



TOWN OF EXETER, NEW HAMPSHIRE

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www.exeternh.gov

LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, January 8, 2026, at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

APPROVAL OF MINUTES: December 11, 2025

NEW BUSINESS: PUBLIC HEARINGS

In accordance with RSA 674:54, a public hearing will be held to discuss the Town's intent to construct a new Police and Fire Substation at 6 Continental Drive, Tax Map Parcel #47-04-11.

Public hearing on the proposed amendment(s) to the Town's Site Plan Review & Subdivision Regulations:

Amend the Subdivision and Site Plan Review Regulations by adding a new paragraph to Section 8.7 – Vehicular and Pedestrian Traffic, as follows:

Section 8.7.9 Bicycle Infrastructure. All proposals are encouraged to incorporate bicycle-friendly design elements, such as bike racks, secured short- and long-term bicycle parking facilities including internal bicycle storage, shared-use paths, or connections to existing bicycle paths. The Planning Board may require such infrastructure, based on factors including but not limited to: the scale of development; proximity to existing bicycle paths; developments that generate public traffic (e.g. schools, parks); or where bicycle access is necessary to mitigate traffic impacts or improve safe circulation.

The purpose of this amendment is to respond to a citizen petition requesting that the planning board provide opportunities to expand bicycle infrastructure and thereby better facilitate the use of this mode of transportation.

A request by Willey Creek Company for an amendment to a previously approved site plan for the proposed relocation of Building D of the Ray Farm Condominium development and associated site improvements off of Ray Farmstead Road. The subject properties are in the C-3, Epping Road Highway Commercial zoning district and are identified as Tax Map Parcel #47-8 and #47-8.1. PB Case #22-3.

OTHER BUSINESS

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

EXETER PLANNING BOARD

Langdon J. Plumer, Chairman

**TOWN OF EXETER
PLANNING BOARD
NOWAK ROOM
10 FRONT STREET
DECEMBER 11, 2025
DRAFT MINUTES
7:00 PM**

I. PRELIMINARIES:

BOARD MEMBERS PRESENT BY ROLL CALL: Chair Langdon Plumer, Vice-Chair Aaron Brown, Clerk, John Grueter, Jennifer Martel, Alternate Dean Hubbard, Alternate Sam MacLeod and Select Board Representative Nancy Belanger.

STAFF PRESENT:

II. CALL TO ORDER: Chair Plumer called the meeting to order at 7 PM, introduced the members, and activated Alternates Dean Hubbard and Sam MacLeod.

III. NEW BUSINESS:

1. Public hearing on the proposed zoning amendments for 2026 Town Meeting warrant. Copies of the full text of the proposed amendments are available in the Planning Office and posted on the Town website.

Chair Plumer read the Public Hearing Notice for each section that was displayed on the screen:

Amend Article 2 Definitions by deleting 2.2.3 Accessory Dwelling Unit and replacing it with a new definition in compliance with recent state legislation.

Vice-Chair Brown noted that this was discussed at the last meeting and recommended leaving it as is. There was no public comment.

Mr. Grueter asked if this was adopting the state's language and Ms. Ogilvie indicated yes, owners can still only have one ADU whether attached or detached but the town cannot prohibit detached.

Amend Article 5, General Regulations, Section 5.6.6 Off-Street Parking Schedule (for residential dwelling units) to be in compliance with recent state legislation by requiring only one parking space for single-family and multi-family dwelling units.

Amend Article 4 – District Regulations, 4.2 Schedule 1: Permitted Uses, by changing animal boarding/kennels from a permitted use in District C-2, C-3, and CT-1 to a use allowed by Special Exception.

Vice-Chair Brown noted that he followed up with code enforcement and got requirements for a special exception which he forwarded to the Board and read out loud. He discussed 2.2.7.1 public health, safety and welfare and being compatible with the zoned district and grandfathering prior to 1972; adequate landscaping and screening, off street parking, ingress/egress to streets; excluding large scale developments; need for site plan approval, not affecting property values. He noted a poorly run facility could have an impact but there is a need for well-run types of facilities in the community.

Amend Article 9, Section 9.3 Shoreland Protection Ordinance by adding a new paragraph entitled "F. Permitted Uses" (and renumbering accordingly) to ensure that the Shoreland Ordinance provides the same level of clarity regarding what is allowed as the Wetlands Ordinance.

Ms. Ogilvie noted a paragraph was added for clarity as to what is allowed. She noted that the Board should ignore the earlier language they received after talking to Kristen Murphy the wrong language was provided between posting and this meeting.

Chair Plumer read the language out loud concerning projects that revegetate or revitalize an already disturbed buffer zone; and would be reviewed by the Planning Dept.

Mr. Grueter asked who the Planning Dept. would be and Ms. Ogilvie noted Planning and Building.

Amend Article 5, General Regulations by adding a new section entitled "5.6.8 Bicycle Parking" which would require new construction projects to provide a safe, comfortable space for people to store and park their bicycles.

Mr. Grueter noted it was interesting to cut parking for residences and to add or replace those spaces with bicycles.

Ms. Martel noted she was generally in support and noted there were two options provided and the language needed to be brought to the public through public hearing.

Ms. Belanger noted the town had three year-round bike racks at Whirligigs, town common and the library.

Ms. Ogilvie noted she reviewed the materials sent by resident, Benjamin Hodsdon, and proposed adding the regulation to site plan.

Ms. Martel asked Mr. Hodsdon what other towns are doing and he noted that he looked at Portsmouth NH and Portland Oregon. Portsmouth indicates one space for every four students and Portland indicates three spaces for every classroom. There were exceptions in Portsmouth like gas and convenience stores, but he took those out because a lot of PEA kids bike to get energy drinks and snacks.

Ms. Belanger discussed the requirements for downtown and restaurants and felt the town could provide them downtown, but the Board agreed downtown was difficult. Vice-Chair Brown noted downtown properties have water on one side and the road on the other.

Unidentified noted she would like to see substantial remodeling included. Mr. Grueter noted that remodeling may be only on the interior and unable to make the room. Vice-Chair Brown noted there could be a waiver, but he was not in favor of passing anything that was going to need waivers. The Board questioned if more time was needed to determine flexibility in zones. Vice-Chair Brown recommended something that could come before the Board during site plan review so that the same conversation could be had as with landscaping. This could be a good start and then be looked at in a year. He noted Silas' remarks and that the change doesn't address enclosed structures. Ms. Martel noted a definition of short term and long term would help. Ms. Belanger asked about storage in a building rather than outside. Ms. Martel noted outside would be less expensive than inside, but you can't just stack them up in a laundry room. Mr. Grueter noted there was not much use in older resident homes and complexes. Ms. Martel recommended the wording "secure bike shelter."

Ms. Martel noted that a substantial remodel doesn't come to the Planning Board unless it is a change of use. Ms. Ogilvie noted that site plan regulations are triggered for change or increased intensity, not remodeling.

Mr. Grueter noted that the sidewalks weren't wide enough to accommodate bike racks. Ms. Martel noted they could not be on the public ROW. Chair Plumer questioned whether winter snow storage areas could be utilized off season, with portable bike racks that could be put away during winter.

Mr. Hodsdon read remarks from Silas Richards who could not be present. He would like to see long-term sheltered parking/storage and noted bicycles don't contribute to the congestion and parking that automobiles do.

Chair Plumer asked if bicycles are part of complete streets and Mr. Grueter indicated they were a big part of it. Vice-Chair Brown noted they will see something at RPC.

Ms. Ogilvie noted there was time to make changes and post for January 8th.

Ms. Belanger asked Mr. Hodsdon which versions were being sent to RPC and he indicated the last two going in the site plan regulations.

Public hearing on the proposed amendments to the Town's Site Plan Review & Subdivision Regulations:

Amend the Site Plan Review & Subdivision Regulations by adding to Section 7.5 and 7.6 the requirement to show the location of a mail kiosk, as follows: 7.5.16 & 7.6.18 Location and description of a mail kiosk as required by and compliant with USPS regulations.

Ms. Ogilvie noted they were informed by the Post Office what they want and will not deliver to new subdivisions of 7 homes or more. She did not know what the design requirements for the kiosks were. It includes manufactured housing.

Vice-Chair Brown noted this is for compliance.

Amend the Subdivision and Site Plan Review Regulations by adding a new paragraph to Section 7.2 Professional Standards, as follows: Section 7.2.3 Landscape plans, as required, shall be prepared and stamped by a registered professional landscape architect licensed in the State of New Hampshire.

Ms. Ogilvie noted she added the waiver discussed at the last meeting. Vice-Chair Brown noted this has been a challenge for the Board; not wanting to design plans, and the same language was used as for surveys and site plans.

Vice-Chair Brown motioned that the Planning Board has concluded its business with proposed amendments 1-6 and will forward 1-6 to the town as presented tonight. Mr. Hubbard seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

Vice-Chair Brown monitored to continue to work on proposed amendment #7 specifically 8.7.9 brought by resident Benjamin Hodsdon, into the next meeting on January 8, 2025 to continue discussions. Ms. Belanger seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

IV. OLD BUSINESS

APPROVAL OF MINUTES

November 20, 2025

Ms. Belanger recommended edits.

Mr. Grueter motioned to approve the minutes of November 20, 2025, as amended. Mr. MacLeod seconded the motion. A vote was taken, the motion passed unanimously.

V. OTHER BUSINESS

- Master Plan Discussion
- Field Modifications
- Bond and/or Letter of Credit Reductions and Release
- Other

VI. TOWN PLANNER'S ITEMS

171 **VII. CHAIRPERSON’S ITEMS**

172 Chair Plumer thanked the volunteers from the Fire Department and DPW for decorating the town this
173 month. Vice-Chair Brown noted the Christmas Tree Festival was great and had caroling.

174 **VIII. PB REPRESENTATIVE’S REPORT ON “OTHER COMMITTEE ACTIVITY”**

175 **IX. DJOURN**

176 *Ms. Belanger motioned to adjourn the meeting at 8:23 PM. Chair Plumer seconded the*
177 *motion. A vote was taken, all were in favor, the motion passed unanimously.*

178 Respectfully submitted.

179 Daniel Hoijer,

180 Recording Secretary (Via Exeter TV)



TOWN OF EXETER

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Date: November 6, 2025
To: Planning Board
From: Melissa Roy, Interim Town Planner
Re: Exeter Police and Fire Substation Project

Although the Board is already aware of this project through the Capital Improvement Program (CIP) process and the subsequent successful Town vote in March 2024, the Town of Exeter is formally notifying the Planning Board, in accordance with NH RSA 674:54, of its intent to construct a Police and Fire Substation at 6 Continental Drive, identified as Tax Map Parcel #47-04-11.

The proposed use constitutes a *governmental use* on *government property*, and as such, it is exempt from local land use regulations.

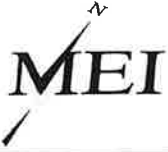
The project consists of a 19,700-square-foot, two-story, net-zero facility, including secure parking areas for staff and the community. Since March 2024, Town staff have been collaborating closely with the project's architect and construction manager on the design and engineering of the building, and we look forward to commencing site work in the near future.

If possible, we would appreciate a decision this evening regarding whether the Planning Board intends to request a formal public hearing on this matter. Enclosed for your review are copies of the plans and supporting documentation.

Thank you for your attention and consideration.

Schedule for Jan. 5 - 1st on the agenda

Enclosures



MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

December 16th, 2025

Mr. Langdon Plumer, Chair
Exeter Planning Board
10 Front Street
Exeter, NH 03833

Re: Waiver Request – Willey Creek Co., LLC - Building D of the Active Adult Community
off Ray Farmstead Road (Assessors Map 47 Lot 8)

On behalf of the applicant, Willey Creek Co., LLC, we respectfully request a waiver from the Town of Exeter Site Plan Review and Subdivision Regulations, as amended August 2023, specifically Section 9.1.3.5. This request is submitted as part of the Site Plan Application for the proposed construction of Building “D,” located off Ray Farmstead Road in Exeter, NH 03833. It is submitted in addition to the waiver request letter dated November 24, 2025 by Emanuel Engineering Inc.

The applicable regulation is as follows:

Stormwater Management Standards, Stormwater Management Plan, Stormwater Pollution Plan, and Erosion and Sediment Control Standards

9.3.1. Stormwater Management for New Development: All proposed stormwater management practices and treatment systems shall meet the following design standards.

5. All stormwater runoff generated from new development shall be treated on the development site, to the maximum extent practicable. Runoff shall not be discharged from the development site to municipal stormwater systems or privately-owned stormwater systems (whether closed conduit or open drainage) or to surface water bodies and wetlands in volumes greater than discharged under existing conditions (developed condition or undeveloped condition). A development plan shall include provisions to retain stormwater on the site by using the natural flow patterns, when feasible.

In an initial proposal in 2018 a new road was designed and proposed as a part of a TIF expansion. This TIF Road included a stormwater management area that incorporated all run off from the roadway. This included the portions of the road to the north of the wetlands crossing. In the years following the TIF road would be partially constructed, and the stormwater management area would be built.

This stormwater management area is a part of Exeter Tax Map 47 Lot 8-1 and continues to Map 47 Lot 9. This area is subject to a documented easement to allow the Town of Exeter the right to access and maintain the stormwater area.

The new Building D location proposes to extend Ray Farm Road along the existing town right of way into a private access way. This proposal includes collecting and conveying the stormwater runoff from the northern portions of the road back into the stormwater management area mentioned above.



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Land Surveyors and Civil Engineers

Due to the wetland crossing and the historic inclusion of the stormwater run off into the area to the westerly side of Ray Farm Road we request a waiver to allow this practice to continue and be expanded upon. We understand that this is atypical and may require a revision of the easement to allow some of the burden of maintenance to be undertaken by the homeowner's association for the new building.

It is imperative to note that in the submittal provided and reviewed by the board at the June 12th meeting this configuration for the runoff was in place. This waiver request has been added to the submittal package to address concerns raised during the after-the-fact TRC meeting held on December 11th.

Directing the stormwater run off from the Northerly section into the existing stormwater management area is the least invasive method of mitigating the runoff. The area on the westerly side of the road was initially designed for this run off. Because of the wetland crossing and roadway it is difficult to redirect the stormwater runoff from the Northerly section of the access drive to another location without creating additional impact to the protective wetland buffer or requiring relocation of the existing drainage utilities.

Your favorable consideration of this waiver is appreciated.

Thank you,

Katharena Morrill

Katharena Morrill
Millennium Engineering, Inc.



TOWN OF EXETER

Planning and Building Department

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Date: December 30, 2025
To: Planning Board
From: Carol Ogilvie, Interim Town Planner
Re: Willey Creek Company PB Case #22-3 – Amended Site Plan

This proposal is for an amendment to a previously-approved relocation of Building D at the Ray Farm Condominium Development. The building relocation was approved by the Board on June 12, 2025. In the interim, the applicant has made further revisions and submitted an amended site plan application to reflect the proposed change. The June 2025 approval was for a relocation of the original location for Building D; this revised plan leaves Building D in the June approved location. The changes to the site plan have to do primarily with a reconfiguration of the access road, and the removal of a retaining wall, both of which necessitated a revised stormwater management plan.

The previous approval included the granting of Wetland and Shoreland Conditional Use permits. As of this writing, a determination has not yet been made as to whether the changes necessitate reapplication for either of these permits. If so, this would not get before the Conservation Commission until 1-13-26. A decision on this application may therefore need to be made conditional upon input from the Conservation Commission.

Regarding the technical aspects of this plan, it has been reviewed by the Technical Review Committee, and comments provided to the Town's consulting engineer; the response letter from UEI is included in the Board's packet.

The applicant is requesting a waiver from the Site Plan Review Regulations that address the distance between buildings and driveways; the formal written request is included in the Board's packet.

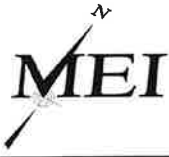
Below, for your convenience, are draft motions for: (1) the waiver request; (2) acceptance of the application as complete; and (3) decision on the application.

Planning Board Motions:

- (1) Waiver Request Motion:** I move that the Board (APPROVE/DENY) the request to waive Section 11.3.1.2.a. of the Site Plan Review Regulations
- (2) Acceptance Motion:** I move that the Board (ACCEPT/NOT ACCEPT) the application as complete for the purpose of moving into public hearing.
- (3) Decision Motion:** I move that the Board (ACCEPT/DENY/TABLE) the application of Willey Creek Co., LLC for an amended site plan for Building D. (*subject to the following conditions:)

Thank you.

Enclosures



MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

November 24, 2025

Landon Plumer, Chair
Carol Ogilvie, Interim Town Planner
Exeter Planning Board
10 Front Street
Exeter, NH 03833

Re: Final Submission for
Building D of the Active Adult Community off Ray Farmstead Road
Assessors Map 47 Lot 8
Case #22-3

On behalf of Willey Creek Company we submit the final site plan for the relocation of Building D for the active adult community off Ray Farmstead Road. This package has been created to allow final sign off and review for the site plan set that was approved on June 12, 2025 under case #22-3.

As you may recall the initial project submitted by GM2 revised the location for the 32-unit Building D with access to the building originating from Willey Creek Road. The revised site plan produced by Millennium Engineering returned access to Building D from Ray Farm Road. In the months following the conditional approval by the planning board Willey Creek Company selected Emmanuel Engineering Inc to assume technical responsibility for the project. Millennium Engineering remains involved as oversight and peer review for the final design. The plan set that is enclosed has been stamped by Professional Engineers from both Emmanuel Engineering Inc and Millennium Engineering.

Emmanuel Engineering has revised the plan set in several ways which benefit this site. These changes include revised parking lot layout, final landscaping and hardscaping requirements generated by Willey Creek Company, and revised drainage. A full list of changes is provided by attachment.

The site changes include a revision of the parking configuration which adjusts the garage entrance from the left side of the building to the right side of the building. This switch in configuration allows less sealed surface on the site and improves the overall constructability. Additionally, EEI has produced a parking lot which requires a waiver from Exeter Site Plan Review and Subdivision Regulations Section 11.3.1.2. This waiver, which was granted for Buildings A, B, and C, allows for a more accessible walkway from the building to the parking lot and has been considered beneficial to the future occupants of the building.

At the June 12th hearing the board voted favorably to approve the Wetland Conditional Use permit and the Shoreland Conditional Use permit. The conditions of the permits have been met in the application package provided. Final impacts of for the permits can be found on sheets 12 and 13 of the final plan set.

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New Hampshire: 13 Hampton Road- Exeter, NH 03833

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Land Surveyors and Civil Engineers

The complete package for sign off includes the following:

- Cover Letter from MEI
- Revision Letter from EEI
- Waiver Letter from EEI
- Keyed Abutters List
- Abutters Labels in Triplicate
- Fee for Notification and Legal Add - \$270

- 7 Full Size Copies of the Site Plan Package
- 15 – Tabloid Size Copies of the Site Plan Package
- 1 Copy Stormwater Report
- Digital Record of the Proposed Condominium Documents
- A complete digital record of all items above.

It is our understanding that the waiver for the parking lot will require additional dialogue at a planning board hearing. As such we have provided abutter notification labels and notification fee. Should other items be required please do not hesitate to contact Millennium Engineering to help address these concerns.

We trust the above information provides the necessary details required for the Board's review and ultimate approval. If you have any questions or comments on the above information, please feel free to contact our office.

Sincerely,

Millennium Engineering, Inc.

Katharena Morrill

Katharena Morrill, E.I.T.
Project Manager

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November 24, 2025

Exeter Planning Board
Town of Exeter
10 Front Street
Exeter, NH 03833

RE: Waiver Request – Willey Creek Co., LLC Building “D” Site Plan at Ray Farm –
Off Ray Farmstead Road, Exeter, NH

Members of the Exeter Planning Board,

On behalf of the applicant, Willey Creek Co., LLC, we respectfully request a waiver from the Town of Exeter Site Plan Review and Subdivision Regulations, as amended August 2023, specifically Section 11.3.1.2.a. This request is submitted as part of the Site Plan Application for the proposed construction of Building “D,” located off Ray Farmstead Road in Exeter, NH 03833. The applicable regulation is provided below in bold, followed by our justification for the waiver in italics.

Distance Between Building and Driveway:

a) No parking lot shall be closer than 25 feet to the front of any building, or 10 feet to the side or rear of any building.

The proposed layout includes one short portion of the frontage where the parking lot is 15 feet from the building. This reduced distance occurs only at the small vestibule projection and is limited to an 18-foot span along the front wall. Beyond that projection, the building steps back 6 feet, increasing the separation to 21 feet. Although 21 feet does not meet the 25-foot standard, this reduced distance affects only a limited portion of the front of the building. For the remaining approximately 150 feet of the building’s 192-foot length, roughly 78 percent of the frontage, the parking lot exceeds the required setback, with distances ranging from 29 to 35 feet.

Although the prescribed dimension is not met at the vestibule, the design continues to meet the intent of Section 11.3.1.2.a. The vestibule is a minor architectural bump-out used solely for weather protection at the entry and does not function as a primary living or circulation area. Between the parking lot and the

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building there is a 6-foot sidewalk, a 3-foot-wide stair run, and a 6-foot landing, all elevated above the pavement and separated by a vertical granite curb. The building finished-floor elevation is 122, while the parking lot ranges from approximately 115.85 to 120.5. Near the vestibule, the vertical separation is somewhere within this range, providing sufficient buffer to limit potential vehicular encroachment. Bollards are also placed at the highest pavement elevations as an additional safeguard. These combined measures meet or exceed the intent of the regulation even with the reduced horizontal distance.

The Fire Chief has reviewed the pavement layout, emergency access, and hydrant locations, including the area of reduced setback, and has verbally confirmed that emergency response capabilities are fully maintained. Landscaping is also proposed between the parking lot and the building to provide screening for residents. Because the building is located within the wooded interior of the site and is not visible from public ways or abutting properties, the reduced setback has no impact on neighborhood character or public view corridors.

Maintaining the full 25-foot setback at the vestibule would result in site-grading constraints that would require driveway slopes exceeding 5 percent or would shift the ADA parking spaces away from the accessible entrance. Ensuring compliant grades and direct ADA access is particularly important for a 55+ community and aligns with the broader purpose of the Site Plan Regulations to provide safe, functional, and accessible site design. Allowing the 15-foot setback at this limited location therefore upholds the spirit and intent of Section 11.3.1.2.a.

Your favorable consideration of this waiver request would be appreciated.

Sincerely,



JJ MacBride, P.E.



MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

November 24, 2025

Landon Plumer, Chair
Carol Ogilvie, Interim Town Planner
Exeter Planning Board
10 Front Street
Exeter, NH 03833

Re: Final Submission for
 Building D of the Active Adult Community off Ray Farmstead Road
 Assessors Map 47 Lot 8
 Case #22-3
 UEI Comment Response

On behalf of Willey Creek Company, enclosed is the final submission of the site plan for the relocation of Building D for the active adult community off Ray Farmstead Road. This package has been created to allow final sign off and review for the site plan set that was approved on June 12, 2025, under case #22-3.

As you may recall the initial project submitted by GM2 revised the location for the 32-unit Building D with access to the building originating from Willey Creek Road. The revised site plan produced by Millennium Engineering returned access to Building D from Ray Farm Road. In the months following the conditional approval by the planning board Willey Creek Company selected Emmanuel Engineering Inc to assume technical responsibility for the project. Millennium Engineering remains involved as oversight and peer review for the final design. The plan set that is enclosed has been stamped by Professional Engineers from both Emmanuel Engineering Inc and Millennium Engineering.

On June 10, 2025 Underwood Engineers responded to our previous planning board set with a review letter containing many comments about the site plan set and design. The revised plan set provided by EEI addresses many, if not all, of the outstanding comments including providing final design detail of utilities including water and sewer mains, elevations, and locations. The EEI package also transforms the midstep grading into a final product that corresponds with the stormwater requirements and has been submitted to NHDES AOT for their review. A general overview of the revisions has been provided as a separate attachment.

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MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

As such we have not provided a formal response letter to the June 10th comments. We ask that UEI provide any remaining feedback they may have for revision. If you have any questions or comments on the above information, please feel free to contact our office.

Sincerely,

Millennium Engineering, Inc.

Katharena Morrill

Katharena Morrill, E.I.T.
Project Manager

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New Hampshire: 13 Hampton Road- Exeter, NH 03833

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November 6, 2025

Exeter Planning Board
10 Front Street
Exeter, NH 03833

RE: List of Revisions – Ray Farm Building “D”, Off Ray Farmstead Road, Exeter, NH 03833

To the Town of Exeter Planning Board,

As requested, please find below a summary of revisions and updates made to the plans for the Ray Farm Building “D” project. This summary highlights the differences between the original plans, which were approved by the Exeter Planning Board on June 12, 2025, and the most recent plan set, emphasizing improvements in site efficiency, safety, and stormwater management.

- The proposed building footprint and location remain unchanged. The building has been mirrored so that the basement garage entrance is now on the right side rather than the left. This adjustment reduces grading requirements and enhances emergency access.
- The proposed driveway has been shortened, terminating in a stub rather than a loop, and the number of outdoor parking spaces has been reduced to 13. This results in less impervious surface on the site, promoting improved stormwater management. While fire trucks can no longer loop around, Sheets 16 and 17 demonstrate that they can safely enter, navigate, and exit the site. The revised layout has been shared with the Exeter Fire Department, who expressed support for the change.
- Parking is now proposed immediately adjacent to the building, eliminating the driveway between the spaces and the building.
- Retaining walls on the eastern corner of the site are no longer required due to the reduced grading achieved by mirroring the building. Previously, this area required a substantial excavation approximately 24 feet deep, but the revised design reduces this to roughly 15 feet. By minimizing the depth of the cut, we are able to replace the large retaining walls with a 1:1 riprap slope, which provides a stable, low-maintenance solution while reducing the visual severity of the vertical drop. This approach improves site safety and constructability and results in a more natural transition from top to bottom compared with two very tall retaining walls.

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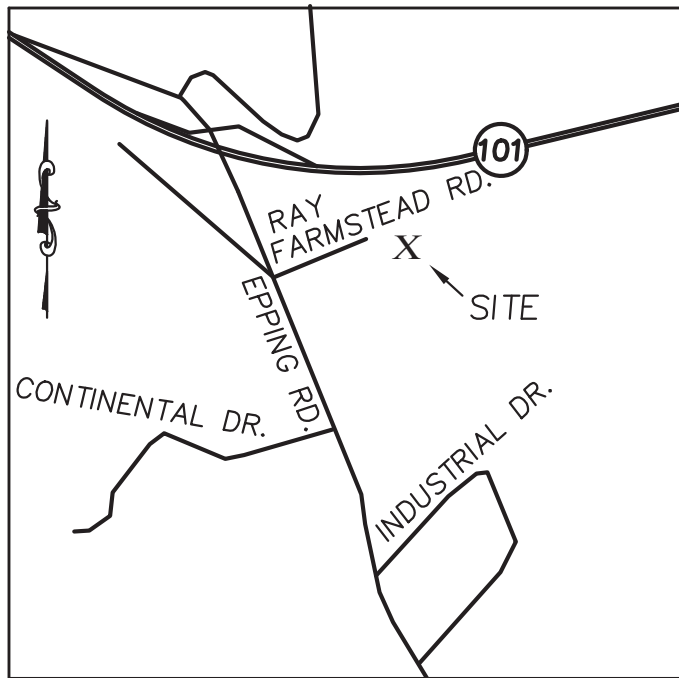
- The previous design also included a low point at the garage entrance on the north side of the building, where stormwater had no safe drainage path. This posed a risk of water accumulation, freezing, and potential flooding at the garage entrance. The revised design relocates the garage entrance and regrades the area, improving drainage, reducing freezing hazards, and enhancing overall site functionality.
- A 20'x20' outdoor grilling area is proposed east of the building, enhancing the usability of the site for building occupants.
- On-site drainage has been revised for greater efficiency and environmental benefit. The previous design relied on a large stormwater management pond with prefabricated subsurface chambers, which could retain standing water for extended periods. The revised design replaces this with a drip edge along the building and two smaller bioretention basins. Each bioretention basin includes a specialized soil filter layer designed to treat stormwater by removing pollutants before infiltration, improving overall water quality. Because the basins do not hold standing water for long periods, concerns such as mosquito breeding are greatly minimized. This approach promotes groundwater recharge, reduces runoff and erosion, and provides a sustainable, low-maintenance solution that meets all NHDES AoT standards for flows and volumes.

These revisions maintain the original project intent while improving site functionality, reducing impervious coverage, and enhancing safety and drainage performance.

Sincerely,

A handwritten signature in dark ink, appearing to read 'JJ MacBride', with a stylized, flowing script.

JJ MacBride, PE
Civil Engineer



LOCUS MAP
NOT TO SCALE

LOCUS NOTES:

1. PARCEL:
ASSESSORS MAP 47, LOT 8, 8-1, & 9.
LOT 8 DEED: RCRD BK. 5912 PG. 0132
LOT 8-1 DEED: RCRD BK. 3231 PG. 2722
LOT 9 DEED: RCRD BK. 3231 PG. 2722
THIS PLAN SET INCLUDES A MINOR SUBDIVISION. SEE SHEET 4
2. ZONING: C-3 DISTRICT
MINIMUM LOT AREA 40,000 SF
MINIMUM LOT AREA PROVIDED
MINIMUM LOT WIDTH 175 FEET
MINIMUM LOT DEPTH 225 FEET
MINIMUM FRONTAGE ALLOWED 175 FEET
FRONTAGE PROVIDED 458 FEET
MINIMUM YARD SETBACKS
FRONT 50 FEET
SIDE 30 FEET
REAR 25 FEET
MAX. BUILDING COVERAGE ALLOWED 40 %
BUILDING COVERAGE PROVIDED 9.42 % (±65,320 SF)
MINIMUM OPEN SPACE ALLOWED 20 %
OPEN SPACE PROVIDED 78.03 % (±541,000 SF)
MAXIMUM HEIGHT ALLOWED 50 FEET
MAXIMUM HEIGHT PROVIDED 49 FEET
3. TOTAL SITE DENSITY
TOTAL PARCEL AREA 15.9161 ACRES (693,306 SF)
TOTAL NUMBER OF UNITS - 128 (32 UNITS EACH BUILDING)
DENSITY = 5,416.45 SF PER UNIT
4. VERTICAL DATUM IS BASED ON NAVD 88.
5. THIS PARCEL DOES NOT LIE WITH IN A FLOOD ZONE. SEE F.I.R.M. COMMUNITY PANELS 33015C401E AND 33015C402E EFFECTIVE DATE MAY 17, 2005.
6. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
7. THE EXETER ZONING BOARD OF ADJUSTMENTS HAVE GRANTED THE FOLLOWING VARIANCES:
1. ARTICLE 4.1.1 - LOT AREA PER DWELLING UNIT WHERE 2,500 SF IS REQUIRED AND 1,723.5 SF WAS PROPOSED
2. ARTICLE 11.7.1 - PAYMENT OF SCHOOL IMPACT FEES
3. ARTICLE 11.7.1 - PAYMENT OF RECREATION IMPACT FEES

BUILDING D SITE DATA

PROPOSED USE (BLDG 'D') - ACTIVE ADULT COMMUNITY (VARIANCE GRANTED)
FOUR STORY 32 UNIT BUILDING, WITH INSIDE PARKING AT BASEMENT LEVEL.

PARKING REQUIRED (PER THE TOWN OF EXETER) - 32 UNITS x 2 SPACES PER UNIT + 1 SPACE PER 4 UNITS = 72 SPACES REQUIRED.

PARKING PROVIDED - 49 TOTAL (SEE NOTE). 36 IN PARKING GARAGE BELOW BUILDING, 13 SURFACE PARKING. GARAGE PARKING LAYOUT IS SHOWN ON SHEET A1.0 OF THE ARCHITECTURAL PLANS PREPARED BY CJ ARCHITECTS, DATED JUNE 10, 2022. SURFACE PARKING LAYOUT IS SHOWN ON THE SITE PLAN ON SHEET 8 OF THIS PLAN SET, REVISED NOVEMBER 24, 2025.

NOTE - THE PROPOSED PARKING PROVISION OF 49 SPACES FALLS SHORT OF THE TOWN'S REQUIRED 72 SPACES. THIS REDUCTION IS CONSISTENT WITH RSA 674:16, SECTION VII, WHICH LIMITS MUNICIPAL PARKING REQUIREMENTS TO A MAXIMUM OF 1.5 SPACES PER UNIT FOR MULTI-FAMILY DEVELOPMENTS OF 10 OR MORE UNITS. THIS STATUTORY LIMITATION BECAME EFFECTIVE ON JANUARY 1, 2025. 32 UNITS x 1.5 SPACES PER UNIT = 48 SPACES REQUIRED PER RSA 674:16, SECTION VII.

WAIVERS GRANTED

WAIVER FOR RECREATIONAL AREAS - 11.3.4 SITE PLAN REVIEW REGULATIONS

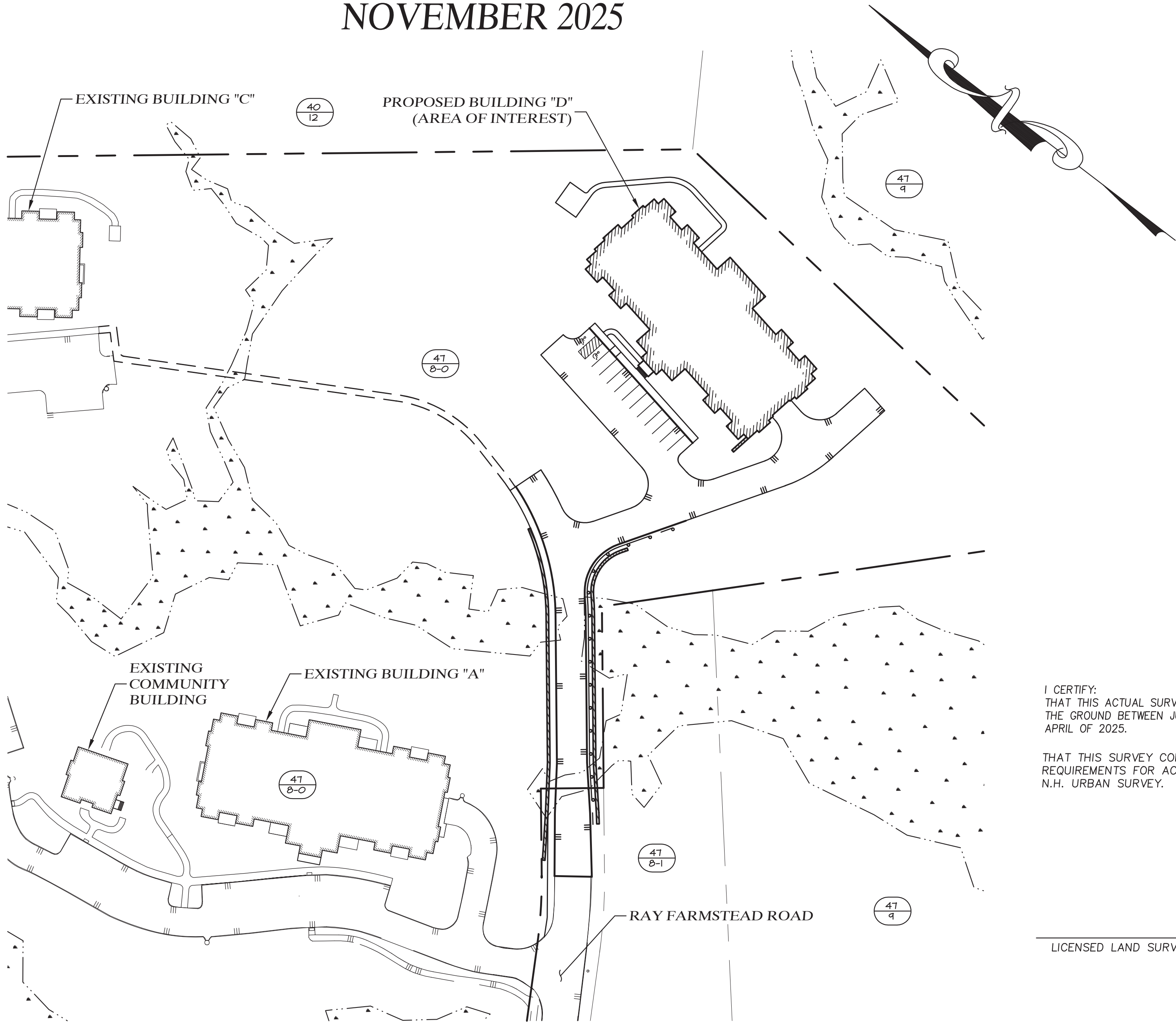
CONDITIONAL USE PERMITS GRANTED

WETLAND & SHORELAND CONDITIONAL USE PERMITS - JUNE 10, 2025

PERMITS REQUIRED

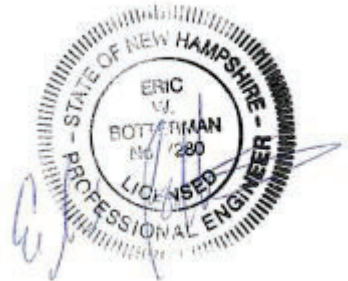
ALTERATION OF TERRAIN - AoT 1335 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")
ALTERATION OF TERRAIN - PENDING (FOR BUILDING D)
DREDGE AND FILL - FILE NO. 2017-01530 (PREVIOUSLY APPROVED - BUILDINGS "A", "B", AND "C")
DREDGE AND FILL - TO BE ACQUIRED (ASSOCIATED WITH BUILDING D)
NHDES SEWER CONNECTION PERMIT - TO BE ACQUIRED
EPA CONSTRUCTION GENERAL PERMIT - TO BE ACQUIRED

RAY FARM "BUILDING D"
SITE DEVELOPMENT PLANS
FOR AN ACTIVE ADULT COMMUNITY
OFF RAY FARMSTEAD ROAD
EXETER, NH
NOVEMBER 2025



I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND BETWEEN JUNE OF 2023 AND
APRIL OF 2025.

THAT THIS SURVEY CONFORMS TO THE
REQUIREMENTS FOR ACCURACY FOR
N.H. URBAN SURVEY.



TOWN OF EXETER PLANNING BOARD

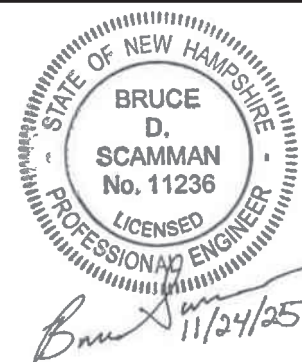
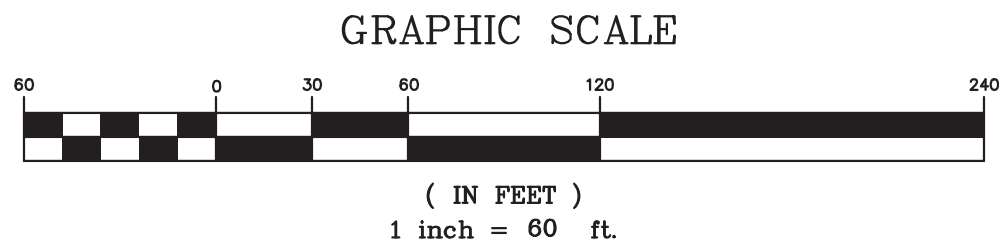
LICENSED LAND SURVEYOR

DATE

CHAIRMAN

DATE

GRAPHIC SCALE:



RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

1	11/24/25	FOR APPROVAL	JJM		
NO.	DATE	DESCRIPTION	BY		



CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS
100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801
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MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 60'

DATE: NOV. 10, 2025

CALC. BY: JJM

CHKD. BY: BDS

PROJECT: 25-1019

SITE PLAN
IN
EXETER, NH

SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE

COVER
SHEET

SHEET: 1

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

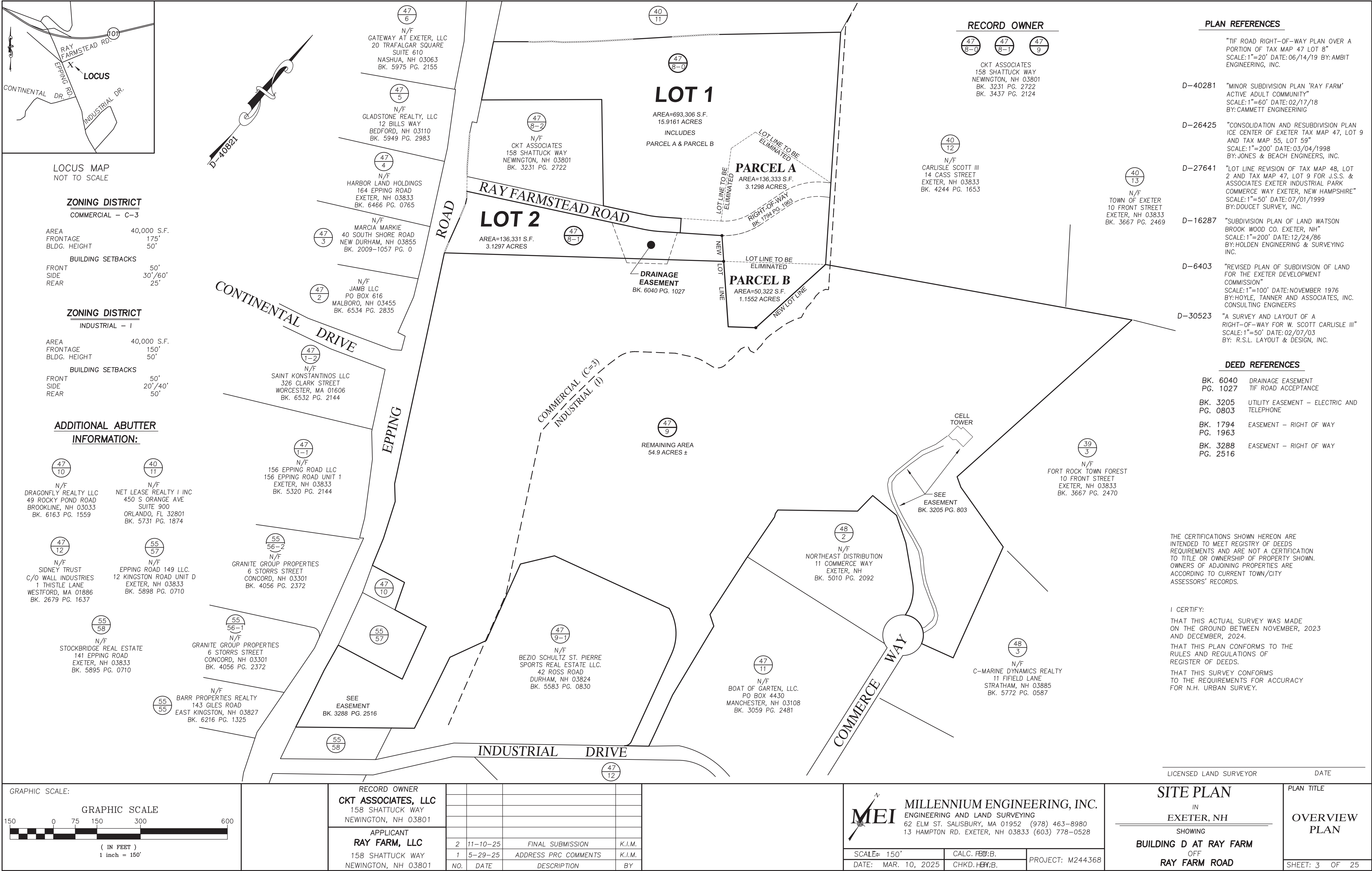
2. ELEVATIONS BASED ON NAVD 1988. PLANS ARE NH STATE PLAIN NA83 COORDINATE SYSTEM.
3. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR'S MAPS AND DO NOT CONSTITUTE CERTIFICATION TO TITLE OR OWNERSHIP.
3. EXISTING CONDITIONS DATA FROM AN ON THE GROUND SURVEY CONDUCTED BY W.C. CANNETT ENG., NOVEMBER OF 2016 THROUGH APRIL OF 2017, GM2 ASSOCIATES IN DECEMBER OF 2021 AND MILLENNIUM ENGINEERING, 2023 THROUGH 2025. TOPOGRAPHICAL SURFACES HAVE BEEN GENERATED USING ON THE GROUND SURVEY AND LIDAR COLLECTED BY NOAA.
4. ADDITIONAL ON THE GROUND TOPOGRAPHIC SURVEY IS TO BE COMPLETED IN 2025 TO VERIFY PRIOR TO CONSTRUCTION.
5. WETLANDS AND SOILS INFORMATION PROVIDED BY GOVE ENVIRONMENTAL SERVICES.
6. THERE IS NO FLOOD PLAIN ON THIS SITE ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3301300401E.
7. EXISTING 50' WIDE RIGHT OF WAY IS FOR THE BENEFIT OF N. SCOTT CARLISLE. SEE BOOK 3794 PAGE 1963 FOR NOTICE OF EASEMENT.
8. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, WATER AND ANY OTHER PRIVATE OR MUNICIPAL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
9. WHERE EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER OF RECORD FOR RESOLUTION OF THE CONFLICT.
10. EXISTING UTILITY POLES, WILL BE RELOCATED BY OTHERS, IF NECESSARY.
11. EXCAVATION SHALL ONLY OCCUR WITHIN THE LIMIT OF WORK, AS SHOWN.
12. IF AREAS OUTSIDE THE LIMIT OF PROPOSED WORK IS DISTURBED BY THE CONTRACTOR'S OPERATIONS, THE AREAS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
13. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAW CUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN, INFRARED SEAL, AND BACK SAND.
14. EXISTING SIGNS AND/OR MAILBOXES WITHIN THE PROJECT LIMITS THAT ARE DISTURBED SHALL BE REMOVED AND RELOCATED AS APPLICABLE.
15. ALL DISTURBED AREAS OUTSIDE OF THE NEW PAVEMENT LIMITS SHALL BE LOAMED (4" MINIMUM DEPTH) AND SEEDDED.
16. A MINIMUM OF 10" HORIZONTAL AND 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER MAINS AND SEWER LINES.
17. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE EXETER WATER AND SEWER DEPARTMENT WHEN MAKING THE CONNECTIONS.
18. ALL WORK SHALL COMPLY WITH EXETER'S "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER" NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
19. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE"

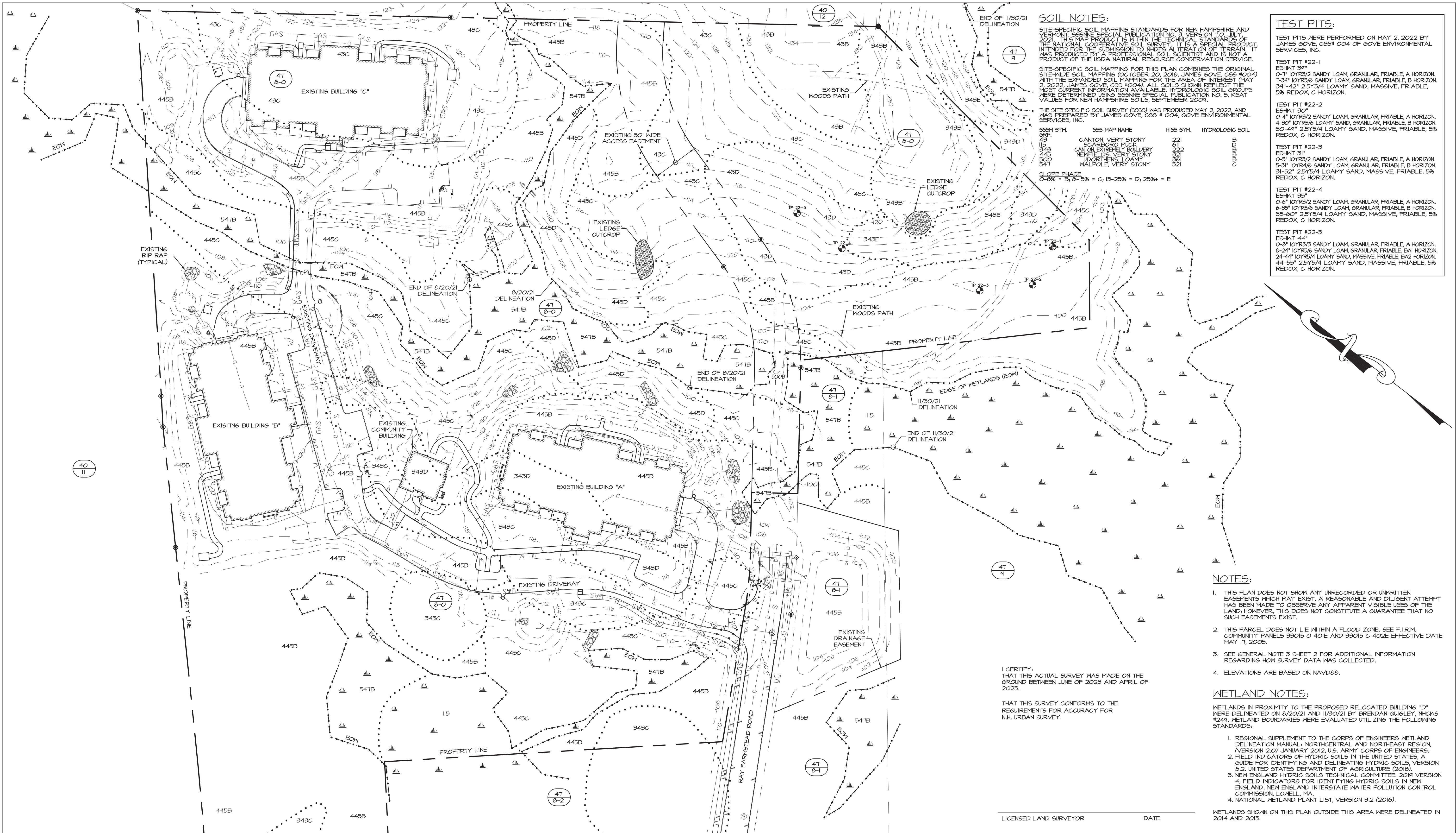
1. CRUSHED GRAVEL - NHDOT 304.3
2. GRAVEL - NHDOT 304.2
3. SAND - NHDOT 304.1
4. BACKFILL MATERIAL - EARTH MATERIAL FREE FROM ROCKS LARGER THAN 3", DEBRIS, STUMPS, CLAY, ORGANIC MATTER, ICE, FROZEN SOIL, AND EXCESSIVE MOISTURE.
5. LOAM - NHDOT 641.2.1
6. CRUSHED STONE - GRADED CRUSHED ROCK TO THE SIZE SPECIFIED, WITH LESS THAN 2% FINES PASSING THE #200 SIEVE.
7. PLACING AND COMPACTION OF FILL MATERIALS SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 304.3.4, 304.3.5, AND 304.3.6
8. PAVEMENTS SHALL COMPLY WITH SECTIONS 401, 403, AND 410 OF NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

1. PRIOR TO ANY EXCAVATION, DIG-SAFE (811 OR 1-888-DIG-SAFE) AND EXETER DPW (603-773-6157) SHALL BE NOTIFIED TO LOCATE ALL PERTINENT UTILITIES INCLUDING WATER, SEWER, AND DRAINAGE.
2. THIS PROJECT IS BE TO MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL OF ONE HALF INCH OR MORE.
4. DO NOT CLEAR AND STRIP THE ENTIRE SITE AT ONE TIME. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. IN NO CASE SHALL MORE THAN 5 ACRES BE DISTURBED AT ONE TIME. STABILIZE THE AREA BEFORE MOVING ON TO THE NEXT AREA. DISTURBED AREAS REMAINING OPEN FOR MORE THAN 45 DAYS, SHALL BE STABILIZED.
5. WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3 INCH OF NON EROSION MATERIAL SUCH AS RIP-RAP HAS BEEN INSTALLED
 - OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
7. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE
SEEDING SPECIFICATIONS ARE AS FOLLOWS:

PERMANENT VEGETATION SEED MIXTURE:	
SPECIES	POUNDS/1000 SF
TALL FESCUE	0.45
CREeping RED FESCUE	0.45
BIRDSFOOT TREFOIL	0.20
TOTAL	1.10

- THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





SOIL NOTES:

SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. 556NIE SPECIAL PUBLICATION NO. 3, VERSION 1.0, JULY 2021. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PRODUCT, INTENDED FOR THE SUBMISSION TO NHDES ALTERATION OF TERRAIN. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE.

SITE-SPECIFIC SOIL MAPPING FOR THIS PLAN COMBINES THE ORIGINAL SITE-WIDE SOIL MAPPING (OCTOBER 20, 2016, JAMES GOVE, CSS #004) WITH THE EXPANDED SOIL MAPPING FOR THE AREA OF INTEREST (MAY 2, 2022, JAMES GOVE, CSS #004). ALL SOILS SHOWN REFLECT THE MOST CURRENT INFORMATION AVAILABLE. HYDROLOGIC SOIL GROUPS WERE DETERMINED USING 556NIE SPECIAL PUBLICATION NO. 3, KSAT VALUES FOR NEW HAMPSHIRE SOILS, SEPTEMBER 2004.

THE SITE SPECIFIC SOIL SURVEY (556S) WAS PRODUCED MAY 2, 2022, AND WAS PREPARED BY JAMES GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.

556M SYM.	556 MAP NAME	HIS6 SYM.	HYDROLOGIC SOIL
556P	CANTON, VERY STONY	221	B D D D D
556P	SCARBORO MUCK	611	
343	CANTON, EXTREMELY BOLDLY	222	
445	NEWFIELDS, VERY STONY	321	
500	UDORTHEN, LOAMY	361	
541	WALFORD, VERY STONY	521	

SLOPE PHASE
0-8% = B; 8-15% = C; 15-25% = D; 25%+ = E

TEST PITS:

TEST PITS WERE PERFORMED ON MAY 2, 2022 BY JAMES GOVE, CSS# 004 OF GOVE ENVIRONMENTAL SERVICES, INC.

TEST PIT #22-1
ESHMT 34"
0-1" 10YR3/2 SANDY LOAM, GRANULAR, FRIABLE, A HORIZON.
1-34" 10YR5/6 SANDY LOAM, GRANULAR, FRIABLE, B HORIZON.
34"-42" 2.5Y5/4 LOAMY SAND, MASSIVE, FRIABLE, 5% REDOX, C HORIZON.

TEST PIT #22-2
ESHMT 30"
0-4" 10YR3/2 SANDY LOAM, GRANULAR, FRIABLE, A HORIZON.
4-30" 10YR5/6 LOAMY SAND, GRANULAR, FRIABLE, B HORIZON.
30-44" 2.5Y5/4 LOAMY SAND, MASSIVE, FRIABLE, 5% REDOX, C HORIZON.

TEST PIT #22-3
ESHMT 31"
0-5" 10YR3/2 SANDY LOAM, GRANULAR, FRIABLE, A HORIZON.
5-31" 10YR4/6 SANDY LOAM, GRANULAR, FRIABLE, B HORIZON.
31-52" 2.5Y5/4 LOAMY SAND, MASSIVE, FRIABLE, 5% REDOX, C HORIZON.

TEST PIT #22-4
ESHMT 35"
0-6" 10YR3/2 SANDY LOAM, GRANULAR, FRIABLE, A HORIZON.
6-35" 10YR5/6 SANDY LOAM, GRANULAR, FRIABLE, B HORIZON.
35-60" 2.5Y5/4 LOAMY SAND, MASSIVE, FRIABLE, 5% REDOX, C HORIZON.

TEST PIT #22-5
ESHMT 44"
0-8" 10YR3/3 SANDY LOAM, GRANULAR, FRIABLE, A HORIZON.
8-24" 10YR5/6 SANDY LOAM, GRANULAR, FRIABLE, BWI HORIZON.
24-44" 10YR5/4 LOAMY SAND, MASSIVE, FRIABLE, BW2 HORIZON.
44-55" 2.5Y5/4 LOAMY SAND, MASSIVE, FRIABLE, 5% REDOX, C HORIZON.

- NOTES:**
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - THIS PARCEL DOES NOT LIE WITHIN A FLOOD ZONE. SEE F.I.R.M. COMMUNITY PANELS 33015 0 401E AND 33015 0 402E EFFECTIVE DATE MAY 11, 2005.
 - SEE GENERAL NOTE 3 SHEET 2 FOR ADDITIONAL INFORMATION REGARDING HOW SURVEY DATA WAS COLLECTED.
 - ELEVATIONS ARE BASED ON NAVD83.
- WETLAND NOTES:**
- WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHCS #244. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
 - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2019 VERSION
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
 - NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).
- WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.

GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
1	11/24/25	FOR APPROVAL	JJM		
NO.	DATE	DESCRIPTION	BY		

CEI

CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS

100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801
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MEI

MILLENNIUM ENGINEERING, INC.

ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 50'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SITE PLAN

IN
EXETER, NH

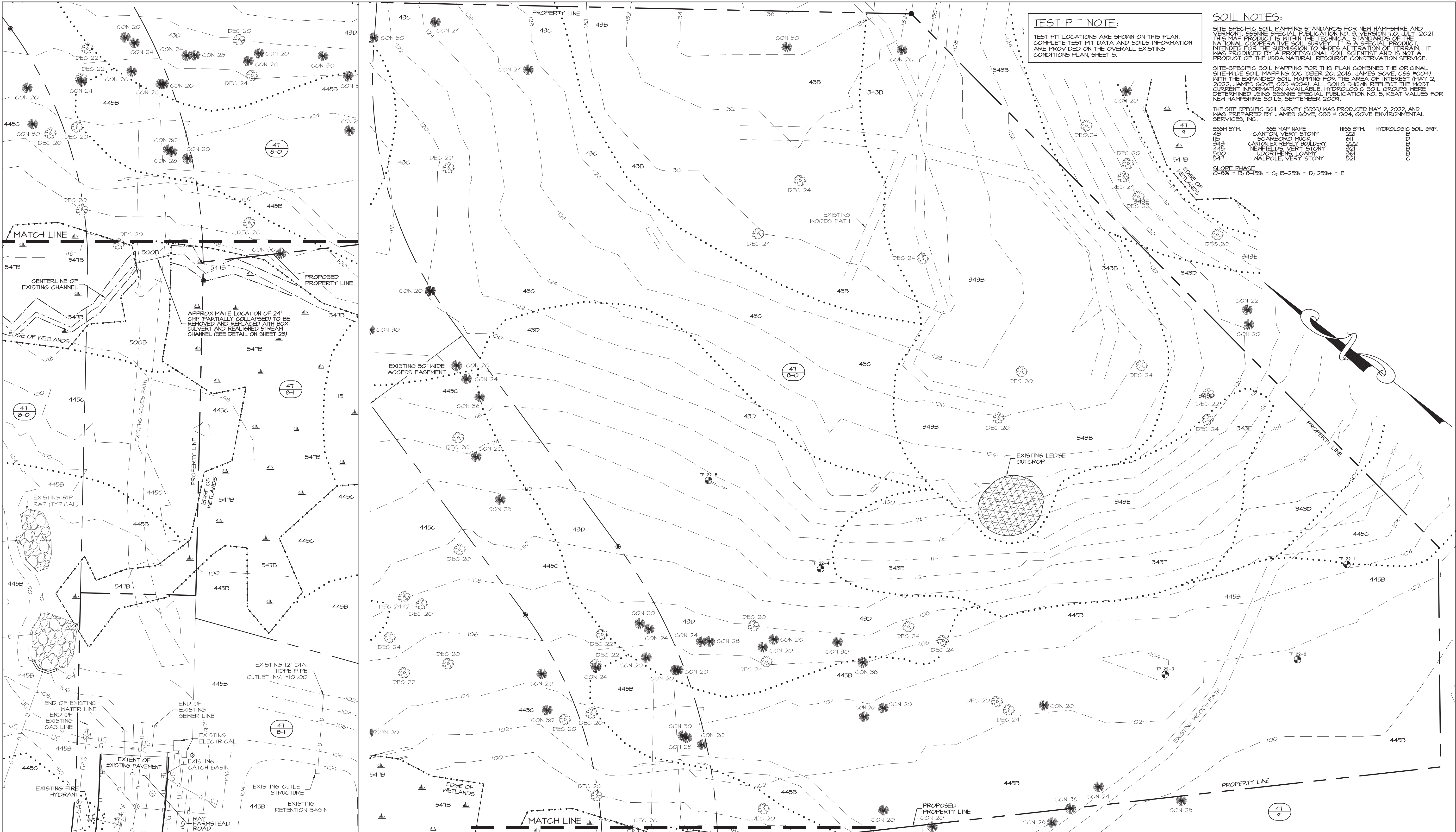
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE

**OVERALL
EXISTING
CONDITIONS
PLAN**

SHEET: 5

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



TEST PIT NOTE:
TEST PIT LOCATIONS ARE SHOWN ON THIS PLAN. COMPLETE TEST PIT DATA AND SOILS INFORMATION ARE PROVIDED ON THE OVERALL EXISTING CONDITIONS PLAN, SHEET 5.

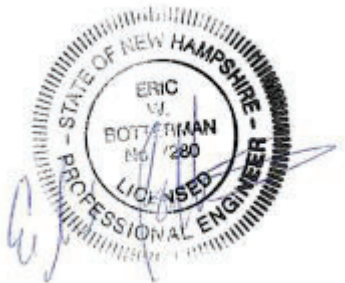
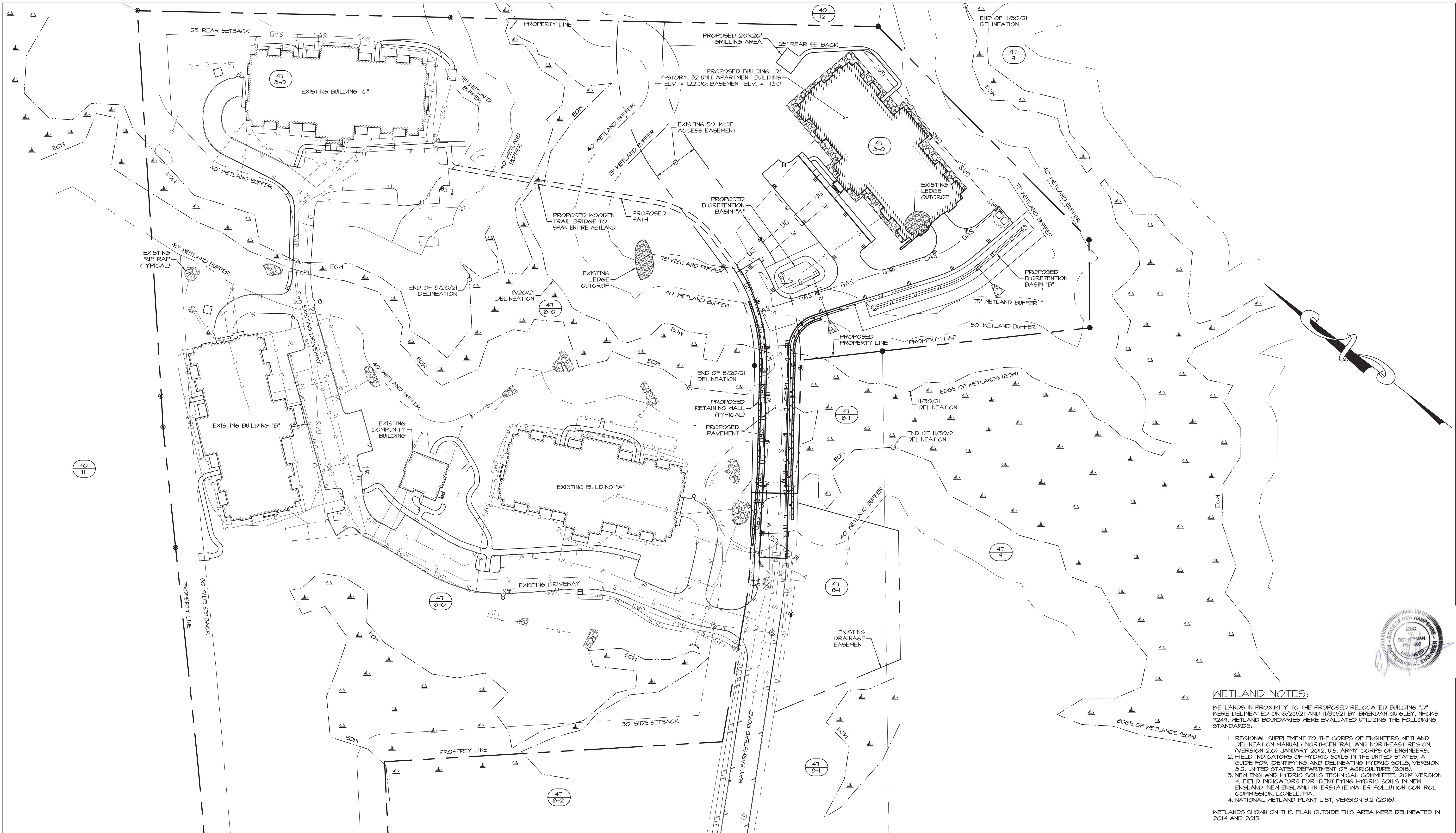
SOIL NOTES:
SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. SS99N SPECIAL PUBLICATION NO. 3, VERSION 7.0, JULY, 2021. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PRODUCT, INTENDED FOR THE SUBMISSION TO NHDES ALTERATION OF TERRAIN. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE.
SITE-SPECIFIC SOIL MAPPING FOR THIS PLAN COMBINES THE ORIGINAL SITE-WIDE SOIL MAPPING (OCTOBER 20, 2016, JAMES GOVE, CSS #004) WITH THE EXPANDED SOIL MAPPING FOR THE AREA OF INTEREST (MAY 2, 2022, JAMES GOVE, CSS #004). ALL SOILS SHOWN REFLECT THE MOST CURRENT INFORMATION AVAILABLE. HYDROLOGIC SOIL GROUPS WERE DETERMINED USING SS99N SPECIAL PUBLICATION NO. 5, KSAT VALUES FOR NEW HAMPSHIRE SOILS, SEPTEMBER, 2020.
THE SITE-SPECIFIC SOIL SURVEY (SS99N) WAS PRODUCED MAY 2, 2022, AND WAS PREPARED BY JAMES GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.

SS99N SYM.	SS99N MAP NAME	HY99N SYM.	HYDROLOGIC SOIL GRP.
43B	CANTON VERY STONY	221	D
43C	SCARBORO MUCK	611	D
43D	CANTON EXTREMELY BOULDERY	222	D
445B	NEINFIELDS, VERY STONY	321	D
500	UDORTHENS, LOAMY	361	D
541	WALPOLE, VERY STONY	521	D

SLOPE PHASE
0-8% = B; 8-15% = C; 15-25% = D; 25%+ = E

GRAPHIC SCALE: GRAPHIC SCALE  (IN FEET) 1 inch = 20 ft.	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				 CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400 EMANUELENGINEERING.COM ©2025				 MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528				SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD				PLAN TITLE DETAILED EXISTING CONDITIONS PLAN			
	APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801																SHEET: 6			
	1		11/24/25														FOR APPROVAL		JJM	
	NO.		DATE														DESCRIPTION		BY	

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

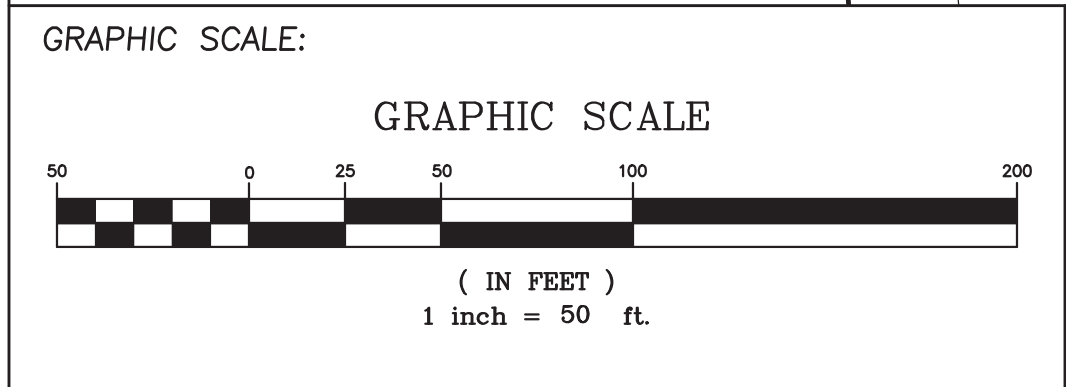


WETLAND NOTES:

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHCS #244. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
3. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2019 VERSION
4. FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
4. NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).


WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.



RECORD OWNER					
CKT ASSOCIATES, LLC					
158 SHATTUCK WAY					
NEWINGTON, NH 03801					
APPLICANT					
WILLEY CREEK CO, LLC					
158 SHATTUCK WAY					
NEWINGTON, NH 03801					
NO.	DATE	DESCRIPTION	BY		



CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS
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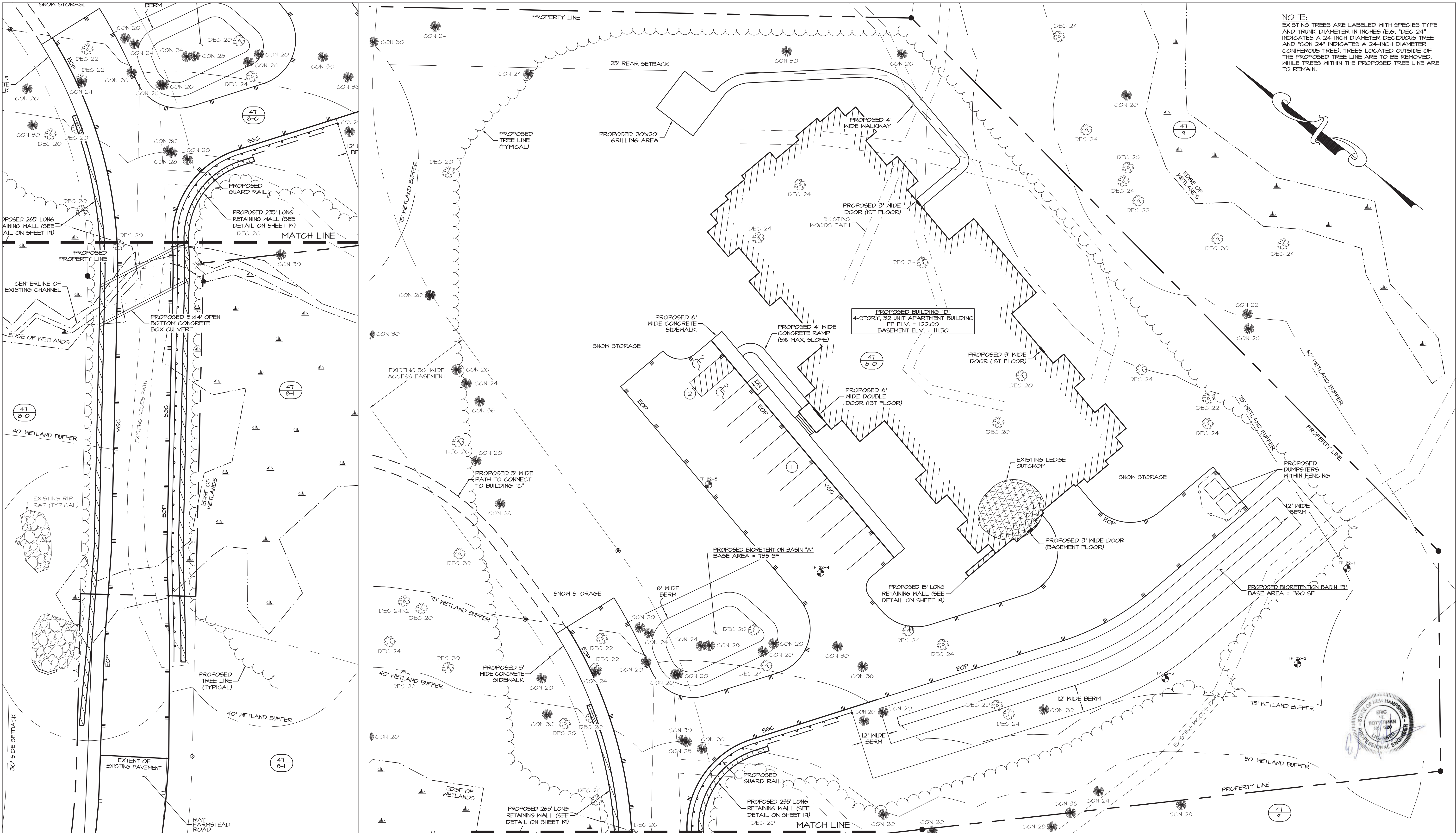
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 50'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

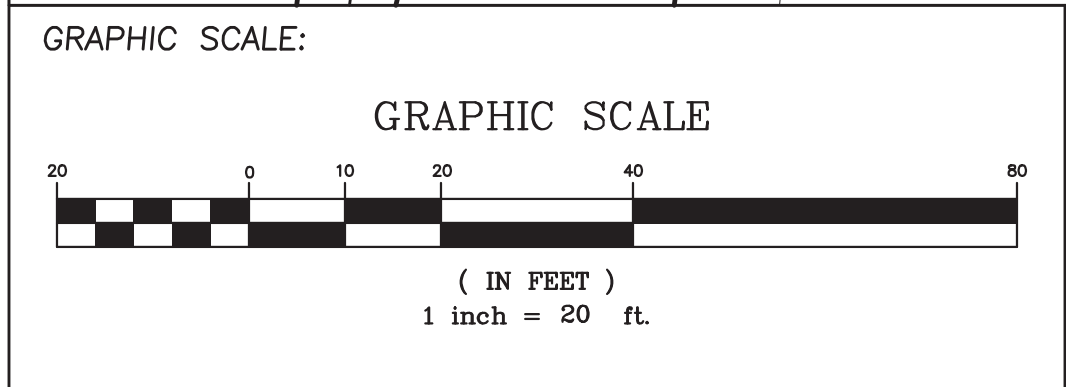
SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
OVERALL
SITE PLAN
SHEET: 7

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



NOTE:
EXISTING TREES ARE LABELED WITH SPECIES TYPE
AND TRUNK DIAMETER IN INCHES (E.G. "DEC 24"
INDICATES A 24-INCH DIAMETER DECIDUOUS TREE
AND "CON 24" INDICATES A 24-INCH DIAMETER
CONIFEROUS TREE). TREES LOCATED OUTSIDE OF
THE PROPOSED TREE LINE ARE TO BE REMOVED,
WHILE TREES WITHIN THE PROPOSED TREE LINE ARE
TO REMAIN.



RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801				
1	11/24/25	FOR APPROVAL	JJM	
NO.	DATE	DESCRIPTION	BY	



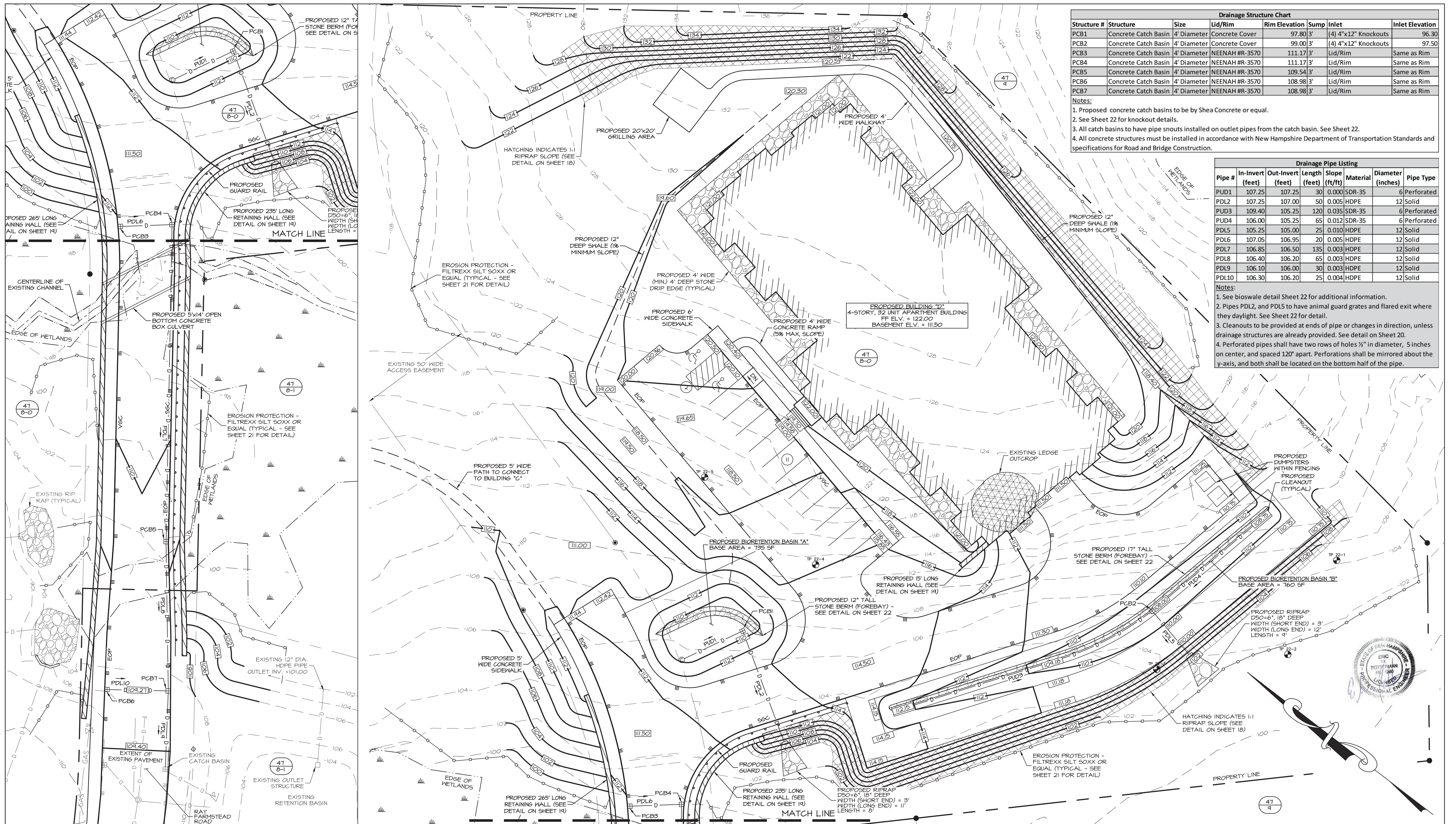
MEI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

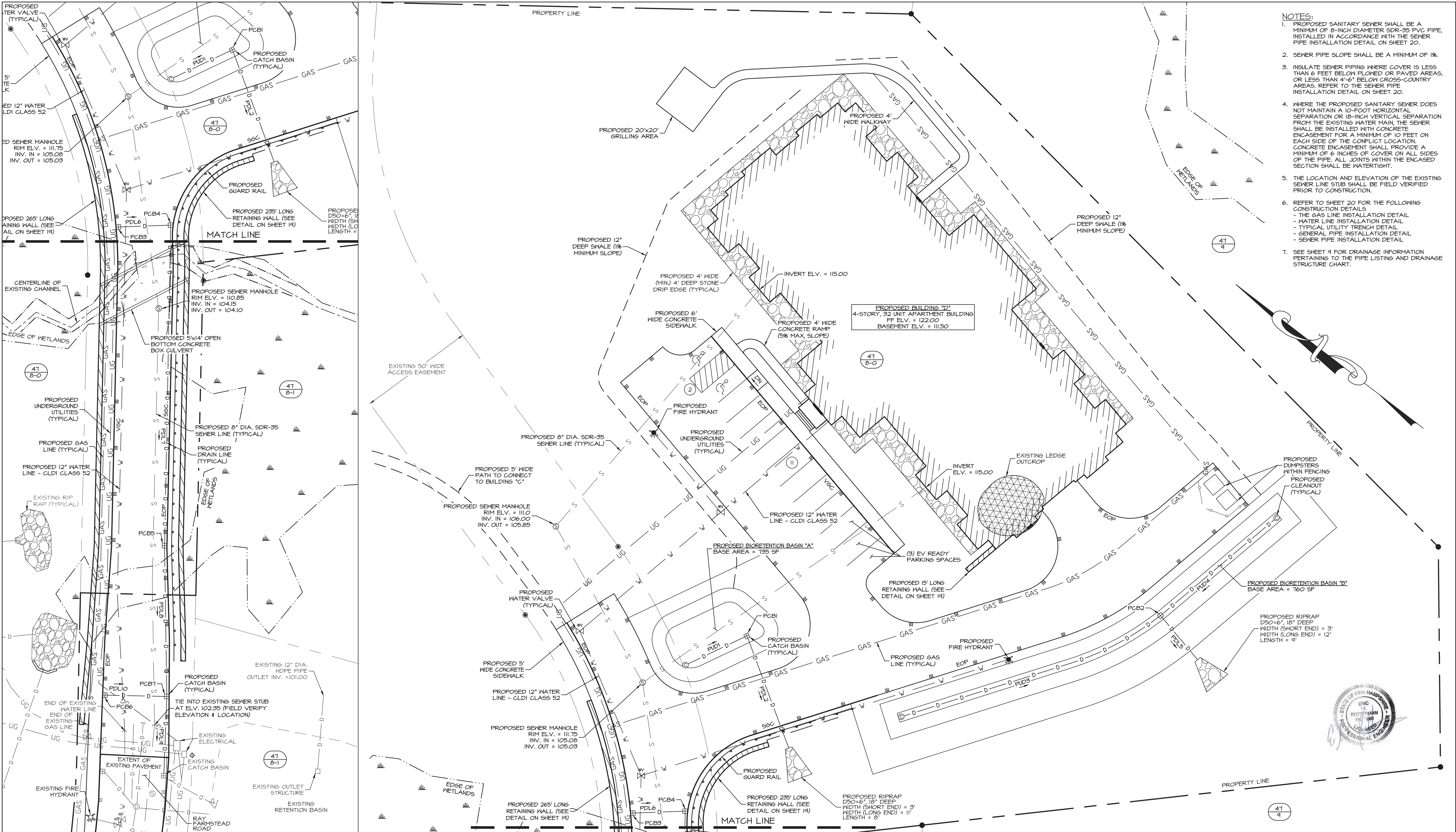
SCALE: 1" = 20'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
SITE PLAN
SHEET: 8

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.





GRAPHIC SCALE:

(IN FEET)
1 inch = 20 ft.

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY

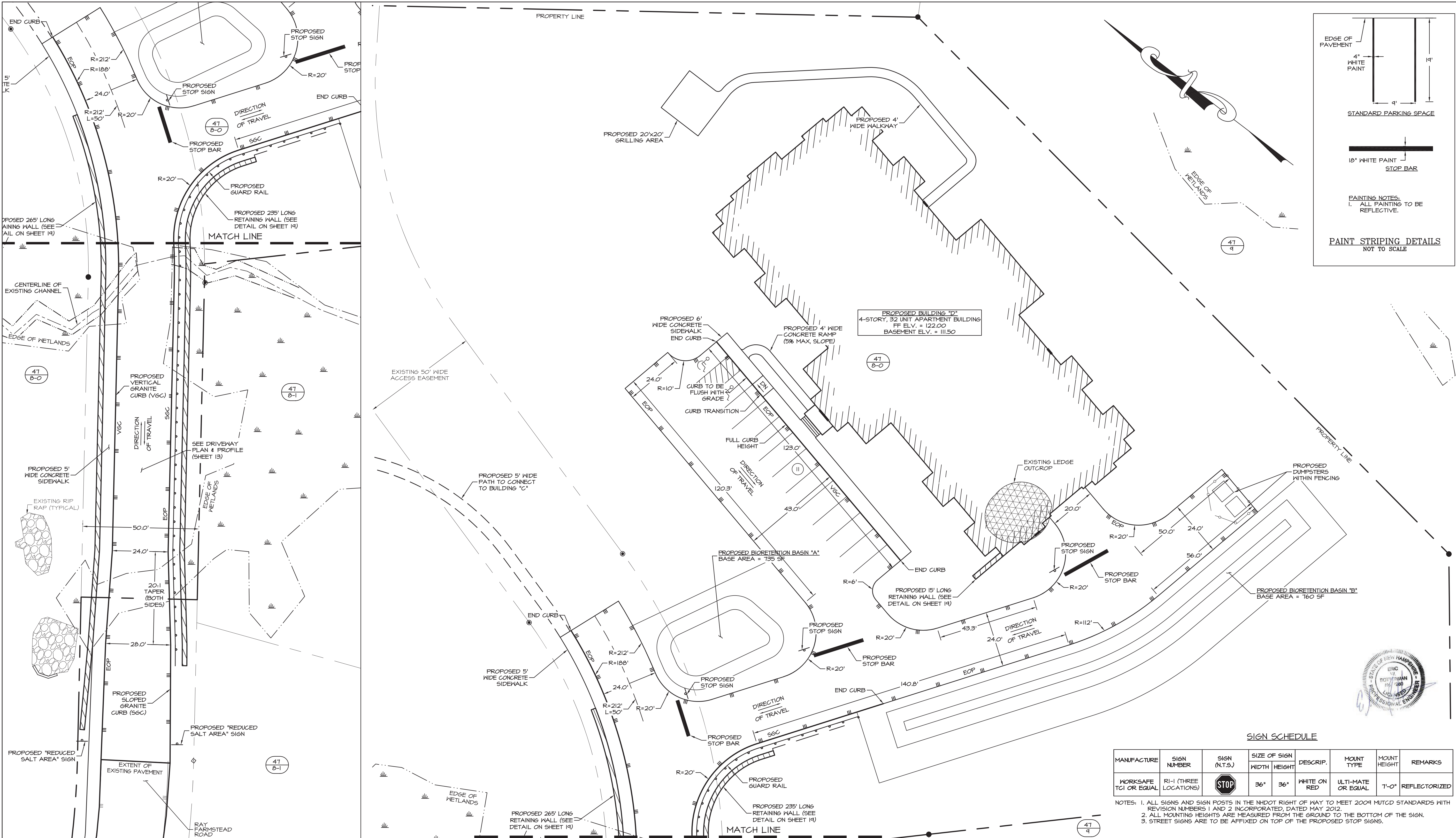
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
UTILITIES PLAN
SHEET: 10

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



EDGE OF PAVEMENT

4" WHITE PAINT

14'

1'

STANDARD PARKING SPACE

18" WHITE PAINT

STOP BAR

PAINING NOTES:
1. ALL PAINTING TO BE REFLECTIVE.

PAINT STRIPING DETAILS
NOT TO SCALE

MANUFACTURE	SIGN NUMBER	SIGN (N.T.S.)	SIZE OF SIGN WIDTH HEIGHT	DESCRIP.	MOUNT TYPE	MOUNT HEIGHT	REMARKS
WORKSAFE TCI OR EQUAL	RI-1 (THREE LOCATIONS)		36" 36"	WHITE ON RED	ULI-MATE OR EQUAL	7'-0"	REFLECTORIZED

NOTES: 1. ALL SIGNS AND SIGN POSTS IN THE NHDOT RIGHT OF WAY TO MEET 2009 MUTCD STANDARDS WITH REVISION NUMBERS 1 AND 2 INCORPORATED, DATED MAY 2012.
2. ALL MOUNTING HEIGHTS ARE MEASURED FROM THE GROUND TO THE BOTTOM OF THE SIGN.
3. STREET SIGNS ARE TO BE AFFIXED ON TOP OF THE PROPOSED STOP SIGNS.

GRAPHIC SCALE:

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	1	DATE	11/24/25	DESCRIPTION	FOR APPROVAL	BY	JJM
							BY

FEI

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
PAVING & CURBING PLAN
SHEET: 11

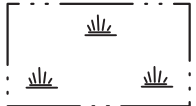
THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

NHDES STANDARD DREDGE AND FILL WETLANDS APPLICATION TABLE					
JURISDICTIONAL AREA	AREA LABEL	PERMANENT IMPACT (SF)	PERMANENT IMPACT (LF)	TEMPORARY IMPACT (SF)	TEMPORARY IMPACT (LF)
FORESTED WETLAND	A & B	735	N/A	408	N/A
PERENNIAL STREAM	A & B	202	132	80	19
FORESTED WETLAND	C	728	N/A	241	N/A
TOTAL	A, B, & C	1665	132	735	19


NOTE: THE PERMANENT LINEAR IMPACT TO THE PERENNIAL STREAM IS CALCULATED AS THREE TIMES THE PROPOSED BOX CULVERT LENGTH. THIS INCLUDES BOTH BANKS AND THE STREAMBED WITHIN THE IMPACT AREA.

PROPOSED WETLAND IMPACT AREAS			
AREA LABEL	AREA (SQUARE FEET)	AREA (ACRES)	IMPACT TYPE
A	465	0.011	WETLAND
B	472	0.011	WETLAND
C	728	0.017	WETLAND
D	219	0.005	BUFFER
E	198	0.005	BUFFER
F	9,462	0.217	BUFFER
G	3,146	0.072	BUFFER
WETLAND TOTAL	1,665	0.038	WETLAND
BUFFER TOTAL	12,806	0.294	BUFFER
WETLAND + BUFFER	14,471	0.332	WETLAND + BUFFER


LEGEND




WETLANDS



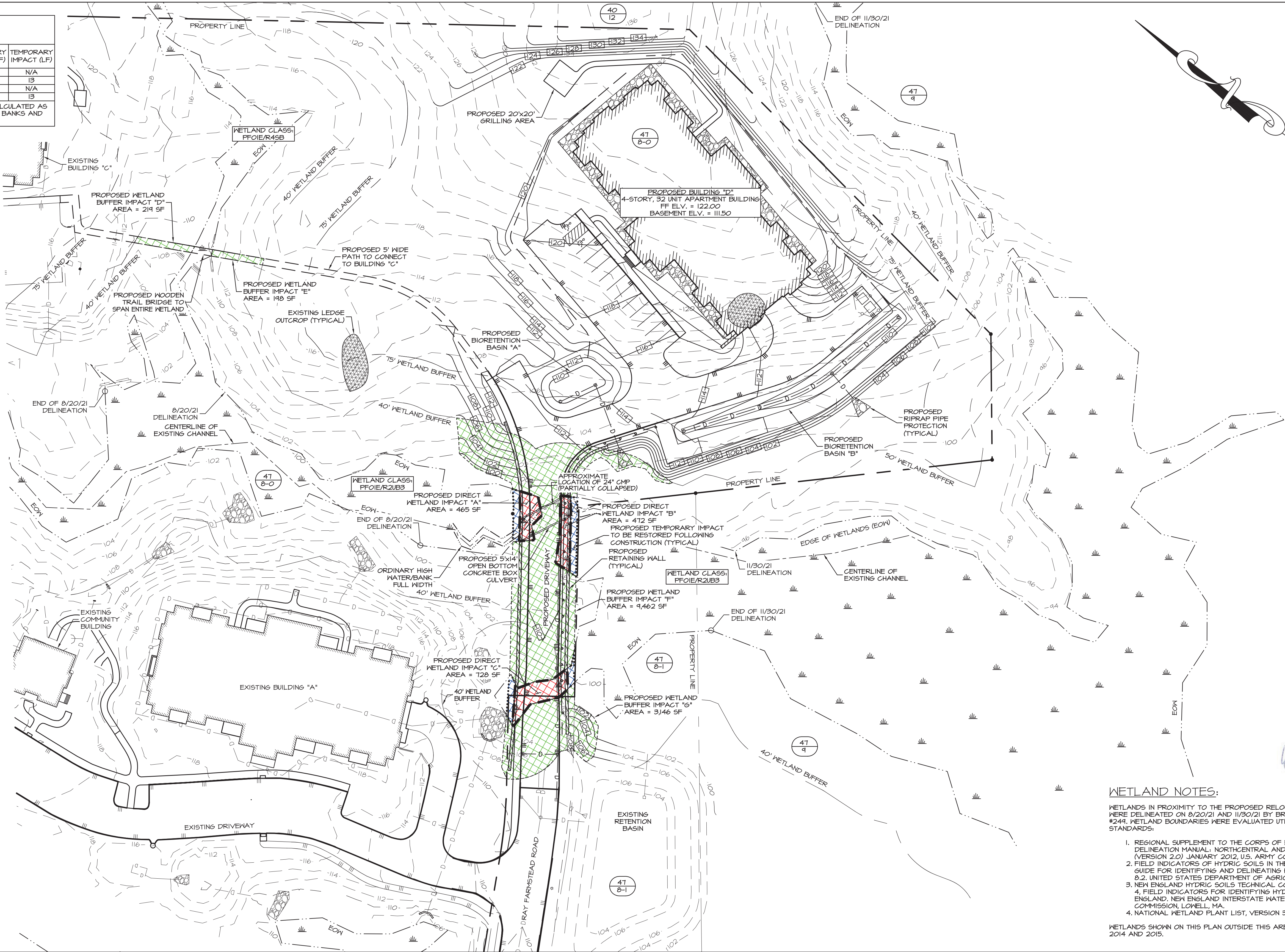
DIRECT WETLAND IMPACT (1,665 SQUARE FEET)



WETLAND BUFFER IMPACT (12,806 SQUARE FEET)



TEMPORARY IMPACTS TO BE RESTORED FOLLOWING CONSTRUCTION (735 SF)

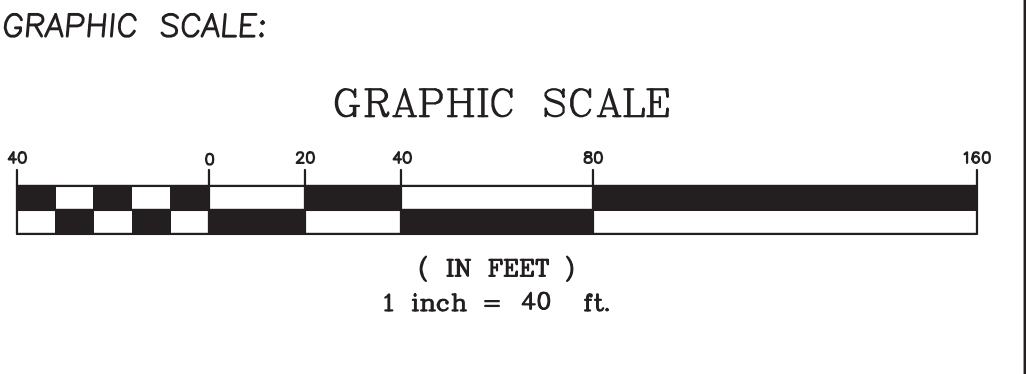


WETLAND NOTES:

WETLANDS IN PROXIMITY TO THE PROPOSED RELOCATED BUILDING "D" WERE DELINEATED ON 8/20/21 AND 11/30/21 BY BRENDAN QUIGLEY, NHCS #244. WETLAND BOUNDARIES WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
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4. NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.



RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801					
NO.	DATE	DESCRIPTION	BY		
1	11/18/25	FOR APPROVAL	JJM		

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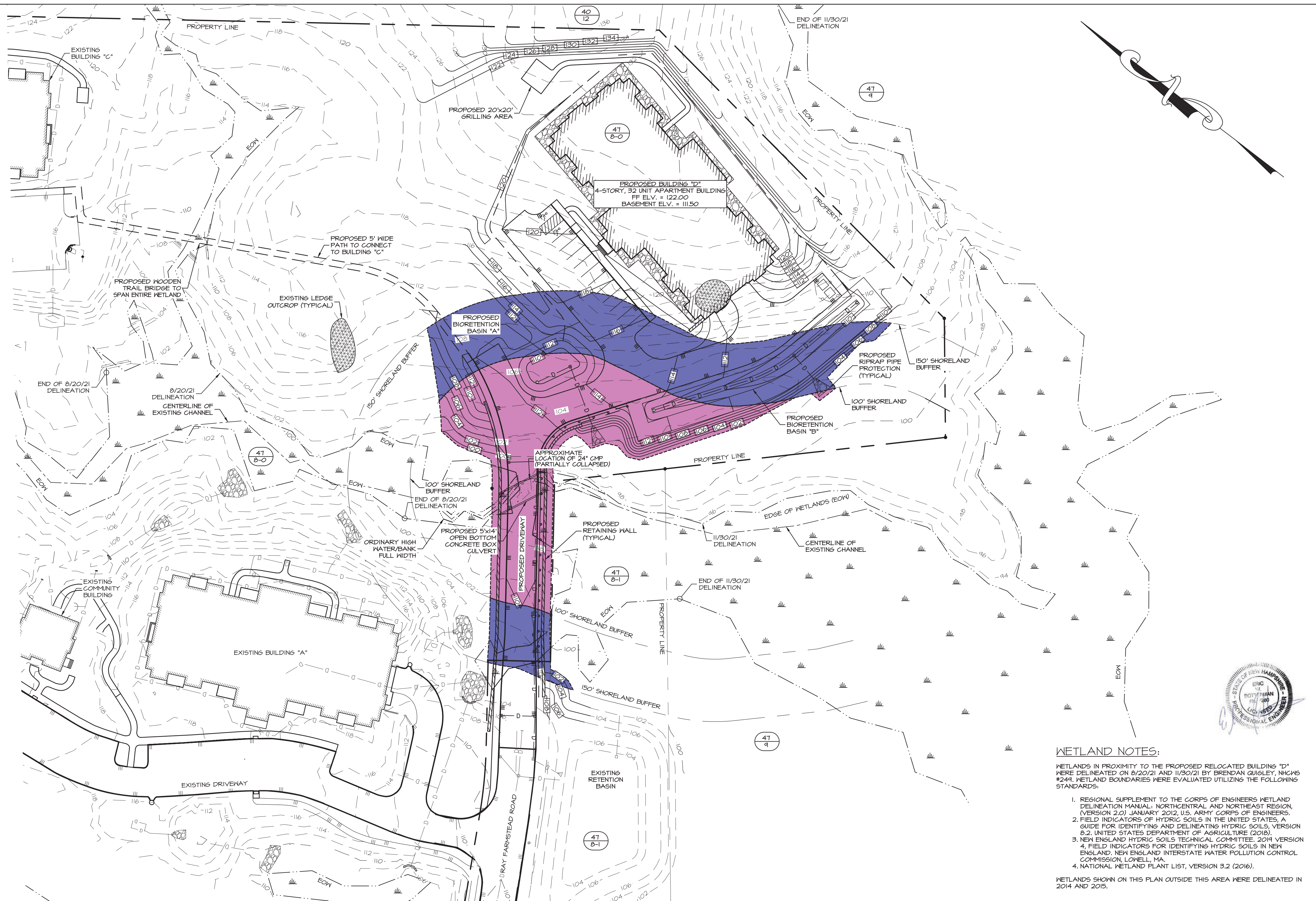
MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 40'	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

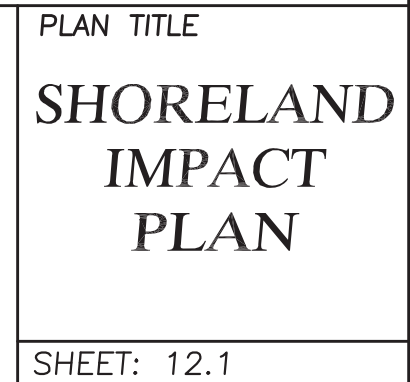
SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
**WETLAND
IMPACT
PLAN**
SHEET: 12

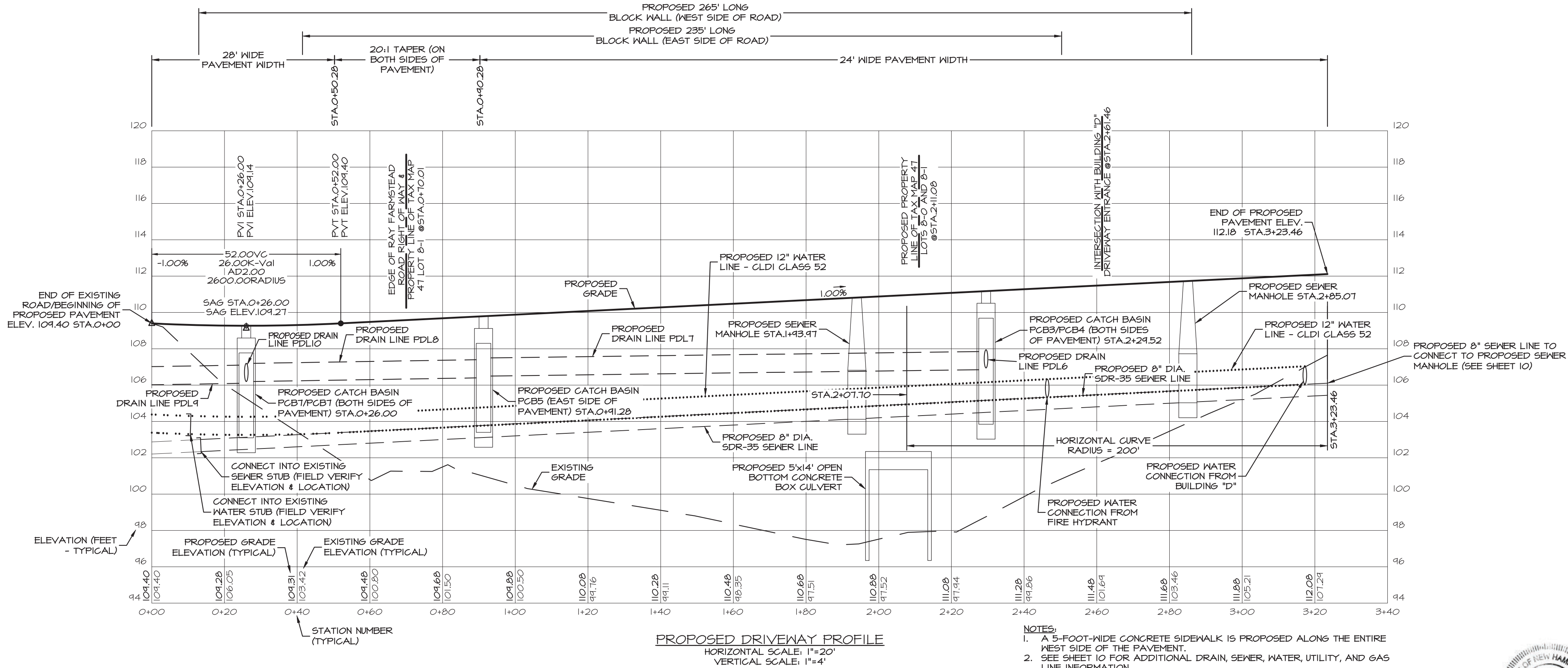
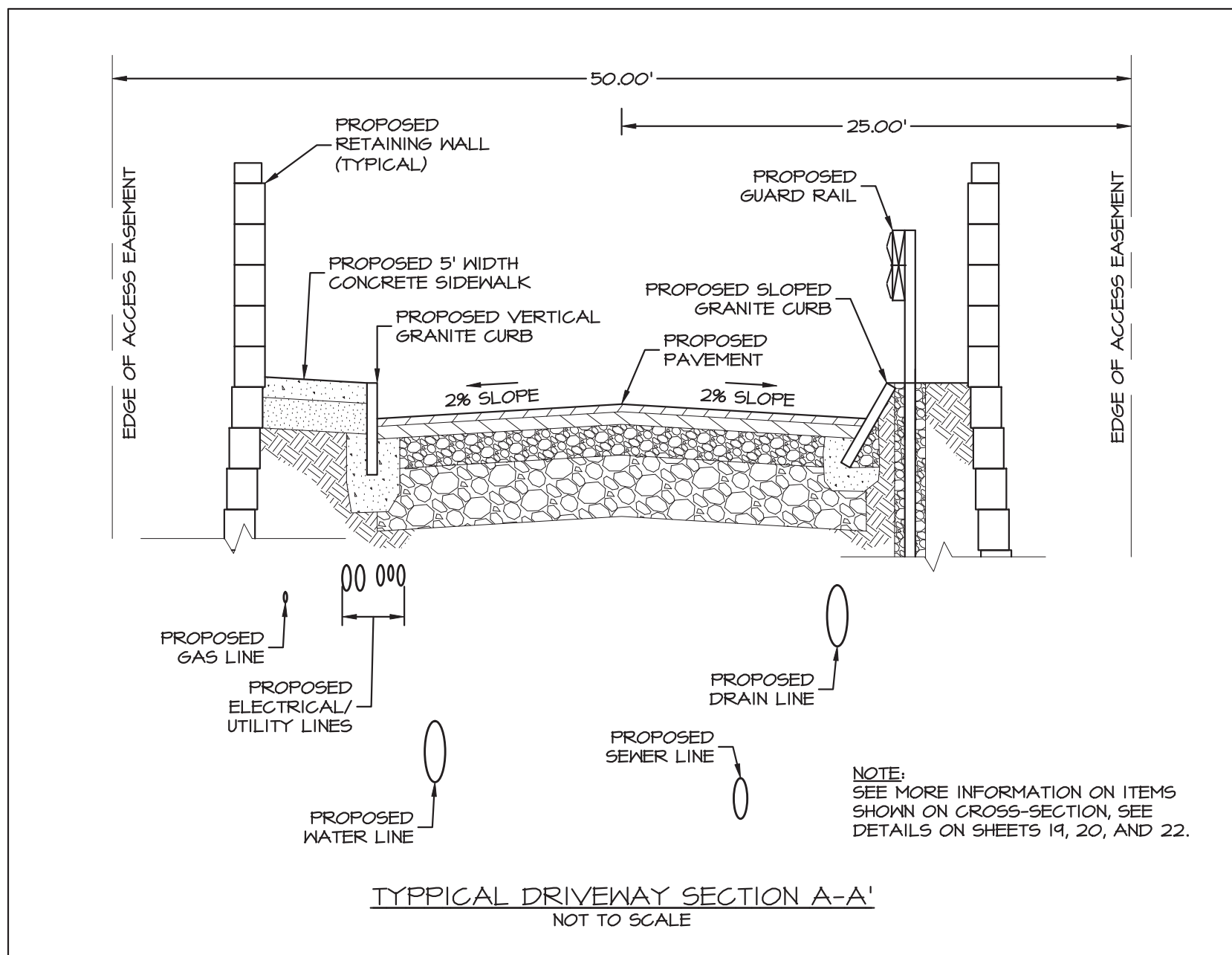
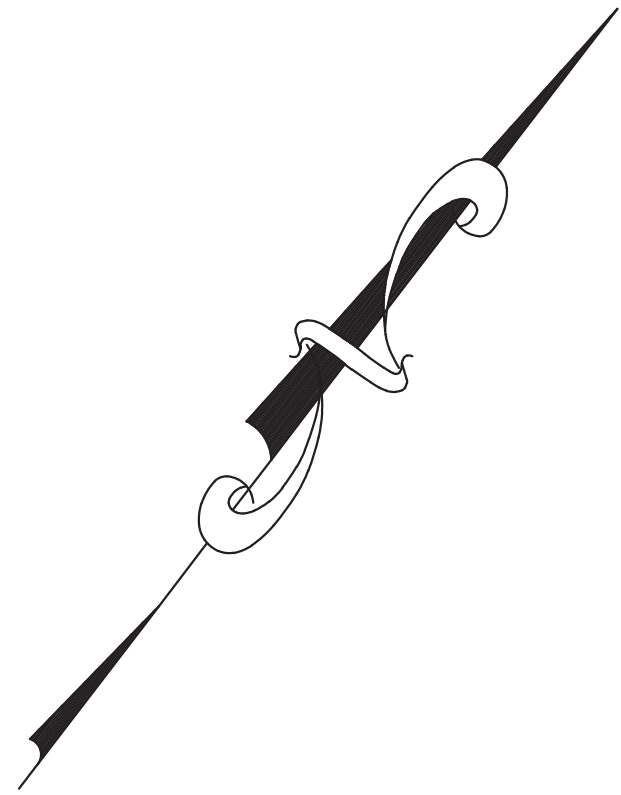
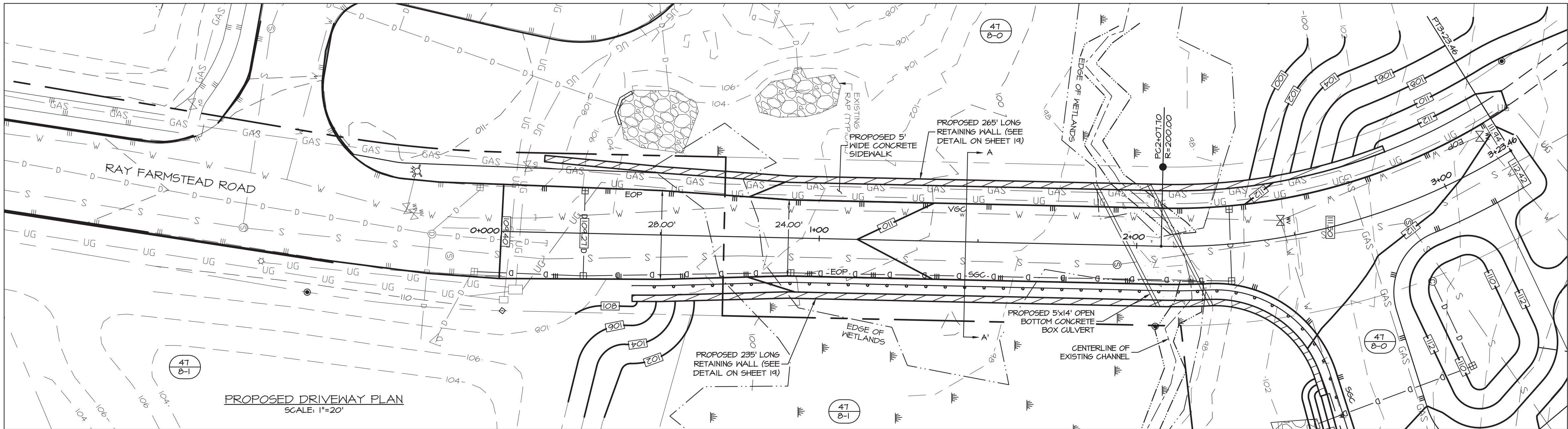
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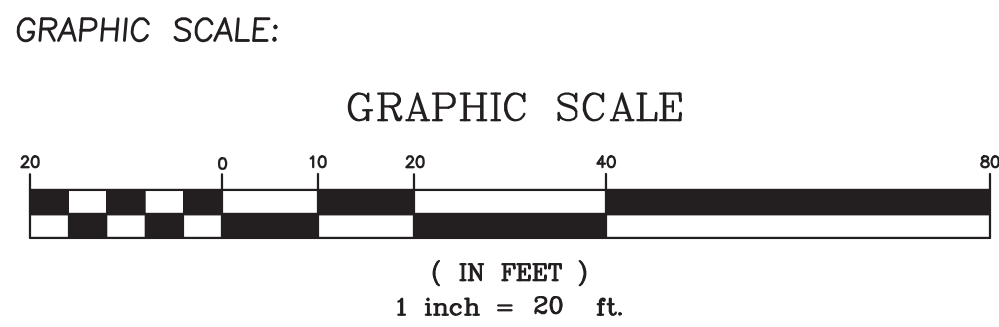
WETLANDS SHOWN ON THIS PLAN OUTSIDE THIS AREA WERE DELINEATED IN 2014 AND 2015.



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- NOTES:
1. A 5-FOOT-WIDE CONCRETE SIDEWALK IS PROPOSED ALONG THE ENTIRE WEST SIDE OF THE PAVEMENT.
 2. SEE SHEET 10 FOR ADDITIONAL DRAIN, SEWER, WATER, UTILITY, AND GAS LINE INFORMATION.
 3. PROPOSED PAVEMENT ELEVATIONS ARE SHOWN AT THE DRIVEWAY CENTERLINE. DRAIN, SEWER, AND WATER UTILITIES ARE LOCATED AT SPECIFIC OFFSETS FROM THE CENTERLINE, AS SHOWN ON THE TYPICAL DRIVEWAY CROSS SECTION DETAIL ON THIS SHEET AND ON SHEET 10.
 4. DUE TO THE ANGLED ALIGNMENT OF THE PROPOSED BOX CULVERT, THE PROPOSED SEWER MANHOLE MAY APPEAR CLOSER TO THE BOX CULVERT THAN IT ACTUALLY IS. A MINIMUM HORIZONTAL SEPARATION OF 5 FEET SHALL BE MAINTAINED BETWEEN THE MANHOLE AND THE BOX CULVERT.



RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY

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CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS
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62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1" = 20'
DATE: NOV. 10, 2025

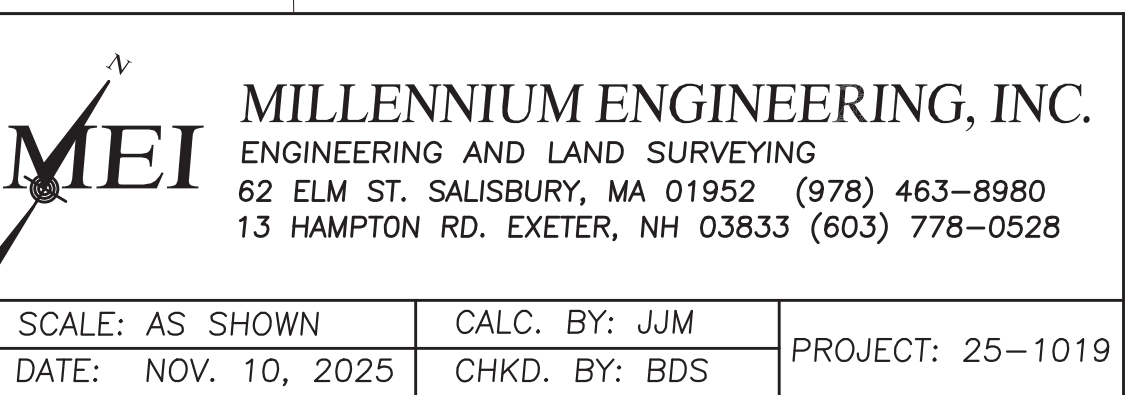
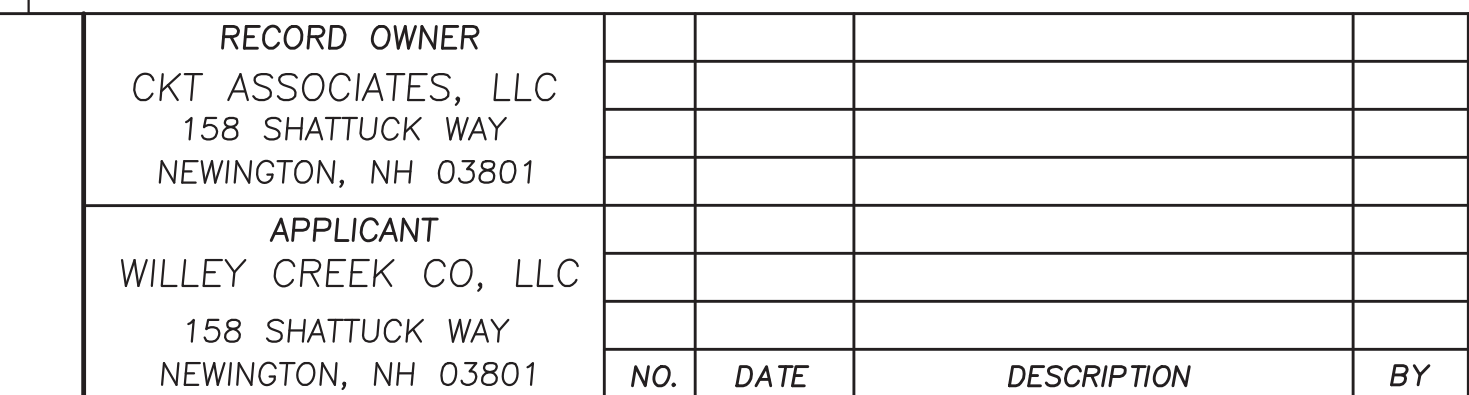
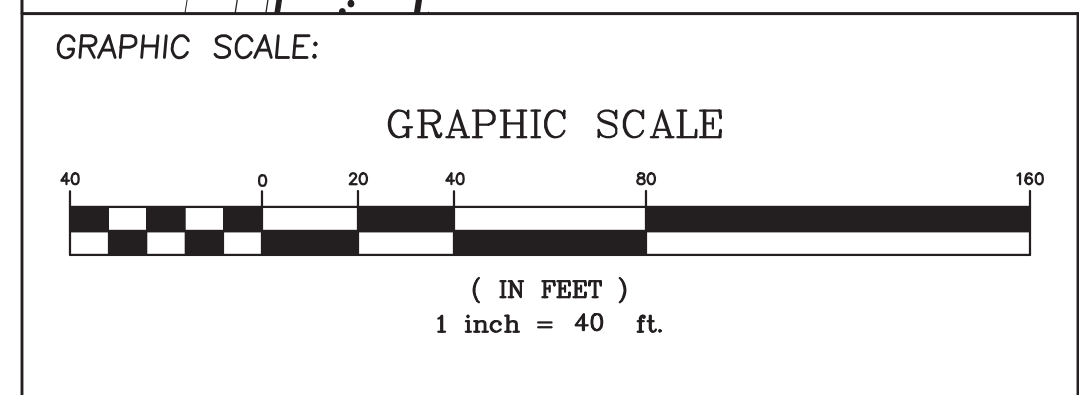
CALC. BY: JJM
CHKD. BY: BDS

PROJECT: 25-1019

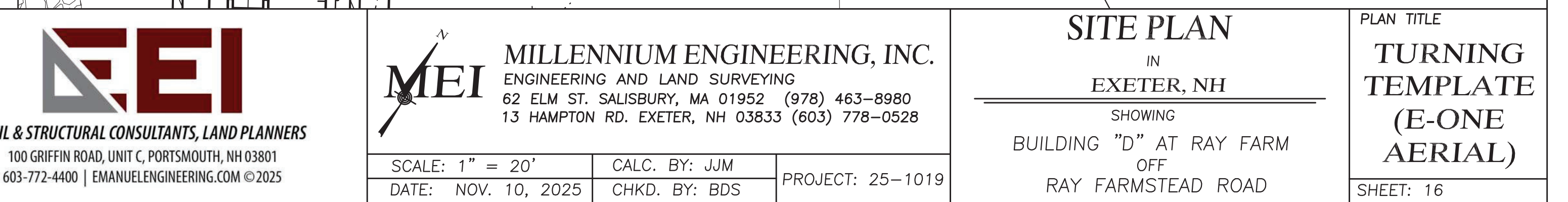
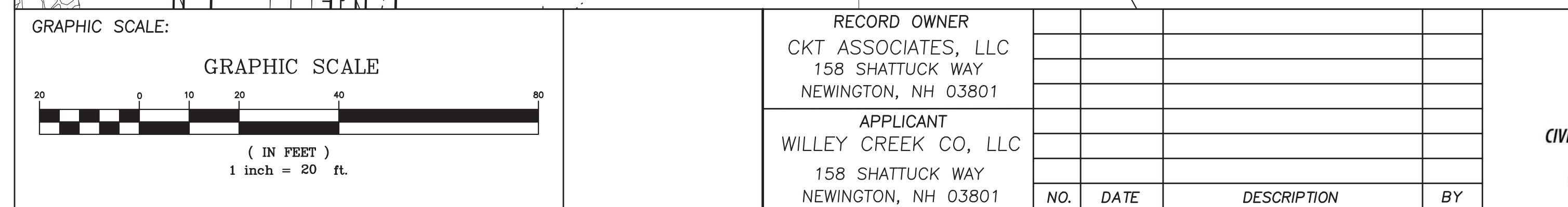
SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
**DRIVEWAY
PLAN AND
PROFILE**
SHEET: 13

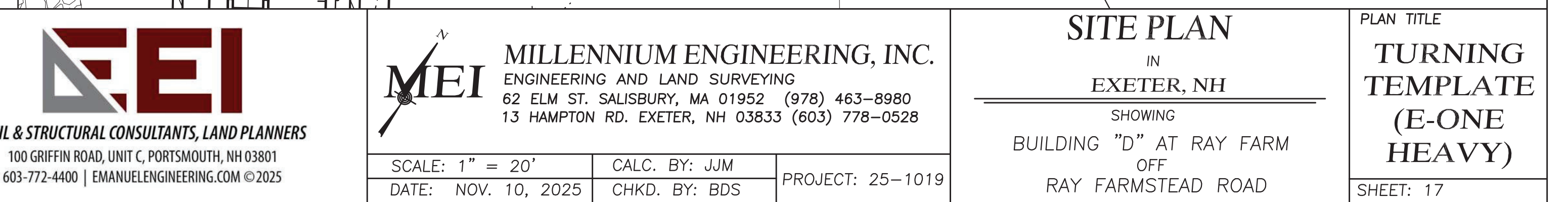
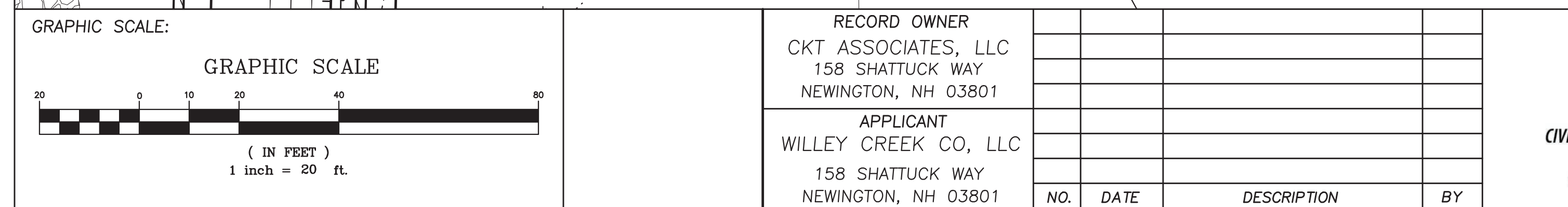
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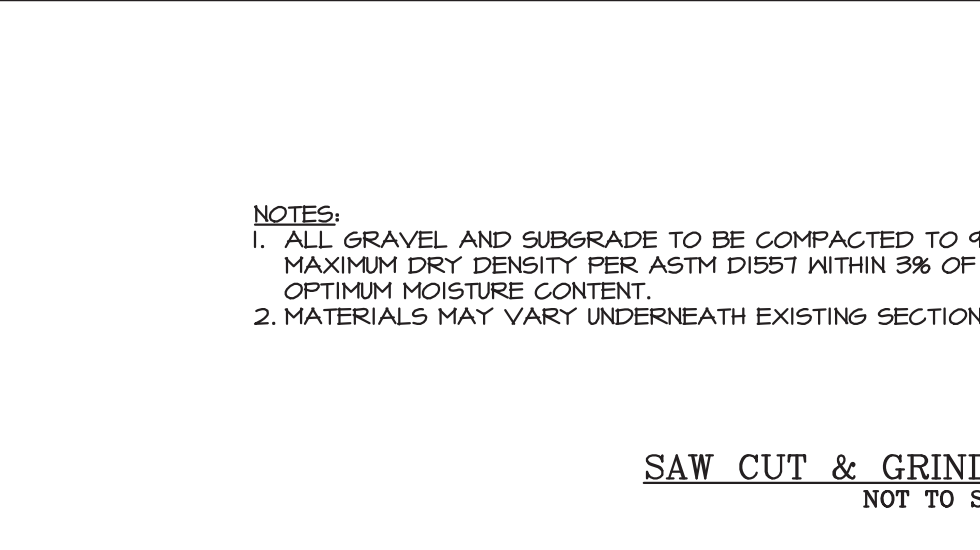
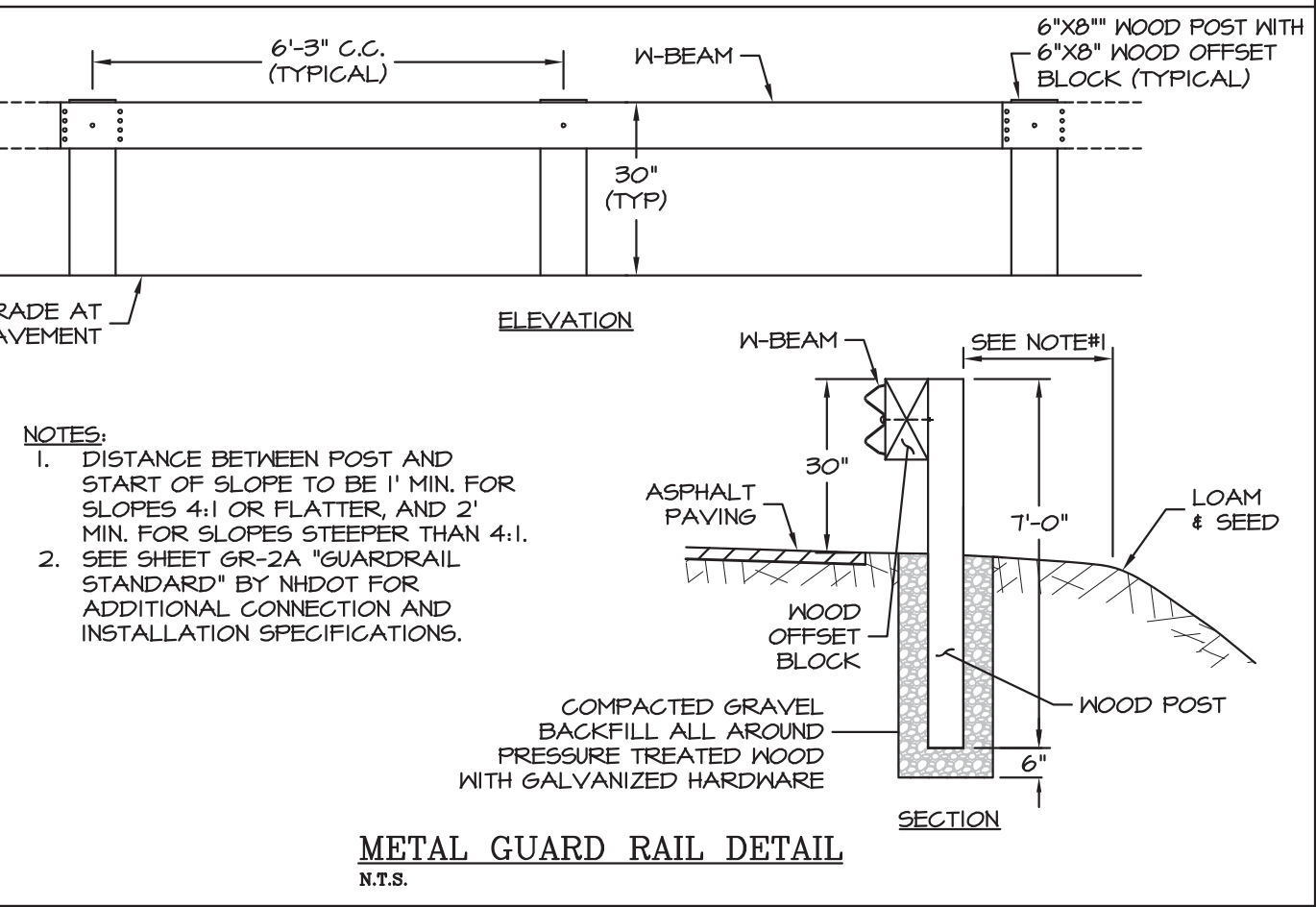
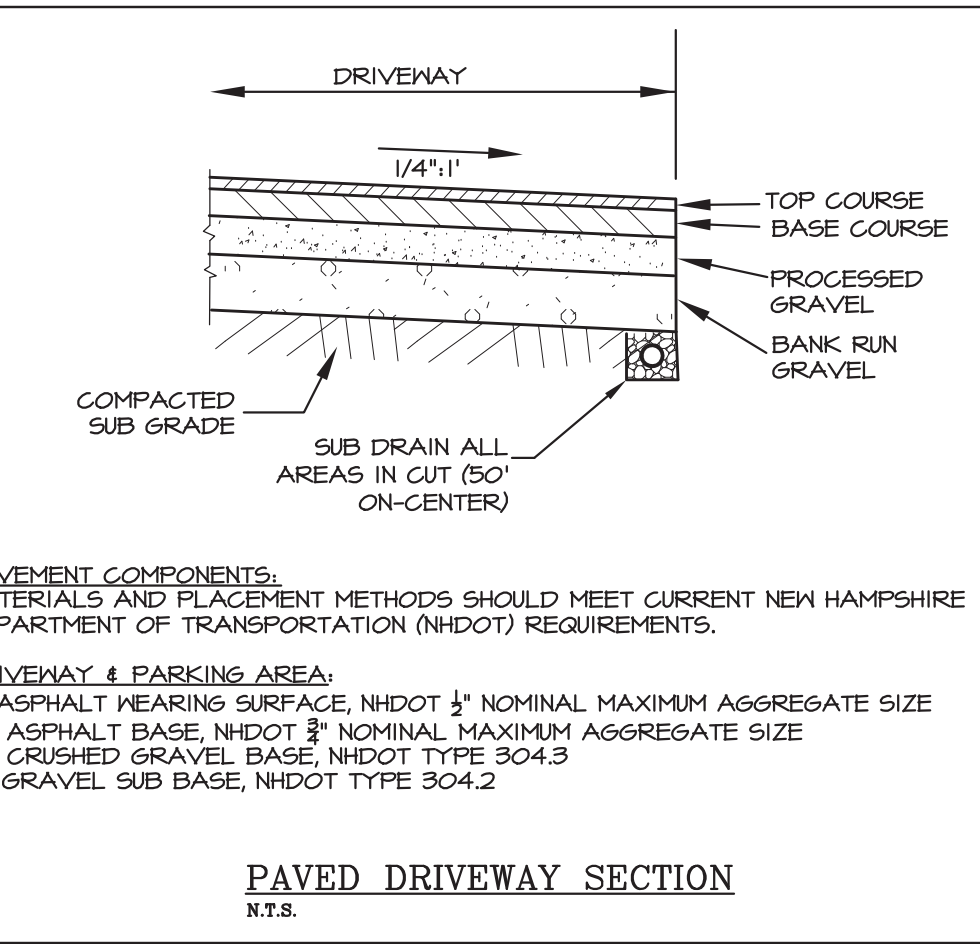
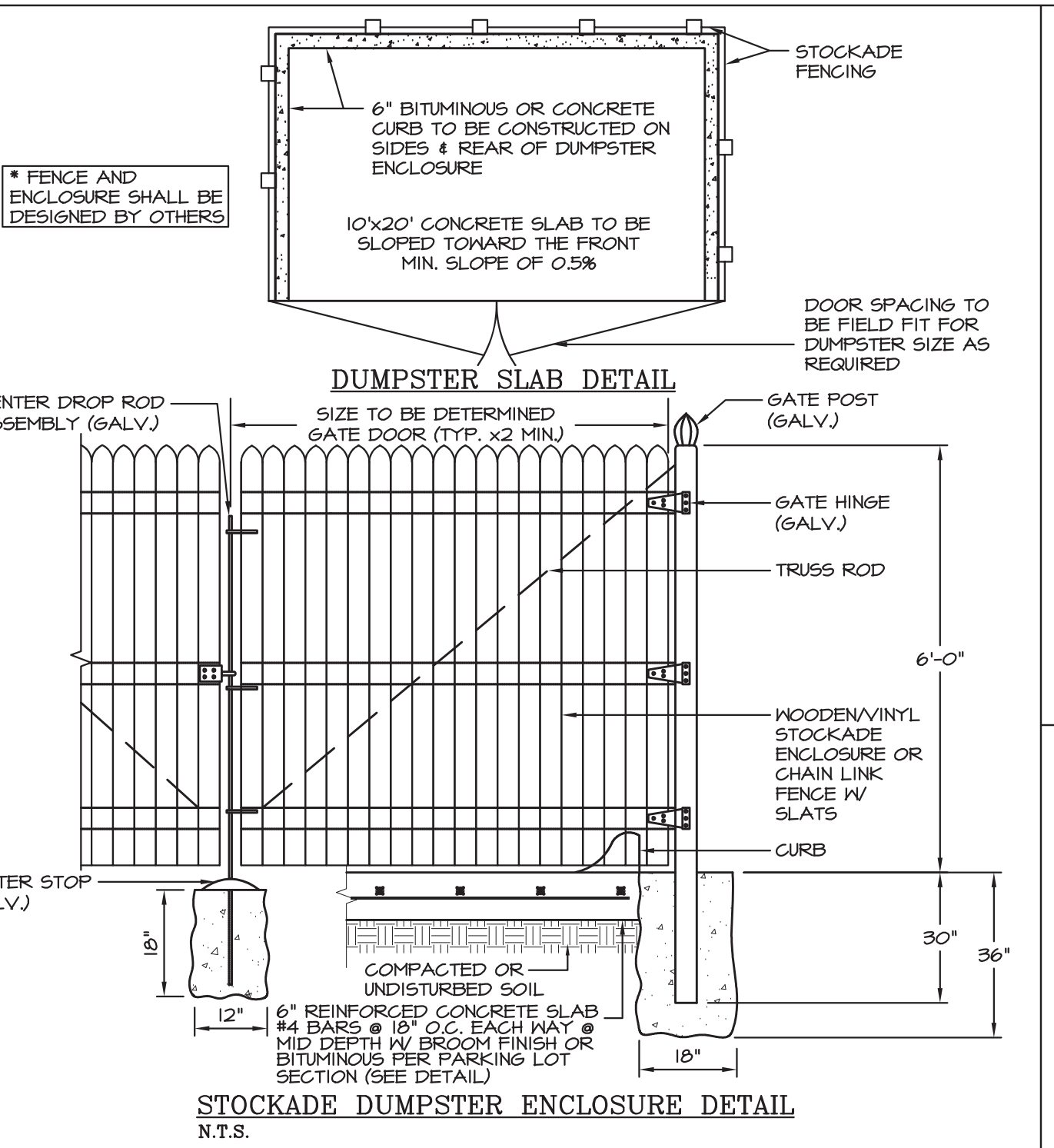
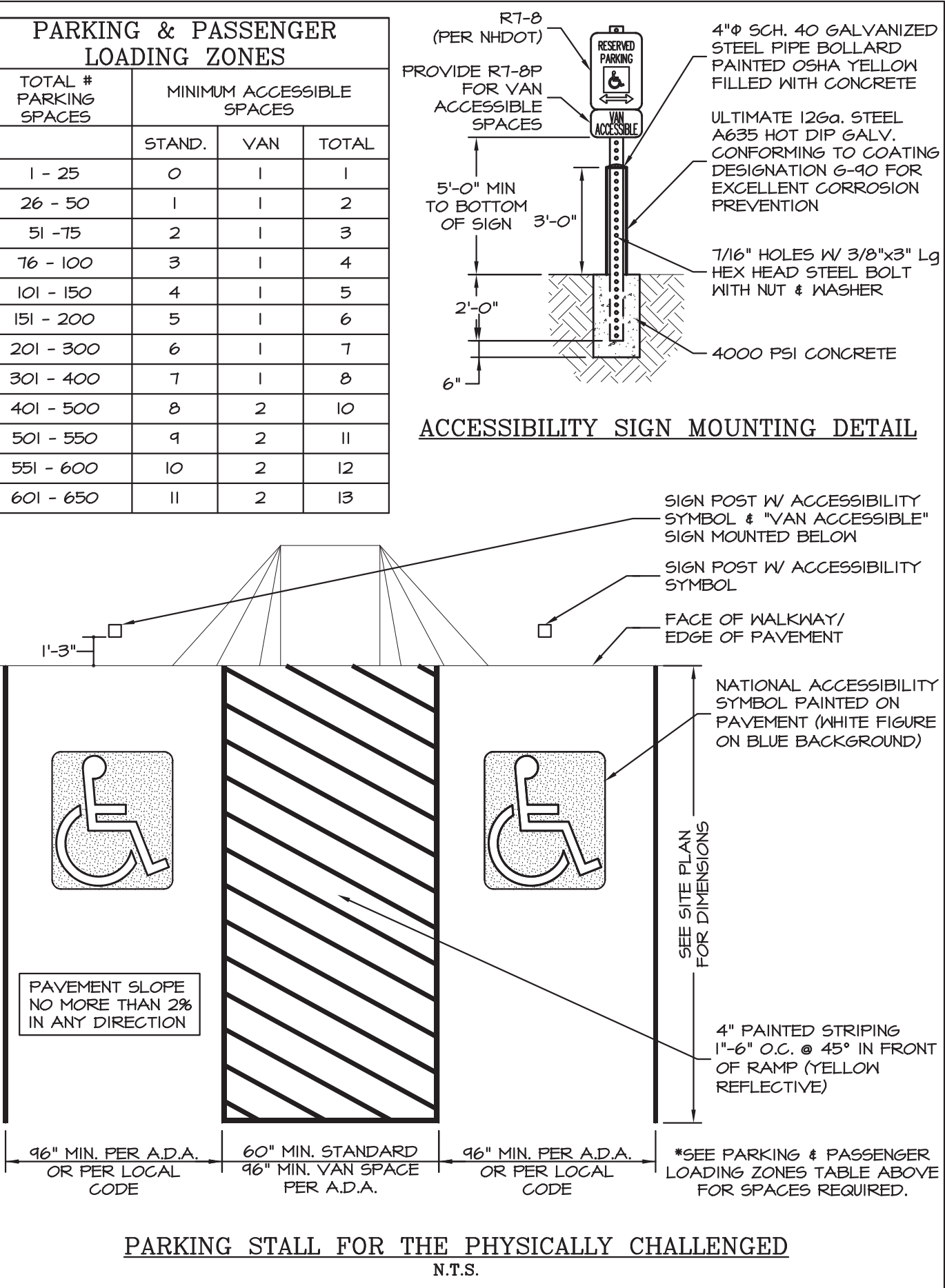
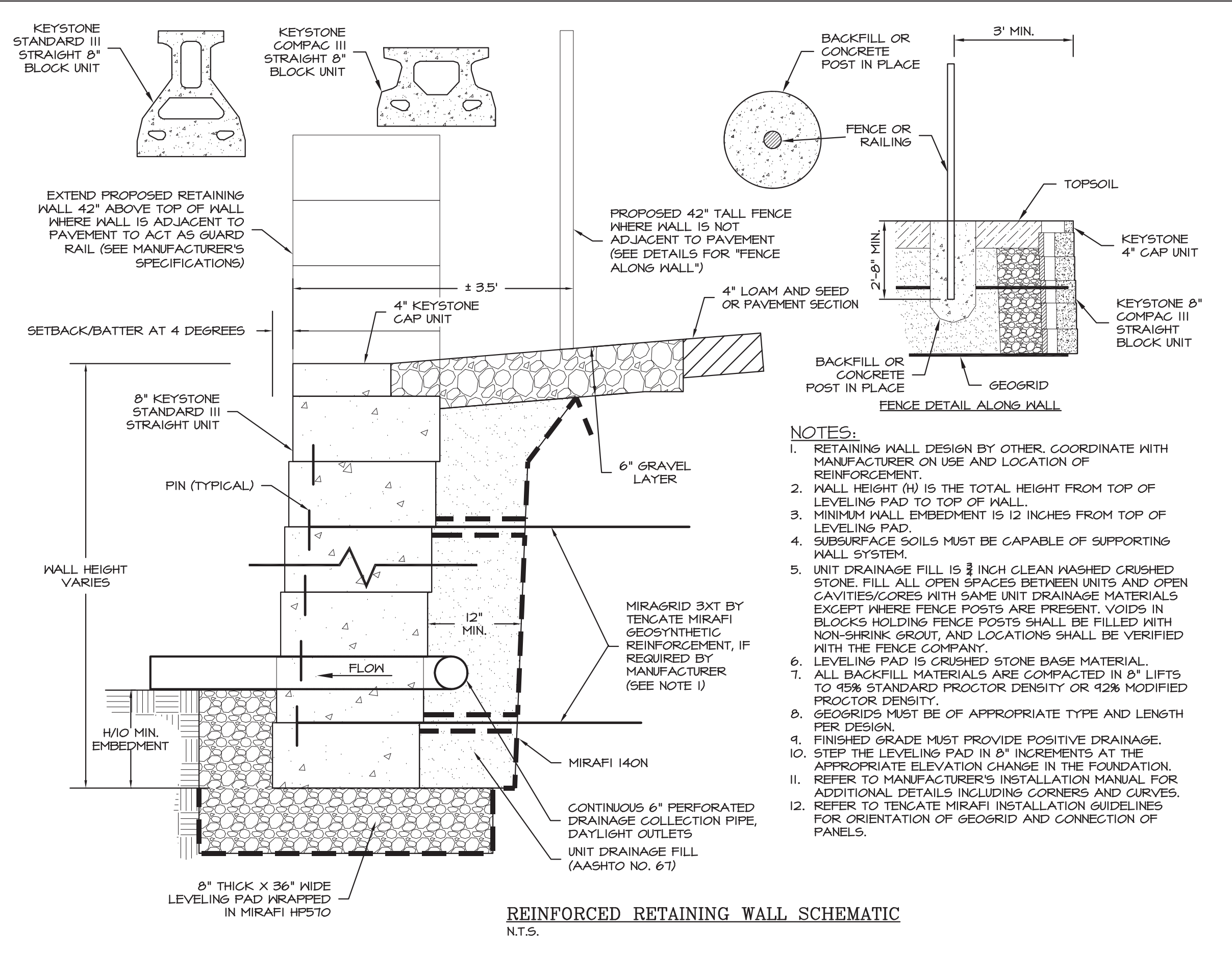
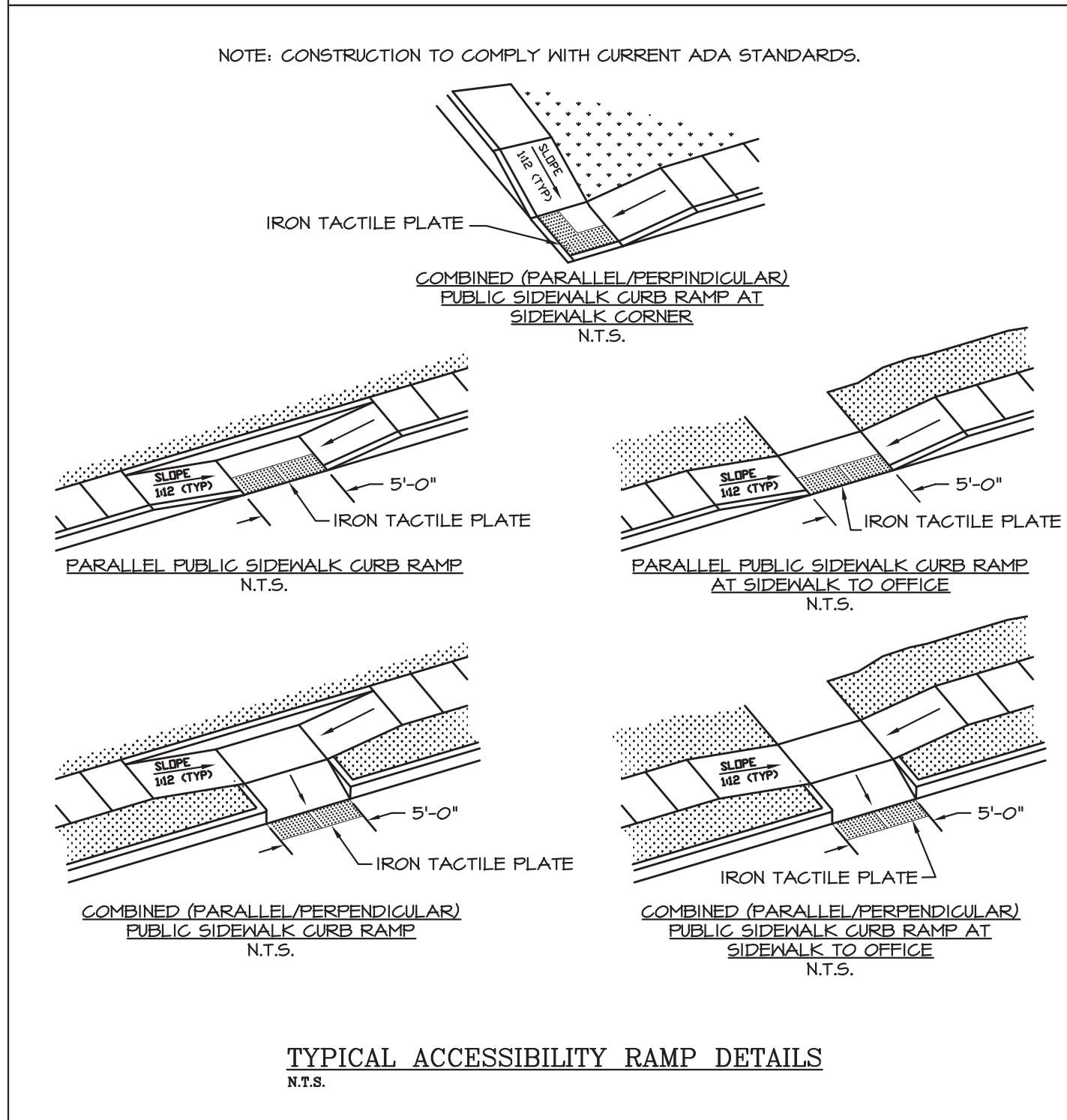
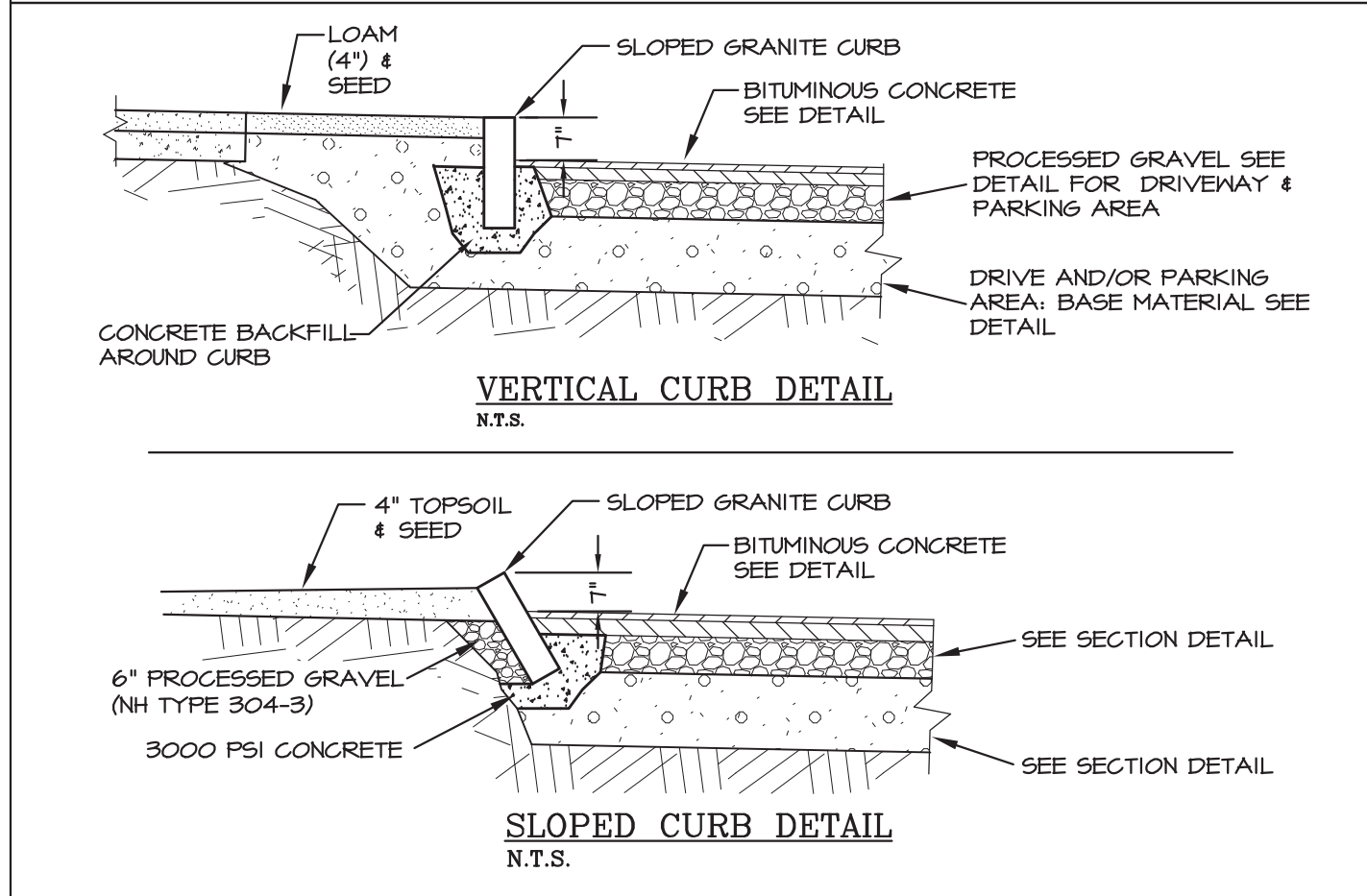
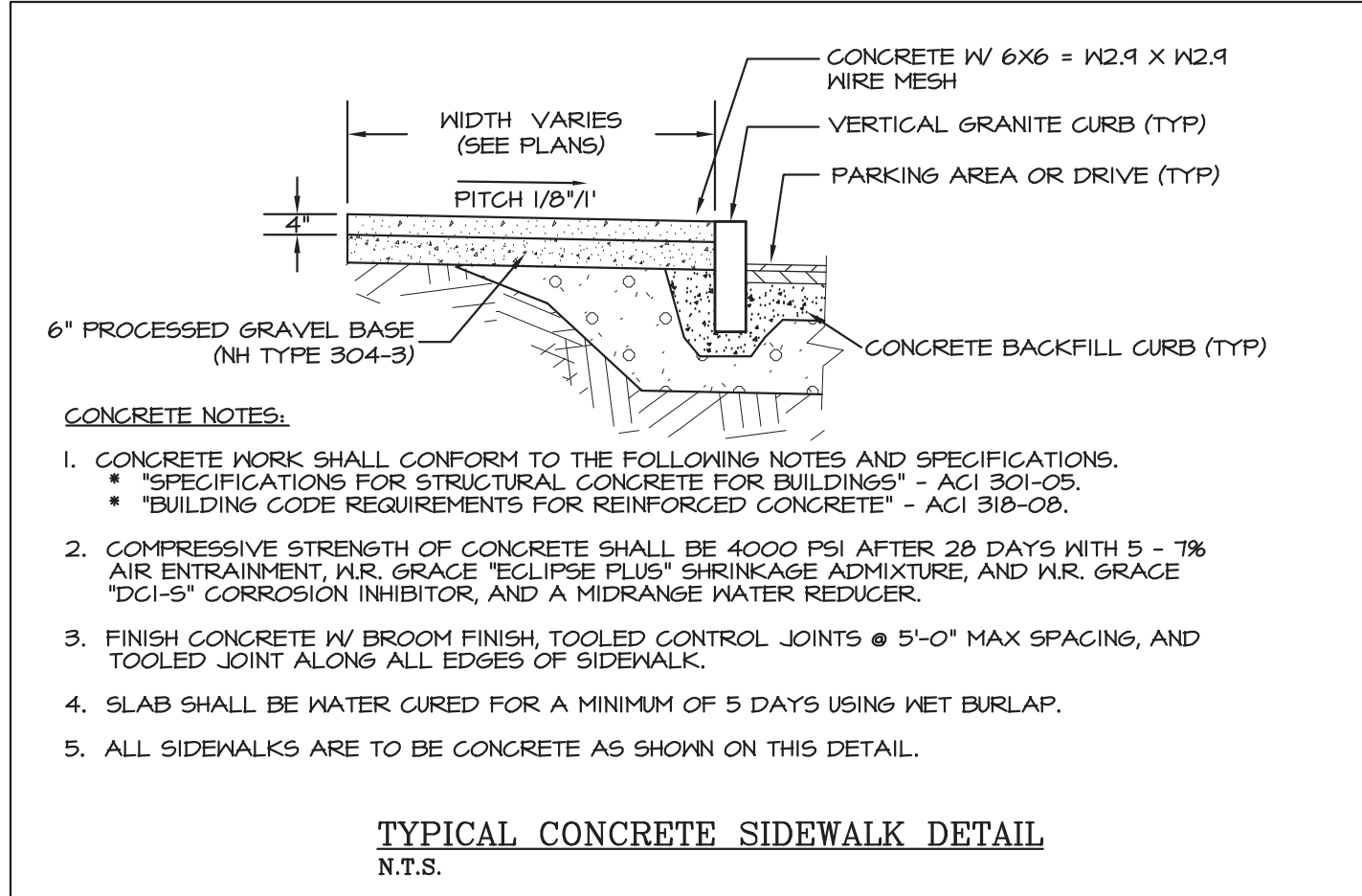


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GRAPHIC SCALE:



RECORD OWNER	CKT ASSOCIATES, LLC				
	158 SHATTUCK WAY				
	NEWINGTON, NH 03801				
APPLICANT	WILLEY CREEK CO, LLC				
	158 SHATTUCK WAY				
	NEWINGTON, NH 03801				
NO.	1	DATE	11/24/25	DESCRIPTION	FOR APPROVAL
					JJM



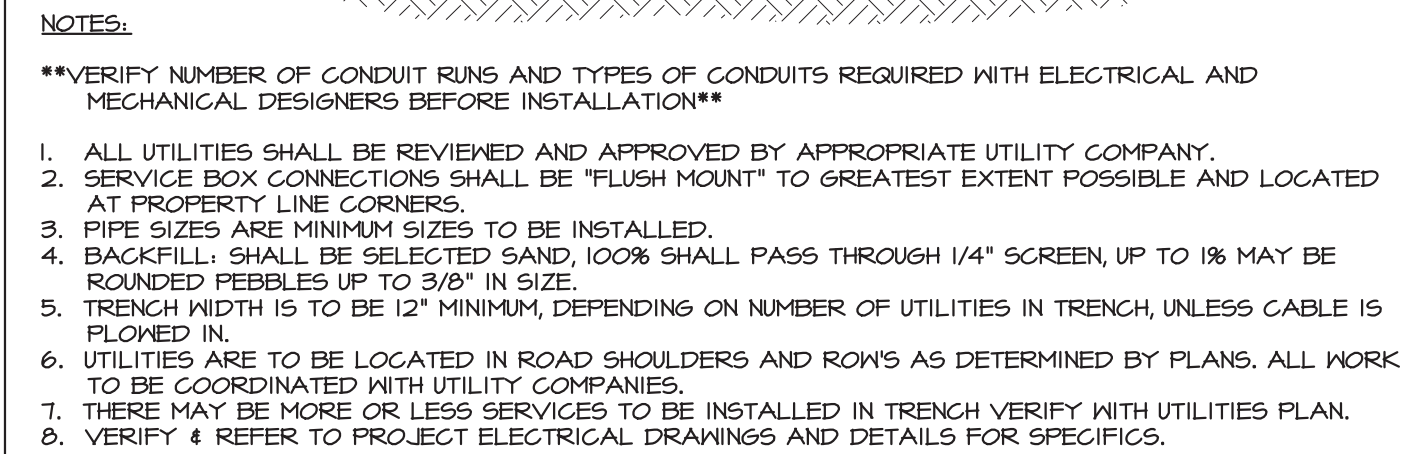


MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SITE PLAN
IN
EXETER, NH
SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
SITE DETAILS
SHEET: 19



TYPICAL UTILITY TRENCH DETAIL
N.T.S.



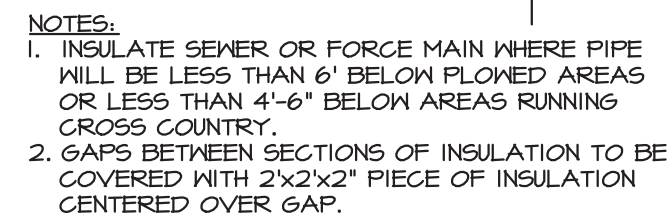
SUBSOIL DRAIN DETAIL
N.T.S.



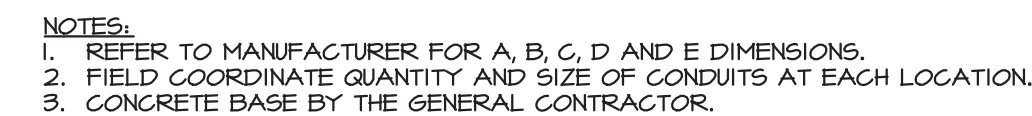
GAS LINE INSTALLATION
N.T.S.



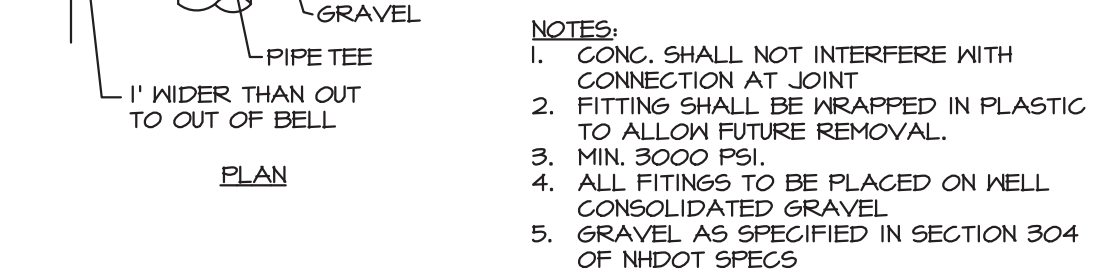
WATERLINE INSTALLATION
N.T.S.



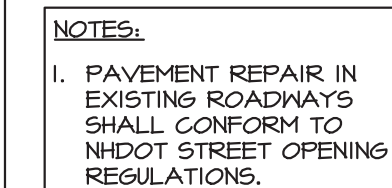
SEWER PIPE INSTALLATION DETAIL
N.T.S.



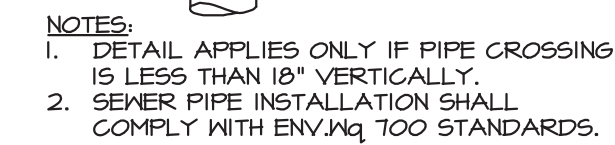
LIGHT POLE CONCRETE BASE DETAIL
N.T.S.



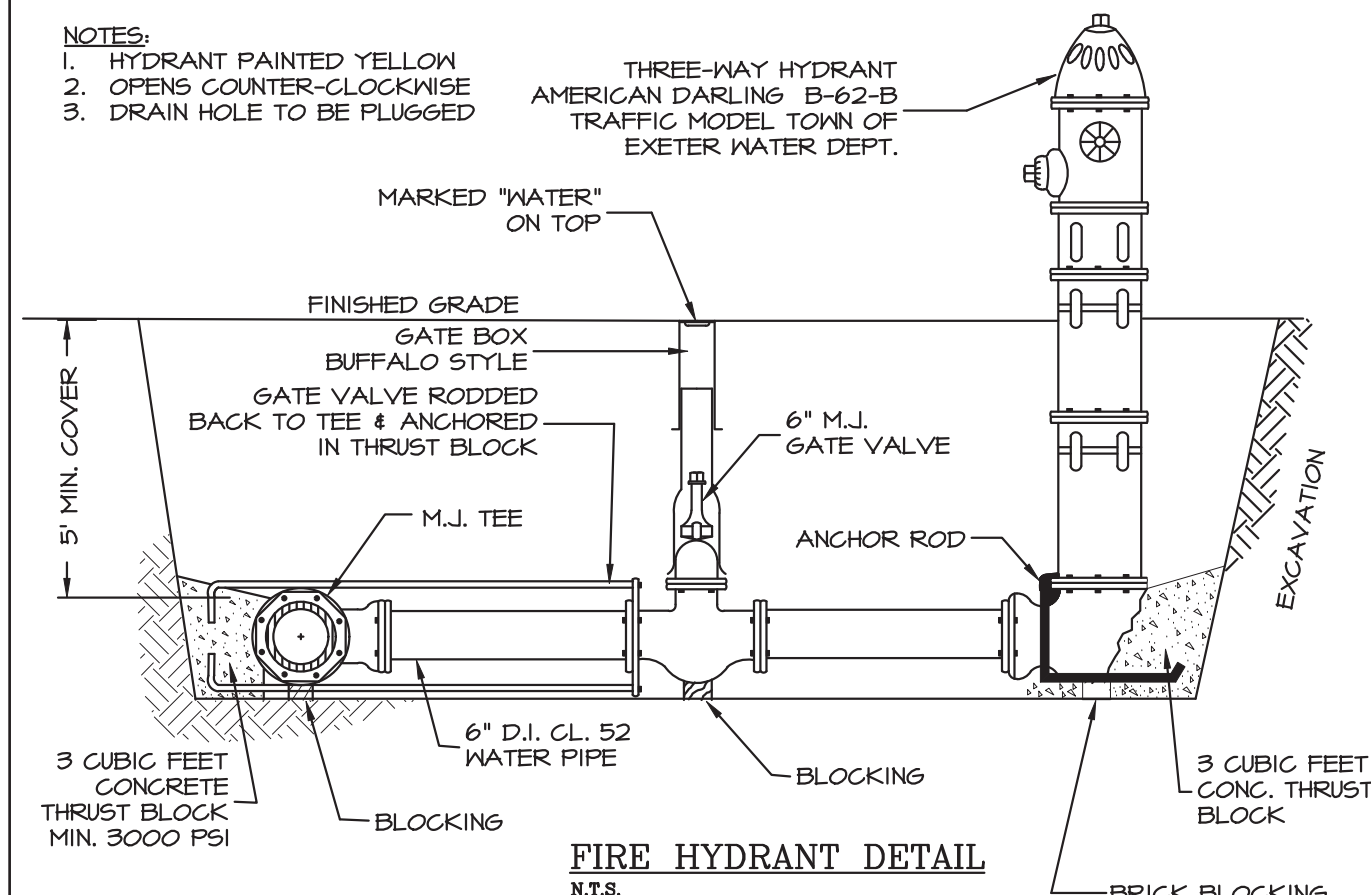
THRUST BLOCK PLACEMENT ON BENDS, TEES,
AND PLUGS
N.T.S.



DRIVEWAY & PARKING LOT TYPICAL PIPE-RUN SECTION
N.T.S.



SEWER/WATER CROSSING DETAIL
N.T.S.



FIRE HYDRANT DETAIL
N.T.S.


A circular professional engineer seal for the State of New Hampshire. The outer ring contains the text "STATE OF NEW HAMPSHIRE" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle contains the name "ERIC W. BOTTEMAN", the license number "No. 7280", and the word "LICENSED". There are handwritten initials "E.W.B." and a signature across the seal.

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

[illegible]

CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS

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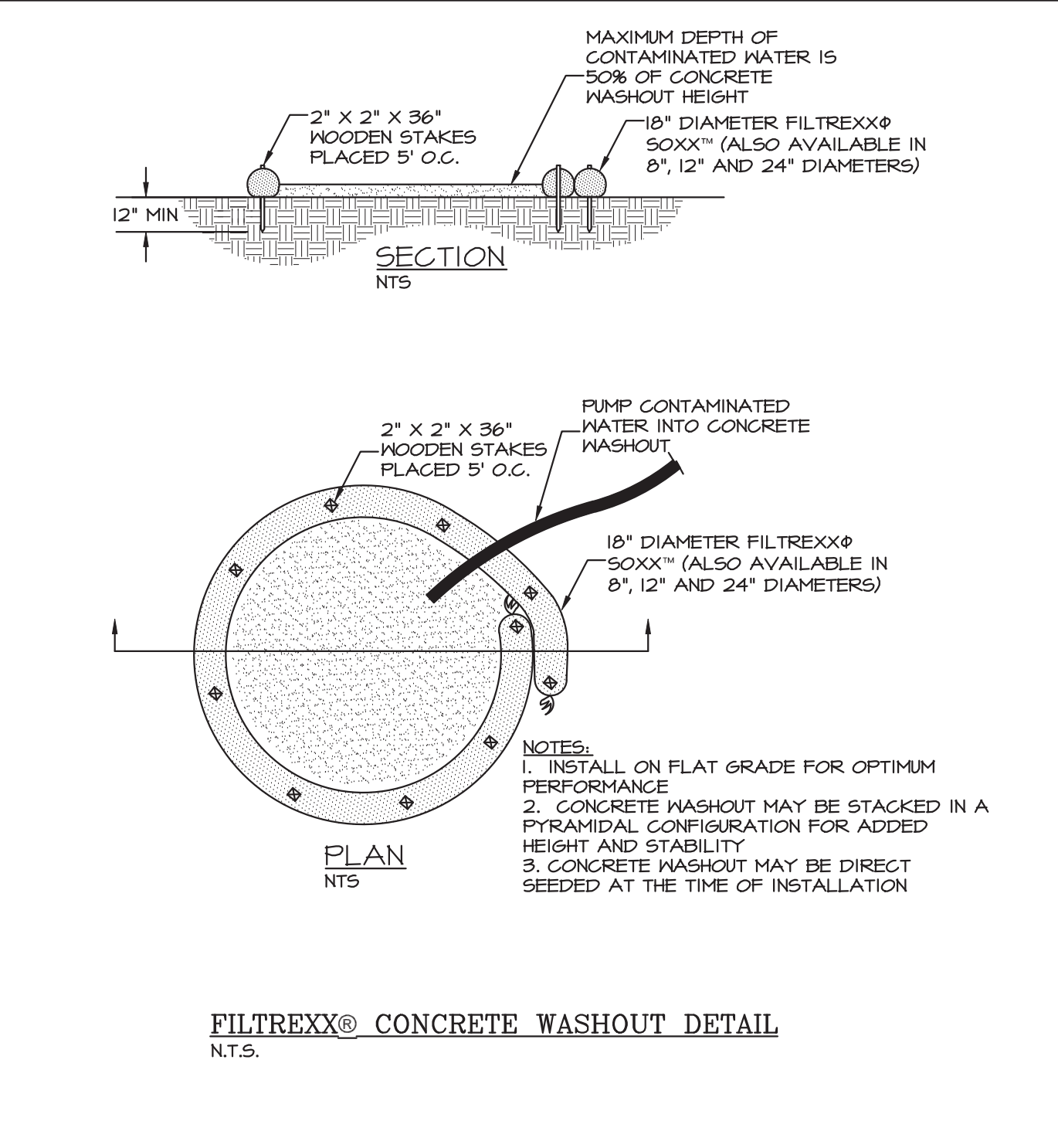
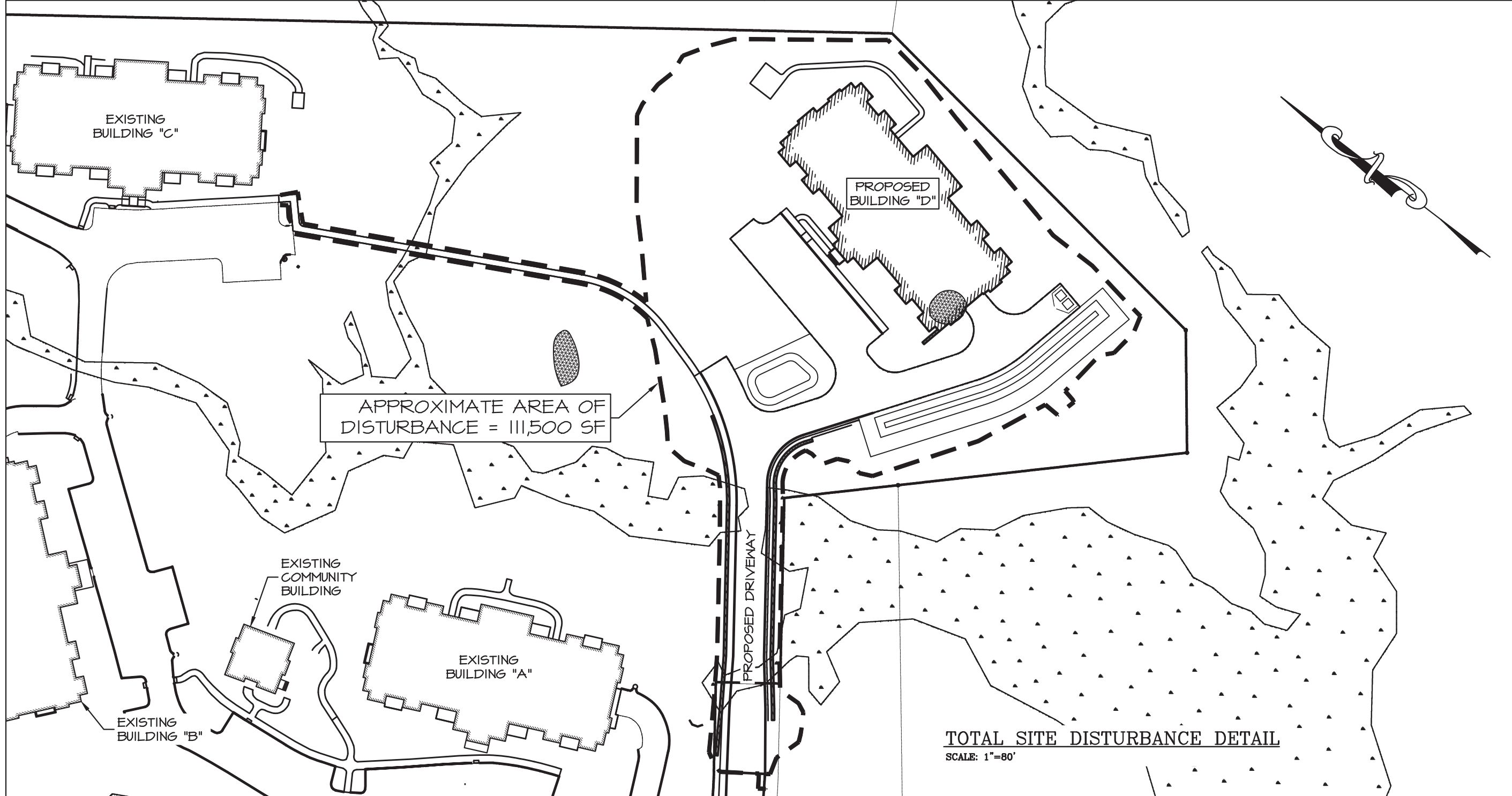
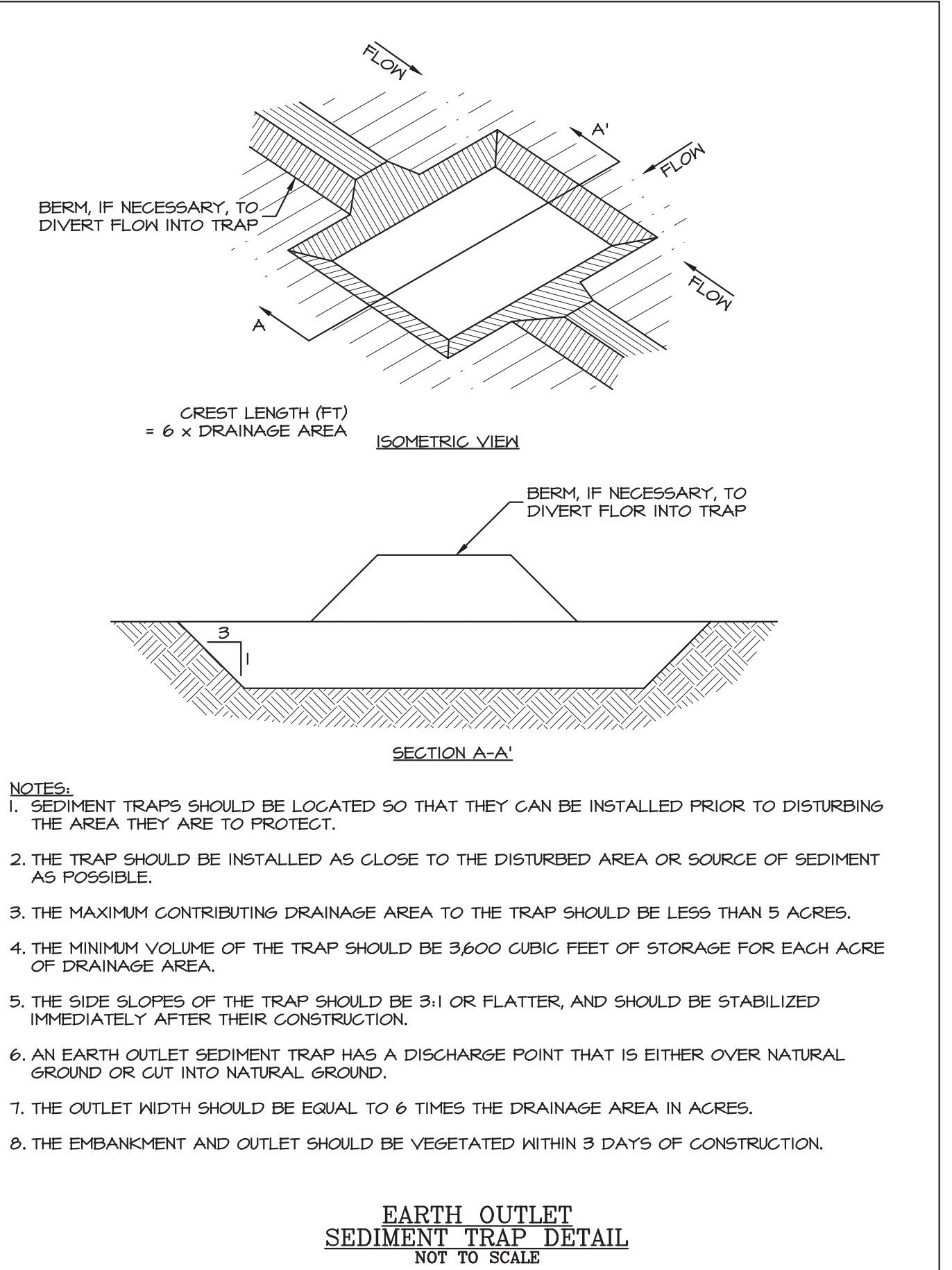
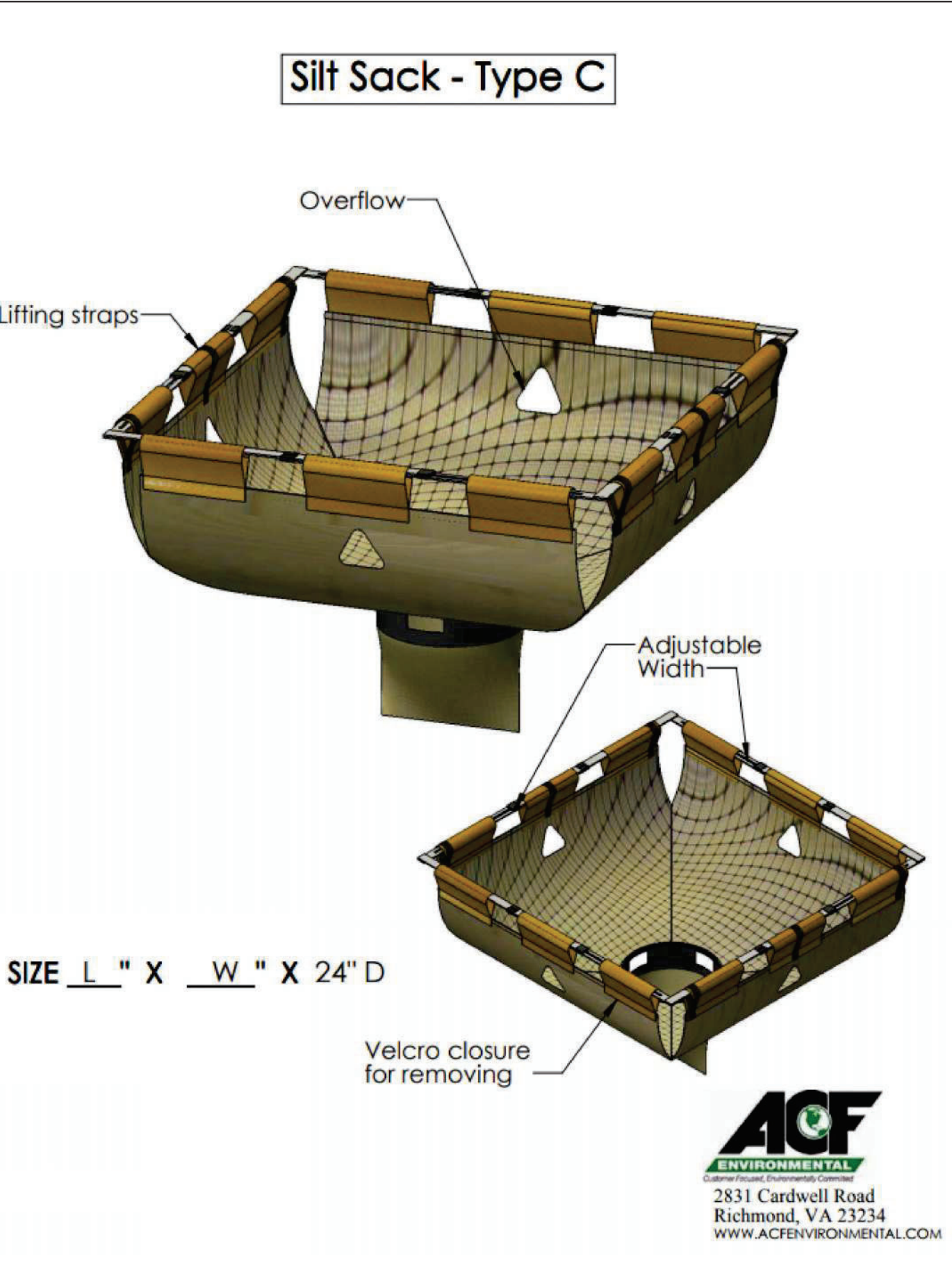
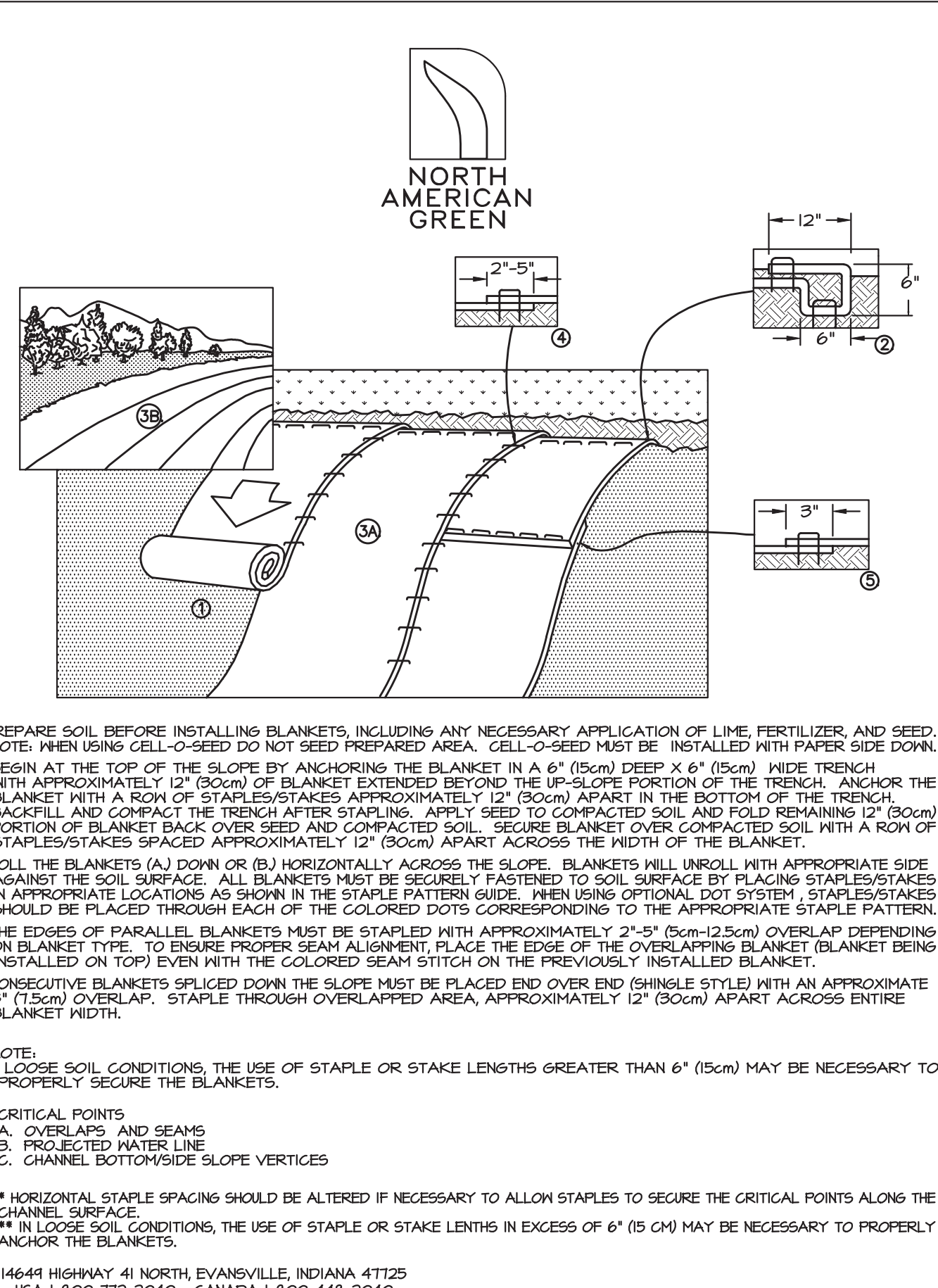
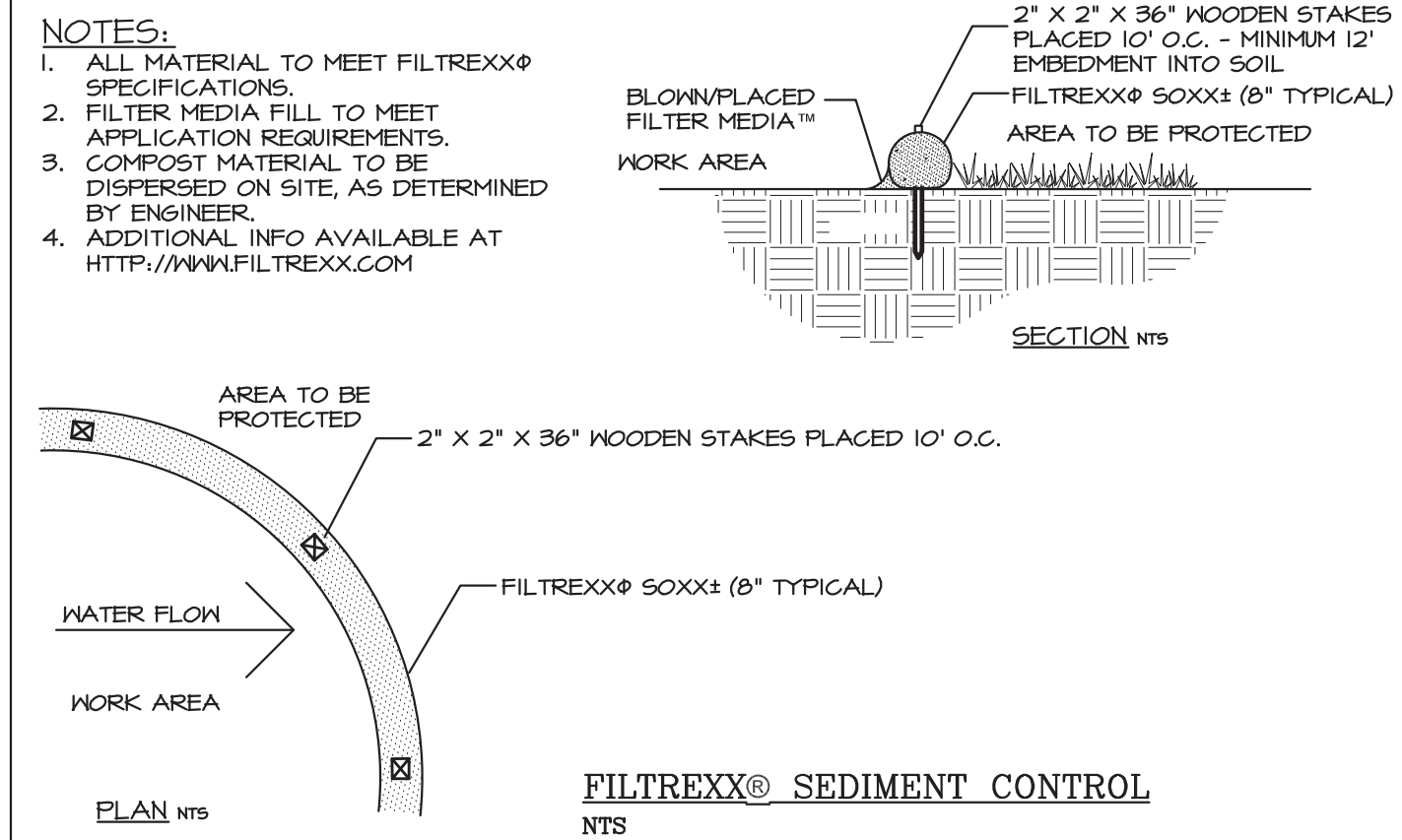
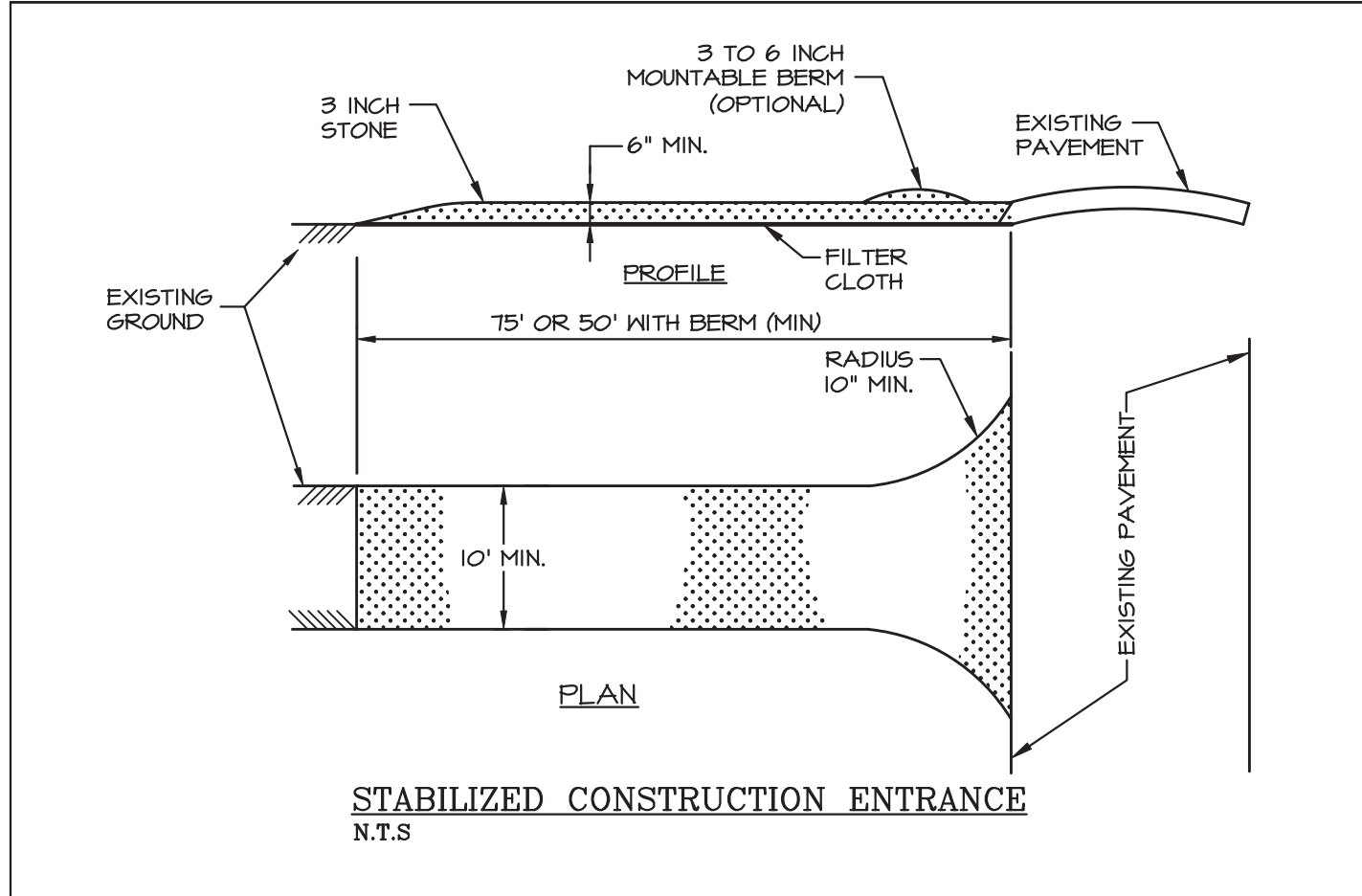
SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
UTILITY DETAILS

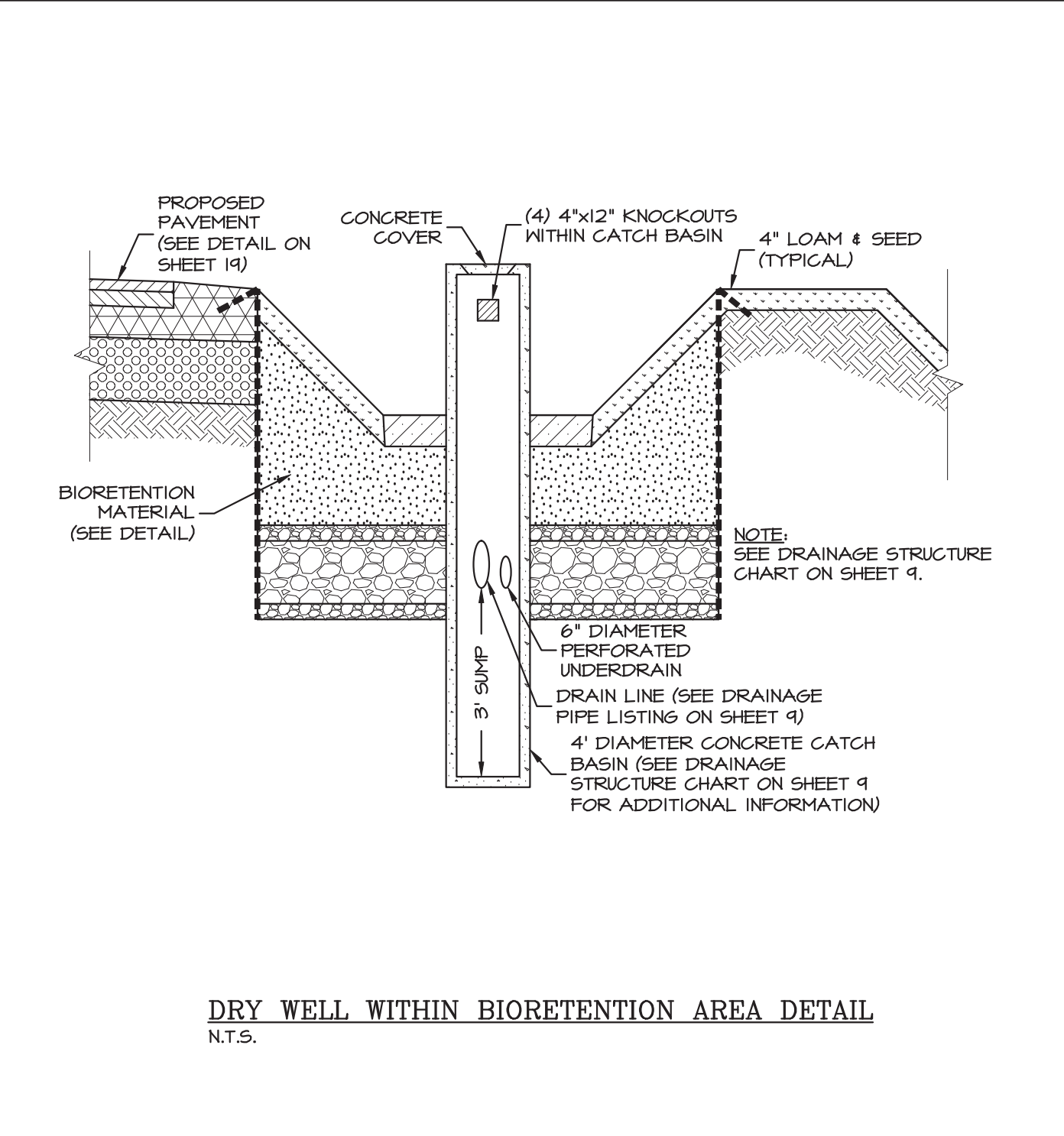
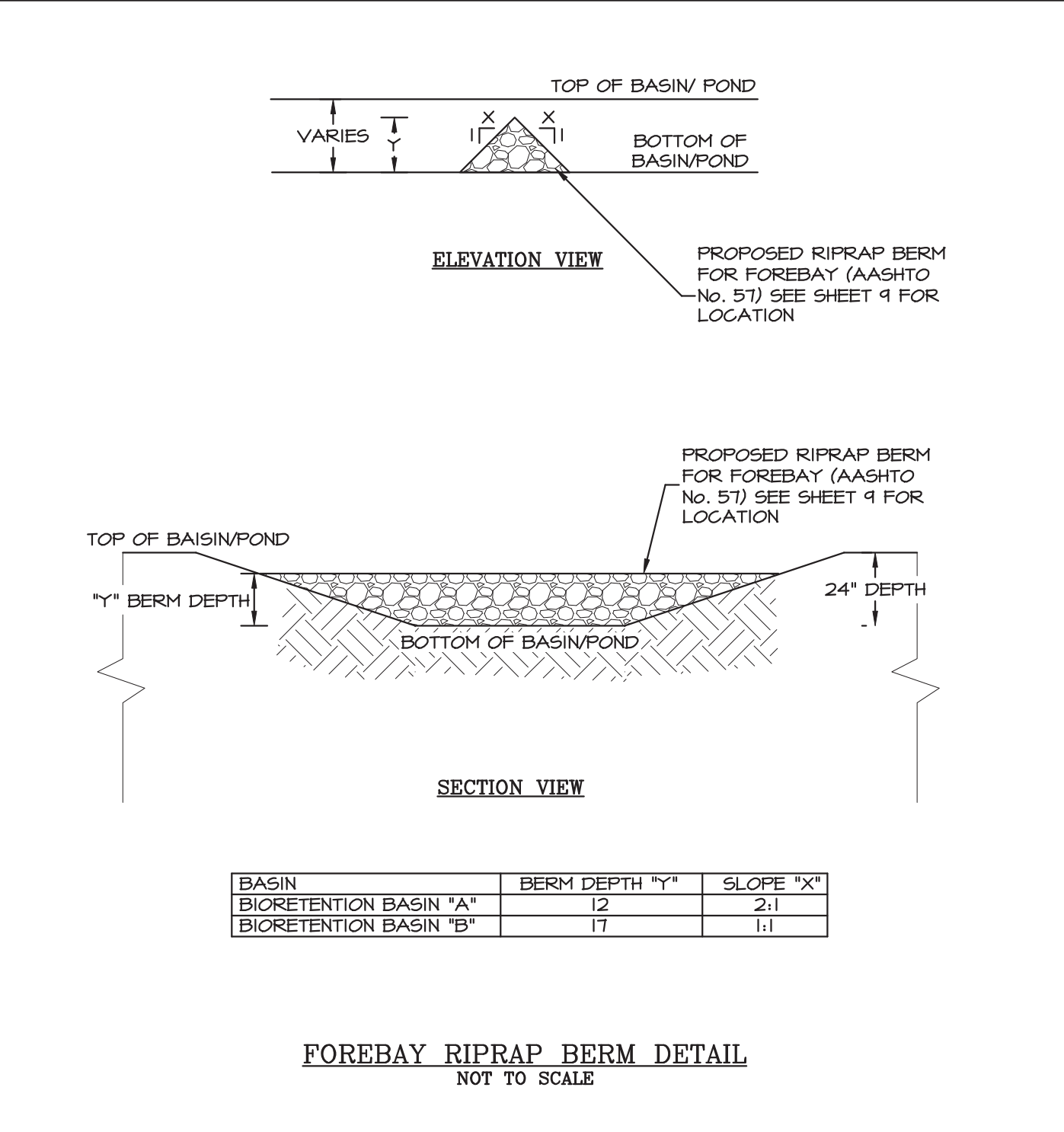
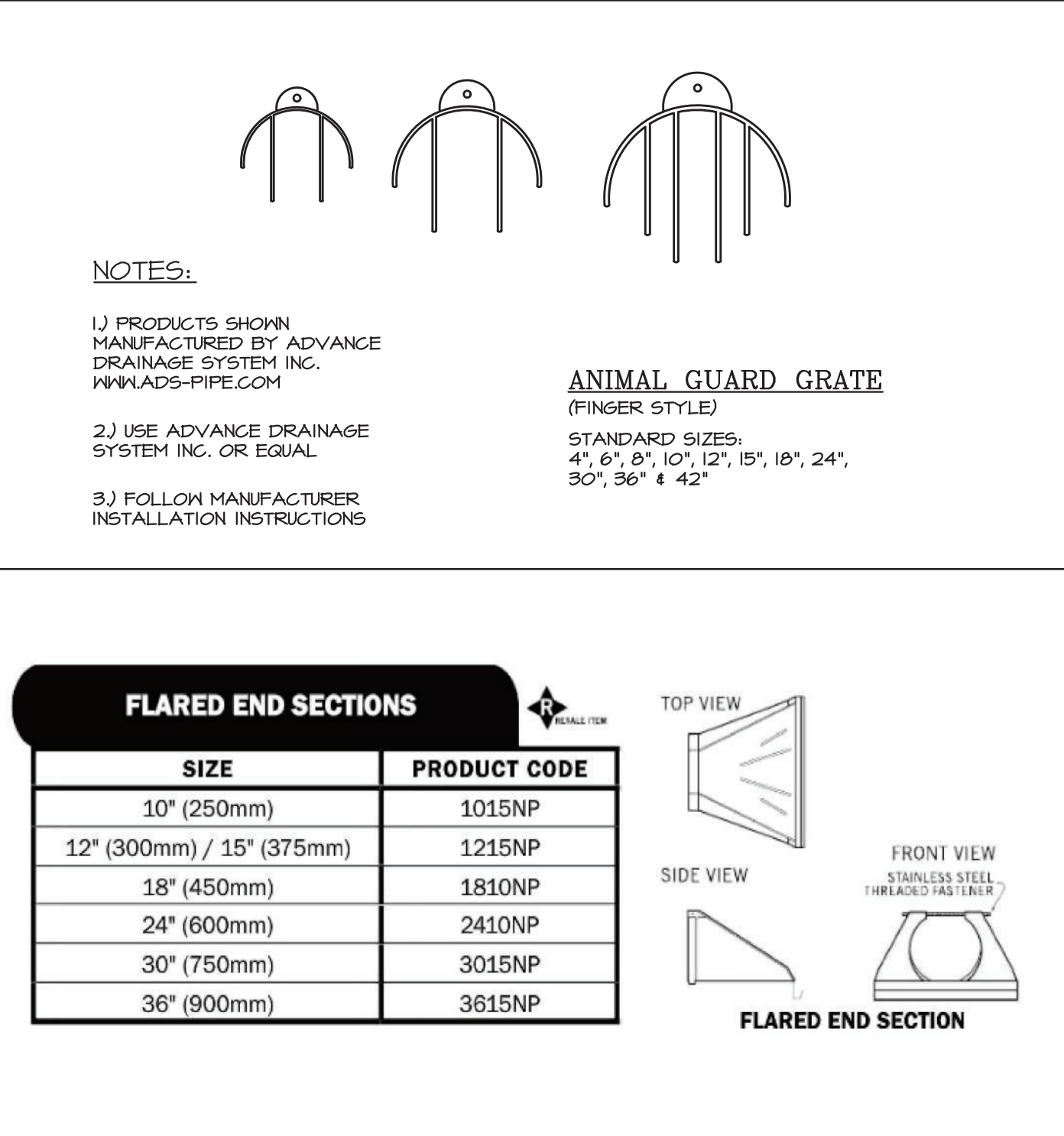
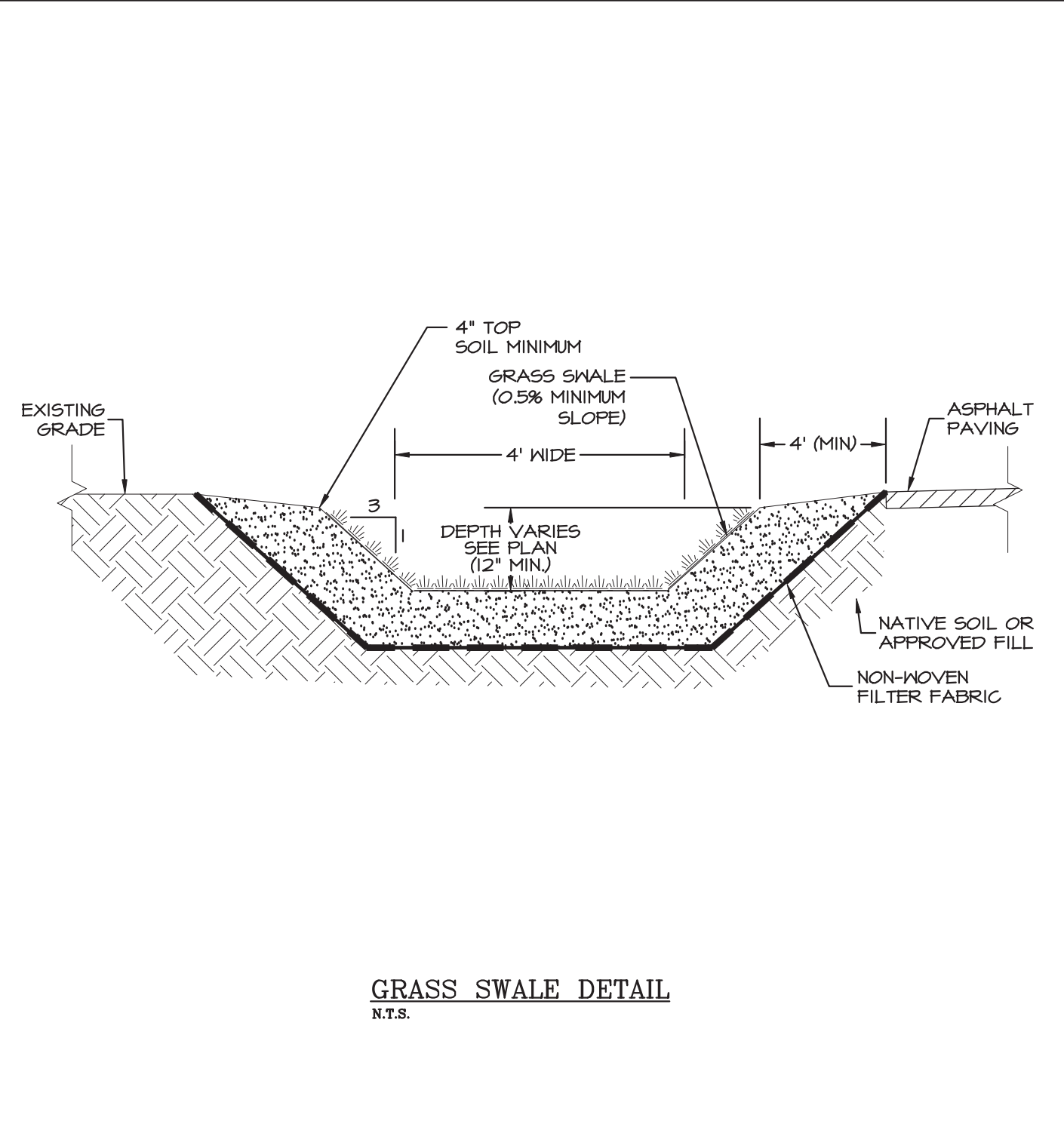
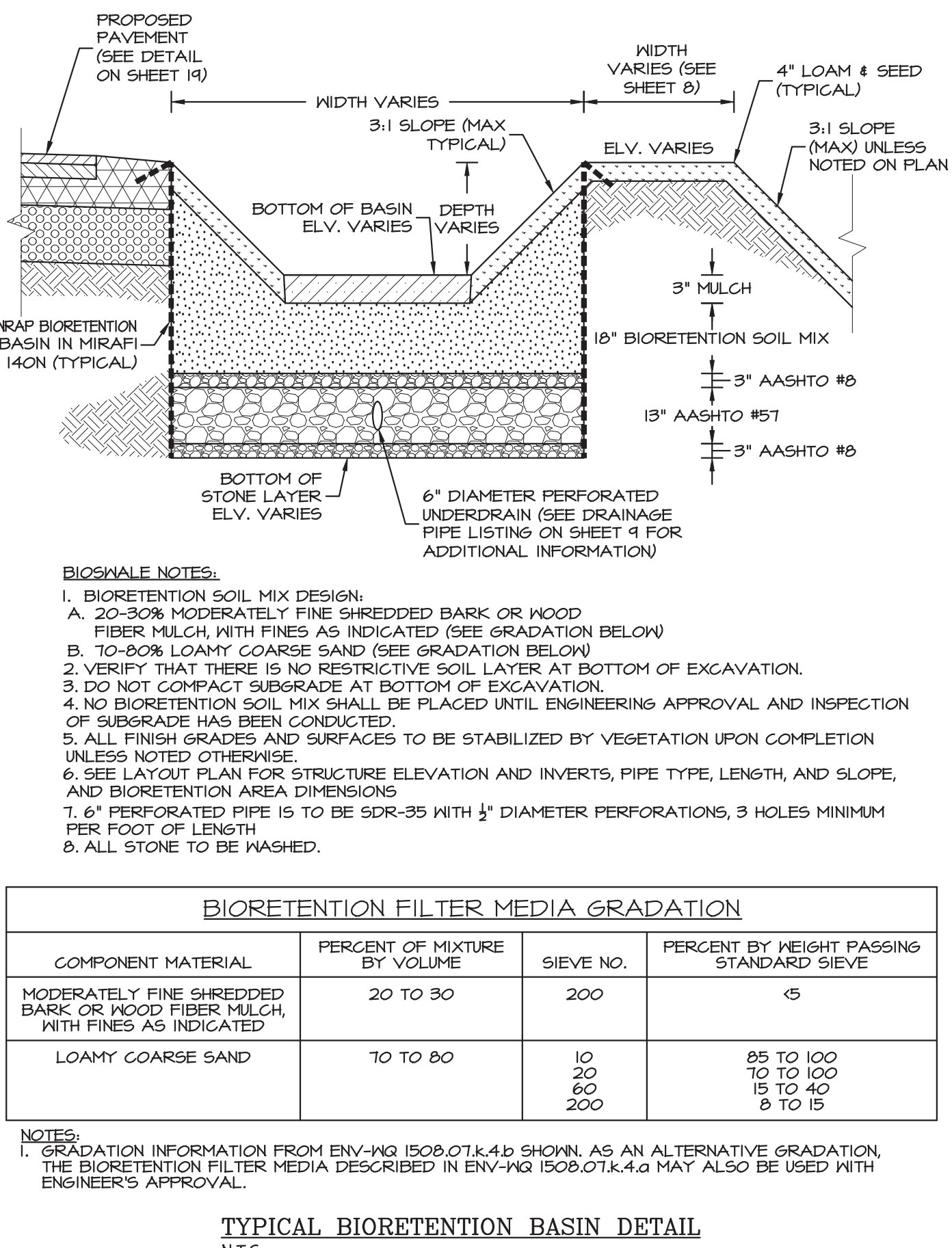
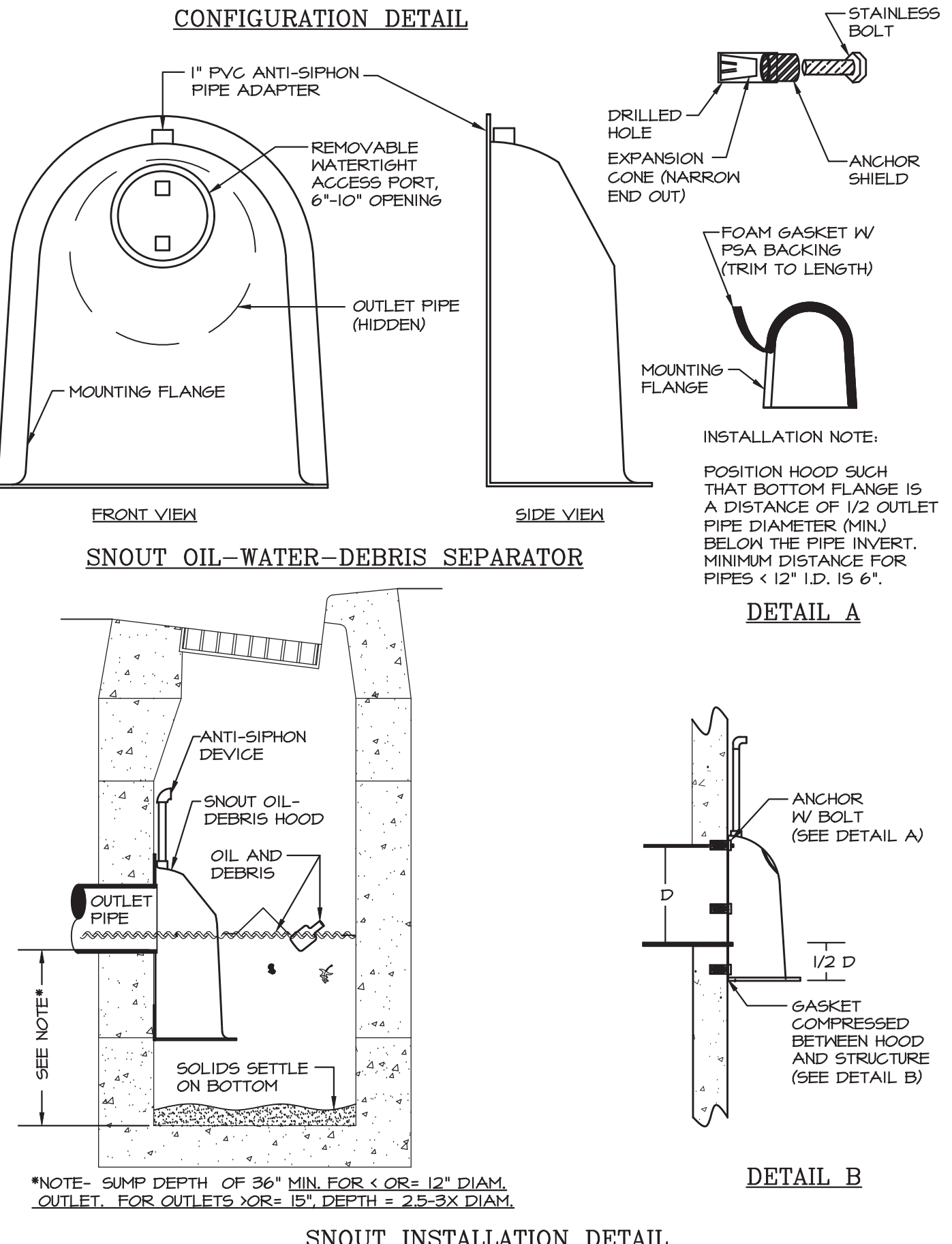
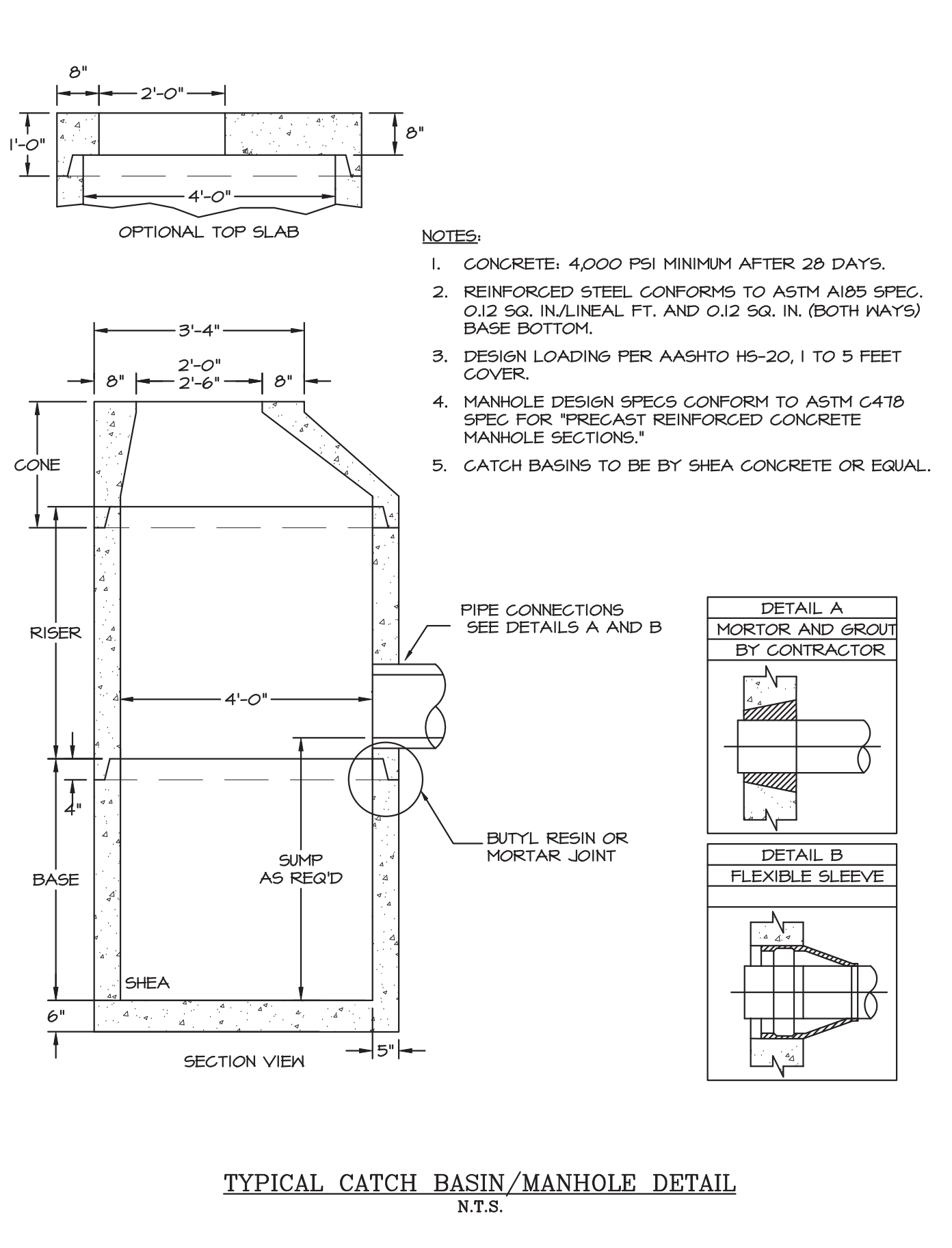
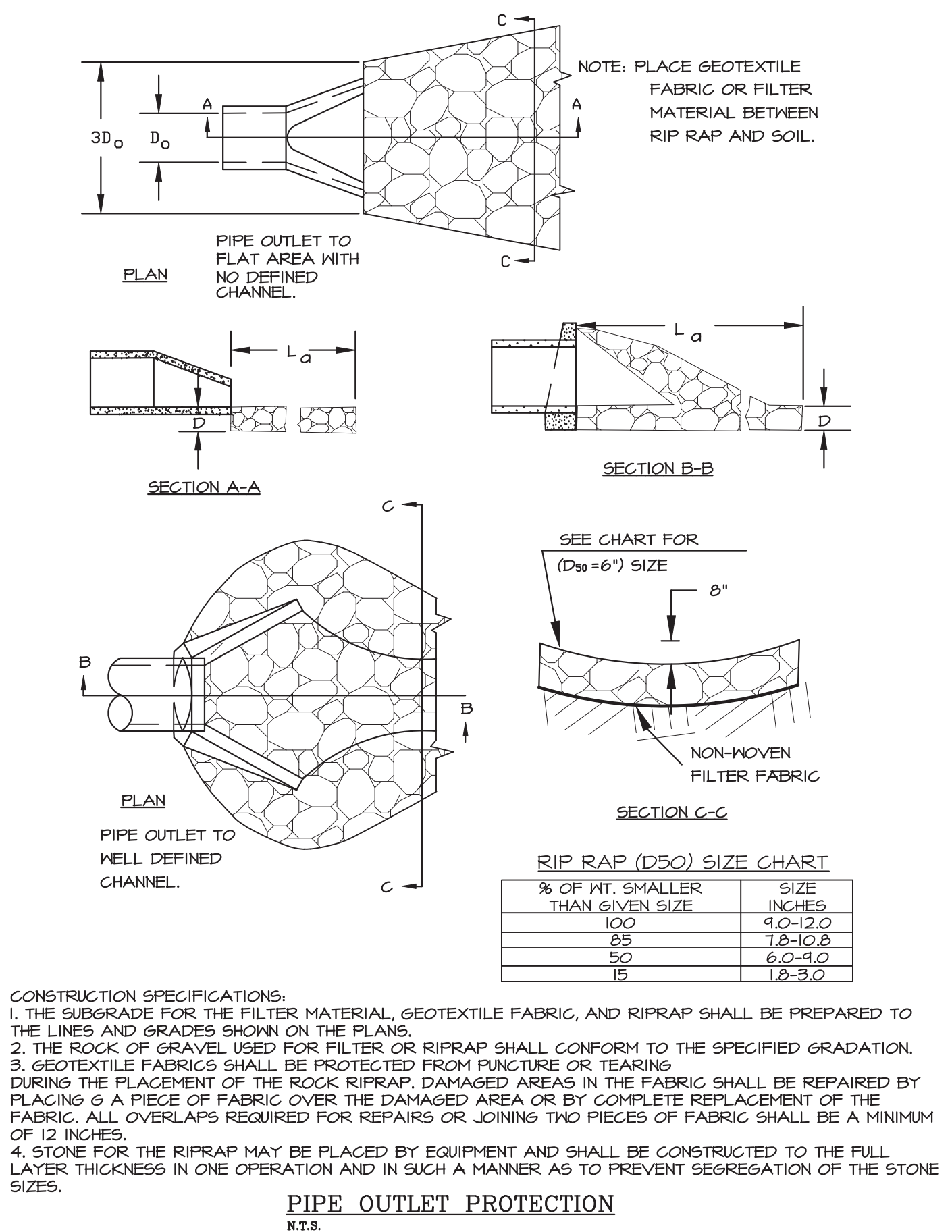
SHEET: 20

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

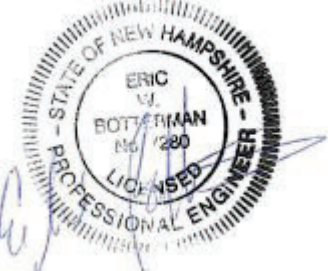


GRAPHIC SCALE: 	RECORD OWNER CKT ASSOCIATES, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801						 CIVIL & STRUCTURAL CONSULTANTS, LAND PLANNERS 100 GRIFFIN ROAD, UNIT C, PORTSMOUTH, NH 03801 603-772-4400 EMANUELEENGINEERING.COM ©2025	 MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SITE PLAN IN EXETER, NH SHOWING BUILDING "D" AT RAY FARM OFF RAY FARMSTEAD ROAD		PLAN TITLE EROSION CONTROL DETAILS
	APPLICANT WILLEY CREEK CO, LLC 158 SHATTUCK WAY NEWINGTON, NH 03801		NO.	DATE	DESCRIPTION	BY			SCALE: AS SHOWN DATE: NOV. 10, 2025	CALC. BY: JJM CHKD. BY: BDS	PROJECT: 25-1019

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.




GRAPHIC SCALE:



RECORD OWNER	CKT ASSOCIATES, LLC				
	158 SHATTUCK WAY				
	NEWINGTON, NH 03801				
APPLICANT	WILLEY CREEK CO, LLC				
	158 SHATTUCK WAY				
	NEWINGTON, NH 03801	NO.	DATE	DESCRIPTION	BY





MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

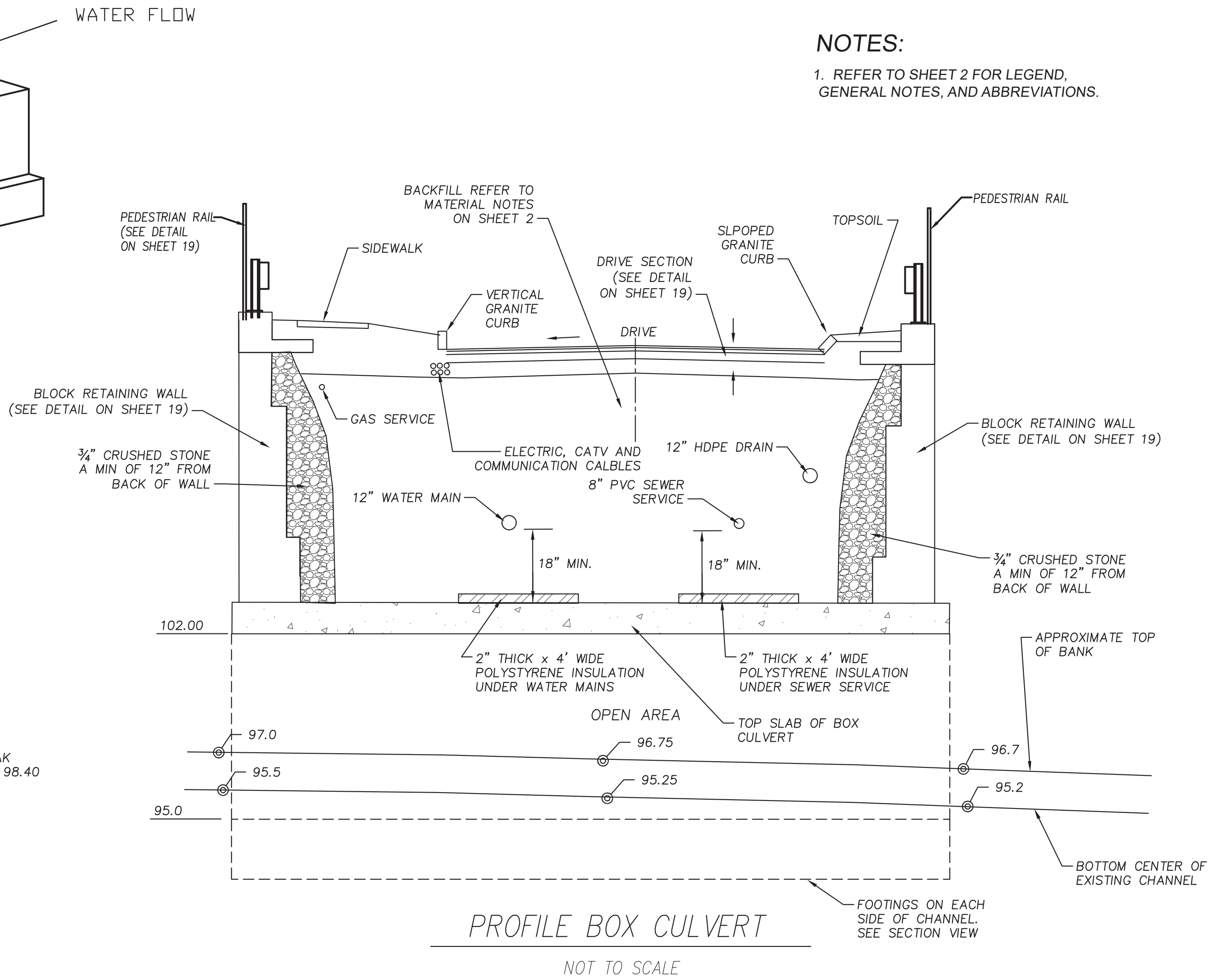
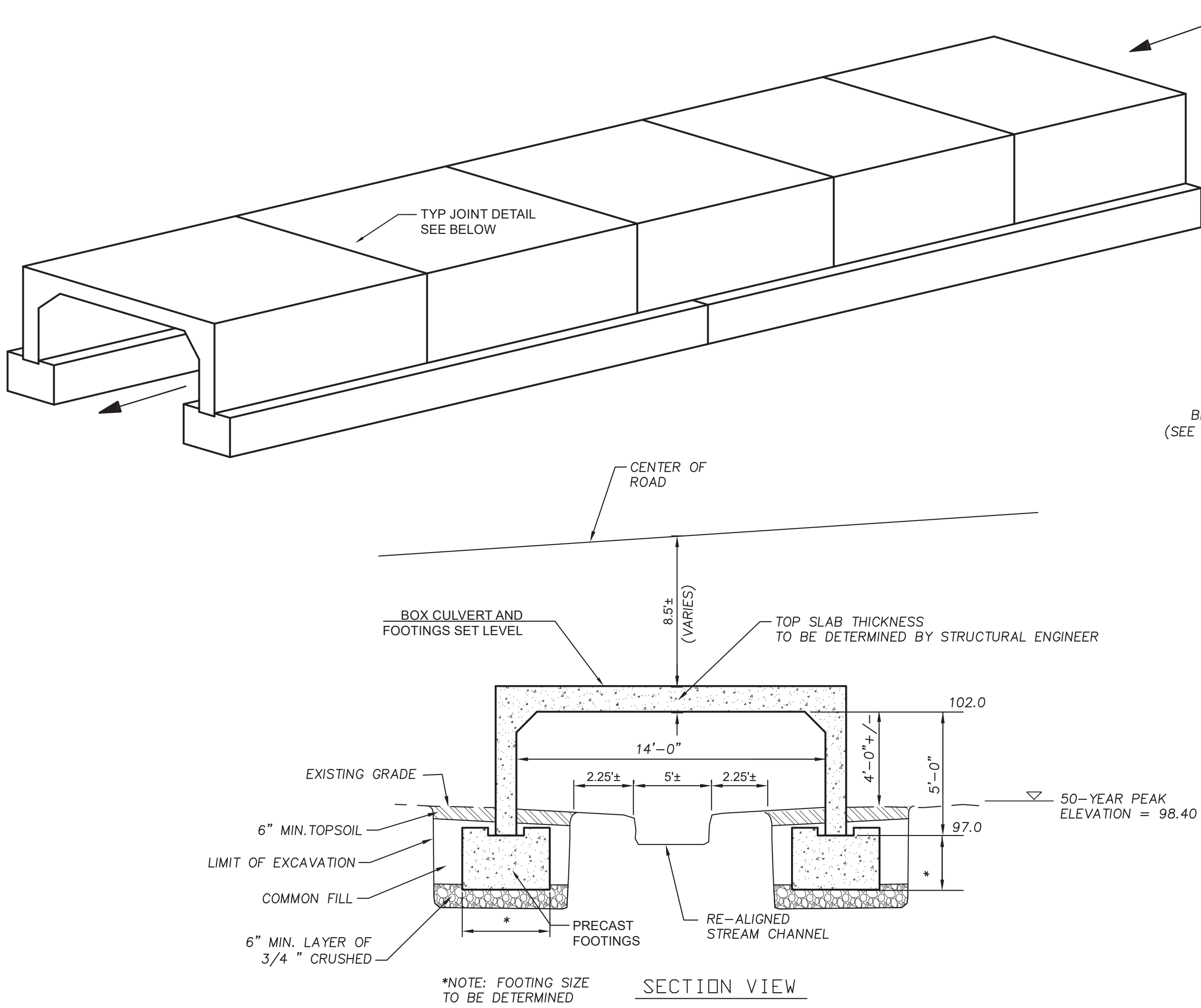
SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: NOV. 10, 2025	CHKD. BY: BDS	

SITE PLAN
IN
EXETER, NH

SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
DRAINAGE DETAILS
SHEET: 22

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

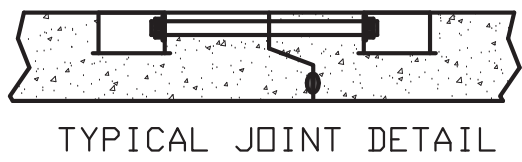


NOTES:
1. REFER TO SHEET 2 FOR LEGEND, GENERAL NOTES, AND ABBREVIATIONS.

DESIGN NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN PER ASTM C1504 SPECIFICATION FOR 3-SIDED CULVERT.
3. ALL REINFORCEMENT PER ASTM A-615-75
4. DESIGN FOR AASHTO H-20 LOADING (FOR VEHICULAR AND TRUCK TRAFFIC).
COVER OVER TOP OF BOX CULVERT WILL BE BETWEEN 8 TO 10 FEET.
A CONCRETE BLOCK RETAINING WALL WILL BE AT EACH END OF THE CULVERT.
5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
6. BORINGS TO DETERMINE BEARING CAPACITY AND SOIL SUITABILITY
SHALL BE CONDUCTED BY A GEOTECHNICAL ENGINEER PRIOR TO DESIGN.
7. INSTALLATION OF BACKFILL AND STRUCTURE SHALL BE UNDER THE DIRECTION OF
A LICENSED GEOTECHNICAL ENGINEER.

NOTE: CULVERT DESIGN TO BE PREPARED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE ENGINEER OF RECORD AND SUBMITTED TO TOWN OF EXETER ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.



BOX CULVERT 3-SIDED

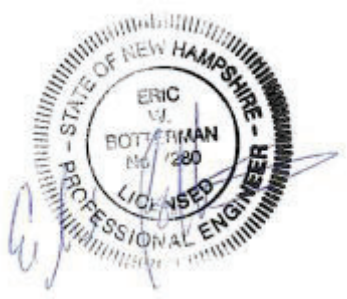
BOX CULVERT
NOT TO SCALE

TOWN OF EXETER PLANNING BOARD

CHAIRMAN

DATE

GRAPHIC SCALE:

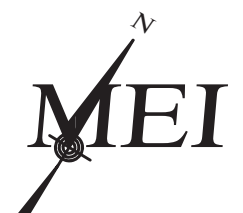


RECORD OWNER
CKT ASSOCIATES, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

APPLICANT
WILLEY CREEK CO, LLC
158 SHATTUCK WAY
NEWINGTON, NH 03801

NO.	DATE	DESCRIPTION	BY





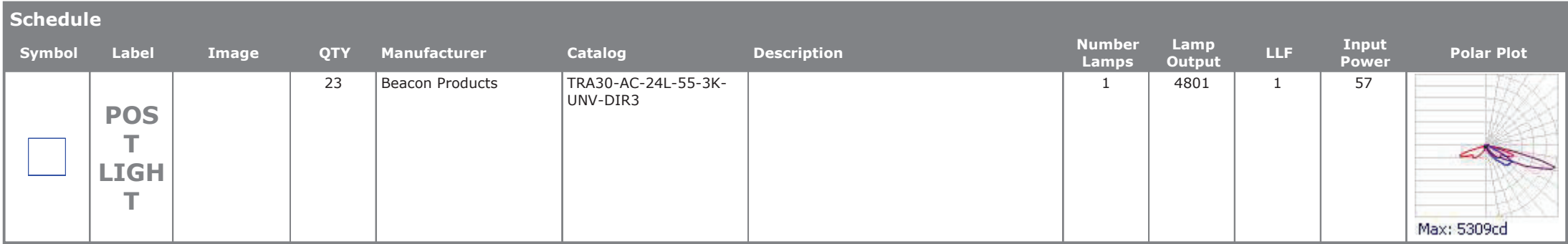
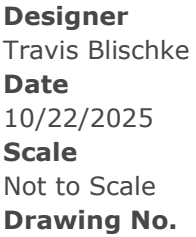
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN	CALC. BY: JJM	PROJECT: 25-1019
DATE: OCT. 31, 2025	CHKD. BY: BDS	

SITE PLAN
IN
EXETER, NH

SHOWING
BUILDING "D" AT RAY FARM
OFF
RAY FARMSTEAD ROAD

PLAN TITLE
**BOX
CULVERT
DETAILS**
SHEET: 23



Scale - 1" = 25ft

Building "D" Revision PLANT LIST

11/25
Trees green
Shrubs blue

EVERGREEN TREES / SHRUBS

- 3 Abies concolor 'White Fir' 8-10' BB
- 3 Picea pungens gl. 'Montgomery' Blue Spruce 10 gal.
- 3 Thuja occidentalis 'George Peabody' Arborvitae 10 gal.
- 6 Buxus 'Green Mountain' Boxwood 2-2.5' BB
- 2 Juniperus virginiana 'Blue Arrow' juniper 6-7' BB
- 2 Taxus media 'Everlow' - Spreading Yew 2.5-3' BB
- 6 Leucothoe axillaris 'Coast Leucothoe' 15-18"
- 9 Microbiota decussata 'Russian Cypress' 3 gal.

DECIDUOUS FLOWERING SHRUBS

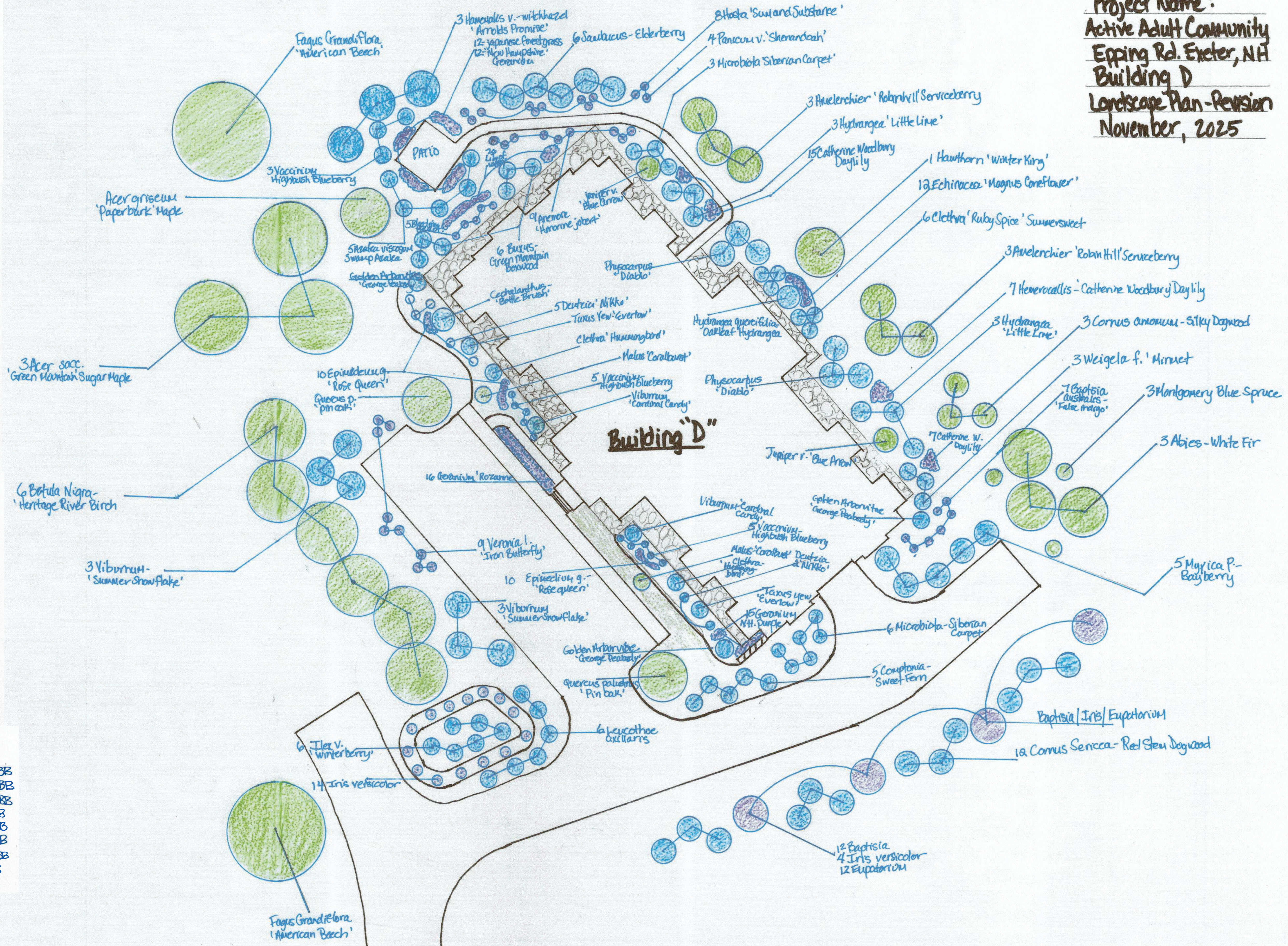
- 5 Myrica pennsylvanica - Northern Bayberry 3 gal.
- 3 Weigela f. 'Minuet' 3 gal.
- 6 Hydrangea paniculata 'Little Lime' 5 gal.
- 1 Hydrangea quercifolia 'Oakleaf Hydrangea' 4-5' BB
- 6 Cletdra alnifolia 'Ruby Spice' - Summersweet 10 gal.
- 2 Cletdra alnifolia 'Hummingbird' - Summersweet 5 gal.
- 6 Sambucus racemosa 'Gerda' Elderberry 5 gal.
- 3 Hamamelis in. 'Arnold's Promise' - Witchhazel 3-4' BB
- 5 Azalea viscosum - Swamp Azalea 5 gal.
- 13 Vaccinium corymbosum 'Northland' HB Blueberry 5 gal.
- 6 Physocarpus opulifolius 'Diablo' Ninebark 3 gal.
- 1 Cephalanthus - Bottlebrush 3 gal.
- 7 Deutzia gracilis - Deutzia 5 gal.
- 6 Viburnum pt. 'Summer Snowflake' Viburnum 3-4' BB
- 2 Viburnum dilatatum 'Cardinal Candy' Viburnum 4-5' BB
- 6 Ilex verticillata 'Red Sprite' Winterberry 5 gal.
- 5 Comptonia peregrina - Sweet Fern 3 gal.
- 12 Cornus sericea 'Red Stem Dogwood' 3-4'

PERENNIALS

- 19 Baptisia australis - False indigo 1 gal.
- 12 Hebeacallis 'Joan Senior' Daylily 2 gal.
- 22 Hebeacallis 'Catherine Woodbury' Daylily 2 gal.
- 12 Echinacea purpurea 'Magnus Coreflower' 1 gal.
- 8 Hosta 'Sun and Substance' 3 gal.
- 4 Panicum v. 'Shenandoah' Grass 3 gal.
- 27 Geranium sanguineum 'New Hampshire Purple' 1 gal.
- 12 Hakonechloa macra 'Aureola' J. Forest Grass 1 gal.
- 5 Dicentra spectabilis
- 9 Anemone hybrida 'Honorine Jobert' Windflower
- 20 Epimedium q. 'Rose Queen' Barrenwort 1 gal.
- 16 Geranium willichianum 'Rozanne' 1 gal.
- 12 Eupatorium - Joe Pye Weed 2 gal.
- 18 Iris versicolor - Blue Flag Iris 2 gal.
- 9 Veronica lettermanni 'Iron Butterfly' Ironweed 2 gal.

LARGE DECIDUOUS TREES / FLOWERING

- 1 Crataegus viridis 'Winter King' Hawthorn 2.5-3' BB
- 2 Fagus grandiflora 'American Beech' 3-3.5' BB
- 3 Acer saccharum 'Green Mountain' Sugar Maple 3-3.5' BB
- 1 Acer griseum 'Paperbark' Maple 2.5-3' BB
- 2 Quercus palustris 'Pin Oak' 3.5-4' BB
- 2 Malus Coralbelle 'Coralbelle Flowering Crab' 2.5-3' BB
- 6 Amelanchier x grandiflora 'Autumn Brilliance' 2-2.5' BB
- 3 Cornus amomum 'Silky Dogwood' 6-10' BB



Project Name:
Active Adult Community
Epping Rd. Exeter, NH
Building D
Landscape Plan - Revision
November, 2025