



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709
www.exeternh.gov

EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, May 28, 2026 at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

CALL TO ORDER

APPROVAL OF MINUTES

May 14, 2026

REPORTS

OLD BUSINESS

The continuation of the public hearing for application 26-3 for J. Caley Associates for site plan review for the proposed demolition of the existing dry-cleaning building and proposed development of a 4-story building for 22-room hotel. The property is located in the C-2 Highway Commercial Zoning District and is identified as tax Map #65-125. PB Case #26-3

NEW BUSINESS

CORRESPONDENCE

OTHER BUSINESS

- Election of Officers
- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

ADJOURNMENT

EXETER PLANNING BOARD

Langdon J. Plumer, Chairman

Posted 05/20/26: Exeter Town Office and Town of Exeter website Exeter website

**TOWN OF EXETER
PLANNING BOARD
NOWAK ROOM
10 FRONT STREET
MAY 14, 2026
DRAFT MINUTES
7:00 PM**

I. PRELIMINARIES:

BOARD MEMBERS PRESENT BY ROLL CALL: Chair Langdon Plumer, Vice-Chair Aaron Brown, John Grueter (remotely), Clerk, Marty Kennedy, Alternate Dean Hubbard, Alternate Sam MacLeod, Alternate Elaine Hays, and Select Board Representative Nancy Belanger.

STAFF PRESENT: Town Planner Dave Sharples (remotely)

II. CALL TO ORDER: Chair Plumer called the meeting to order at 7 PM, and the members introduced themselves. Alternates Hays and MacLeod were activated.

III. NEW BUSINESS:

IV. OLD BUSINESS

1. The continuation of application 26-3 for J. Caley Associates for site plan review for the proposed demolition of the existing dry-cleaning building and proposed development of a 4-story building for 22-room hotel
C-2 Highway Commercial Zoning District
Tax Map #65-125
Planning Board Case #26-3.

Chair Plumer reported that the Board received a request for an extension from the applicant to the May 28th meeting.

Ms. Belanger motioned to continue Planning Board Case #26-3 to the Board's May 28, 2026 meeting at 7 PM in the Nowak Room. Mr. MacLeod seconded the motion. A roll call vote was taken. Kennedy aye, Plumer – aye, Brown – aye, Belanger – aye, MacLeod – aye, Hays – aye, and Grueter aye. The motion passed 7-0-0.

2. Request for Extension
Planning Board Case #22-6
First Baptist Church, now PEA
43 Front Street

Heather Taylor of PEA presented the request for an extension of the conditional approval for one year.

43 **Mr. MacLeod motioned to extend the conditional approval for Case #22-6 for one year to May 26,**
44 **2027 for the renovation of the Baptist Church at 43 Front Street. Ms. Belanger seconded the motion. A**
45 **roll call vote was taken. Kennedy aye, Plumer – aye, Brown – aye, Belanger – aye, MacLeod – aye,**
46 **Hays – aye, and Grueter aye. The motion passed 7-0-0.**

47

48 **APPROVAL OF MINUTES**

49

50 April 9, 2026

51

52 **Ms. Belanger motioned to approve the April 9, 2026 meeting minutes. Mr. Kennedy seconded the**
53 **motion. A roll call vote was taken, Kennedy aye, Plumer – aye, Brown – abstained, Belanger – aye,**
54 **MacLeod – aye, Hays – aye, and Grueter aye. The motion passed 6-0-1.**

55

56 April 23, 2026

57

58 Mr. Kennedy, Ms. Belanger and Mr. Grueter recommended edits.

59

60 **Ms. Belanger motioned to approve the April 23, 2026 minutes as amended. Mr. Kennedy seconded**
61 **the motion. A roll call vote was taken, Kennedy aye, Plumer – aye, Brown – aye, Belanger – aye,**
62 **MacLeod – aye, Hays – aye, and Grueter aye. The motion passed 7-0-0.**

63

64 **V. OTHER BUSINESS**

65

66

- 67 • Election of Officers – **Tabled**

68

69 The Board reviewed which members were serving on which other committees. Mr.
70 MacLeod would like to be added to HDC.

71

- 72 • Letter of Support for Safe Streets for All (SS4A) funding request

73

74 Mr. Sharples provided a draft letter in support of the grant which is due May 26th. He
75 reviewed the proposal for lights at Continental Ave, Epping Road, down 27 Main – Water
76 Street and Hampton Road. He detailed improvements to Brentwood Road, widening bike
77 lanes, sidewalks and a center turn lane. He discussed the intersection of Winter and Park
78 Street and crosswalk on Main Street in downtown. He noted the recommendation for the
79 bandstand in front of town offices to move traffic to one side and have a four way stop with
80 green space. He discussed Clifford and Franklin Street by the Sea Dog and modifications and
81 safety improvements. He discussed the crosswalk at Buzzell and Drinkwater intersection,
82 the mid-block by Whipporwill, crosswalk improvements and extension and improvement to
83 Holland and Hampton Road with a potential roundabout. He discussed Guinea Road and
84 the sidewalk to the Middle School. The project estimate is \$16-\$17 million and the grant is
85 from \$2.5 million up to \$25 million). Mr. Sharples noted the proposals are supported by the

86 VHB Corridor study, Stantec Evaluation, RPC Action Plan, Bike & Pedestrian Complete
87 Streets and 2018 Master Plan. If successful the town would vote on the 20% match which is
88 approximately \$3 million. He noted there are other options.

89
90 ***Mr. MacLeod motioned to send a letter of support of Safe streets and to allow the Chair to***
91 ***sign. Ms. Belanger seconded the motion. A roll call vote was taken Ms. Hayes voted aye,***
92 ***Mr. MacLeod voted aye, Mr. Kennedy voted aye, Chair Plumer voted aye, Vice-Chair***
93 ***Brown voted aye, Ms. Belanger voted aye, and Mr. Grueter voted aye. The motion passed***
94 ***7-0-0.***

- 95
- 96 • Master Plan Discussion
 - 97
 - 98 • Field Modifications
 - 99
 - 100 • Bond and/or Letter of Credit Reductions and Release

101

102

103 **VI. TOWN PLANNER'S ITEMS**

104 **VII. CHAIRPERSON'S ITEMS**

105 **VIII. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

106 **IX. ADJOURN**

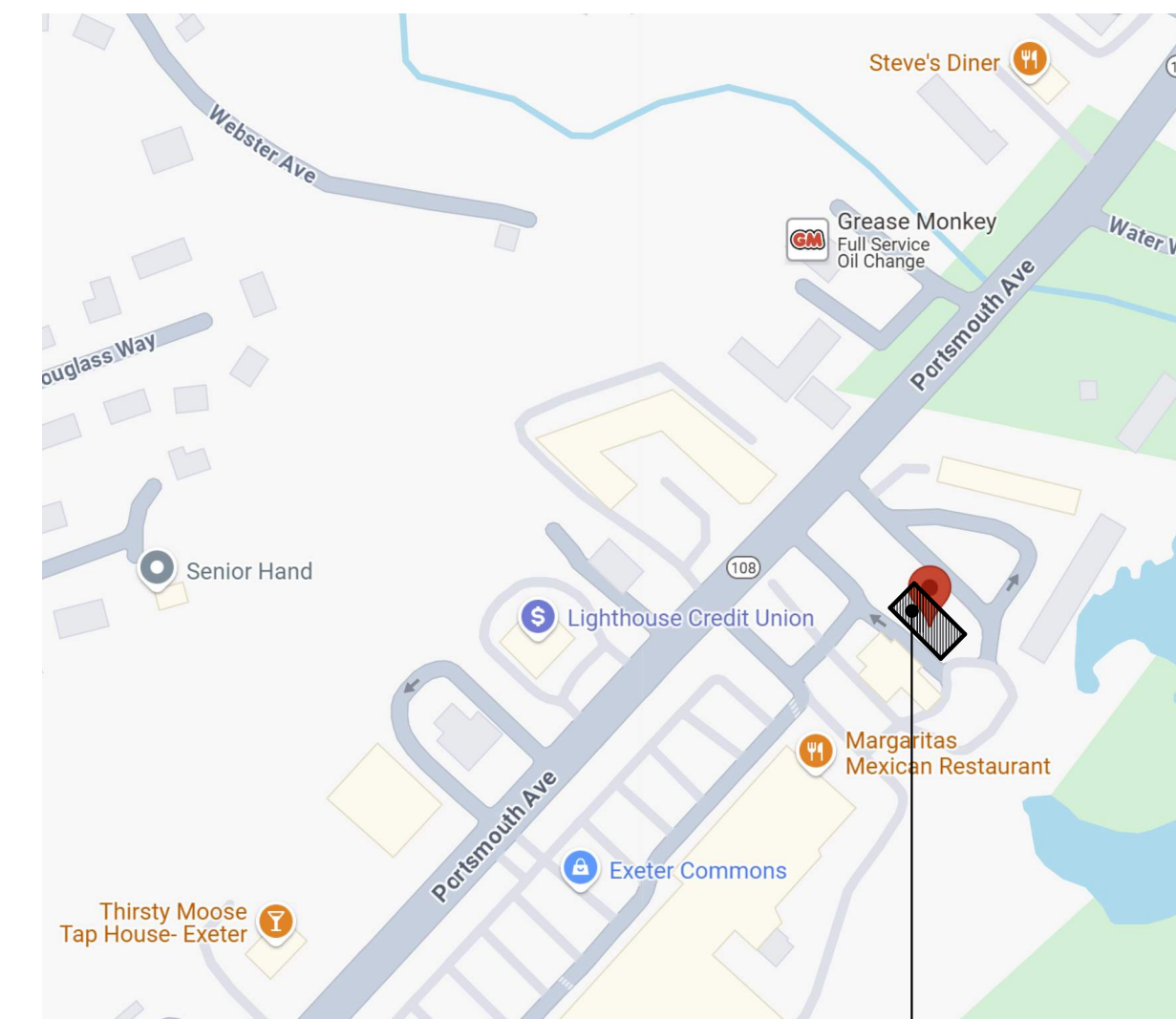
107 ***Mr. Grueter motioned to adjourn the meeting at 7:44 PM. Ms. Belanger seconded the motion.***
108 ***A vote was taken, all were in favor, the motion passed unanimously.***

109 Respectfully submitted.

110 Daniel Hoijer,

111 Recording Secretary (Via Exeter TV)

LOCUS PLAN



PROPOSED MIXED-USE
97 PORTSMOUTH AVE, EXETER, NH

SHEET LIST

| SHEET NUMBER | SHEET NAME | DATE ISSUED | DATE REVISED |
|------------------|--------------------------|-----------------------|--------------|
| 01 GENERAL | | | |
| G000 | COVER SHEET | (Progress 01/06/2026) | |
| 04 ARCHITECTURAL | | | |
| A100 | SITE PLAN & GROUND FLOOR | (Progress 01/06/2026) | |
| A101 | FLOOR PLANS | (Progress 01/06/2026) | |
| A102 | FLOOR PLANS | (Progress 01/06/2026) | |
| A200 | EXTERIOR ELEVATIONS | (Progress 01/06/2026) | |
| A220 | BUILDING SECTIONS | (Progress 01/06/2026) | |
| A500 | VERTICAL CIRCULATION | (Progress 01/06/2026) | |
| A501 | WALL SECTION DETAILS | (Progress 01/06/2026) | |
| A600 | SCHEDULES & DIAGRAMS | (Progress 01/06/2026) | |
| A700 | PERSPECTIVE RENDERINGS | (Progress 01/06/2026) | |

Stamp:

DESIGN TEAM

DEVELOPER
J. CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM, NH 03885

ARCHITECT
SEAN CAREY
446 EMERALD DRIVE
BARRINGTON, NH 03825

CIVIL ENGINEER
BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE.
THIRD FLOOR, SUITE 2
STRATHAM, NH 03885
603-883-4860

STRUCTURAL ENGINEER
TBD

MEP ENGINEERS
TBD

97 PORTSMOUTH AVE MIXED-USE BUILDING



97 PORTSMOUTH AVE, EXETER, NH

MIXED-USE BUILDING

prepared for:
location: Approver

COVER SHEET

REV # REVISION DATE

Date: PROGRESS 05/18/2026
Scale:
Job #: 1124
Sheet No:

G000

Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

SITE PLAN & GROUND FLOOR

prepared for:
location: Approver

REV # REVISION DATE

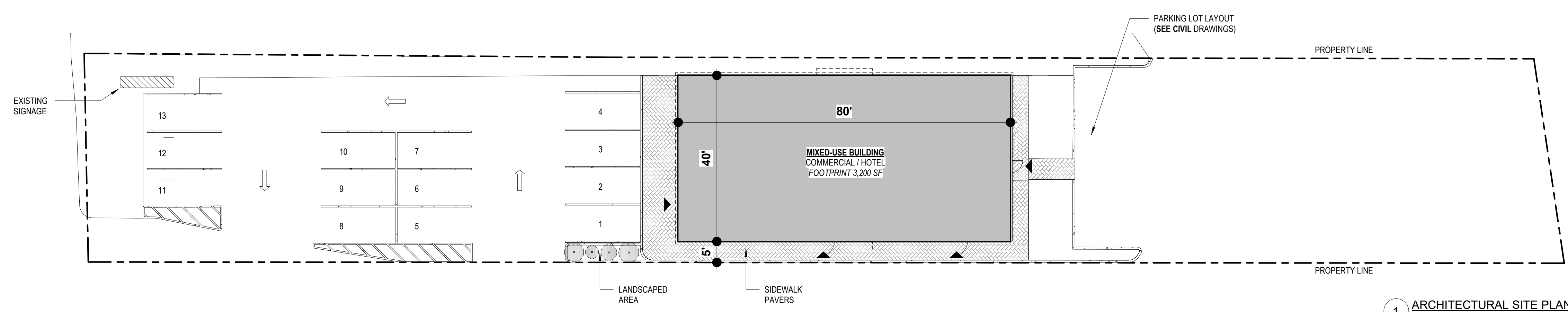
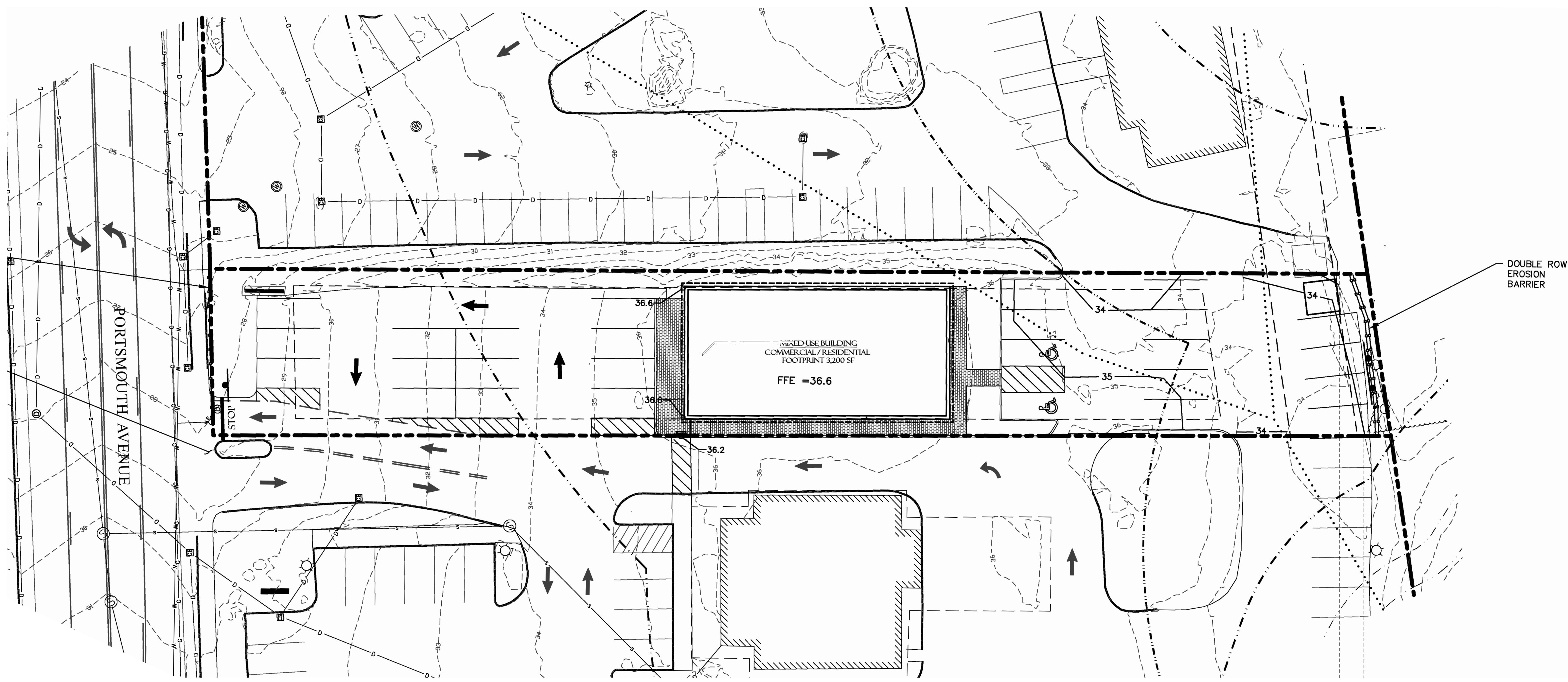
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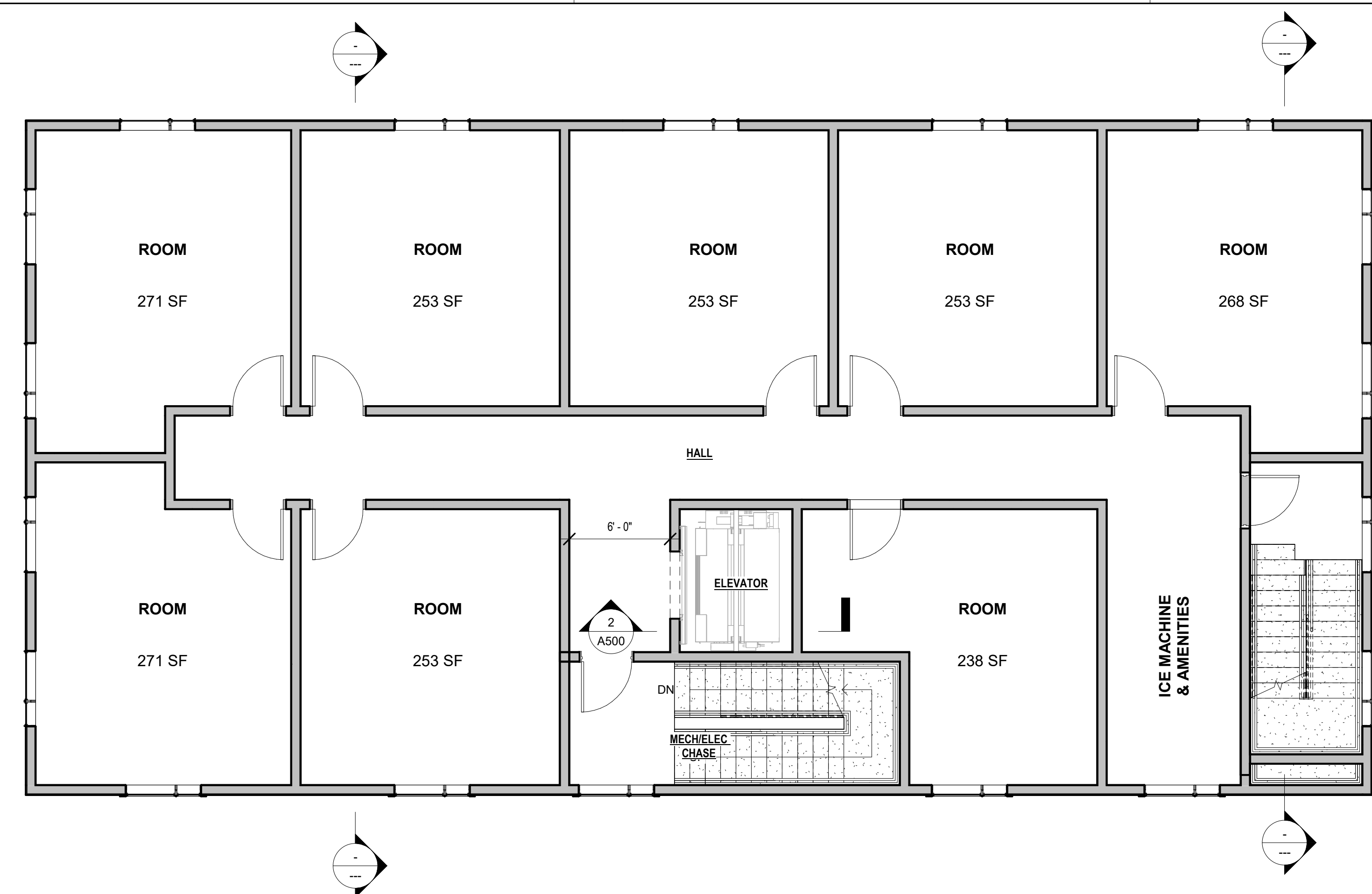
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Job #: 1124

Sheet No.

A100





2 TYP. RESIDENT LEVELS (2&3)
3/16" = 1'-0"



1 GROUND LEVEL
3/16" = 1'-0"
NOTE: SEE CIVIL DRAWINGS FOR FINAL SITE PLAN & GRADING

Stamp:

97 PORTSMOUTH AVE. EXETER, NH
MIXED-USE BUILDING

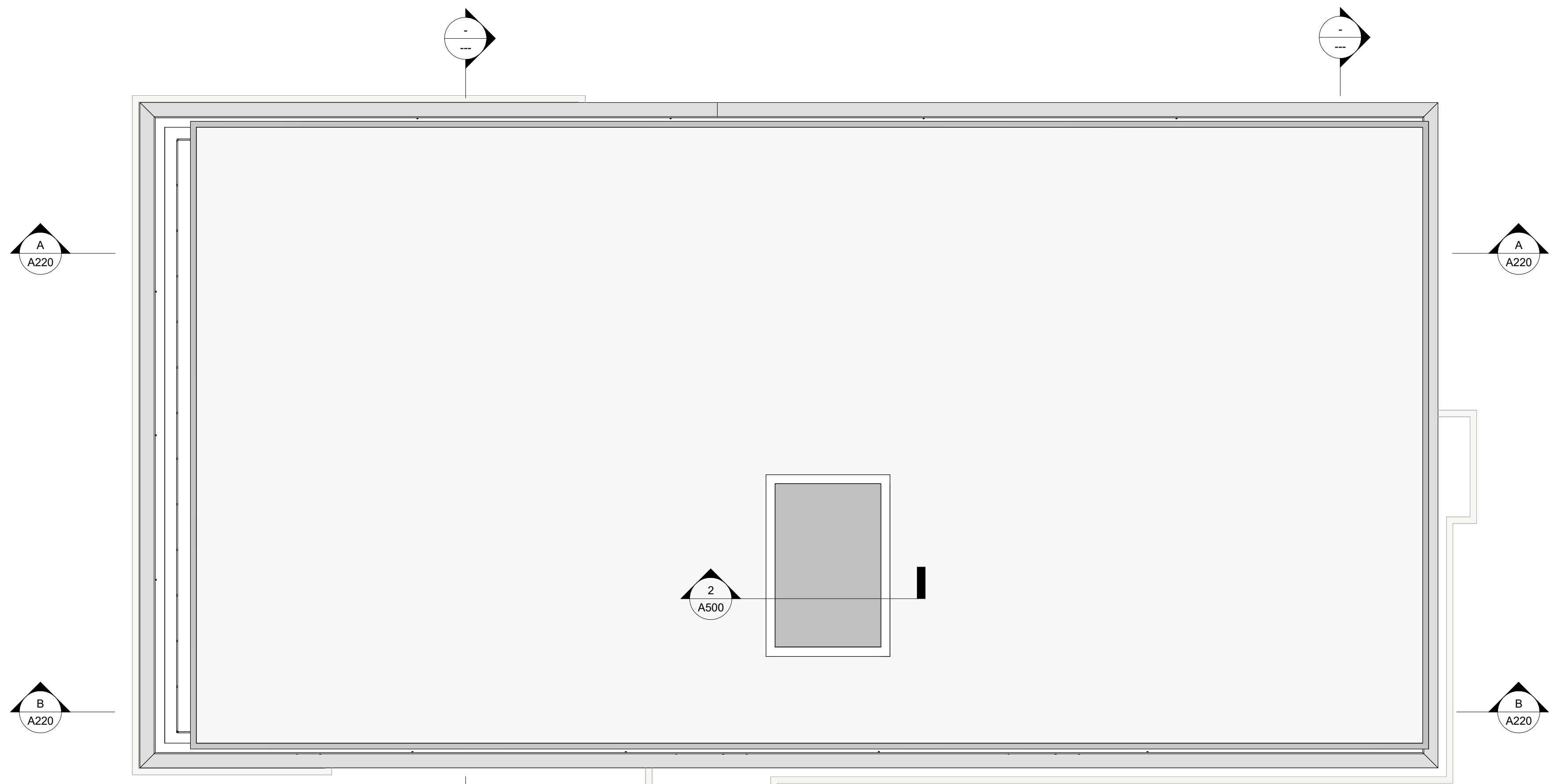
FLOOR PLANS

Prepared for:
Location: Approver

| REV # | REVISION DATE |
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Date: PROGRESS 05/18/2026
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Sheet No.:

A101



2 ROOF PLAN
3/16" = 1'-0"



1 PENTHOUSE LEVEL PLAN
3/16" = 1'-0"

Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

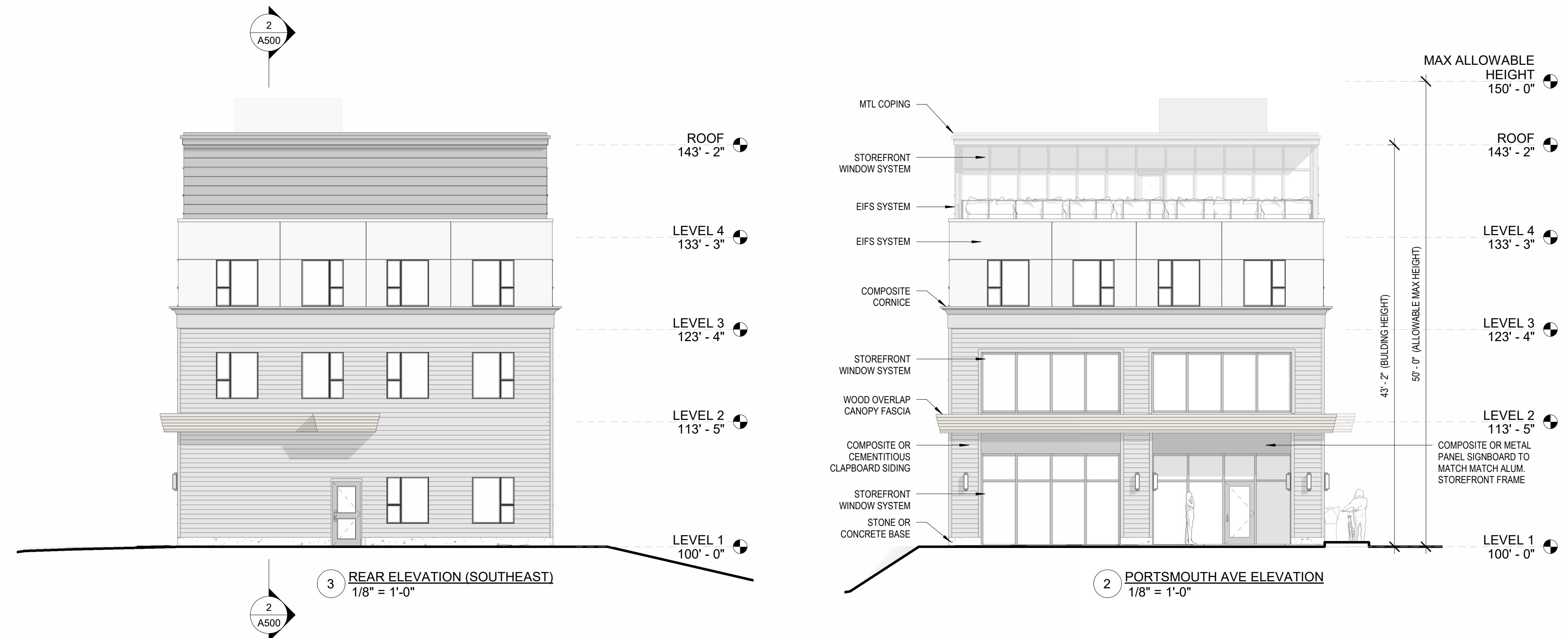
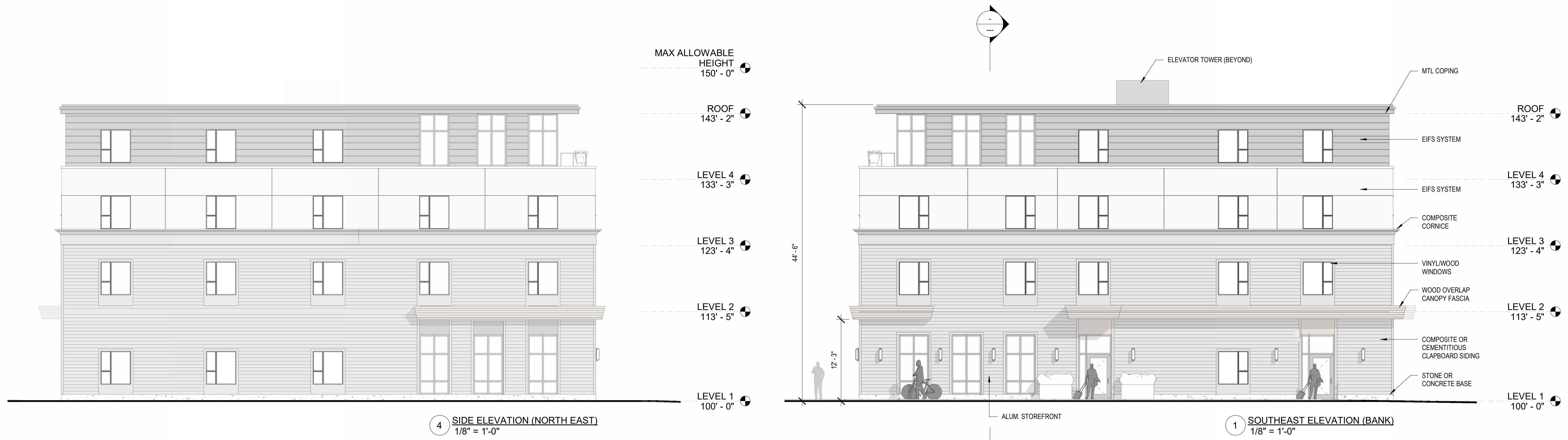
prepared for:
location: Approver

FLOOR PLANS

REV # REVISION DATE

Date: PROGRESS 05/18/2026
Scale: 3/16" = 1'-0"
Job #: 1124
Sheet No.:

A102



Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

EXTERIOR ELEVATIONS

Prepared for:
Location: Approver:

REV # REVISION DATE

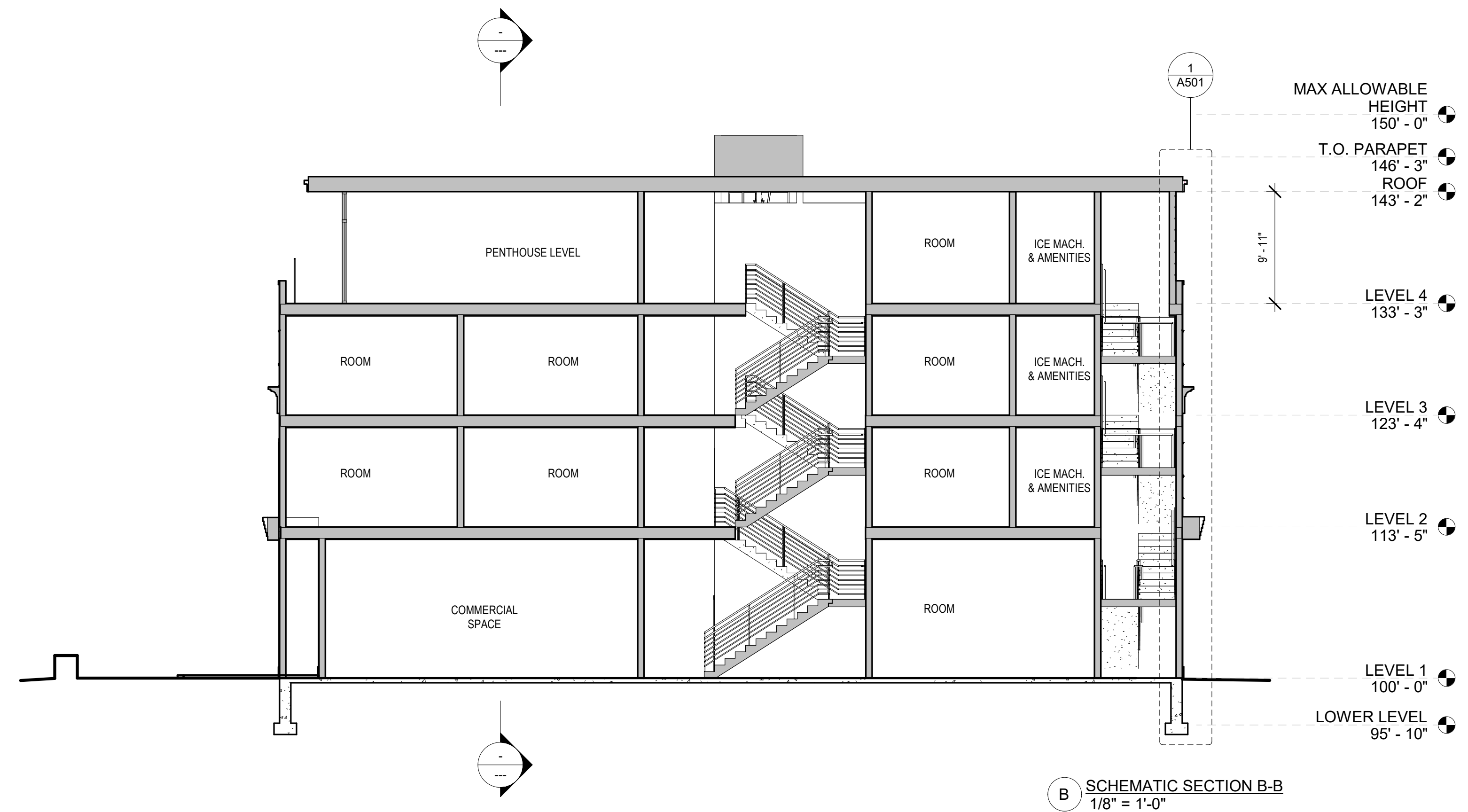
Date: PROGRESS 05/18/2026

Scale: 1/8" = 1'-0"

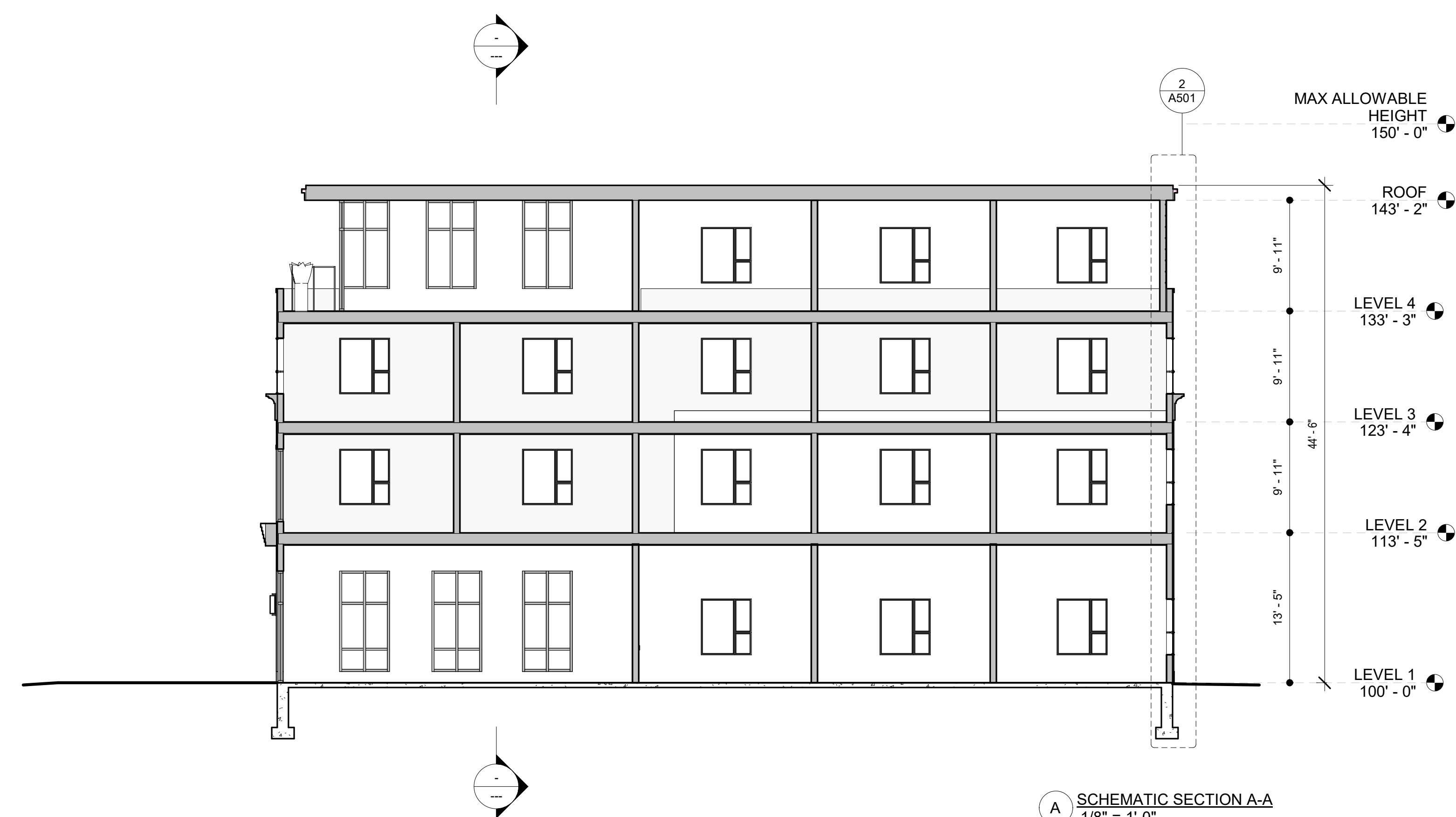
Job #: 1124

Sheet No.

A200



B SCHEMATIC SECTION B-B
1/8" = 1'-0"



A SCHEMATIC SECTION A-A
1/8" = 1'-0"

Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

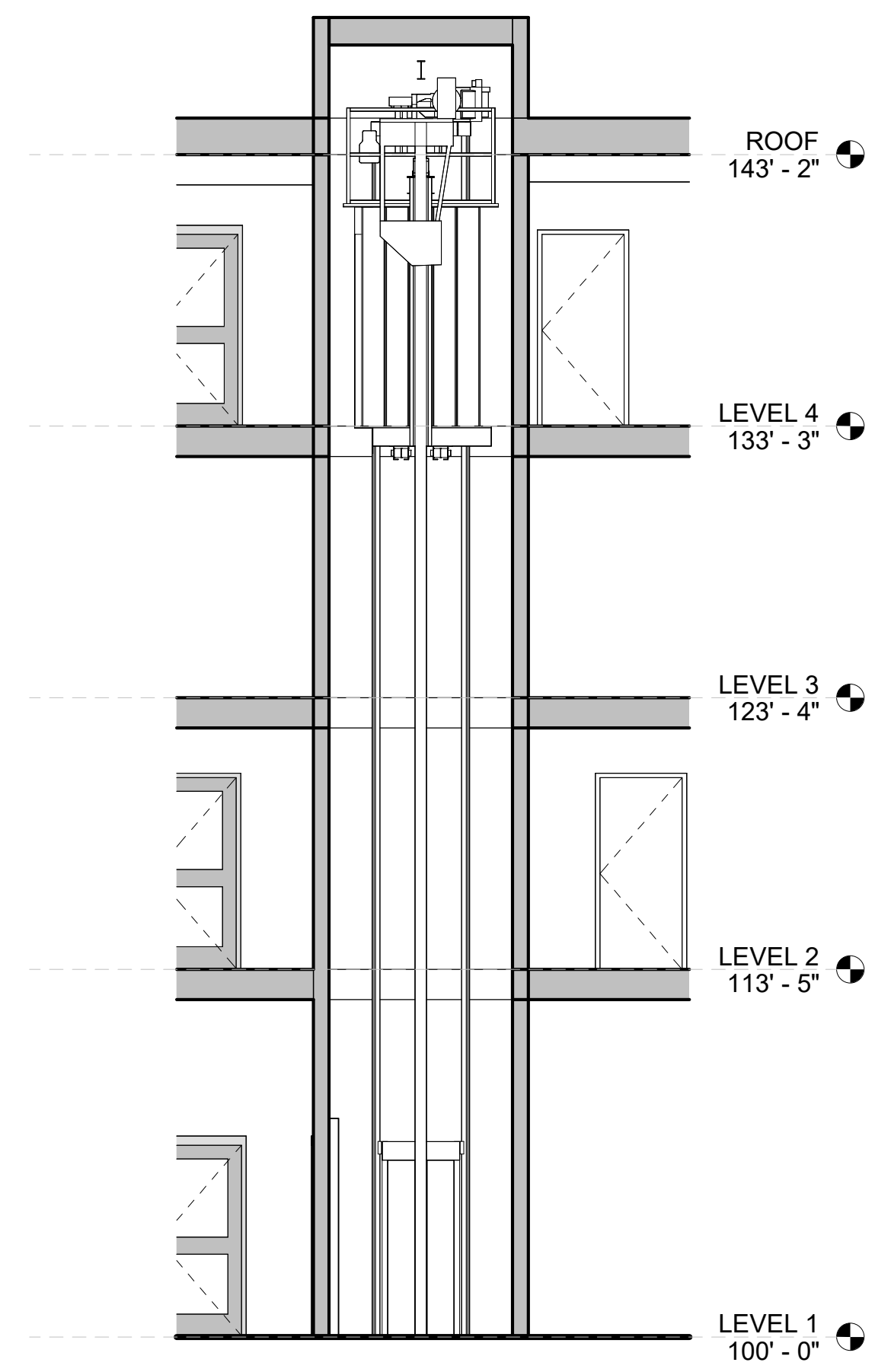
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BUILDING SECTIONS

| REV # | REVISION DATE |
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Date: **PROGRESS 05/18/2026**
Scale: 1/8" = 1'-0"
Job #: 1124
Sheet No.:

A220



2 Section 6
3/16" = 1'-0"

Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

prepared for:
location: Approver

VERTICAL CIRCULATION

REV # REVISION DATE

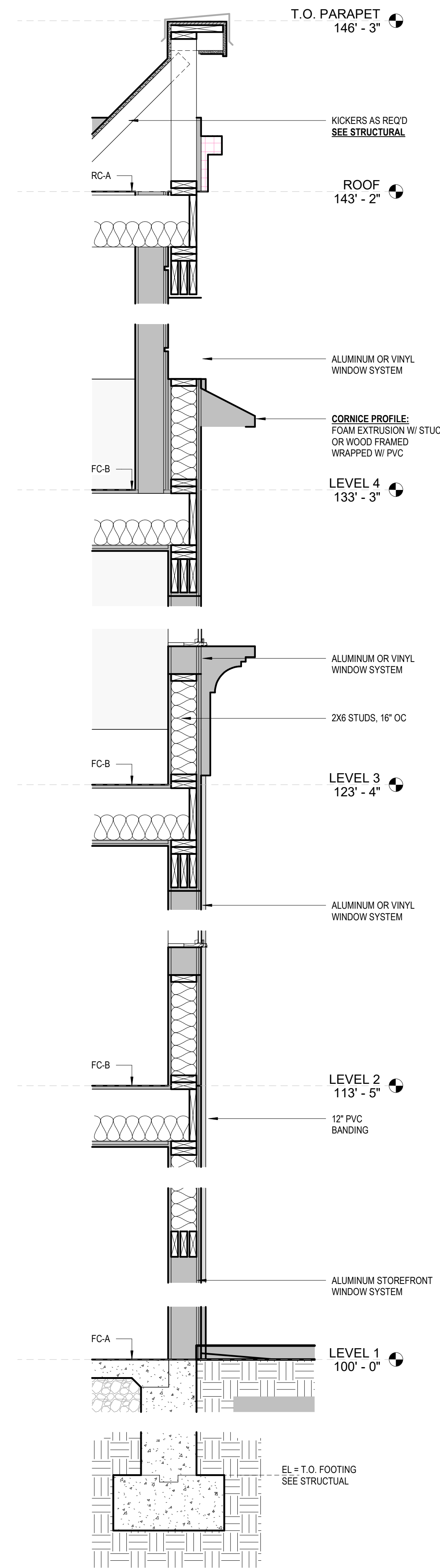
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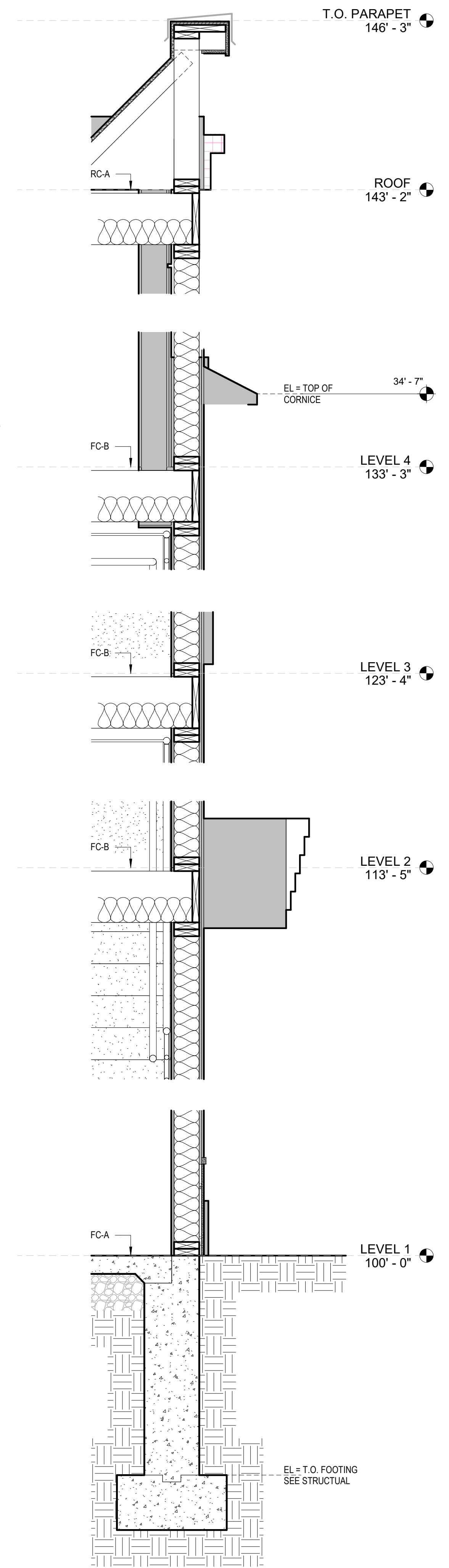
Job #: 1124

Sheet No.

A500



2 TYPICAL SECTION @ WINDOWS
3/4" = 1'-0"



1 TYPICAL WALL SECTION
3/4" = 1'-0"

Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

Prepared for:
Location: Approver:

WALL SECTION DETAILS

| REV # | REVISION DATE |
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Date: PROGRESS 05/18/2026
Scale: 3/4" = 1'-0"
Job #: 1124
Sheet No.:

A501

| DW- DEMISING WALL TYPES | | | |
|-------------------------|------------------------|--|------|
| DW-A | INTERIOR DEMISING WALL | | |
| | EXT | -2 LAYERS 5/8" TYPE "X" FIRE RATED GWB -BATT INSULATION -2 LAYERS 5/8" TYPE "X" FIRE RATED GWB | |
| | INT | | |
| | RATING: | TEST | STC: |

| LEGEND/ SCHEDULE | | WALL/ FLOOR TYPE DESIGNATION | |
|------------------|-------------------|------------------------------|-----------------|
| | EW | EXTERIOR WALL | |
| | IW | INTERIOR WALL | |
| | DW | DEMISING WALL | |
| | FC | FLOOR/ CEILING | |
| | RC | ROOF/ CEILING | |
| | | STUD SIZE SCHEDULE | |
| | | METAL STUDS | WOOD STUDS |
| 8.0 | 8 FEET - 0 INCHES | 1 7/8" MTL CHANNEL | 3/4" FURRING |
| CL | 8" ABOVE CEILING | 2-1/2" MTL STUDS | 2x2 WOOD STUDS |
| UD | UNDERSIDE OF DECK | 3-5/8" MTL STUDS | 2x3 WOOD STUDS |
| | | 4" MTL STUDS | 2x4 WOOD STUDS |
| | | 6" MTL STUDS | 2x6 WOOD STUDS |
| | | 8" MTL STUDS | 2x8 WOOD STUDS |
| | | 10" MTL STUDS | 2x10 WOOD STUDS |

| RC- ROOF/CEILING ASSEMBLIES | | | |
|-----------------------------|-----------------------|--|------|
| RC-A | TYPICAL ROOF ASSEMBLY | | |
| | EXT | -EPDM (FULLY ADHERED) -1/2" RECOVERY BOARD -5" POLYISO INSULATION (R-30 MIN) (MECHANICALLY FASTENED) -3/4" T&G PLYWOOD (SEE STRUCTURAL) -PARALLEL CHORD WOOD TRUSSES (SEE STRUCTURAL) -RESILIENT CHANNEL -1 LAYER 5/8" GWB | |
| | RATING: | TEST | STC: |

| EW- EXTERIOR WALL TYPES | | | |
|-------------------------|----------------------------------|---|------|
| EW-A | EXTERIOR WALL - CLAPBOARD SIDING | | |
| | EXT | -CLAPBOARD SIDING -AIR VAPOR BARRIER, PAPER OR LIQUID-APPLIED -1/2" EXT. PLYWOOD SHEATHING -2x6 WOOD STUD FRAMING 16" O.C. (W/ MIN R-20 BATT INSULATION) -5/8" TYPE "X" FIRE RATED GWB | |
| | INT | | |
| | RATING: | TEST | STC: |

| FC- FLOOR/ CEILING ASSEMBLIES | | | |
|-------------------------------|---------------|--|------|
| FC-A | CONCRETE SLAB | | |
| | EXT | -CONCRETE SLAB (SEE STRUCTURAL) -10 MIL. POLY VAPOR BARRIER -CRUSHED STONE (SEE STRUCTURAL) -COMPACTED EARTH (SEE GEOTECHNICAL) | |
| | RATING: | TEST # | STC: |

| | | | |
|------|----------------------------------|---|------|
| EW-B | EXTERIOR WALL - CLAPBOARD SIDING | | |
| | EXT | -1/2" FIBER-CEMENT PANEL OR PVC PANEL (WITH BATTEN STRIPS, EQ SPACING @ 16" O.C.) -LIQUID-APPLIED MOISTURE BARRIER -1/2" EXT. PLYWOOD SHEATHING -STUDS FRAMING 16" O.C. (W/ MIN R-20 BATT INSULATION) -5/8" TYPE "X" FIRE RATED GWB | |
| | INT | | |
| | RATING: | TEST | STC: |

| FC- FLOOR/ CEILING ASSEMBLIES | | | |
|-------------------------------|--------------------------------|---|------|
| FC-B | TYPICAL FLOOR/CEILING ASSEMBLY | | |
| | EXT | -LVT FLOORING -SUBSLOOR W/ SOUND MAT (TBD) -BATT INSULATION -3/4" T&G PLYWOOD (SEE STRUCTURAL) -ENGINEERED WOOD JOISTS/TRUSSES (SEE STRUCTURAL) -RESILIENT CHANNEL -1 LAYER 5/8" GWB | |
| | RATING: | TEST # | STC: |

| | | | |
|------|----------------------------------|--|------|
| EW-C | EXTERIOR WALL - CLAPBOARD SIDING | | |
| | EXT | -1/2" STUCCO PLASTER -LIQUID-APPLIED MOISTURE BARRIER -1/2" EXT. PLYWOOD SHEATHING -STUDS FRAMING 16" O.C. (W/ MIN R-20 BATT INSULATION) -5/8" TYPE "X" FIRE RATED GWB | |
| | INT | | |
| | RATING: | TEST | STC: |

| IW- INTERIOR WALL TYPES | | | |
|-------------------------|--------------------------|---|------|
| IW-A | INTERIOR PARTITION - GWB | | |
| | EXT | -GWB - 5/8" -Metal Stud -Batt Insulation -GWB - 5/8" | |
| | INT | | |
| | RATING: | TEST | STC: |

Stamp:

97 PORTSMOUTH AVE EXETER, NH

MIXED-USE BUILDING

prepared for:
location: Approver

SCHEDULES & DIAGRAMS

REV # REVISION DATE

Date: PROGRESS 05/18/2026
 Scale: 1" = 1'-0"
 Job #: 1124
 Sheet No.

A600



Stamp:

97 PORTSMOUTH AVE. EXETER, NH

MIXED-USE BUILDING

prepared for:

location: Approver

PERSPECTIVE RENDERINGS

REV # REVISION DATE

Date: PROGRESS 05/18/2026

Scale:

Job # 1124

Sheet No.

A700

HOTEL DEVELOPMENT 97 PORTSMOUTH AVE. (NH ROUTE 108) TAX MAP 65, LOT 125 JANUARY 27, 2026

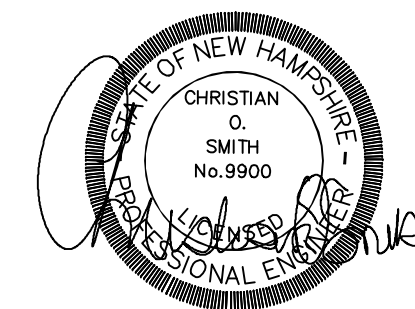
NOT FOR CONSTRUCTION

DRAWING INDEX

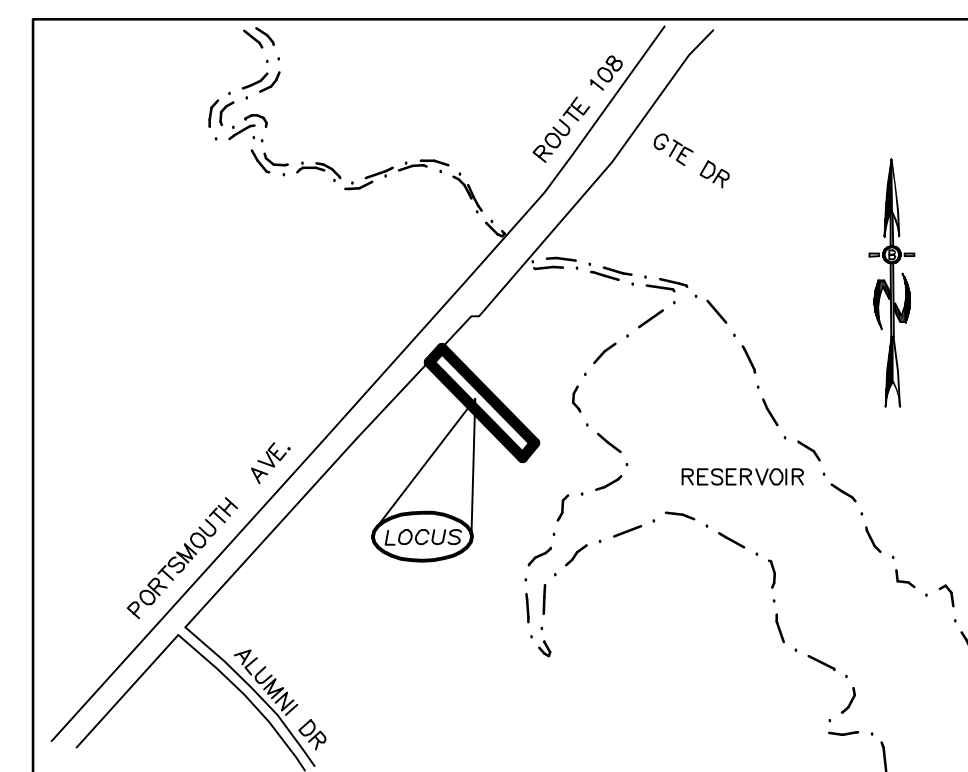
CIVIL ENGINEERS:



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



LOCATION MAP



SCALE: 1"=500'

| SHEET # | TITLE |
|---------|---|
| | COVER SHEET |
| 1-2 | EXISTING CONDITION PLANS (BERRY SURVEY) |
| 3 | DEMOLITION PLAN |
| 4 | PARKING \ PAVEMENT PLAN |
| 4A | SHORELAND PROTECTION PLAN |
| 5 | GRADING, DRAINAGE, & EROSION CONTROL PLAN |
| 6 | UTILITY PLAN |
| 7 | LIGHTING PLAN |
| 8 | PLANTING PLAN (NOT INCLUDED) |
| 9 | EROSION & SEDIMENT CONTROL DETAILS |
| 10-11 | CONSTRUCTION DETAILS |

LAND SURVEYORS:

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
603-332-2863

RECORD OWNER
BLUE FIELDS PROPERTY
97 PORTSMOUTH AVE.
EXETER, NEW HAMPSHIRE

RECORD APPLICANT
JEFF CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM, NEW HAMPSHIRE

PLAN SET LEGEND

| | | |
|---|---|---|
| <ul style="list-style-type: none"> 5/8" REBAR DRILL HOLE CONC. BOUND UTILITY POLE DRAIN MANHOLE SEWER MANHOLE EXISTING LIGHT POLE EXISTING CATCH BASIN PROPOSED CATCH BASIN WATER GATE WATER SHUT OFF HYDRANT PINES, ETC. MAPLES, ETC. EXIST. SPOT GRADE PROP. SPOT GRADE DOUBLE POST SIGN SINGLE POST SIGN | <ul style="list-style-type: none"> VCC OVERHEAD ELEC. LINE FENCING DRAINAGE LINE SEWER LINE GAS LINE WATER LINE STONE WALL TREE LINE ABUT. PROPERTY LINES EXIST. PROPERTY LINES BUILDING SETBACK LINES EXIST. CONTOUR PROP. CONTOUR SOIL LINES | <ul style="list-style-type: none"> VERTICAL GRANITE CURB |
|---|---|---|

WETLAND/SOIL CONSULTANT:

JOHN P. HAYES, CSS CWS
7 LIMESTONE WAY
N. HAMPTON, NH 03862
603-205-4396
JOHNPHAYES@COMCAST.NET



THE APPLICANT RECEIVED A VARIANCE FROM ARTICLE 5, SECTION 5.1.2, AND ARTICLE 4, SECTION 4.4 TO DEMOLISH AN EXISTING STRUCTURE AND REBUILD IN THE SAME FOOTPRINT (SEEKING RELIEF FROM THE REQUIRED MINIMUM SIDE YARD SETBACKS); AND A SPECIAL EXCEPTION PER ARTICLE 4, SECTION 4.4 SCHEDULE III: DENSITY AND DIMENSIONAL REGULATIONS-NON-RESIDENTIAL TO PERMIT THE PROPOSED CONSTRUCTION OF A STRUCTURE FIFTY-FEET (50') IN HEIGHT.

REQUIRED PERMITS
NHDES SEWER CONNECTION
NHDES WATER CONNECTION

PB CASE # 26-3
CHAIRMAN SIGNATURE:

| | REVISIONS: | DATE: |
|---|-----------------------------|---------|
| 1 | REVISED PER REVIEW COMMENTS | 3-16-26 |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |

NH-1547 PROPOSED MIXED-USE SITE PLAN

PLAN REFERENCES:

- "PLAN OF LAND FOR SYLVANIA ELECTRIC PRODUCTS INC. EXETER NEW HAMPSHIRE" BY: G.L. DAVIS DATED: DECEMBER 1962 R.C.R.D. FOLDER #1, PLAN #1
- "LAND EXETER, N.H. WAYNE M. COLBY TO EXETER REALTY CORP." BY: JOHN W. DURGIN CIVIL ENGINEERS DATED: APRIL, 1955 R.C.R.D. BOOK #1279, PAGE #161
- "POLE LINE OVER LAND OF EXETER REALTY CORPORATION" BY: EXETER & HAMPTON ELEC. CO. DATED: MARCH 28, 1962 R.C.R.D. BOOK #1623, PAGE #156
- "SUBDIVISION OF LAND LAND OF BENJAMIN J. & JOAN E. DAGOSTINO OPTIONED BY HARRY F. MCLENNAN EXETER, N.H." BY: MCKENNA ASSOCIATES DATED: JULY 11, 1971 R.C.R.D. PLAN #D-2540
- "SUBDIVISION PLAN OF LAND IN EXETER, NEW HAMPSHIRE FOR FIRST DEVELOPMENT CORP. OF GORHAM, N.H." BY: SOMERVILLE ENGINEERING INC. DATED: NOVEMBER 14, 1972 R.C.R.D. PLAN #D-3445
- "SUBDIVISION OF LAND OF TOWN OF EXETER FOR JOHN FLYNN IN EXETER, N.H." BY: PARKER SURVEY ASSOC., INC. DATED: APRIL, 1981 R.C.R.D. PLAN #D-10196
- "SITE PLAN PROPOSED ADDITIONS GLOBE STORE EXETER N.H. FOR FIRST DEVELOPMENT CORP 451 ANDOVER STREET NO. ANDOVER MA" BY: GREAT BAY ENGINEERING DATED: AUGUST, 1987 R.C.R.D. PLAN #D-20867
- "LOT LINE ADJUSTMENT PLAN EXETER HOSPITAL NEW HEALTH CARE CENTER EXETER, NEW HAMPSHIRE" BY: KIMBALL CHASE DATED: AUGUST 21, 1991 R.C.R.D. PLAN #D-21261
- "A SURVEY AND PLAT OF A CONDOMINIUM SITE PLAN OF McLANE MANOR SITUATED IN THE TOWN OF EXETER, N.H. PREPARED FOR McLANE MANOR CONDOMINIUM ASSOC." BY: R.S.L. LAYOUT & DESIGN, INC. DATED: OCTOBER 13, 1997 R.C.R.D. PLAN #D-25840
- "SEWER EASEMENT PLAN THE PROVIDENT BANK 95 PORTSMOUTH AVENUE, EXETER, NH 03833" BY: JONES & BEACH ENGINEERS, INC. DATED: MAY 25, 2010 R.C.R.D. PLAN #D-36632
- "BENJAMIN J. & JOHN E. DAGOSTINO, ALAT/ACSM LAND TITLE SURVEY FOR EXISTING SITE CONDITIONS PLAN" BY: JONES AND BEACH ENGINEERS, INC. DATED: APRIL 25, 1997 NOT RECORDED. ON FILE AT THIS OFFICE

EXISTING LEGEND:

- IRON BOUND/IRON ROD/REBAR (FND OR SET)
- IRON PIPE (FND)
- PK NAIL (SET)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (TBM)
- CURB STOP
- GATE VALVE
- FIRE HYDRANT
- GAS VALVE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- MONITORING WELL
- SEWER CLEANOUT
- POLE LIGHT
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING DRAIN LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- VERTICAL GRANITE CURB (V.G.C.)
- SLANTED GRANITE CURB (S.G.C.)
- BITUMINOUS CURB (BITUM.)
- NRCS SOIL BOUNDARY
- NRCS SOIL LABEL

- FND FOUND
- TYP TYPICAL
- E.O.P. EDGE OF PAVEMENT
- S.S.W.L. SINGLE SOLID WHITE LINE
- D.S.Y.L. DOUBLE SOLID YELLOW LINE
- D.D.Y.L. DOUBLE DASHED YELLOW LINE
- R.C.R.D. ROCKINGHAM COUNTY REGISTRY OF DEEDS

JURISDICTIONAL WETLANDS WERE DELINEATED BY JOHN P. HAYES III, CWS IN DECEMBER 10 OF 2024 UTILIZING THE FOLLOWING STANDARDS UNDER NO SNOW CONDITIONS:

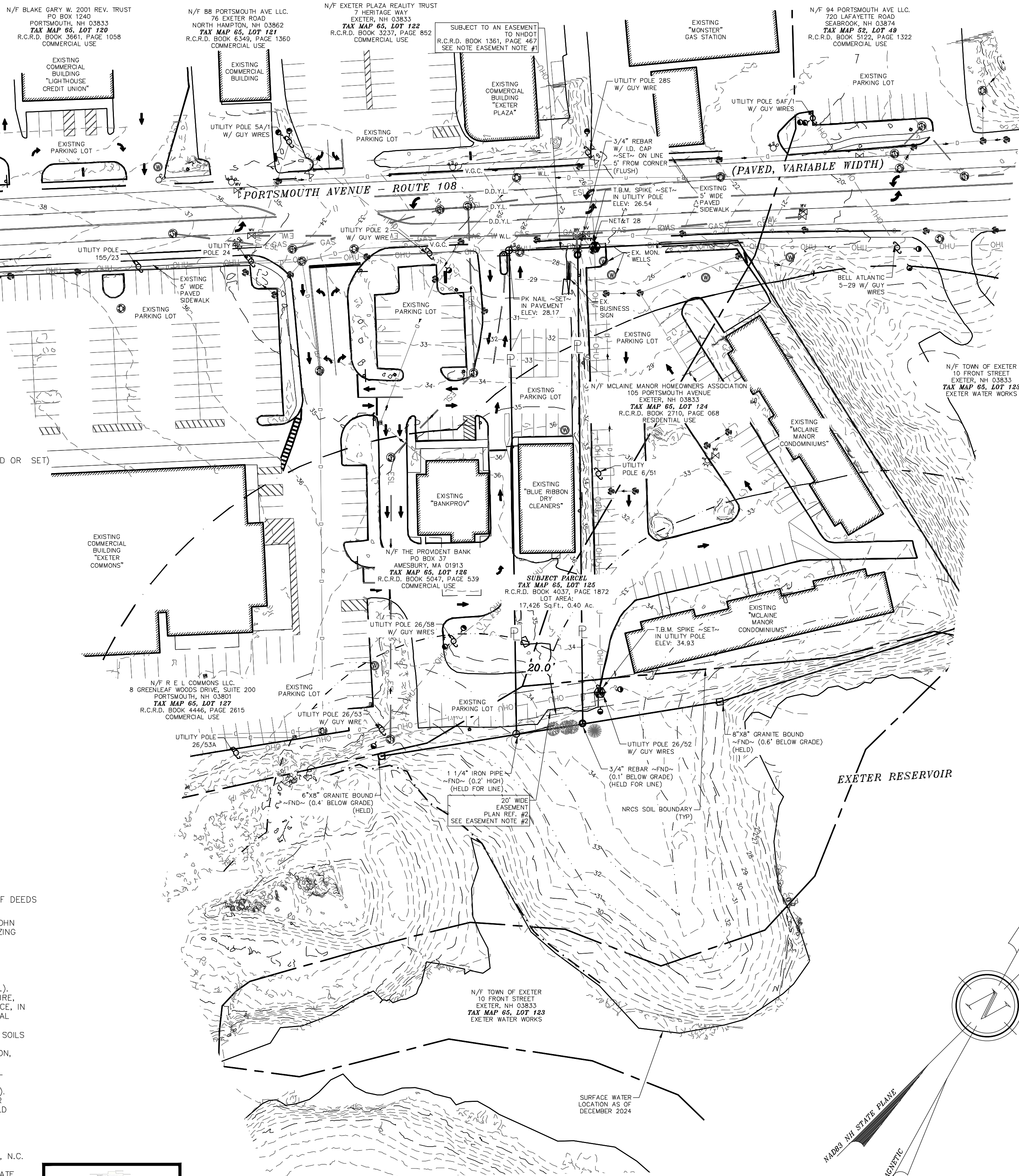
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPPCC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0. (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST, 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT 7-87-1.
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1979. L. COWARDIN, V. CARLSON, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/47.

MONITORING WELLS:

THE PROPERTY CONTAINS MONITORING WELL(S). THE USE OR FUNCTIONS OF THESE WELLS ARE UNKNOWN.

EASEMENT NOTES:

- "CONVEYING HEREBY THE RIGHT TO CONSTRUCT AND MAINTAIN SLOPES BEYOND THE LIMITS OF THE ABOVE DESCRIBED PARCEL, AS INDICATED ON SAID PLAN, THE RIGHT TO CONSTRUCTION AND MAINTAIN DRAINAGE ALSO INDICATED ON SAID PLAN." R.C.R.D. BOOK 1361, PAGE 467
- THE PARCEL IS SUBJECT TO AN EASEMENT TO EXETER & HAMPTON ELECTRIC COMPANY, AND ITS SUCCESSORS AND ASSIGNS TO A PERPETUAL AND EXCLUSIVE EASEMENT AS NOTED IN R.C.R.D. BOOK 1623, PAGE 152
- TOGETHER WITH THE BLANKET EASEMENT FOR LOTS 124, 125 & 126 ALLOWING ACCESS AND THE PARKING OF CARS FOR LOT 127. R.C.R.D. BOOK 1712, PAGE 201. SUBJECT TO THE BLANKET EASEMENT OVER LOTS 124, 125, 126 ALLOWING ACCESS AND THE PARKING OF CARS FOR LOT 127. R.C.R.D. BOOK 1712, PAGE 201
- RELEASE OF ACCESS AND PARKING RIGHTS FOUND IN R.C.R.D. BOOK 2091, PAGE 41 & BOOK 2091, PAGE 42 (AFFECTS LOT 127)
- RESTORATION OF RIGHTS OF EASEMENT TO FIRST DEVELOPMENT CORPORATION. R.C.R.D. BOOK 2970, PAGE 1211
- SEE LEASE AGREEMENT R.C.R.D. BOOK 1879, PAGE 110 (NOT A MATTER OF SURVEY)

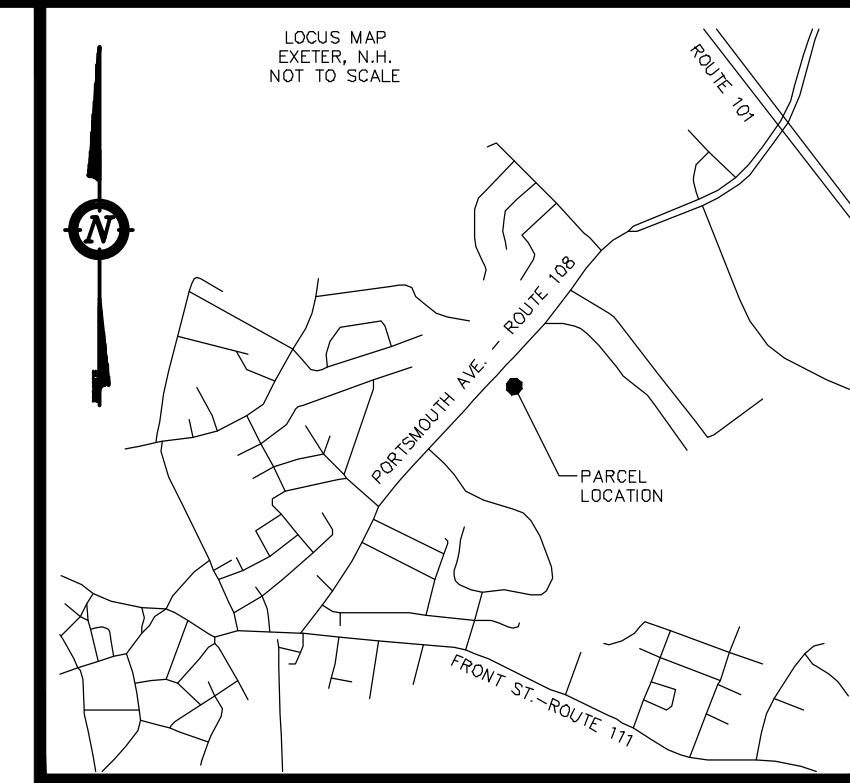
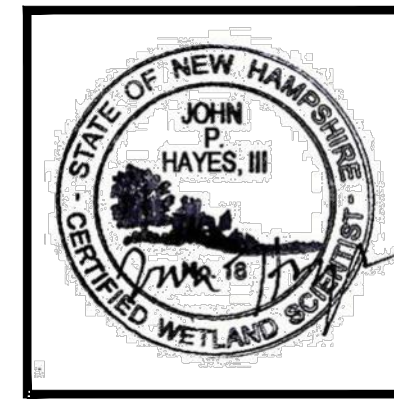


UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

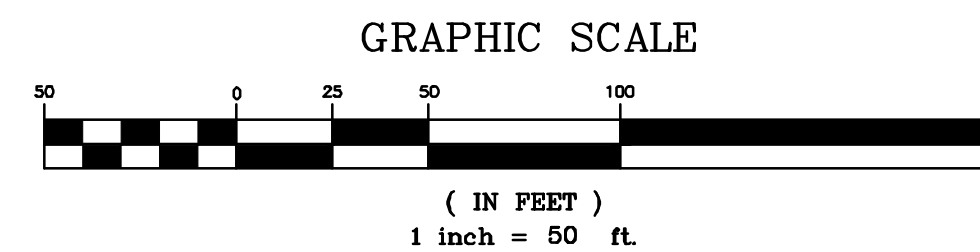
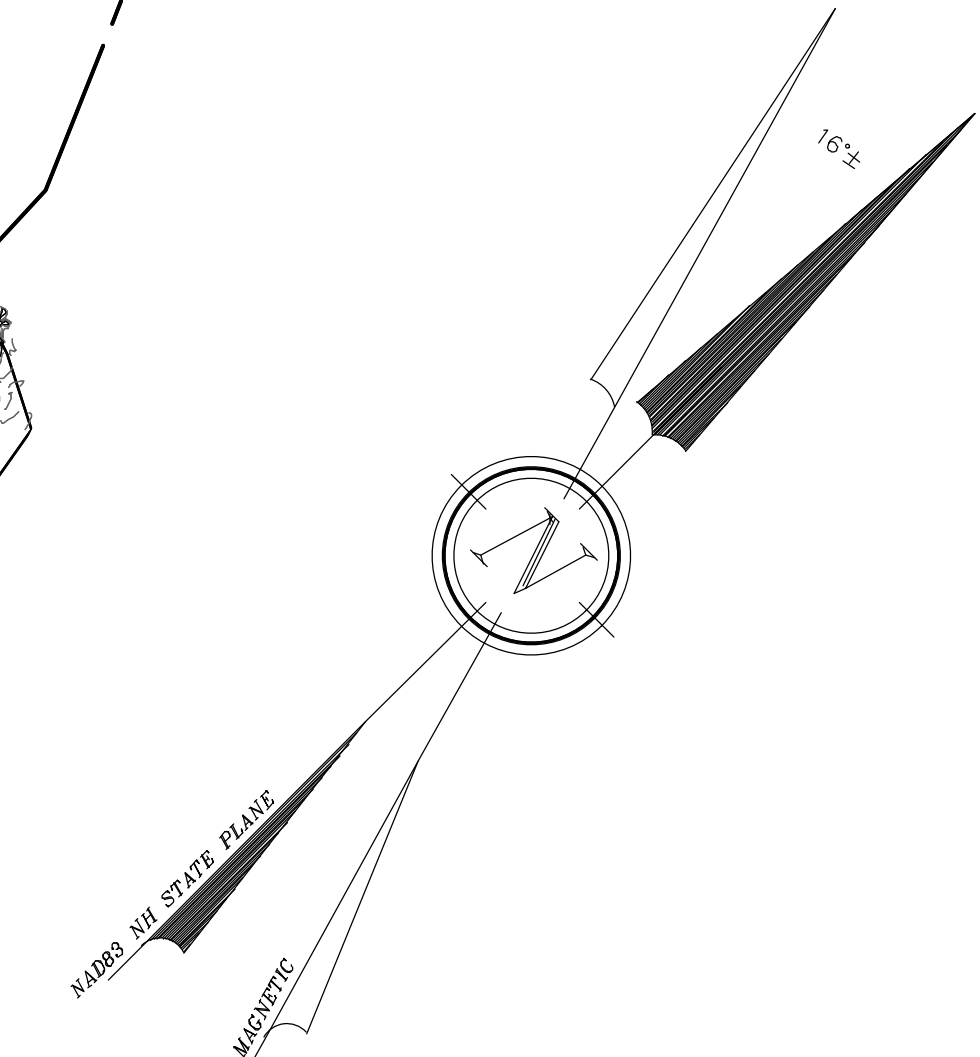
SOILS:

- 699 - URBAN LAND
 - 299 - UDDERTHENTS, SMOOTHED
 - 38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES
- SEE: USDA/NRCS WEBSOL



NOTES:

- OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC 97 PORTSMOUTH AVENUE EXETER, NH 03833
- APPLICANT: JCALEY ASSOCIATES 11 TAYLOR COURT STRATHAM, NH 03885
- TAX MAP 65, LOT 125 PROJECT ADDRESS: 97 PORTSMOUTH AVE. SEE R.C.R.D. BOOK 2540, PAGE 2971
- LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- ZONING: C-2, HIGHWAY COMMERCIAL DISTRICT
 - MIN. LOT SIZE: 20,000 Sq.Ft.
 - MIN. LOT WIDTH: 150'
 - MIN. LOT DEPTH: 100'
 - MAX. BUILDING HEIGHT: 35'
 - 50' PERMITTED BY SPECIAL EXCEPTION
 - FRONT BUILDING SETBACK: 50'
 - SIDE BUILDING SETBACK: 20'
 - REAR BUILDING SETBACK: 50'
 - 20' PERMITTED BY SPECIAL EXCEPTION
 - MAX. BUILDING COVERAGE: 30%
 - MIN. OPEN SPACE: 15%
- WETLANDS CONSERVATION DISTRICT
 - LIMITED USE BUFFER: 40'
 - PARKING AND STRUCTURE BUFFER: 75'
- EXETER SHORE LAND PROTECTION OVERLAY
 - SHORE LAND PROTECTION ZONE: 300'
 - BUILDING SETBACK: 150'
 - VEGETATIVE BUFFER: 75'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REFERENCE: FEMA, COMMUNITY # - 330130, MAP # - 33015C0406E, DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS. TOPOGRAPHY PROVIDED BY GS&E AT A 1' CONTOUR INTERVAL UTILIZING CONVENTIONAL SURVEY METHODS, RTK SURVEY GRADE GPS, AND PENTA-RETURN LIDAR OBTAINED FROM AN RTK ENABLED SURVEY GRADE DRONE, WITH FIELD VERIFICATION.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 65, LOT 125 AS OF THE DATE OF THE SURVEY: DECEMBER 2024.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- A DILIGENT RESEARCH EFFORT FOUND SEVERAL EASEMENTS ENCUMBERING THE PROJECT SITE, AND FOUND THAT THE SITE IS BENEFITED BY EASEMENTS. THERE MAY BE RECORDED AND UNRECORDED RIGHTS THAT WERE NOT FOUND DURING THE RESEARCH EFFORT. SEE EASEMENT NOTES SECTION OF THIS PLAN.
- THERE WERE NO CEMETERIES FOUND ONSITE DURING THE GROUND SURVEY PERFORMED UNDER NO SNOW CONDITIONS IN DECEMBER OF 2024. NO CEMETERIES ARE MENTIONED IN THE SUBJECT PARCELS CHAIN OF TITLE.



THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE 8-27-25

| REVISION | DATE | DESCRIPTION |
|----------|---------|-------------------------|
| #2 | 8-27-25 | REVISED PER TRC REQUEST |
| #1 | 6-20-25 | REVISED PER TRC REQUEST |

OVERVIEW EXISTING CONDITIONS PLAN
LAND OF
BLUE FIELDS PROPERTY MANAGEMENT LLC
97 PORTSMOUTH AVENUE
EXETER, N.H.
TAX MAP 65, LOT 125

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: DECEMBER 12, 2024
FILE NO.: DB 2024 - 140



JOHN P. HAYES III, CWS #18

- JURISDICTIONAL WETLANDS WERE DELINEATED BY JOHN P. HAYES III, CWS IN DECEMBER 10 OF 2024 UTILIZING THE FOLLOWING STANDARDS UNDER NO SNOW CONDITIONS:
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEIMPCO WETLANDS WORKGROUP, WILMINGTON, MA 01897.
 - NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL/). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
 - STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST, LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
 - CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
 - REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/31.

EXISTING LEGEND:

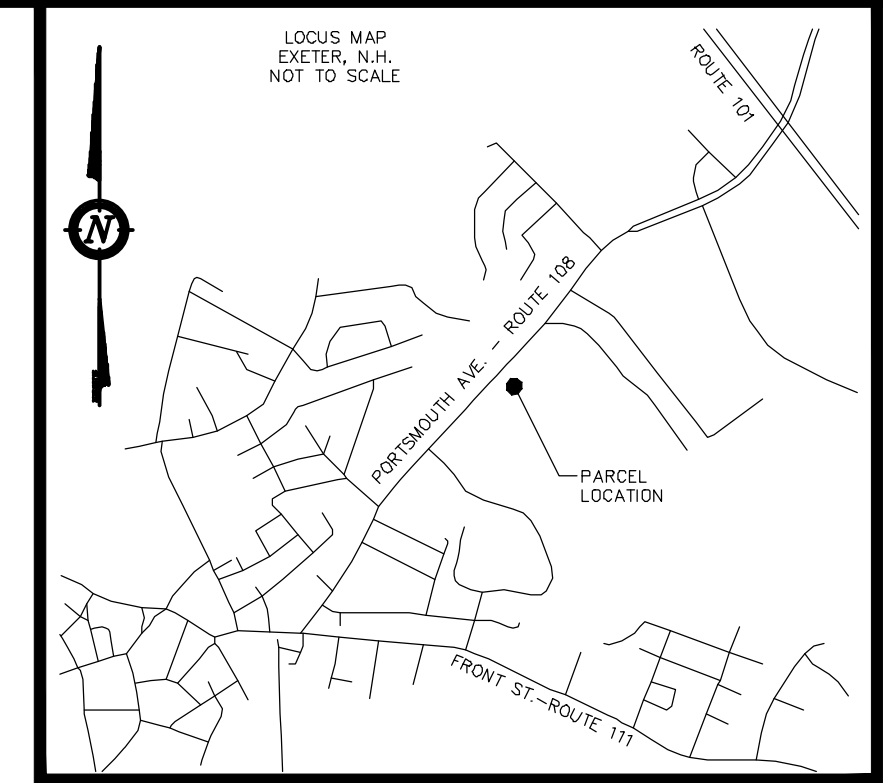
- IRON BOUND/IRON ROD/REBAR (FND OR SET)
- PK NAIL (SET)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (TBM)
- CURB STOP
- GATE VALVE
- FIRE HYDRANT
- GAS VALVE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- MONITORING WELL
- POLE LIGHT
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING DRAIN LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MAJOR
- VERTICAL GRANITE CURB (V.G.C.)
- SLANTED GRANITE CURB (S.G.C.)
- BITUMINOUS CURB (BITUM.)
- 300' EXETER SHORE LAND PROTECTION LINE
- 150' EXETER SHORE LAND BUILDING SETBACK
- NRCS SOIL BOUNDARY
- NRCS SOIL LABEL
- SPOT ELEVATION

EASEMENT NOTES:

- "CONVEYING HEREBY THE RIGHT TO CONSTRUCT AND MAINTAIN SLOPES BEYOND THE LIMITS OF THE ABOVE DESCRIBED PARCEL, AS INDICATED ON SAID PLAN, THE RIGHT TO CONSTRUCTION AND MAINTAIN DRAINAGE ALSO INDICATED ON SAID PLAN." R.C.R.D. BOOK 1361, PAGE 467
- THE PARCEL IS SUBJECT TO AN EASEMENT TO EXETER & HAMPTON ELECTRIC COMPANY, AND ITS SUCCESSORS AND ASSIGNS TO A PERPETUAL AND EXCLUSIVE EASEMENT AS NOTED IN R.C.R.D. BOOK 1623, PAGE 152
- TOGETHER WITH THE BLANKET EASEMENT FOR LOTS 124, 125 & 126 TO ACCESS AND PARK CARS ON ABUTTING LOT 127. R.C.R.D. BOOK 1712, PAGE 201.
- SUBJECT TO THE BLANKET EASEMENT OVER LOTS 124, 125, 126 ALLOWING ACCESS AND THE PARKING OF CARS FOR LOT 127. R.C.R.D. BOOK 1712, PAGE 201
- RELEASE OF ACCESS AND PARKING RIGHTS FOUND IN R.C.R.D. BOOK 2091, PAGE 41 & BOOK 2091, PAGE 42 (AFFECTS LOT 127)
- RESTORATION OF RIGHTS OF EASEMENT TO FIRST DEVELOPMENT CORPORATION. R.C.R.D. BOOK 2970, PAGE 1211
- SEE LEASE AGREEMENT R.C.R.D. BOOK 1879, PAGE 110 (NOT A MATTER OF SURVEY)

NOTES (Cont.):

- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REFERENCE: FEMA, COMMUNITY # - 330130, MAP # - 33015C0406E, DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS. TOPOGRAPHY PROVIDED BY BS&E AT A 1" CONTOUR INTERVAL UTILIZING CONVENTIONAL SURVEY METHODS, RTK SURVEY GRADE GPS, AND PENTA-RETURN LIDAR OBTAINED FROM AN RTK ENABLED SURVEY GRADE DRONE, WITH FIELD VERIFICATION.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF EXETER TAX MAP 65, LOT 125 AS OF THE DATE OF THE SURVEY: DECEMBER 2024.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- SEE OVERVIEW EXISTING CONDITIONS PAGE FOR COMPLETE NOTES AND ABUTTERS.



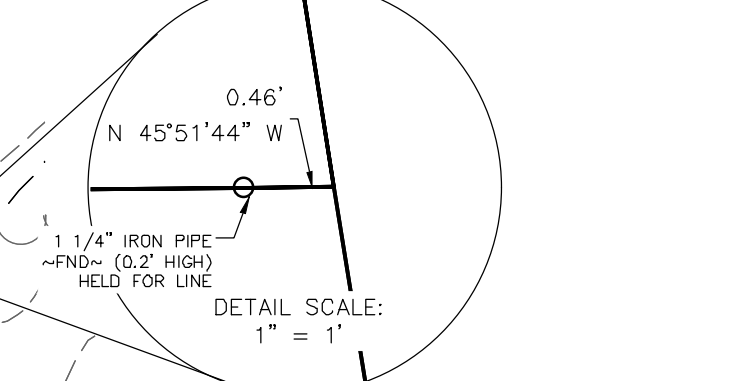
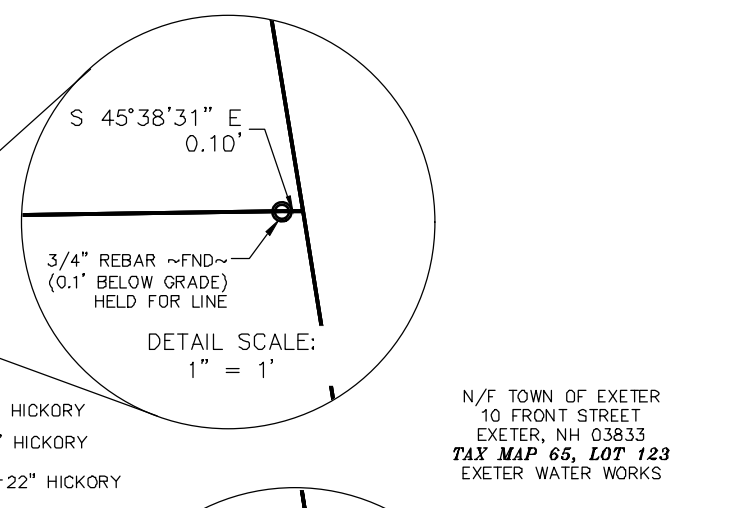
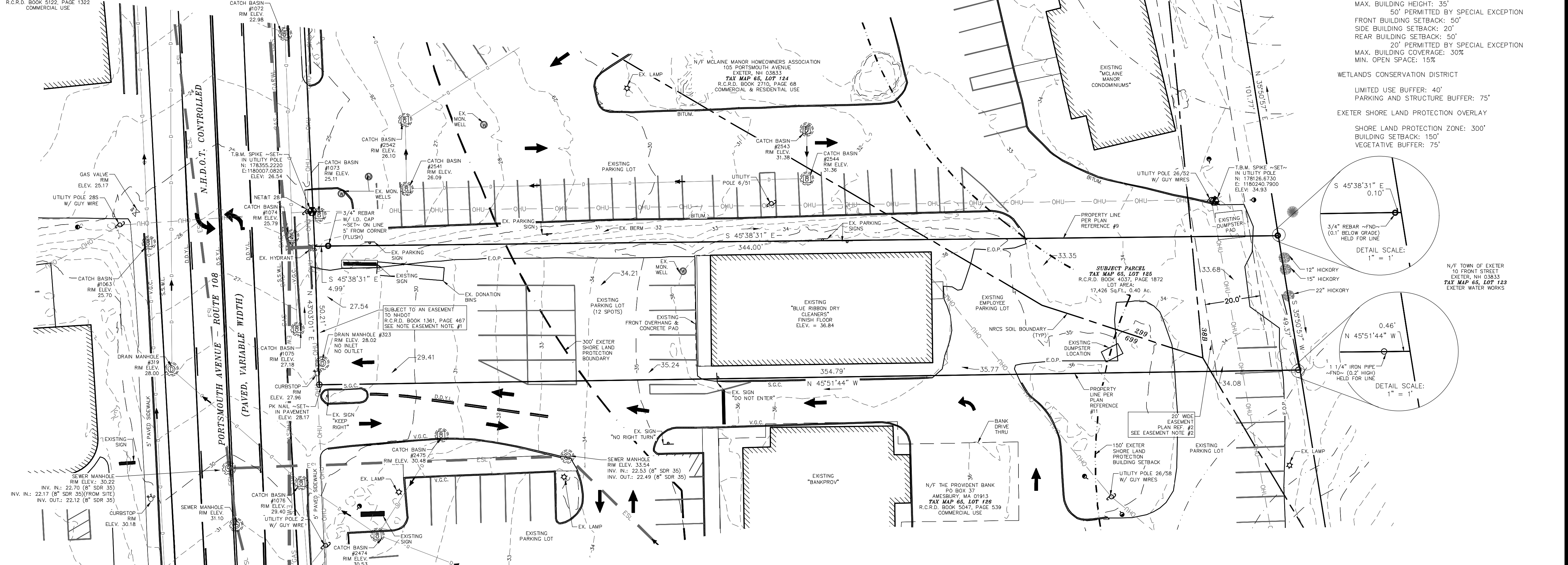
NOTES:

- OWNER: BLUE FIELDS PROPERTY MANAGEMENT, LLC
97 PORTSMOUTH AVENUE
EXETER, NH 03833
- TAX MAP 65, LOT 125
PROJECT ADDRESS: 97 PORTSMOUTH AVE.
- R.C.R.D. BOOK 4037, PAGE 1872
SEE R.C.R.D. BOOK 2540, PAGE 2971
- LOT AREA: 17,426 Sq.Ft., 0.40 Ac.
- ZONING: C-2, HIGHWAY COMMERCIAL DISTRICT

MIN. LOT SIZE: 20,000 Sq.Ft.
MIN. LOT WIDTH: 150'
MIN. LOT DEPTH: 100'
MAX. BUILDING HEIGHT: 35'
50' PERMITTED BY SPECIAL EXCEPTION
FRONT BUILDING SETBACK: 50'
SIDE BUILDING SETBACK: 20'
REAR BUILDING SETBACK: 50'
20' PERMITTED BY SPECIAL EXCEPTION
MAX. BUILDING COVERAGE: 30%
MIN. OPEN SPACE: 15%

WETLANDS CONSERVATION DISTRICT
LIMITED USE BUFFER: 40'
PARKING AND STRUCTURE BUFFER: 75'
EXETER SHORE LAND PROTECTION OVERLAY
SHORE LAND PROTECTION ZONE: 300'
BUILDING SETBACK: 150'
VEGETATIVE BUFFER: 75'

N/F 94 PORTSMOUTH AVE. LLC
700 LAFALETTE ROAD
SEABROOK, NH 03874
TAX MAP 65, LOT 49
R.C.R.D. BOOK 5122, PAGE 1322
COMMERCIAL USE



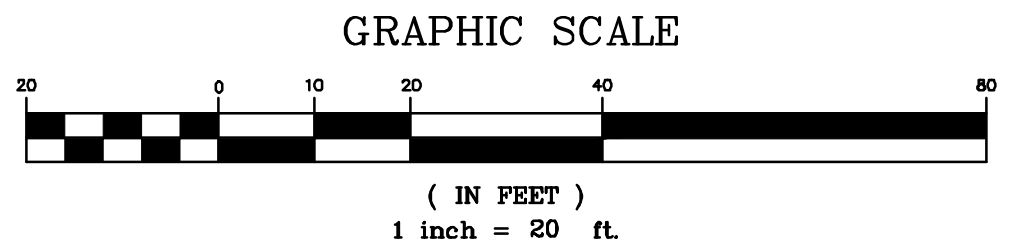
N/F TOWN OF EXETER
10 FRONT STREET
EXETER, NH 03833
TAX MAP 65, LOT 123
EXETER WATER WORKS

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

SOILS:

- 699 - URBAN LAND
 - 299 - UDRTHENTS, SMOOTHED
 - 38B - ELDRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES
- SEE: USDA/NRCS WEBSID



THIS PLAN IS NOT SUITABLE FOR RECORDING UNDER THE RECORDING LAWS OF THE STATE OF NEW HAMPSHIRE.

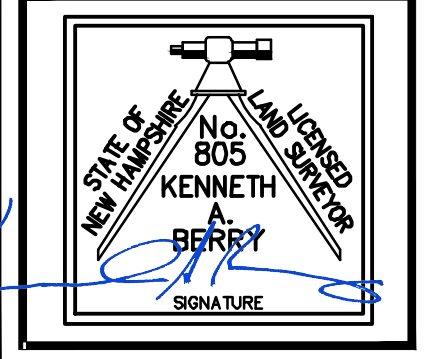
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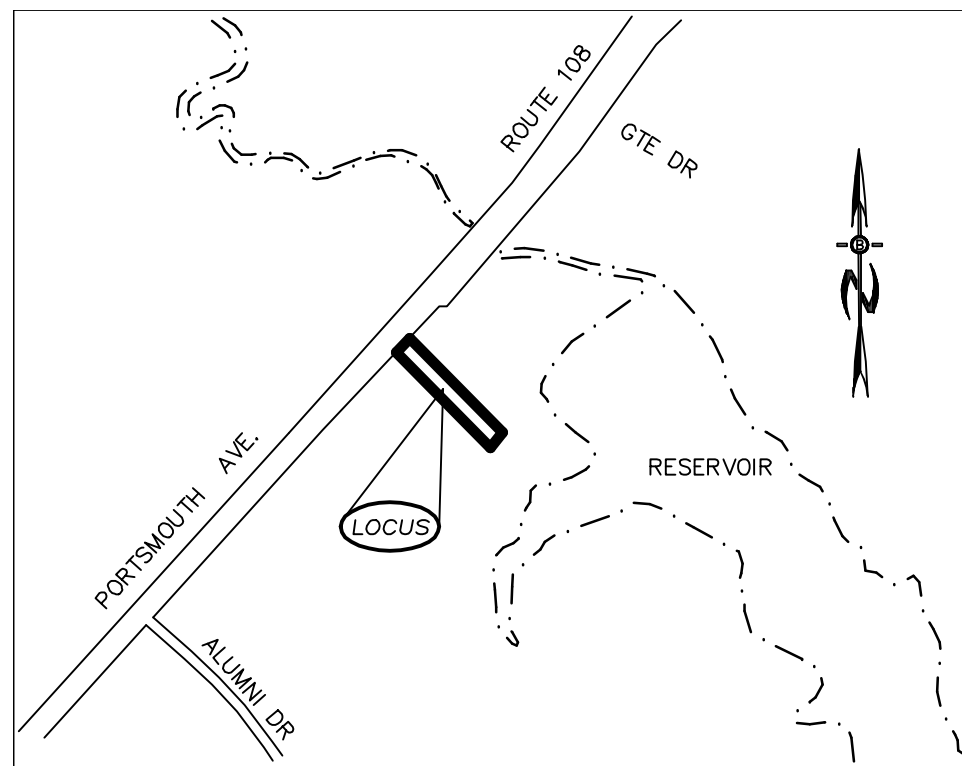
KENNETH A. BERRY L.L.S. 805 DATE 8-27-25

| REVISION | DATE | DESCRIPTION |
|----------|---------|-------------------------|
| #2 | 8-27-25 | REVISED PER TRC REQUEST |
| #1 | 6-20-25 | REVISED PER TRC REQUEST |

EXISTING CONDITIONS PLAN
LAND OF
BLUE FIELDS PROPERTY MANAGEMENT LLC
97 PORTSMOUTH AVENUE
EXETER, N.H.
TAX MAP 65, LOT 125

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 12, 2024
FILE NO.: DB 2024 - 140



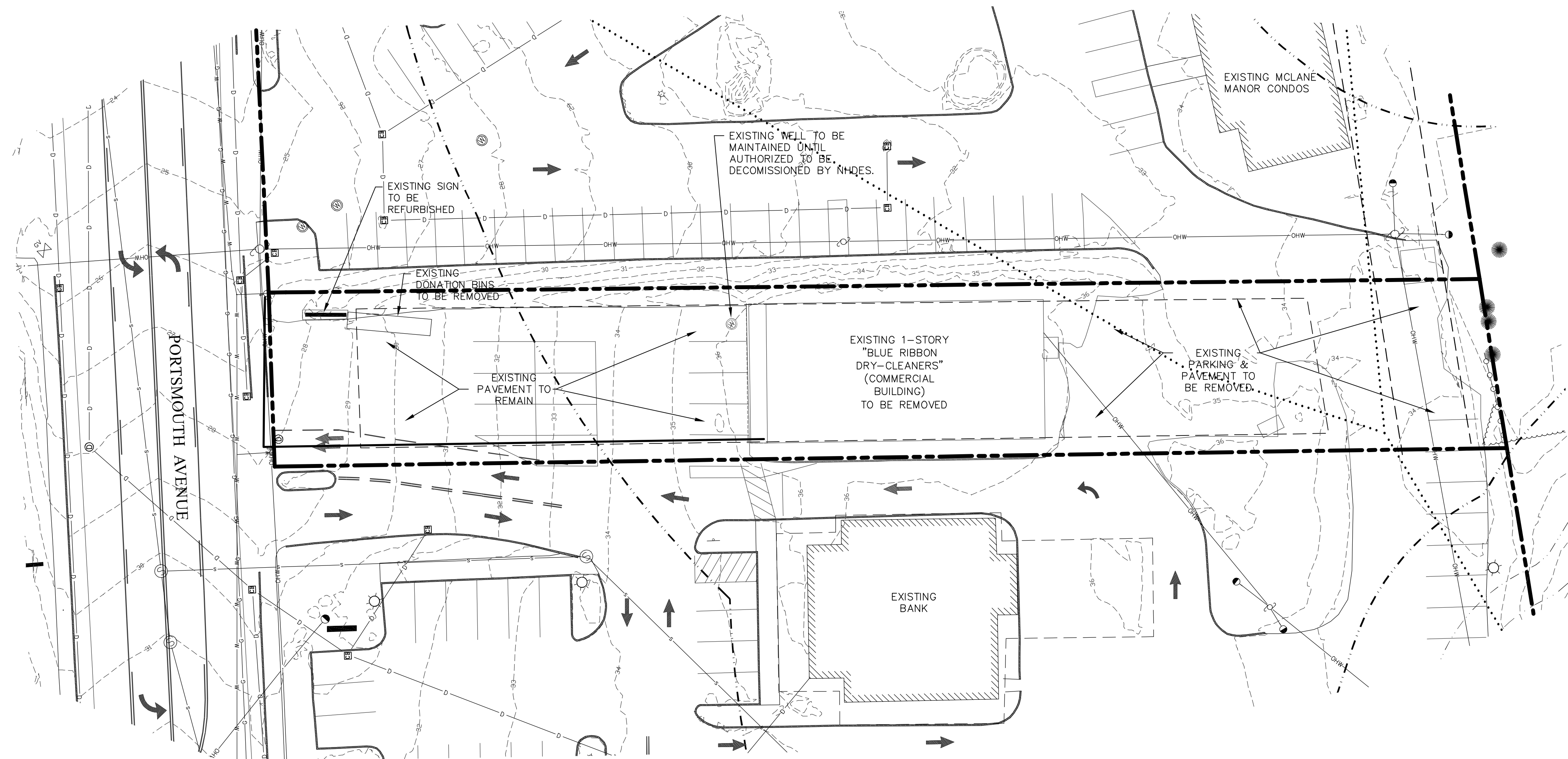


LOCATION MAP
1"=500'

PREPARED FOR:
J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885

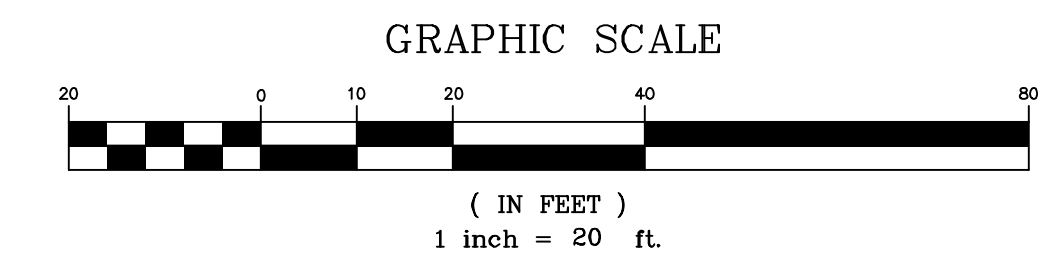


70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



NOTES

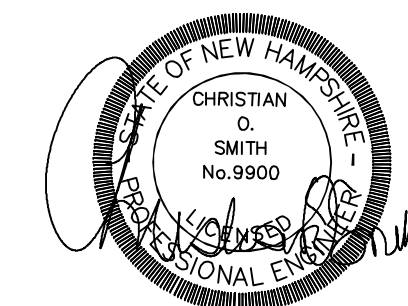
- ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA DESIGNATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE, AND UTILITY COMPANY STANDARDS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES.
- EXISTING SEWER SERVICE AND APPURTENANCES TO BE REMOVED AND DISPOSED OF PER TOWN AND STATE REQUIREMENTS. NEW SERVICES FOR EACH UNIT TO BE INSTALLED & CONNECTED PER TOWN SPECIFICATIONS, SEQUENCING AND SCHEDULING: (SEE DETAIL SHEETS FOR COMPLETE CONSTRUCTION SEQUENCE AND EROSION CONTROL SPECIFICATION.)
- DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH THE GOVERNING LAWS. PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL.
- LEAVE SITE IN CLEAN CONDITION.
- TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING DRIVEWAY), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

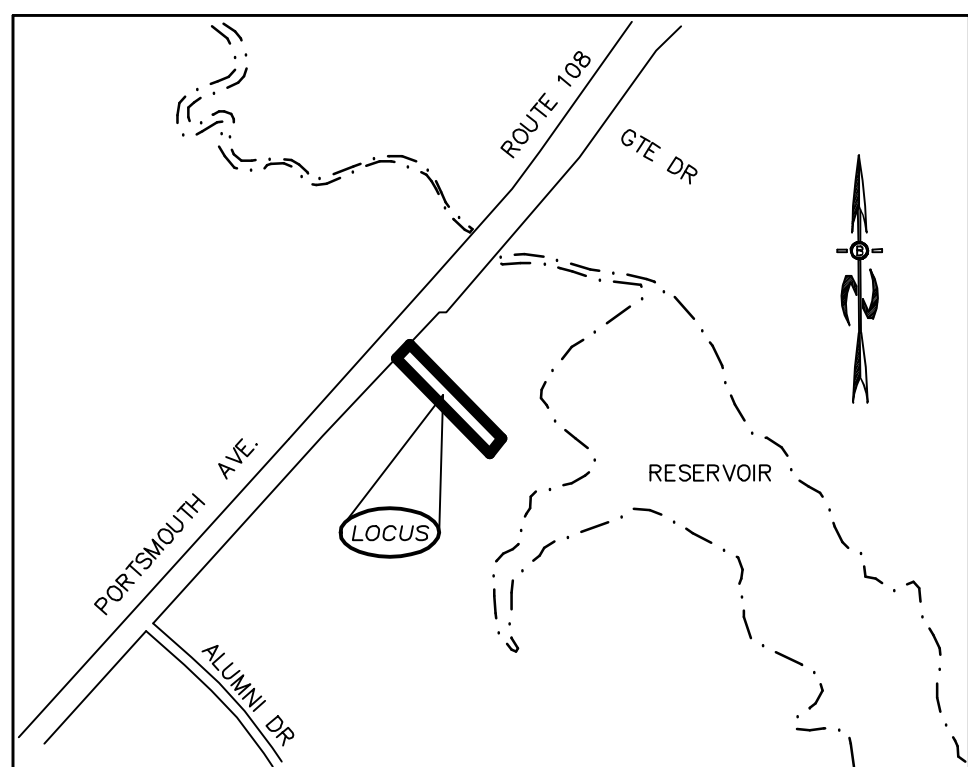


DEMOLITION PLAN

HOTEL DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

| | | | | | |
|-----------------------------|---------|-------|--------------|---------|-----------|
| REVISED PER REVIEW COMMENTS | 2-27-26 | DATE: | JAN 27, 2026 | SCALE: | 1" = 20' |
| REVISIONS: | | DATE: | PROJ. NO: | NH-1547 | SHEET NO. |
| | | | | | 3 |





LOCATION MAP
1"=500'

TOWN NOTES

1. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
2. THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM SIZE VEHICLES AND TRUCKS. (DESIGN VEHICLE IS THE EXETER LADDER TRUCK OR 30' BOX TRUCK) EITHER DELIVERING TO, OR USING THE PROPERTY.
3. ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING SPACES OR TRAVEL AISLES.
4. ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.
5. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.

EXISTING USE: DRY CLEANER
PROPOSED USE: HOTEL

ZONING REQUIREMENTS:
ZONING DISTRICT: HIGHWAY COMMERCIAL (C2)
MINIMUM LOT SIZE: 20,000 S.F.
MINIMUM LOT WIDTH: 150 FT.
MINIMUM LOT DEPTH: 100 FT.

BUILDING SETBACKS:
FRONT: 50 FT.
SIDE: 20 FT.
REAR: 50 FT.
BUILDING HEIGHT: 35 FT.
(50' BY SPECIAL EXCEPTION)

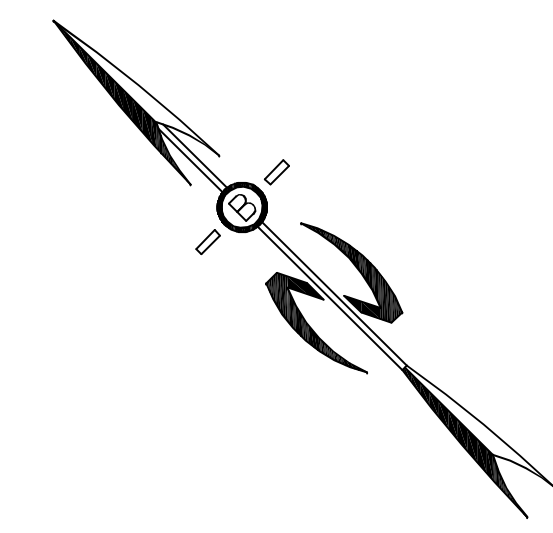
MAXIMUM BUILDING COVERAGE = 30%
EXISTING-18.4%, PROPOSED-18.4%

MINIMUM OPEN SPACE = 15%
EXISTING-12.4%, PROPOSED-22.2%

PARKING CALCULATIONS:

REQUIRED: 1 SPACE PER ROOM + 1 SPACE PER EE
= 1 SPACE/ROOM x 22 ROOMS + 1 SPACE/EE x 4 EE'S
= 26 SPACES

PROVIDED: 26 (INCLUDING 2 ACCESSIBLE SPACES)

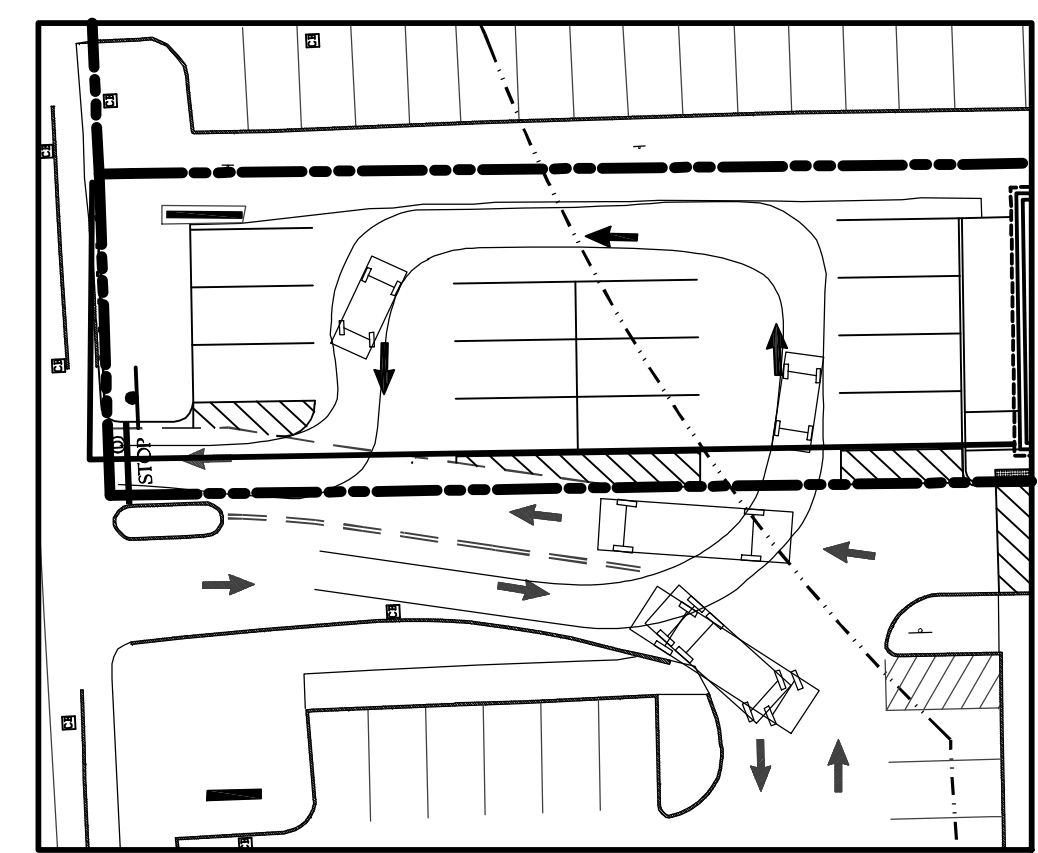
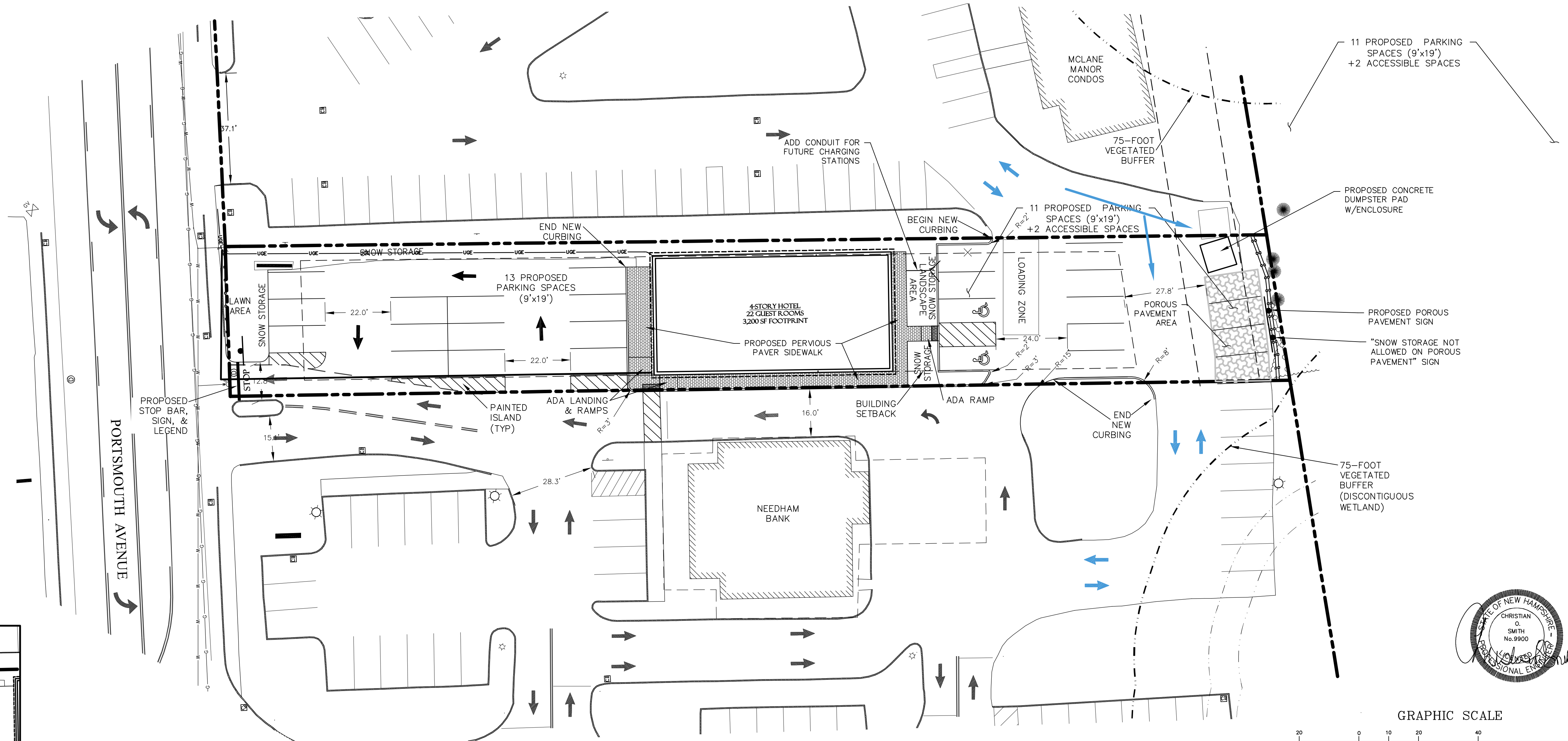


PREPARED FOR:
J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885

BA BEALS
ASSOCIATES, PLLC

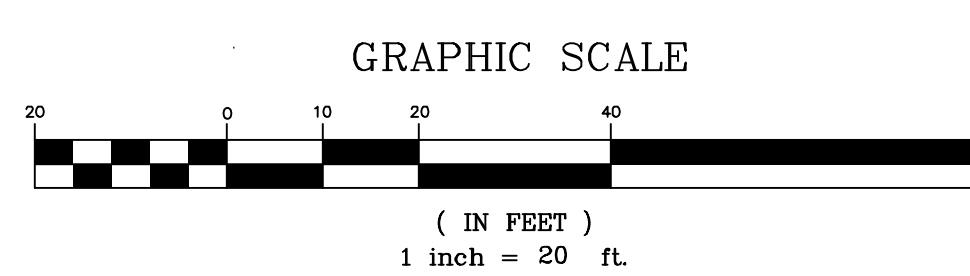
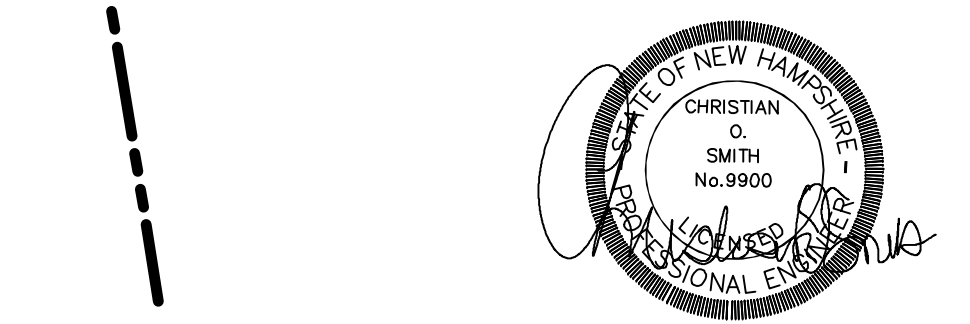
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

➔ = CURRENT DIRECTION OF TRAVEL
(NOT PAINTED ARROWS)



PASSENGER VEHICLE PATH INSET
SCALE: 1"=30'

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW A 4-STORY HOTEL BUILDING WITH ASSOCIATED PARKING SPACES AND UTILITIES.
 2. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
 3. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
 4. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS UNLESS A VARIANCE IS OTHERWISE REQUESTED.
 5. TOTAL PROPOSED DISTURBANCE FOR CONSTRUCTION = 0.4± ACRES.
 6. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN, SIGNED AND STAMPED BY THE DESIGN ENGINEER, WHO MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
 7. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK. BY CALLING 1-888-DIG-SAFE.
 8. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS, THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 9. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 10. USE OF THE BUILDING AMENITIES SHALL BE LIMITED TO GUESTS AND INVITEES.



| PARKING/PAVEMENT PLAN | |
|--|-----------------|
| HOTEL DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | |
| REVISED PER REVIEW COMMENTS | 5-20-26 |
| REVISED PER REVIEW COMMENTS | 2-27-26 |
| REVISIONS: | DATE: |
| DATE: | SCALE: 1" = 20' |
| PROJ. NO: NH-1547 | SHEET NO. 4 |

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11 TAYLOR COURT
STRATHAM NH 03885



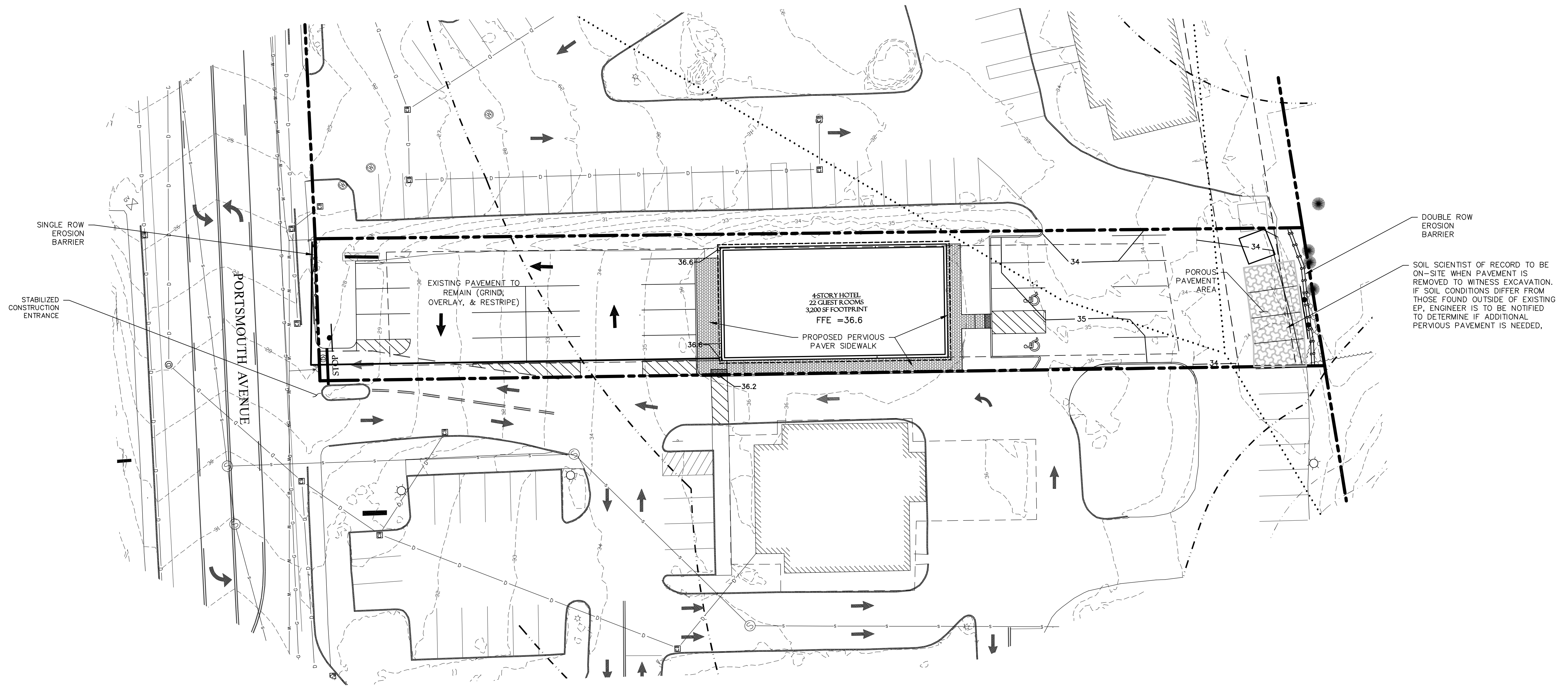
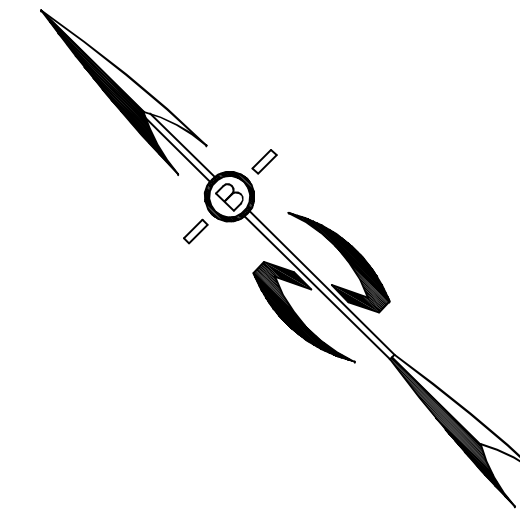
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

SOIL INFORMATION WAS OBTAINED FROM USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS)

SOIL IDENTIFICATION LEGEND:

| MAP UNIT SYMBOL | MAP UNIT NAME | HYDROLOGIC SOIL GROUP |
|-----------------|--------------------------|-----------------------|
| 38B | ELDRIDGE FINE SANDY LOAM | C/D |
| 299 | UDORTHERTS, SMOOTHED | |
| 699 | URBAN LAND | |

SLOPE PHASES:
A=0-3%, B=3-8%, C=8-15%, D=15-25%, E=25%+



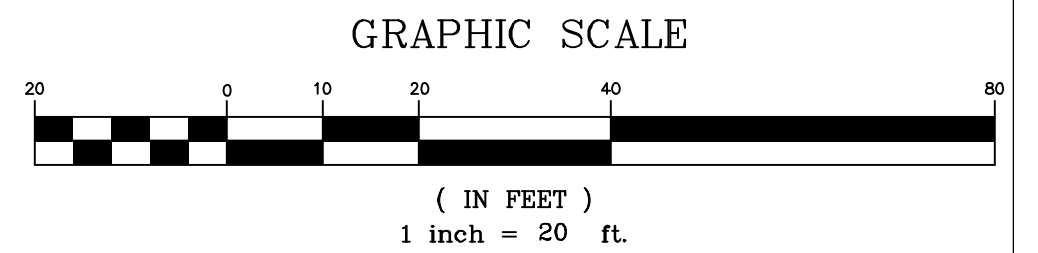
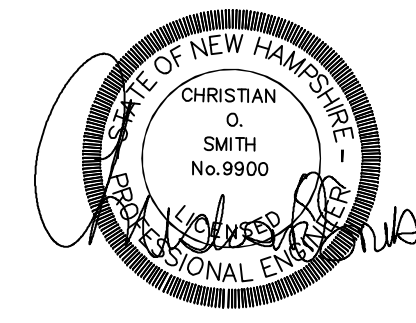
SOIL SCIENTIST OF RECORD TO BE ON-SITE WHEN PAVEMENT IS REMOVED TO WITNESS EXCAVATION. IF SOIL CONDITIONS DIFFER FROM THOSE FOUND OUTSIDE OF EXISTING EP, ENGINEER IS TO BE NOTIFIED TO DETERMINE IF ADDITIONAL PERVIOUS PAVEMENT IS NEEDED.



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

NOTES:

- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



GRADING, DRAINAGE, & EROSION CONTROL PLAN

HOTEL DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

| | | | | |
|------------|-------|-------|-----------|-----------|
| REVISIONS: | DATE: | DATE: | PROJ. NO: | SHEET NO. |
| REVISOR: | DATE: | DATE: | NH-1547 | 5 |
| REVISIONS: | DATE: | DATE: | DATE: | SCALE: |
| REVISOR: | DATE: | DATE: | DATE: | 1" = 20' |

UTILITY NOTES:

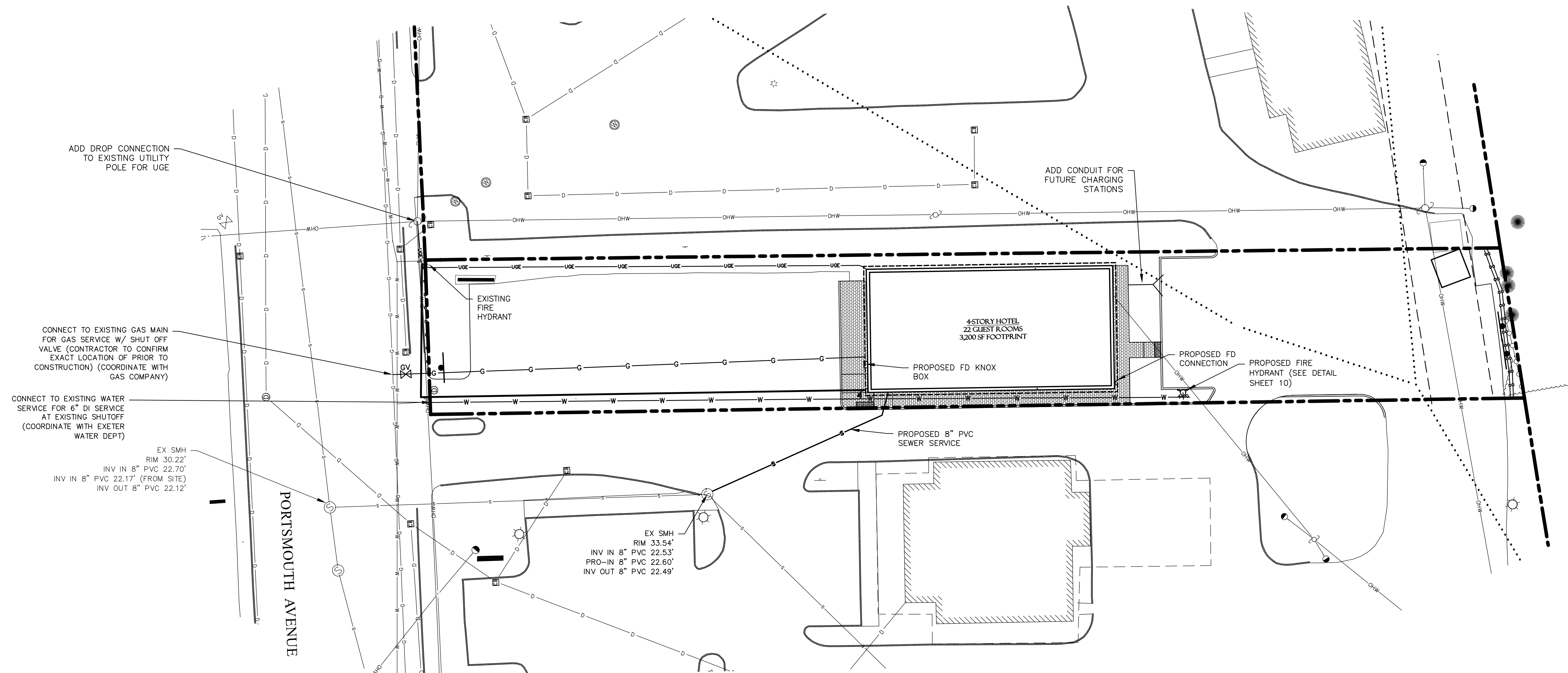
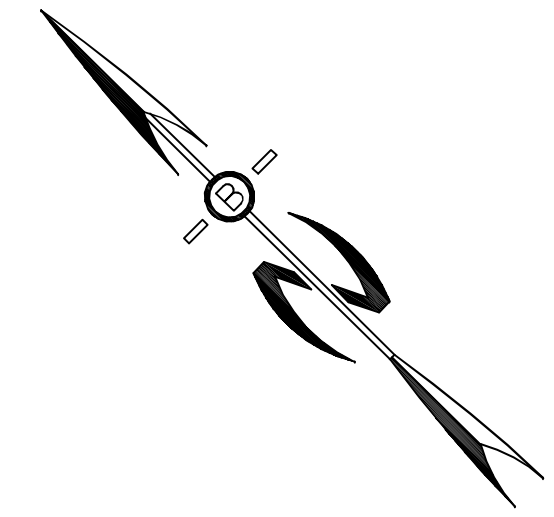
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES, AND BONDS.
- THE CONTRACTOR SHALL PROVIDE NOTICE TO ALL COMPANIES AND LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH, OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE SPECIFICATIONS FOR PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR PROPER UTILITY CROSSING REQUIREMENTS PRIOR TO CONSTRUCTION.
- PRIOR TO THE PRE-CONSTRUCTION MEETING UG&T PLANS FROM THE UTILITY COMPANIES NEED TO BE REDRAWN ON THIS SHEET. ADDITIONALLY THE CONTRACTOR NEEDS TO HAVE A COMPLETED SWPPP. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO EXETER STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR (OSHA) RULES AND REGULATIONS. BUILDINGS ARE TO BE SERVICED BY UNDERGROUND UTILITIES.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS (IF REQUIRED) IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
- WATER LINE SHALL BE INSTALLED UNDER ALL UTILITY LINES WITH A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN UTILITIES AT CROSSINGS.
- AN AS-BUILT PLAN IS TO BE PREPARED AND SUBMITTED TO DEPARTMENT OF PUBLIC WORKS IN DIGITAL (.DWG AND .PDF) AND MYLAR FORMATS.
- THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL CONNECTION FEES.
- SANITARY SEWER FLOW CALCULATIONS:

22 ROOM HOTEL
 ESTIMATED FLOW AT 200 GPD/ROOM= 4,400 GPD
 4 EMPLOYEES
 ESTIMATED FLOW AT 10 GPD/EMPLOYEE = 40 GPD = 40 GPD
 TOTAL ESTIMATED FLOW = 4,440 GPD

- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY CAP AND WITNESS AT END.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL WATER LINE BENDS, TEES, AND MECHANICAL JOINTS.
- CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO EXISTING WATER SERVICES AND ALL REQUIREMENTS OF EXETER WATER DEPARTMENT SHALL BE FOLLOWED REGARDING NOTIFICATION OF INTERRUPTION OF SERVICE (MIN 48 HOURS).
- TEE INSTALLATION MAY NEED TO BE CONDUCTED AT NIGHT AS DIRECTED BY EXETER WATER DEPT.
- WATER VALVES ARE TO BE OPERATED ONLY BY MUNICIPAL STAFF.
- THE INSTALLATION OF SMOKE, HEAT, FIRE, OR CARBON MONOXIDE ALARMS OR SYSTEMS SHALL COMPLY WITH NFPA 72 REQUIREMENTS.
- ALL SEWER SERVICE BENDS SHALL HAVE CLEANOUTS INSTALLED.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
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WATER & SEWER DESIGN FLOWS:

USE: HOTEL
 DESIGN FLOW: 200 GPD PER ROOM + 20 GPD PER EMPLOYEE
 = 200 GPD/ROOM * 22 ROOMS + 20 GPD/EE * 4 EES
 = 4,480 GPD

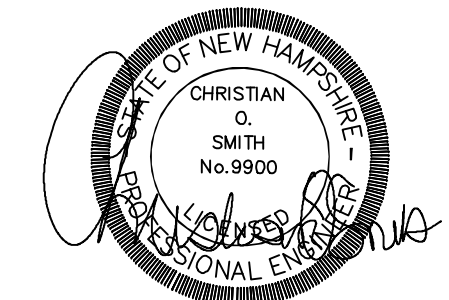
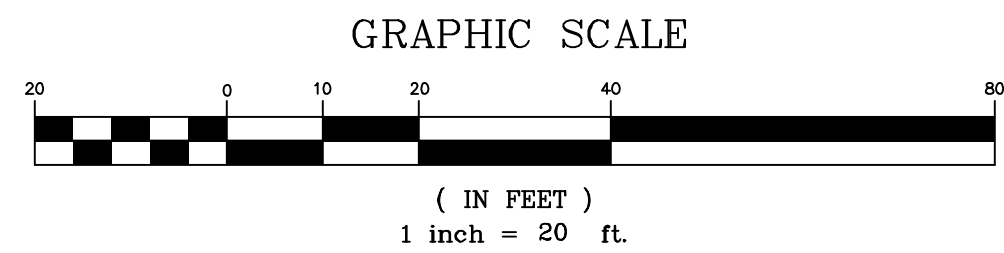


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PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM NH 03885



70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
 PHONE: 603-583-4860,
 FAX: 603-583-4863



| | |
|-----------------------------|---------|
| REVISED PER REVIEW COMMENTS | 2-27-26 |
| REVISIONS: | DATE: |

| | |
|--|--------------|
| UTILITY PLAN | |
| HOTEL DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | |
| DATE: | JAN 27, 2026 |
| SCALE: | 1" = 20' |
| PROJ. NO: | NH-1547 |
| SHEET NO. | 6 |



POLE MOUNT
(P4)



WALL MOUNT
(W1)

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|--|---|-------|------------------|
| Symbol | Qty | Label | Arrangement | Description | Tag | LLF | Luminaire Lumens |
| ⊠ | 4 | P4 | Single | COOPER: GALN-SALA-830-U-T4BC-CXX | MTD 10' AFG ON 10' COOPER POLE: SSS-10-4-11-AB-N1-CXX | 0.900 | 3324 |
| ⊙ | 4 | W1 | Single | TMS: 10W-O-15LED-30K-VXX-WM-CXX-DIML-W12 | WALL MTD 8' AFG | 0.900 | 1090 |

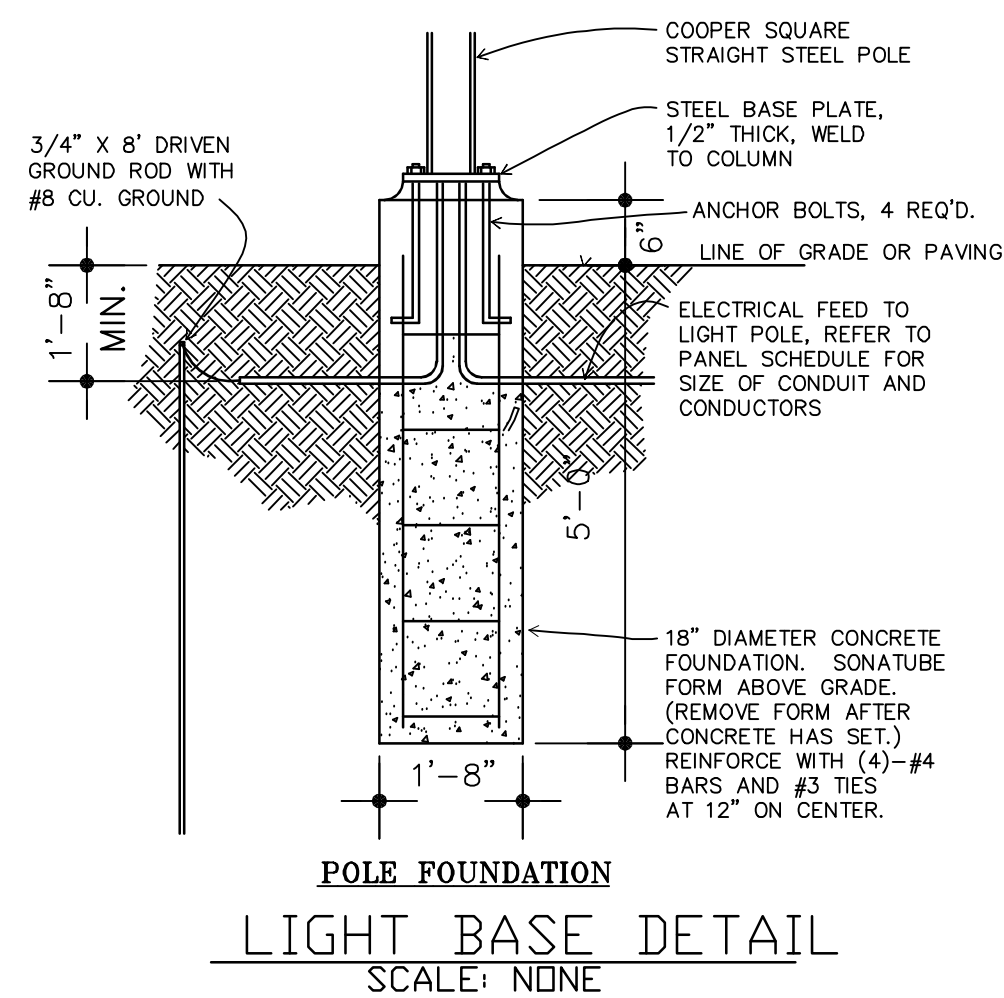
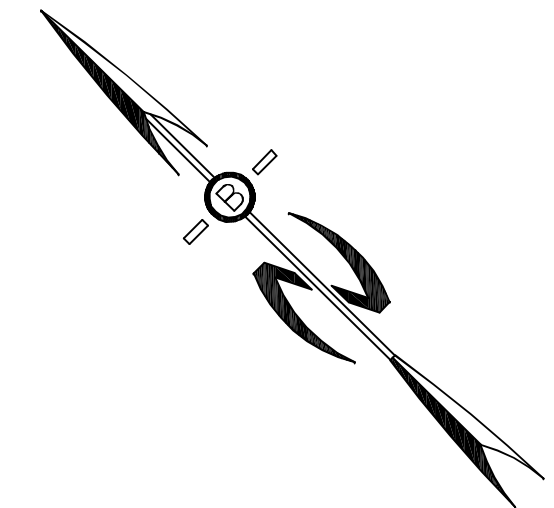
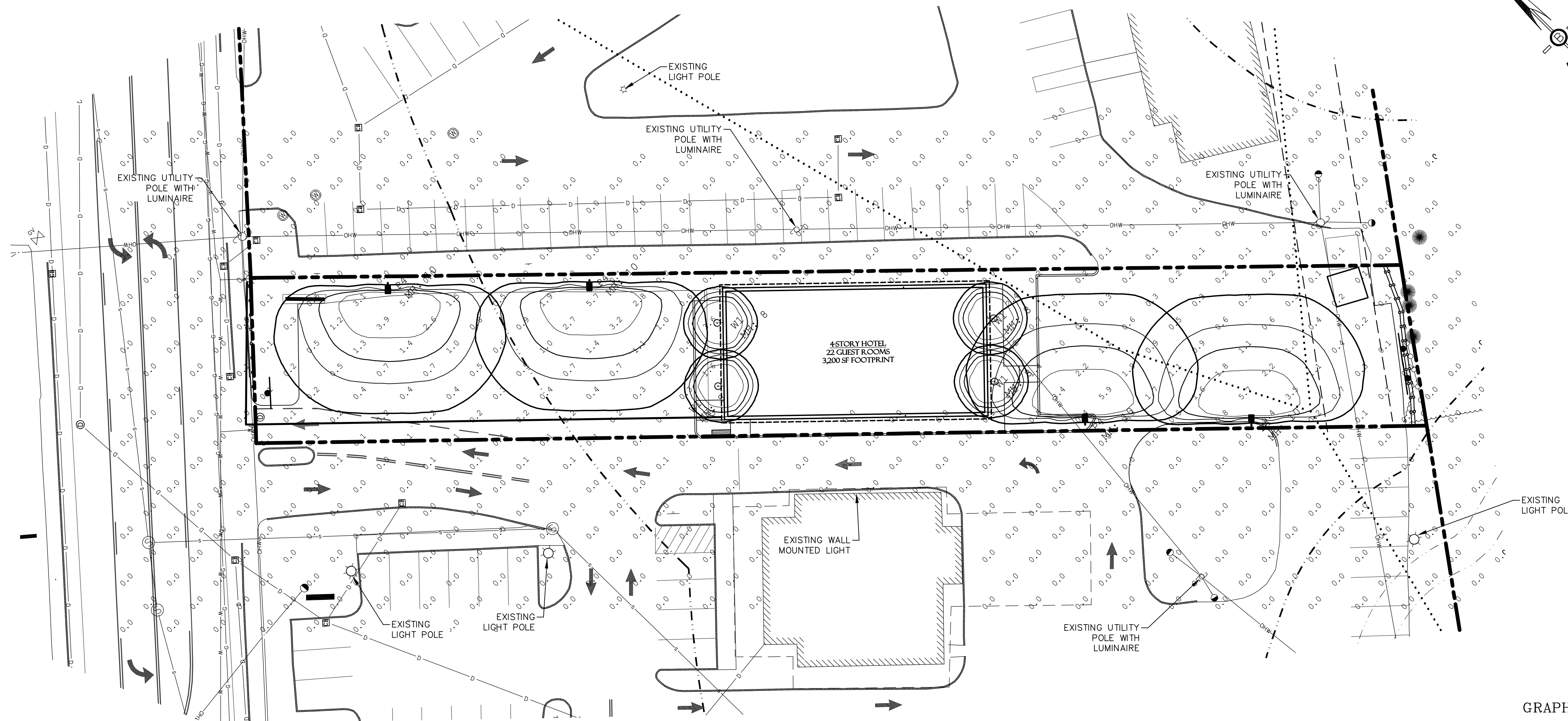
| Calculation Summary | | | | | | |
|---------------------|-------|------|-----|-----|---------|---------|
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ENTIRE AREA | Fc | 0.20 | 5.9 | 0.0 | N.A. | N.A. |
| NORTH PARKING LOT | Fc | 1.12 | 5.7 | 0.2 | 5.60 | 28.50 |
| SOUTH PARKING LOT | Fc | 0.94 | 5.9 | 0.0 | N.A. | N.A. |
| SOUTH WALKWAY | Fc | 0.00 | 0.1 | 0.0 | N.A. | N.A. |

PREPARED FOR:

J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885

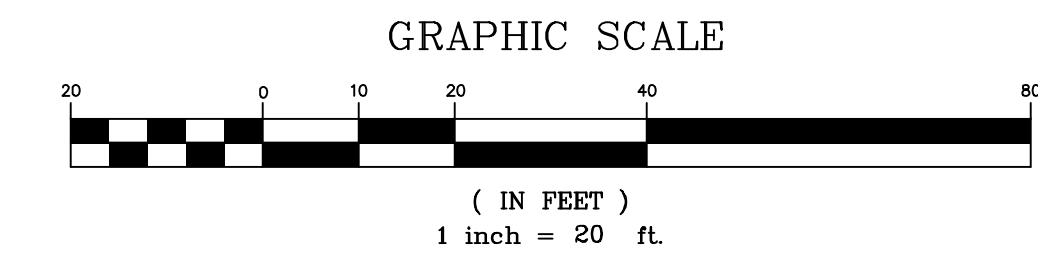


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THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



LIGHTING NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE DARK SKY COMPLIANT AND DIRECTED & SHIELDED SUCH THAT NO GLARE WILL SPILL OUT INTO RESIDENTIALLY ZONED ADJACENTS
2. AFTER 10:00 PM ONLY THAT AMOUNT OF LIGHT NECESSARY FOR THE SECURITY OF THE PREMISES SHALL BE PERMITTED.



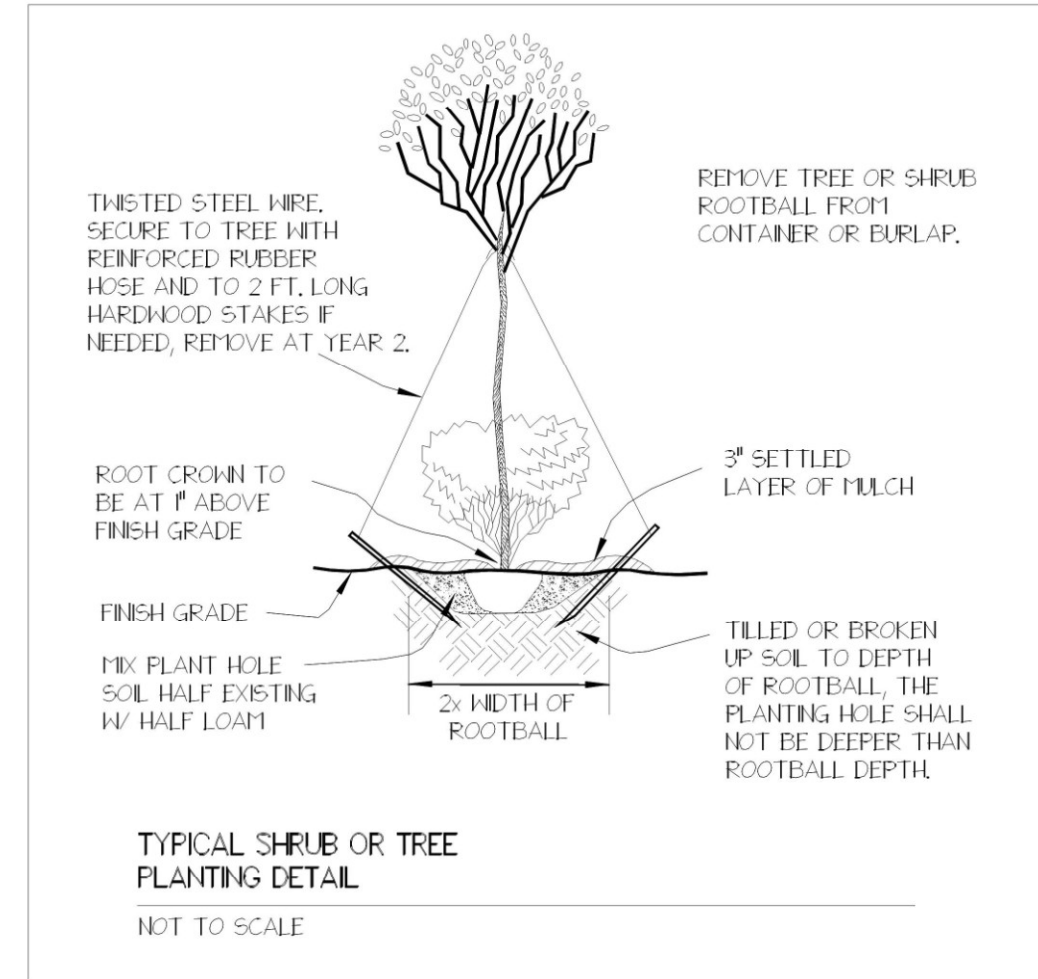
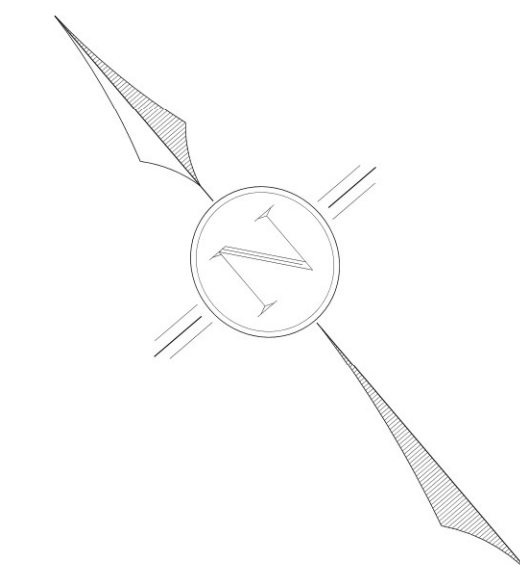
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| REVISIONS: | DATE: |
| REVISED PER REVIEW COMMENTS | 5-20-26 |
| REVISED PER REVIEW COMMENTS | 3-16-26 |

LIGHTING PLAN

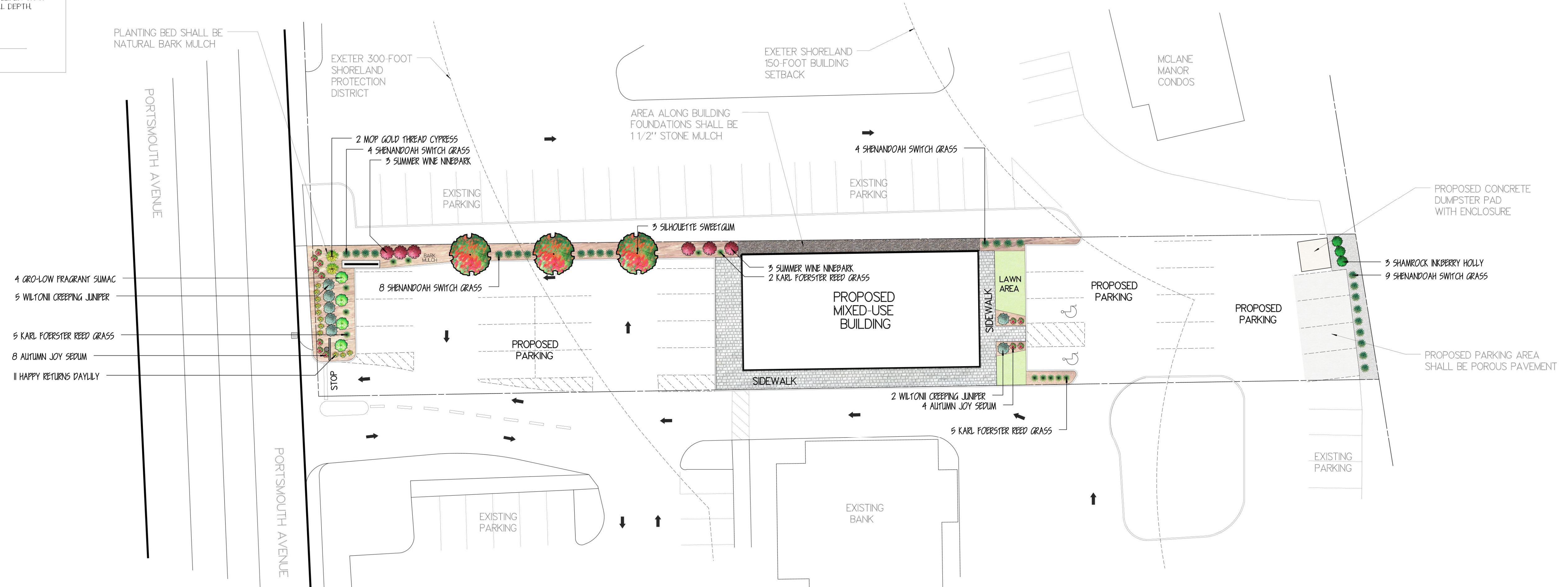
HOTEL DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

| | | | |
|-----------|--------------|-----------|----------|
| DATE: | JAN 27, 2026 | SCALE: | 1" = 20' |
| PROJ. NO: | NH-1547 | SHEET NO. | 7 |

PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM, NH 03885



PLANTING BED SHALL BE NATURAL BARK MULCH



PLANTING NOTES:

THE LANDSCAPE INSTALLATION CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO STARTING WORK.

THE CONTRACTOR SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

THE DEVELOPER SHALL PLANT A MINIMUM OF THE AMOUNT OF SHRUBS AND TREES SHOWN ON THE PLANT LIST, BUT EXACT SPECIES MAY VARY BASED ON AVAILABILITY. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE FULL YEAR FROM THE TIME OF OWNER ACCEPTANCE.

ALL PLANT MATERIAL SHALL BE WATERED THOROUGHLY DURING THE FIRST 24 HOUR PERIOD AFTER PLANTED. PLANTS SHALL BE WATERED WEEKLY OR MORE AS NECESSARY DURING THE FIRST GROWING YEAR.

ALL TREES, SHRUBS AND PERENNIALS SHALL BE PLANTED IN MULCH BEDS EXCEPT WHERE SPECIFIED ON THE PLAN. ALL MULCH AREAS SHALL RECEIVE A 3 INCH LAYER OF NATURAL BARK MULCH OVER A CONSTRUCTION GRADE WEED MAT BARRIER.

THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION DEBRIS, ETC. FROM ANY LANDSCAPE AREA UNLESS DESIGNATED TO REMAIN.

ALL DISTURBED AREAS TO BE LANDSCAPED SHALL BE REPLACED WITH SUITABLE TOPSOIL.

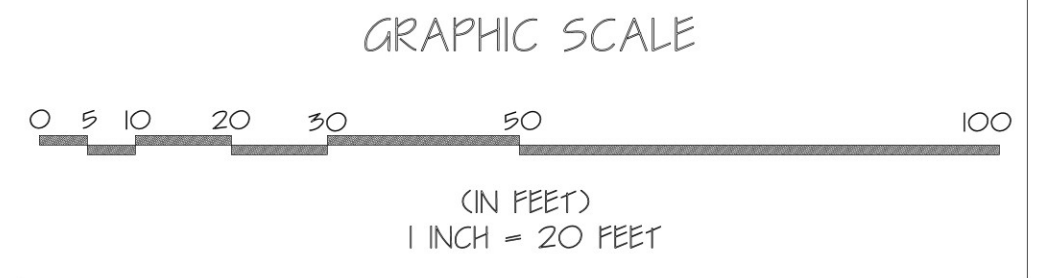
THE BUILDING FOUNDATIONS WILL HAVE STONE MULCH BORDER EXTENDING OUT 18 INCHES FROM FOUNDATION AS DRIP EDGE. THE STONE MULCH SHALL BE 3 INCH DEPTH OVER A CONSTRUCTION GRADE WEED MAT BARRIER.

THIS PLAN SHEET IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL AND SITE SHEETS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

ALL PLANTING SHALL CONFORM TO THE TOWN OF EXETER, NEW HAMPSHIRE'S SITE PLAN REVIEW REGULATIONS PLANTING REQUIREMENTS.

| Qty | Botanical Name | Common Name | Size/Condition |
|---------------------------|---|---------------------------|----------------|
| Trees | | | |
| 3 | <i>Liquidambar styraciflua</i> 'Slender Silhouette' | SILHOUETTE SWEETGUM | 3" Caliper B&B |
| Shrubs | | | |
| 2 | <i>Chamaecyparis pisifera</i> 'Mop' | MOP GOLD THREAD CYPRESS | 5 Gallon |
| 3 | <i>Ilex glabra</i> 'Shamrock' | SHAMROCK INKBERRY HOLLY | 5 Gallon |
| 7 | <i>Juniperus horizontalis</i> 'Wiltonii' | WILTONII CREEPING JUNIPER | 3 Gallon |
| 6 | <i>Physocarpus opulifolius</i> 'Seward' | SUMMER WINE NINEBARK | 5 Gallon |
| 4 | <i>Rhus aromatica</i> 'Gro-low' | GRO-LOW FRAGRANT SUMAC | 3 Gallon |
| Ornamental Grasses | | | |
| 12 | <i>Calamagrostis x acutiflora</i> 'Karl Foerster' | KARL FOERSTER REED GRASS | 2 Gallon |
| 25 | <i>Panicum virgatum</i> 'Shenandoah' | SHENANDOAH SWITCH GRASS | 2 Gallon |
| Perennials | | | |
| 11 | <i>Hemerocallis</i> 'Happy Returns' | HAPPY RETURNS DAYLILY | 1 Gallon |
| 12 | <i>Sedum</i> 'Autumn Joy' | AUTUMN JOY SEDUM | 1 Gallon |

NOTE: PLANT CONTAINER SIZES MAY VARY BASED ON AVAILABILITY.



| | |
|------------------------|------------|
| REVISED PER COMMENTS | 12/03/2025 |
| REVISED PER COMMENTS | 11/05/2025 |
| REVISED PER COMMENTS | 08/18/2025 |
| REVISED OVERALL LAYOUT | 06/06/2025 |
| REVISIONS: | DATE: |

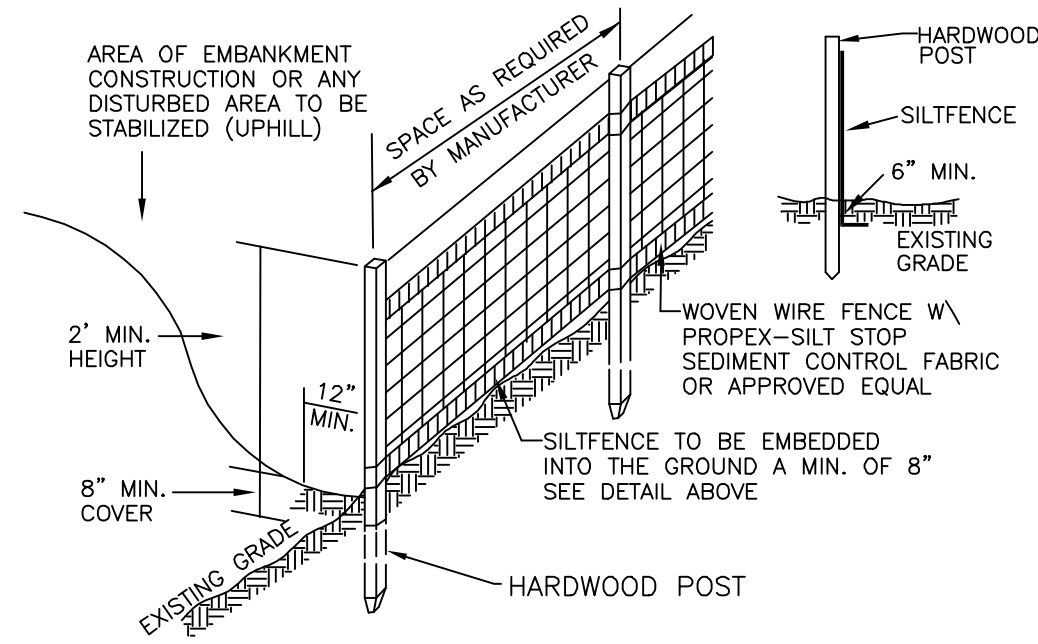
PLANTING PLAN

MIXED-USE DEVELOPMENT
 97 PORTSMOUTH AVENUE
 EXETER, NH
 TAX MAP 65, LOT 125

| | | | |
|------------|----------------|------------|----------|
| DATE: | APRIL 29, 2025 | SCALE: | 1" = 20' |
| PROJ. NO.: | NH-1547 | SHEET NO.: | 8 |

CONSTRUCTION SEQUENCE

- CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
- EXCAVATE AND STOCKPILE TOPSOIL /LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
- CONSTRUCT THE ROADWAY AND ITS ASSOCIATED DRAINAGE STRUCTURES.
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDED OR MULCHED AS REQUIRED, OR DIRECTED.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
- COMPLETE PERMANENT SEEDING AND LANDSCAPING
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
- FINISH PAVING ALL DRIVEWAYS.
- CONTRACTOR TO BE AWARE CLEANING OF EXISTING CATCH BASINS MAY BE REQUIRED PRIOR TO BOND RELEASE AS DETERMINED BY THE EXETER DPW.



SILT FENCE CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED 4'
- MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER.
- THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BYPASSING MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT
- REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE
- FOR SEDIMENT STORAGE SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND
- THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

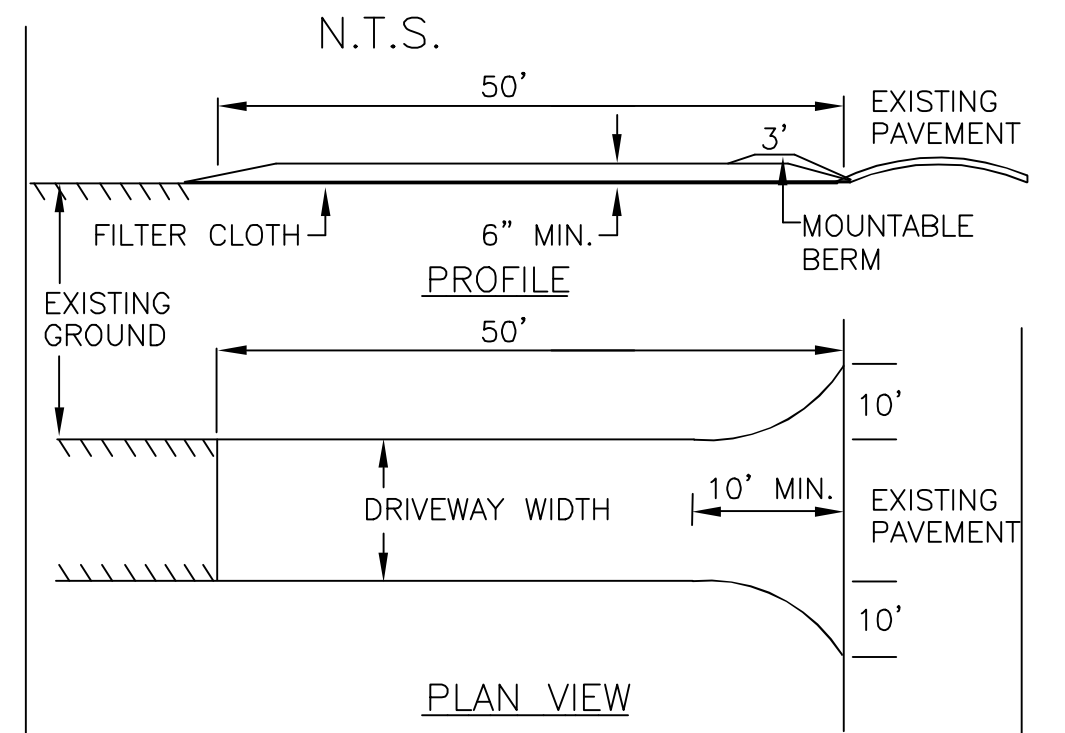
SILT FENCE MAINTENANCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME
- INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT.
- THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE
- FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

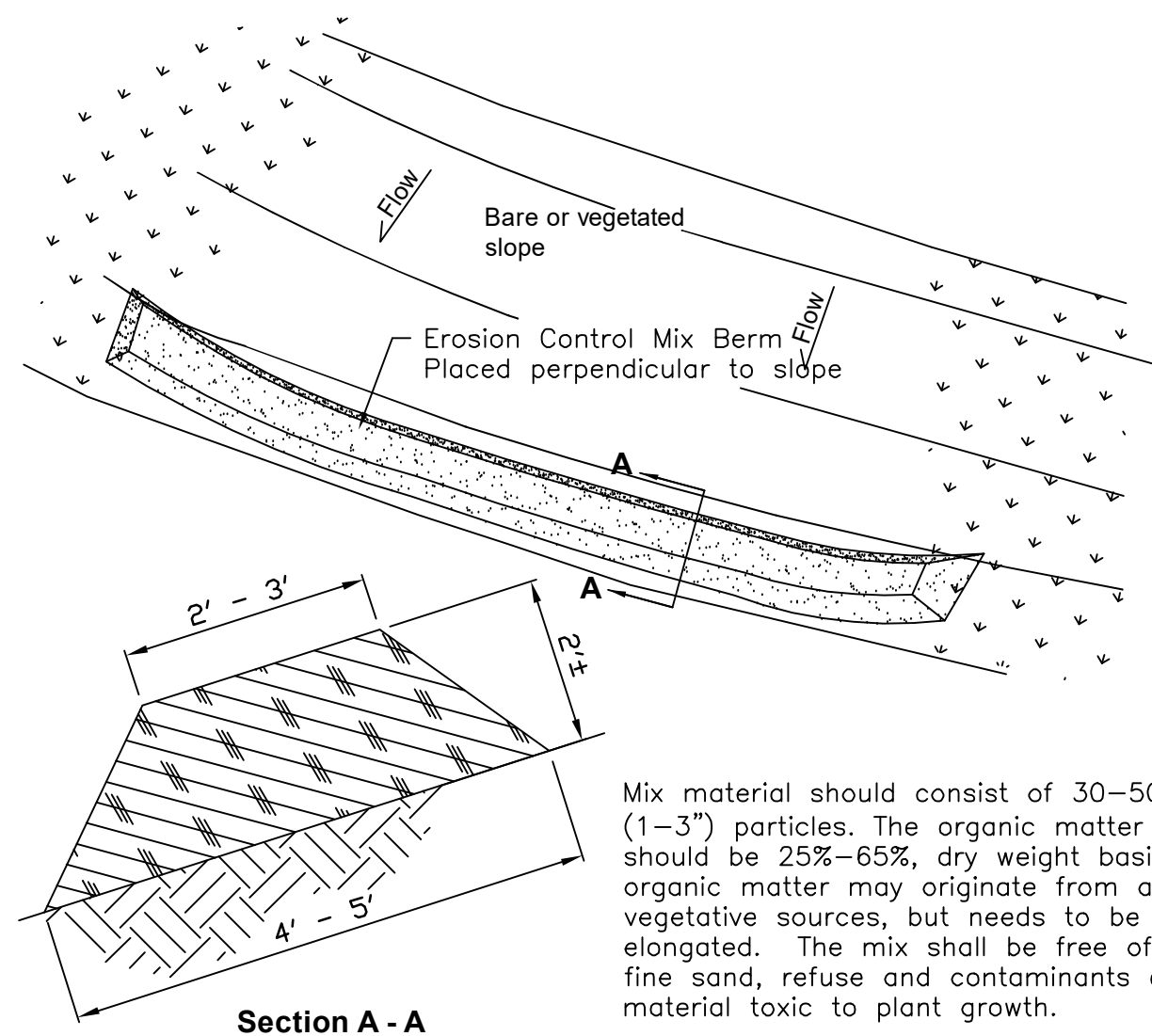
SEEDING SPECIFICATIONS

- GRADING AND SHAPING
 - SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT..
 - NITROGEN(N), 50 LBS PER ACRE OR 1. 1 LBS PER 1,000 SQ.FT.
 - PHOSPHATE(P205), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)

STABILIZED CONSTRUCTION ENTRANCE



- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET,
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



Mix material should consist of 30-50% large (1-3") particles. The organic matter content should be 25-65%, dry weight basis. The organic matter may originate from a variety of vegetative sources, but needs to be fibrous and elongated. The mix shall be free of silt, clay, fine sand, refuse and contaminants or any material toxic to plant growth.

Erosion Control Mix berms are effective filters for overland flow conditions and should not be used to filter concentrated flow such as that found in drainage ditches, streams, etc.

Erosion Control Mix Berm

- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFLOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
- WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
- MAINTENANCE TO ESTABLISH A STAND
 - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

SEEDING RATES

| MIXTURE | POUNDS PER ACRE | POUNDS PER 1,000 Sq. Ft. |
|----------------------------|-----------------|--------------------------|
| A. TALL FESCUE | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| RED TOP | 2 | 0.05 |
| TOTAL | 42 | 0.95 |
| B. TALL FESCUE | 15 | 0.35 |
| CREeping RED FESCUE | 10 | 0.25 |
| CROWN VETCH | 15 | 0.35 |
| OR | | |
| FLAT PEA | 30 | 0.75 |
| TOTAL | 40 OR 55 | 0.95 OR 1.35 |
| C. TALL FESCUE | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| BIRDS FOOT TREFLOIL | 8 | 0.20 |
| TOTAL | 48 | 1.10 |
| D. TALL FESCUE | 20 | 0.45 |
| FLAT PEA | 30 | 0.75 |
| TOTAL | 50 | 1.20 |
| E. CREeping RED FESCUE 1/2 | 50 | 1.15 |
| KENTUCKY BLUEGRASS 1/2 | 50 | 1.15 |
| TOTAL | 100 | 2.30 |
| F. TALL FESCUE 1 | 150 | 3.60 |

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TEMPORARY EROSION CONTROL MEASURES

- NO MORE THAN 1.58 ACRES OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
- DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
- SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.

WINTER MAINTENANCE

- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

SEEDING GUIDE

| USE | SEEDING MIXTURE* | DROUGHTY | WELL DRAINED | MODERATELY WELL DRAINED | POORLY DRAINED |
|---|------------------|----------|--------------|-------------------------|----------------|
| STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS | A | FAIR | GOOD | GOOD | FAIR |
| | B | POOR | GOOD | FAIR | FAIR |
| | C | POOR | GOOD | EXCELLENT | GOOD |
| | D | FAIR | FAIR | GOOD | EXCELLENT |
| | E | FAIR | EXCELLENT | EXCELLENT | POOR |
| WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER. | A | GOOD | GOOD | GOOD | FAIR |
| | C | GOOD | EXCELLENT | EXCELLENT | FAIR |
| | D | GOOD | EXCELLENT | EXCELLENT | FAIR |
| LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES. | A | GOOD | GOOD | GOOD | FAIR |
| | B | GOOD | GOOD | FAIR | POOR |
| | D | FAIR | GOOD | GOOD | EXCELLENT |
| PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.) | F | FAIR | EXCELLENT | EXCELLENT | ** |
| | G | FAIR | EXCELLENT | EXCELLENT | |

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
* REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.
** POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAY AREAS OR ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

| | |
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| REVISIONS: | DATE: |
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EROSION & SEDIMENT CONTROL DETAILS

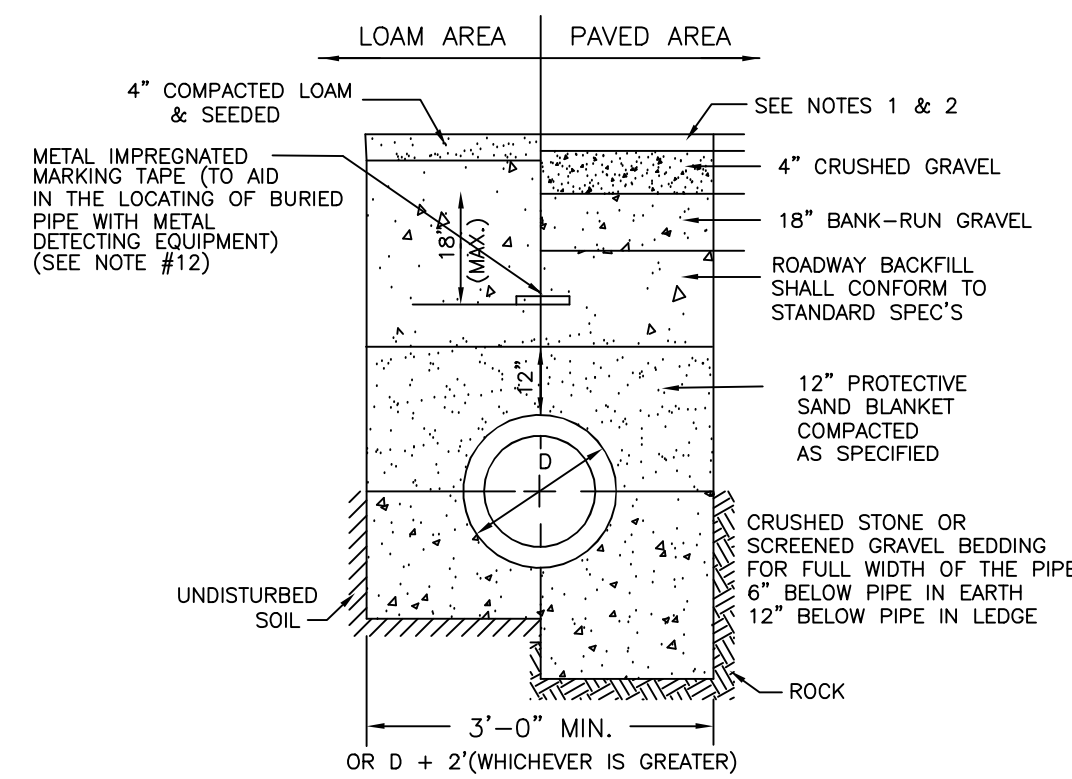
HOTEL DEVELOPMENT
97 PORTSMOUTH AVENUE
EXETER, NH
TAX MAP 65, LOT 125

| | | | |
|-----------|--------------|-----------|-----|
| DATE: | JAN 27, 2026 | SCALE: | NTS |
| PROJ. NO: | NH-1547 | SHEET NO. | 9 |

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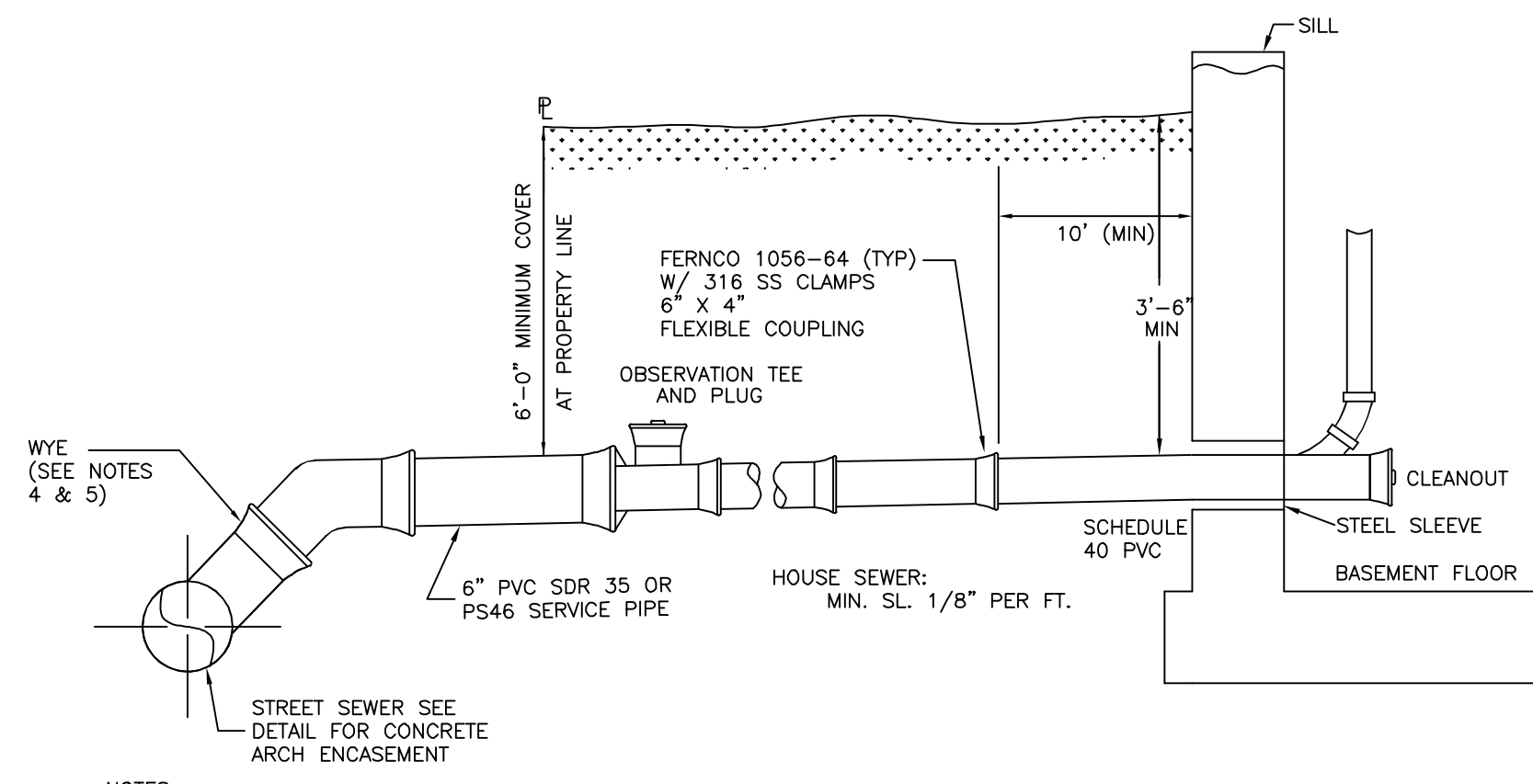
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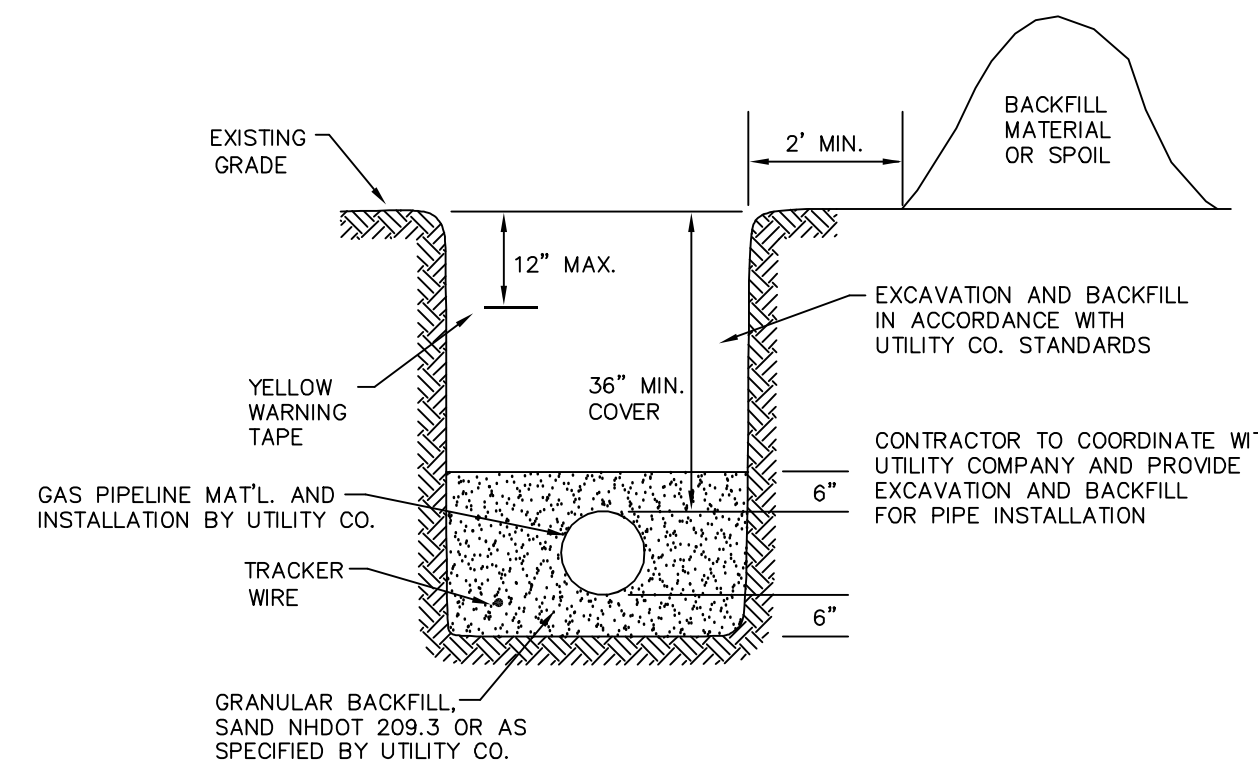
- NOTE:
 1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

TYPICAL SEWER TRENCH DETAIL
 NOT TO SCALE

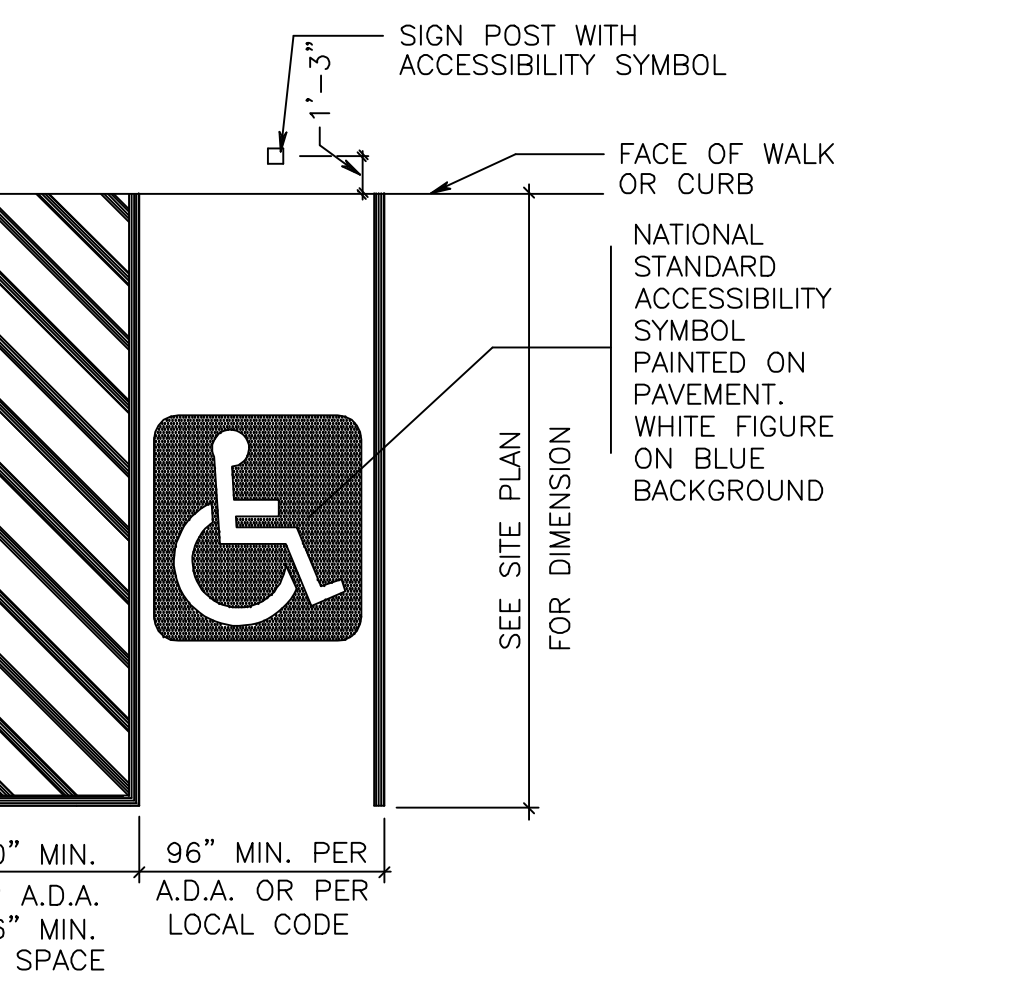
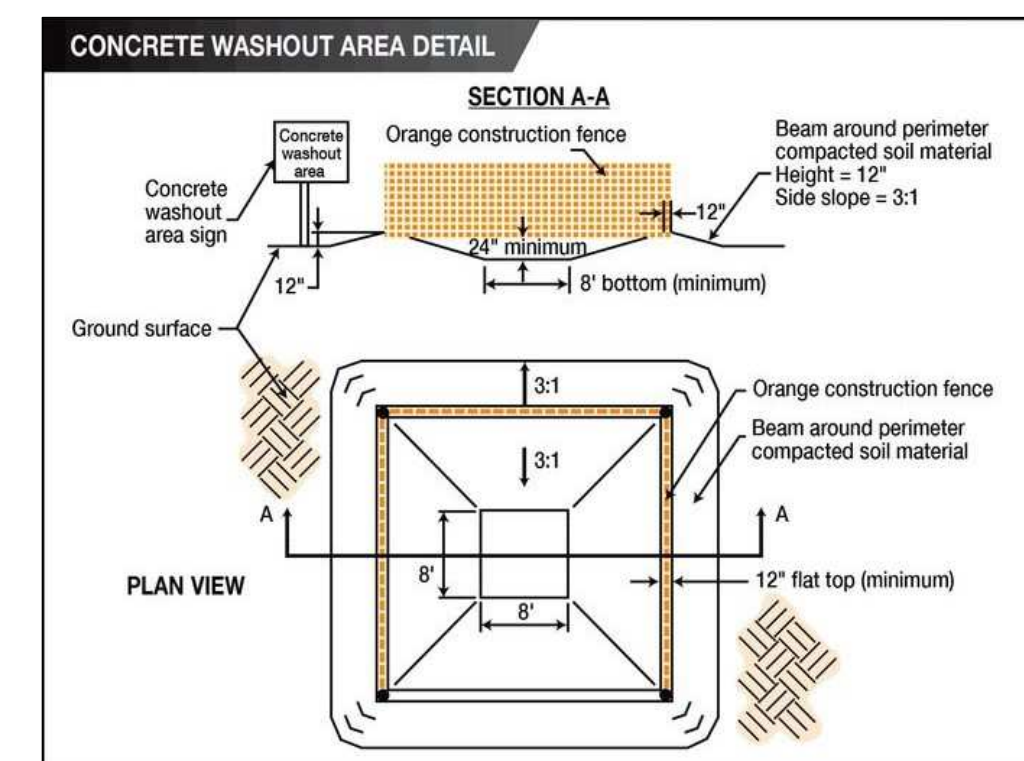


- NOTES:
 1) SEWER SERVICE FROM PROPERTY LINE TO 10' OUTSIDE OF BUILDING SHALL BE INSTALLED UNDER THIS CONTRACT ONLY WHEN OUTSIDE THE TRENCH DEWATERING OR LEDGE EXCAVATION IS REQUIRED.
 2) PIPE DEPTH AT HOUSE SHALL BE ABOVE THE SEASONAL GROUND WATER LEVEL.
 3) SEWER SHALL BE BELOW SLAB ONLY WHEN BASEMENT TOILETS EXIST.
 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR, AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 5) WYES: WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY-CEMENTED SADDLE, TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER.

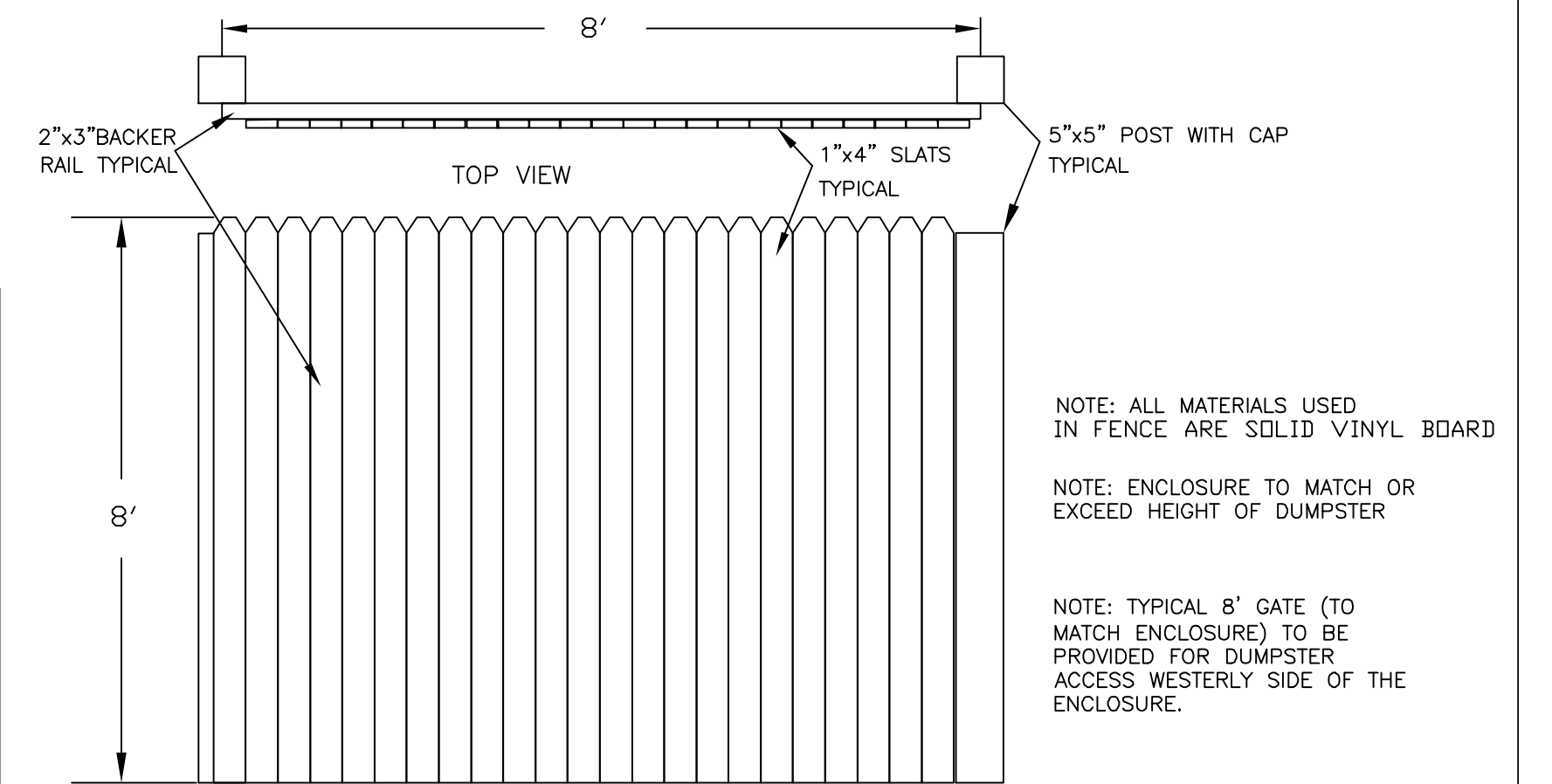
DETAIL OF HOUSE SEWER SERVICE



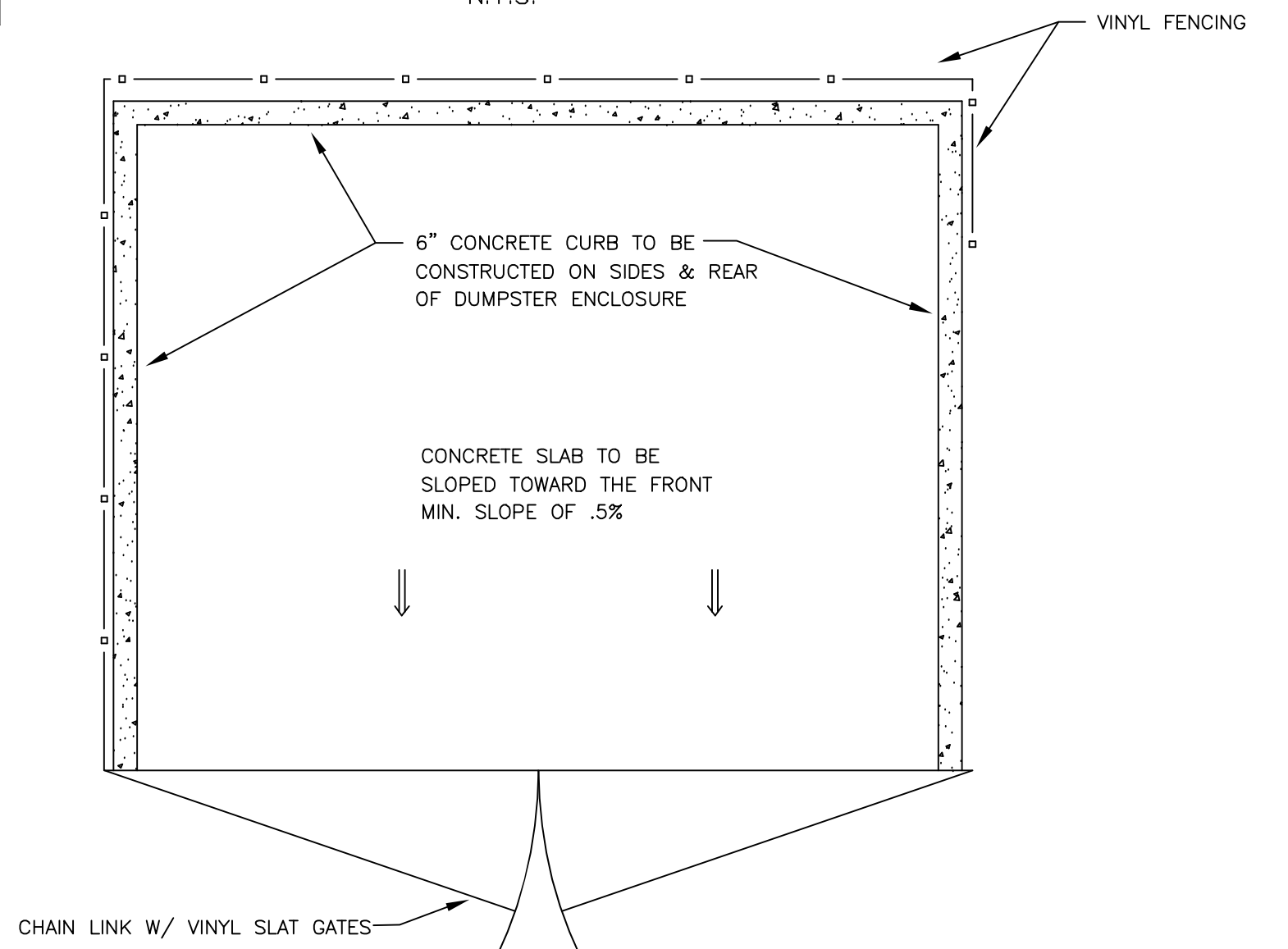
GAS TRENCH DETAIL



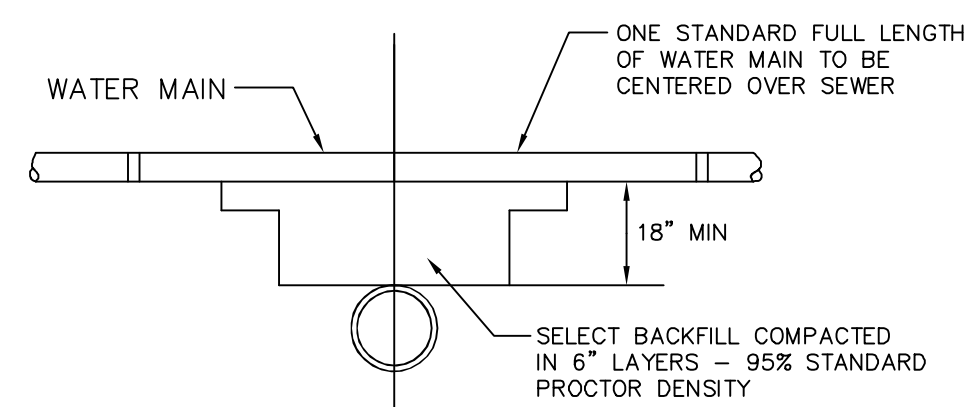
PARKING STALL FOR THE PHYSICALLY CHALLENGED
 NOT TO SCALE



STOCKADE FENCE DETAIL
 N.T.S.



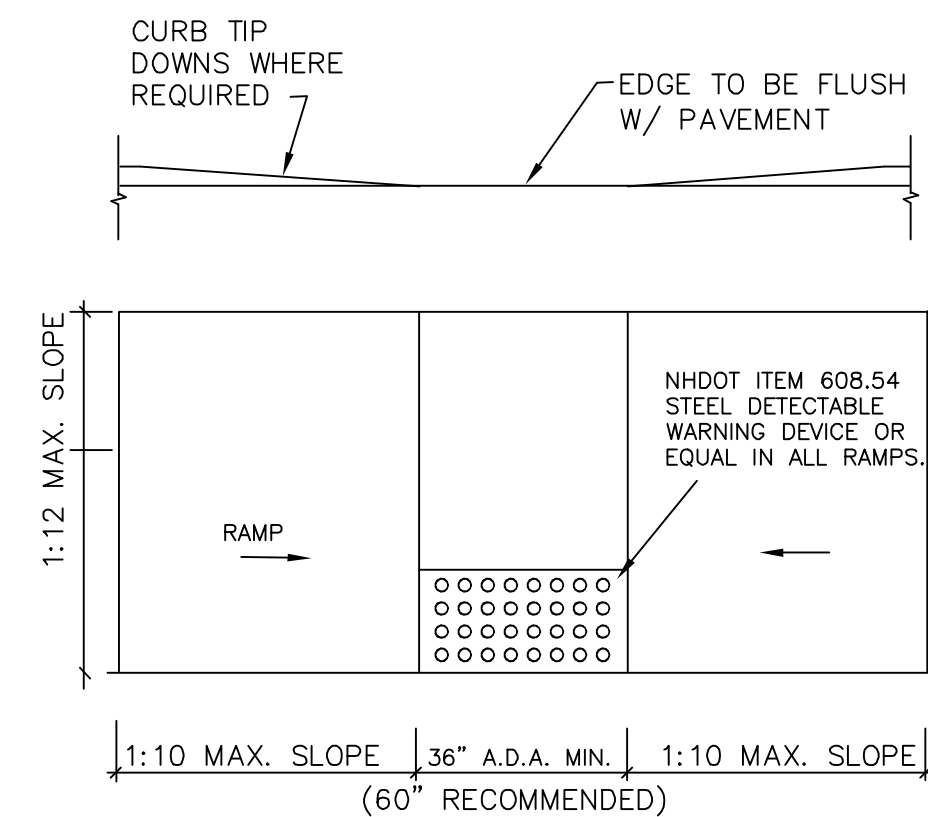
DUMPSTER SLAB DETAILS
 N.T.S.



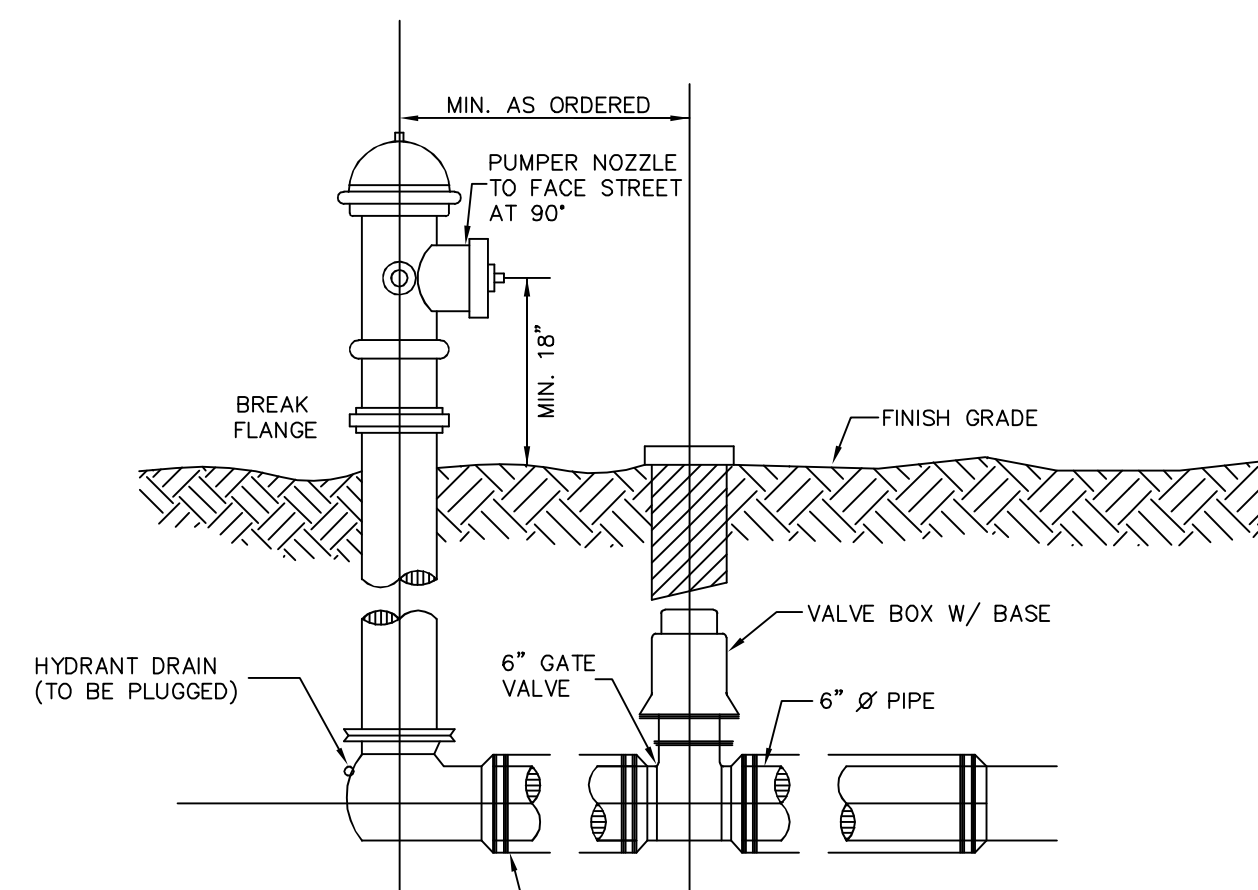
WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN PIPES. WATER MAIN JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER JOINTS.

SEPARATION NOTES:
 SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES (460 MM) BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.

WATER/SEWER MAIN CROSSING

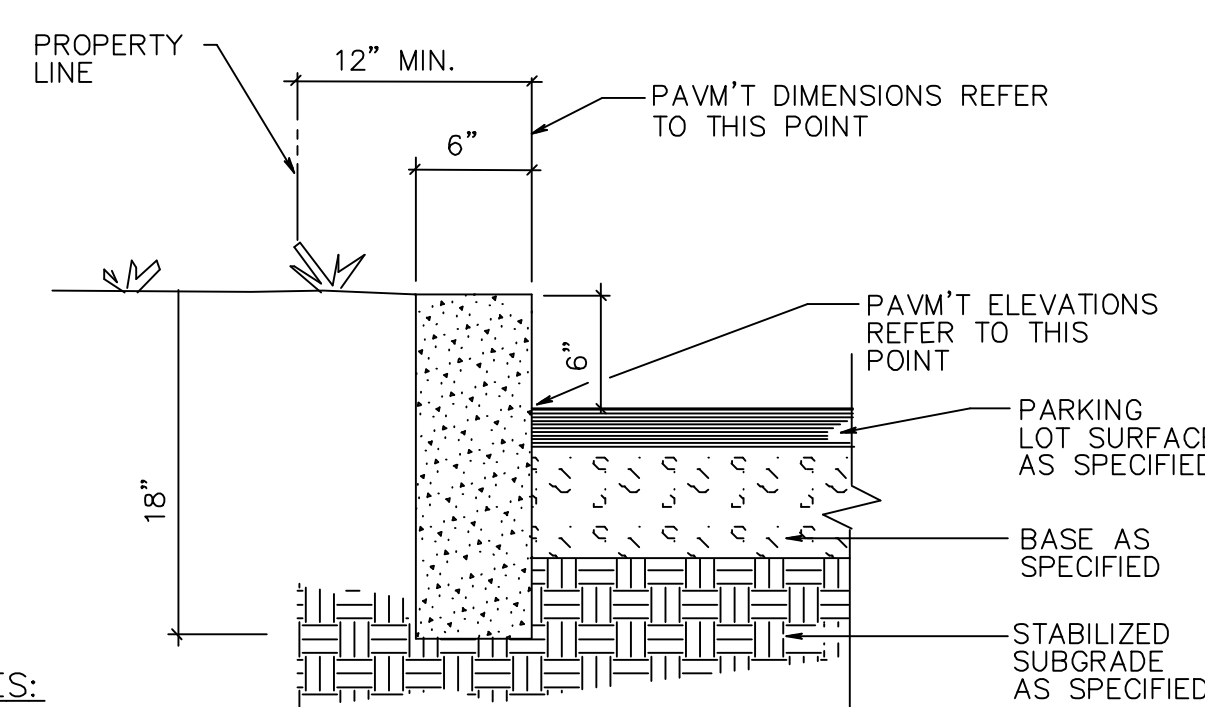


SIDEWALK RAMP DETAIL
 NOT TO SCALE



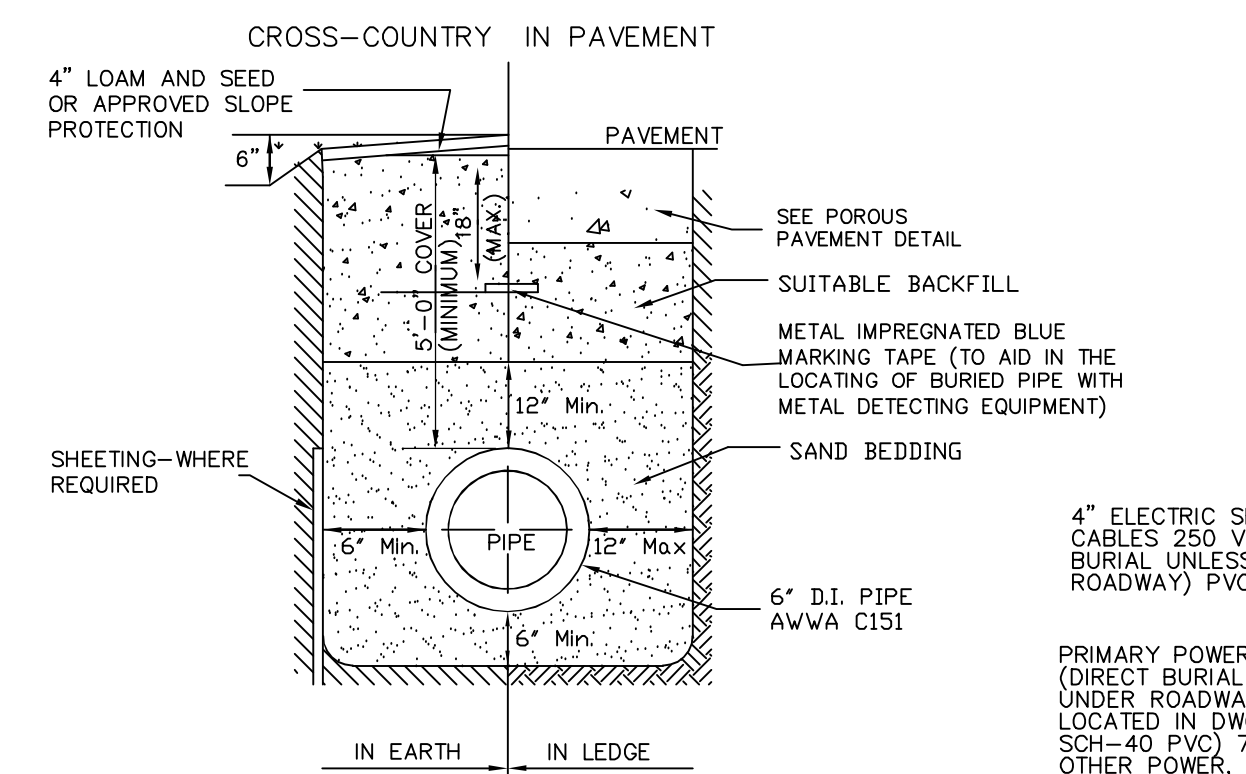
- NOTES:
 1. USE A VALVE ANCHORING TEE ON ALL HYDRANT BRANCHES.
 2. ALL FITTINGS SHALL BE MEGALUG OR APPROVED EQUAL.
 4 - 3/4\"/>

HYDRANT INSTALLATION DETAIL

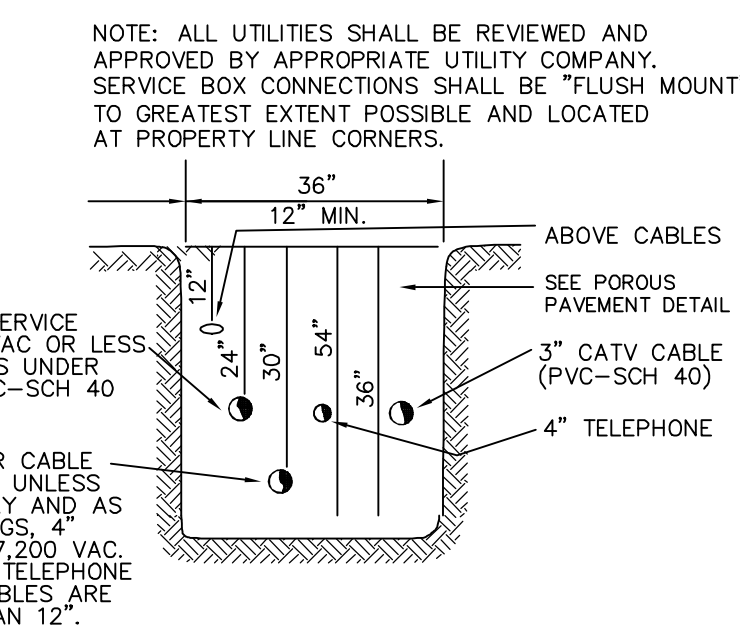


- NOTES:
 1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 2. JOINTS BETWEEN STONES SHALL BE MORTARED.

**6\"/>
 NOT TO SCALE**



TYPICAL TRENCH DETAIL FOR WATER SYSTEM



UTILITY TRENCH DETAIL

| | |
|--|--------------|
| REVISED PER REVIEW COMMENTS | 3-16-26 |
| REVISIONS: | DATE: |
| CONSTRUCTION DETAILS | |
| HOTEL DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | |
| DATE: JAN 27, 2026 | SCALE: NTS |
| PROJ. NO: NH-1547 | SHEET NO. 10 |

CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT
THE UNH STORM WATER CENTER
INSTALLATION RECOMMENDATIONS

- INSTALLATION**
- A. PERCOLATION BEDS (REFERS TO NO 57 STONE)**
1. OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
2. SUB GRADE PREPARATION
A. EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
B. WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
C. BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC COMPACTED BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
3. RECHARGE BED INSTALLATION (REFERS TO NO 3 STONE)
A. UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
B. PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
C. INSTALL COARSE AGGREGATE NO. 3 (1 1/2" STONE) IN 8-INCH MAXIMUM LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
D. INSTALL 3" LIFT PEA GRAVEL LAYER TO PREVENT MIGRATION OF FINES FROM THE FILTER COARSE (NHDOT 304.1)
E. INSTALL FILTER COARSE (NHDOT 304.1 SAND LESS THAN 2% FINES) IN 2, 4" LIFTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
F. INSTALL CHOKER BASE COURSE (AASHTO # 57 STONE) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO THICKER THAN 4-INCH IN DEPTH.
- 4. SURROUNDING AREAS**
A. BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ONTO THE PAVEMENT SURFACE.
B. TO ACCOMPLISH THIS, A SEQUENCE OF SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPHILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BELOW THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PAINTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVEWAYS.
C. BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.
- B. POROUS ASPHALT**
1. TRANSPORTING MATERIAL
A. TRANSPORTING OF MIX TO THE SITE SHALL BE IN VEHICLES WITH SMOOTH, CLEAN DUMP BEDS THAT HAVE BEEN SPRAYED WITH A NON-PETROLEUM RELEASE AGENT.
B. THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
2. POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
3. ASPHALT PLACEMENT
A. THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE LIFT DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO A 4-INCH FINISHED THICKNESS. THE SURFACE CAN BE LAID IN TWO LIFTS IF SECOND LIFT IS DONE WITHIN 10 BUSINESS DAYS AND THE INITIAL COURSE IS CLEAN AND FREE OF SEDIMENT.
B. THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 300 DEGREES FAHRENHEIT AND 350 DEGREES FAHRENHEIT (BASED ON THE RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
C. INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
D. THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
E. THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SCREED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
F. COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST A 10-TON ROLLER. (140°F, SURFACE TEMPERATURE) ONE OR TWO PASSES IS ALL THAT IS REQUIRED FOR PROPER COMPACTION. MORE ROLLING COULD CAUSE A REDUCTION IN THE SURFACE POROSITY WHICH IS UNACCEPTABLE.
4. IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
5. AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE; REMOVE AT THE DISCRETION OF THE ENGINEER.
6. STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
A. PAVEMENT MARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH PS TT-P-1952.
B. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
C. PAINT 4 INCH WIDE TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
6. WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK.
TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATIONS SHOWN ON DRAWING.
7. POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
8. REPAIR OF DAMAGED PAVING
A. ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL HE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
9. FIELD QUALITY CONTROL
A. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
B. TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS. REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
C. SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MINIMUM COMPACTION REQUIREMENTS

COMPACTION SHALL BE PERFORMED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) MAXIMUM DENSITY AS DETERMINED IN A LABORATORY COMPACTION TEST, PERFORMED UNDER THE SPECIFICATIONS OF ASTM D1557-64T, METHOD "A", (BACK FILL MATERIAL OF A STONY NATURE SHALL BE TESTED UNDER METHOD "C" OR "D" OF THE SAME ASTM DESIGNATION) OR OTHER APPROVED ASTM OR AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) SPECIFICATIONS. SUCH TEXT SHALL ALSO BE USED FOR ESTABLISHING THE OPTIMUM MOISTURE CONTENT OF THE MATERIALS. THE IN-PLACE DRY UNIT WEIGHT OF THE COMPACTED MATERIALS SHALL BE DETERMINED BY METHODS SPECIFIED UNDER ASTM "D" 1556-58T OR OTHER APPROVED ASTM OR AASHTO SPECIFICATIONS. THE IN-PLACE COMPACTION TEST TO BE CONSISTENT WITH THE APPROVED LABORATORY COMPACTION TEST.

TABLE 5. POROUS ASPHALT MIX DESIGN CRITERIA.

| SIEVE SIZE (INCH/MM) | PERCENT PASSING (%) |
|--|---------------------|
| 0.75/19 | 100 |
| 0.50/12.5 | 85-100 |
| 0.375/9.5 | 55-75 |
| NO.4/4.75 | 10-25 |
| NO.8/2.36 | 5-10 |
| NO.200/0.075 (#200) | 2-4 |
| BINDER CONTENT (AASHTO T164) | |
| AIR VOID CONTENT BY CORELOK (ASTM D6752)* | 6.0-6.5% |
| AIR VOID CONTENT BY PARAFFIN WAX (AASHTO T275)** | 16.0-20.0% |
| DRAINDOWN (ASTM D6390)** | 18.0-22.0% |
| RETAINED TENSILE STRENGTH (AASHTO 283)*** | <= 0.3 % |
| | >= 80 % |

* EITHER METHOD IS ACCEPTABLE
**CELLULOSE OR MINERAL FIBERS MAY BE USED TO REDUCE DRAINDOWN.
***IF THE TSR (RETAINED TENSILE STRENGTH) VALUES FALL BELOW 80% WHEN TESTED PER NAPA IS 131 (WITH A SINGLE FREEZE THAW CYCLE RATHER THAN 5). STEP 4, THE CONTRACTOR SHALL EMPLOY AN ANTISTRIP ADDITIVE, SUCH AS HYDRATED LIME (ASTM C977) OR A FATTY AMINE, TO RAISE THE TSR VALUE ABOVE 80%.

MIX SUMMARY
POROUS ASPHALT PAVEMENT MIX
THE UNH STORM WATER CENTER

POROUS ASPHALT SHALL BE FOUR INCHES THICK WITH A BITUMINOUS MIX OF 6% TO 6.5% BY WEIGHT DRY AGGREGATE AND AIR VOIDS OF 18-22%. IN ACCORDANCE WITH ASTM D6390, DRAIN DOWN OF THE BINDER SHALL BE NO GREATER THAN 0.3%. IF MORE ABSORPTIVE AGGREGATES, SUCH AS LIMESTONE, ARE USED IN THE MIX, THEN THE AMOUNT OF BITUMEN IS TO BE BASED ON THE TESTING PROCEDURES OUTLINED IN THE NATIONAL ASPHALT PAVEMENT ASSOCIATION'S INFORMATION SERIES 131 - "PERVIOUS ASPHALT PAVEMENTS" (2003) OR NHDOT EQUIVALENT. MIX SUPPLIERS MAY HAVE A SUITABLE IN-HOUSE SPECIFICATION FOR OPEN GRADED FRICTION COURSE (OGFC) THAT CAN BE USED.

USE NEAT ASPHALT BINDER MODIFIED WITH AN ELASTOMERIC POLYMER TO PRODUCE A BINDER MEETING THE REQUIREMENTS OF PG 76-22 AS SPECIFIED IN AASHTO MP-1. THE ELASTOMER POLYMER SHALL BE STYRENE-BUTADIENE-STYRENE (SBS), OR APPROVED EQUAL, APPLIED AT A RATE OF 3% BY WEIGHT OF THE TOTAL BINDER. THE COMPOSITE MATERIALS SHALL BE THOROUGHLY BLENDED AT THE ASPHALT REFINERY OR TERMINAL PRIOR TO BEING LOADED INTO THE TRANSPORT VEHICLE. THE POLYMER MODIFIED ASPHALT BINDER SHALL BE HEAT AND STORAGE STABLE.

AGGREGATE SHALL BE MINIMUM 90% CRUSHED MATERIAL AND HAVE A GRADATION OF:

COMPOSITION OF MIXTURE
SIEVE SIZE (INCH/MM)PERCENT PASSING:0.75/19100.0,50/12.585-100.0,375/9.555-75.0,4/4.7510-25.0,8/2.365-10.0,200/0.0752-4
AGGREGATES:3-5-94% ASPHALT OF TOTAL MIX:6-5
ADD HYDRATED LIME AT A DOSAGE RATE OF 1.0% BY WEIGHT OF THE TOTAL DRY AGGREGATE TO MIXES CONTAINING GRANITE. HYDRATED LIME SHALL MEET THE REQUIREMENTS OF ASTM C 977. THE ADDITIVE MUST BE ABLE TO PREVENT THE SEPARATION OF THE ASPHALT BINDER FROM THE AGGREGATE AND ACHIEVE A REQUIRED TENSILE STRENGTH RATIO (TSR) OF AT LEAST 80% ON THE ASPHALT MIX WHEN TESTED IN ACCORDANCE WITH AASHTO T 283. THE ASPHALTIC MIX SHALL BE TESTED FOR ITS RESISTANCE TO STRIPPING BY WATER IN ACCORDANCE WITH ASTM D-1664. IF THE ESTIMATED COATING AREA IS NOT ABOVE 95 PERCENT, ANTI-STRIPPING AGENTS SHALL BE ADDED TO THE ASPHALT.

NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA FROM SUCH A COMBINATION. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA MUST FALL WITH H THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.

TRANSPORTING MATERIAL: SEE CONSTRUCTION AND INSTALL SPECIFICATIONS

FOR QUESTIONS ON MIX SPECIFICATIONS CONTACT ROBERT ROSEEN, PHD, AT THE UNH STORM WATER CENTER. 603-862-4024.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT PARKING LOT AREAS AND LOW VOLUME ROADS
THE UNH STORM WATER CENTER

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

1. SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NACL, MGC12, OR EQUIVALENT). REDUCED SALT APPLICATION IS POSSIBLE AND CAN BE A COST SAVINGS FOR WINTER MAINTENANCE. NONTXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
2. PLOWING IS ALLOWED. BLADE SHOULD BE SET APPROXIMATELY 1" ABOVE ROAD SURFACE. ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED.

ROUTINE MAINTENANCE:

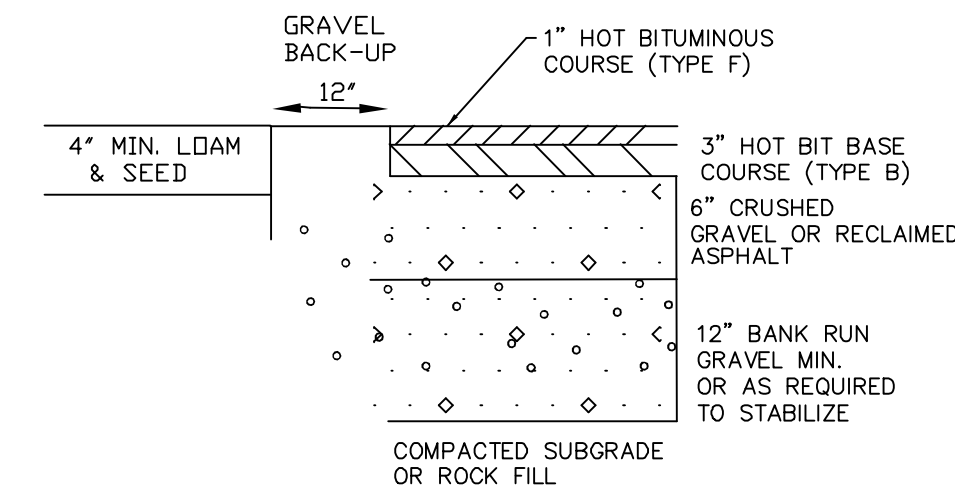
1. ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
2. THE PAVEMENT SURFACE SHOULD BE VACUUMED 1 OR 2 TIMES PER YEAR, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
3. PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
4. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS; HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
5. DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
6. REPAIRS: POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.
7. WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.
8. A PERMANENT SIGN SHOULD BE ADDED AT THE ENTRANCE AND END OF THE POROUS ASPHALT AREA TO INFORM RESIDENTS AND MAINTENANCE STAFF OF THE SPECIAL NATURE AND PURPOSE OF THE PAVEMENT, AND ITS SPECIAL MAINTENANCE REQUIREMENTS.

PREPARED FOR:

J CALEY ASSOCIATES
11 TAYLOR COURT
STRATHAM NH 03885



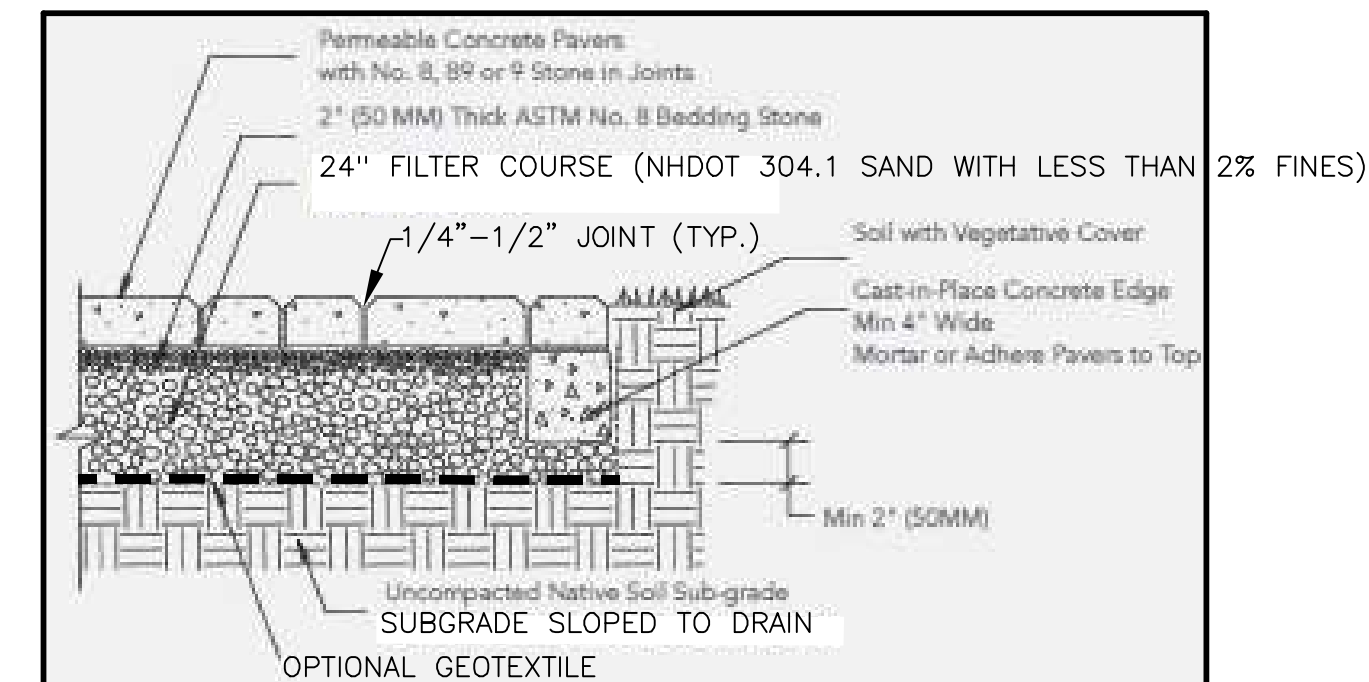
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



- NOTES: * IN AREAS OF BEDROCK, MINIMUM 24" SEPARATION FROM BANK RUN GRAVEL
* PAVEMENT TRENCH PATCH SHALL MATCH EXISTING PAVEMENT DEPTHS.

TYPICAL PAVEMENT SECTION
NEW ASPHALT

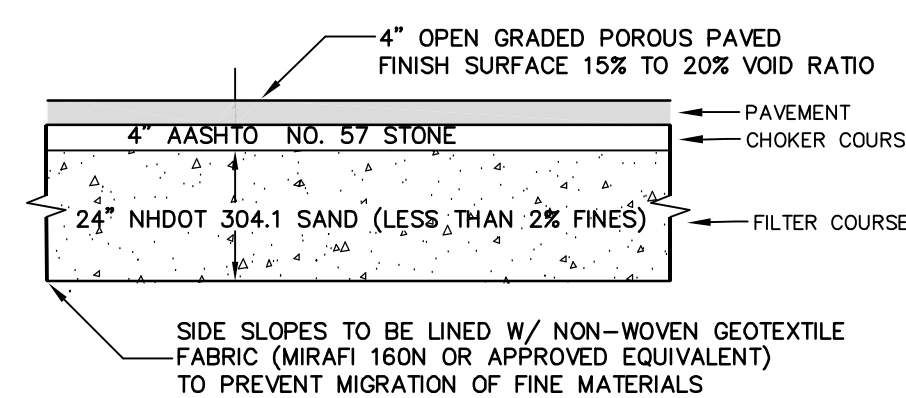
1. THE DEVELOPER SHALL INSPECT THE CROSS-SECTION OF THE CURRENT DRIVEWAY FOR CONFORMANCE TO THE MUNICIPAL REQUIREMENTS. IF ADDITIONAL SELECT GRAVELS, ETC. ARE NEEDED, THE DRIVE SHALL BE BUILT TO TOWN SPECIFICATIONS.
2. IF ADDITIONAL CRUSHED OR BANK RUN GRAVEL IS NEEDED, THE DEVELOPER RESERVES THE RIGHT TO UTILIZED RECLAIMED GRAVEL PROCESSED FROM ON SITE MATERIALS.



ROUTINE MAINTENANCE: VISUAL INSPECTION OF THE PERVIOUS PAVERS TO ENSURE THAT THEY ARE CLEAN OF DEBRIS AND SEDIMENTS. ROUTINE CLEANING PROCEDURES WOULD INCLUDE BLOWING (WITH LEAF BLOWER OR SIMILAR) IN FALL, TRUCK-SWEEPING AND/OR DRY VACUUMING. ADD SOIL TO REFILL JOINT SPACE AFTER SWEEPING/VACUUMING IF NEEDED.

PERVIOUS PAVER DETAIL
TO BE "TREMOR" OR APPROVED EQUAL

NOT TO SCALE

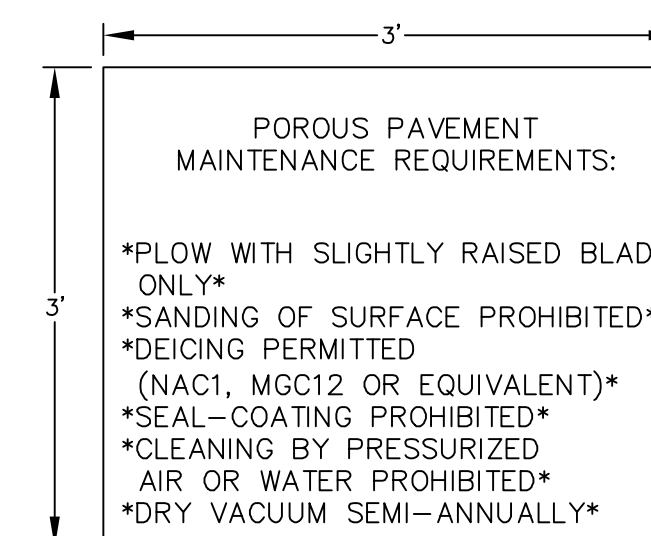


NOTES:

1. 4" FRICTION COARSE CONSISTS OF COARSER AGGREGATE AND STIFFER BINDER. SEE TABLE
2. A WORKING COURSE 4" THICK CONSISTS OF AASHTO NO. 57 STONE.
3. TOP COAT SHOULD BE VACUUMED A MINIMUM OF TWICE A YEAR.
4. ROOF RUNOFF CAN FLOW ONTO PAVEMENT OR INTO SUBBASE MATERIAL.

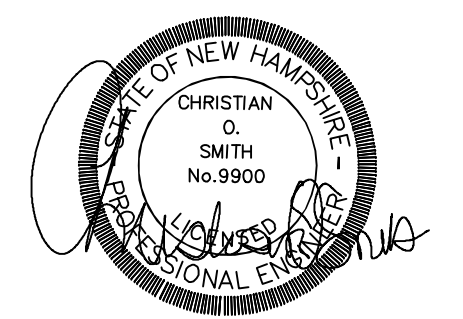
POROUS PAVEMENT

NOT TO SCALE



POROUS PAVEMENT SIGN DETAIL

NOT TO SCALE



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| REVISIONS: | DATE: |
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| | |
| CONSTRUCTION DETAILS | |
| HOTEL DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | |
| DATE: | JAN 27, 2026 |
| SCALE: | NTS |
| PROJ. NO: | NH-1547 |
| SHEET NO. | 11 |

BEALS · ASSOCIATES

PLLC

70 Portsmouth Avenue
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TRANSMITTAL

Town of Exeter
10 Front St.
Exeter, NH 03833

Date: May 20, 2026
Project: NH-1547
Location: 97 Portsmouth Ave
Via: Hand Deliver

Items:

Attached: Re-Submittal - Responses to Planning Board Comments

We are sending you the following items:

- 5 – Copies of Full-Size Plan Set (24x36, 13 Sheets)**
- 15 – Copies of 1/2-Size Plan Set (11x17, 13 Sheets)**
- 15 – Copies of 1/2-Size Vehicle Manuevering Plans (11x17, 4 Sheets)**
- 15 – Copies of 1/2-Size Architectural Plans (11x17, 10 Sheets)**
- 1 – Copy of all PDF material on flash drive**

Comments:

Transmitted by: Christian O. Smith, PE.

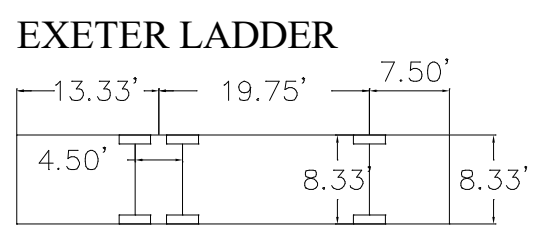
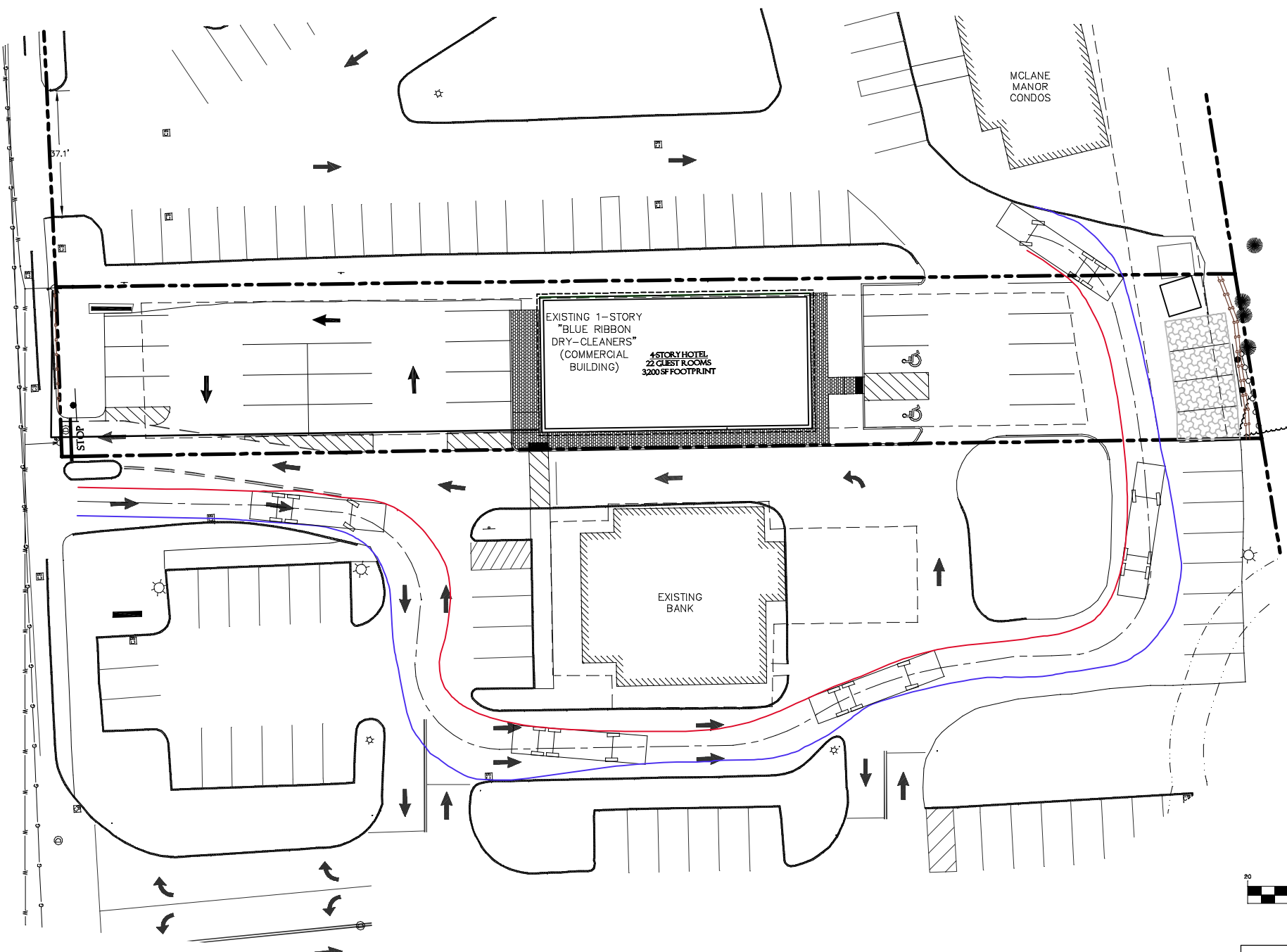
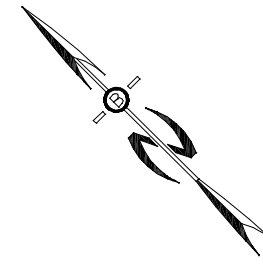
PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM NH 03885



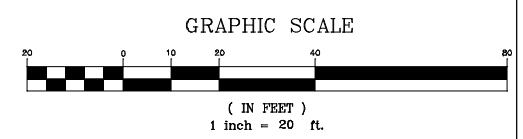
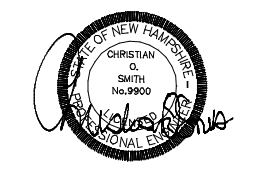
70 PORTSMOUTH AVE,
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 FAX: 603-583-4863

LEGEND

- VEHICLE CENTERLINE
- LEFT OVERHANG - FORWARD
- RIGHT OVERHANG - FORWARD



Tire Diameter: **3 FEET**



| | | |
|--|----------|------------------|
| EXETER LADDER TURNING PLAN | | |
| MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | | |
| DATE: | MAY 2026 | SCALE: 1" = 40' |
| PROJ. NO: | NH-1547 | SHEET NO. 1 OF 1 |

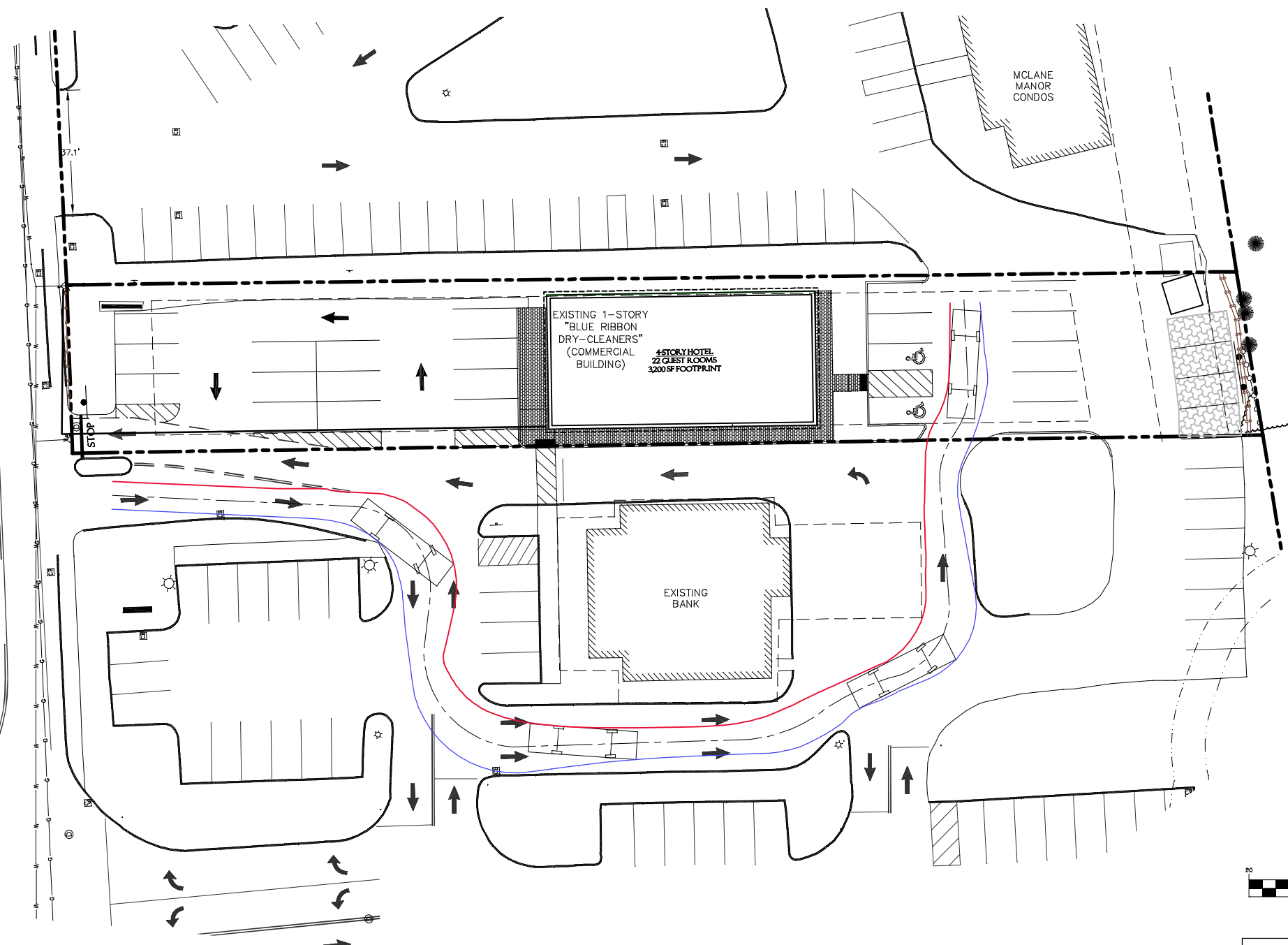
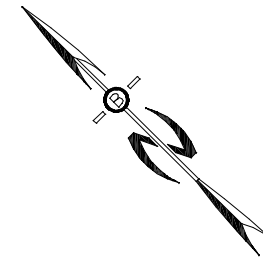
PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM NH 03885



70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
 PHONE: 603-583-4860,
 FAX: 603-583-4863

LEGEND

- VEHICLE CENTERLINE
- LEFT OVERHANG - FORWARD
- RIGHT OVERHANG - FORWARD



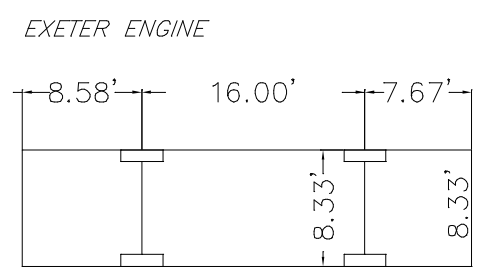
MCLANE MANOR CONDOS

EXISTING 1-STORY
 "BLUE RIBBON
 DRY-CLEANERS"
 (COMMERCIAL
 BUILDING)

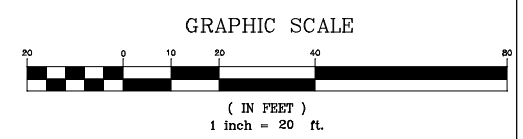
4-STORY HOTEL
 22 GUEST ROOMS
 3200 SF FOOTPRINT

EXISTING
 BANK

STOP



Tire Diameter: 3 FEET



| | | |
|--|----------|------------------|
| EXETER PUMPER ENGINE TRUCK PLAN | | |
| MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | | |
| DATE: | MAY 2026 | SCALE: 1" = 40' |
| PROJ. NO: | NH-1547 | SHEET NO. 1 OF 1 |

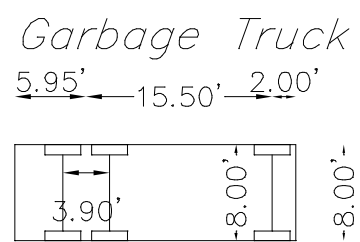
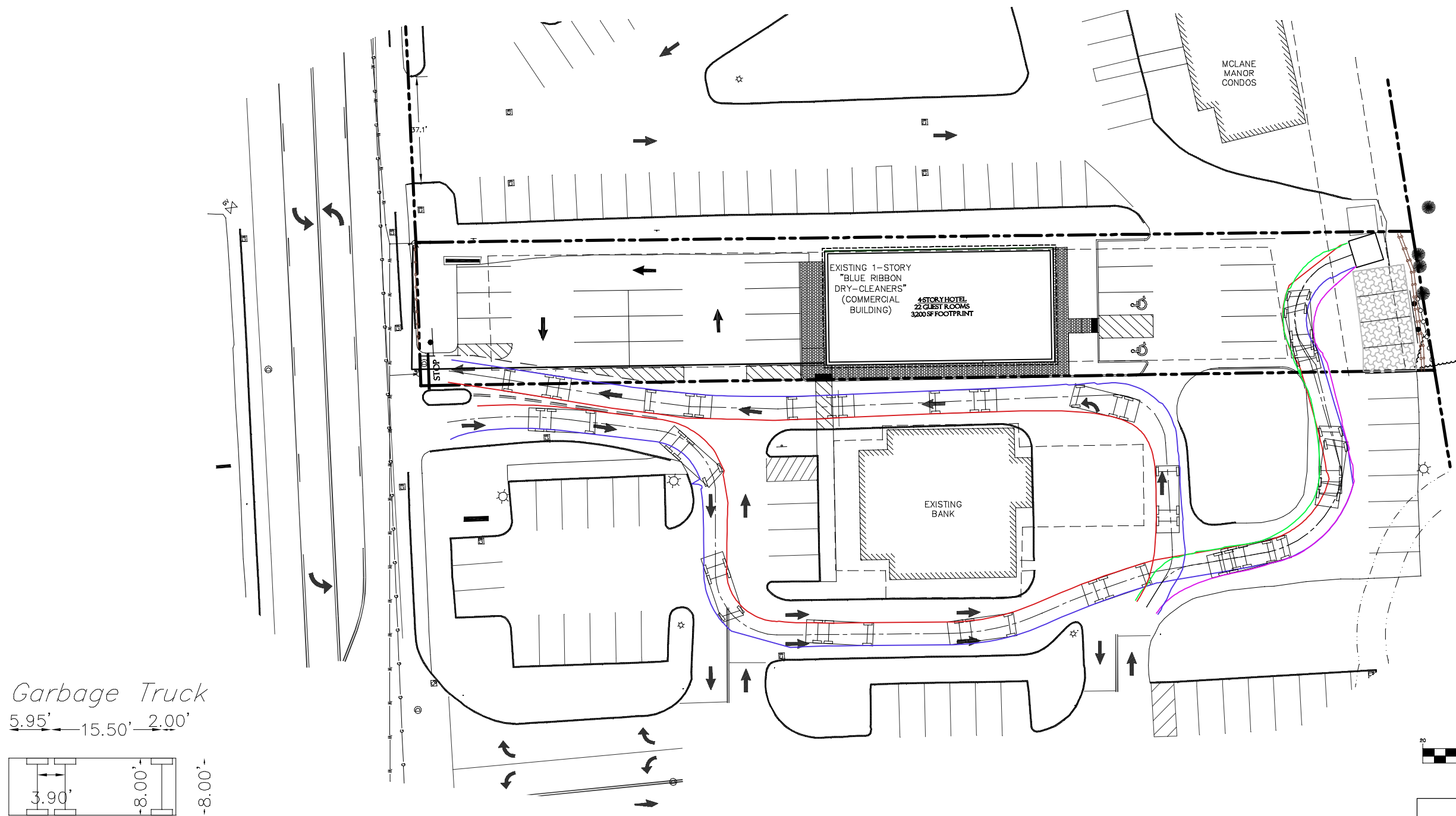
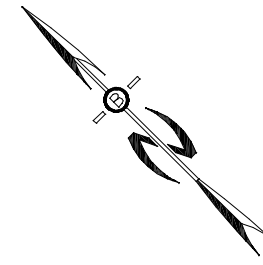
PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM NH 03885



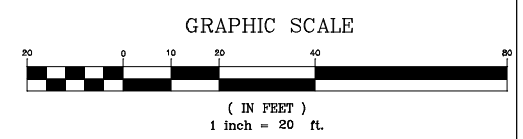
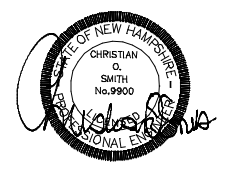
70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
 PHONE: 603-583-4860,
 FAX: 603-583-4863

LEGEND

- VEHICLE CENTERLINE
- LEFT OVERHANG - FORWARD
- RIGHT OVERHANG - FORWARD
- LEFT OVERHANG - REVERSE
- RIGHT OVERHANG - REVERSE



Tire Diameter: $\frac{FEET}{3}$



| | | |
|--|----------|------------------|
| GARBAGE TRUCK TURNING PLAN | | |
| MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | | |
| DATE: | MAY 2026 | SCALE: 1" = 40' |
| PROJ. NO: | NH-1547 | SHEET NO. 1 OF 1 |

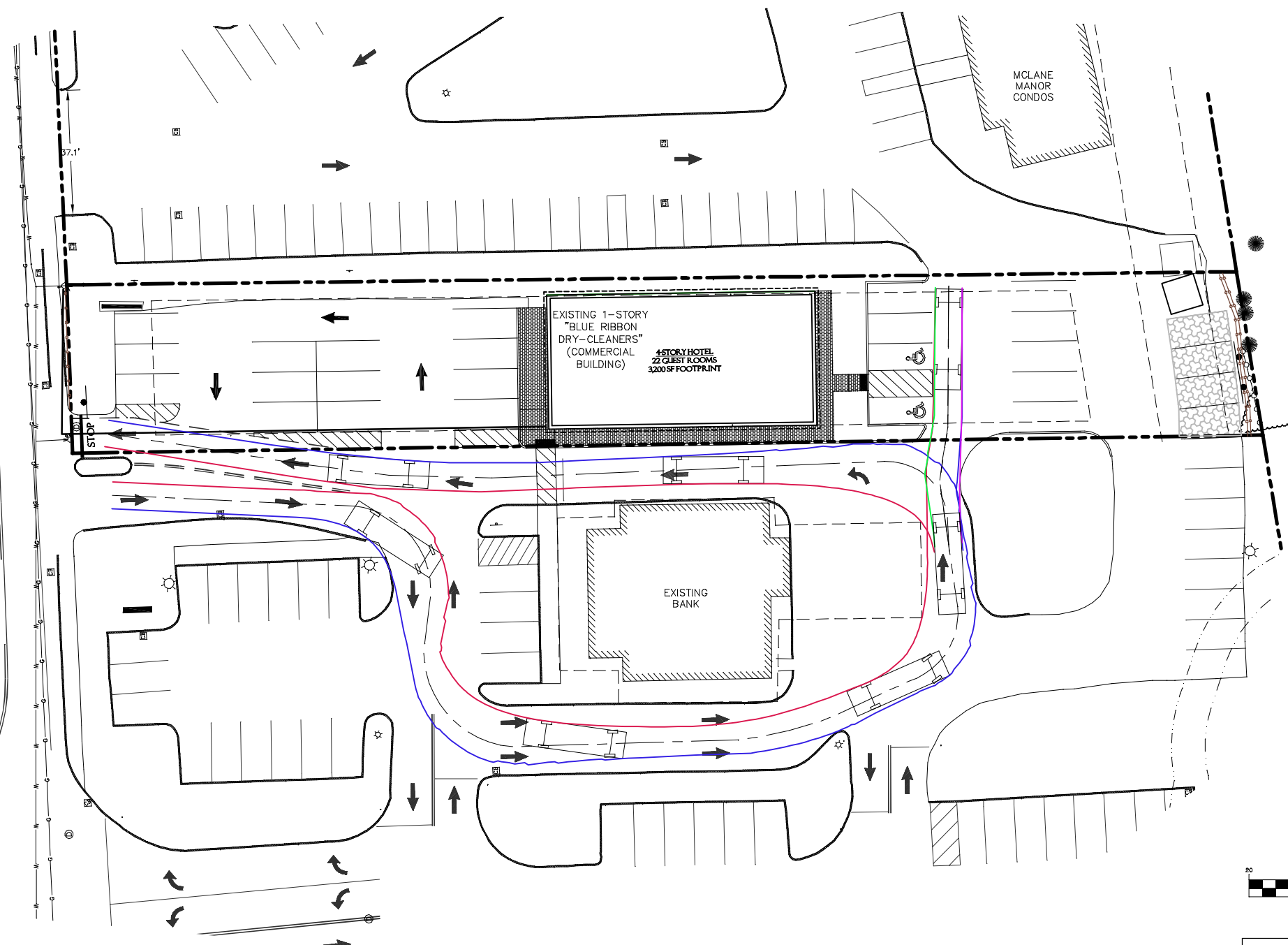
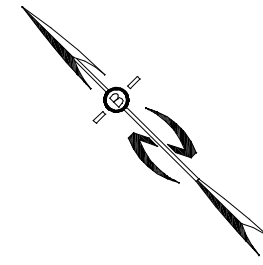
PREPARED FOR:
J CALEY ASSOCIATES
 11 TAYLOR COURT
 STRATHAM NH 03885



70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
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 FAX: 603-583-4863

LEGEND

- VEHICLE CENTERLINE
- LEFT OVERHANG - FORWARD
- RIGHT OVERHANG - FORWARD
- LEFT OVERHANG - REVERSE
- RIGHT OVERHANG - REVERSE

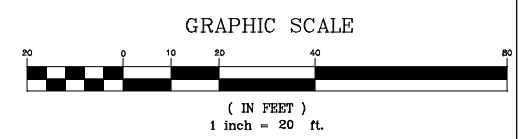


Single Unit [SU-11/30]

6.00' — 20.00' — 4.00'



Tire Diameter: 3 FEET



| | |
|--|------------------|
| SINGLE-UNIT VEHICLE TURNING PLAN | |
| MIXED-USE DEVELOPMENT 97 PORTSMOUTH AVENUE EXETER, NH TAX MAP 65, LOT 125 | |
| DATE: MAY 2026 | SCALE: 1" = 40' |
| PROJ. NO: NH-1547 | SHEET NO. 1 OF 1 |