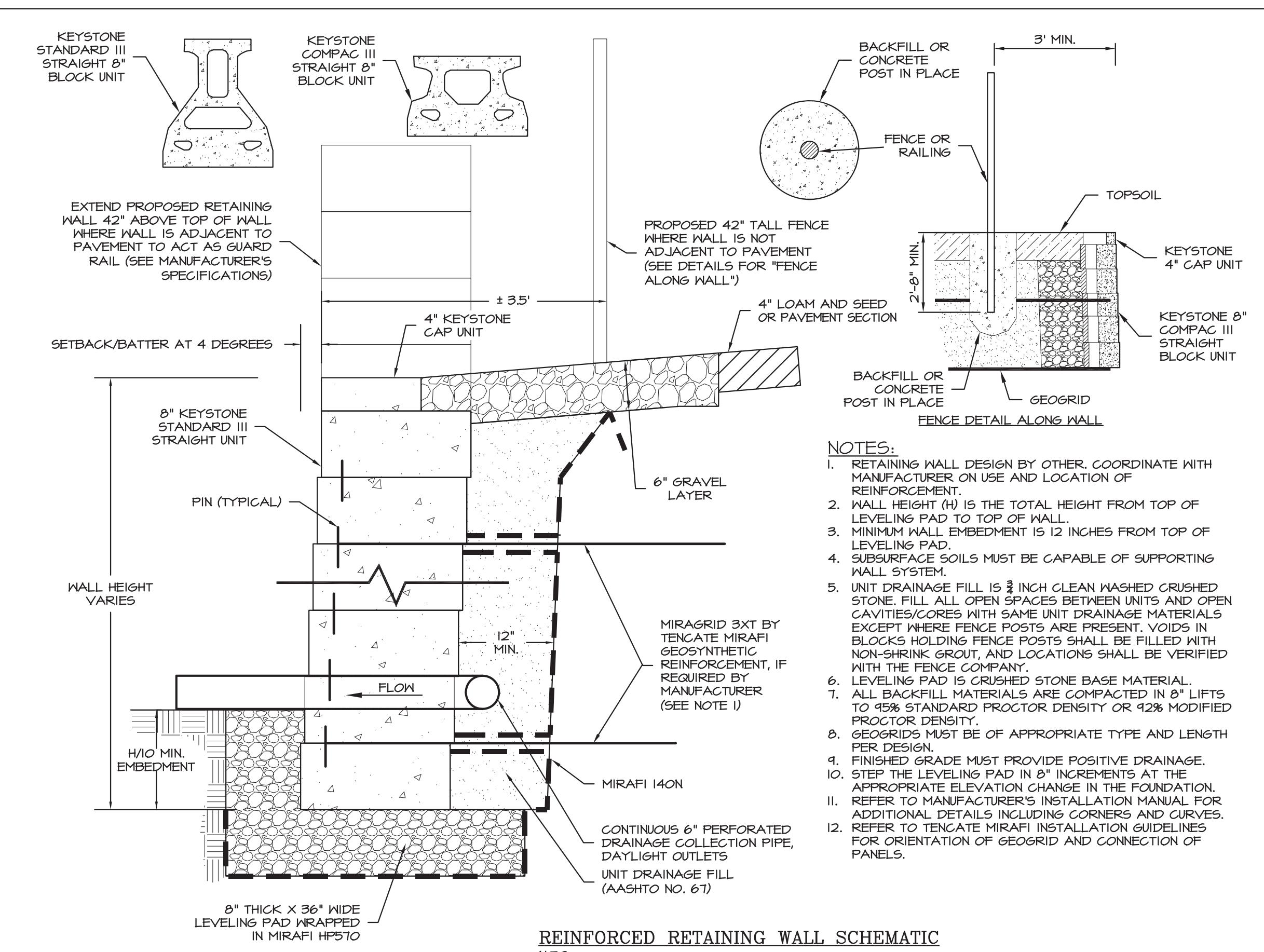
#### TYPICAL CONCRETE SIDEWALK DETAIL N.T.S.



#### VERTICAL CURB DETAIL N.T.S.



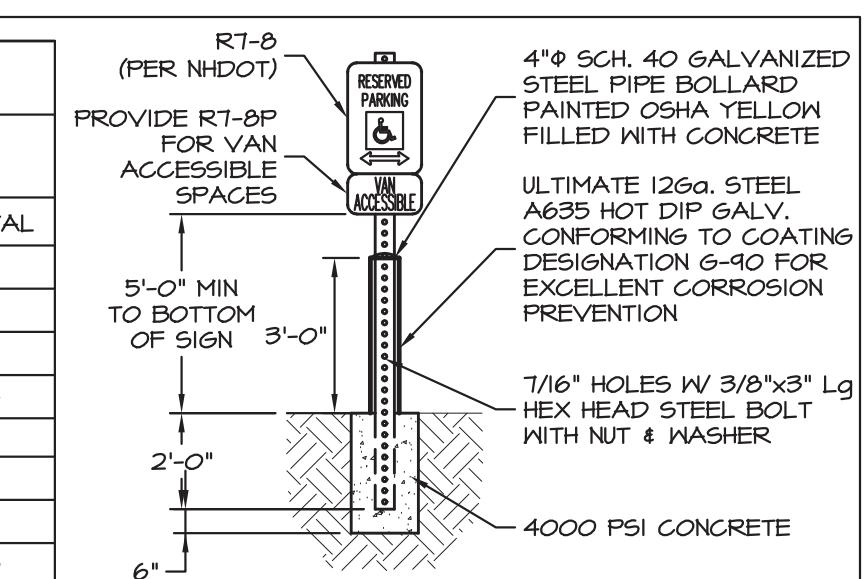
#### SLOPED CURB DETAIL N.T.S.



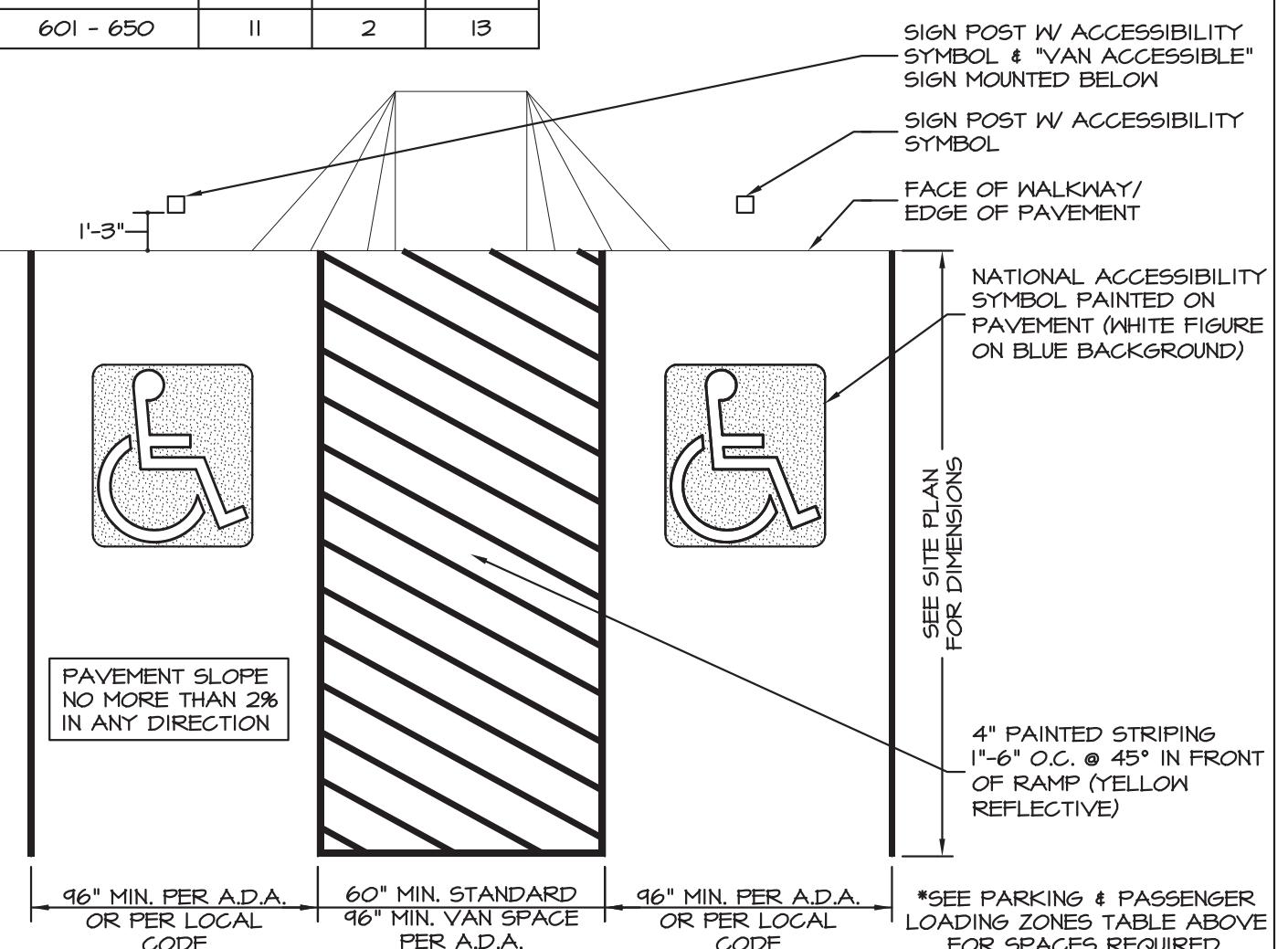
#### REINFORCED RETAINING WALL SCHEMATIC N.T.S.

**NOTES:**

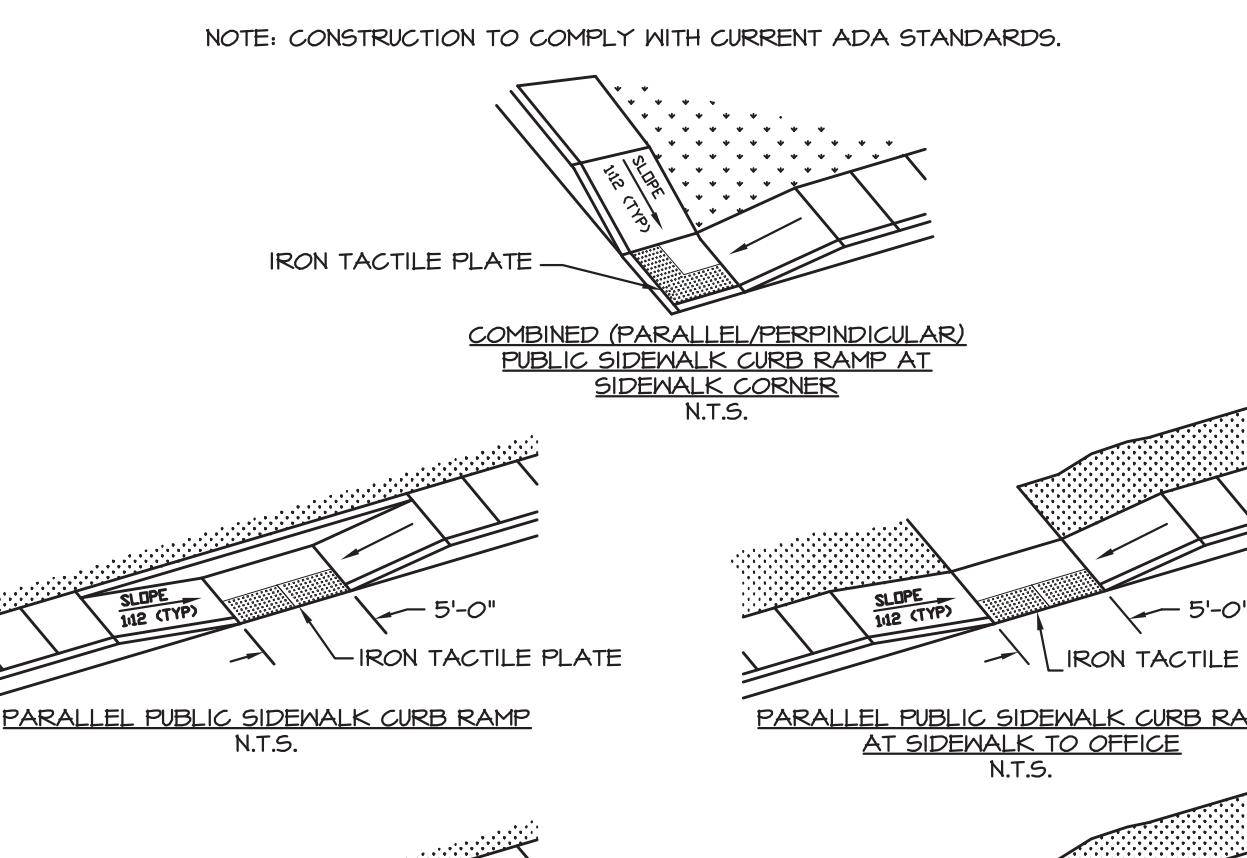
1. RETAINING WALL DESIGN BY OTHER COORDINATE WITH MANUFACTURER ON USE AND LOCATION OF REINFORCEMENT.
2. WALL HEIGHT (H) IS THE TOTAL HEIGHT FROM TOP OF LEVELING PAD TO TOP OF WALL.
3. MINIMUM WALL EMBEDMENT IS 12 INCHES FROM TOP OF LEVELING PAD.
4. SUBSURFACE SOILS MUST BE CAPABLE OF SUPPORTING WALL SYSTEM.
5. UNDRAINED FILL IS  $\frac{1}{2}$  INCH CLEAN WASHED CRUSHED STONE, FILL ALL OPEN SPACES BETWEEN UNITS AND OPEN CAVITIES/CORES WITH SAME UNIT DRAINAGE MATERIALS EXCEPT WHERE FENCE POSTS ARE PRESENT. Voids IN BLOCKS HOLDING FENCE POSTS SHALL BE FILLED WITH NON-SHRINK GROUT, AND LOCATIONS SHALL BE VERIFIED WITH THE FENCE COMPANY.
6. LEVELING PAD IS CRUSHED STONE BASE MATERIAL.
7. ALL DRAINAGE MATERIALS ARE COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
8. GEOTEXTILES MUST BE OF APPROPRIATE TYPE AND LENGTH PER DESIGN.
9. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.
10. STEP THE LEVELING PAD IN 6" INCREMENTS AT THE APPROPRIATE ELEVATION CHANGE IN THE FOUNDATION.
11. REFER TO MANUFACTURER'S INSTRUCTIONS FOR ADDITIONAL DETAILS INCLUDING CORNERS AND CURVES.
12. REFER TO TENCATE MIRAFI INSTALLATION GUIDELINES FOR ORIENTATION OF GEOTEXTILE AND CONNECTION OF PANELS.



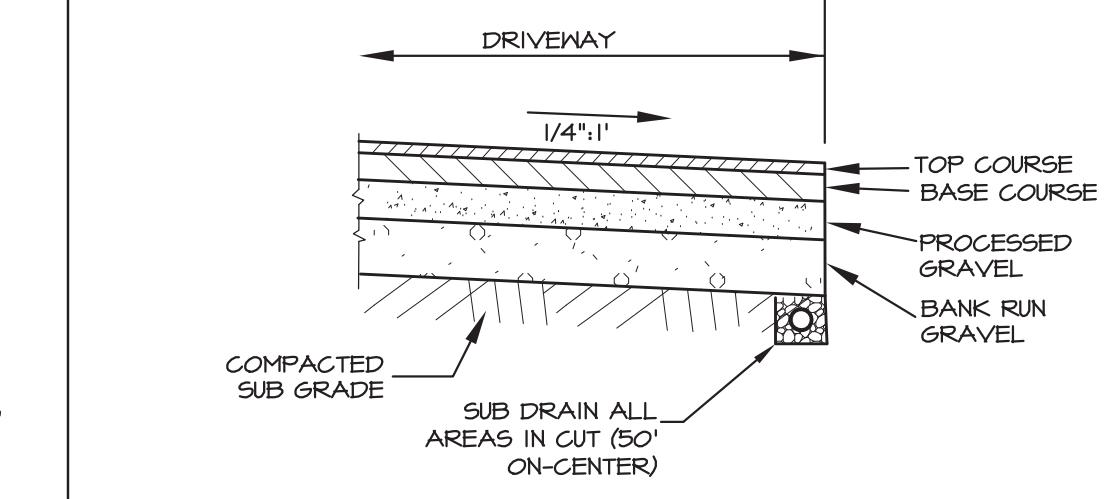
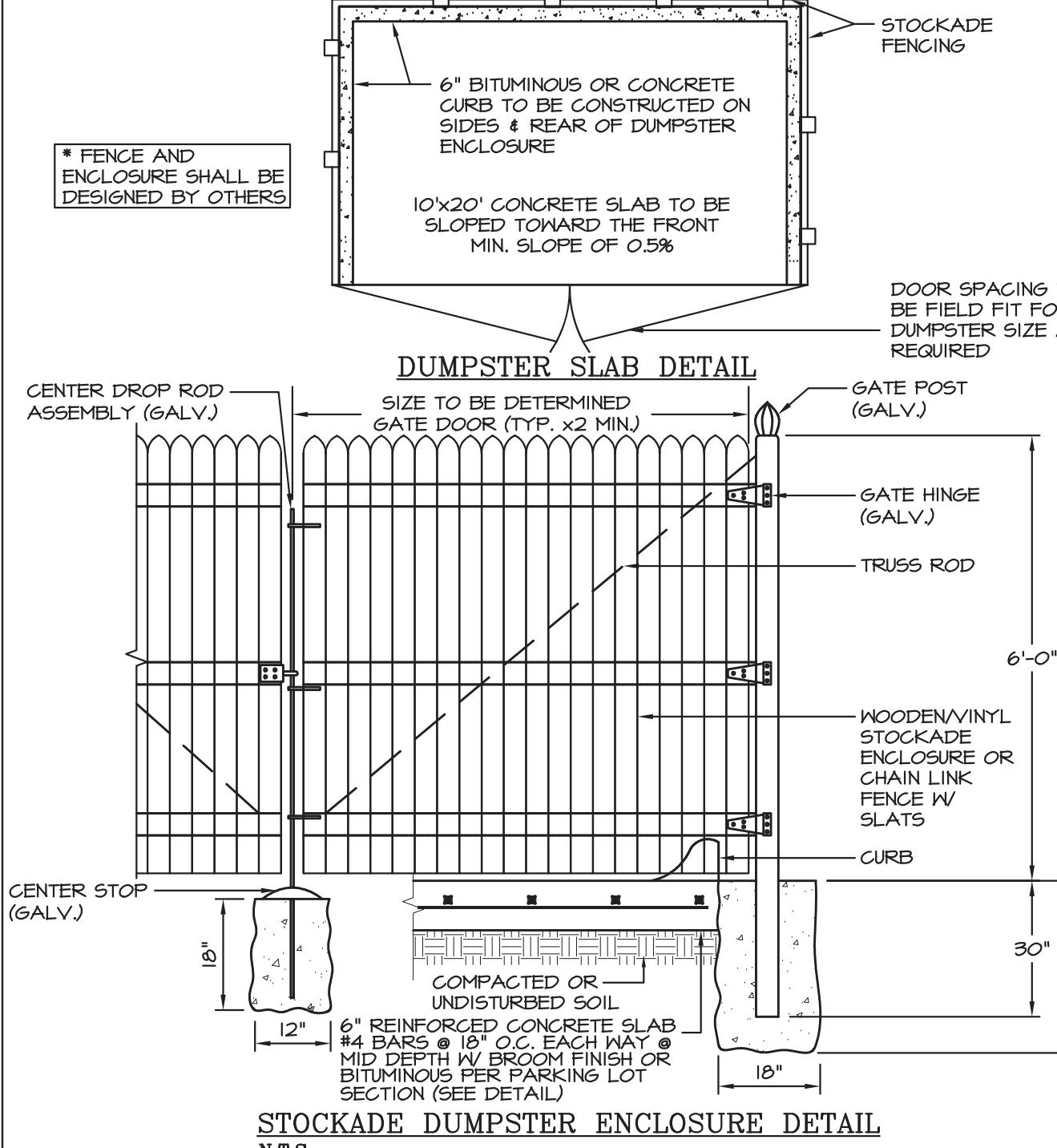
#### ACCESSIBILITY SIGN MOUNTING DETAIL



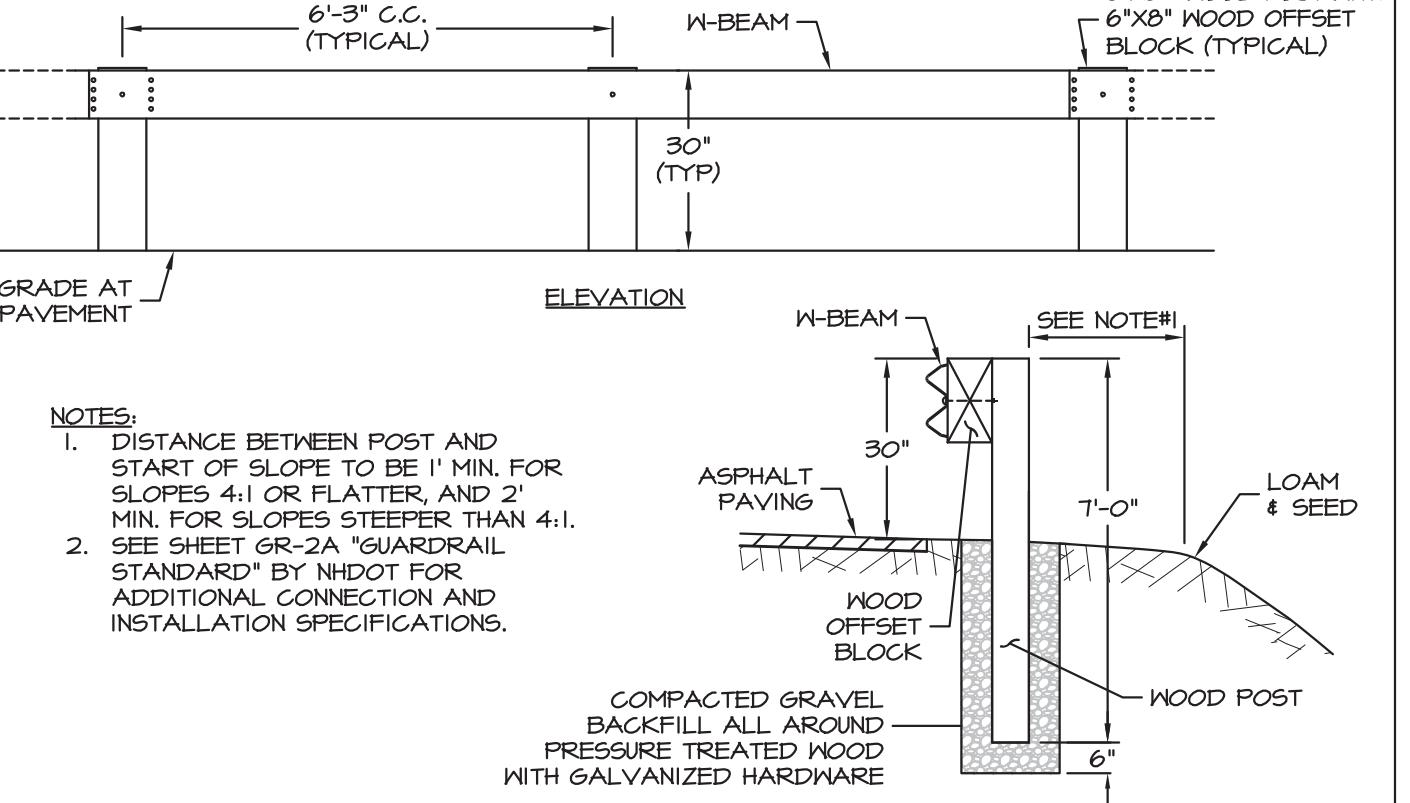
#### PARKING STALL FOR THE PHYSICALLY CHALLENGED N.T.S.



#### TYPICAL ACCESSIBILITY RAMP DETAILS N.T.S.



#### PAVED DRIVEWAY SECTION N.T.S.

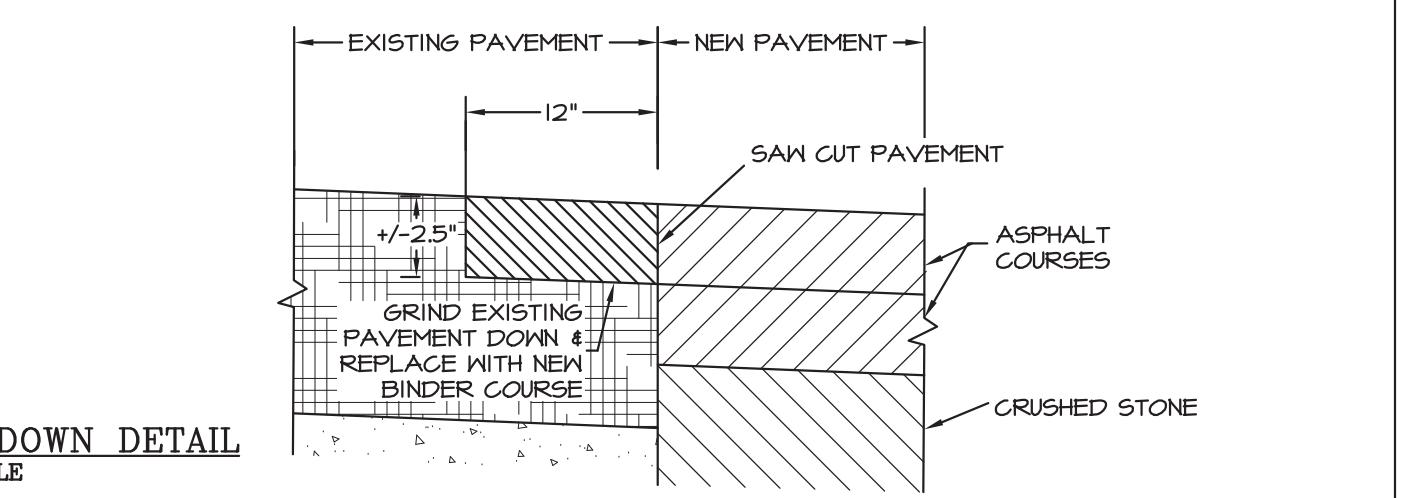


#### METAL GUARD RAIL DETAIL N.T.S.

**NOTES:**

1. ALL GRAVEL AND SUBGRADE TO BE COMPAKTED TO 95% MAXIMUM DRY DENSITY PER ASTM D693 WITHIN 3% OF OPTIMUM MOISTURE CONTENT.
2. MATERIALS MAY VARY UNDERNEATH EXISTING SECTION.

#### SAW CUT & GRIND DOWN DETAIL NOT TO SCALE



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

RECORD OWNER  
CKT ASSOCIATES, LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801



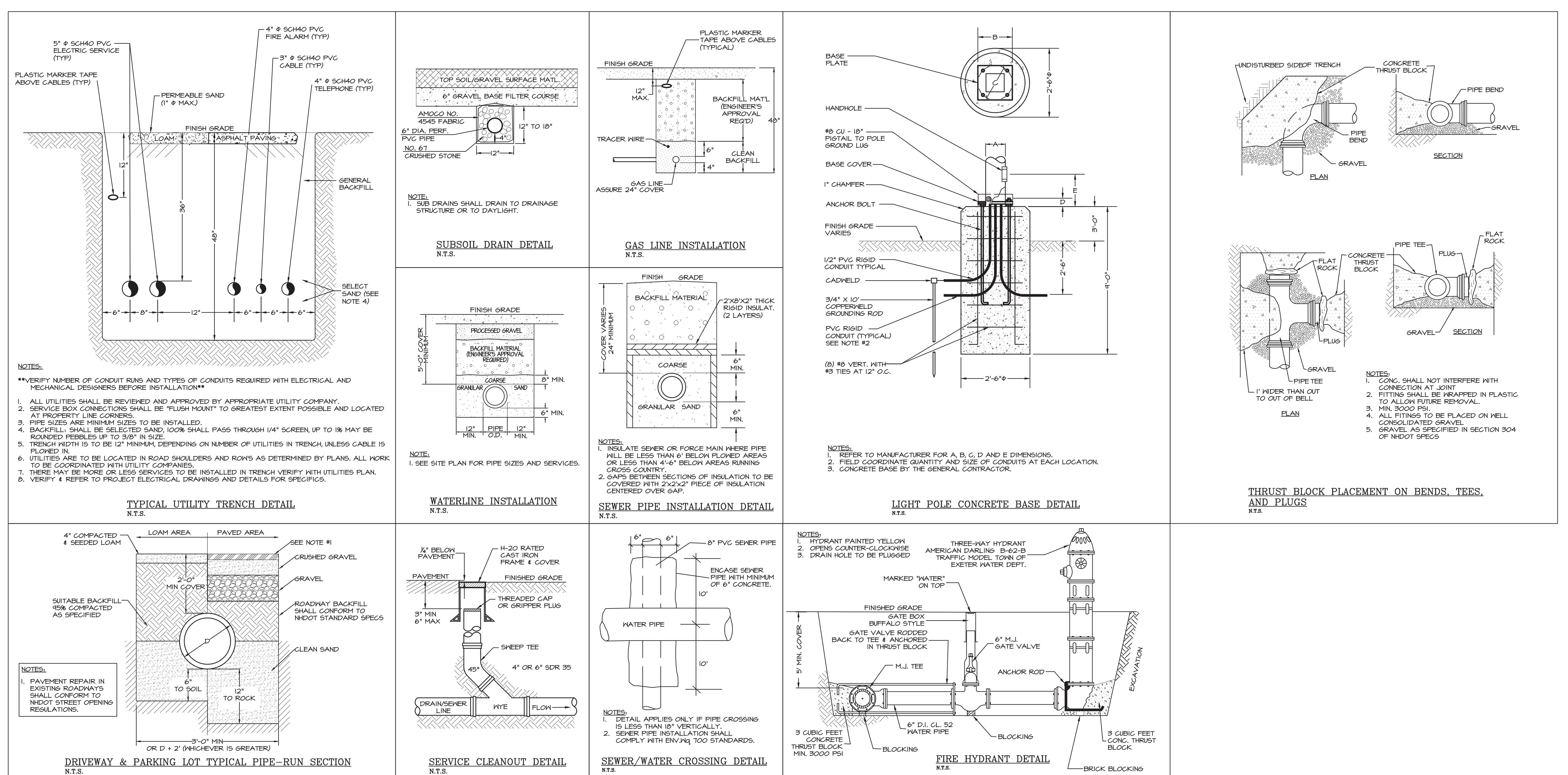
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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN CALC. BY: JUM PROJECT: 25-1019  
DATE: NOV. 10, 2025 CHKD. BY: BDS

**SITE PLAN**  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

**PLAN TITLE**  
**SITE DETAILS**  
SHEET: 19



GRAPHIC SCALE:



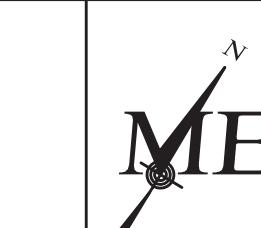
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CKT ASSOCIATES, LLC  
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NEWINGTON, NH 03801

APPLICANT  
WILLEY CREEK CO., LLC  
158 SHATTUCK WAY  
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY



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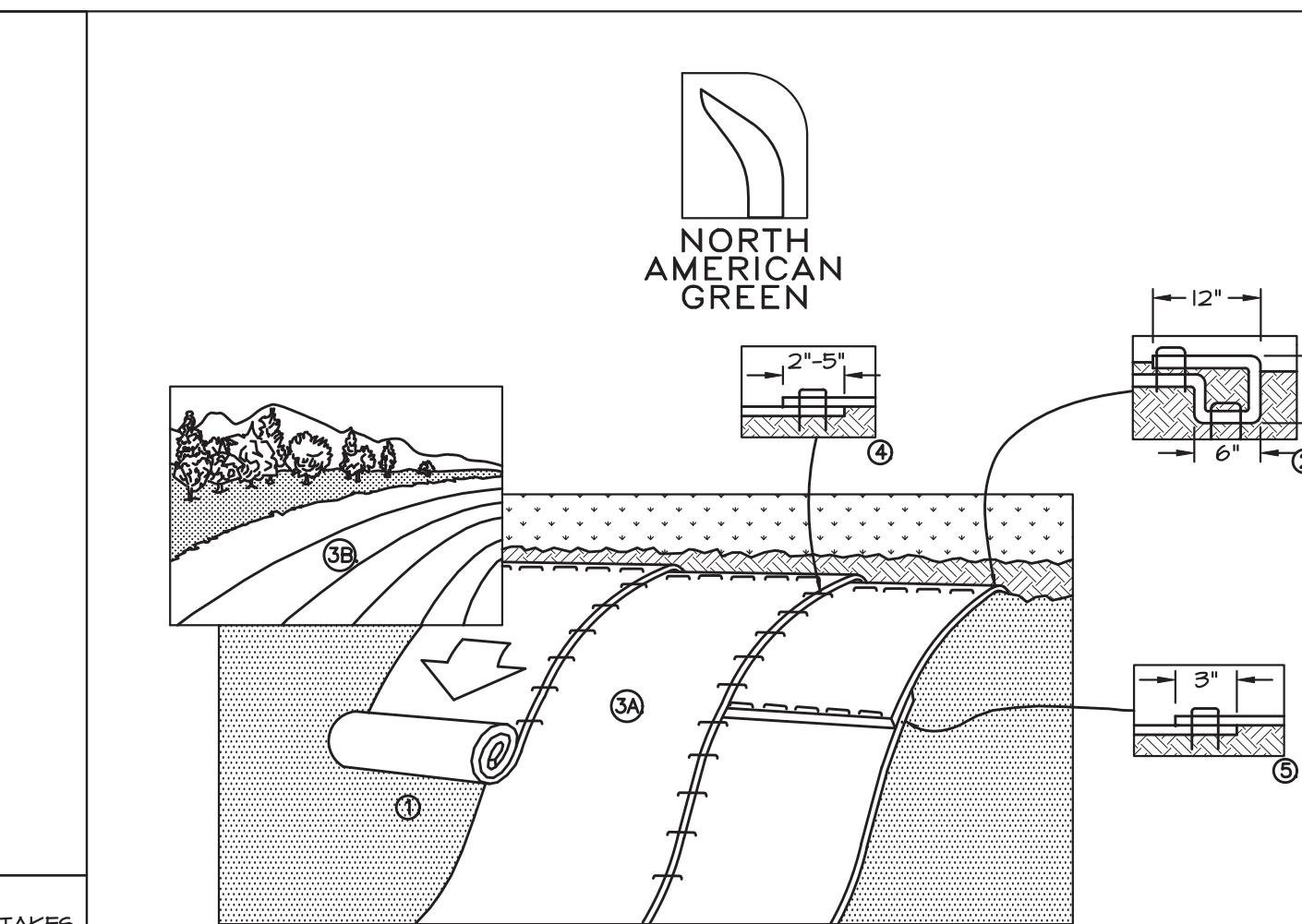
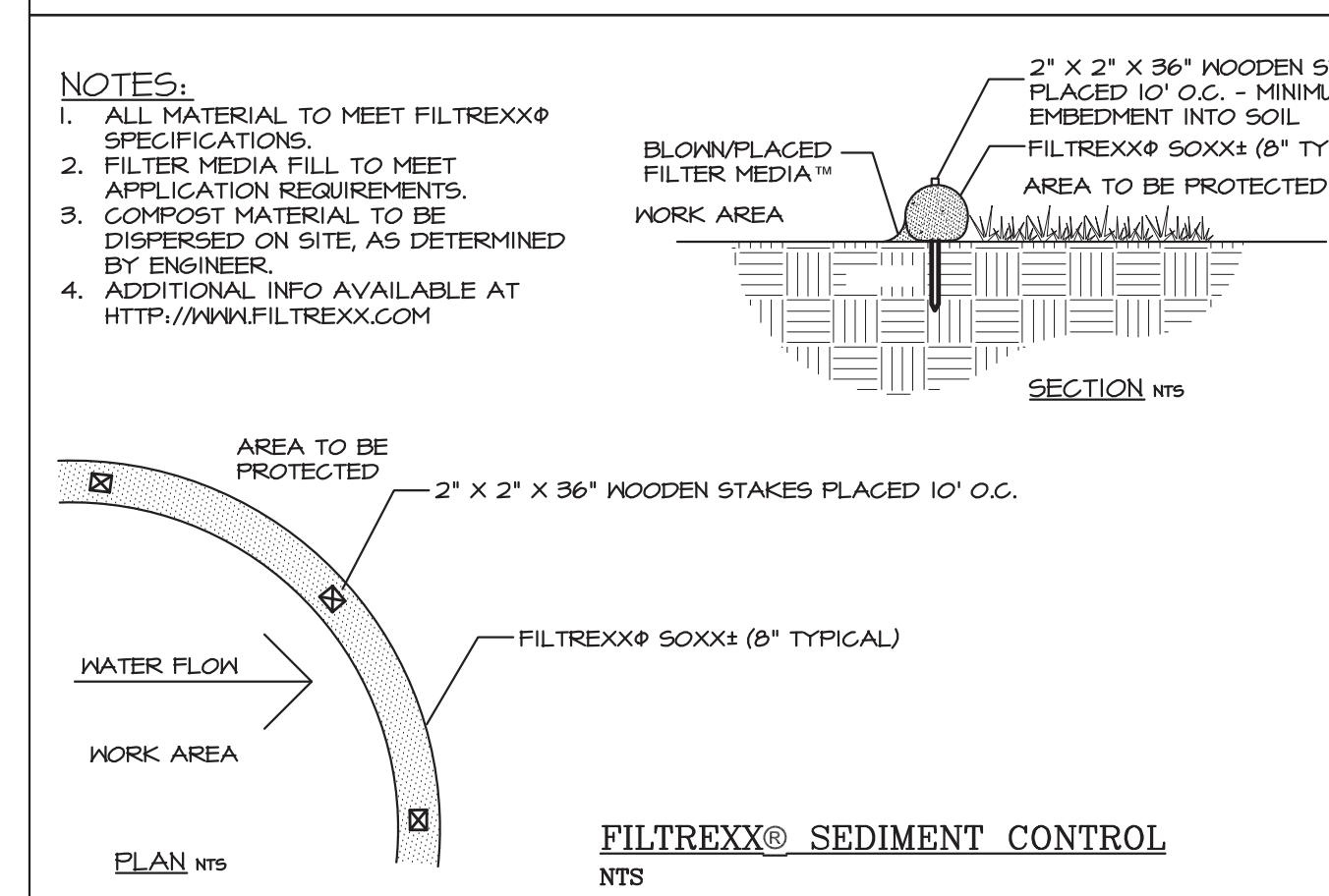
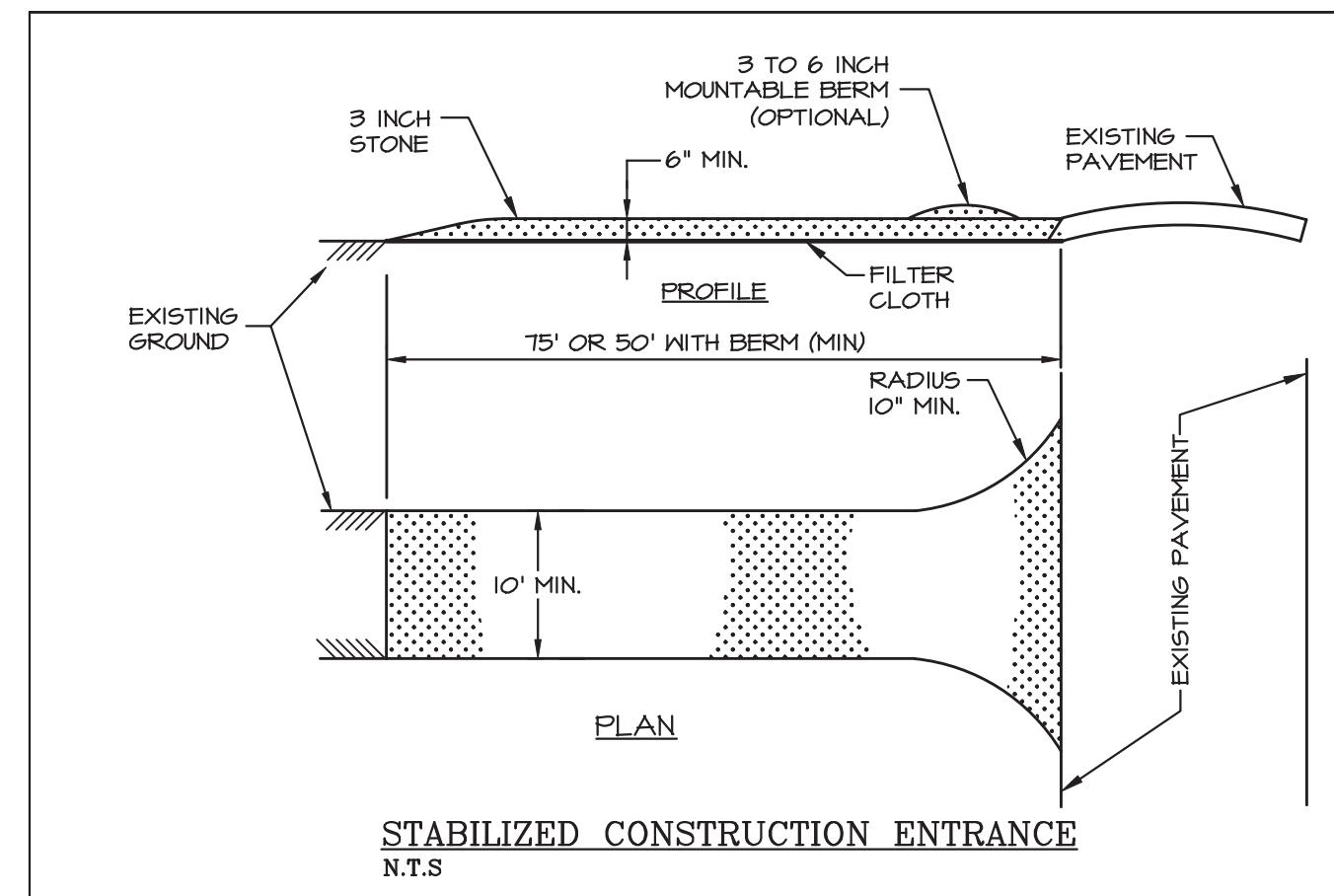


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SCALE: AS SHOWN    CALC. BY: JUM    PROJECT: 25-1019  
DATE: NOV. 10, 2025    CHKD. BY: BDS

SITE PLAN  
IN  
EXETER, NH  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF  
RAY FARMSTEAD ROAD

PLAN TITLE  
UTILITY  
DETAILS  
SHEET: 20



**NOTES:**

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPROVED REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. ADDITIONAL INFO AVAILABLE AT [HTTP://WWW.FILTREXX.COM](http://WWW.FILTREXX.COM)

**SECTION N.T.S.**

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A TRENCH 6" (15cm) WIDE TROUGH THE TOP APPROXIMATELY 12" (30cm) BEYOND THE TOP SLOPE CORTON (VERTICAL LINE). ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) FOLD OVER THE TOP OF THE TRENCH AND SECURE WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.

3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

4. THE LENGTH OF PARALLEL BLANKETS USES STAPLES/STAKES APPROXIMATELY 12" (30cm) APART. 15cm-2.5cm OVERLAP (DEPENDING ON BLANKET TYPE) TO ENSURE PROPER SEAM. ALSO, STITCH THE EDGES OF THE OVERLAP BY STAPLE (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.

5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (75cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

**NOTE:** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

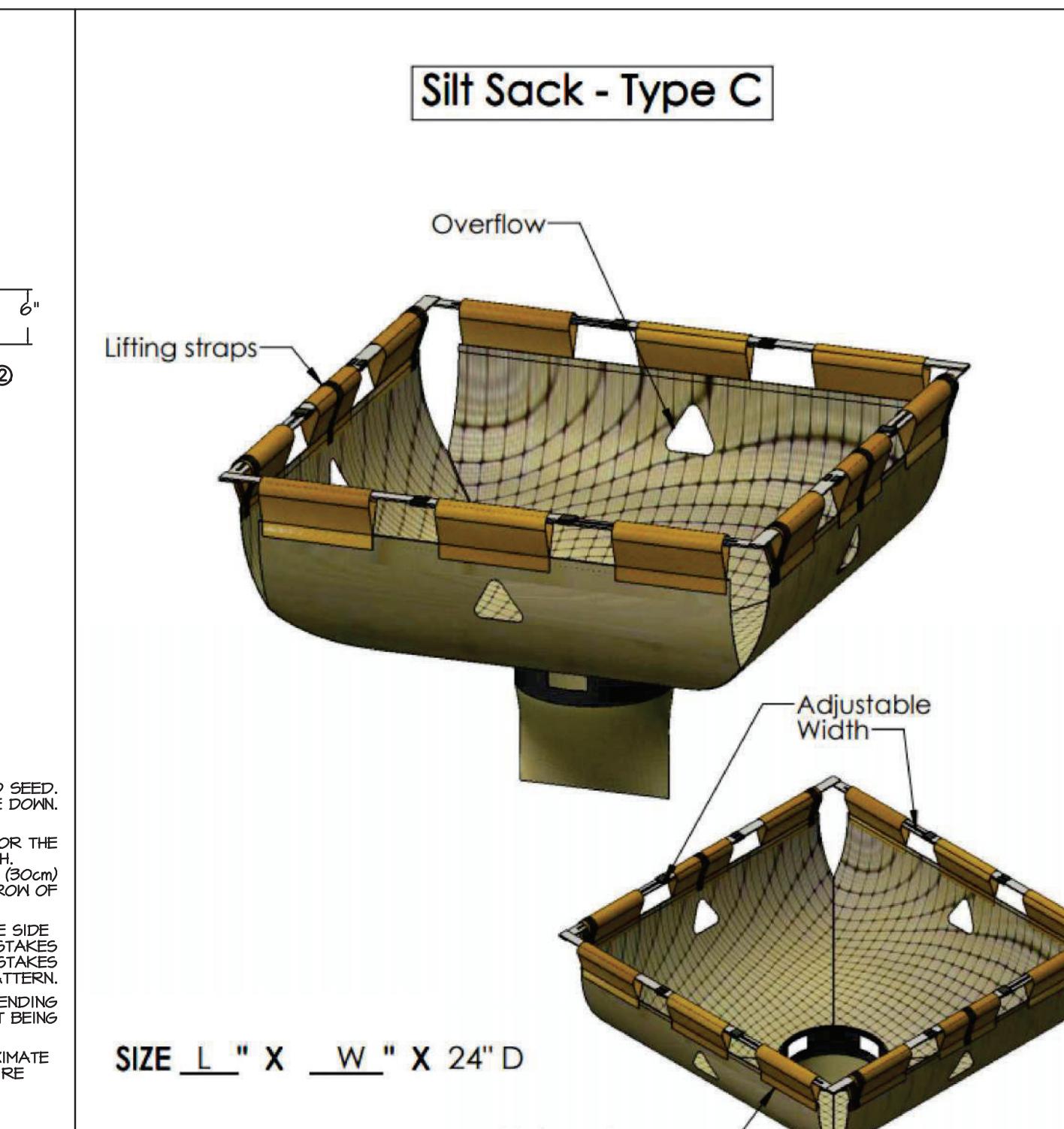
**Critical Points:**

- A. OVERLAPS AND SEAMS
- B. PROJECTED WATER LINE
- C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

\* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.

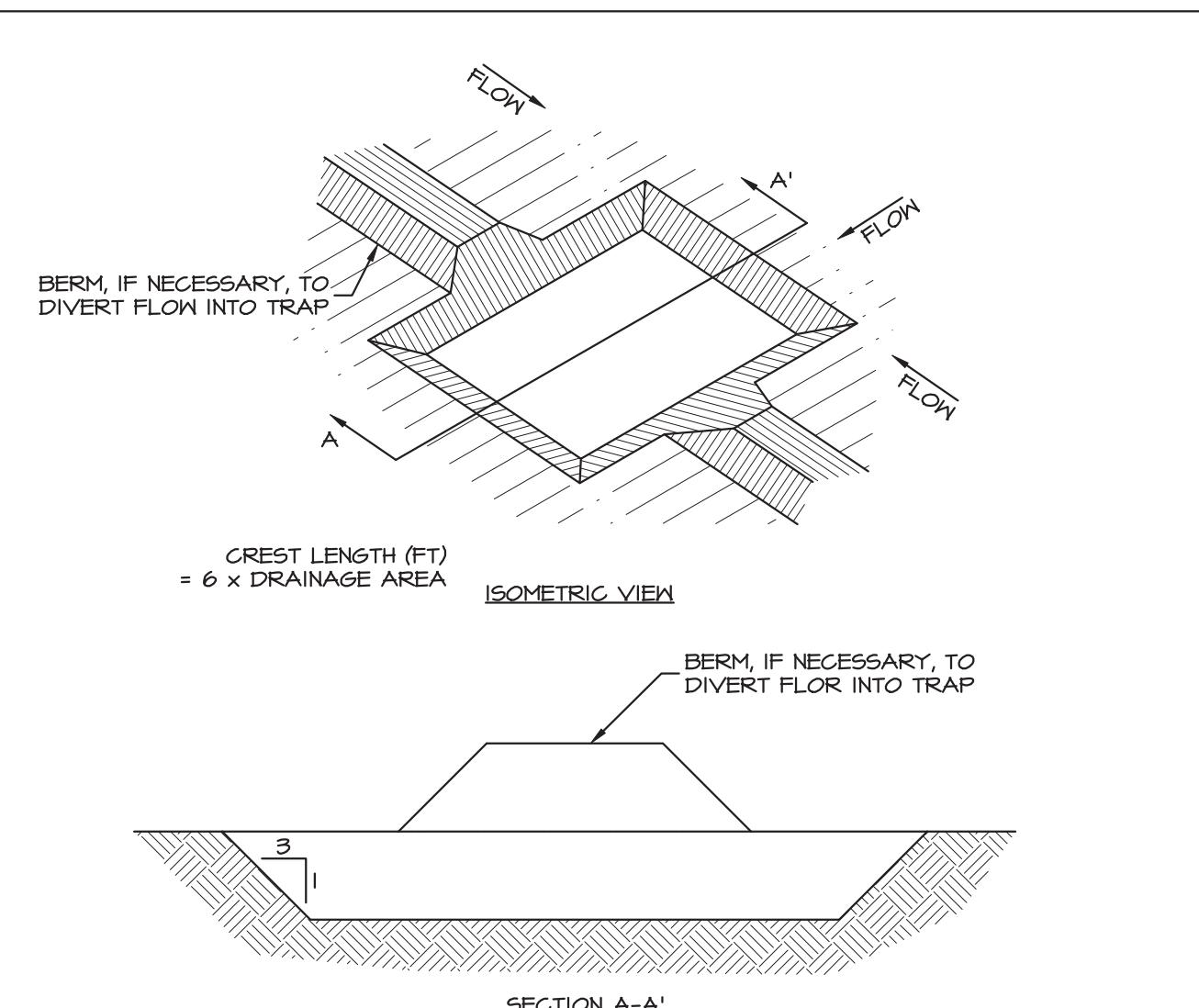
\*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

14644 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47125  
USA 1-800-712-2040 CANADA 1-800-446-2040  
[WWW.NAGREEN.COM](http://WWW.NAGREEN.COM)

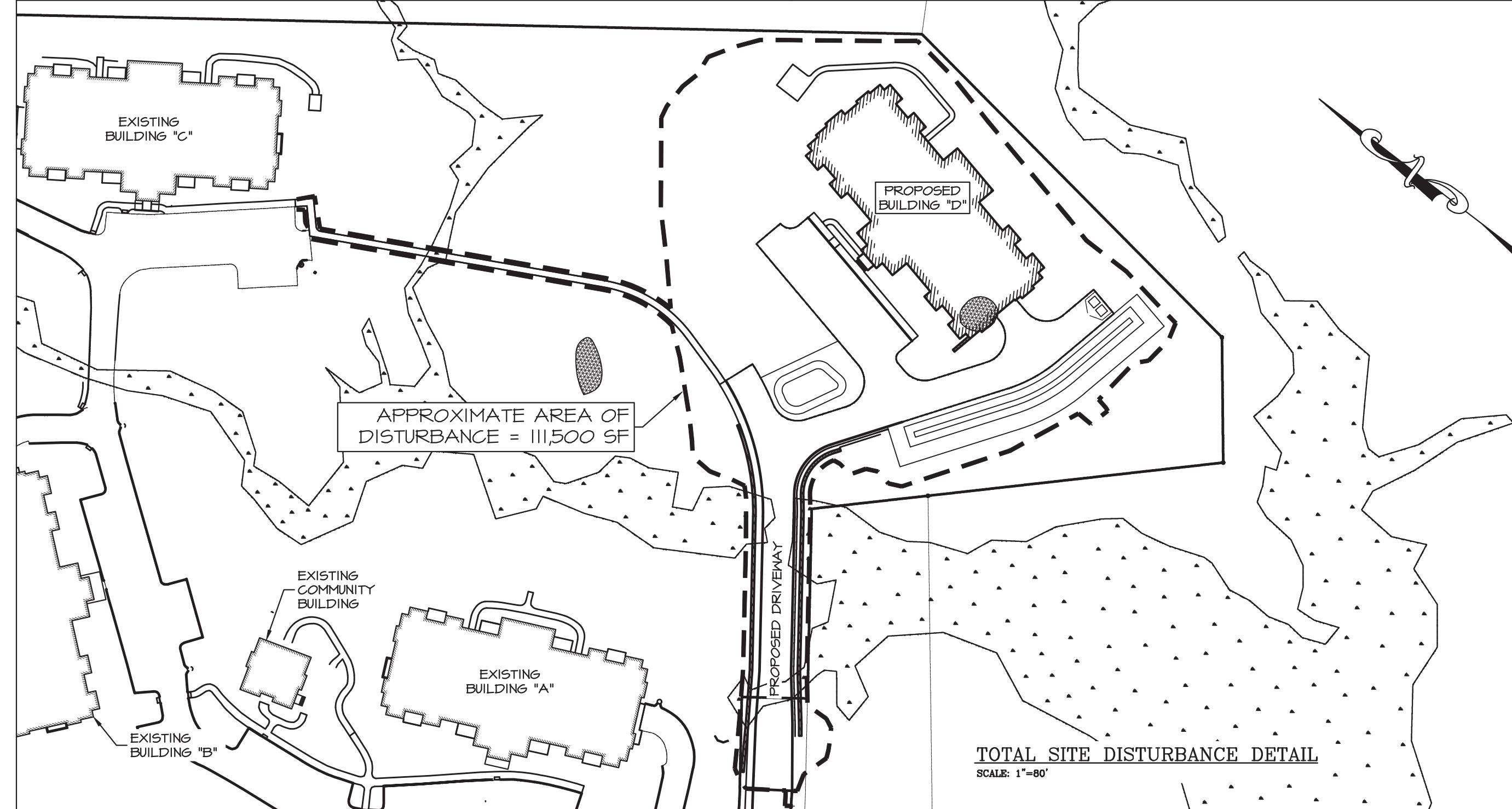


**NOTES:**

1. SEDIMENT TRAPS SHOULD BE LOCATED SO THAT THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
2. THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
3. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.
4. THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
5. THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. AN EARTH OUTLET SEDIMENT TRAP HAS A DISCHARGE POINT THAT IS EITHER OVER NATURAL GROUND OR CUT INTO NATURAL GROUND.
7. THE OUTLET WIDTH SHOULD BE EQUAL TO 6 TIMES THE DRAINAGE AREA IN ACRES.
8. THE EMBANKMENT AND OUTLET SHOULD BE VEGETATED WITHIN 3 DAYS OF CONSTRUCTION.



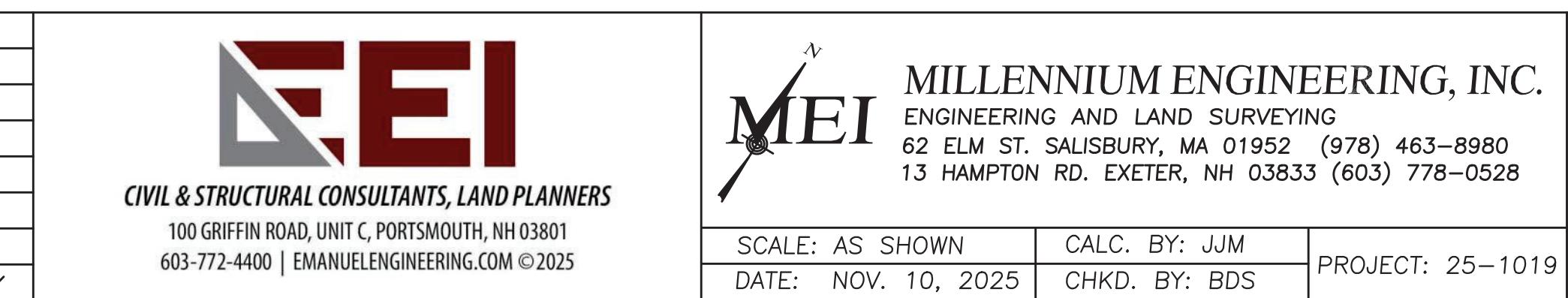
EARTH OUTLET  
SEDIMENT TRAP DETAIL  
NOT TO SCALE



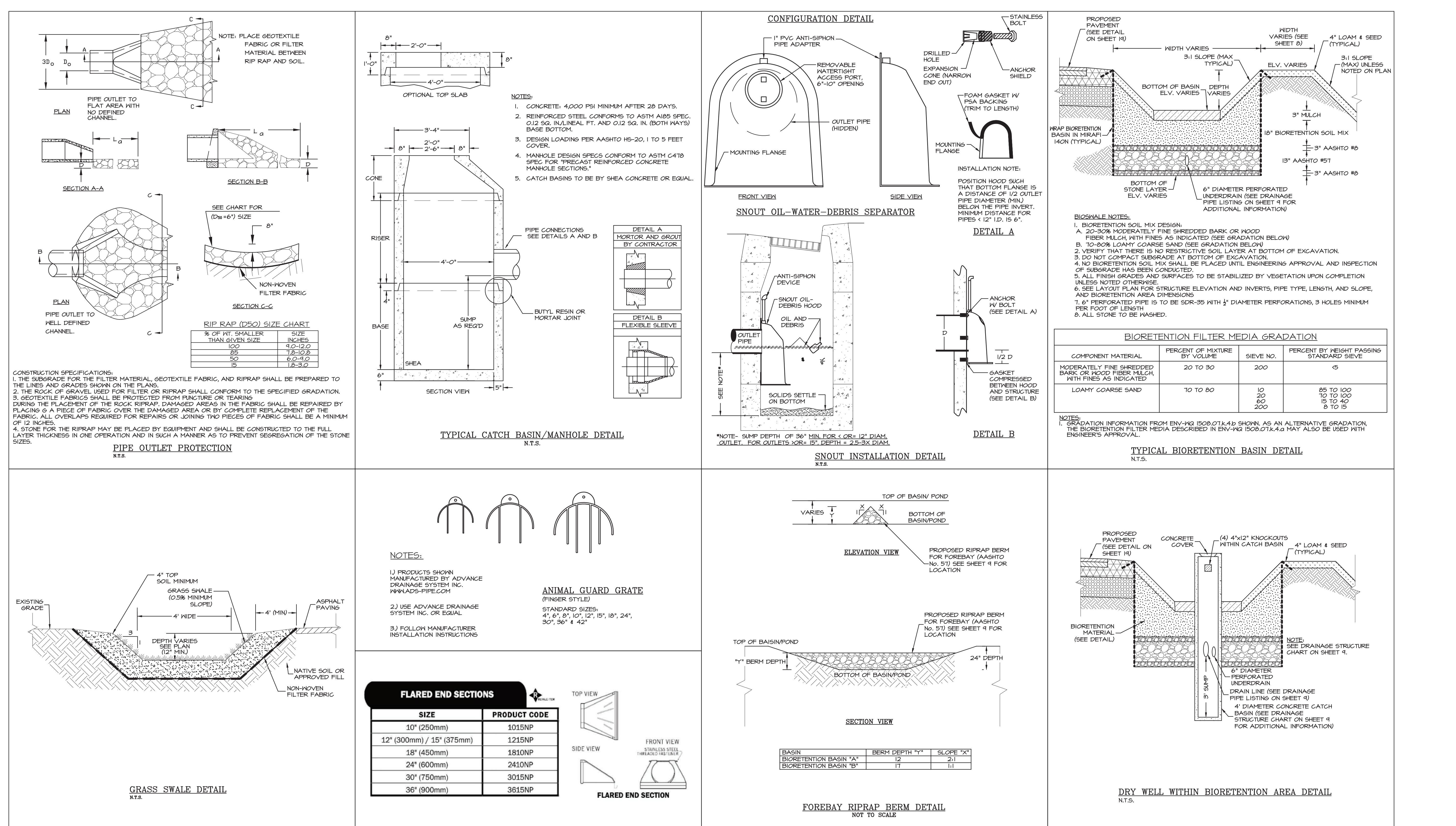
RECORD OWNER	APPLICANT	NO.	DATE	DESCRIPTION	BY
CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	WILLEY CREEK CO., LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				



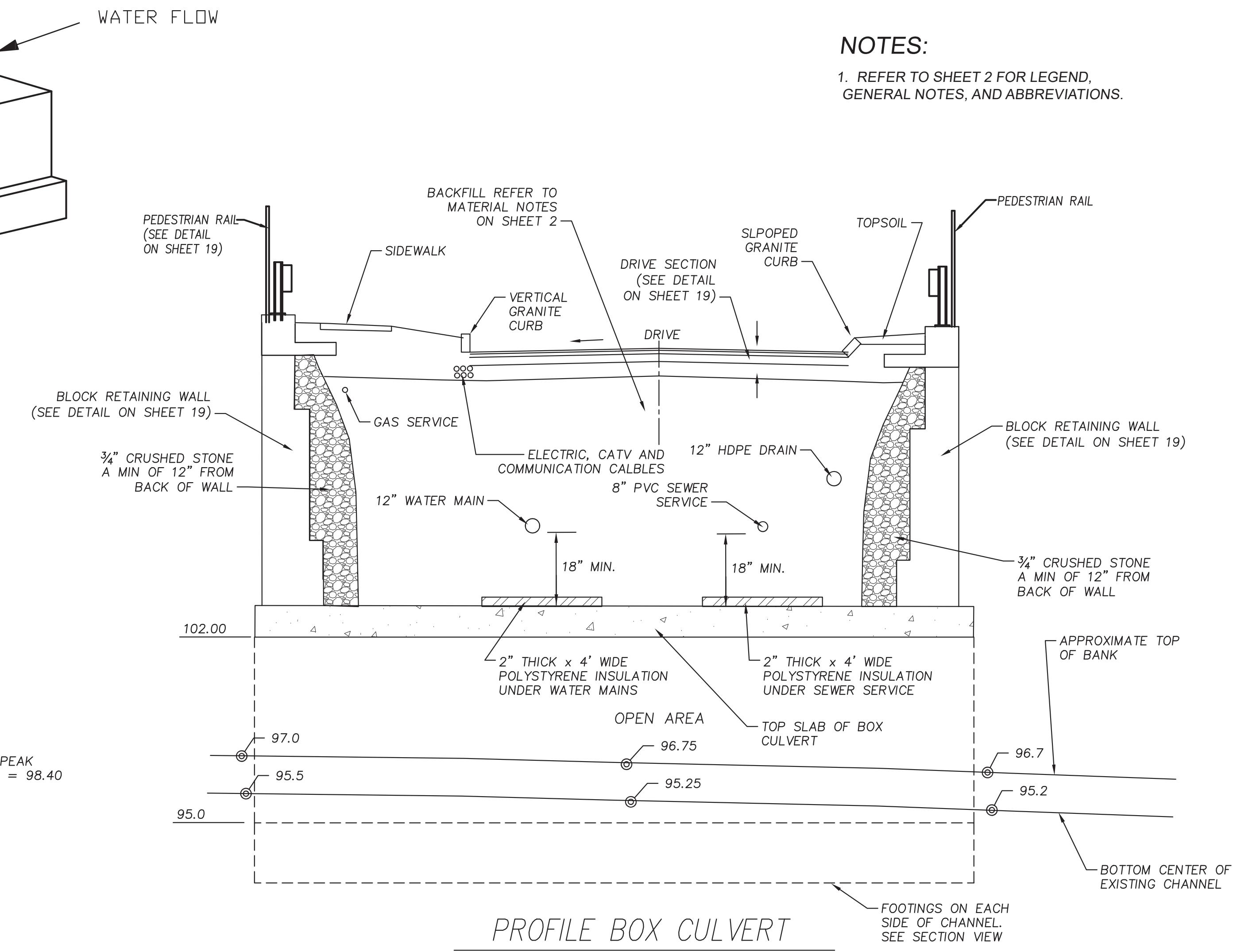
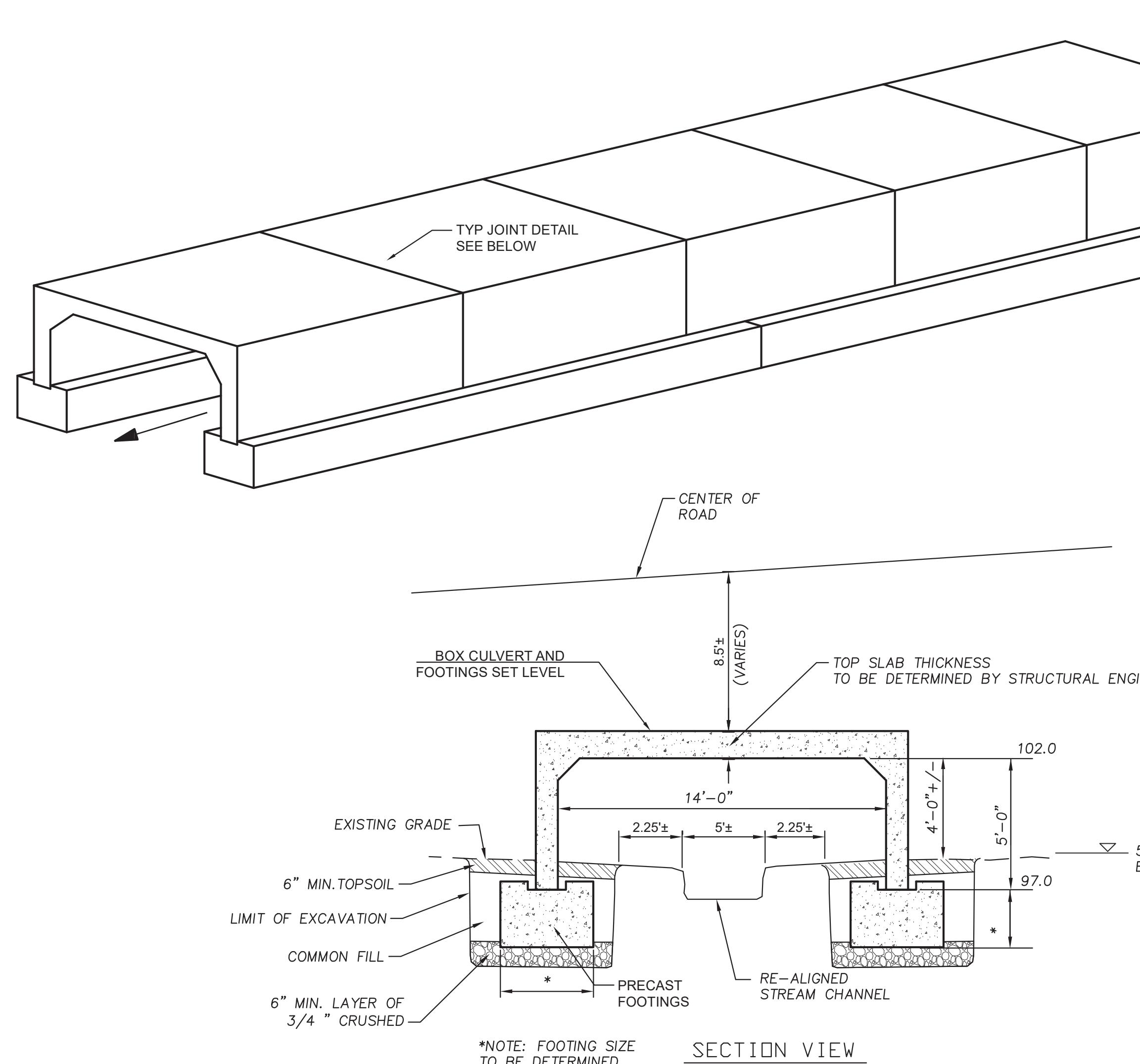
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD	PLAN TITLE EROSION CONTROL DETAILS SHEET: 21
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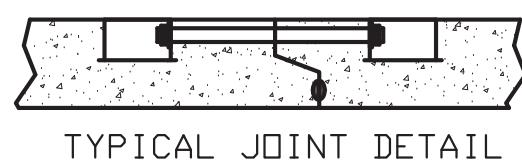
GRAPHIC SCALE:	RECORD OWNER	APPLICANT	SITE PLAN	PLAN TITLE
	<p>RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801</p> <p>APPLICANT WILLEY CREEK CO., LLC 158 SHATTUCK WAY NEWINGTON, NH 03801</p>	<p>NO. DATE</p> <p>DESCRIPTION</p> <p>BY</p>	<p><b>MEI</b> CIVIL &amp; STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400   EMANUELENGINEERING.COM ©2025</p>	<p><b>MEI</b> MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528</p>
			<p>SCALE: AS SHOWN</p> <p>DATE: NOV. 10, 2025</p>	<p>CALC. BY: JUM</p> <p>CHKD. BY: BDS</p> <p>PROJECT: 25-1019</p>



DESIGN NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN PER ASTM C1504 SPECIFICATION FOR 3-SIDED CULVERT.
3. ALL REINFORCEMENT PER ASTM A-615-75
4. DESIGN FOR AASHTO H-20 LOADING (FOR VEHICULAR AND TRUCK TRAFFIC). COVER OVER TOP OF BOX CULVERT WILL BE BETWEEN 8 TO 10 FEET. A CONCRETE BLOCK RETAINING WALL WILL BE AT EACH END OF THE CULVERT.
5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
6. BORINGS TO DETERMINE BEARING CAPACITY AND SOIL SUITABILITY SHALL BE CONDUCTED BY A GEOTECHNICAL ENGINEER PRIOR TO DESIGN.
7. INSTALLATION OF BACKFILL AND STRUCTURE SHALL BE UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER.

NOTE: CULVERT DESIGN TO BE PREPARED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE ENGINEER OF RECORD AND SUBMITTED TO TOWN OF EXETER ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.



BOX CULVERT 3-SIDED

BOX CULVERT

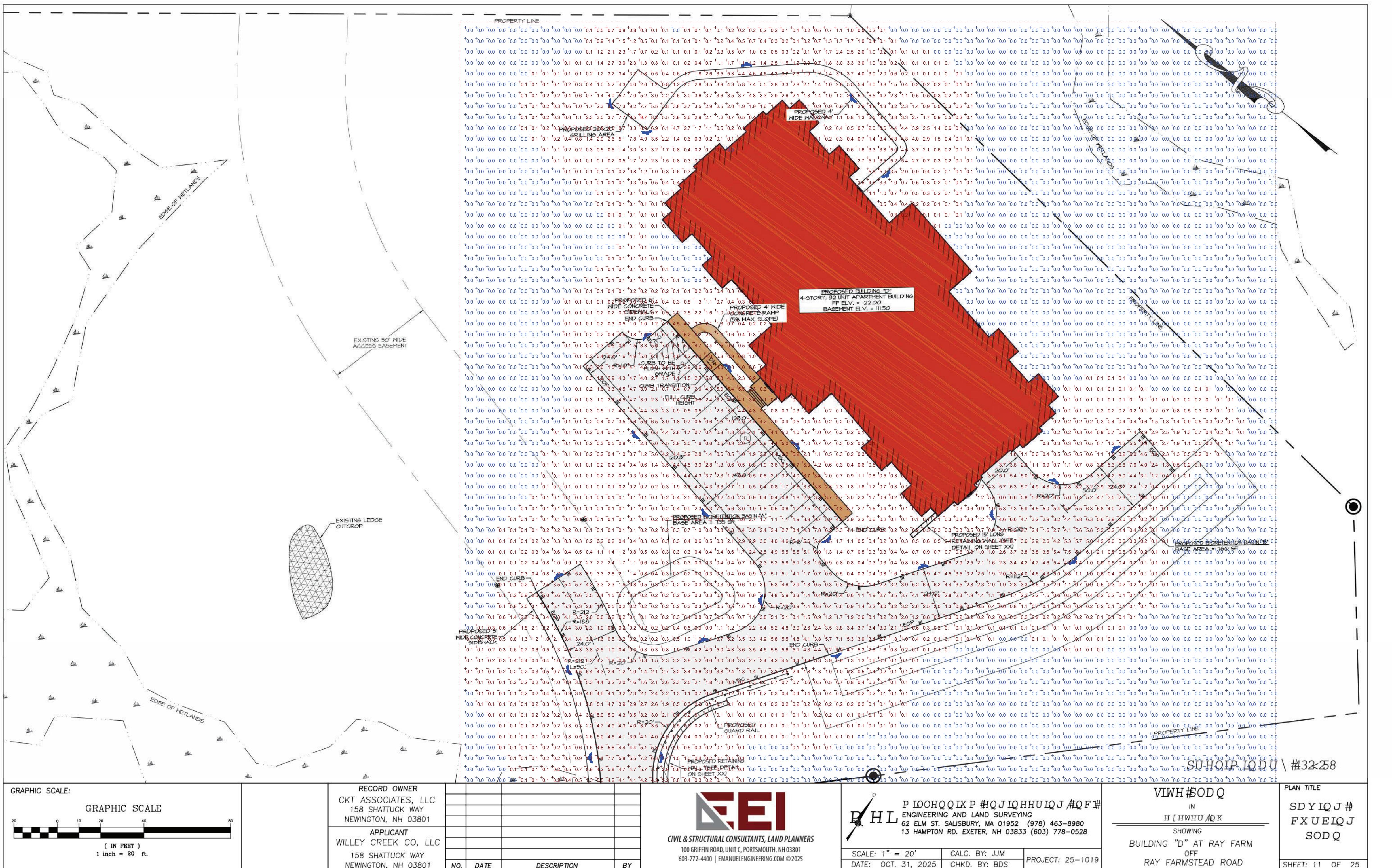
NOT TO SCALE

TOWN OF EXETER PLANNING BOARD

CHAIRMAN

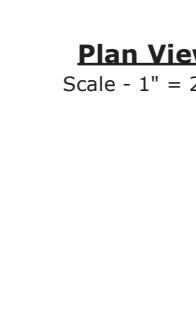
DATE

GRAPHIC SCALE:	RECORD OWNER	APPLICANT	SITE PLAN	PLAN TITLE
	CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	WILLEY CREEK CO., LLC 158 SHATTUCK WAY NEWINGTON, NH 03801	 MEI ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD
	NO. DATE DESCRIPTION BY		SCALE: AS SHOWN CALC. BY: JJM DATE: OCT. 31, 2025 CHKD. BY: BDS PROJECT: 25-1019	SHEET: 23



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	<b>POS T LIGH T</b>		23	Beacon Products	TRA30-AC-24L-55-3K-UNV-DIR3		1	4801	1	57	 Max: 5309cd



**B H L** P I O O H Q Q I X P # I Q J I Q H H U I Q J # I Q F #  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

VIWH#SODQ  
IN  
H [ HWHU ~~10~~ K  
SHOWING  
BUILDING "D" AT RAY FARM  
OFF

**Designer**  
Travis Blischke  
**Date**  
10/22/2025  
**Scale**  
Not to Scale  
**Drawing No.**  
  
**Summary**

## PLANT LIST

## EVERGREEN TREES / SHRUBS

3 *Abies concolor* 'White Fir' 8-10' BB  
 3 *Picea pungens* gl. 'Montgomery' Blue Spruce 10gal.  
 3 *Thuja occidentalis* George Peabody Arborvitae 10gal.  
 6 *Buxus* 'Green Mountain' Boxwood 2-2.5' BB  
 2 *Juniperus virginiana* 'Blue Arrow' juniper 6-7' BB  
 2 *Taxus media* 'Everlow' Spreading Yew 2.5-3' BB  
 6 *Leucothoe axillaris* 'Coast Leucothoe'  
 9 *Microbiota decussata* 'Russian Cypress'  
 15-18" 3gal.

## - DECIDUOUS FLOWERING SHRUBS -

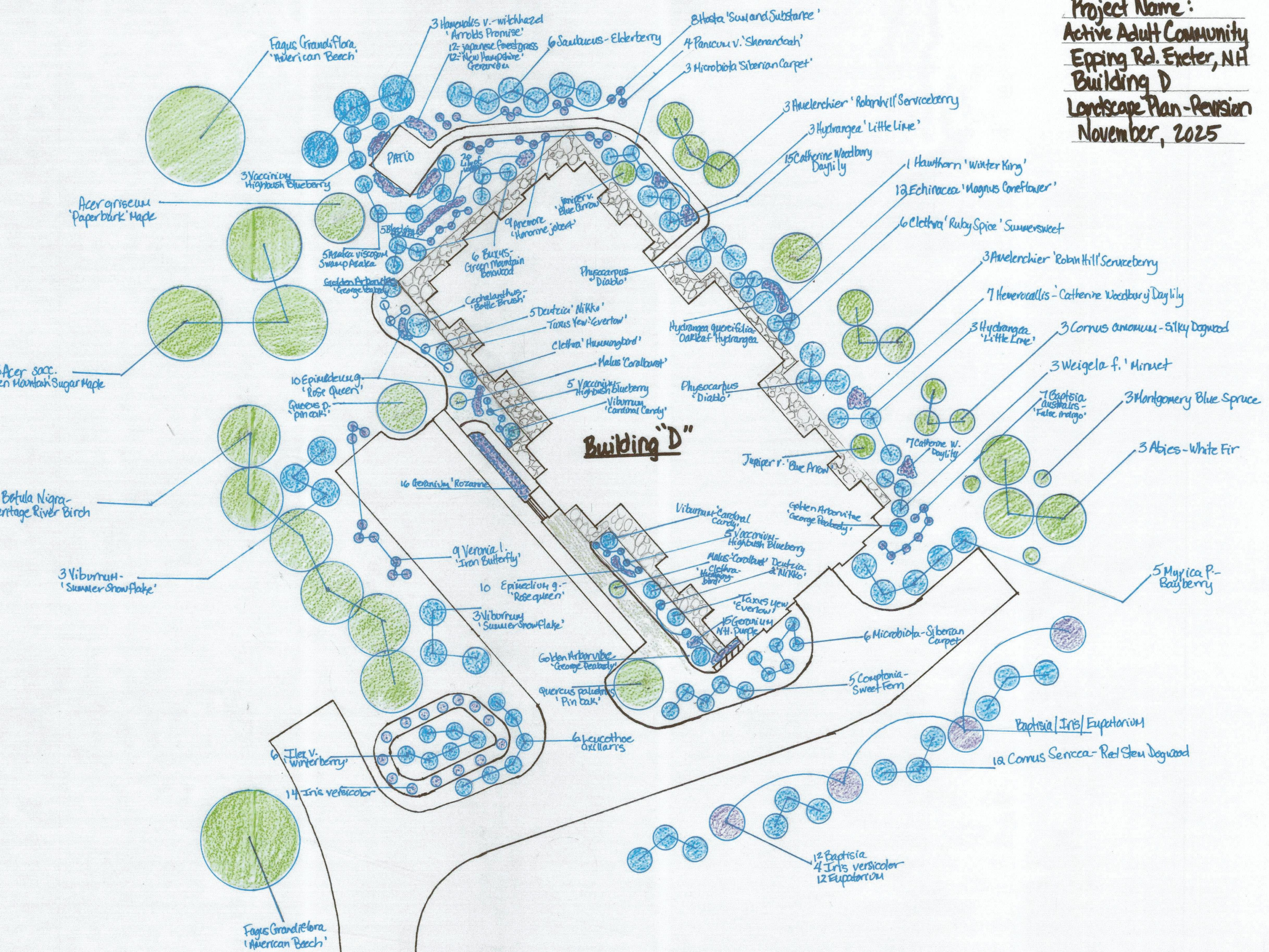
5 *Munica pensylvanica* - Northern Bayberry 3gal.  
 3 *Weigela* 'Minuet' - Minuet Weigela 3gal.  
 6 *Hydrangea paniculata* 'Little Lime' 5 gal.  
 1 *Hydrangea quercifolia* 'Oakleaf Hydrangea' 4.5' BB  
 6 *Clethra alnifolia* 'Ruby Spice' - Summersweet 10 gal.  
 2 *Clethra alnifolia* 'Hummingbird' Summersweet 5 gal.  
 6 *Sambucus racemosa* 'Grae' Elderberry 5 gal.  
 3 *Hamelia* in. 'Arnold's Promise' - Witchhazel 3.4' BB  
 5 *Azalea viscosa* - Swamp Azalea 5 gal.  
 13 *Vaccinium corymbosum* 'Northland' HB Blueberry 5 gal.  
 6 *Physocarpus opulifolius* 'Diablo' Ninebark 3 gal.  
 1 *Cephaelanthus* - 'Bottlebrush'  
 7 *Deutzia gracilis* - Deutzia 3 gal.  
 6 *Viburnum* pt. 'Summer Snowflake' Viburnum 3-4' BB  
 2 *Viburnum* 'dilatatum' 'Cardinal Candy' Viburnum 4.5' BB  
 6 *Ilex verticillata* 'Red Sprite' Winterberry 5 gal.  
 5 *Comptonia peregrina* - Sweet Fern 3 gal.  
 12 *Cornus sericea* 'Red Stem Dogwood' 3.4'

## - PERENNIALS -

19 *Buglossa australis* - False Indigo 1gal.  
 10 *Heucherella* 'Joan Senior' Daylily 2gal.  
 22 *Heucherella* 'Catherine Woodbury' Daylily 2gal.  
 13 *Echinacea purpurea* 'Magnus' Coneflower 1 gal.  
 8 *Hosta* 'Sun and Substance' 3 gal.  
 4 *Panicum* v. 'Shenandoah' Grass 3 gal.  
 27 *Geranium sanguineum* 'New Hampshire Purple' 1 gal.  
 12 *Hakonechloa macra* 'Aureola' J. Forest Grass 1 gal.  
 5 *Dicentra spectabilis*  
 9 *Anemone hybrida* 'Hononee Jolbert' Windflower 1 gal.  
 20 *Epipterygium* q. 'Rose Queen' Barrenwort 1 gal.  
 16 *Geranium* 'Rozanne' 1 gal.  
 12 *Eupatorium* - Joe Rye Weed 2 gal.  
 18 *Iris versicolor* - Blueflag Iris 0 gal.  
 9 *Veronica* 'Ironton' Iron Butterfly 0 gal.

## LARGE DECIDUOUS TREES / FLOWERING

1 *Crataegus viridis* 'Winter King' Hawthorn 2.5-3' BB  
 2 *Fagus grandiflora* 'American Beech' 3-3.5' BB  
 3 *Acer saccharum* 'Green Mantle' Sugar Maple 3-3.5' BB  
 1 *Acer griseum* 'Paperbark Maple' 2.5-3' BB  
 2 *Quercus palustris* 'Pin Oak' 3.5-4' BB  
 2 *Malus* 'Coralcole' Coralburst Flowering Crab 2.5' BB  
 6 *Amelanchier* x *grandiflora* 'Autumn Brilliance' 2-2.5' BB  
 3 *Cornus amomum* 'Silky Dogwood' 6-10' BB



Project Name:  
 Active Adult Community  
 Epping Rd. Exeter, NH  
 Building D  
 Landscape Plan - Revision  
 November, 2025